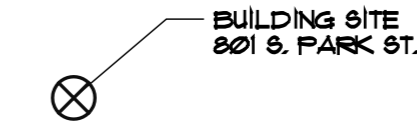


PROPOSED FACILITY FOR:

801 SOUTH PARK STREET

801 SOUTH PARK STREET
MADISON, WISCONSIN

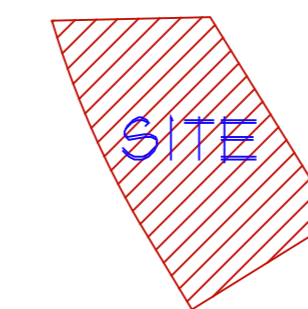
TJK TJK Design Build
634 West Main Street
Madison, WI 53703
DESIGNBUILD 608-257-1090 FAX 608-257-1092



INDEX OF DRAWINGS:

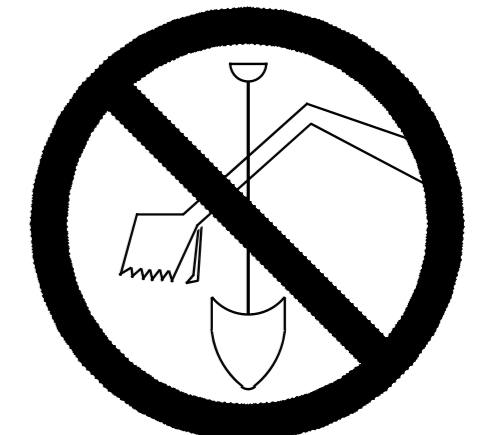
- C-1.0 EXISTING SITE PLAN
- C-1.1 SITE PLAN
- L-1 GRADING AND UTILITY PLAN
- L-2 NOT USED
- L-3 PLANTING PLAN
- A-1.1 LOWER LEVEL FLOOR PLAN
- A-1.2 FIRST FLOOR PLAN
- A-1.3 SECOND FLOOR PLAN
- A-1.4 THIRD AND FOURTH FLOOR PLAN
- A-1.5 ROOF PLAN
- A-2.1 EXTERIOR ELEVATIONS
- A-2.2 EXTERIOR ELEVATIONS
- A-3.1 CROSS SECTION

SITE LOCATION MAP



AERIAL VIEW

TO OBTAIN LOCATIONS OF
PARTICIPANTS UNDERGROUND
FACILITIES BEFORE YOU
DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 102.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

PROPOSED FACILITY FOR:
801 SOUTH PARK STREET

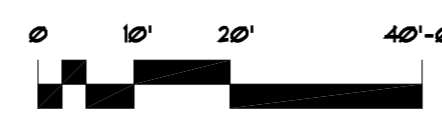


EXISTING SITE PLAN

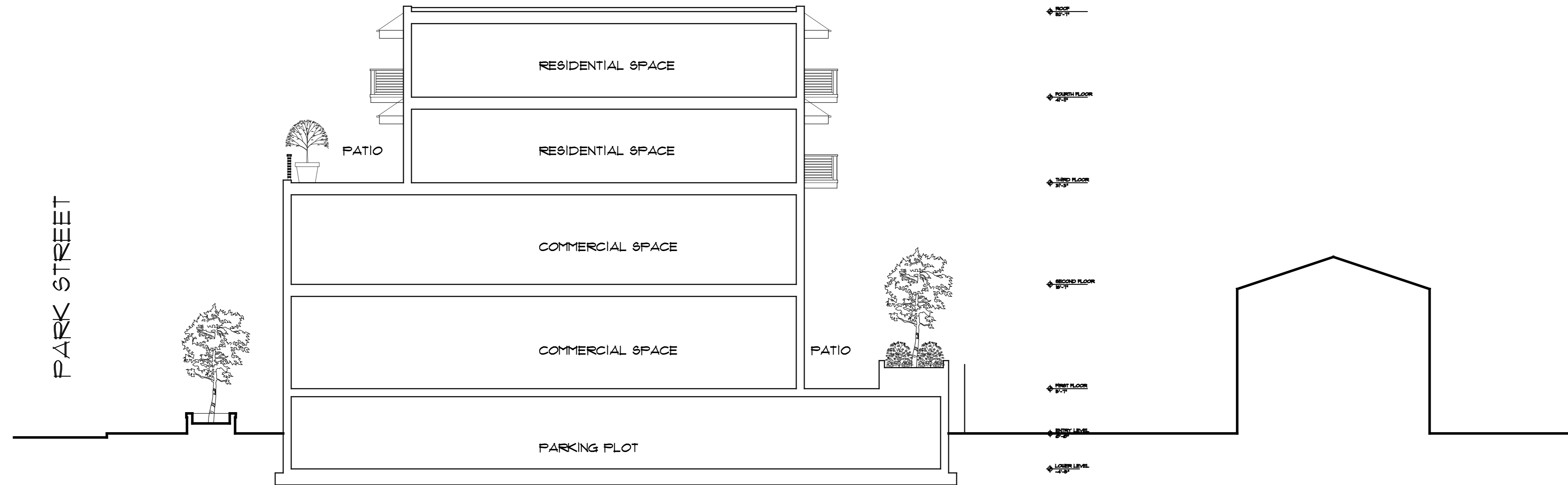
EXHIBIT 'A'

1
C-1.0

SCALE: 1" = 20' - 0"



SCALE 1" = 20'-0"



