

LETTER OF INTENT  
July 7, 2011  
Conditional Use

## **Gas Station**

1129 South Park Street

**REVISED** August 7, 2011

Proposed by

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1129 South Park Street  
Madison, WI 53715

(414) 460-4050

Prepared by

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## STATEMENT OF RATIONALE (MARKET)

This submittal is the redevelopment of the existing gas station. This will allow us to remove an undersized, out of date structure, and build a new, larger station, while also improving all site finishes and landscaping.

## FEASIBILITY

With the poor condition and small size of the existing structure, this gives the new owner the opportunity to improve in all areas. The larger structure allows for more needs for patrons. And the improved finishes and landscaping adds to the improvements that have been made on South Park Street.

## PROJECT DESCRIPTION

The new building will have 2,400 square feet. This will include an office, convenience store, with prepared food for take out. The convenience store will be typical with shelves of grocery and dry goods, and reach-in coolers. The owner is also focusing on making this a green structure.

## POTENTIAL IMPACTS (AMENITIES)

This redevelopment will help with the station's future needs, as well as make improvements to landscaping, parking, trash collection, maintenance, and access. The new structure will enhance the streetscape for South Park Street. Most of the existing infrastructure will remain, including the canopy structure, street curbs and driveway access. The existing ground sign will be replaced with a pole sign.

## NEIGHBORHOOD CONTEXT (DENSITY)

With improvements that have made along South Park Street, this will be a timely update. It will be important to continue these kinds of infill projects for Madison's gateway entrance. We can meet most requirements of Design District 7 guidelines. The redevelopment will also help with current concerns for the neighborhood, including trash, security, and noise.

## OPEN SPACE

This redevelopment will increase and improve the landscaping significantly. The structure will have landscaping adjacent to it. The largest landscaped areas will be used to define the access to this site. The existing fence will be replaced as well. The only existing trees are not seen, blocked by the station. They will be replaced by 4 trees, better located in increased planting areas.

## PARKING AND ACCESS

Six stalls will be provided, with one stalls meeting ADA requirements. All stalls will be 9'-0" by 18'-0". We are also including parking for 3 motorcycles or mopeds, along with 9 bike stalls.

## MANAGEMENT

It will be managed by the owner, who has several businesses throughout the city and surrounding area. His main office will be located at this site. We will provide additional on site manned security to eliminate undesired behaviors for the neighborhood, until it is not needed. We will also have security cameras throughout the store as well as around the site. 7 trash containers will be located throughout the site and employees will police litter for one block in every direction.

## BIKE PARKING

With the improved landscaping, we will have locations for 9 bikes located near the entrance, with an additional 3 stalls for mopeds or motorcycles.

## GENERAL DESIGN STANDARDS

### Architectural Design

The structure will have a metal and masonry exterior with hollow metal windows. The front elevation has a two story entrance to break up the building mass and provide for a clear entrance. The structure is broken into 4 areas with different roof heights for additional interest and definition of use. Historically, there are many structures along South Park Street that utilize concrete block for industrial or service oriented businesses, which made it a natural choice for our main material.

### Utilities

All utility service within the proposed development will be provided underground. We will be able to reuse the existing laterals to the site. We will be able to remove the one utility pole that is on our site, serving only our building. See utility plan.

### Storm Drainage

All storm water for the structures will drain to an existing catch basin located on the south side of the paved area near the Olin Street entrance. There is also a catch basin to the north of the site in the existing alley.

## Site Lighting

The design of all site lighting will be coordinated to complement the site design and architectural character of the building. We will reuse the canopy that is there now. There is new street lighting at the entrance. All fixtures will be replaced with LED units.

All fixtures will be positioned with care taken to direct light away from windows and street traffic.

## Signs

The existing ground sign will be replaced with a new pole sign. All signage will be shown on plans and meet all current guidelines.

## Service Area

Trash collection will be located near the building in a screened area accessed from the building directly. There will be trash collection at each pump and many spots around the site to make it easier for the patrons. We will also have employees pick up around the site as well as one block along Park and Olin to minimize trash that would be generated from this use littering the neighborhood.

## Landscaping

The landscaping plan will be developed to provide easy maintenance, yet add significant interest. Plantings will help define separation of pedestrians and vehicles.

## Walkways

All walkways will be constructed of concrete to match existing sidewalks. The new sidewalk will connect South Park Street and Olin Street to the new building.

## Parking Areas

We will have 6 parking with one meeting ADA requirements for van accessibility, 10 bicycle stalls, and 3 moped or motorcycle stalls.

## District 7 Requirements:

**Setbacks.** Since this is a gas station, vehicle access requires the building to be set back in the NE corner. Because of this, we are providing additional landscaping and sidewalks to connect to the two adjoining streets. We are also adding a terrace area along South Park Street that could provide outdoor seating.

We are also relocating the bus stop just north of our site to between our South Park Street driveways, allowing a larger area for pedestrians to wait. This was requested by Madison Metro.

### Building Massing.

The same masonry will be used on all sides of the structure. Even though the building is only 2,400 square feet, there is 4 different roof elevations and massing. Most mechanical equipment will be located in a screened area behind the building. Only the vent for the kitchen hood will be located on the roof.

All guidelines are being met including an emphasis on green design with solar, LED lighting and maximum HVAC efficiency.

### Height.

Most structures along the east elevation of South Park Street are only one story and small in this immediate area.

### Windows and Entrances.

We have concentrated the glass area to face both Streets. The entrances are located below the two story element, that is central on the building mass.

### Materials and Colors.

We are using standard CMU as the masonry material for the building material. This is a common material on industrial and service oriented structures on South Park Street. We are also refinishing the canopy façade to match the façade banding on the new structure to tie them together.

### Signage.

We are replacing the current nonconforming ground sign with a conforming pole sign in roughly the same location on the corner. We will also have the name of the business on the face of the canopy, two sides.

### Parking.

All parking will be located to the south of the structure and canopy. A sidewalk will link this to the building. We will also add landscaping to screen all the paved area from the sidewalk and help separate the pedestrians from the vehicles.

#### Trash.

Trash storage will be in a screened in area behind the structure, with direct access from the building. We will also have direct access from the trash storage area to the street terrace by sidewalk.

