

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: 11/16/11

UDC MEETING DATE: 11/23/11

Action Requested

☐ Informational Presentation

☐ Initial Approval and/or Recommendation

☒ Final Approval and/or Recommendation

PROJECT ADDRESS: 7483 West Towne Way

ALDERMANIC DISTRICT: _____

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:

REI Recreational Equipment Inc. Bauer Sign Co
6750 S. 228th St W184 58408 Challenger Dr.

Kent, WA 98032 Muskego, WI 53150

CONTACT PERSON: Bob Kraus / Bauer Sign Co

Address: W184 58408 Challenger Dr.
Muskego, WI 53150

Phone: (262) 679-2500

Fax: (262) 679-8370

E-mail address: bkraus@bauersignusa.com

TYPE OF PROJECT:

(See Section A for:)

☐ Planned Unit Development (PUD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Community Development (PCD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Residential Development (PRD)

☐ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)

☐ School, Public Building or Space (Fee may be required)

☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.

☐ Planned Commercial Site

(See Section B for:)

☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

☒ Comprehensive Design Review* (Fee required)

☐ Street Graphics Variance* (Fee required)

☐ Other Re-submission

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

November 16, 2011

Urban Design Commission
City of Madison

RE: REI Recreational Equipment, Inc. Signage – Comprehensive Design Review

Dear Urban Design Commission

Attached is a revised sign package for 7483 West Towne Way. The property is currently zoned C2

The request is for an overall sign package for the renovated storefront and property. The package seeks approval of one (1) illuminated ground sign, illuminated wall signage on three (3) elevations, and one (1) non-illuminated directory panel. REI, Inc. has created a unique and attractive store entry that has created a need for increased signage square footage allowance and unique sign placement allowance that does not meet current allowances per code. The remodeled storefront was created to meet REI's store image that is being implemented at other corporate locations.

North Elevation: Signs #1& #2; and sign #3

- Sign code allows for a maximum allowance of 40% of the signable area ($4' \times 80' = 320' \times 40\% = 128$ sq ft allowed) or 2 sq ft of signage allowed per each lineal foot of frontage ($136'$ of frontage $\times 2 = 272$ sq ft). Signage cannot cross any architectural detail and must have public street frontage.
 - Proposed square footage for signs #1 (85.36 sq. ft.) and sign #2 (103.06 sq. ft.) equals 188.42 sq ft
 - The sign design of sign #1 has a routed aluminum face with internal illumination. "logo" and "REI" copy are illuminated. Balance of sign face is aluminum and non-illuminated.
- Placement: Sign code defines the sign band of a parapet wall cannot extend above a maximum of four (4) vertical feet above the traditional roofline. Signs must be placed within this defined signable area.
 - Proposed placement of signs #1 and #2 extends above the defined signable area.
 - Change to the original submission. Per the mandate of the the UDC Board to propose a sign layout that does not exceed the structural window openings below, we are proposing a stacked version of the "REI Recreational Equipment, Inc." corporate identity. Please review the amended layout for signs #1 and #2.
- Merchandise sign (sign #3) per code must not exceed nine(9) sq. ft. with a maximum height of eight (8) feet and be non-illuminated.
 - Proposed sign #3 meets all of the criteria preexisting sign code
 - Change to original submission. The sign (#3) should be identified as an "Accessory Sign" – A wall sign on a large building, subordinate in area to the principal sign, located elsewhere than the primary signable area, listing other businesses or generic services or departments in the building, such as pharmacy, optical, auto repair, garden center and excluding product brand names.
 - Proposed sign #3 meets all criteria of an "Accessory Sign".

We feel the size and placement of this signage is aesthetically pleasing and consistent for the remodeled storefront design. Additionally, the placement of the storefront sign is necessary due to the height of street frontage landscape details.

West Elevation: Sign #4

- Sign code allows for a maximum allowance of 40% of the signable area ($4' \times 80' = 320' \times 40\% = 128$ sq ft allowed) or 2 sq ft of signage allowed per each lineal foot of frontage (136' of frontage $\times 2 = 272$ sq ft). Signage cannot cross any architectural detail and must have public street frontage.
 - Sign #4 as proposed meets all criteria per existing sign code Sign #4 is 6' 6" high \times 8' 8" high totaling 56.33 sq ft
 - The sign design of sign #4 has a routed aluminum face with internal illumination. "logo" and "REI" copy are illuminated. Balance of sign face is aluminum and non-illuminated.

The placement of this sign gives necessary exposure to traffic on Zor Shrine Dr. to the west.

South Elevation: Sign #5

- Sign code allows for a maximum allowance of 40% of the signable area ($4' \times 80' = 320' \times 40\% = 128$ sq ft allowed) or 2 sq ft of signage allowed per each lineal foot of frontage (136' of frontage $\times 2 = 272$ sq ft). Signage cannot cross any architectural detail and must have public street frontage.
 - Sign #5 meets size criteria and building detail placement but does not have public street frontage or access. Sign faces a neighboring parking lot and the West Beltline Highway.

We feel this sign placement gives the store exposure to the heavily traveled West Beltline Highway to the south. Sign was previously reviewed and permitted in 2007 (Permit tag #P0308)

Monument (ground sign) sign (Sign #6)

- Sign code allows for one (1) monument sign with a maximum square footage of sixty-four (64) sq.ft and a ten (10) foot overall height.
 - We are proposing no modification to the existing sign. Sign meets all criteria for the site: Square footage; setback and overall height. Sign #6 is forty-seven (47.5) sq. ft. and is nine (9) feet in overall height.

Sign was previously reviewed and permitted in 2007 (Permit tag #P0307)

It is very important to REI to maintain consistency and appearance for their corporate identity. The commitment to the Madison community is well documented in their expansion and remodel in the current location. Store location has a very limited exposure behind two major retail developments. This sign package will help to maintain their identity and exposure.

We are seeking final approval on this sign package as presented.

