

LETTER OF INTENT
July 7, 2011
Conditional Use

Gas Station

1129 South Park Street

Proposed by

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1129 South Park Street
Madison, WI 53715

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STATEMENT OF RATIONALE (MARKET)

This submittal is the redevelopment of the existing gas station. This will allow us to remove an undersized structure, and build a new larger mix use station, while also improving all finishing and landscaping.

FEASIBILITY

With the poor condition and small size of the existing structure, this gives the new owner the opportunity to improve all areas for this location. The larger structure allows for more needs for patrons. And the improved finishes and landscaping adds to the improvements that have been made on South Park Street.

PROJECT DESCRIPTION

The new building will have 2,400 square feet. This will include an office, convenience store, and small walk-up take out restaurant. The convenience store will be typical with shelves of grocery and dry goods, and reach in coolers. The owner is also focusing on making this a green structure.

POTENTIAL IMPACTS (AMENITIES)

This redevelopment will help with the station's future needs, as well as make improvements to landscaping, parking, trash collection, maintenance, and access. The new structure will enhance the streetscape for South Park Street. Most of the existing infrastructure will remain, including the canopy structure, street curbs and driveway access. The existing pedestal sign may be replaced.

NEIGHBORHOOD CONTEXT (DENSITY)

With improvements that have made along South Park Street, this will be a timely update. It will be important to continue these kinds of infill projects for Madison's gateway entrance.

OPEN SPACE

This redevelopment will increase and improve the landscaping significantly. The structure will have landscaping adjacent to it. The largest landscaped areas will be used to define the access to this site. The existing fence will be replaced as well. The only existing tree is not seen, blocked by the station. This will be replaced by 3, better located on increased planting areas.

PARKING AND ACCESS

Seven stalls will be provided, with one stalls meeting ADA requirements. All stalls will be 9'-0" by 18'-0". The access to the pumps is being improved to not block any cars in.

MANAGEMENT

It will be managed by the owner, who has several locations throughout the city and surrounding area. Their main office will be located at this site.

BIKE PARKING

With the improved landscaping, we will have locations for 6 bikes located near the entrance.

GENERAL DESIGN STANDARDS – PHASE II

Architectural Design

The structure will have a metal and masonry exterior with hollow metal windows. The front elevation has a two story entrance to break up the building mass and provide for a clear entrance. The structure is broken into 4 areas with different roof heights for additional interest and definition of use.

Utilities

All utility service within the proposed development will be provided underground. We will be able to reuse the existing laterals to the site. See utility plan.

Storm Drainage

All storm water for the structures will drain to South Park Street and Olin Avenue.

Site Lighting

The design of all site lighting will be coordinated to complement the site design and architectural character of the building. We will reuse the canopy that is there now. There is new street lighting at the entrance. Fixtures will be replaced with LED units.

All fixtures will be positioned with care taken to direct light away from windows and street traffic.

Signs

The existing sign may be replaced.

Service Area

Trash collection will be located near the building in a planter with additional screening using a wood fence to match the one that is at the property line.

Landscaping

The landscaping plan will be developed to provide easy maintenance, yet add significant interest.