#### Landscape.

The existing fence will be replaced with a new 6' fence. We will add two trees in front of the new structure and replace 2 trees in the back with new, due to them being too close to each other. The landscape area is being increased to define the sight and soften all edges of the paved area. All plantings are being chosen to be durable.

#### Open space.

We are adding some exterior open space that could be used for outdoor seating.

#### Lighting.

All lighting will be LED, and meet cut-off requirements. Walk ways will also have low level lighting for pedestrians.

LOCATION

PROJECT

Gas Station  
1129 South Park Street

OWNER

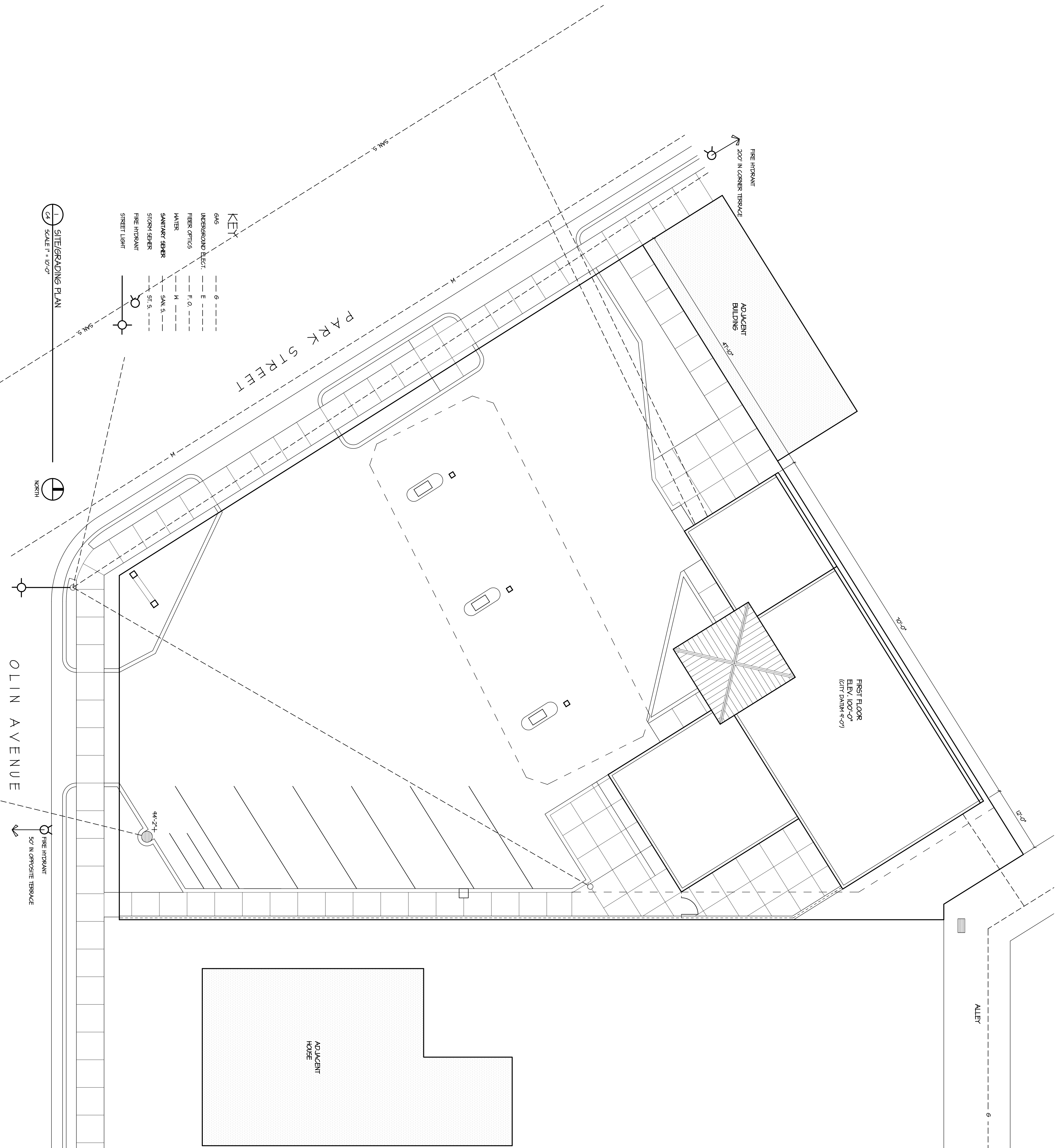
Mohammed Ehtasham  
1129 South Park Street  
Madison, WI 53715 (414)460-4050

ZONING

SITE DATA

INDEX

BUILDING SIZE	2,500	T1	TITLE SHEET
CONSTRUCTION TYPE	5B	C1	SITE SURVEY/DEMOLITION PLAN
BUILDING HEIGHT	25 FEET	C2	SITE PLAN
NUMBER OF STORIES	1	C3	LANDSCAPE PLAN
OCCUPANCY TYPE	B	C4	UTILITY PLAN
CAPACITY	20	A1	FLOOR PLAN
LOT SIZE	13,200 SQUARE FEET	A2	BUILDING ELEVATIONS
PARKING	7	A3	BUILDING ELEVATIONS
BIKE STALLS	10		
PUMPS	3		
ZONING	C2		



**KEY**

6" ---	GAS
--- E ---	UNDERGROUND ELECT.
--- F. O. ---	FIBER OPTICS
--- M ---	WATER
--- S&L S. ---	SANITARY SEWER
--- ST. S. ---	STORM SEWER
○	FIRE HYDRANT
○	STREET LIGHT

1 SITE/GRADING PLAN  
 C4 SCALE 1" = 8'-0"



OLIN AVENUE

PARK STREET

ADJACENT BUILDING

ADJACENT HOUSE

FIRST FLOOR  
 ELEV. 100'-0"  
 (CITY DRAIN 8'-0")