Respectfully submitted,
Bob Kraus /Bauer Sign Company

SITE DATA:

NUMBER OF BIKE STALLS = 14
NUMBER OF PARKING STALLS = 115

REQUIRED SHOWN

SMALL CAR	NONE	NONE
LARGE CAR	85	109
ACCESSIBLE	5	6
TOTAL	90	115

PAGE: 7 OF 13

Landlord Approval

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REVISION HISTORY (PRIOR TO MASTER PRINT):	
1	APR 27-11 removed "R" trademark
2	MAY 4-11 ADDED DRAWINGS OF WEST & SOUTH ELEVATIONS.
3	AUG 5-11 ADDED DIM FROM BOTTOM OF SIGN TO GRADE
4	AUG 15 - ADDED NOTE FOR PLACEMENT OF SIGN 2

MASTER DATE OF MASTER OCT 20, 2011	MASTER SIGN OFF
	SALES REP

MASTER REVISION HISTORY	
1	MR2-SEPT 26-11- NEW PAGE ADDED
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR5-OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719

EXTERIOR NORTH ELEVATION

174'-0"

A B C D E F G

SIGN #1

SIGN #2

* CENTERED BETWEEN THE TOP OF THE PARAPET AND THE TOP OF THE GLAZING (EQ/EQ)

4'-0" ABOVE ORIGINAL ROOFLINE

ORIGINAL ROOFLINE 22'-10 1/2"

22'-5"

T/O NEW PARAPET EL. 34'-0" AFF.

T/O EXIST. PARAPET EL. 24'-8" AFF.

T/O GLAZING EL. 10'-0" AFF.

FINISH FLOOR EL. 0'-0" AFF.

DASHED LINES INDICATE EXTENTS OF EXISTING STOREFRONT OPENING

SIGN #3

FINE ALARM

HOSE WIE

SPRINKLER

OUTLET

WATER METER

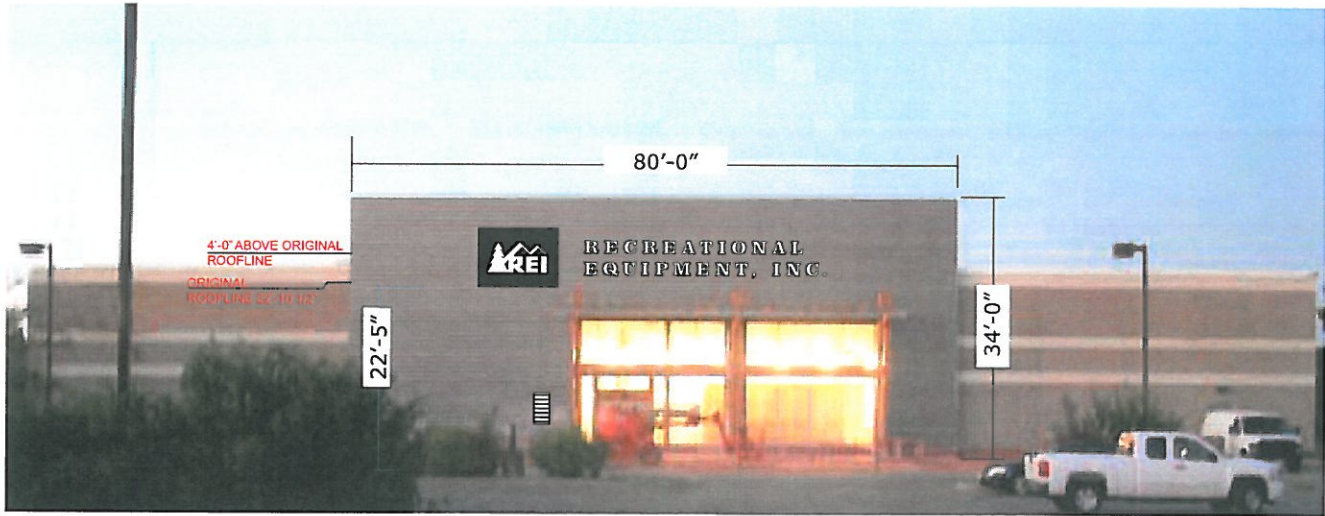
RECREATIONAL EQUIPMENT, INC.

KREI

[illegible]



EXISTING



PROPOSED

8105 Birch Bay Square St, Suite #205
 Blaine, WA 98230
 Phone: 425-455-1100
 support@lucidmanagementgroup.com

DATE: November 25, 2010
 SKETCH: LM10-225-R_MR5
 SALES: Leslie Ivens
 ARTIST: CAM
 SCALE: NTS
 PAGE: 3 OF 13

Customer Approval

Landlord Approval

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3	AUG 5-11 ADDED DIM FROM BOTTOM OF SIGN TO GRADE
4	AUG 15 - ADDED NOTE FOR PLACEMENT OF SIGN 2 & REVISED DIM

MASTER
DATE OF MASTER: OCT 20, 2011

MASTER SIGN OFF
SALES REP

1	MR2-SEPT 26-11- NEW PAGE ADDED
2	MR3-OCT 20-11- CHANGED SIGN POSITION & REVISED CHANNEL LETTER LAYOUT.
3	



BRANCH #048
 7483 W. Towne Way
 Madison, WI 53719

Sign 1

MANUFACTURE AND INSTALL... EXTERIOR

ILLUMINATED CABINET

8'-0" x 10'-8" - HALO LIT CABINET WITH PUSH THRU COPY



CONSTRUCTION:

PUSH THRU COPY: CLEAR ACRYLIC WITH WHITE DIFFUSER
ON FIRST AND SECOND SURFACE
FACE / RETURNS: SATIN BLACK
ILLUMINATION: WHITE LED



GRAPHICS

LOGO / COPY: WHITE
BACKGROUND: BLACK



COLOUR DATA

VINYL: WHITE DIFFUSER 3M 3635-30, MATTE BLACK 3M 3630-22
PAINT: SATIN BLACK

Sign 2

MANUFACTURE AND INSTALL...

FACE-LIT CHANNEL LETTERS

1'-8" Individual Face-lit channel letters



CONSTRUCTION:

SELF-CONTAINED
FACES: .125" #7328 White Acrylic
BACKS: .080 Aluminum
TRIM-R1 CAP: 1" Black
RETURNS: Satin Black
ILLUMINATION: WHITE LED



GRAPHICS

COPY: White



COLOUR DATA

VINYL: White Diffuser...3M-3635-30
PAINT: Satin Black, Raceway painted to match building face.