Walkways

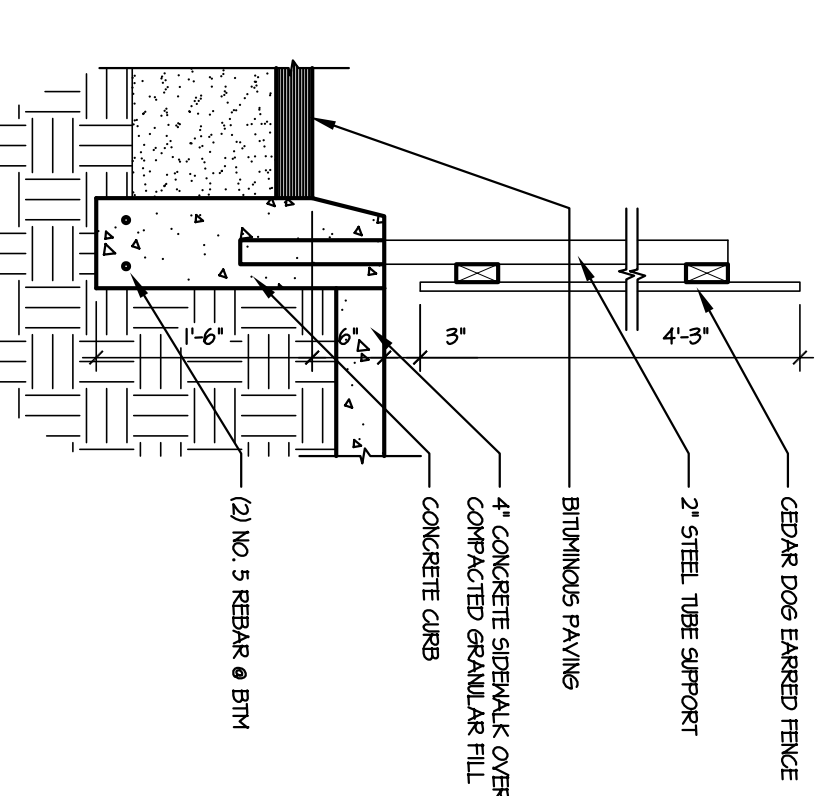
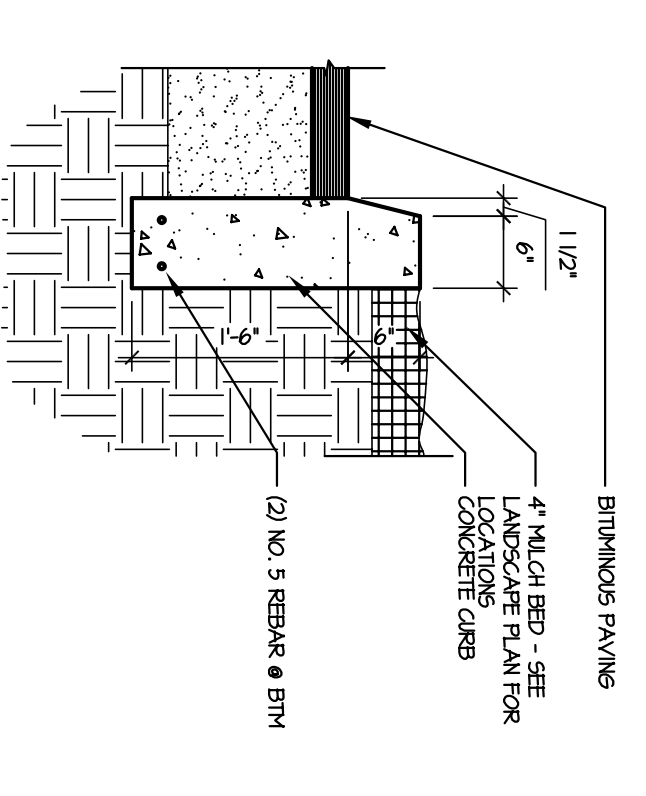
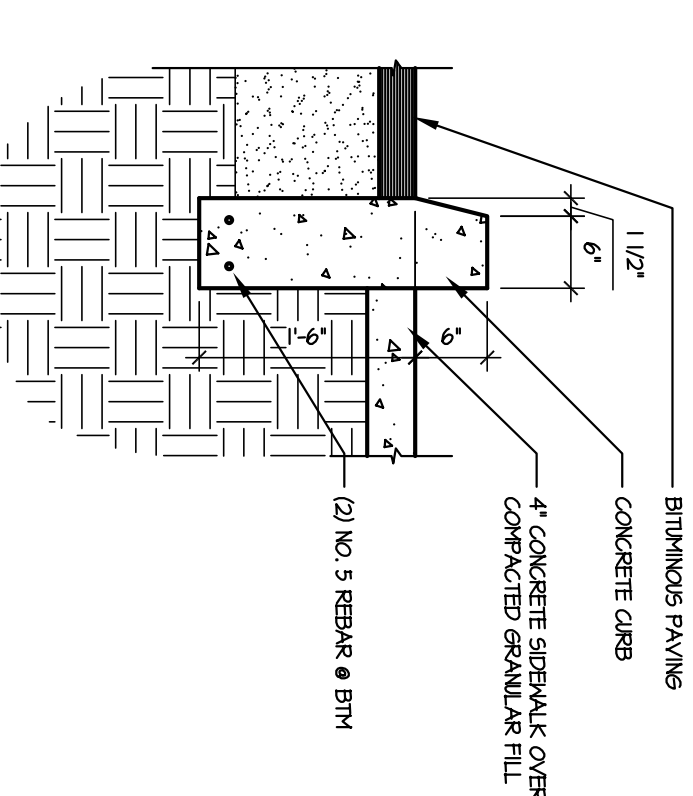
