

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>9-14-11</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>9-21-11</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 8301 OLD SAUK ROAD  
ALDERMANIC DISTRICT: 9

OWNER/DEVELOPER (Partners and/or Principals)	ARCHITECT/DESIGNER/OR AGENT:
<u>ARTIC ANGEL PLACES, INC.</u>	<u>COMMUNITY LIVING SOLUTIONS, LLC</u>
<u>640 JUNCTION ROAD</u>	<u>2801 E. ENTERPRISE AVE. #202</u>
<u>MADISON, WI 53717</u>	<u>APPLETON, WI 54913</u>

CONTACT PERSON: DUANE HEALWIG  
Address: CLS - SAME AS ABOVE  
Phone: 920-209-7514  
Fax: 920-209-969-9345  
E-mail address: DHEALWIG@COMMUNITYLIVING SOLUTIONS.COM

**TYPE OF PROJECT:**

(See Section A for:)

- ☒ Planned Unit Development (PUD)  
☒ General Development Plan (GDP)  
☒ Specific Implementation Plan (SIP)  
\_\_\_\_ Planned Community Development (PCD)  
\_\_\_\_ General Development Plan (GDP)  
\_\_\_\_ Specific Implementation Plan (SIP)  
\_\_\_\_ Planned Residential Development (PRD)  
\_\_\_\_ New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)  
\_\_\_\_ School, Public Building or Space (Fee may be required)  
\_\_\_\_ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.  
\_\_\_\_ Planned Commercial Site

(See Section B for:)

- \_\_\_\_ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- \_\_\_\_ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- \_\_\_\_ Comprehensive Design Review\* (Fee required)  
\_\_\_\_ Street Graphics Variance\* (Fee required)  
\_\_\_\_ Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

August 3, 2011

Plan Commission  
City of Madison  
215 Martin Luther King Jr. Boulevard  
Room LL-110  
Madison, Wisconsin 53701-2985

RE: Letter of Intent, Attic Angel Place Addition

To Whom It My Concern:

The following information is submitted as required for an application of an amendment to a PUD-GDP/SIP zoning for Attic Angel Place, Inc., a development that provides services for elderly residents. Currently, Attic Angel Place and the neighboring assisted living facility titled, The Haven, provides continuum of care services for elders including apartments with services, assisted living, memory care and skilled nursing.

The existing Attic Angel Place facility consists of 74 apartments, 36 assisted household units and 36 individual skilled nursing suites in a combination of private and semi-private living arrangements accommodating 44 licensed beds. Adjacent to Attic Angel Place, The Haven is an existing community-based-residential-facility consisting of 20 units/22 beds providing memory care in an assisted living environment.

The proposed addition to Attic Angel Place will be comprised of an additional 24 assisted household units, 14 private skilled nursing suites and an inpatient/outpatient physical therapy center. As part of connecting the addition to the existing building a total of 6 existing skilled nursing suites and 4 assisted household units will be converted to common living space resulting in a net gain of 8 skilled nursing suites and 20 assisted household units. The addition of the 8 nursing suites will result in all 44 beds within the Health Center being private units.

**Construction Schedule:**

The construction of the addition is anticipated to begin in the Fall of 2011 with completion by Fall of 2012.

**List of Individuals and Firms Involved in the Project:**

Architect and Construction Manager:  
Community Living Solutions, LLC  
Contact: Duane Helwig, AIA  
2801 East Enterprise Avenue, Suite 202  
Appleton, Wisconsin 54913  
920-969-9344 x7514  
920-969-9345 (fax)  
[dhelwig@communitylivingsolutions.com](mailto:dhelwig@communitylivingsolutions.com)

Civil Engineer:  
Snyder and Associates  
Contact: Michael Calkins, P.E.  
5010 Voges Road  
Madison, Wisconsin 53718  
608-838-0444 x223  
[mcalkins@snyder-associates.com](mailto:mcalkins@snyder-associates.com)

Landscape Architect:

The Bruce Company  
Contact: Rich Carlson  
2830 Parmenter Street  
Middleton, Wisconsin 53562  
608-836-7041 x253  
608-831-6266 (fax)  
[RCarlson@brucecompany.com](mailto:RCarlson@brucecompany.com)

Mechanical, Electrical and Plumbing Engineer:

Muermann Engineering  
Contact: Curt Krupp  
116 Fremont Street  
Kiel, Wisconsin 53042  
920-894-7800  
920-894-7916 (fax)  
[curt@me-pe.com](mailto:curt@me-pe.com)

**Building and Property Information:**

Total Site Area: 401,703 square feet (9.22 acres)  
Total Proposed Project Areas: 41,818 square feet (0.96 acre)

Total Combined Existing Building Area (all floor levels): 199,329 square feet  
Total Addition Building Area (all floor levels): 42,380 square feet

Existing Attic Angel Place: 184,025 square feet

- Licensed RCAC one and two bedroom apartments: 74
- Licensed assisted living one bedroom household apartments: 36 (4 apartments will be removed as part of addition)
- Licensed skilled nursing facility: 36 suites, 44 beds. (6 suites, 8 beds will be removed as part of addition)

Existing Haven Assisted Living: 15,304 square feet

- Licensed CBRF dedicated to memory care: 20 units/22 beds

Proposed Addition:

- Skilled Nursing Facility: 14 units; 9,664 square feet (first floor)
- Physical Therapy Center: 2,000 square feet (first floor)
- Licensed assisted living, one bedroom household apartments: 12 apartments; 10,336 square feet (second floor)
- Licensed assisted living, one bedroom household apartments: 12 apartments; 10,336 square feet (third floor)
- Campus and Resident Storage: 10,044 square feet (lower level)

**Parking:**

EXISTING REQUIRED:

SKILLED NURSING	
36 UNITS X .5 CARS/UNIT	18 CARS
HOUSEHOLDS (ASSISTED LIVING)	
36 UNITS X .75 CARS/UNIT	27 CARS
APARTMENTS (RCAC)	

74 UNITS X 1 CARS/UNIT	74 CARS
HAVEN ASSISTED LIVING	
22 UNITS X .5 CARS/UNIT	11 CARS
TOTAL PARKING (REQUIRED)	130 CARS
<u>PROPOSED ADDITIONS (REQUIRED)</u>	
SKILLED NURSING	
8 UNITS (NET) X .5 CARS/UNIT	4 CARS
HOUSEHOLDS	
20 UNITS (NET) X .75 CARS/UNIT	15 CARS
TOTAL PARKING ADDITION (REQUIRED)	19 CARS
CAMPUS TOTAL (REQUIRED)	149 CARS
<u>EXISTING (ACTUAL)</u>	
SURFACE PARKING	121 CARS
UNDERGROUND PARKING	30 CARS
TOTAL PARKING (ACTUAL)	151 CARS
<u>PROPOSED ADDITION (ACTUAL)</u>	
SURFACE PARKING	25 CARS NET
<u>CAMPUS TOTAL PARKING (ACTUAL)</u>	176 CARS
<u>HANDICAPPED ACCESSIBLE STALLS</u>	
STALLS REQUIRED	7 CARS
STALLS PROVIDED (as part of total)	9 CARS

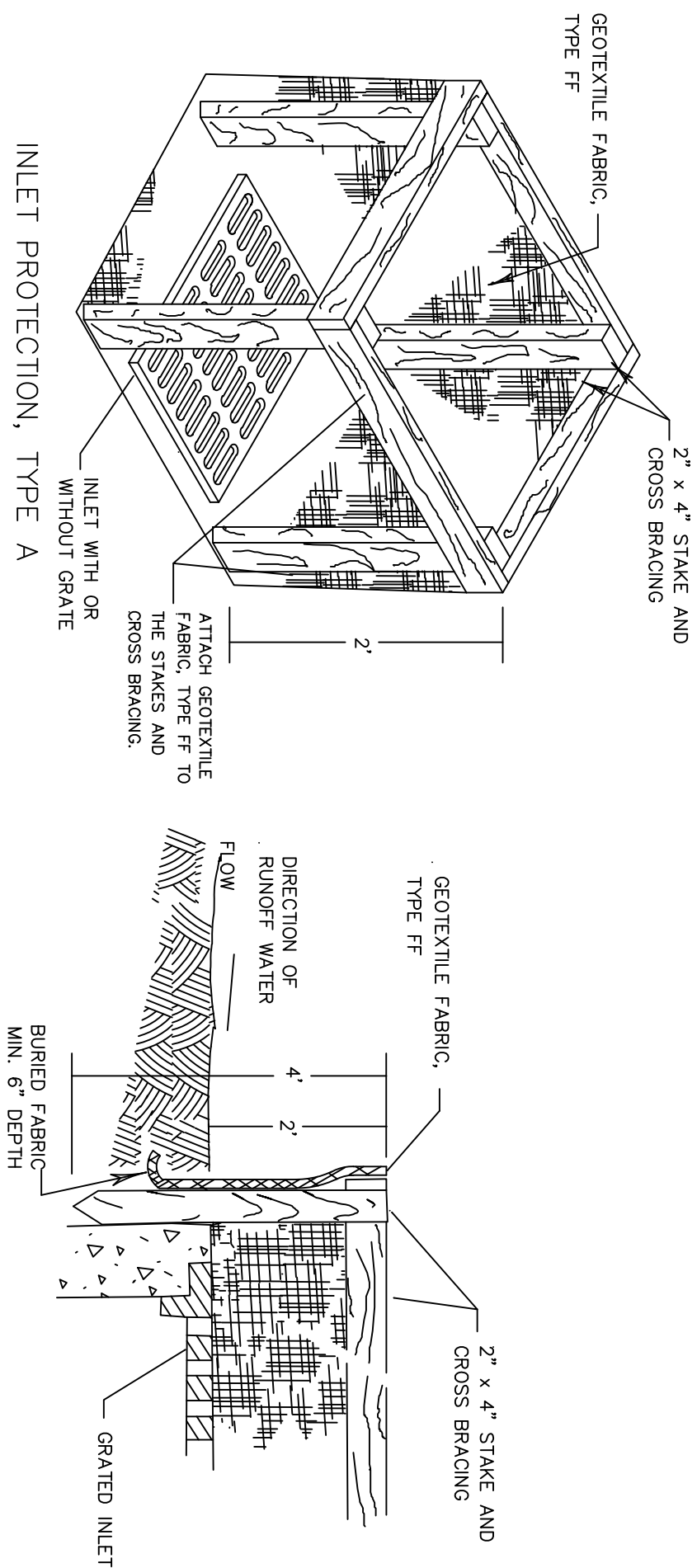
**Number of Employees:**

- Existing Health Center and Assisted Living Uses: 245
- Proposed Physical Therapy Addition: Contracted
- Proposed Assisted Living Addition: 7

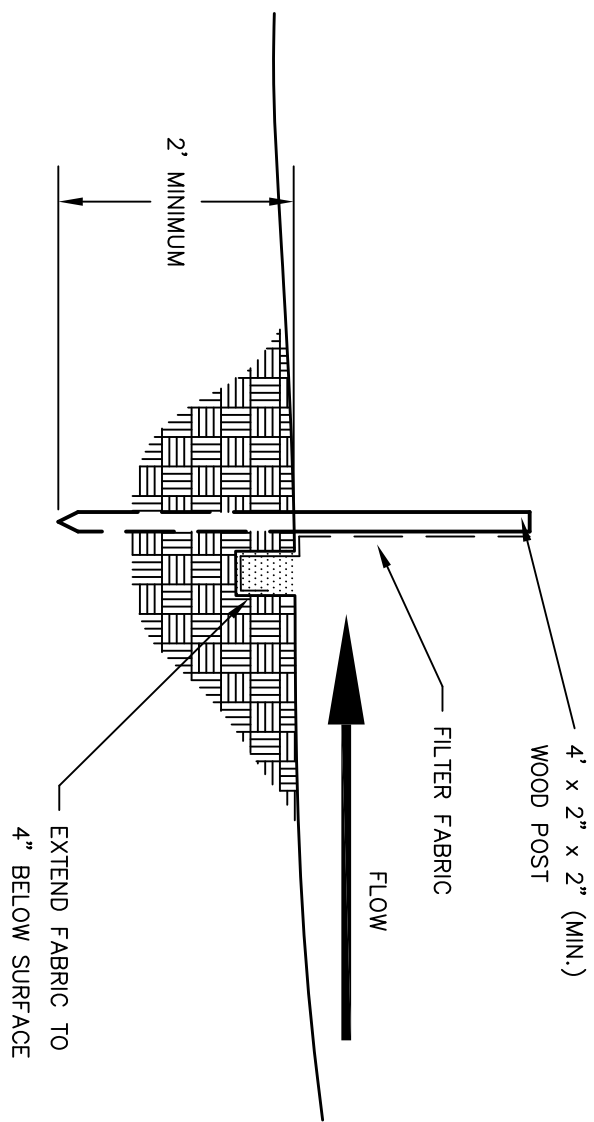
***The hours of operation are:*** 24 hours per day

***Trash removal and storage, snow removal and maintenance:*** The Association will provide for their own trash compactor, storage and removal as well as snow removal. Road maintenance will be provided per previously approved agreement.