	SIGN 1 • ILLUMINATED CABINET
	• 85.36 SQ FT • WEIGHT: 500 LBS • POWER: 120 V / 12 AMPS
	SIGN 2 • FACE-LIT CHANNEL LETTERS STACKED LAYOUT
	156.22 SQ. FT. • WEIGHT: 250 LBS • POWER: 120 V / 2 X 15 AMPS

TOTAL LOGO & CHANNEL LETTERS: ~239.58 SQ FT

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
support@lucidmanagementgroup.com

DATE: November 25, 2010
SKETCH: LM10-225-R_MR5
SALES: Leslie Ivens
ARTIST: CAM
SCALE: 3/16"=1'-0"
PAGE: 2 OF 13

Customer Approval

Landlord Approval

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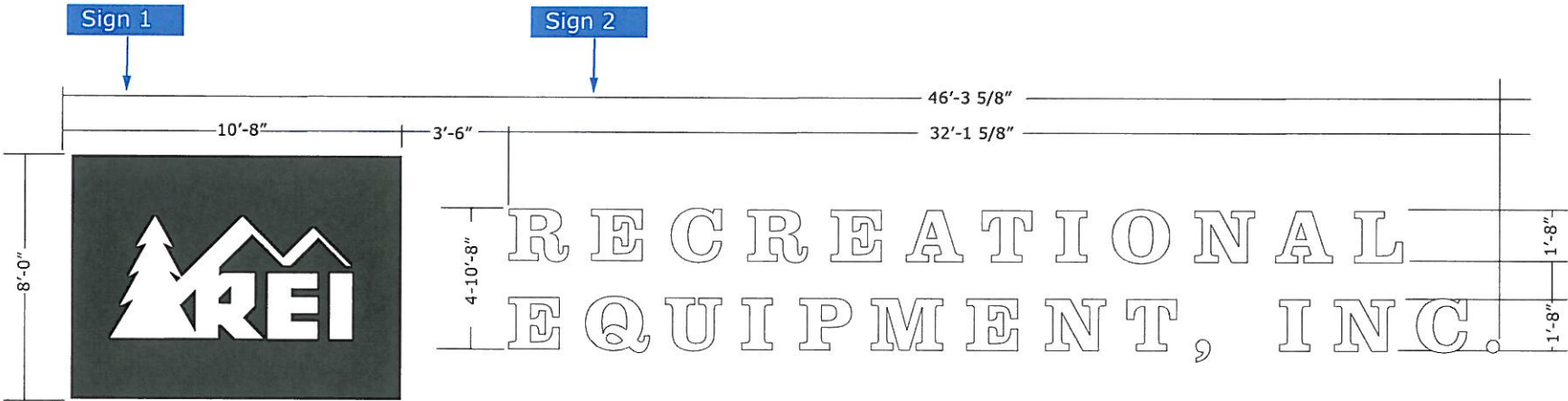
REVISION HISTORY (PRIOR TO MASTER PRINT)	
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2	MAY 4-11 ADDED DRAWINGS OF WEST & SOUTH ELEVATIONS.
3	AUG 5 - NO CHANGE TO THIS PAGE
4	AUG 15 - ADDED NOTE FOR PLACEMENT OF SIGN 2, REVISED CHANNEL LETTER ART.

MASTER DATE OF MASTER: OCT 20, 2011	MASTER SIGN OFF
	SALES REP

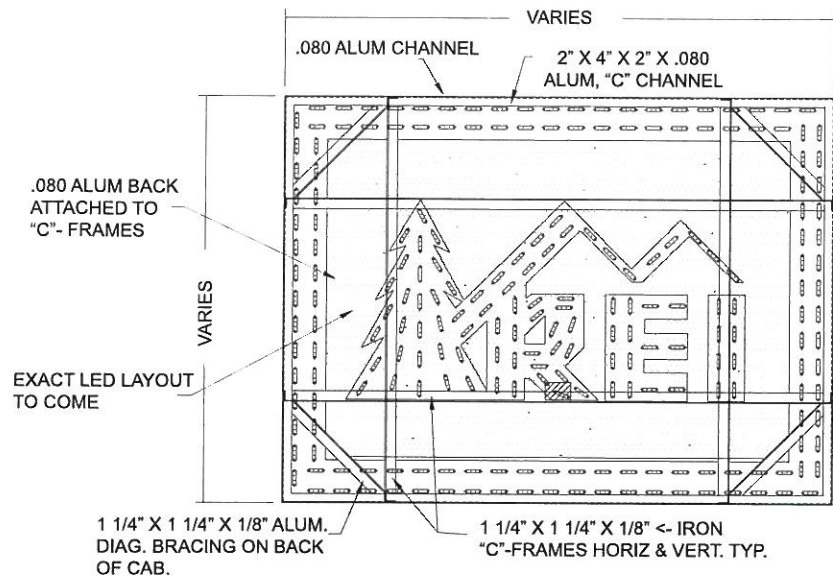
MASTER REVISION HISTORY	
1	MR2-SEPT 26-11- NEW PAGE ADDED
2	MR3-OCT 20-11- CHANGED SIGN POSITION & REVISED CHANNEL LETTER LAYOUT.
3	



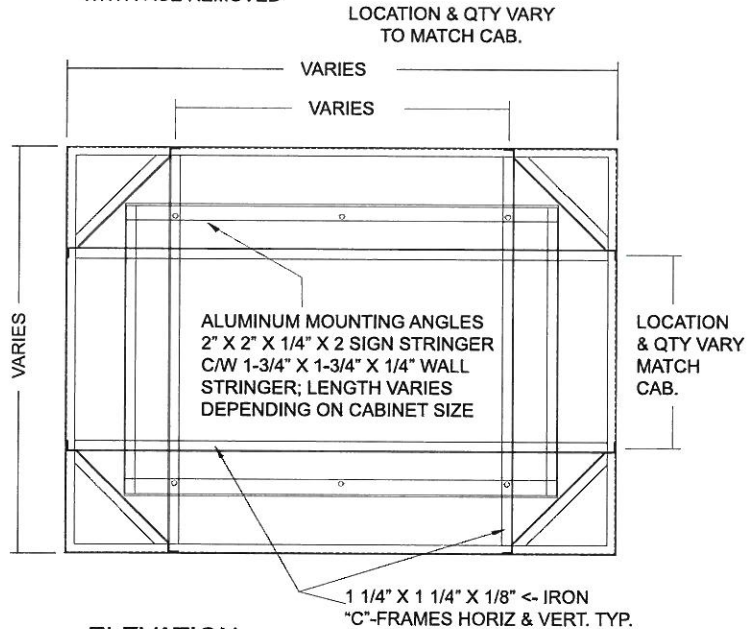
BRANCH #048
7483 W. Towne Way
Madison, WI 53719