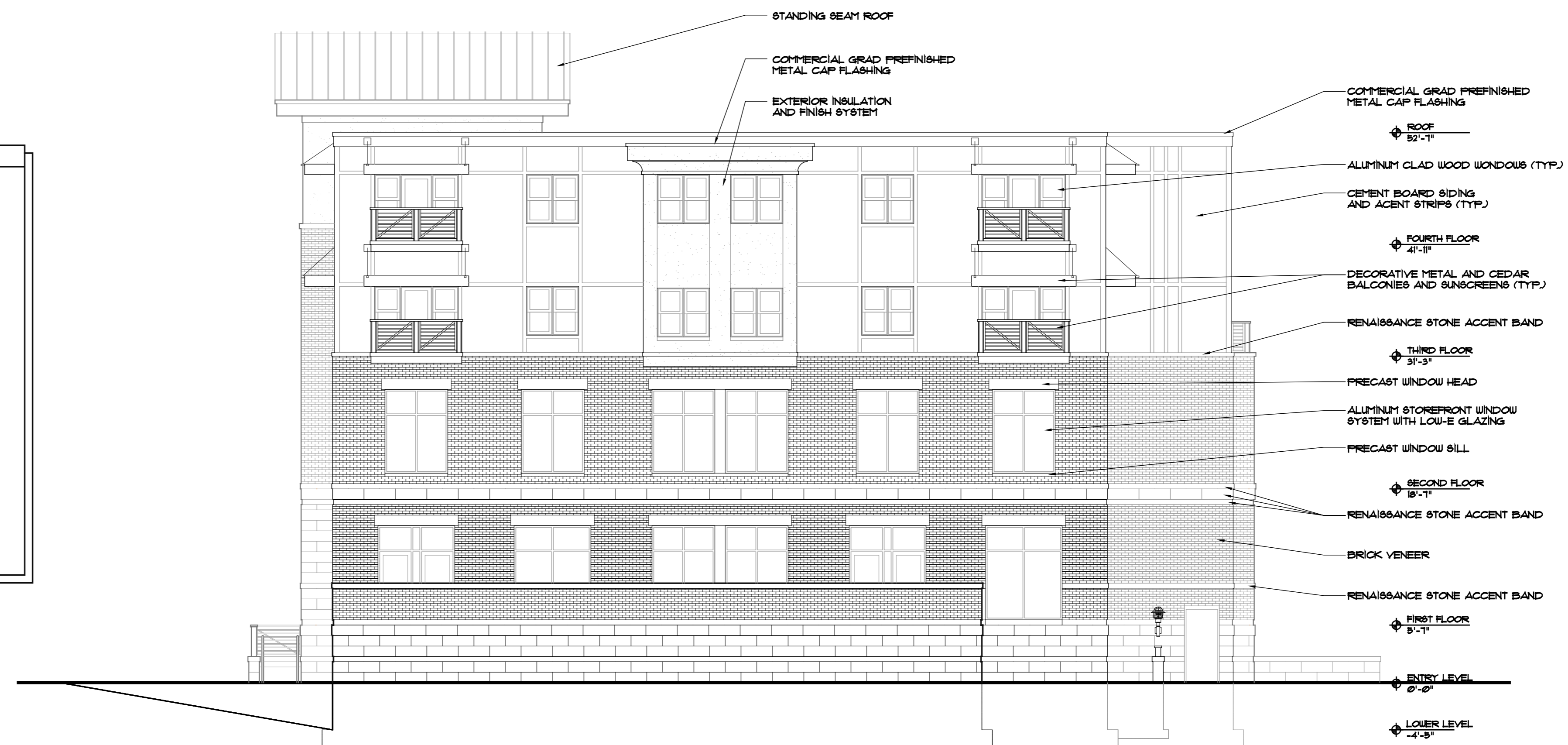
PARK STREET

① SCHEMATIC SECTION FROM PARK STREET TO BACK PROPERTY LINE
A-3.1 SCALE: 1/8" = 1' - 0"



1 ALLEY ELEVATION
A-2.2 SCALE: 1/8" = 1' - 0"

MATERIAL LIST	
STANDING SEAM ROOF:	COATED METALS GROUP, "DARK BRONZE"
PREFINISHED METAL FASCIA AND SOFFIT:	COATED METALS GROUP
EXTERIOR INSULATION AND FINISH SYSTEM:	COLOR TO MATCH SHERWIN WILLIAMS, #9U 2846, "NOTORCOTT BRONZE GREEN"
CEMENT BOARD SIDING:	PAINT TO MATCH SHERWIN WILLIAMS, #6W138, "LIBRARY PEWTER"
ALUMINUM CLAD WOOD WINDOWS:	PELLA "DARK BRONZE" ALUMINUM CLADDING WITH LOW-E GLASS
ALUMINUM STOREFRONT WINDOW SYSTEM:	KALNEER "DARK BRONZE" ALUMINUM WITH INSULATED LOW-E GLASS, THERMAL BREAKS IN FRAME
FIELD BRICK:	ENDICOTT CLAY PRODUCTS CO. MEDIUM IRON SPOT #11 UTILITY SIZE VELOUR FINISH WITH COLORED MORTAR IN ACCENT COLOR
RENAISSANCE STONE ACCENT BAND:	EDWARDS CAST STONE, #3 "BUFF"
RENAISSANCE STONE BASE AND ACCENT BANDS:	ARRISCRIFT INTERNATIONAL INC. RENAISSANCE STONE, "WHEAT", SMOOTH, 12x24 WITH COLORED MORTAR TO MATCH
CEDAR RAILINGS:	STAIN TO MATCH SHERWIN WILLIAMS
PRECAST HEADS AND SILLS:	EDWARDS CAST STONE, #5 "TAN"