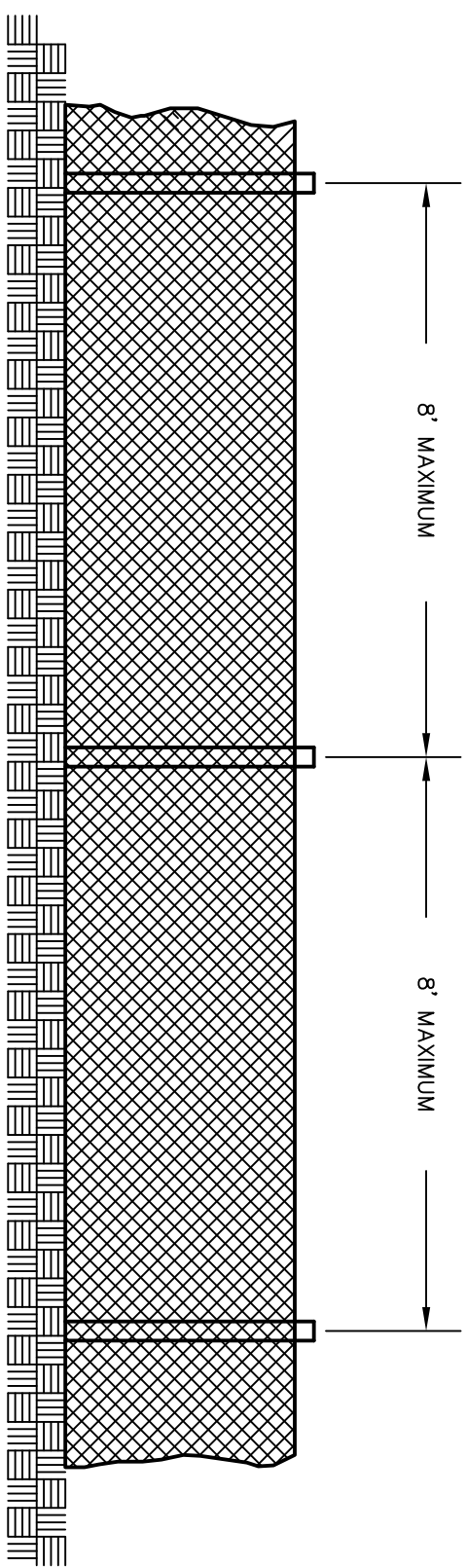




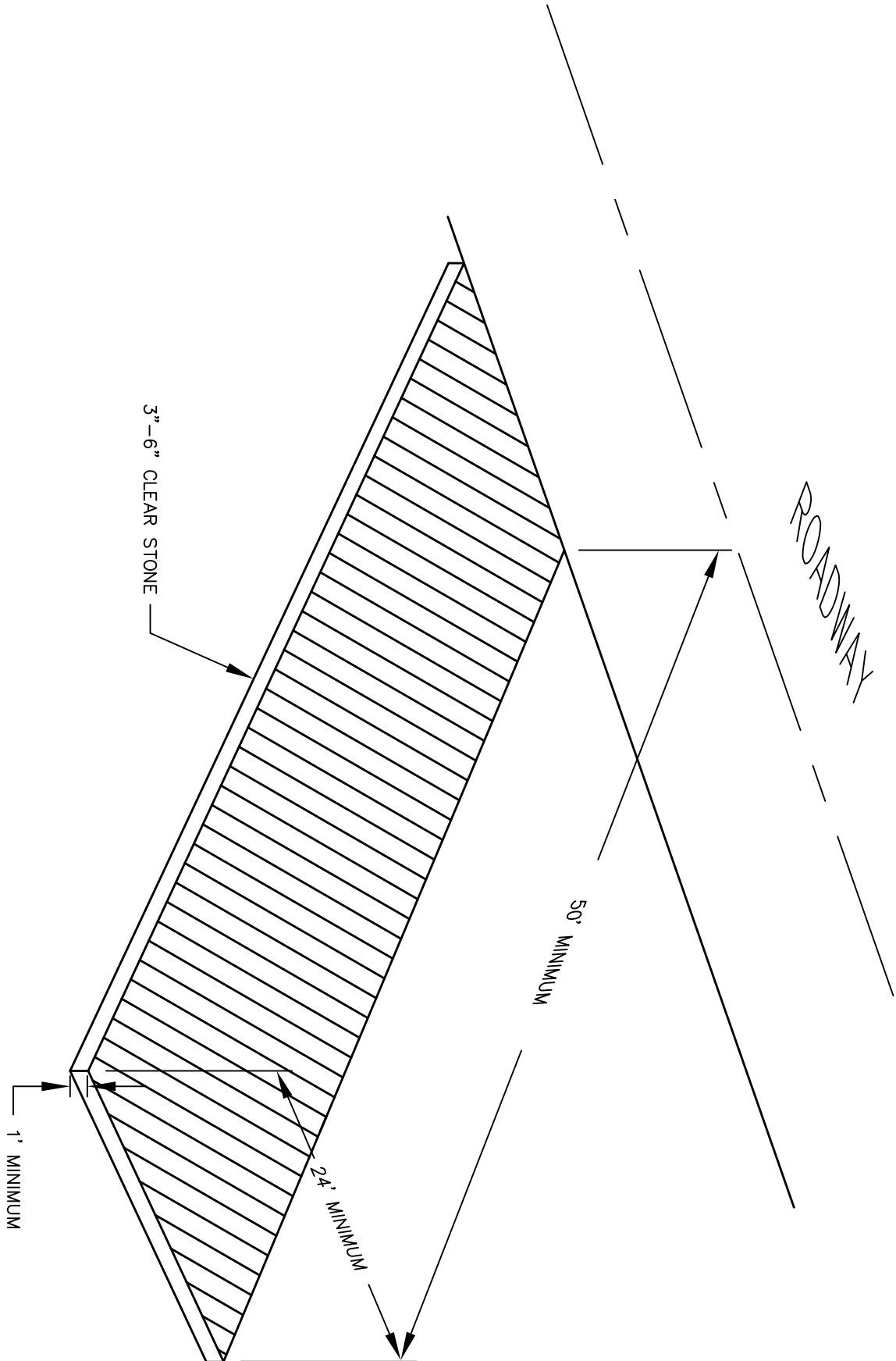
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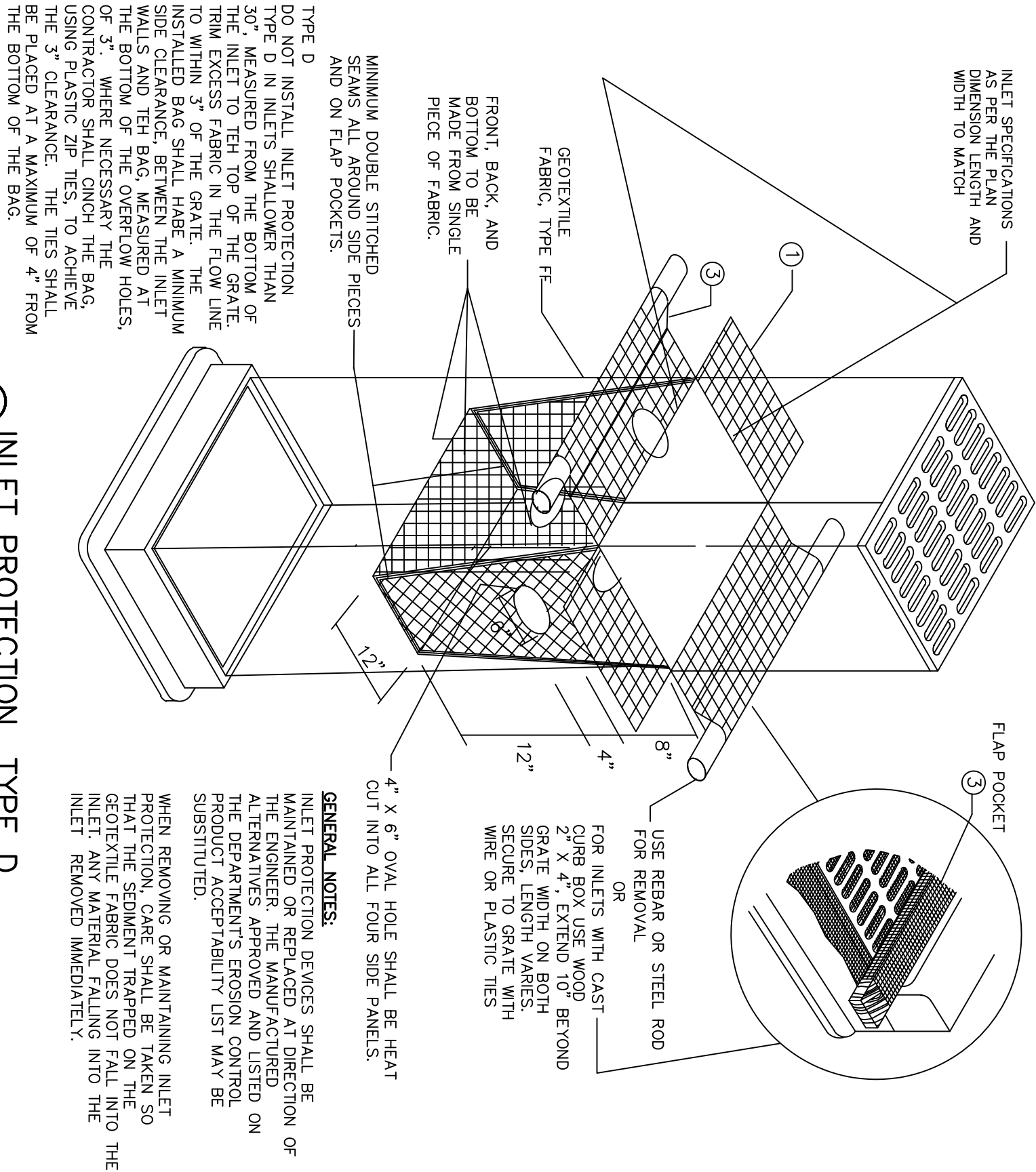
SILT FENCE CONSTRUCTION



③ SILT FENCE  
NOT TO SCALE



② STONE CONSTRUCTION ENTRANCE  
NOT TO SCALE



④ INLET PROTECTION, TYPE D  
NOT TO SCALE

## EROSION CONTROL DETAILS

Mark	Revision			Date	By
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Technician:	Date: 09-14-2011		Field Bk:	Pg:	
Project No: CLS03			Sheet C7		

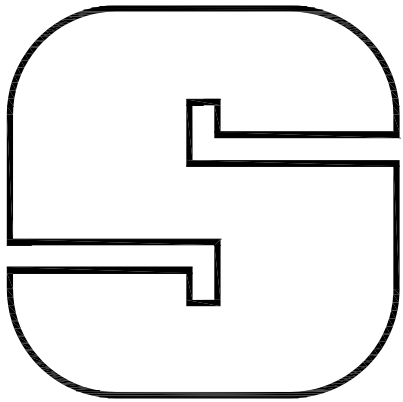
ATTIC ANGEL PLACE - ADDITION & RENOVATION

EROSION CONTROL DETAILS

SNYDER & ASSOCIATES

5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

SOUTH DAKOTA | WISCONSIN  
NEBRASKA | IOWA | MISSOURI

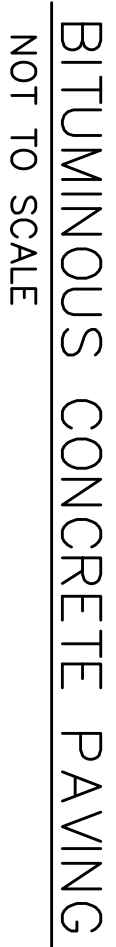
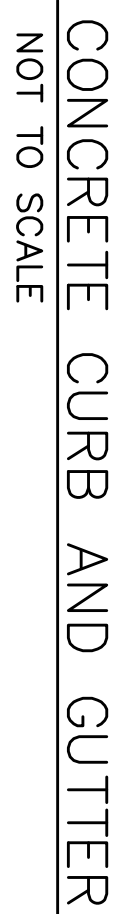
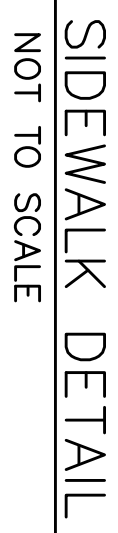


Project No.