*WHITE LED ILLUMINATION




EL E V A T I O N
WITH FACE REMOVED



ELEVATION
CABINET FRAMING SHOWING
LOCATION OF MTG BRACKET TO
SIGN FRAMING

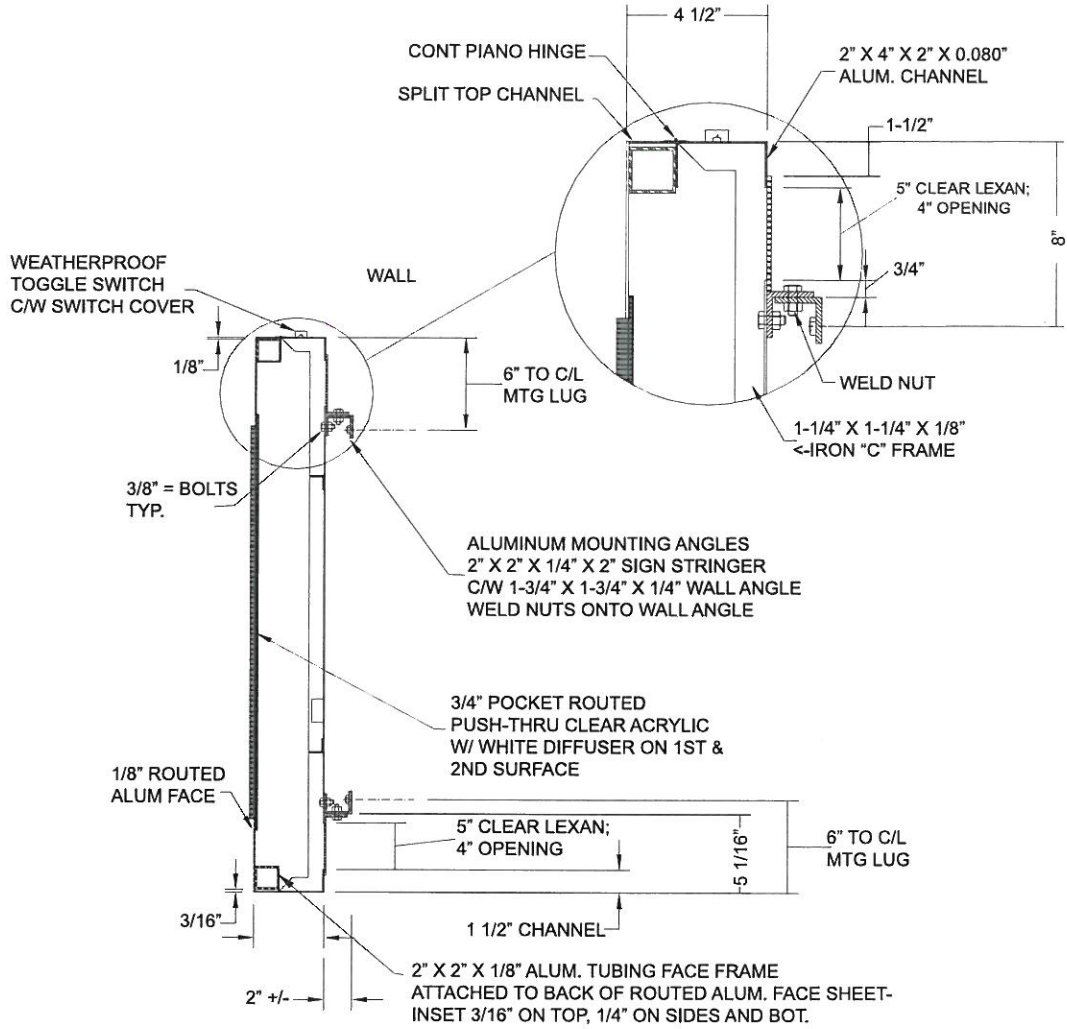
WITH FACE ON



SIGN 1

• SINGLE-FACE ILLUMINATED LOGO CABINET

CONSTRUCTION



TYPICAL CROSS SECTION

**Lucid Mgmt Group**

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
support@lucidmanagementgroup.com


DATE: November 25, 2010
SKETCH: LM10-225-R_MR5
SALES: Leslie Ivens
ARTIST: CAM
SCALE: NTS
PAGE: 9 OF 13

Customer Approval

Landlord Approval

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**MASTER**
DATE OF MASTER: OCT 20, 2011

MASTER SIGN OFF
SALES REP

MASTER REVISION HISTORY	
1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR4-OCT 25-11- NO CHANGE TO THIS PAGE
4	MRS-OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719



SIGN 1
• LED ILLUMINATED LOGO CABINET

**FOR THRU-BOLTED
INSTALLATION**

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
support@lucidmanagementgroup.com

DATE: November 25, 2010
SKETCH: LM10-225-R_MR5
SALES: Leslie Ivens
ARTIST: CAM
SCALE: NTS
PAGE: 12 of 13

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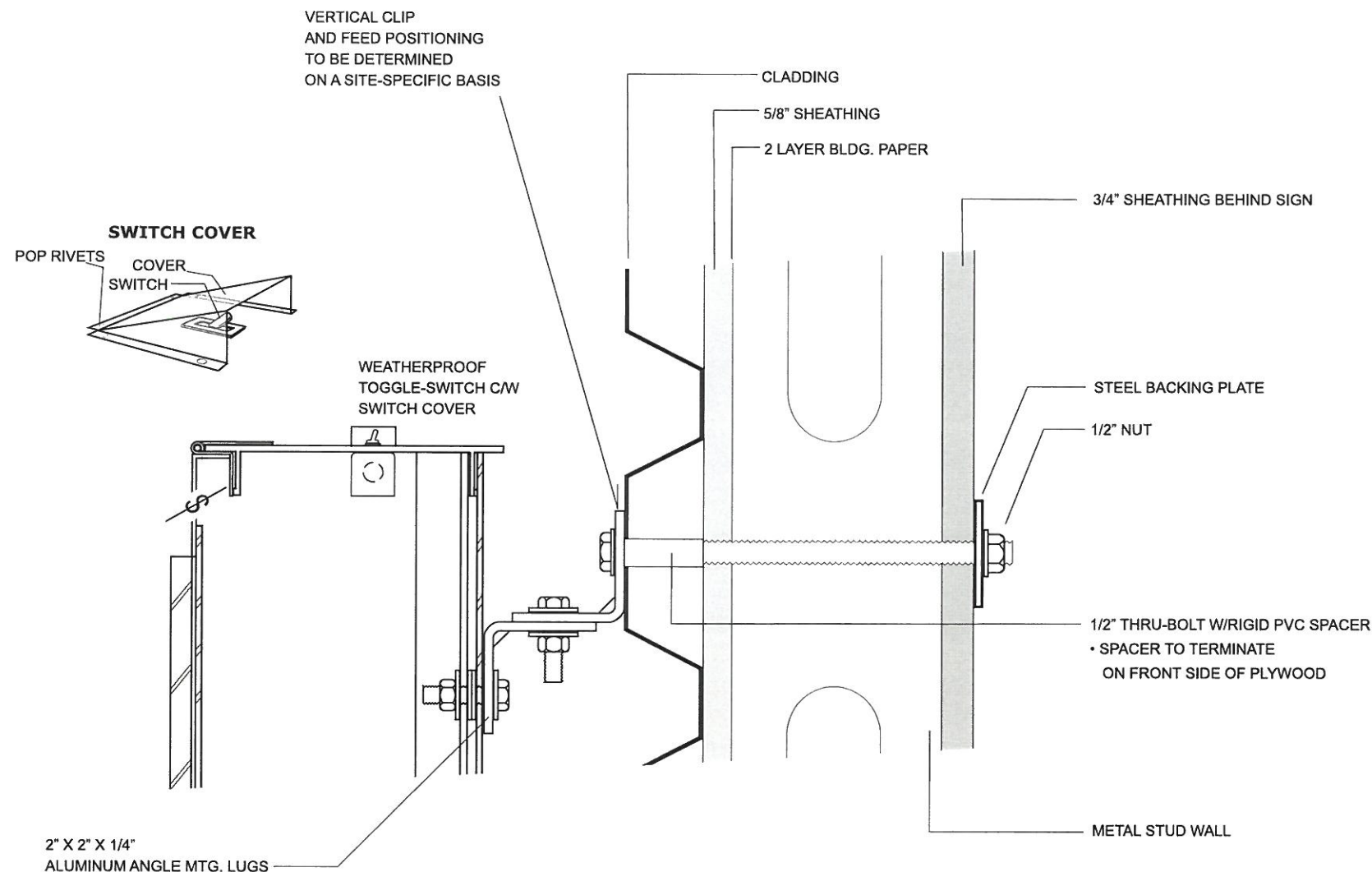
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MASTER DATE OF MASTER: OCT 20, 2011	MASTER SIGN OFF
	SALES REP