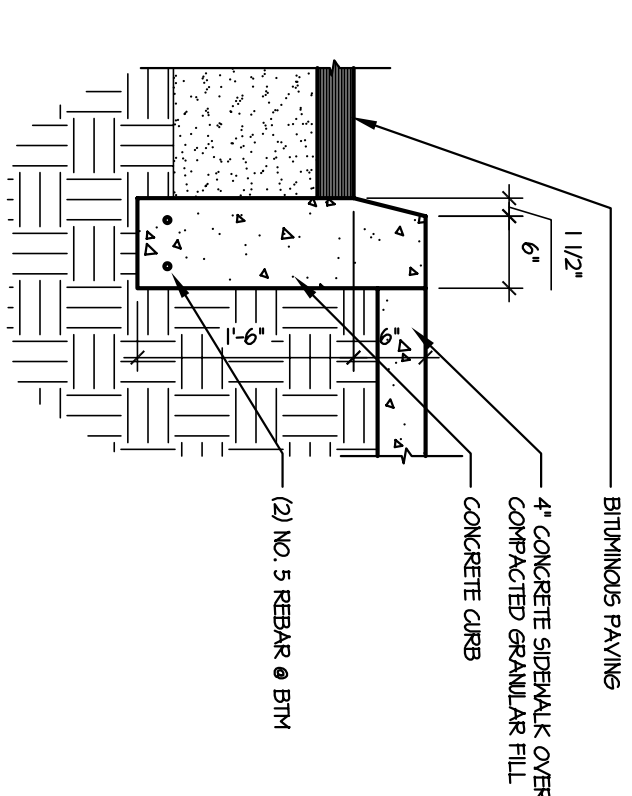
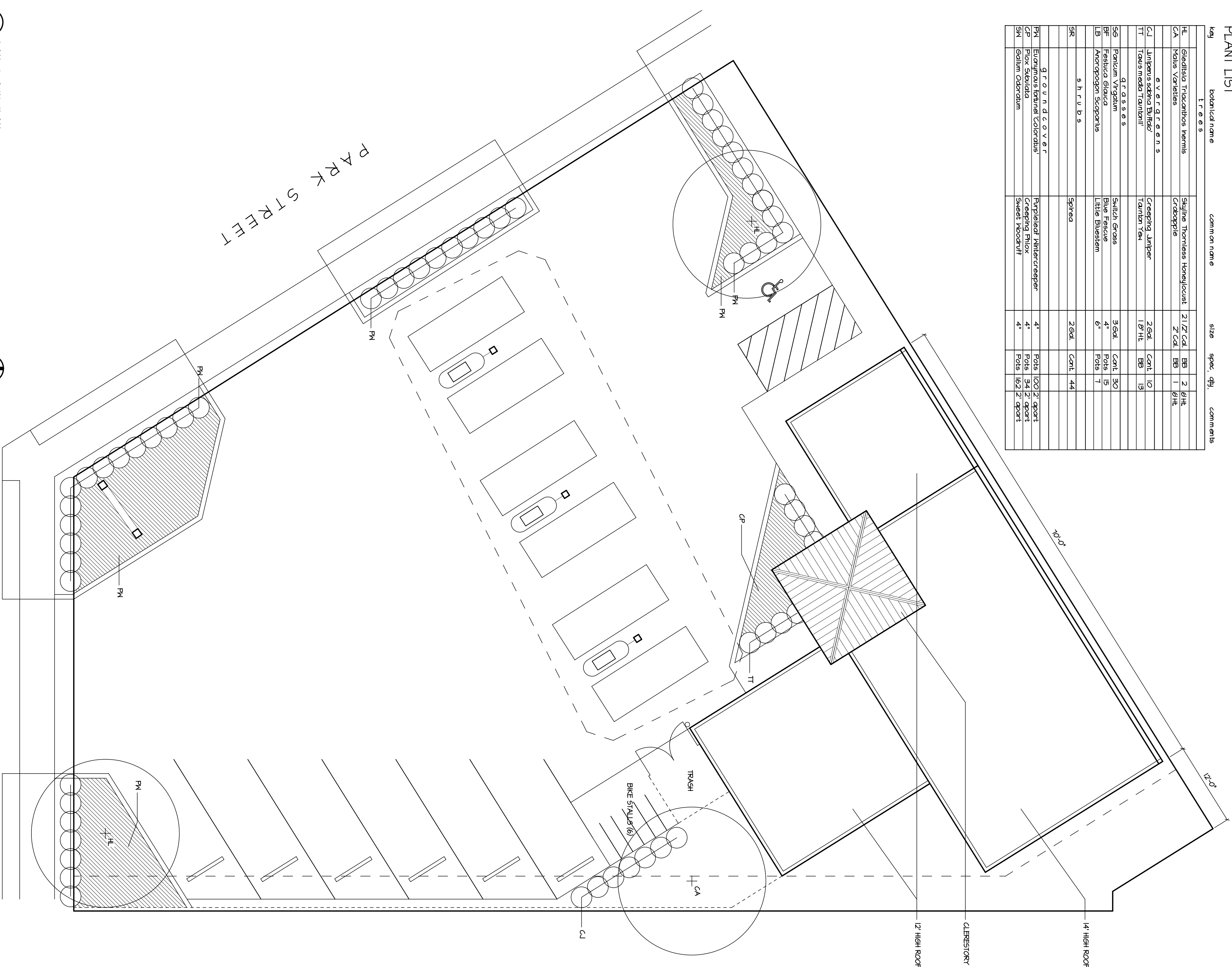
All walkways will be constructed of concrete to match existing sidewalks. The new sidewalk will connect South Park Street to the new building.