ALLEY

**PROJECT**

**The Gas Station**  
 1129 South Park Street  
 Madison Wisconsin

**DRAWING**

UTILITY PLAN

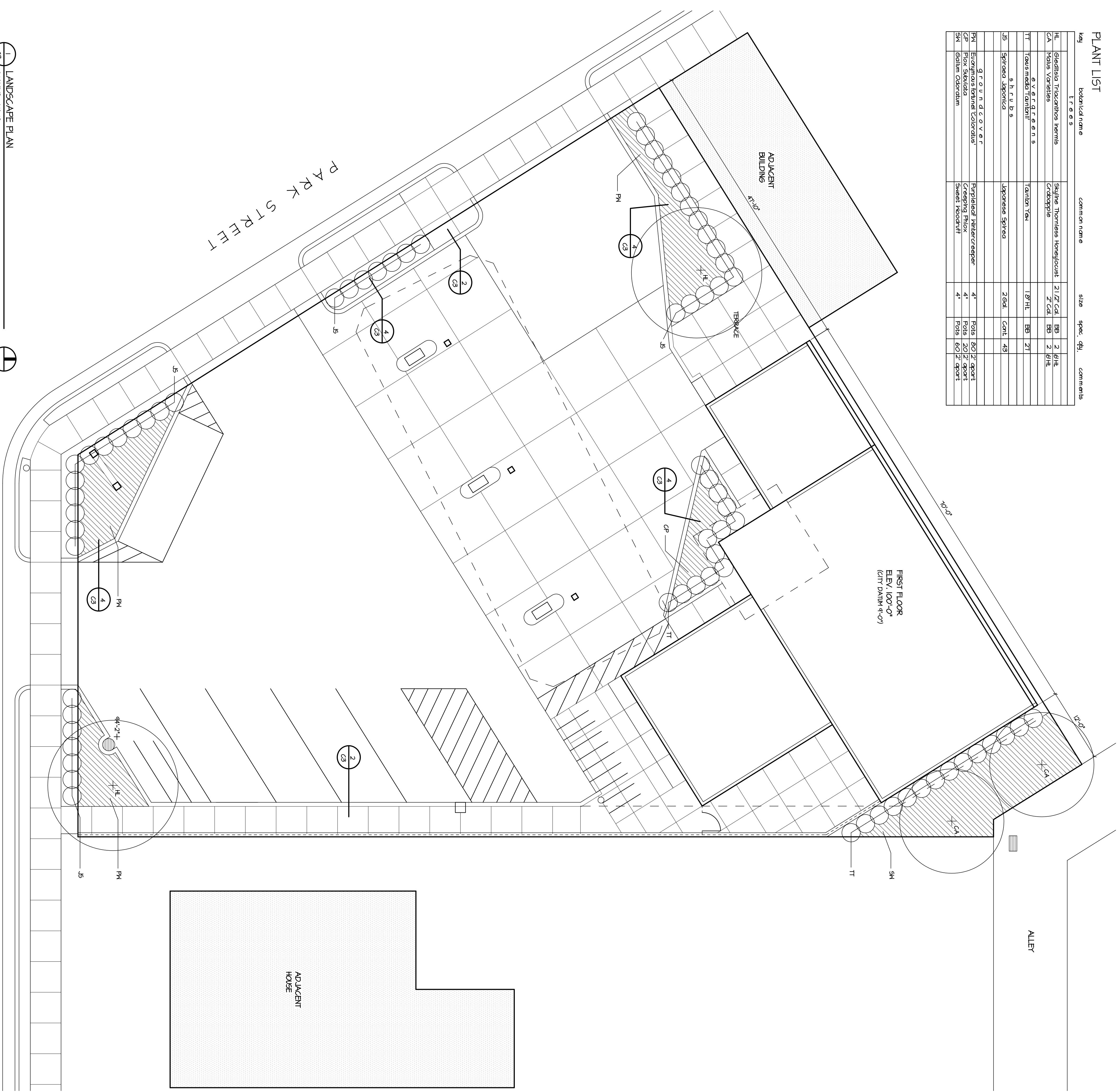
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 Project # 20117  
 Date 07/07/07  
 Drawn by JWS

C4

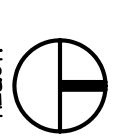


PLANT LIST

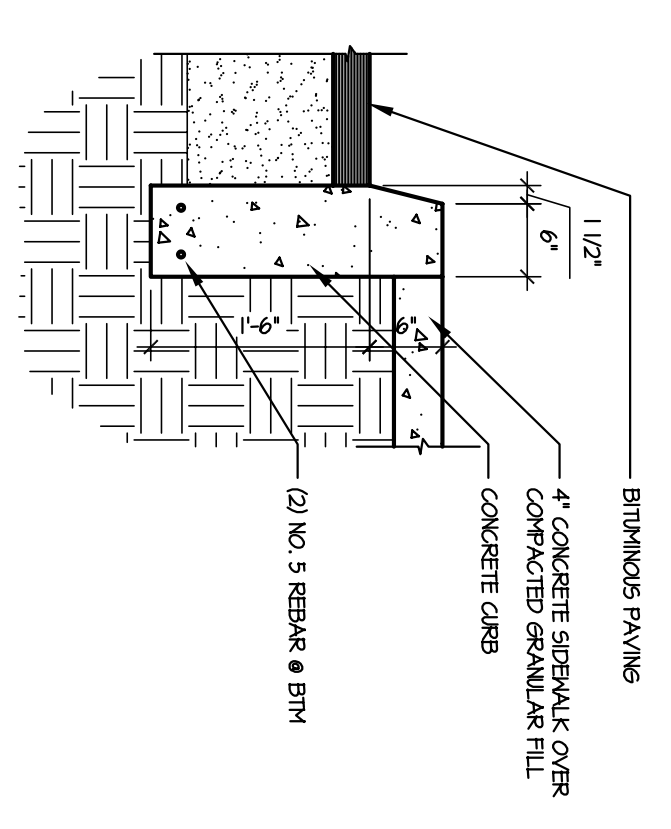
key	botanical name	common name	size	spec. qty.	comments
HL	<i>Gleditsia triacanthos</i> Inermis	Sagehen Thornless Honeylocust	21/2' CdL	BB	2 @ HL
CA	<i>Hedera variegata</i>	Crocodile	2' CdL	BB	2 @ HL
TT	<i>Thuja occidentalis</i>	Tanbark Tree	18' HL	BB	21
JS	<i>Juniperus japonica</i>	Japanese Spruce	2' CdL	Cont.	43
TR	<i>Thuja occidentalis</i>	Japanese Spruce	2' CdL	Cont.	43
SM	<i>Sweetgum</i>	Sweetgum	4'	BB	20/2' spot
SM	<i>Ginkgo biloba</i>	Ginkgo	4'	BB	20/2' spot
SM	<i>Ginkgo biloba</i>	Ginkgo	4'	BB	20/2' spot