CLS03

Sheet C7

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# ATTIC ANGEL PLACE - ADDITION & RENOVATION

## SITE DETAILS

# SNYDER & ASSOCIATES

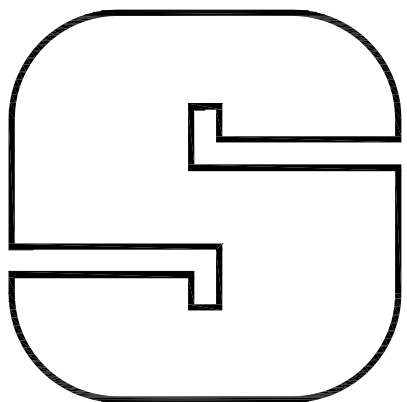
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

SOUTH DAKOTA

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NEBRASKA

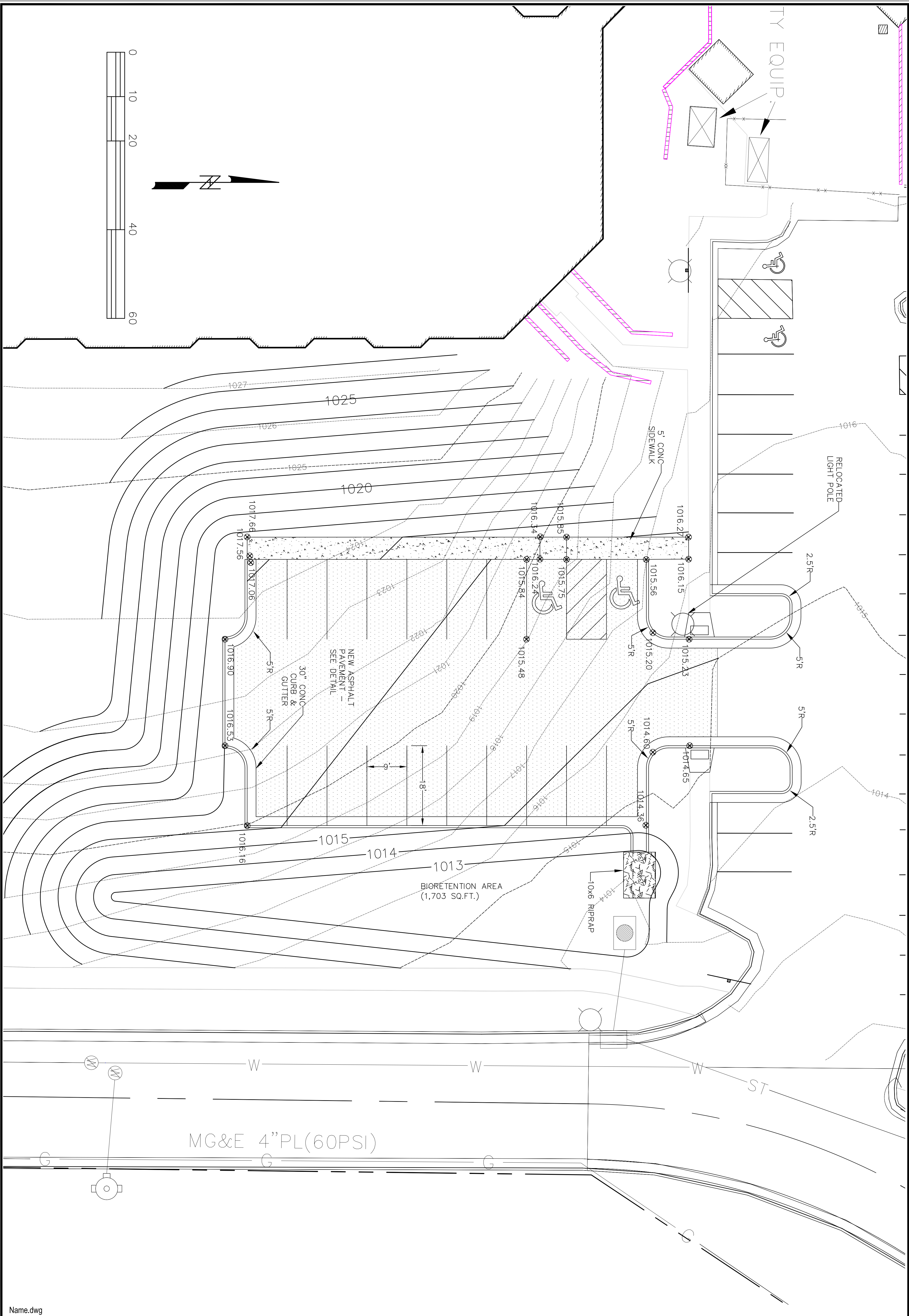
MISSOURI



Project No.

CL503

Sheet C6



Name.dwg

Sheet C5

Project No.  
CLS03

ATTIC ANGEL PLACE - ADDITION & RENOVATION

SITE & GRADING PLAN

SNYDER & ASSOCIATES

5010 VOGES ROAD  
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608-838-0444

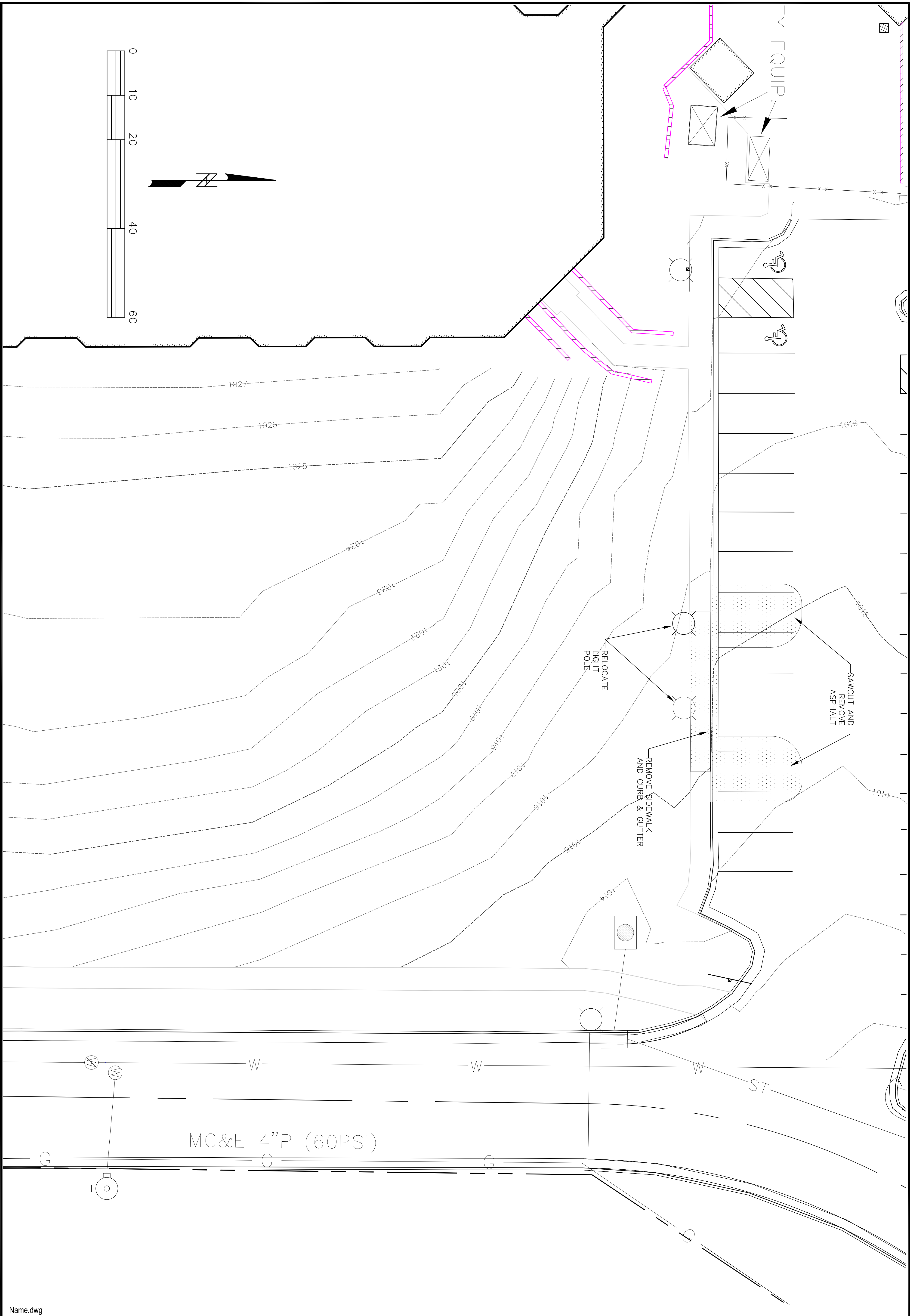
SOUTH DAKOTA

NEBRASKA

WISCONSIN

MISSOURI

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Technician:	Date: 09-14-2011	Field Bk:	Pg:
Project No: CLS03		Sheet C5	