2 BACK ELEVATION
A-2.2 SCALE: 1/8" = 1' - 0"

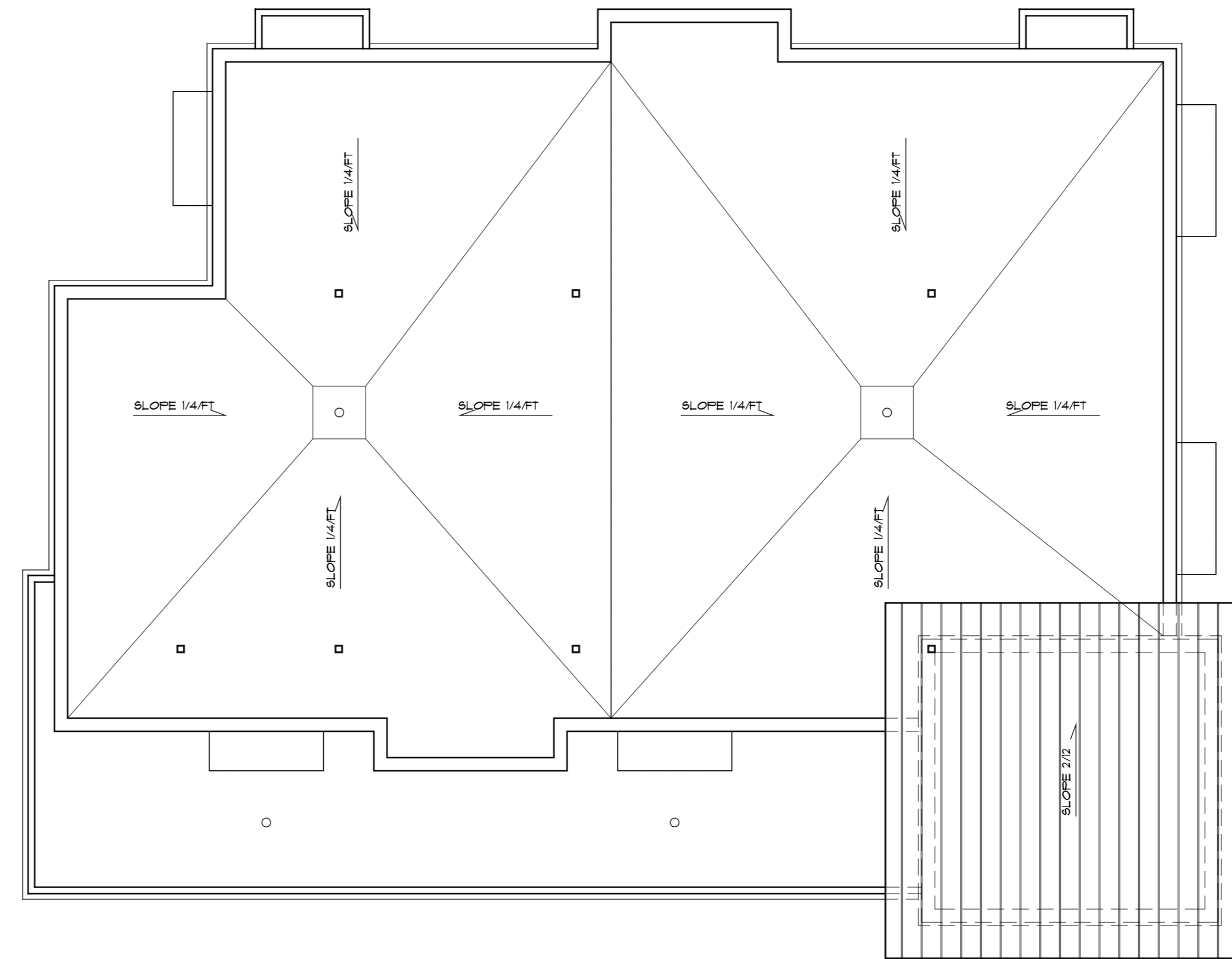


1 PARKING LOT ELEVATION
SCALE: 1/8" = 1' - 0"

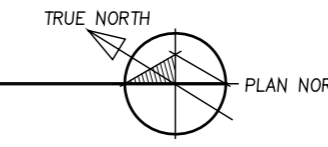


2 PARK STREET ELEVATION
SCALE: 1/8" = 1' - 0"

MATERIAL LIST	
STANDING SEAM ROOF:	COATED METALS GROUP, "DARK BRONZE"
PREFINISHED METAL FASCIA AND SOFFIT:	COATED METALS GROUP
EXTERIOR INSULATION AND FINISH SYSTEM:	COLOR TO MATCH SHERWIN WILLIAMS, #90 2846, "ROYCROFT BRONZE GREEN"
CEMENT BOARD SIDING:	PAIN TO MATCH SHERWIN WILLIAMS, #90138, "LIBRARY PEWTER"
ALUMINUM CLAD WOOD WINDOWS:	FELLA, "DARK BRONZE, ALUMINUM CLADDING WITH LOW-E GLASS"
ALUMINUM STOREFRONT WINDOW SYSTEM:	KALINEER, "DARK BRONZE" ALUMINUM WITH INSULATED LOW-E GLASS, THERMAL BREAKS IN FRAME
FIELD BRICK:	ENDICOTT CLAY PRODUCTS CO. MEDIUM IRON SPOT #71 UTILITY SIZE VELOUR FINISH WITH COLORED MORTAR IN ACCENT COLOR
RENAISSANCE STONE ACCENT BAND:	EDWARDS CAST STONE, #3 "BUFF"
RENAISSANCE STONE BASE AND ACCENT BANDS:	ARRISCRAFT INTERNATIONAL INC. RENAISSANCE STONE "IDEALTY" SMOOTH, 12x24 WITH COLORED MORTAR TO MATCH
CEDAR RAILING:	STAIN TO MATCH SHERWIN WILLIAMS
PRECAST HEADS AND SILLS:	EDWARDS CAST STONE, #5 "TAN"