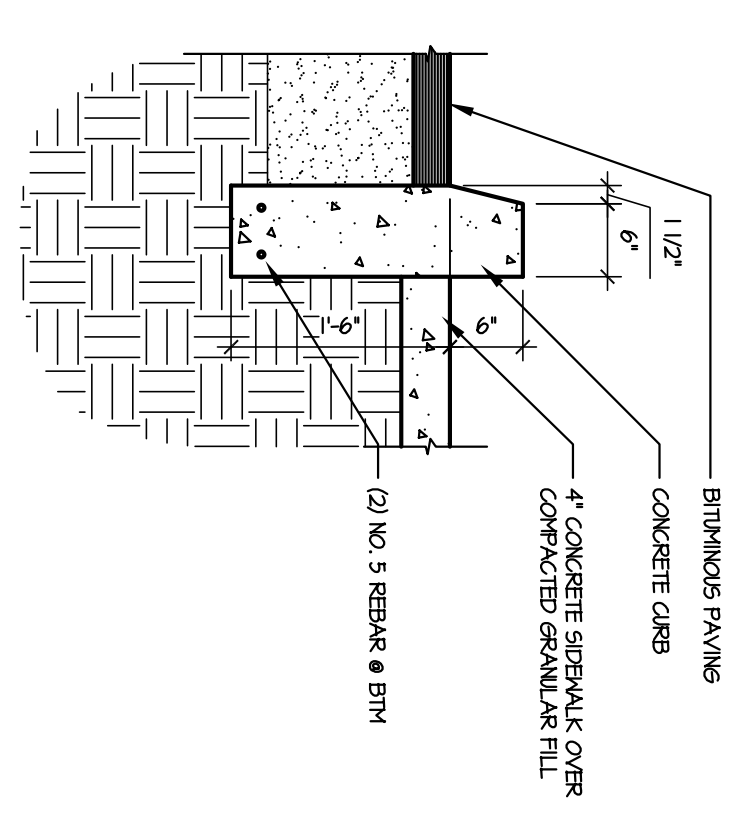
1 LANDSCAPE PLAN  
SCALE 1" = 10'-0"



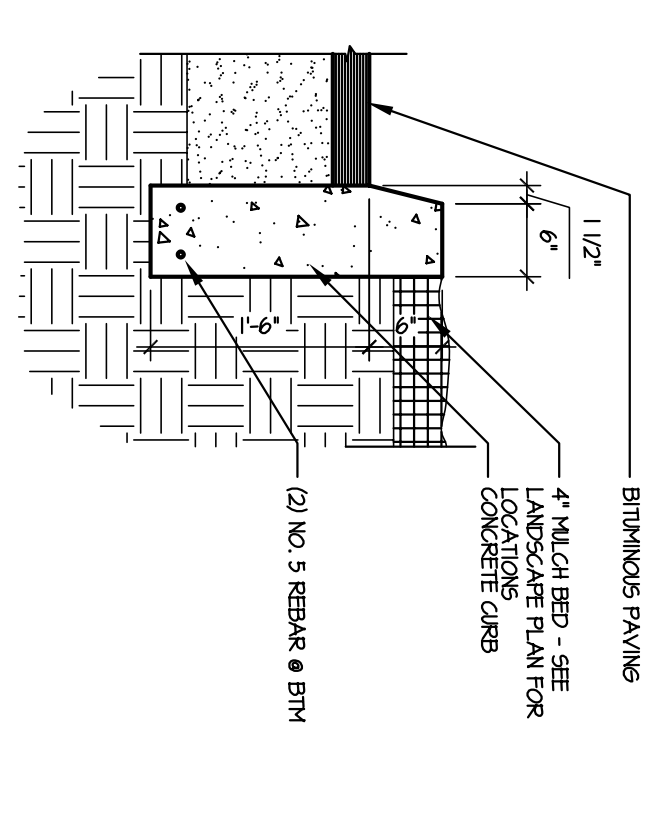
OLIN AVENUE



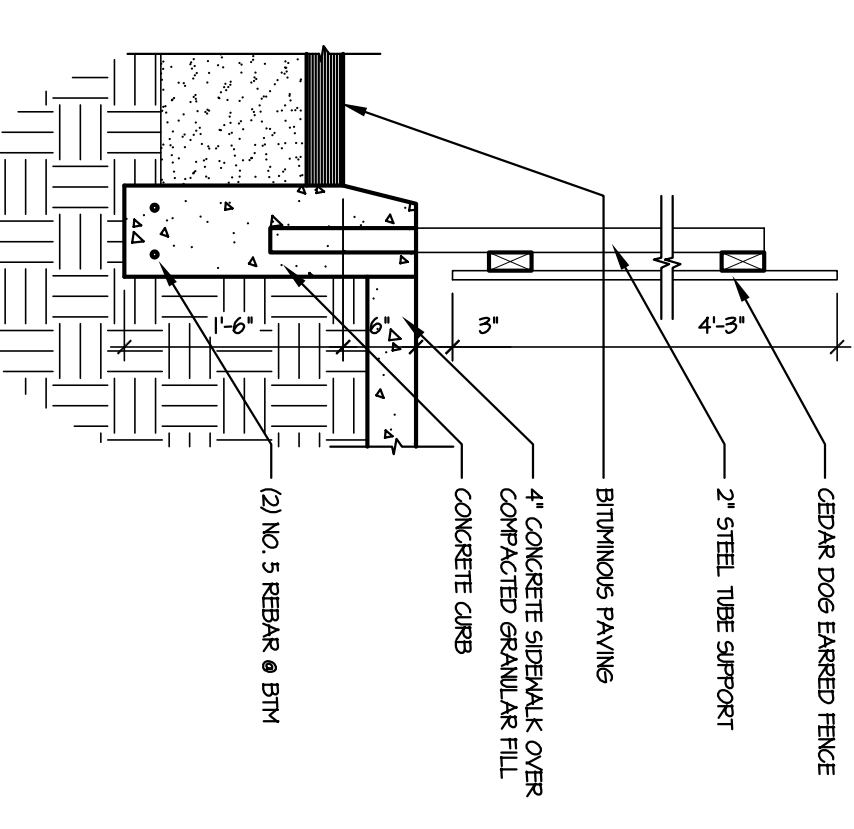
2 CURB/SIDEWALK DETAIL  
SCALE 3/4" = 1'-0"