Name.dwg

Sheet C4

Project No.  
CLS03

ATTIC ANGEL PLACE - ADDITION & RENOVATION

DEMOLITION PLAN

SNYDER & ASSOCIATES

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608-838-0444

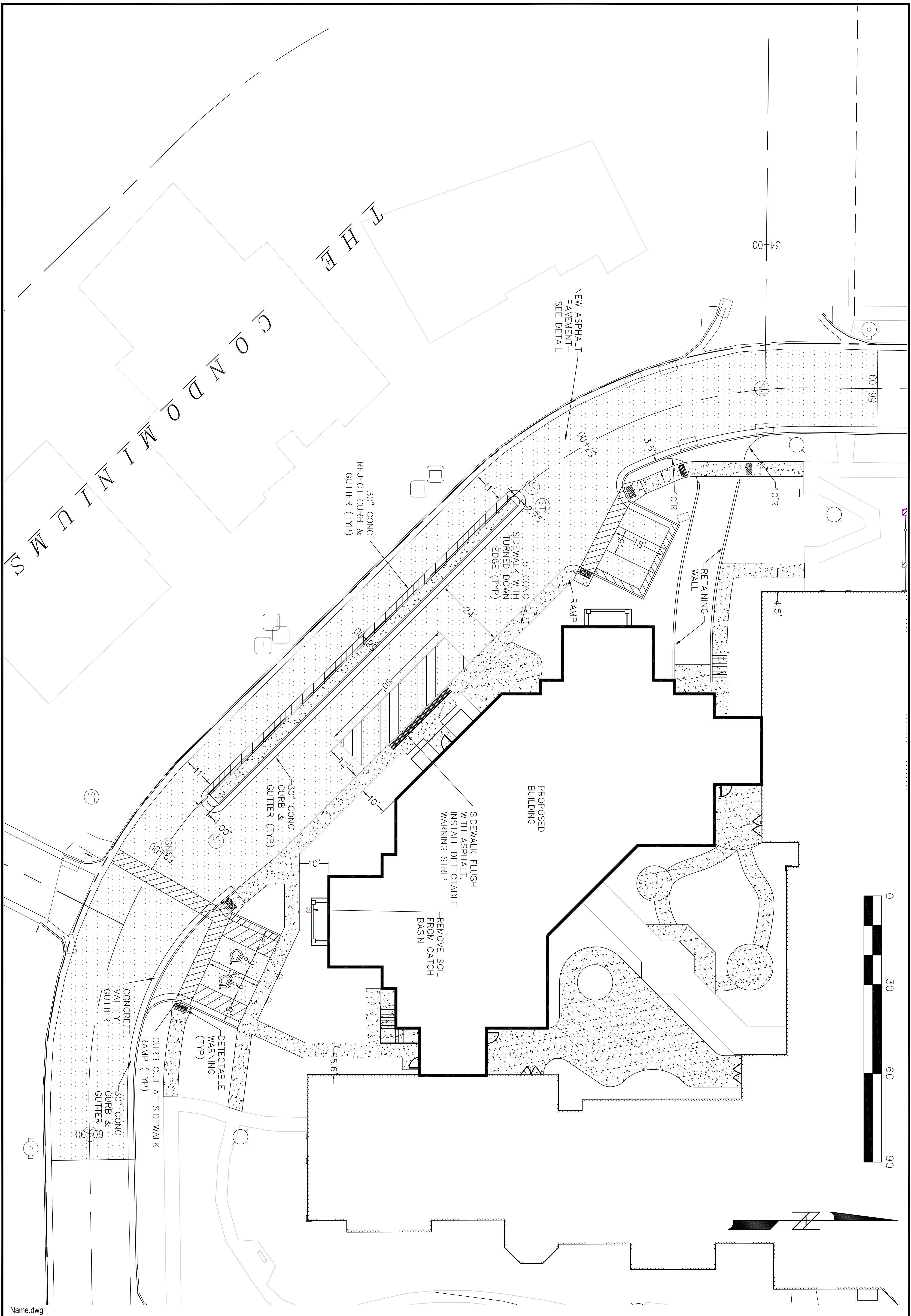
SOUTH DAKOTA  
NEBRASKA

IOWA

WISCONSIN  
MISSOURI

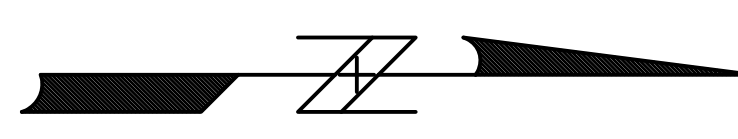
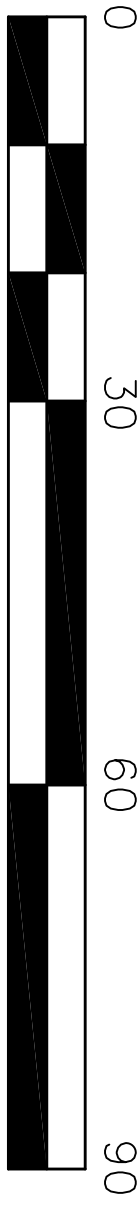
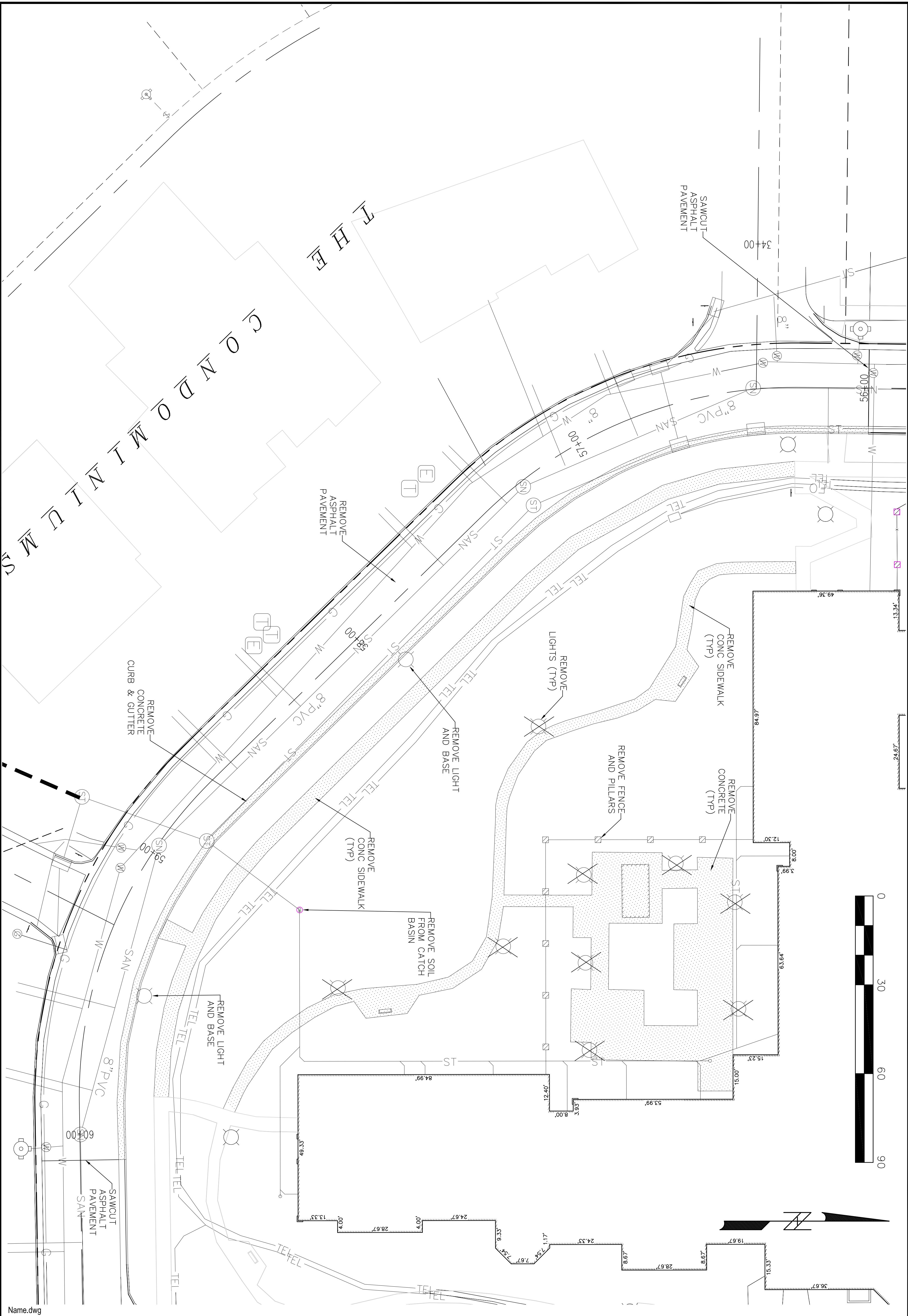
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Technician:	Date: 09-14-2011	Field Bk:	Pg:
Project No: CLS03		Sheet C4	





Name.dwg

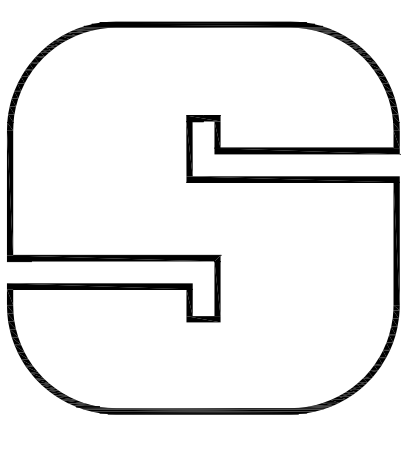
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<div>Project No: CLS03</div>		<div>Sheet C2</div>				



Name.dwg

Project No. CL503

Sheet C1



ATTIC ANGEL PLACE - ADDITION & RENOVATION

DEMOLITION PLAN

SNYDER & ASSOCIATES

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MADISON, WISCONSIN 53718  
608-838-0444

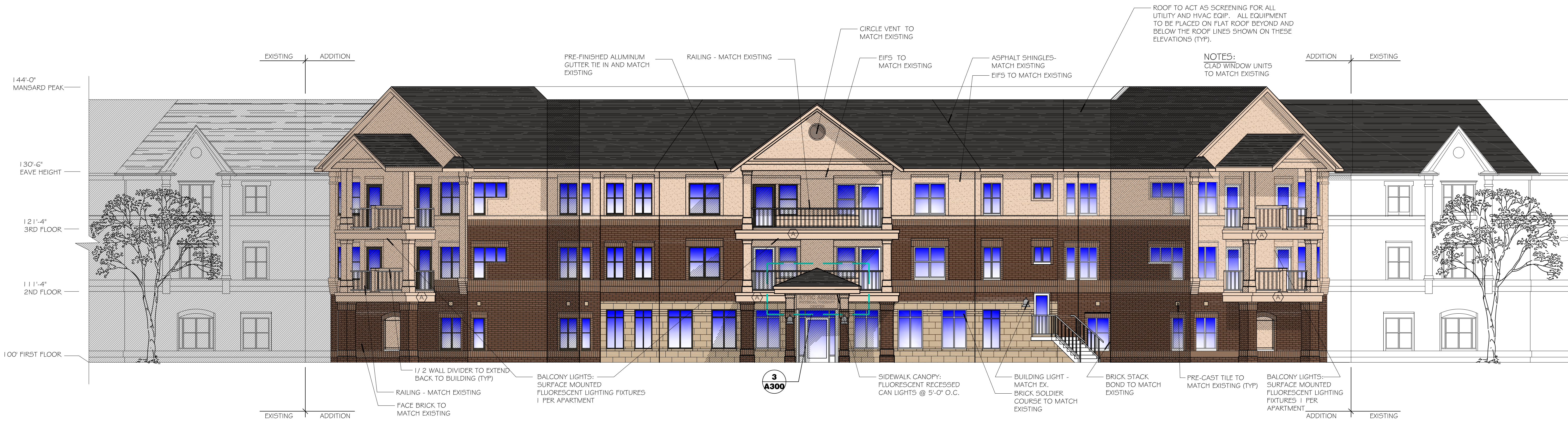
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NEBRASKA

IOWA

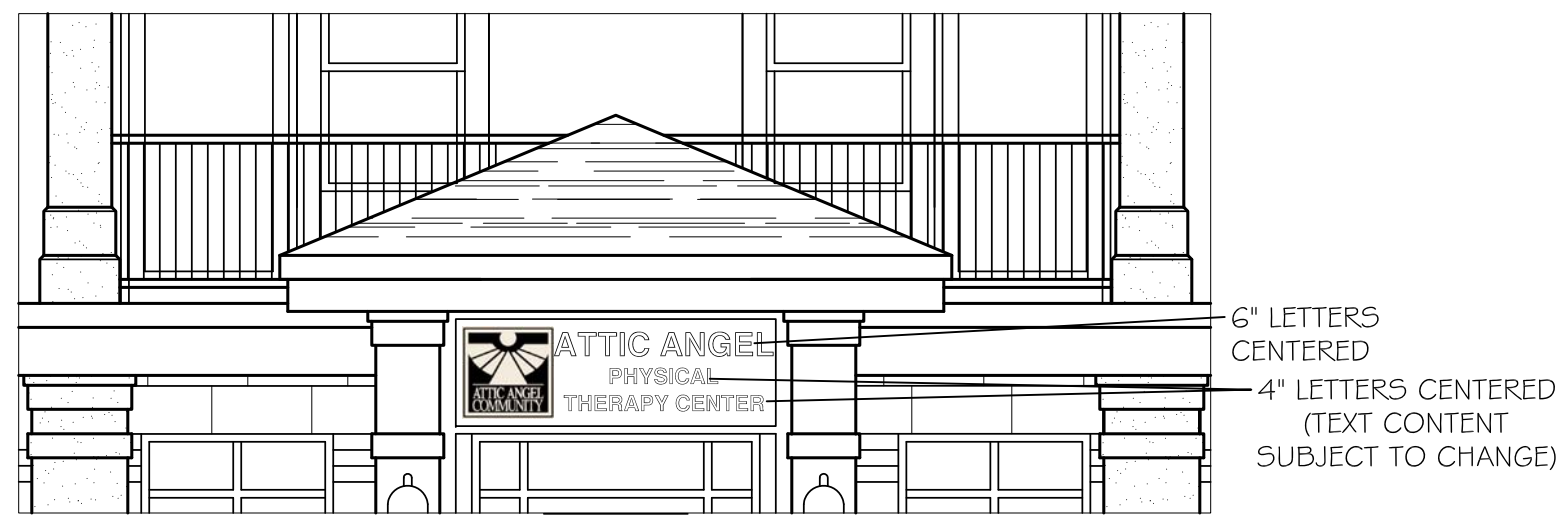
WISCONSIN  
MISSOURI

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Engineer:	Checked By:	Scale: 1" = 30'	
Technician:	Date: 09-14-2011	Field Bk:	Pg:
Project No: CL503		Sheet C1	





**1 SOUTH WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 ENLARGED BUILDING SIGN**  
SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**KEY TO NOTES THIS SHEET**

- EIFS - COLOR MATCH TO EXISTING
- SIoux CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING
- 4" FACE BRICK; ROWLOCK - SIoux CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING.
- 4" FACE BRICK; STACK - SIoux CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING.
- 1 2" FACE BRICK; SOLDIER COURSE - SIoux CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING.
- 1 2X24 & 4X24 (AS SHOWN) BURNISHED CMU VENEER - PREMIER BLOCK CORP. "LIGHT FROST"
- CERTAINTED "WEATHERWOOD" TO MATCH EXISTING
- WALL MOUNT LIGHT FIXTURE TO MATCH EXISTING
- ALUMINUM CLADDING - ROLLEX "CANVAS" TO MATCH EXISTING

REVISIONS

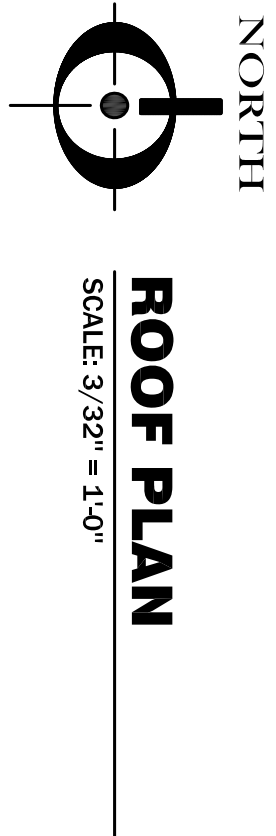
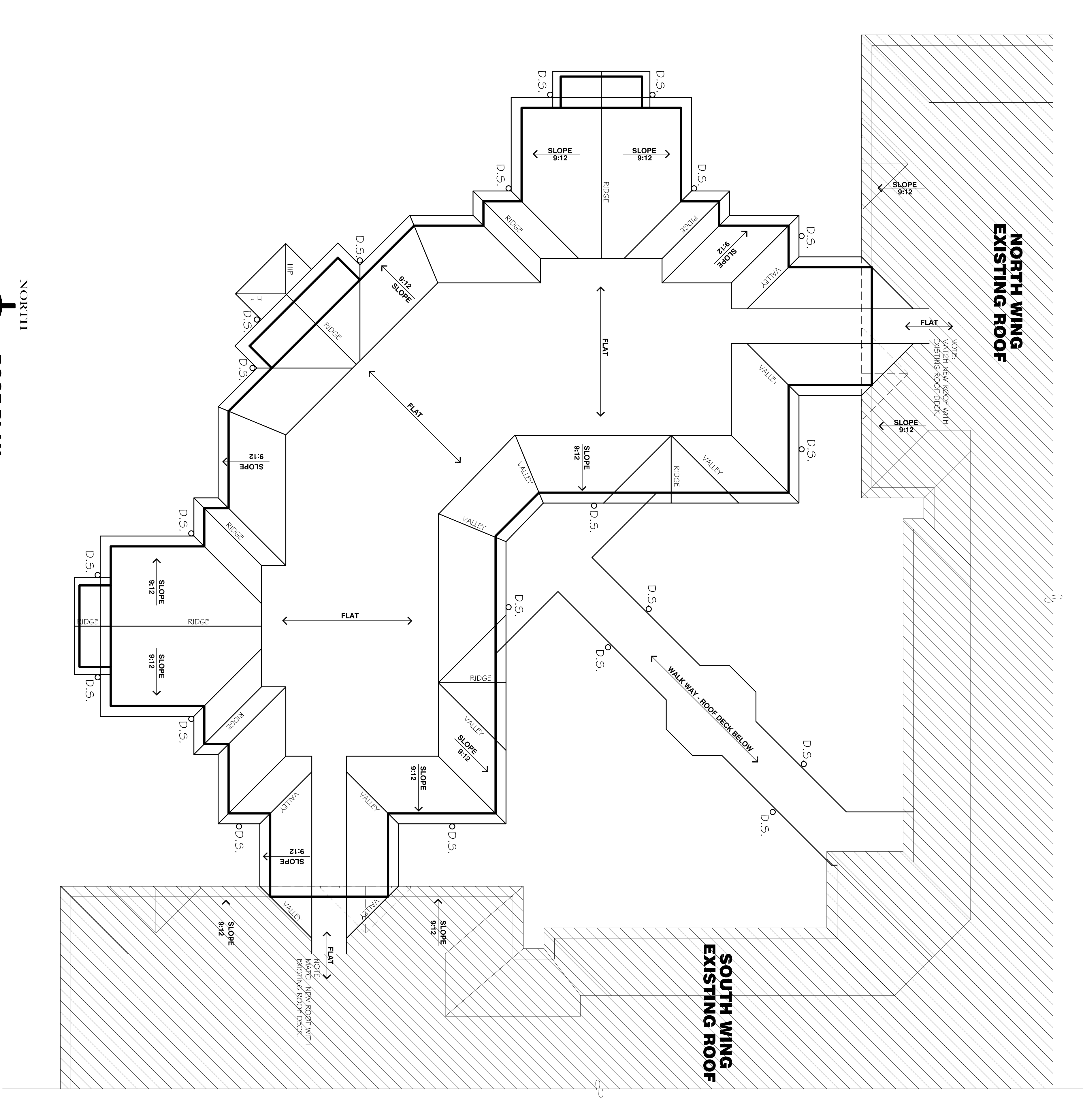
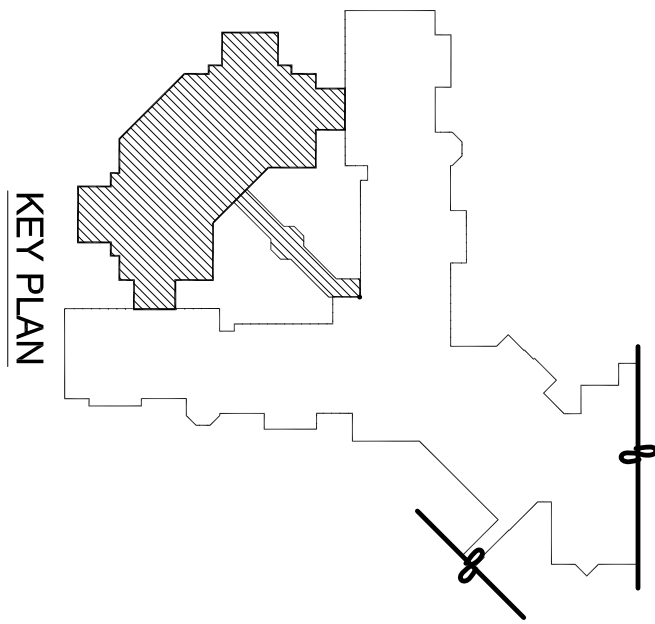
NO.	DATE	DESCRIPTION
09/13/11	UDC UPDATES	