MASTER REVISION HISTORY	
1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR4-OCT 25-11- NO CHANGE TO THIS PAGE
4	MR5-OCT 27-11-NO CHANGE TO THIS PAGE

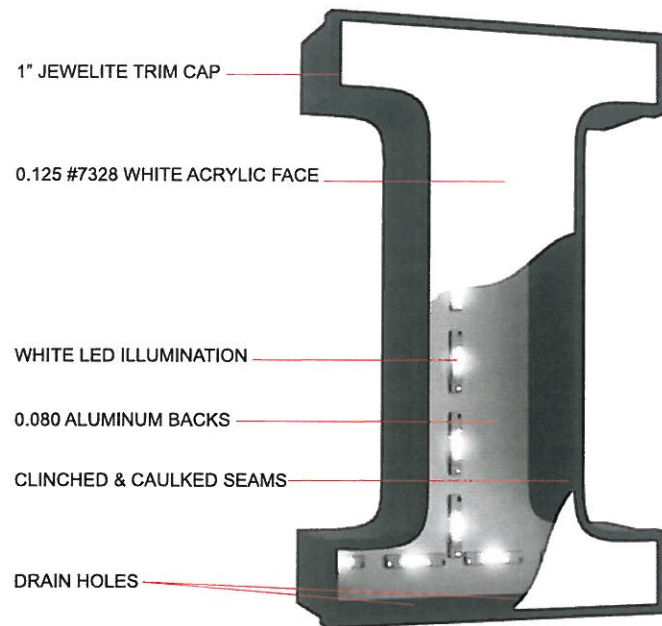
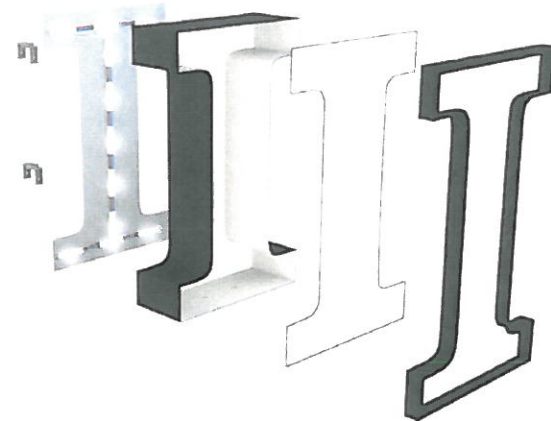


BRANCH #048
7483 W. Towne Way
Madison, WI 53719

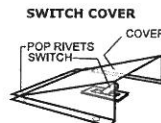


AGENT TO ENSURE ALL FASTENING / ELECTRICAL SUPPLY WALL PENETRATIONS ARE SEALED WITH A DYNOMIC (POLYUREATHANE) SEALANT

*WHITE LED ILLUMINATION
LED LAYOUT FOR VISUAL PURPOSES ONLY, NOT FOR PRODUCTION



WEATHER PROOF
TOGGLE-SWITCH
C/X SWITCH COVER



VERTICAL CLIP
AND FEED POSITIONING
TO BE DETERMINED
ON A SITE-SPECIFIC BASIS

2" X 2" GALVANIZED MTG. CLIP

1/4" TOGGLE BOLT / (6) PER LOGO
• WITH RIGID PVC SPACER

PRIMARY IN 1/2" DIA. SEALTIGHT
THRU WALL TO JUNCTION BOX
(j-box & electrical hook-up
BY CUSTOMER)
• SEAL WALL PENETRATIONS W/
CONSTRUCTION-GRADE
SILICONE CAULK

CLADDING
5/8" SHEATHING
2 LAYER BLDG. PAPER

3/4" SHEATH BACKING
BEHIND SIGN

RAINTIGHT DEVICE BOX,
2 GANG (TRE21H7-1)
C/W ALUMINUM COVER (TRES44OE)
(3) LETTERS WIRED IN EACH BOX

METAL STUD WALL



SIGN 2

• LED ILLUMINATED CHANNEL LETTERS

FOR TOGGLE-BOLTED
INSTALLATION

LMG Lucid Mgmt Group

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
support@lucidmanagementgroup.com

DATE: November 25, 2010

SKETCH: LM10-225-R_MR5

SALES: Leslie Ivens

ARTIST: CAM

SCALE: NTS

PAGE: 13 OF 13

Customer Approval

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4	AUG 15 - ADDED NOTE FOR PLACEMENT OF SIGN 2

MASTER MASTER SIGN OFF
DATE OF MASTER: OCT 20, 2011 SALES REP

MASTER REVISION HISTORY

1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR4-OCT 25-11- NO CHANGE TO THIS PAGE
MR5	OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719

*AGENT TO ENSURE ALL FASTENING /ELECTRICAL SUPPLY WALL PENETRATIONS ARE SEALED WITH A DYNOMIC (POLYURETHANE) SEALANT

SIGN #3

MANUFACTURE AND INSTALL... EXTERIOR

S/F Non - Illuminated Specialty Shop Sign

Overall Size: 2'-0" x 4'-0"

CONSTRUCTION:

- SUBSTRATE: 1/8" broken alum. pan...broken top, bottom, sides... welded corners... painted satin black
- PANELS: 3/16" waterjet-cut corten w/ white plex pushed-thru copy...1/16" proud
- BACKER: 1/8" white plex
- MOUNTING: Socket cap screws (Alan wrench)

GRAPHICS

COPY: White...as shown
PANELS: Corten

COLOUR DATA

PAINT: Satin Black, colour to match panel alt.