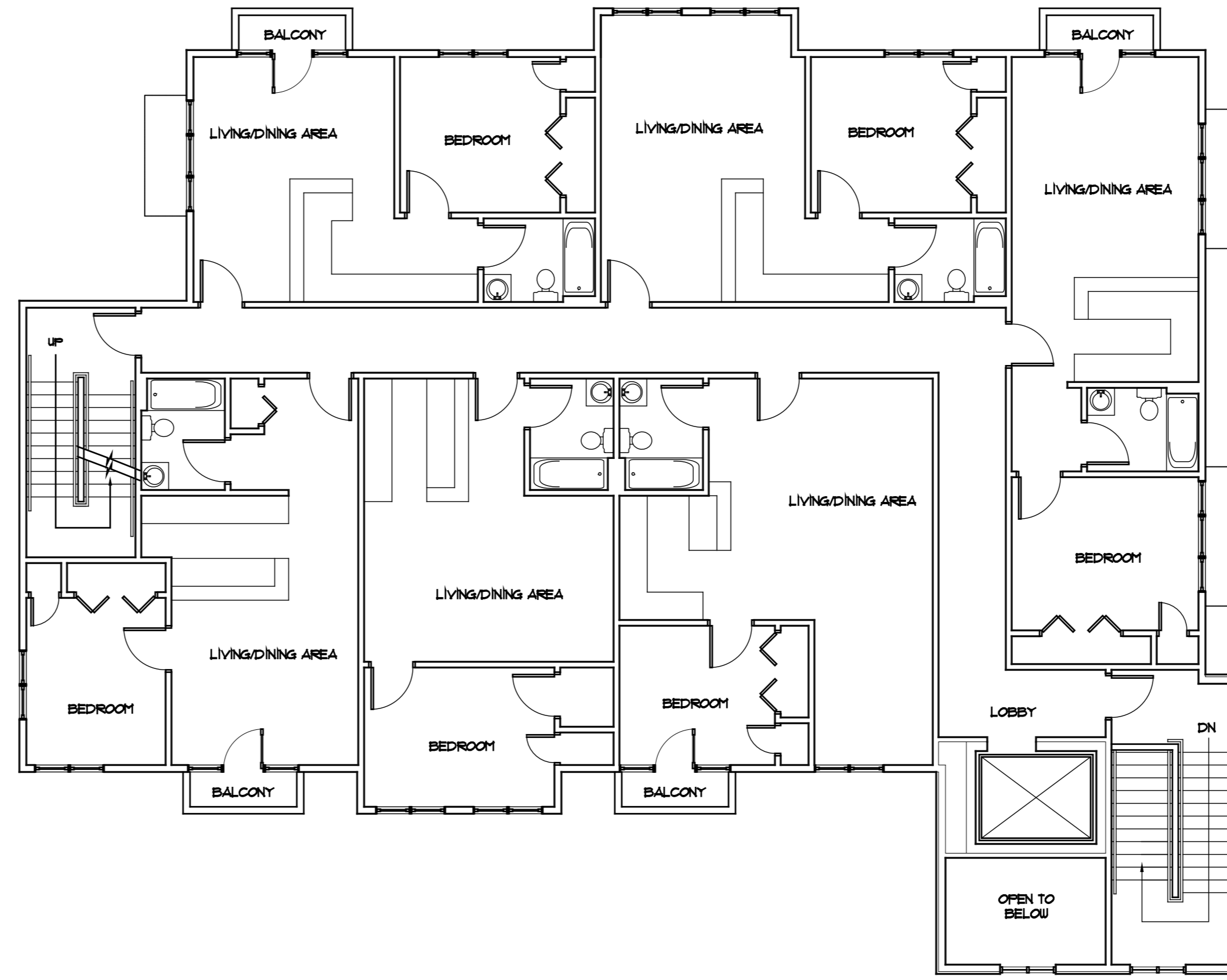


1 ROOF PLAN
A-15 SCALE: 1/8" = 1' - 0"

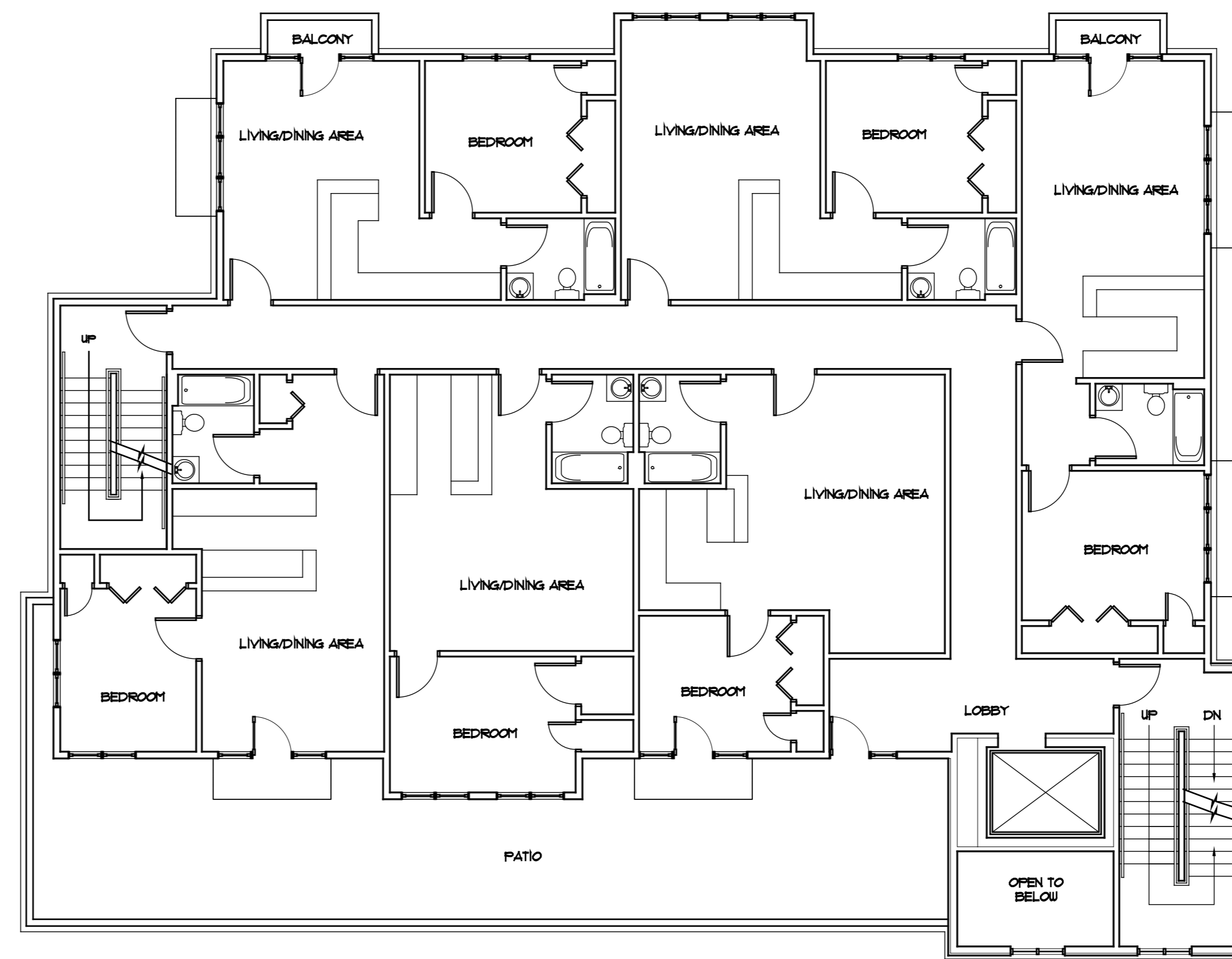


GENERAL ROOF PLAN NOTES

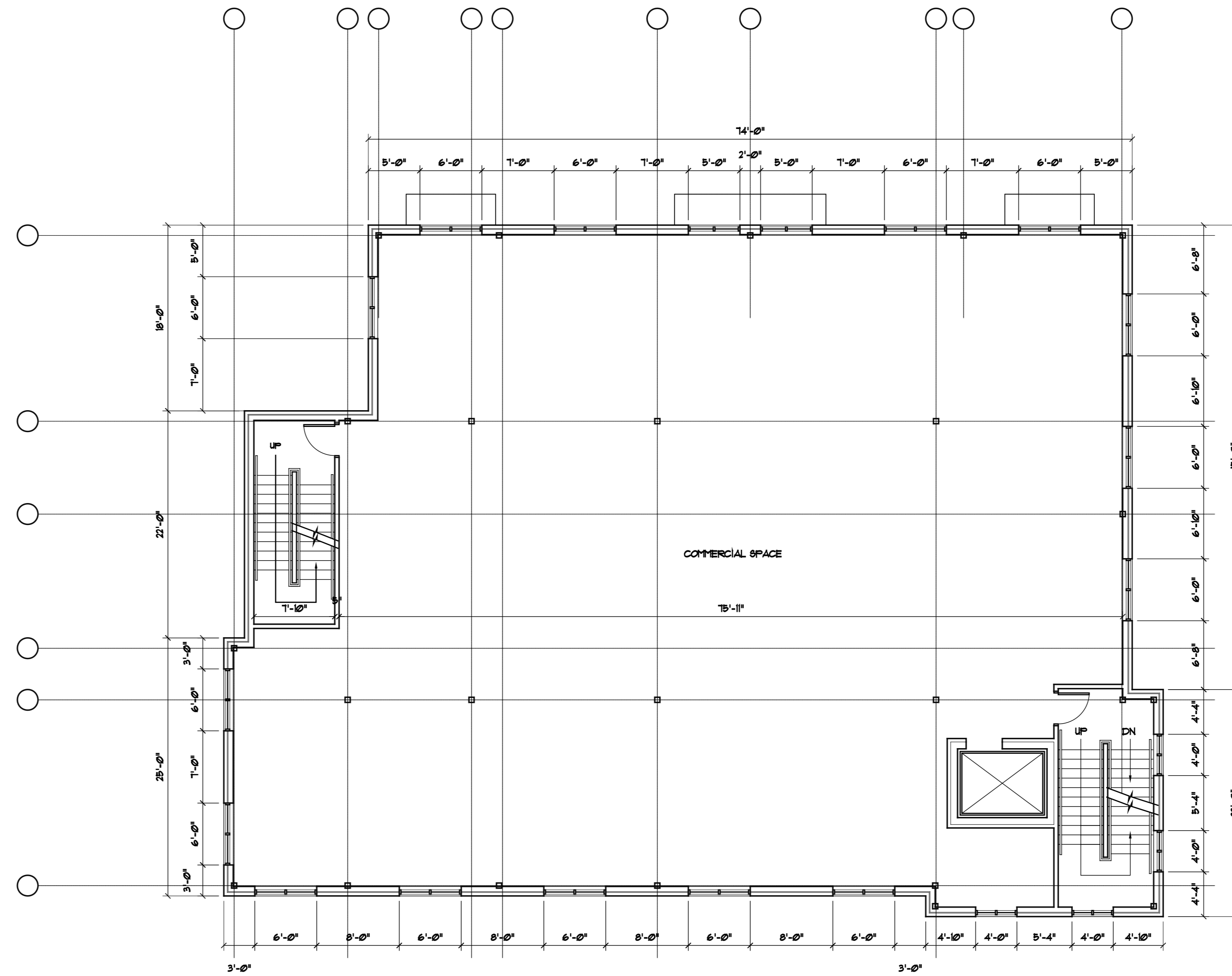
TYPICAL FLAT ROOF
 PREFABRICATED WOOD TRUSSES • 24" OC, 3/4" TAG, 5-PLY, OSB PLYWOOD,
 6 MIL VAPOR BARRIER, R-30 POLYISOCYANURATE RIGID INSULATION,
 48 MIL EPDM RUBBER ROOFING MEMBRANE WITH 12 LB/SQ FT ROOFING BALLAST