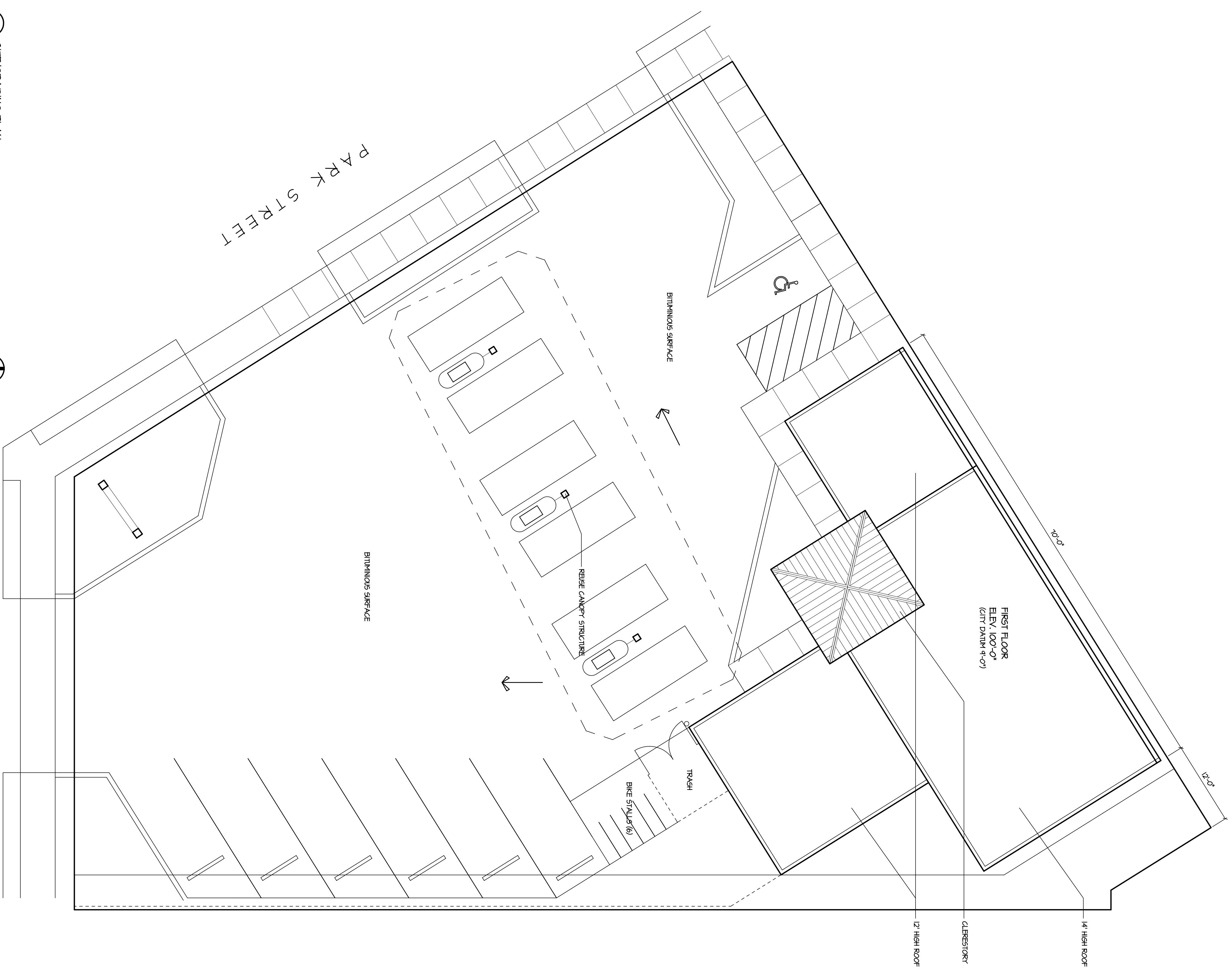
Parking Areas

We will have 7 parking with one meeting ADA requirements for van accessibility.

PLANT LIST

tag	botanical name	common name	size	spec.	qty	comments
Tree's						
HL	Gleditsia Triacanthos var. harrisii	Sage	21'Z/CDL	BB	2	18'HT
CA	Kalmia latifolia	Crabapple	2" CDL	BB	1	18'HT
Evergreen's						
CU	Juniperus horizontalis	Creeping Juniper	2' gdl	CDL	10	
TT	Taxus media 'rambaldi'	Tanbark Tree	1.8' HT	BB	10	
Grasses						
SG	Bouteloua curtipendula	Switch Grass	3' gdl	CDL	30	
BP	Panicum virgatum	Bluestem	6"	Fois	34	2' apart
LB	Arctostaphylos uva-ursi	Little Bluestem	6"	Fois	7	
Shrubs						
SR	shrub	Spruce	2' gdl	CDL	44	
Groundcover						
FM	Elymus farctus	Purple Top	4"	Fois	100	2' apart
CP	Poa annua	Crackseed	4"	Fois	34	2' apart
SM	Scilla maritima	Scilla	4"	Fois	100	2' apart