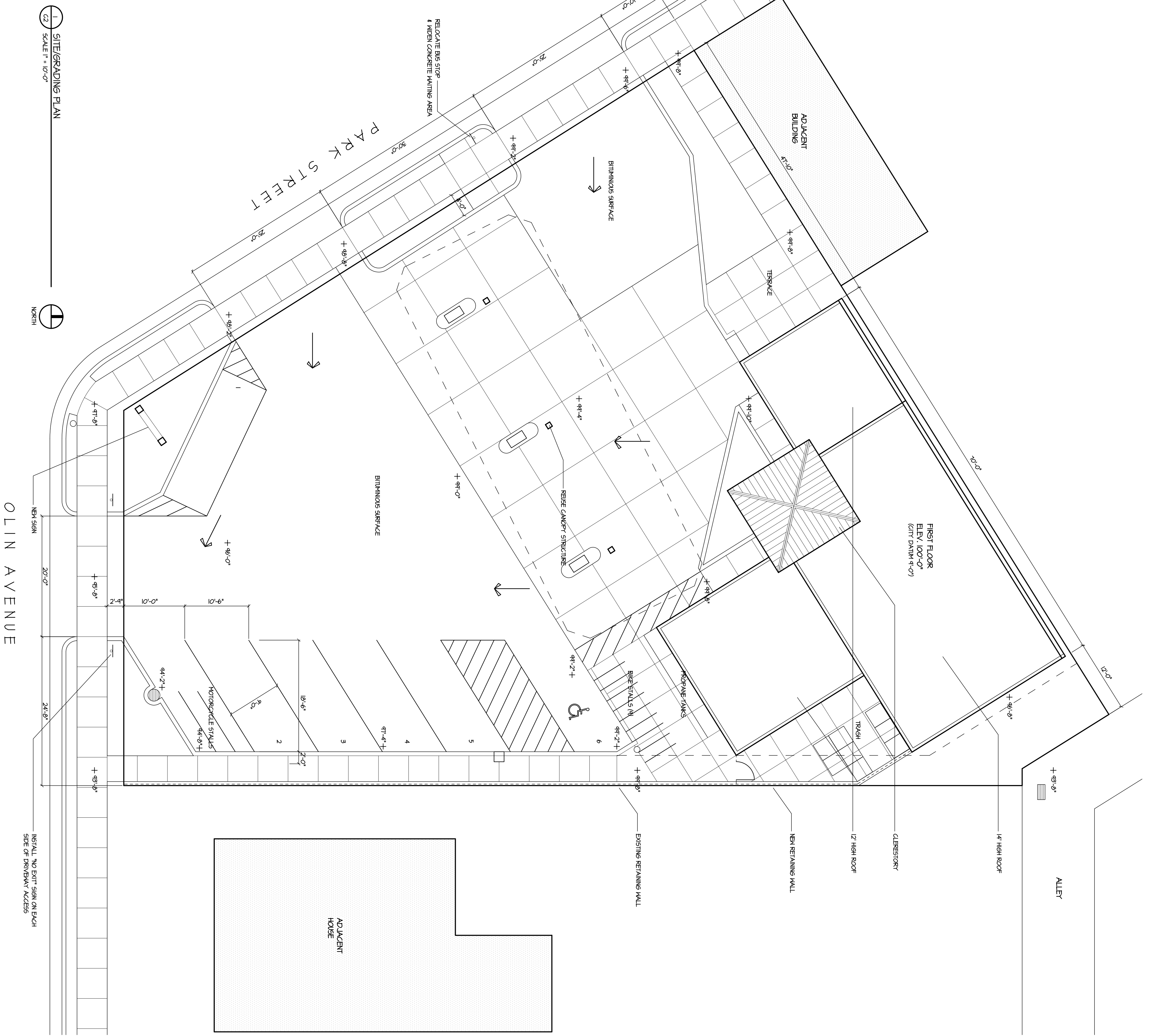
3 RAISED CURB DETAIL  
SCALE 3/4" = 1'-0"