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REHABILITATION & PHYSICAL THERAPY  
ADDITION AND REMODEL TO:  
**ATTIC ANGEL PLACE**  
8301 OLD SAUK ROAD,  
MADISON, WISCONSIN 53562

PROJECT  
**11-101**  
DATE  
**08-31-11**  
SHEET  
**A300**



PLAN COMMISSION APPLICATION

REHABILITATION & PHYSICAL THERAPY  
ADDITION AND REMODEL TO:  
**ATTIC ANGEL PLACE**  
8301 OLD SAUK ROAD,  
MADISON , WISCONSIN 53562



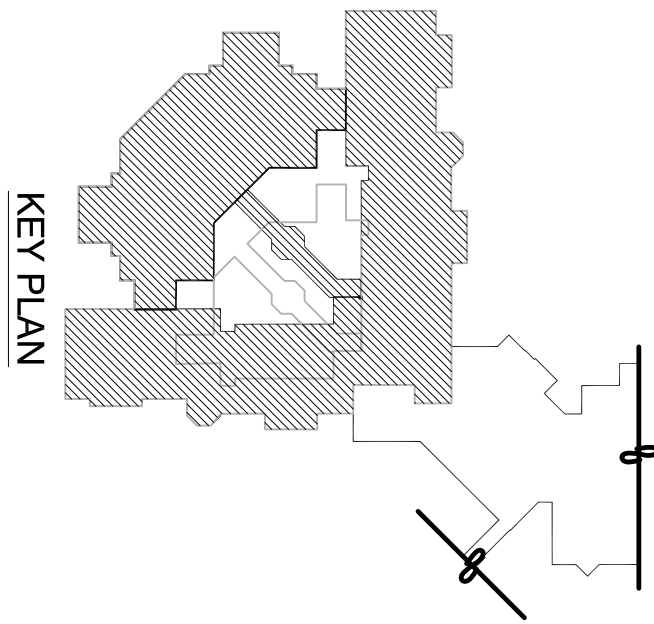
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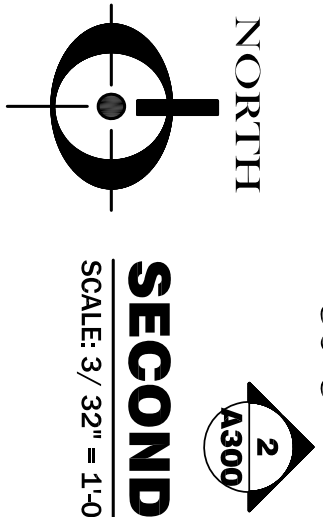
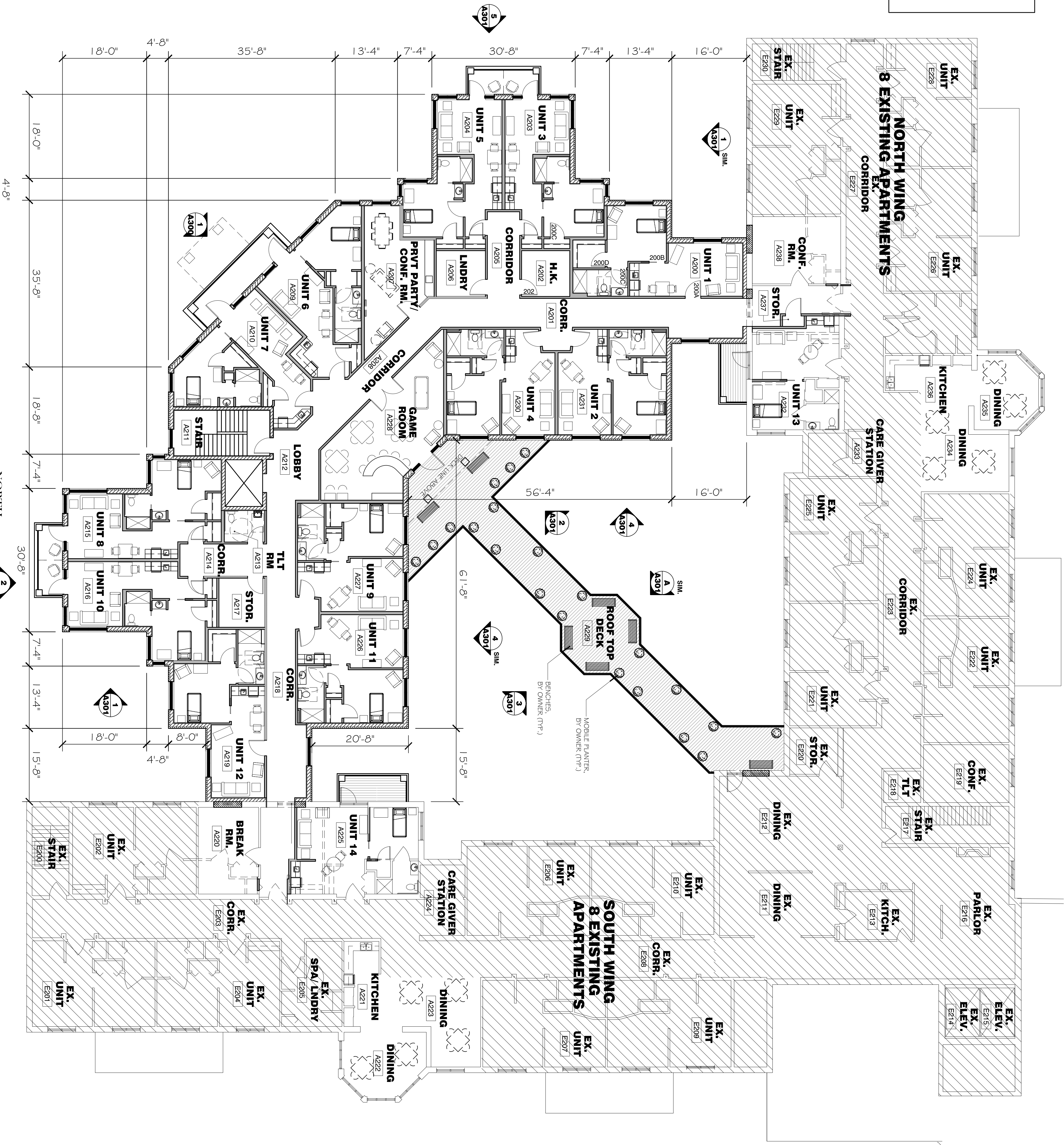
REVISIONS  
09/13/11 UDC UPDATES

PROJECT  
**11-101**  
DATE  
**08-03-11**

SHEET  
**A203**



KEY	
	NEW WALL PARTITION
	NEW EXTERIOR WALL
	DEMOLISHED WALLS, DOORS AND WINDOWS
	EXISTING STRUCTURAL BEARING WALL
	EXISTING AREAS TO REMAIN AS IS



SECOND FLOOR PLAN (THIRD FLOOR SIMILAR)