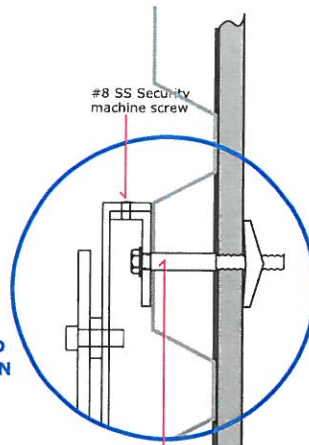
See Page 3 & 7 for Placement on Building



1" = 1'-0"

TYPICAL METHOD OF INSTALLATION

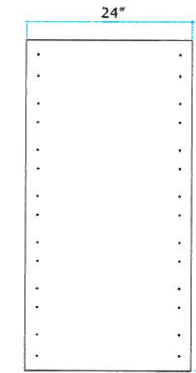
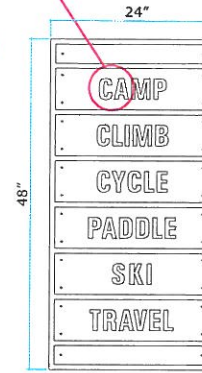
- Toggle bolt with rigid PVC spacer:
• Spacer to terminate on front side of sheathing



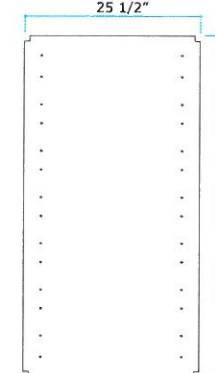
See Detail A

See Detail B

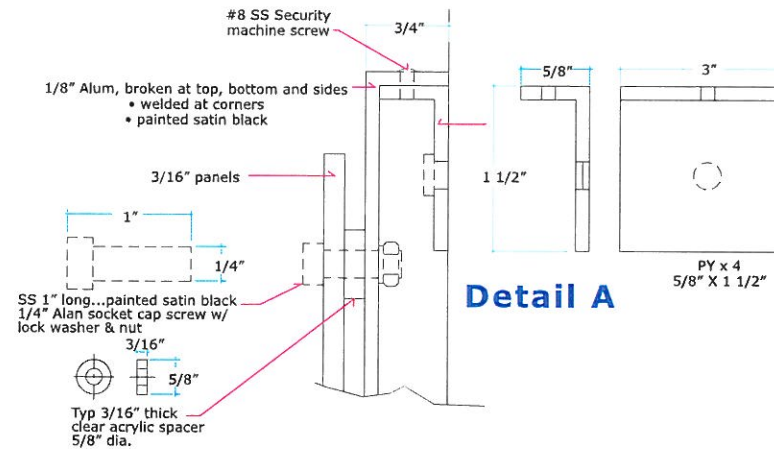
NOTE: Holes in back panels allow installation of blades in both configurations



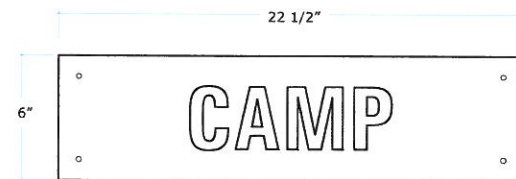
Finished Layout Backer



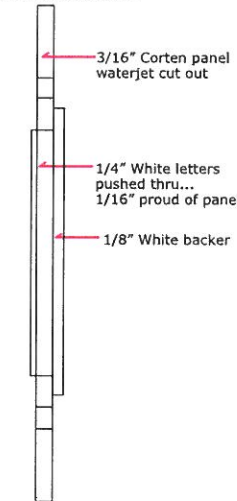
Cut Layout Backer



Detail B



FULL-SIZE SECTION



SIGN #3

SPECIALTY SHOP SIGN
NON-ILLUMINATED
8.0 sq.ft

LMG Lucid Mgmt Group

8105 Birch Bay Square St, Suite #205
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Phone: 425-455-1100
support@lucidmanagementgroup.com

DATE: November 25, 2010

SKETCH: LM10-225-R_MRS

SALES: Leslie Ivens

ARTIST: CAM

SCALE: AS NOTED

PAGE: 4 OF 13

Customer Approval

Landlord Approval

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4	AUG 15 - ADDED NOTE FOR PLACEMENT OF SIGN 2

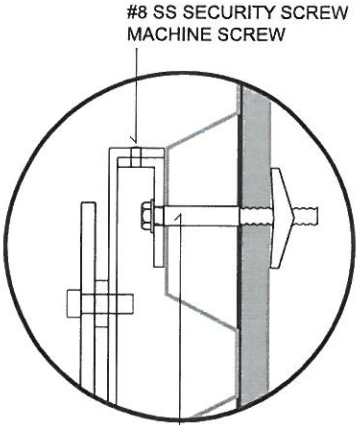
MASTER	
DATE OF MASTER: OCT 20, 2011	SALES REP.