4 CURB DETAIL  
SCALE 3/4" = 1'-0"



5 TRASH SCREEN DETAIL  
SCALE 3/4" = 1'-0"



**PROJECT**  
 The Gas Station  
 1129 South Park Street  
 Madison Wisconsin

**DRAWING**  
 SITE PLAN

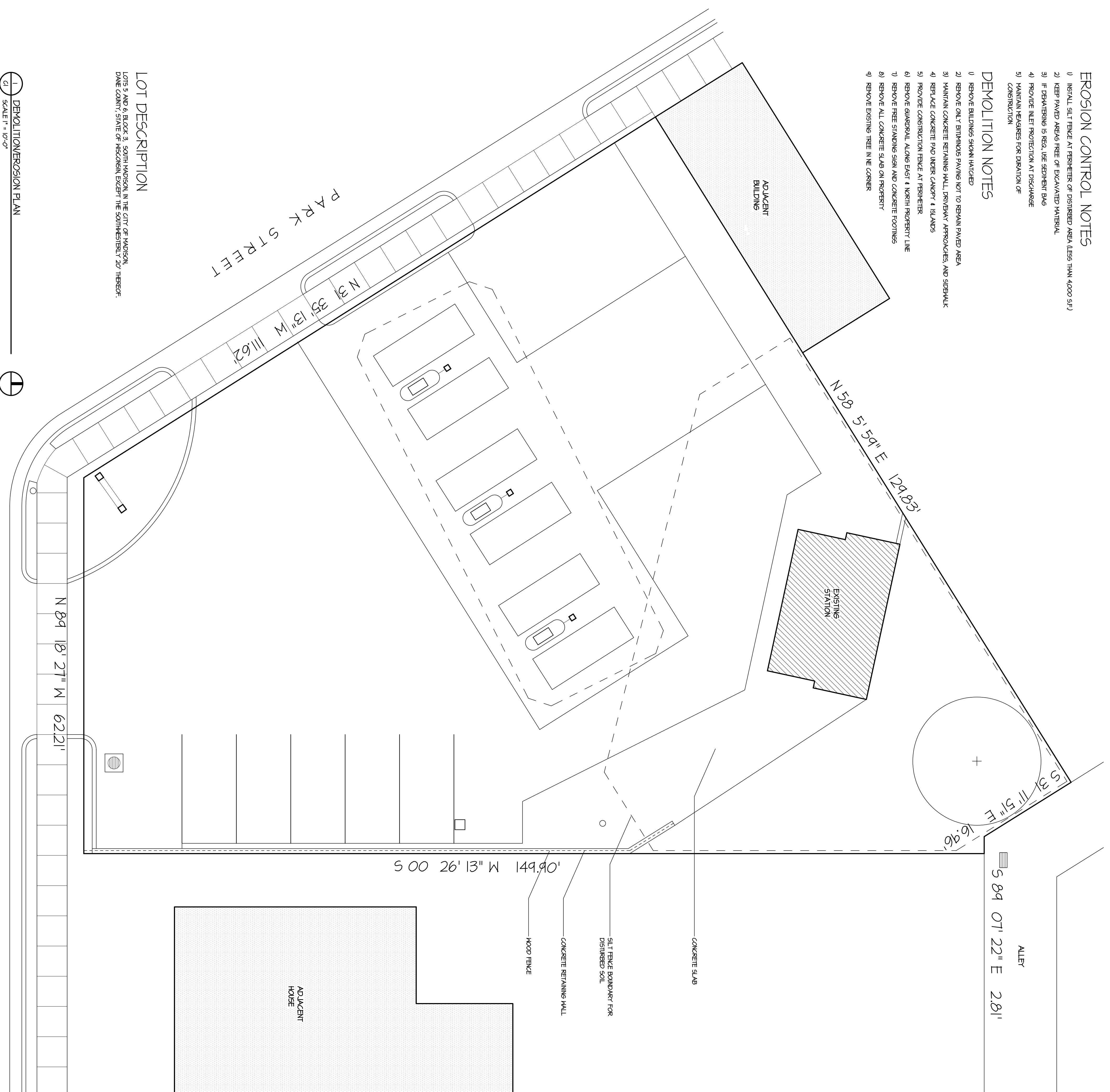
**DATA**  
 2011/7  
 Project # 070707  
 Date  
 Drawn by JWS

**EROSION CONTROL NOTES**

- 1) INSTALL SILT FENCE AT PERIMETER OF DISTURBED AREA (LESS THAN 4000 SF)
- 2) KEEP PAVED AREAS FREE OF EXCAVATED MATERIAL
- 3) IF DRAINAGE IS REQ. USE SEDIMENT BASIN
- 4) PROVIDE INLET PROTECTION AT DISCHARGE
- 5) MAINTAIN MEASURES FOR DURATION OF CONSTRUCTION

**DEMOLITION NOTES**

- 1) REMOVE BUILDINGS SHOWN HATCHED
- 2) REMOVE ONLY BIRMINGHAM PAVING NOT TO REPAIR PAVED AREA
- 3) MAINTAIN CONCRETE RETAINING WALL, DRIVEWAY APPROACHES, AND SIDEWALK
- 4) REPLACE CONCRETE PAD UNDER CANOPY & ISLANDS
- 5) PROVIDE CONSTRUCTION FENCE AT PERIMETER
- 6) REMOVE GUARDRAIL ALONG EAST & NORTH PROPERTY LINE
- 7) REMOVE FREE STANDING SIGN AND CONCRETE FOOTINGS
- 8) REMOVE ALL CONCRETE SLAB ON PROPERTY
- 9) REMOVE EXISTING TREE IN NE CORNER