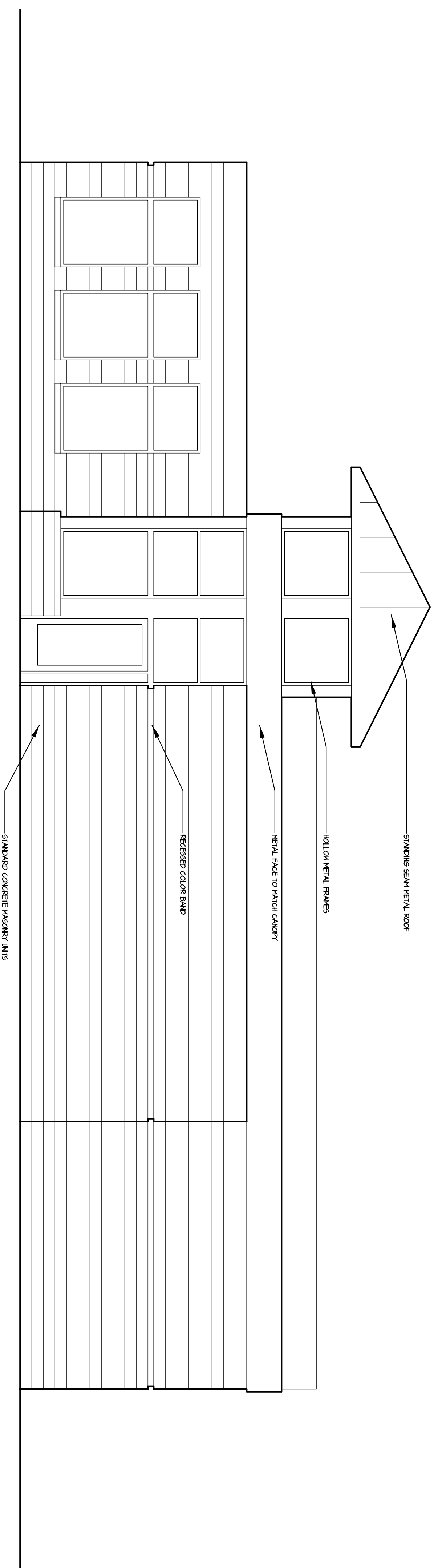




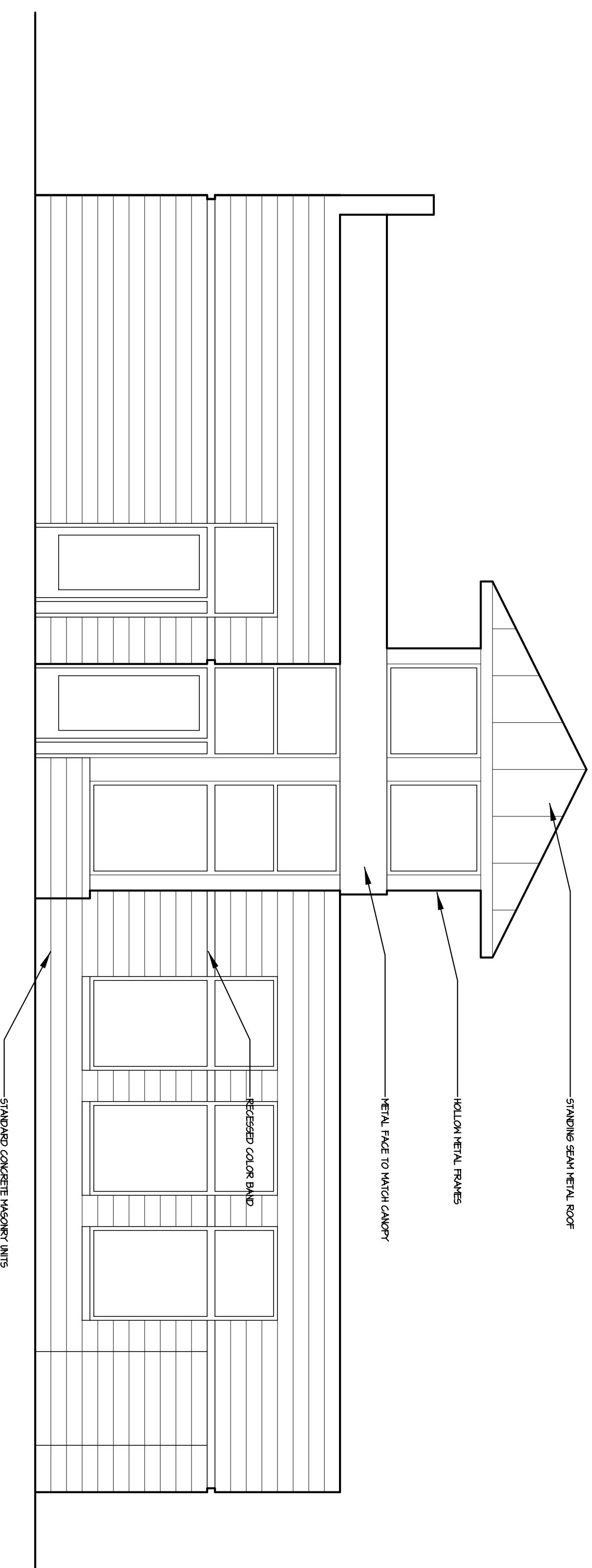
PROJECT
The Gas Station
 129 South Park Street
 Madison Wisconsin

DRAWING
SITE PLAN

DATA
 Project # 20117
 Date 07/07/07
 Drawn by: jwa.