MASTER REVISION HISTORY	
1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR5-OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719

TYPICAL INSTALLATION METHOD

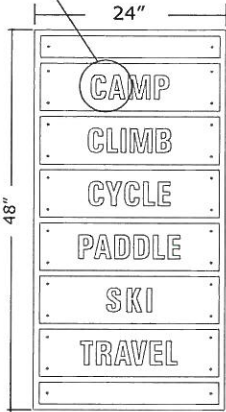


#8 SS SECURITY SCREW
MACHINE SCREW

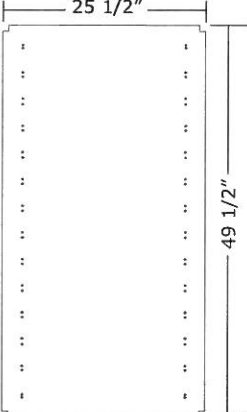
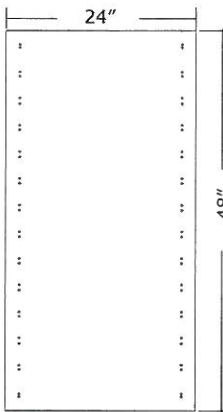
TOGGLE BOLT W/ RIGID PVC SPACER:
SPACER TO TERMINATE ON FRONT SIDE
OF SHEATHING

SEE DETAIL A

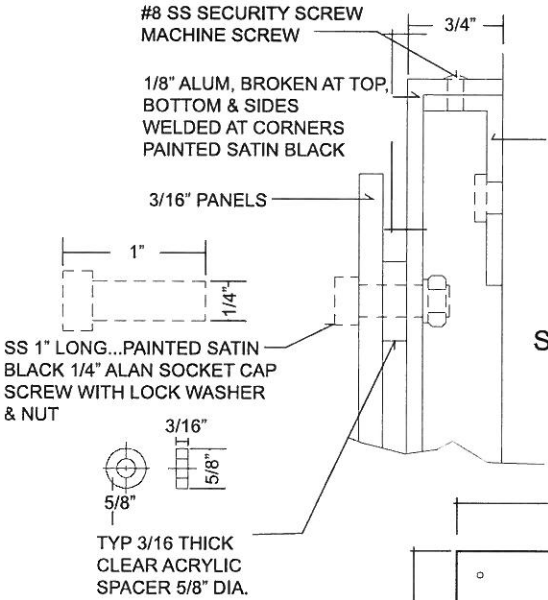
SEE DETAIL B



FINISHED LAYOUT BACKER

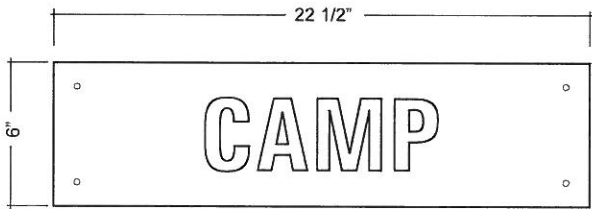


CUT LAYOUT BACKER

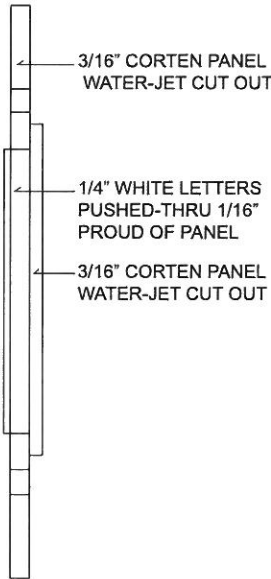


SEE DETAIL A

SEE DETAIL B



FULL-SIZE SECTION



SIGN 3
SPEC. SHOP SIGNAGE
SIX ITEM PANEL
NON-ILLUMINATED
CONSTRUCTION

NOTE: HOLES IN BACK PANELS ALLOW
INSTALLATION OF BLADES IN BOTH CONFIGURATIONS

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
support@lucidmanagementgroup.com

DATE: November 25, 2010
SKETCH: LM10-225-R_MR5
SALES: Leslie Ivens
ARTIST: CAM
SCALE: NTS
PAGE: 11 of 13

Customer Approval

Landlord Approval

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properties of materials.

REVISION HISTORY (PRIOR TO MASTER PRINT)	
1	APR 27-11 removed "R" trademark
2	MAY 4-11 ADDED DRAWINGS OF WEST & SOUTH ELEVATIONS.
3	AUG 5-11 ADDED DIM FROM BOTTOM OF SIGN TO GRADE
4	AUG 15 - ADDED NOTE FOR PLACEMENT OF SIGN 2



MASTER REVISION HISTORY	
1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR4-OCT 25-11- NO CHANGE TO THIS PAGE MRS-OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719

Sign #4

INSTALL... EXTERIOR

NOTE: WE WILL RE-USE THE SIGN LOGO THAT IS BEING REMOVED FROM THE NORTH ELEVATION

ILLUMINATED CABINET

6'-6" x 8'-8" - Halo lit cabinet with push thru copy



EXISTING

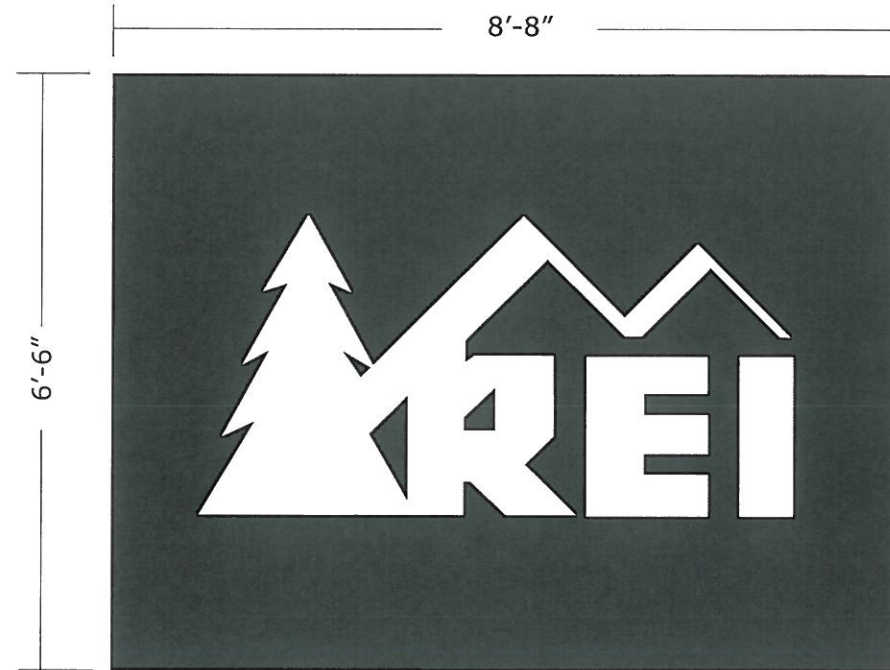


PROPOSED



SIGN 4

- ILLUMINATED CABINET
- 56.33 sq.ft



EXISTING



PROPOSED

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
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DATE: November 25, 2010
SKETCH: LM10-225-R_MR5
SALES: Leslie Ivens
ARTIST: CAM
SCALE: 1/2" = 1'-0"
PAGE: 5 OF 13

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MASTER SIGN OFF
DATE OF MASTER: OCT 20, 2011
SALES REP

1	SEPT 26,11-R2
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR5-OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719