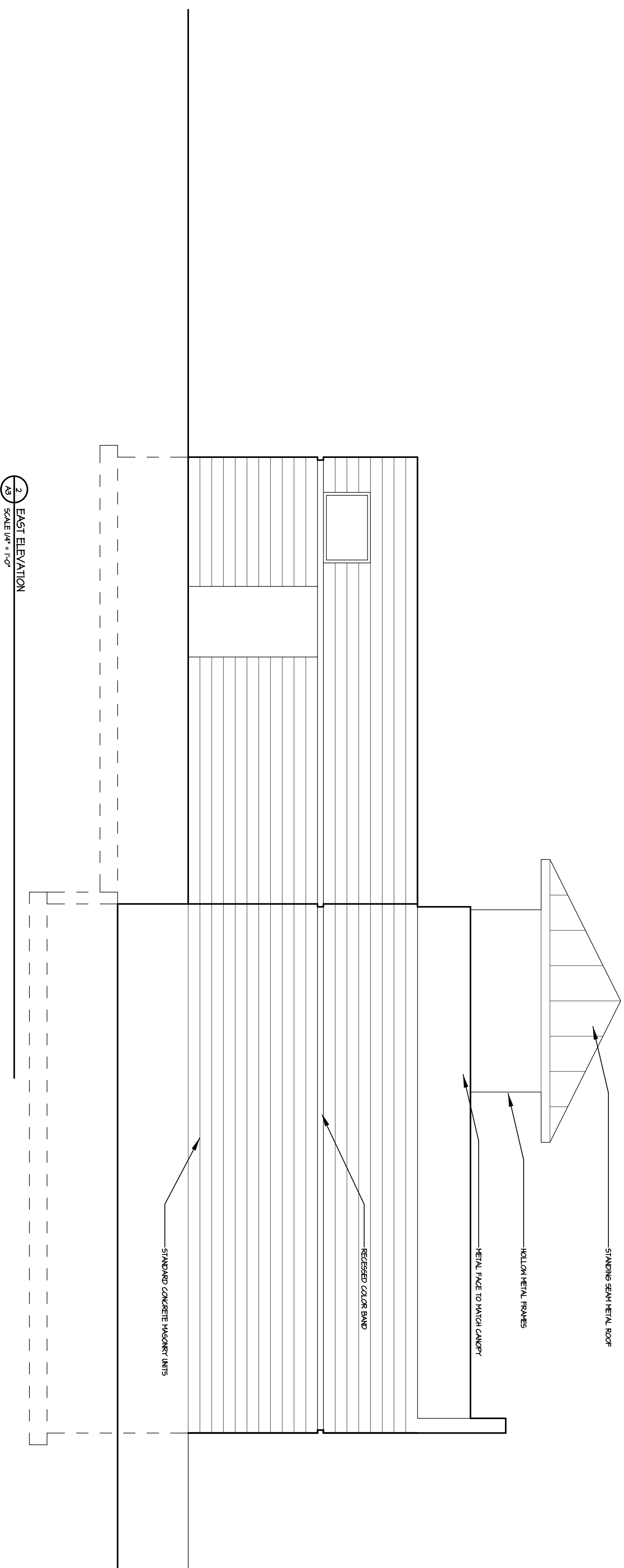
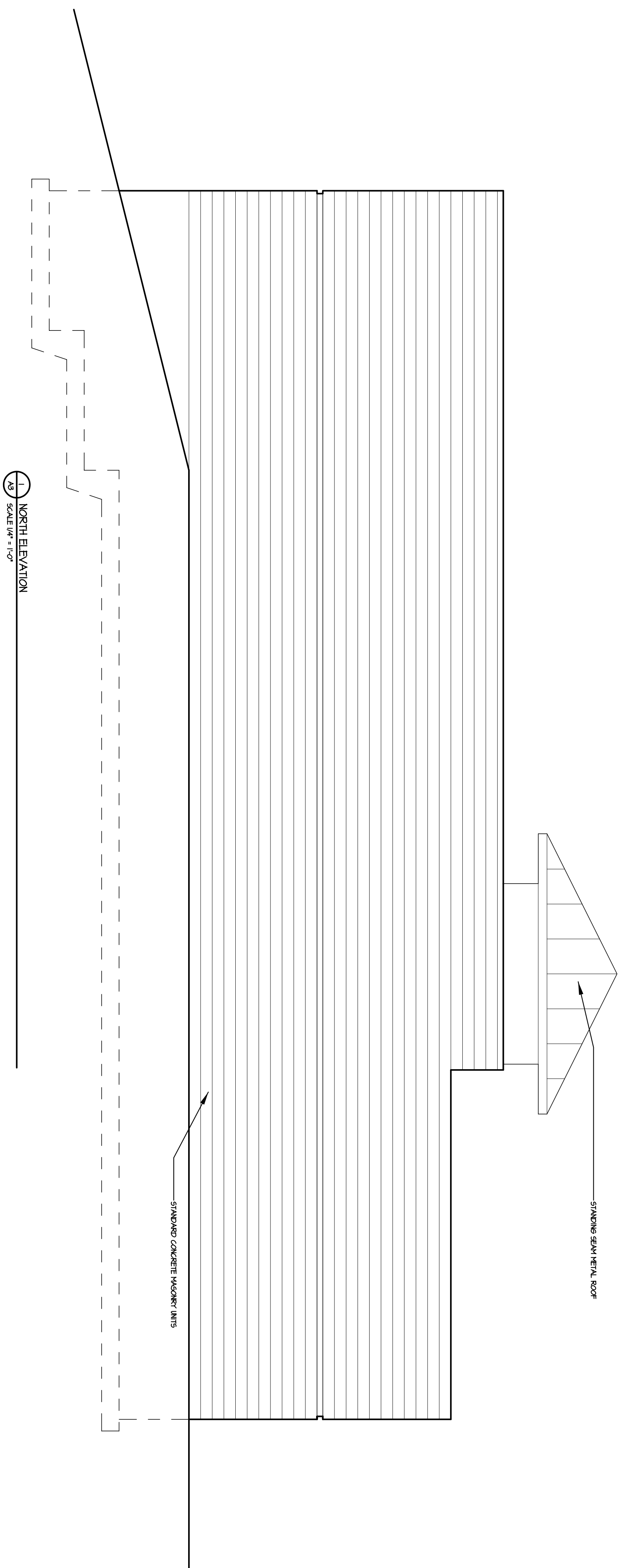


**LOT DESCRIPTION**  
 LOTS 5 AND 6, BLOCK 3, SOUTH MADISON IN THE CITY OF MADISON, DANE COUNTY, STATE OF WISCONSIN EXCEPT THE SOUTH WESTERLY 20' THEREOF.