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



1 WEST ELEVATION
SCALE 1/4" = 1'-0"

PROJECT

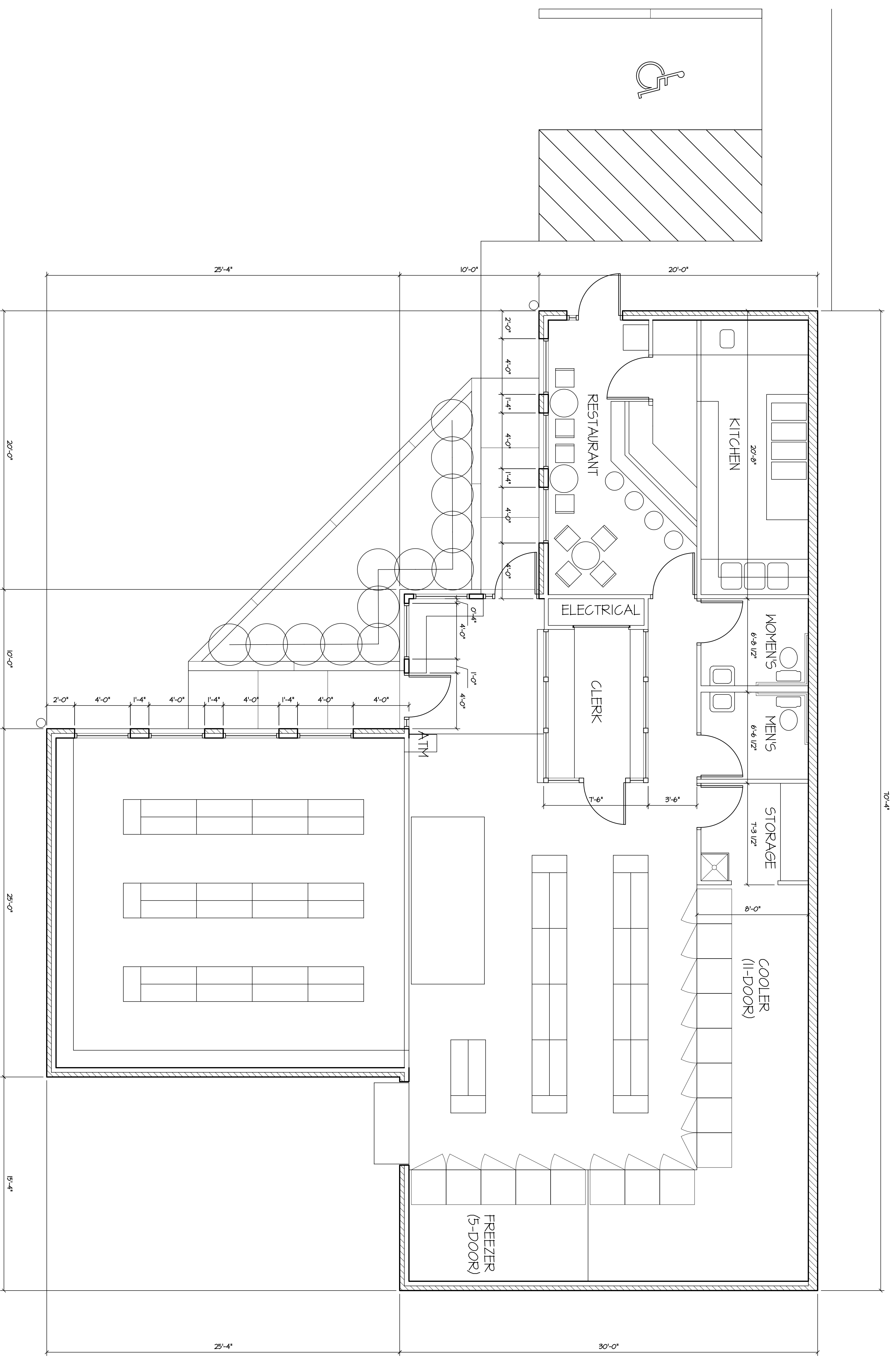
The Gas Station

1129 South Park Street
Madison Wisconsin

DRAWING
BUILDING ELEVATIONS

DATA

Project # 20117
Date 07/07/07
Drawn by JWA



1 FLOOR PLAN
 SCALE 1/4" = 1'-0"
 NORTH

LOCATION

PROJECT

Gas Station
1129 South Park Street

OWNER

Mohammed Ehtasham
1129 South Park Street
Madison, WI 53715 (414)460-4050

ZONING

SITE DATA

INDEX

BUILDING SIZE	2,500	T1	TITLE SHEET
CONSTRUCTION TYPE	5B		
BUILDING HEIGHT	25 FEET		
NUMBER OF STORIES	1		
OCCUPANCY TYPE	B	C1	SITE PLAN
CAPACITY	20	C2	LANDSCAPE PLAN
LOT SIZE	13,200 SQUARE FEET		
PARKING	7		
BIKE STALLS	6	A1	FLOOR PLAN
PUMPS	3		
ZONING	C2	A2	BUILDING ELEVATIONS