PLAN COMMISSION APPLICATION

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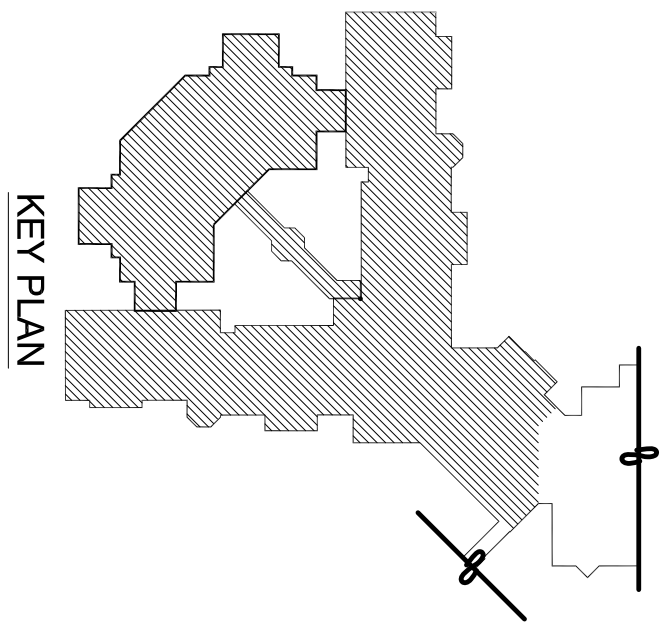
REHABILITATION & PHYSICAL THERAPY  
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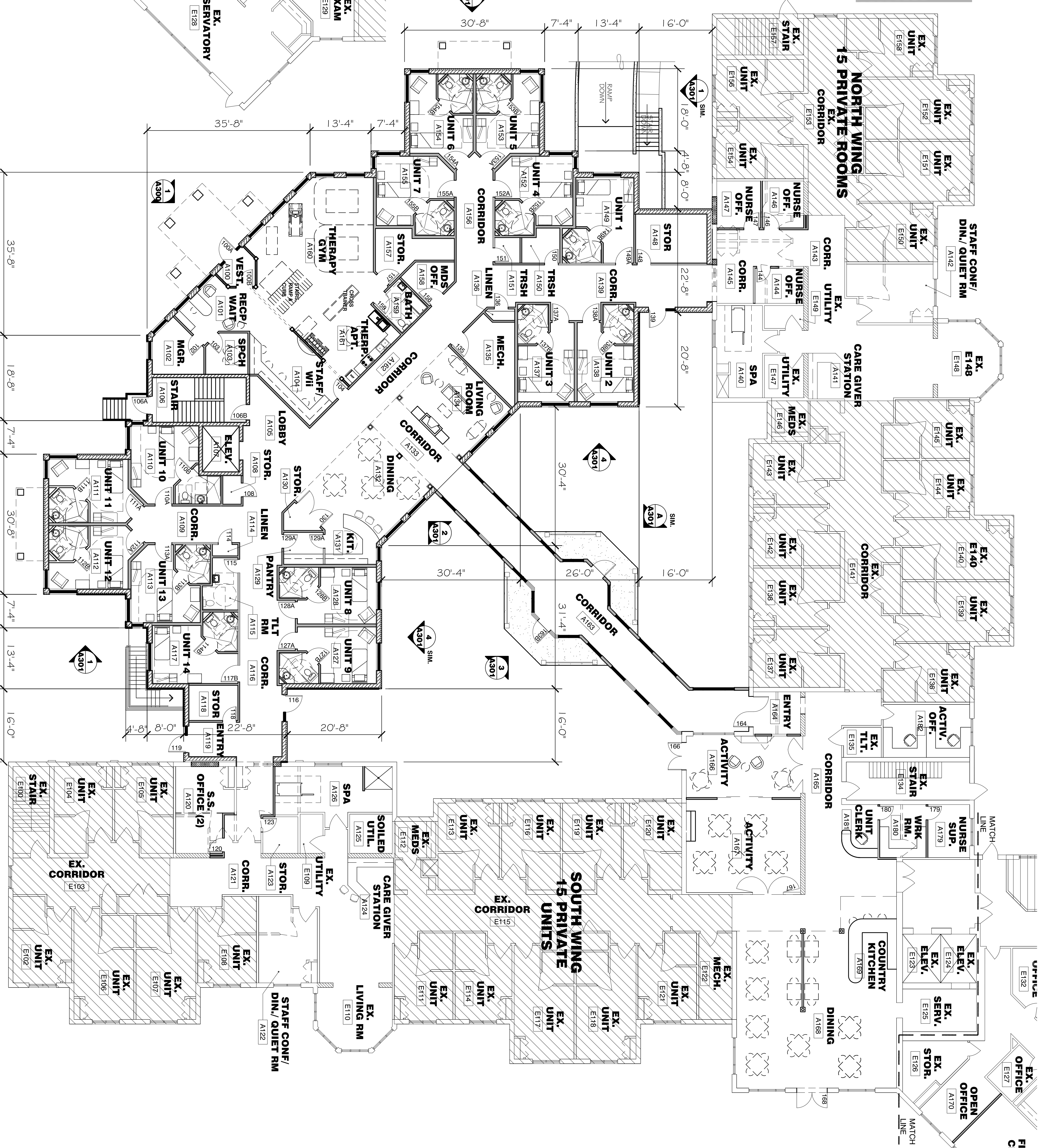
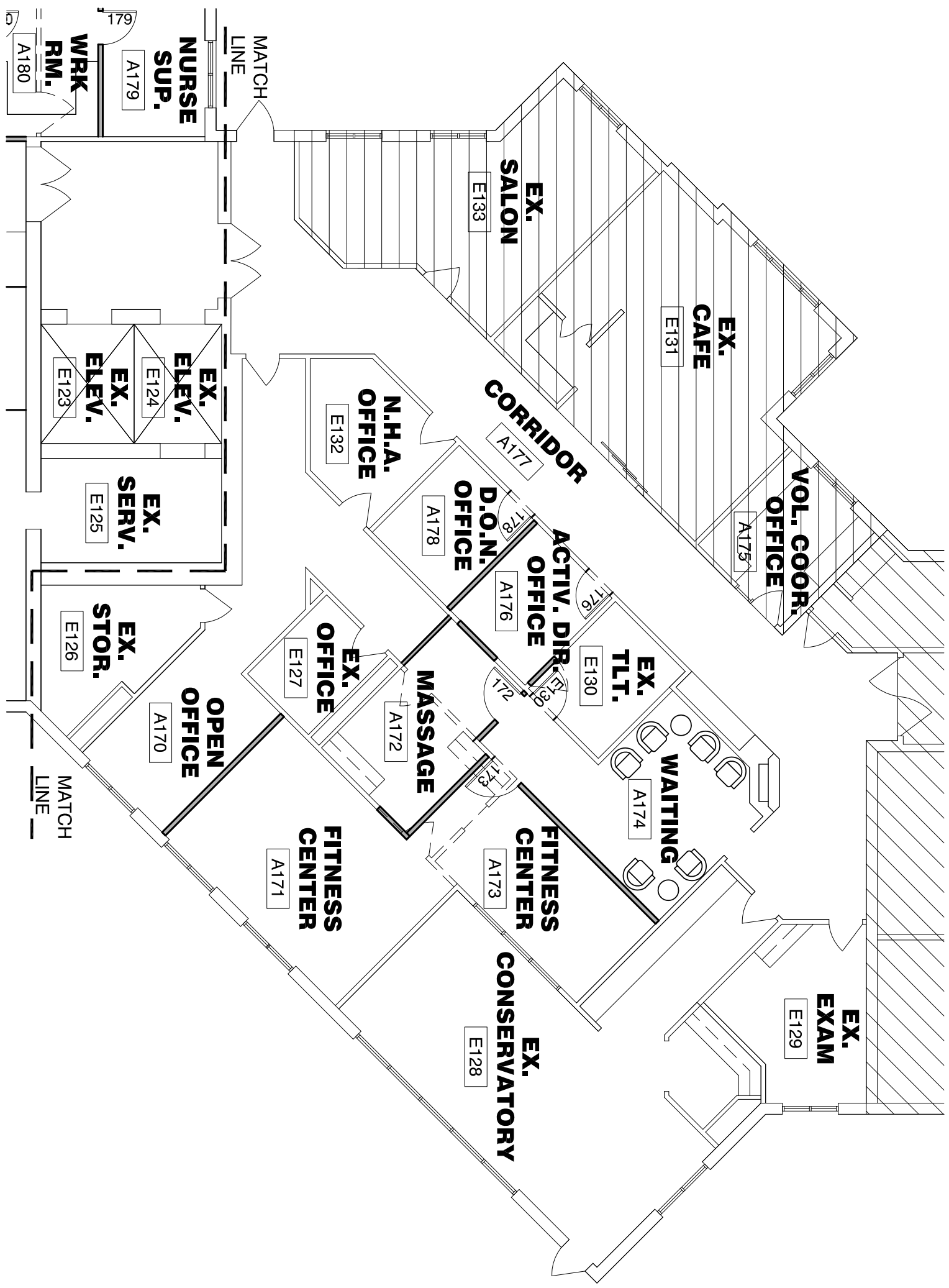
REVISIONS  
09/13/11 UDC UPDATES

PROJECT  
**11-101**  
DATE  
**08-31-11**  
SHEET  
**A202**



KEY	
	NEW WALL PARTITION
	NEW EXTERIOR WALL
	DEMOLISHED WALLS, DOORS AND WINDOWS
	EXISTING STRUCTURAL BEARING WALL
	EXISTING AREAS TO REMAIN AS IS

KEY PLAN



REVISIONS

09/13/11 UDC UPDATES

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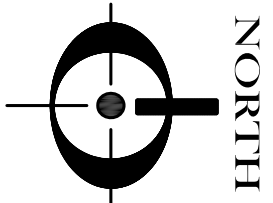
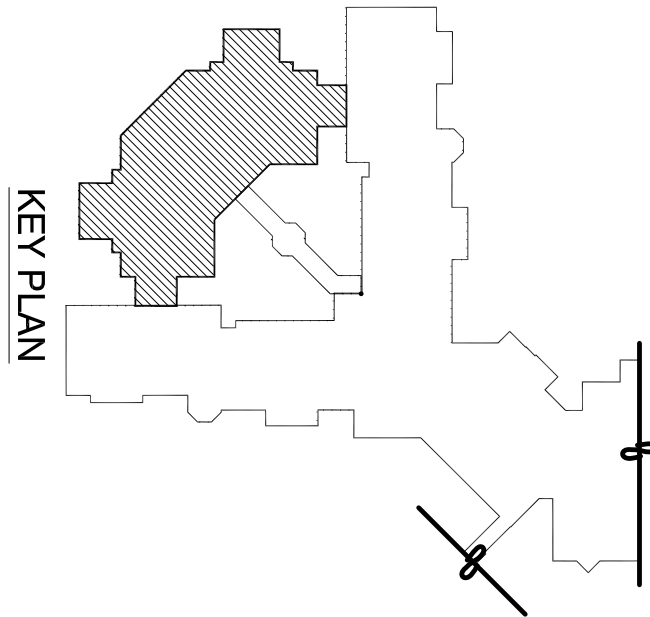
REHABILITATION & PHYSICAL THERAPY  
ADDITION AND REMODEL TO:  
ATTIC ANGEL PLACE  
8301 OLD SAUK ROAD,  
MADISON , WISCONSIN 53562

PROJECT  
11-101

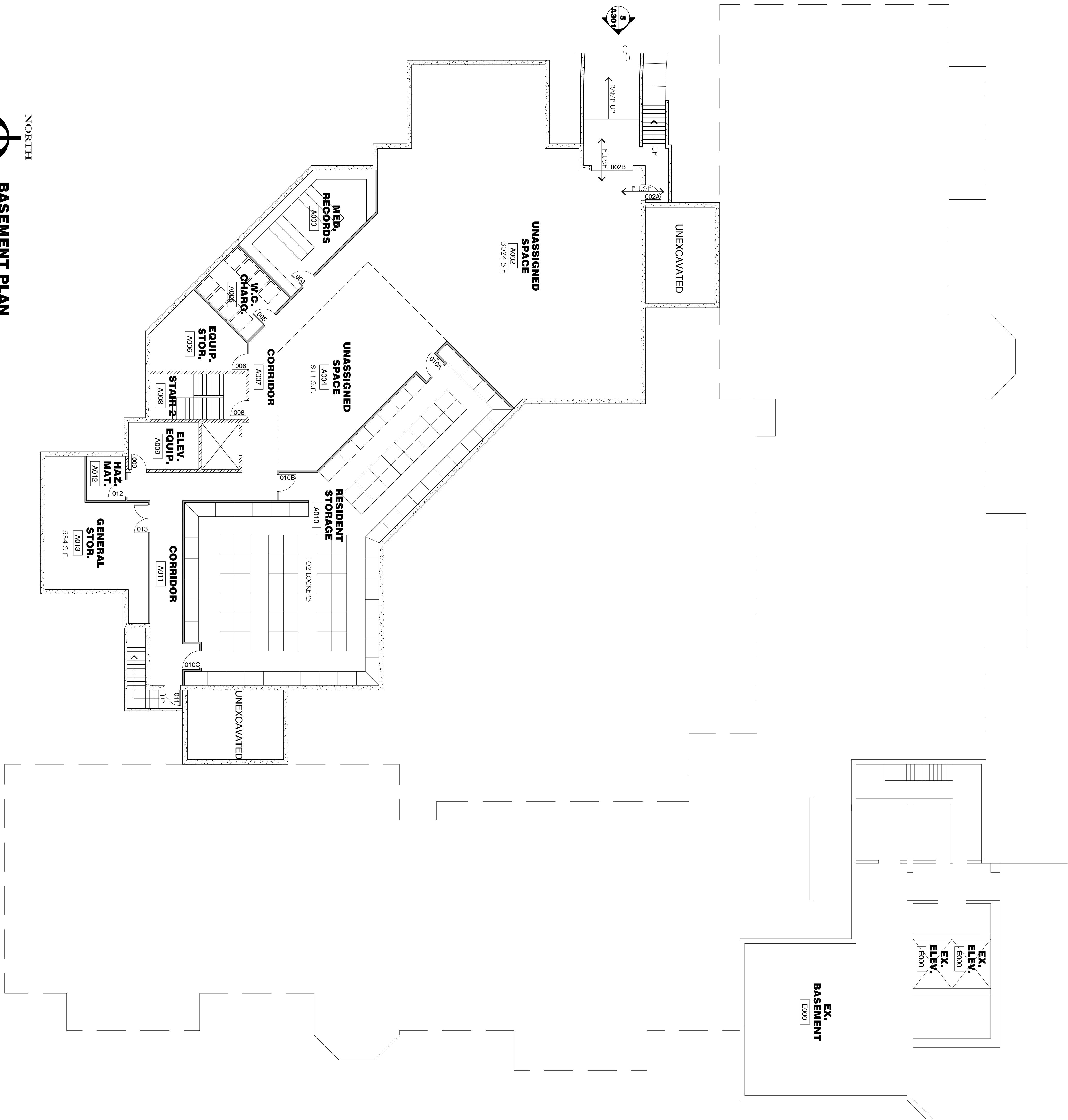
DATE  
08-31-11

SHEET  
A201

PLAN COMMISSION APPLICATION



**BASEMENT PLAN**  
SCALE 3/32" = 1'-0"



PLAN COMMISSION APPLICATION

REHABILITATION & PHYSICAL THERAPY  
ADDITION AND REMODEL TO:  
**ATTIC ANGEL PLACE**  
8301 OLD SAUK ROAD,  
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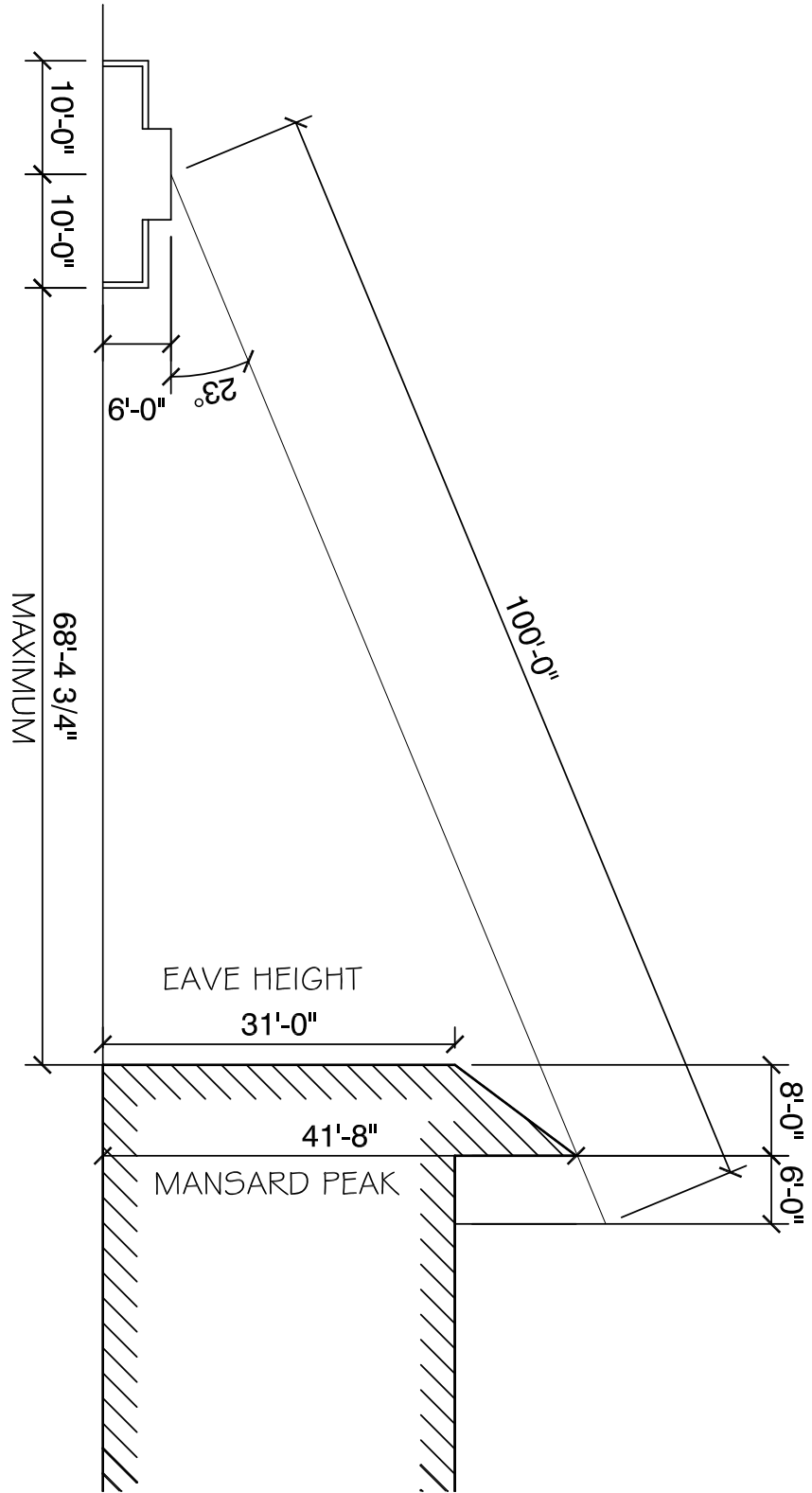
REVISIONS  
09/13/11 UDC UPDATES