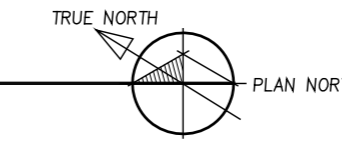
2 FOURTH FLOOR PLAN
A-14 SCALE: 1/8" = 1' - 0"

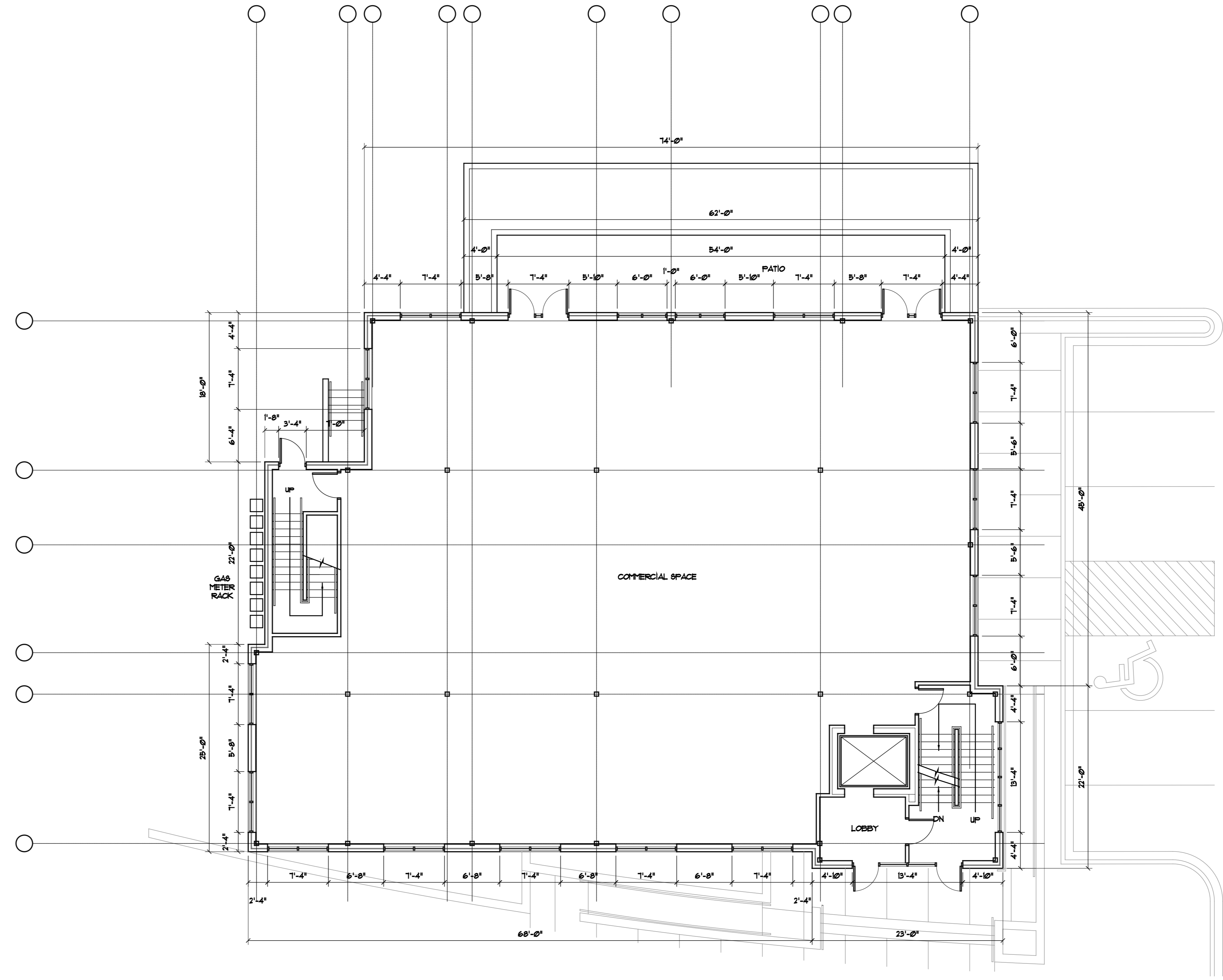


1 THIRD FLOOR PLAN
A-14 SCALE: 1/8" = 1' - 0"

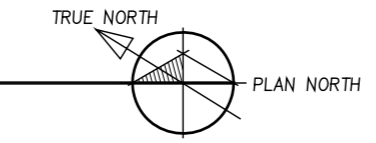


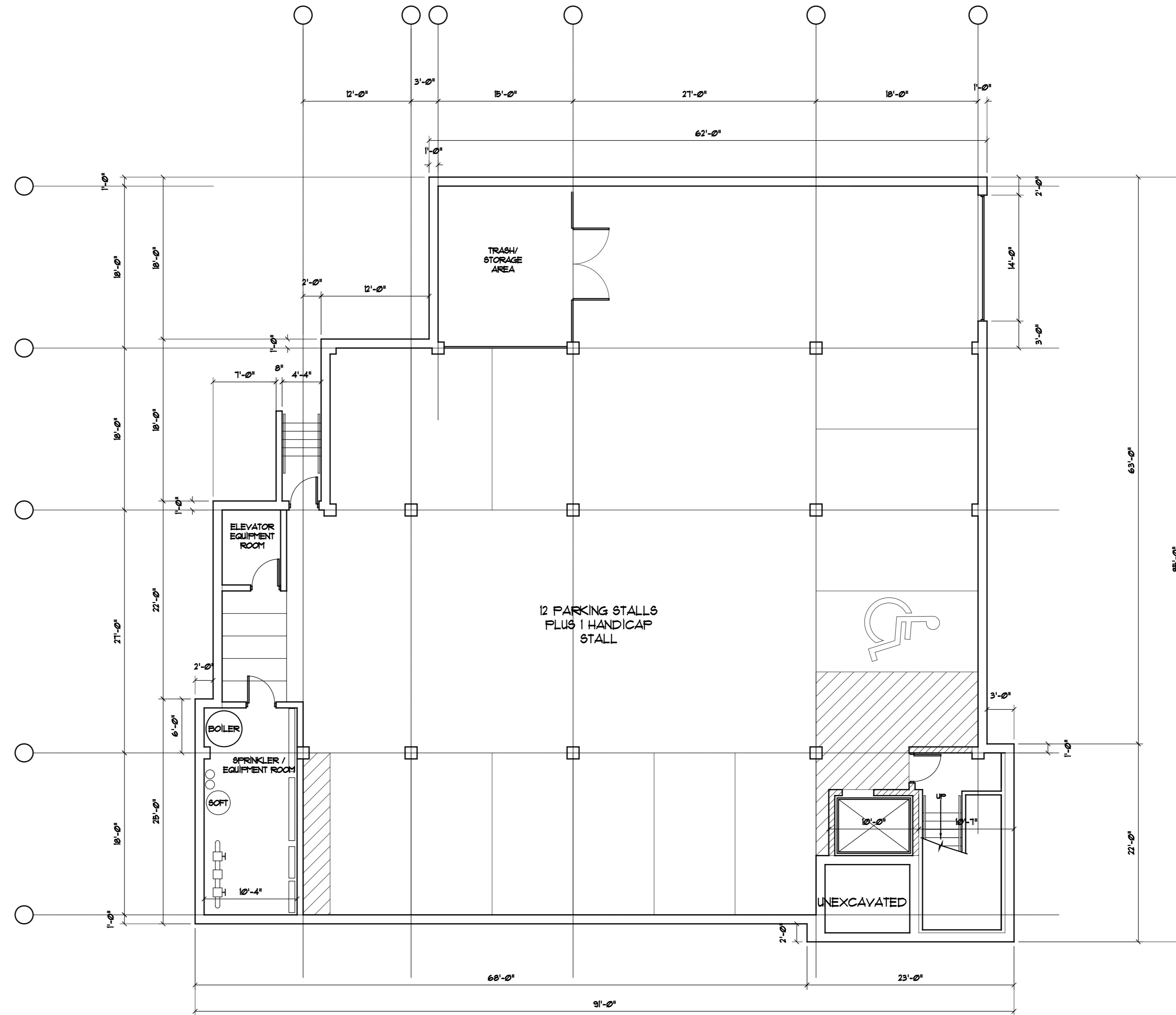
1 SECOND FLOOR PLAN
A-13 SCALE: 1/8" = 1' - 0"





FIRST FLOOR PLAN
SCALE: 1/8" = 1' - 0"





1 LOWER LEVEL FLOOR PLAN
A-11 SCALE: 1/8" = 1' - 0"
TRUE NORTH
PLAN NORTH



LEGEND:

- PROPERTY CORNER
- SAN — SANITARY SEWER
- STM — STORM SEWER
- W — WATER MAIN
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W LIGHT
- MANHOLE
- ⊕ WATER VALVE
- ⊕ CURB INLET
- STORM SEWER ACCESS COVER
- ⊕ SPOT ELEVATION
- ⊕ MONITORING WELL
- ▨ EXISTING BUILDING