1 DEMOLITION/EROSION PLAN  
 SCALE: 1" = 10'-0"  
 NORTH

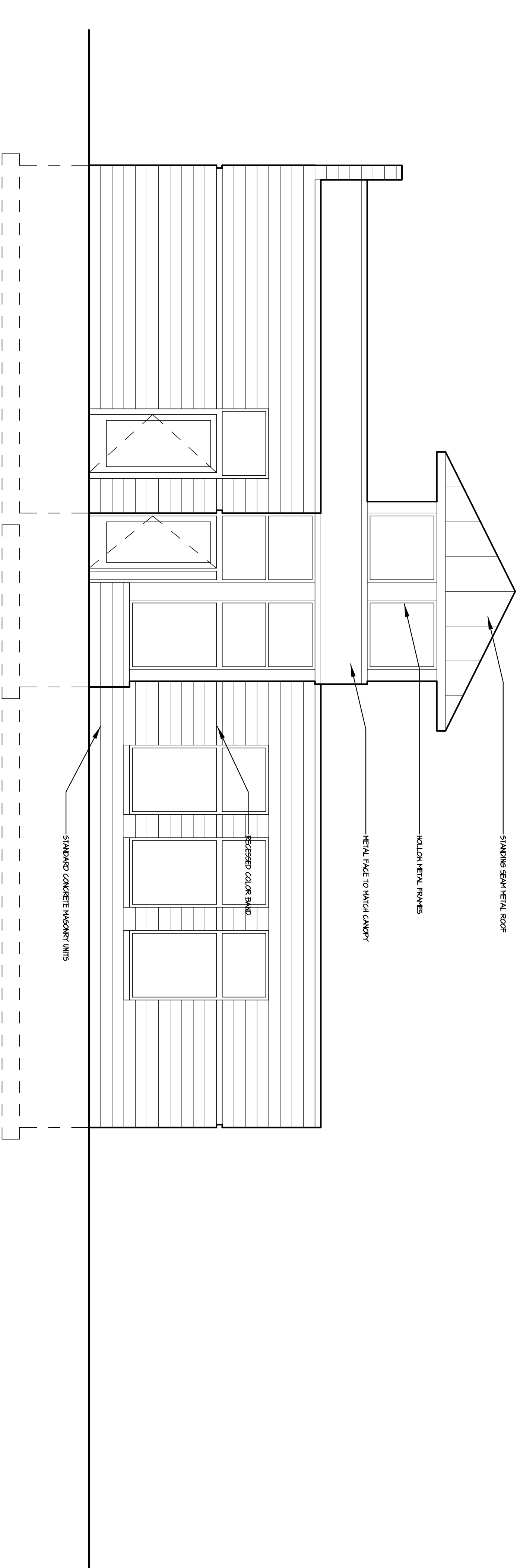
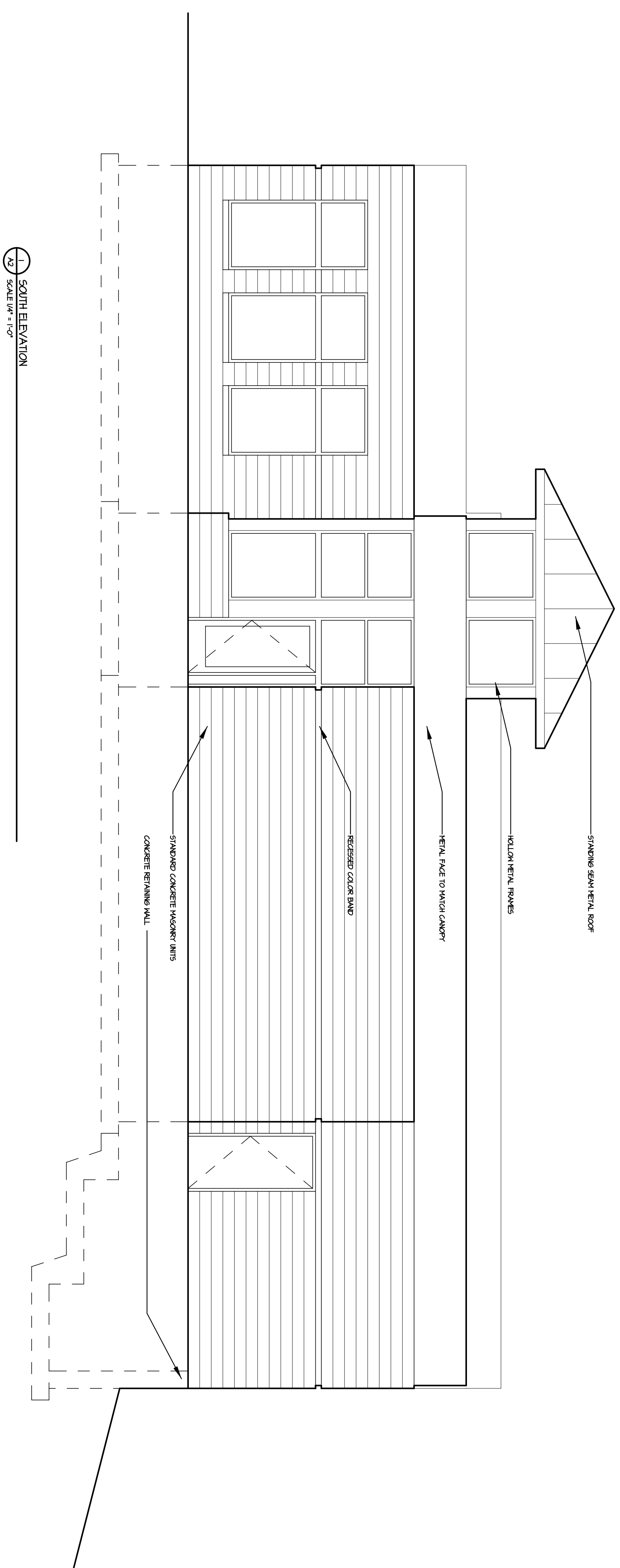
**PROJECT**  
 The Gas Station  
 1129 South Park Street  
 Madison Wisconsin  
**DRAWING**  
 DEMOLITION/EROSION PLAN

**DATA**  
 Project # 20117  
 Date 07/07/07  
 Drawn by: jwa  
**C1**



**PROJECT**  
**The Gas Station**  
 1129 South Park Street  
 Madison Wisconsin  
**DRAWING**  
 BUILDING ELEVATIONS

**DATA**  
 Project # 20117  
 Date 07/07/07  
 Drawn by JWA



2 WEST ELEVATION  
 SCALE 1/4" = 1'-0"

1 SOUTH ELEVATION  
 SCALE 1/4" = 1'-0"

**PROJECT**  
**The Gas Station**  
 1129 South Park Street  
 Madison Wisconsin  
**DRAWING**  
**BUILDING ELEVATIONS**

**DATA**  
 Project # 20117  
 Date 07/07/07  
 Drawn by JWS  
**A2**















bare

COME TO WIN THE FLAVOR IS

6.29

6.44

7.19

5.00

5.00

LASTS LONGER

20 12

5.29

5.29

5.29

5.29

5.29

5.29

5.29





MAVERICK

pepsi  
POWER VITES



MEGA MILLIONS  
Drawings every Tuesday & Friday

MEGA MILLIONS  
Drawings every Tuesday & Friday

COFFEE

MEGA MILLIONS  
Drawings every Tuesday & Friday

BUNS  
BUNS  
BUNS

RICHA  
BREAD

CONCHAS  
SPARKS

DORITOS  
DORITOS  
DORITOS

NEW!  
Chees  
CHERRY BUN



Shop



ON THE GO

IN CASE OF FIRE OR SPILL:  
1. Use Emergency Stop  
2. Call Fire Dept. or 911

OPEN

Marlboro \$7.99

MAVERICK

Coca-Cola

89



**ON THE GO**

OPEN

Marlboro \$7.19

SPECIAL OFFER \$6.97

Marlboro

BEST BARGAIN \$5.29

GRAND PRIZE \$5.69

12 PACK CANS \$2.99

DRUMSTICK

Newport SURE?

ICE 179 369

CLOTHES & SHOES

**CLARK**

UNLEADED 357¢  
EXTRA 371¢  
PREMIUM 383¢

Yellow traffic light

Green traffic light

*True Value*

QUALITY HARDWARE

QUALITY HARDWARE









CLARK

Go

ICE

⊕



13-6

No SMOKING  
TURN OFF  
ENGINE

SELF  
SERVICE

GO

LOTTERY

OPEN

Special Offer  
\$6.97

Marlboro

529

569

12  
PACK  
CANS

M&M'S

\$2.99

WHITE GRAPE

BRUNSTICK

993240





W Clin Av →

**CLARK**

UNLEADED 357.9  
EXTRA 371.9  
PREMIUM 383

**CLARK**