PROJECT  
11-101

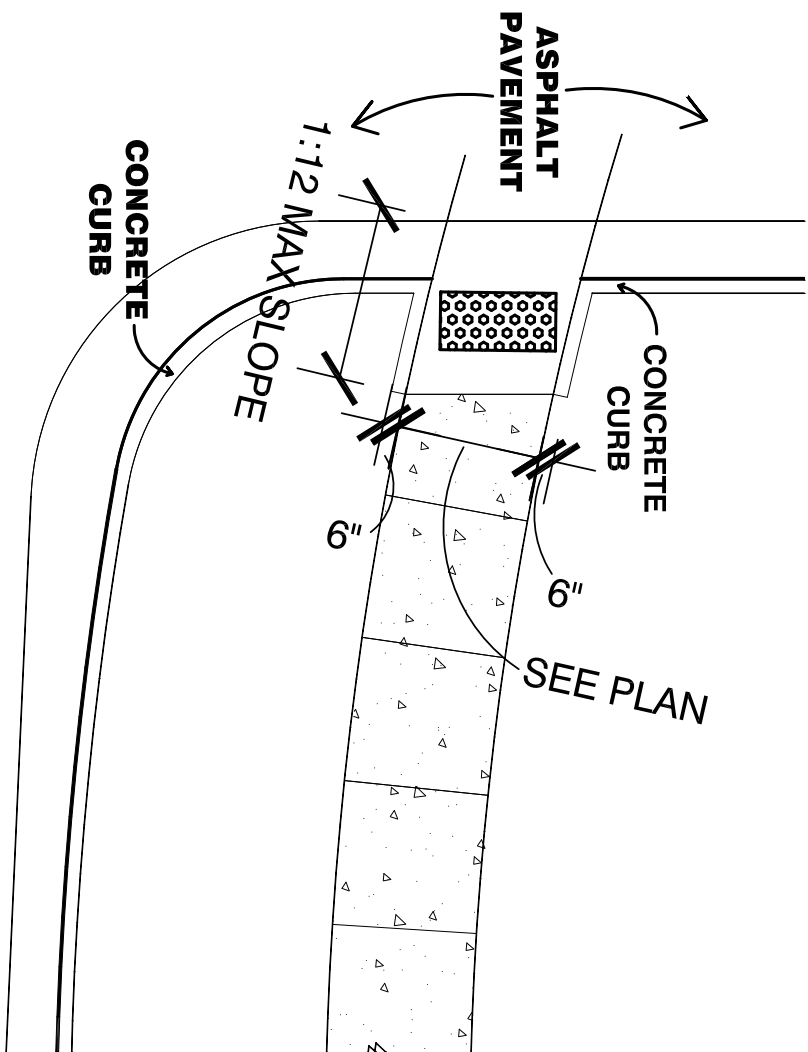
DATE  
08-03-11

SHEET

A200



**1**  
**FIRE APPARATUS**  
**LADDER REACH DIAGRAM**  
SCALE: 1/16" = 1'-0"



**2**  
**TYPICAL**  
**CURB RAMP DETAIL**  
SCALE: NTS

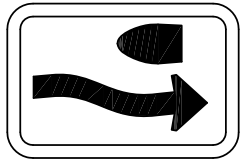
KEY TO SYMBOLS	
EXISTING CAMPUS SIGN	○
EXISTING LIGHT POLES	⊗
EXISTING NO PARKING SIGN	NO PARKING
EXISTING PEDESTRIAN ONLY SIGN	PE
EXISTING STOP SIGN	STOP
EXISTING NO PARKING FIRE LANE SIGN	NO PARKING FIRE LANE
EXISTING HANDICAP PARKING SIGN	HC
EXISTING FIRE HYDRANT	HYDRANT
EXISTING FLAGPOLE	FLAGPOLE
EXISTING DEMO ROAD OR SIDEWALK	DEM. ROAD OR SIDEWALK
NEW FIRE APPARATUS ACCESS ROAD	NEW FIRE APPARATUS ACCESS ROAD
NEW ASPHALT	NEW ASPHALT
NEW LOADING ZONE SIGN (SEE DETAIL 3 BELOW)	NEW LOADING ZONE SIGN
NEW FIRE LANE SIGN (SEE DETAIL 3 BELOW)	NEW FIRE LANE SIGN
NEW HANDICAP PARKING SIGN (SEE DETAIL 4 BELOW)	NEW HANDICAP PARKING SIGN
NEW KEEP RIGHT SIGN (SEE DETAIL 4 BELOW)	NEW KEEP RIGHT SIGN
EMERGENCY ONLY PARKING SIGN	EMERGENCY ONLY PARKING SIGN



**3**  
**TYPICAL**  
**LOADING ZONE SIGN**  
SCALE: NTS

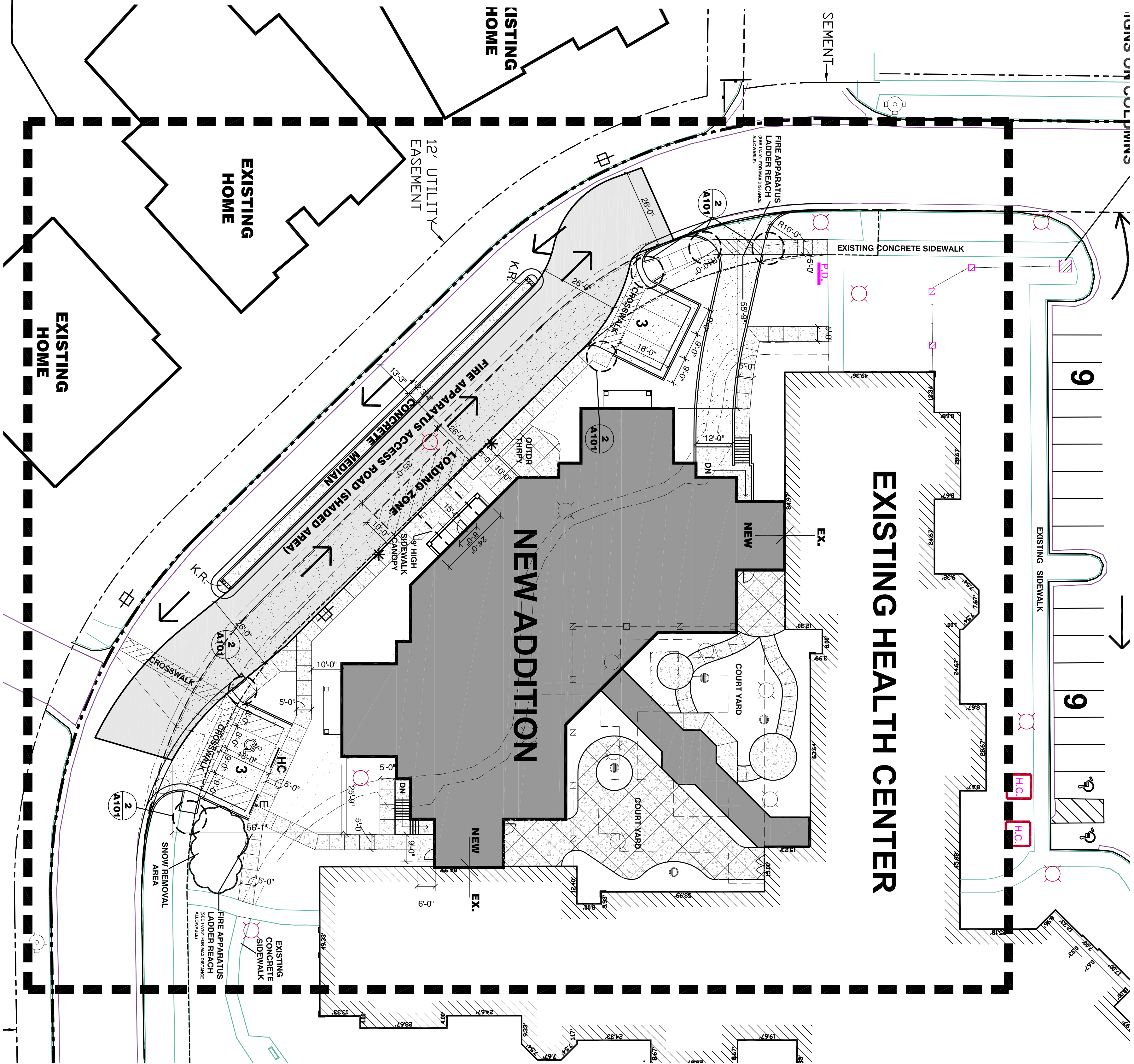


**4**  
**TYPICAL**  
**FIRE ZONE SIGN**  
SCALE: NTS



**5**  
**TYPICAL**  
**KEEP RIGHT SIGN**  
SCALE: NTS

**PROPOSED PROJECT**  
**WORK AREA**



REVISIONS

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DATE  
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URBAN DESIGN COMMISSION APPROVAL

**A101**

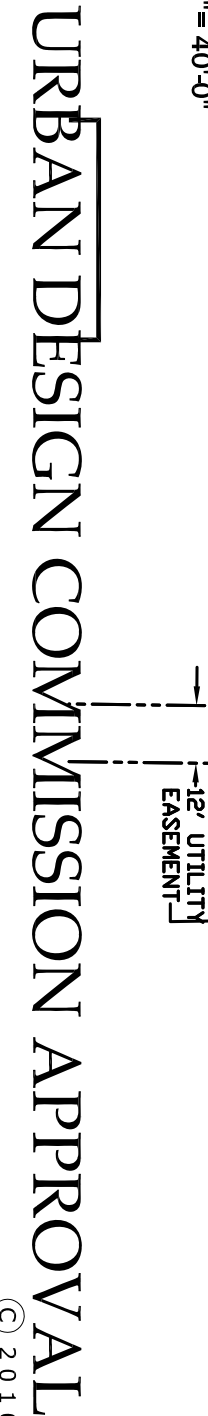
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BUILDING INFORMATION			
SKILLED NURSING			
FIRST FLOOR			
14 RESIDENT ROOMS			
11,664 S.F.			
RCAC LICENSED ASSISTED LIVING			
SECOND FLOOR			
12 RESIDENT ROOMS			
10,336 S.F.			
THIRD FLOOR			
12 RESIDENT ROOMS			
10,336 S.F.			
LOWER LEVEL STORAGE			
10,044 S.F.			
SITE INFORMATION			
SITE AREA = 9.22 ACRES			
PROPOSED SITE WORK AREA = 0.96 ACRES			
SITE COVERAGE			
TOTAL AREA	401,703 S.F.	9.22 ACRES	100%
EXISTING BUILDING	74,401 S.F.	1.70 ACRES	18%
BUILDING ADDITION	11,664 S.F.	.27 ACRES	3%
EXISTING PAVING	90,645 S.F.	2.08 ACRES	23%
ADDITIONAL PAVING	6,495 S.F.	.19 ACRES	2%
OPEN AREA	218,498 S.F.	5.01 ACRES	54%
DWELLING UNIT INFORMATION			
EXISTING			
SKILLED NURSING UNITS		36	
RCAC APARTMENTS (1 BED)		36	
APARTMENTS (1 BED)		43	
APARTMENTS (2 BED)		31	
CRRF UNITS		20	
NEW			
SKILLED NURSING UNITS		8 NET	
RCAC APARTMENTS (1 BED)		20 NET	
TOTAL			
SKILLED NURSING UNITS		44	
RCAC APARTMENTS (1 BED)		56	
APARTMENTS (1 BED)		43	
APARTMENTS (2 BED)		31	
CRRF UNITS		20	