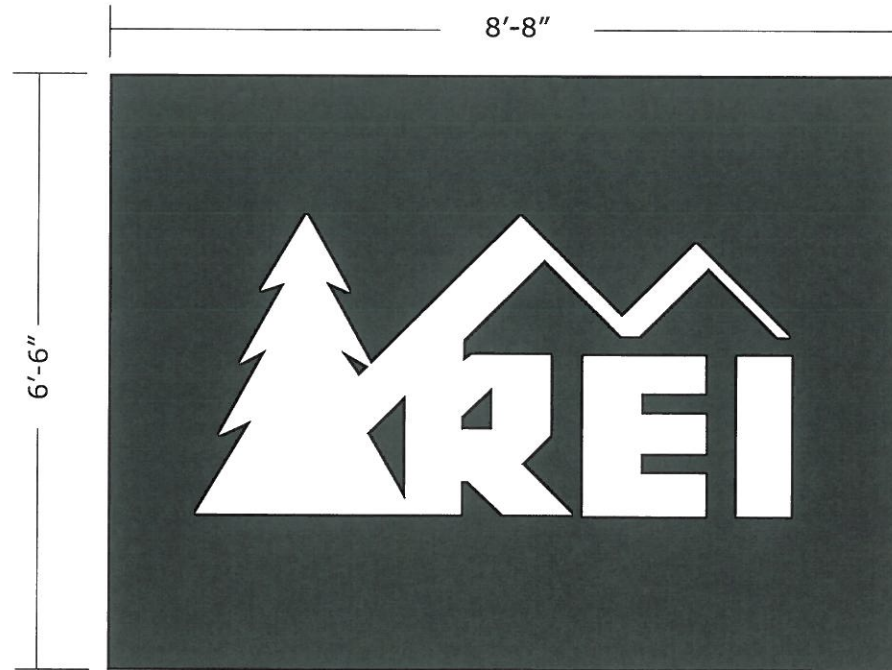
Sign #5

ILLUMINATED CABINET

6'-6" x 8'-8" - Halo lit cabinet with push thru copy



EXISTING SIGN - TO REMAIN



SIGN 5

• ILLUMINATED CABINET

• 56.33 SQ FT

LMG Lucid Mgmt Group

8105 Birch Bay Square St, Suite #205
Blaine, WA 98230
Phone: 425-455-1100
support@lucidmanagementgroup.com

DATE: November 25, 2010

SKETCH: LM10-225-R_MR5

SALES: Leslie Ivens

ARTIST: CAM

SCALE: 1/2" = 1'-0"

PAGE: 6 OF 13

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MASTER SIGN OFF	
DATE OF MASTER: OCT 20, 2011	SALES REP

MASTER REVISION HISTORY	
1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR5-OCT 27-11-NO CHANGE TO THIS PAGE



BRANCH #048
7483 W. Towne Way
Madison, WI 53719

Sign 6

LOCATED AT WEST TOWNE WAY ENTRANCE

Existing Sign to Remain



SIGN 6

EXISTING D.F. PYLON SIGN

47.5 SQ FT per FACE

LMG Lucid Mgmt Group

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MASTER DATE OF MASTER: OCT 20, 2011	MASTER SIGN OFF SALES REP
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MASTER REVISION HISTORY

1	
2	MR3-OCT 20-11-NO CHANGE TO THIS PAGE
3	MR5-OCT 27-11-NO CHANGE TO THIS PAGE



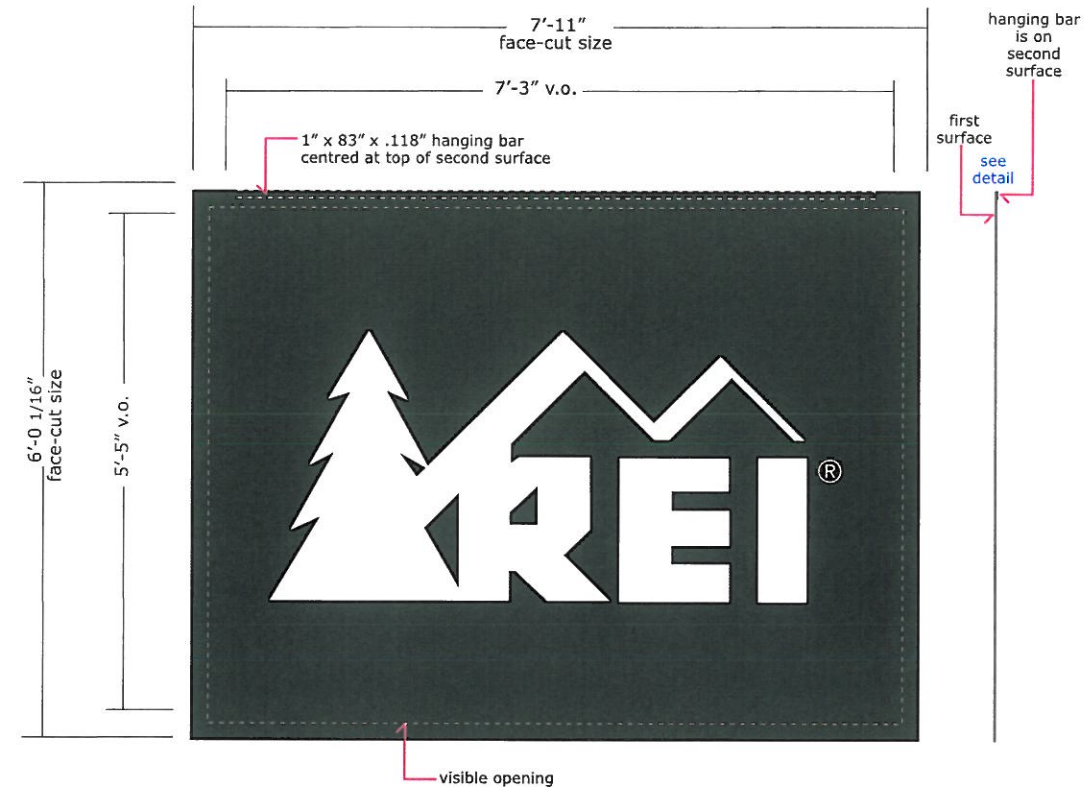
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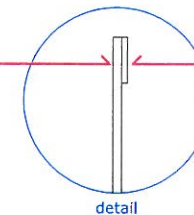
EXISTING



EXISTING



FIRST SURFACE
.177" thick flat white lexan



detail

1" x 83" x .118" hanging bar
centred at top of second surface



RECREATIONAL
EQUIPMENT, INC.













INTERNATIONAL
INC.