REQUIRED USABLE OPEN SPACE (MINIMUM)		
EXISTING		
133 ONE BED UNITS X 70 S.F. =		9,460 S.F.
31 TWO BED UNITS X 140 S.F. =		4,340 S.F.
ADDITION		
28 ONE BED UNITS X 70 S.F. =	1,960 S.F.	
TOTAL USABLE OPEN SPACE REQUIRED =	15,770 S.F.	
FLOOR AREA RATIO		
EXISTING BUILDING AREA	199,329 S.F.	
PROPOSED BUILDING ADDITION	42,380 S.F.	
TOTAL BUILDING AREA	241,709 S.F.	
FLOOR AREA RATIO	.6	
PARKING ANALYSIS		
EXISTING REQUIRED		
SKILLED NURSING		18 CARS
36 UNITS X .5 CARS/UNIT		
HOUSEHOLDS (ASSISTED LIVING)		
36 UNITS X .75 CARS/UNIT		27 CARS
APARTMENTS (RCAC)		
74 UNITS X 1 CARS/UNIT		74 CARS
HAVEN ASSISTED LIVING		
22 UNITS X .5 CARS/UNIT		11 CARS
TOTAL PARKING (REQUIRED)		130 CARS
PROPOSED ADDITIONS (REQUIRED)		
SKILLED NURSING		
8 UNITS (NET) X .5 CARS/UNIT		4 CARS
HOUSEHOLDS		
20 UNITS (NET) X .75 CARS/UNIT		15 CARS
TOTAL PARKING ADDITION (REQUIRED)		19 CARS
CAMPUS TOTAL (REQUIRED)		149 CARS
EXISTING (ACTUAL)		
SURFACE PARKING		121 CARS
UNDERGROUND PARKING		30 CARS
TOTAL PARKING (ACTUAL)		151 CARS
PROPOSED ADDITION (ACTUAL)		
SURFACE PARKING		21 CARS NET
CAMPUS TOTAL PARKING (ACTUAL)		172 CARS
HANDICAPPED ACCESSIBLE STALLS		
STALLS REQUIRED		7 CARS
STALLS PROVIDED		9 CARS
NOTE:		
1. TRASH REMOVAL WILL BE STORED WITH EXISTING TRASH ENCLOSURES		



<b>EXISTING REQUIRED</b>	
SKILLED NURSING	18 CARS
36 UNITS X .5 CARS/UNIT	
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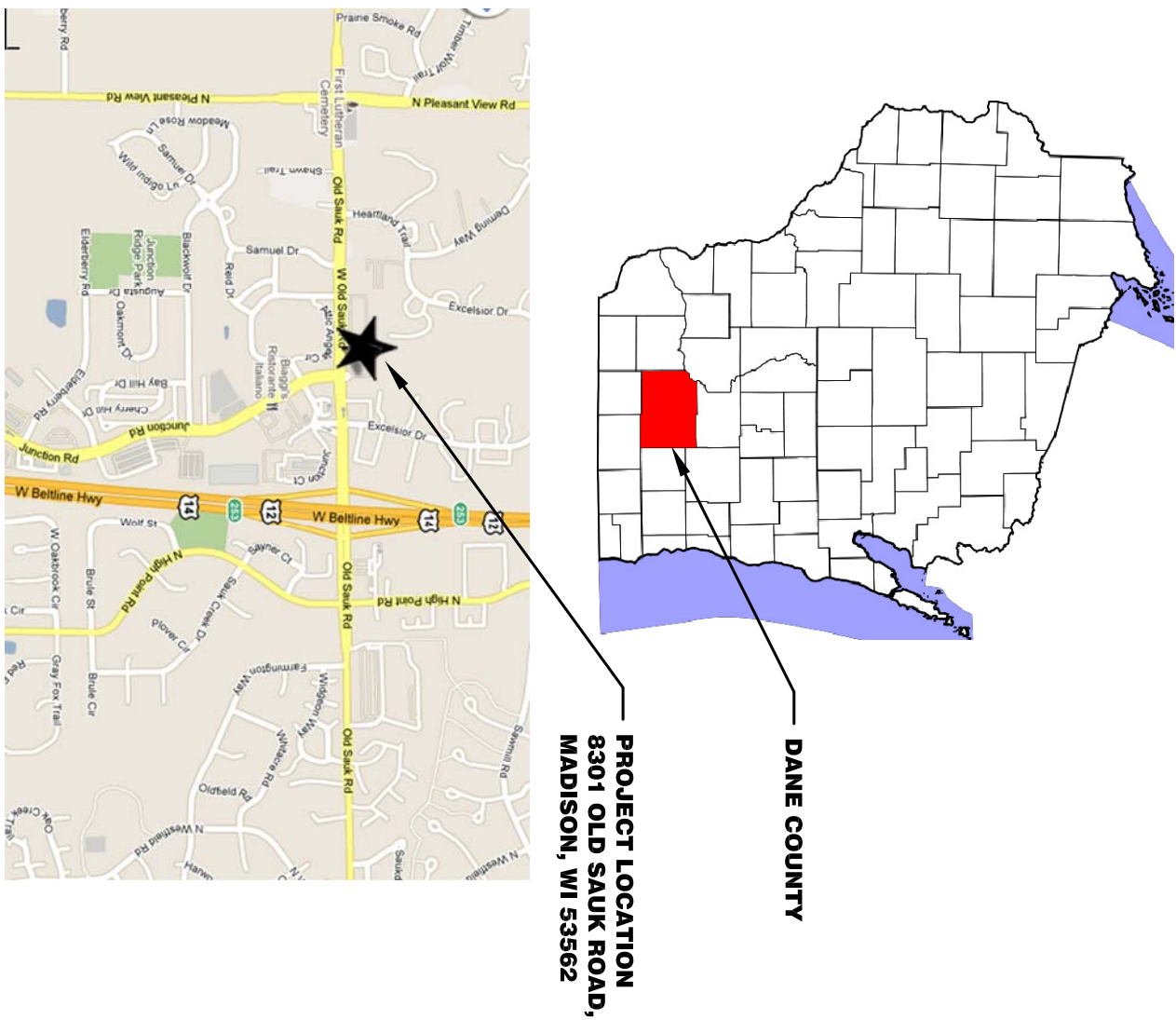
ADDITION AND REMODEL TO:

# ATTIC ANGEL PLACE

8301 OLD SAUK ROAD,  
MADISON, WISCONSIN



## VICINITY MAP



## SHEET INDEX

SHEET INDEX	
CERTIFIED SURVEY MAP	
A100	ARCHITECTURAL CAMPUS SITE PLAN
A101	ENLARGED BUILDING ADDITION SITE PLAN
L1	LANDSCAPE PLAN
C1	SITE DEMOLITION PLAN
C2	SITE PLAN
C3	SITE GRADING AND UTILITY PLAN
C4	PARKING LOT DEMOLITION PLAN
C5	PARKING LOT SITE AND GRADING PLAN
C6	SITE DETAILS
C7	SITE EROSION CONTROL DETAILS
E101	SITE PLAN ELECTRICAL
E101C	SITE PLAN LIGHTING PHOTOMETRICS
A200	BASEMENT PLAN
A201	FIRST FLOOR PLAN AND DEMO
A202	SECOND FLOOR PLAN / THIRD FLOOR PLAN
A203	ROOF PLAN
A300	EXTERIOR BUILDING ELEVATIONS
A301	EXTERIOR BUILDING ELEVATIONS

### REVISIONS

09/13/11 UDC UPDATES

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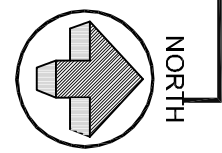
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PROJECT  
11-101

DATE  
08-31-11

SHEET  
**A001**

URBAN DESIGN COMMISSION APPROVAL

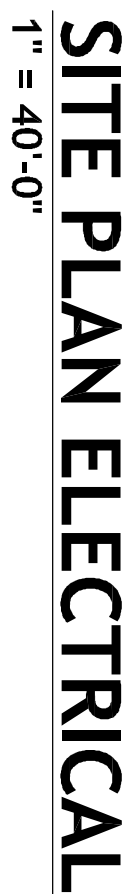


**PLAN NOTES:** (X)

1. EXISTING FIXTURE TO BE RELOCATE TO WHERE SHOWN, EXTEND ALL CIRCUITS AND CONTROLS TO NEW LOCATION. PROVIDE NEW CONCRETE BASE, CLEAN AND REPAIR FIXTURES AS REQUIRED. THESE FIXTURES WILL BE REFINISHED WITH THE FIXTURE USED IN CALCULATIONS IS SIMILAR IN STYLE, SHAPE, PERFORMANCE, LAMPING, ETC.
2. TYPE 181 FIXTURES ARE EXISTING BOLLARDS REMOVED FROM COURTYARD AREA AND REUSED IN NEW LOCATION. THESE FIXTURES WILL BE REFINISHED WITH THE FIXTURE USED IN CALCULATIONS IS SIMILAR IN STYLE, SHAPE, PERFORMANCE, LAMPING, ETC. THE FIXTURE USED IN CALCULATIONS IS SIMILAR IN STYLE, SHAPE, PERFORMANCE, LAMPING, ETC.

**PLAN NOTES:** (X)

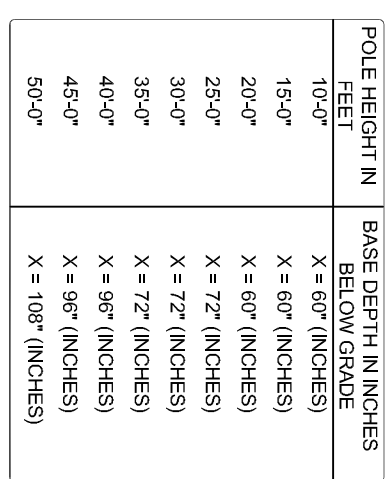
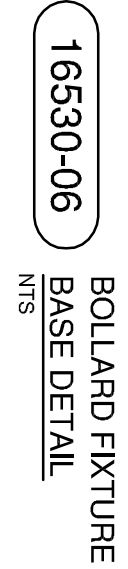
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ATTIC ANGELS FIXTURE SCHEDULE						
TYPE	DESCRIPTION	LAMP TYPE	LAMP QTY.	MANUFACTURER	CATALOG NUMBER	NOTE
B1	42" DECORATIVE BOLLARD	70MH	1	AAL	VBN-70MH-XX	1
Y1	EXTERIOR POLE MOUNTED SINGLE HEAD FIXTURE	150PSMH	1	AAL	UCM-SR-STR-H-1-150PSMH-XX-FTG	1
	16" ROUND POLE			AAL	PR4-4R16-Z26-XX-W/S144 BRACKET	1
XB1	EXISTING BOLLARD					2
XX1	EXISTING POLE MOUNTED SINGLE HEAD FIXTURE					2

0-3-11

- 16530-05
- 24" EXTERIOR LIGHTING  
CONCRETE BASE DETAIL
- NTS



1. IN UNDISTURBED EARTH, EXCLUDING FILL MATERIAL, A 2'-0" DIA. HOLE WHICH SHALL BE USED AS THE FORM FOR THE CONCRETE BASE SHALL BE DRILLED.
2. IN EXCAVATED AREAS OR IN EXISTING SOIL CONTAINING FILL OF OBJECTIONABLE MATERIAL, BACKFILL AROUND CONCRETE BASE WITH COMPACTED GRANULAR BACKFILL A MIN. OF 2'-0" IN ALL DIRECTIONS.

ELECTRICAL CONTRACTOR

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## **SUGGESTED ZONING TEXT GDP/SIP**

**Zoning:** PUD-GDP/SIP, Amended

**Project Name:** Attic Angel Place Addition

**Address:** 8301 Old Sauk Road

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**Legal Description:** The lands subject to this planned unit development shall include those described in Exhibit A, attached hereto.

- A. *Statement of Purpose:*** This zoning district is established to allow for the construction of an addition to the existing Attic Angel Place Facility consisting of 14 new skilled nursing resident rooms (8 net), 24 new RCAC licensed household apartments (20 net) and a Physical Therapy Inpatient and Outpatient Rehabilitation Center. The addition will allow the Health Center to provide each skilled nursing resident, both elderly long term care residents and short term rehabilitation patients with a private room during their stay at Attic Angel while also providing a solution for the demand of additional RCAC apartments for elderly residents and a new Therapy Center expansion. Attic Angel Place provides continuum of care services for elders including apartments with services, assisted living, memory care and skilled nursing.
- B. *Permitted Uses:***
1. Those uses that are existing per the previously approved PUD submittals.
  2. Those uses that are part of this building phase consisting of an additional 8 private skilled nursing units (no increase in number of beds) and a net additional 20 assisted household apartment units.
  3. Uses accessory to existing approved uses and those uses listed above consisting of an inpatient/outpatient physical therapy center.
- C. *Lot Area:*** As stated on architectural plans, attached hereto.
- D. *Floor Area Ratio:***
1. Maximum floor area ratio permitted shall be as shown on the approved plans.
  2. Maximum building height shall be 4 stories as shown on approved plans.
- E. *Yard Requirements:*** Yard areas will be provided as shown on approved plans.
- F. *Landscaping:*** Site landscaping will be provided as shown on the approved plans.
- G. *Accessory Off-Street Parking & Loading:*** Accessory off-street parking and loading will be provided as shown on approved plans.
- H. *Lighting:*** Site lighting will be provided as shown on approved plans.
- I. *Signage:*** Signage will be allowed as per Chapter 31 of the Madison General Ordinances and as approved on the recorded plans.
- J. *Family Definition:*** The family definition of this PUD-GDP/SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R4 zoning district.
- K. *Alterations and Revisions:*** No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.