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

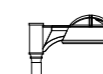




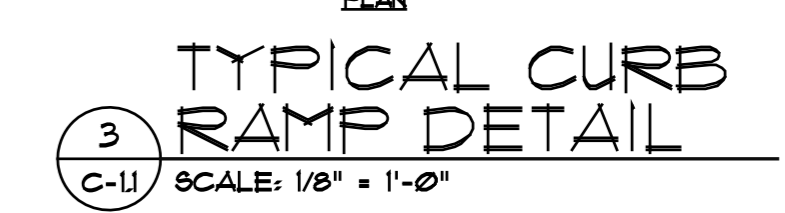
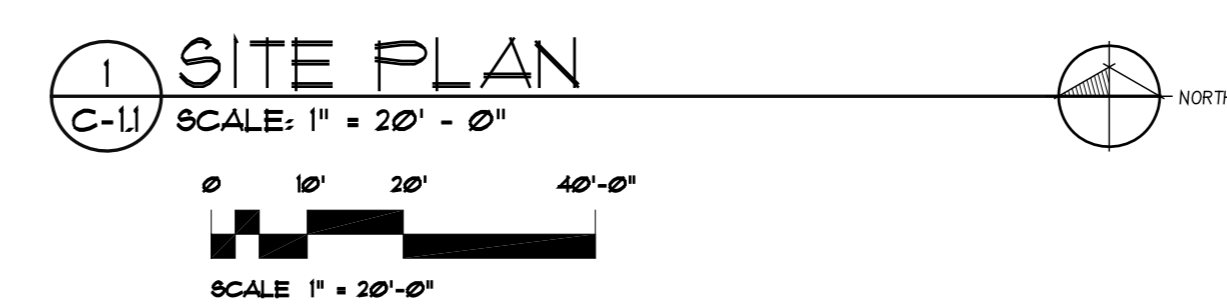
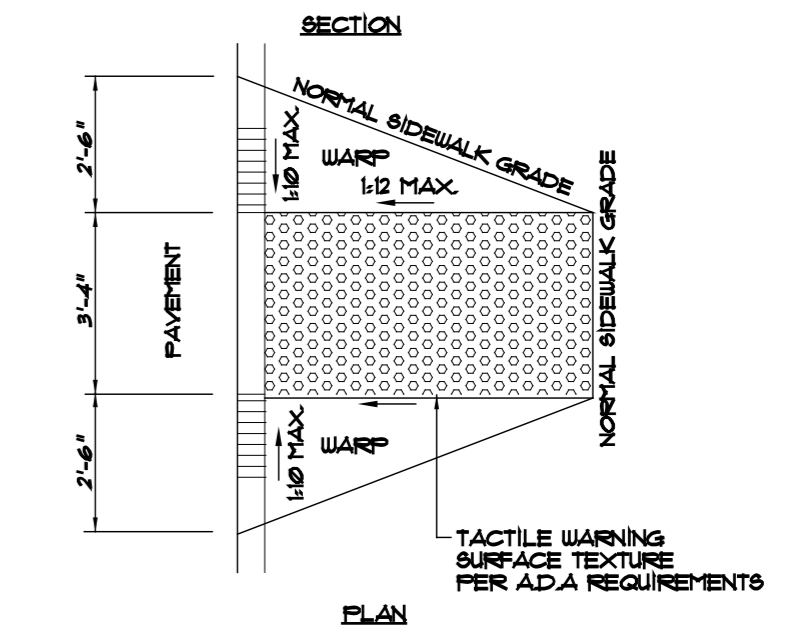
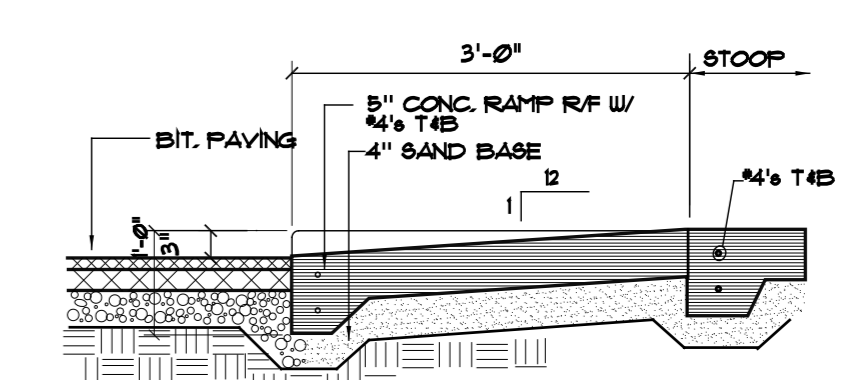
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WI'S STATUTE (SC.215/1514)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

GENERAL NOTES:

1. ALL PAINT STRIPPING SHALL BE 4" WIDE, YELLOW
2. H.C. CURB CUTS AND RAMPS PER ADA SEC. 411 MAX. SLOPE TO BE 1:2, MIN. WIDTH TO BE 36", TRUNCATED DOMES ARE TO BE INSTALLED ON EACH SIDE, DIAMOND MESH SURFACE FULL WIDTH AND DEPTH OF RAMP. SEE DETAIL 2/C-11
3. ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
4. BITUMINOUS PAVING 1.5" SURFACE COURSE ON 8" COMPACTED STONE BASE (APPROXIMATE ASPHALTIC AREA: 6,610 SQ FT)
5. ALL EXTERIOR CONCRETE SIDEWALKS TO BE 6" BAG MIX WITH WESTERN FINISH 5" THICK W/ W/F REINFORCING ON 6" COMPACTED FILL (AREA OF SIDEWALKS: 1,045 SQ FT)
6. WATER SERVICE MATERIAL SHALL BE 2" COPPER
7. SEWER AND WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION.
8. DRIVEWAY APRON CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARDS
9. EXISTING WATERMAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION
10. SLOPES GREATER THAN 3:1 SHALL BE LINED WITH EROSION MATTING
11. TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE VILLAGE
12. ACCESSIBLE SIGNAGE AT THE HEAD OF STALLS SHALL BE A MINIMUM OF 60 INCHES BETWEEN THE BOTTOM OF THE SIGN AND THE GROUND

LIGHT FIXTURE KEY

-  A. U.S. ARCHITECTURAL LIGHTING CATALOG# GLX-341 HR-V-SQ 250 MH 2T1 G-1 DBZ H8/8F (15'-0" FROM GRADE)
-  B. U.S. ARCHITECTURAL LIGHTING CATALOG# OVP1 1L 50 WM DBZ (7'-0" FROM GRADE)
-  C. U.S. ARCHITECTURAL LIGHTING CATALOG# 3025 60 MH 120 BLK 8F (2'-0" FROM GRADE)



634 West Main Street
Madison, WI 53703
608-251-1090
FAX 608-251-1092

REV DATE

REV	DATE	DESCRIPTION

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PROPOSED FACILITY FOR:
801 SOUTH PARK STREET

801 SOUTH PARK STREET
MADISON, WISCONSIN

C-11
11.11.09

EXISTING ALLEY

4 STORY MIXED USE BUILDING
WITH LOWER LEVEL PARKING
9,540 SQ FT COMMERCIAL SPACE
12 APARTMENT UNITS
15 PARKING STALLS AT GRADE
15 LOWER LEVEL PARKING STALLS

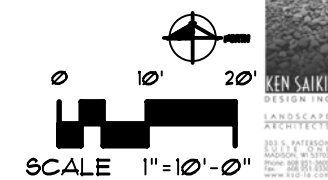
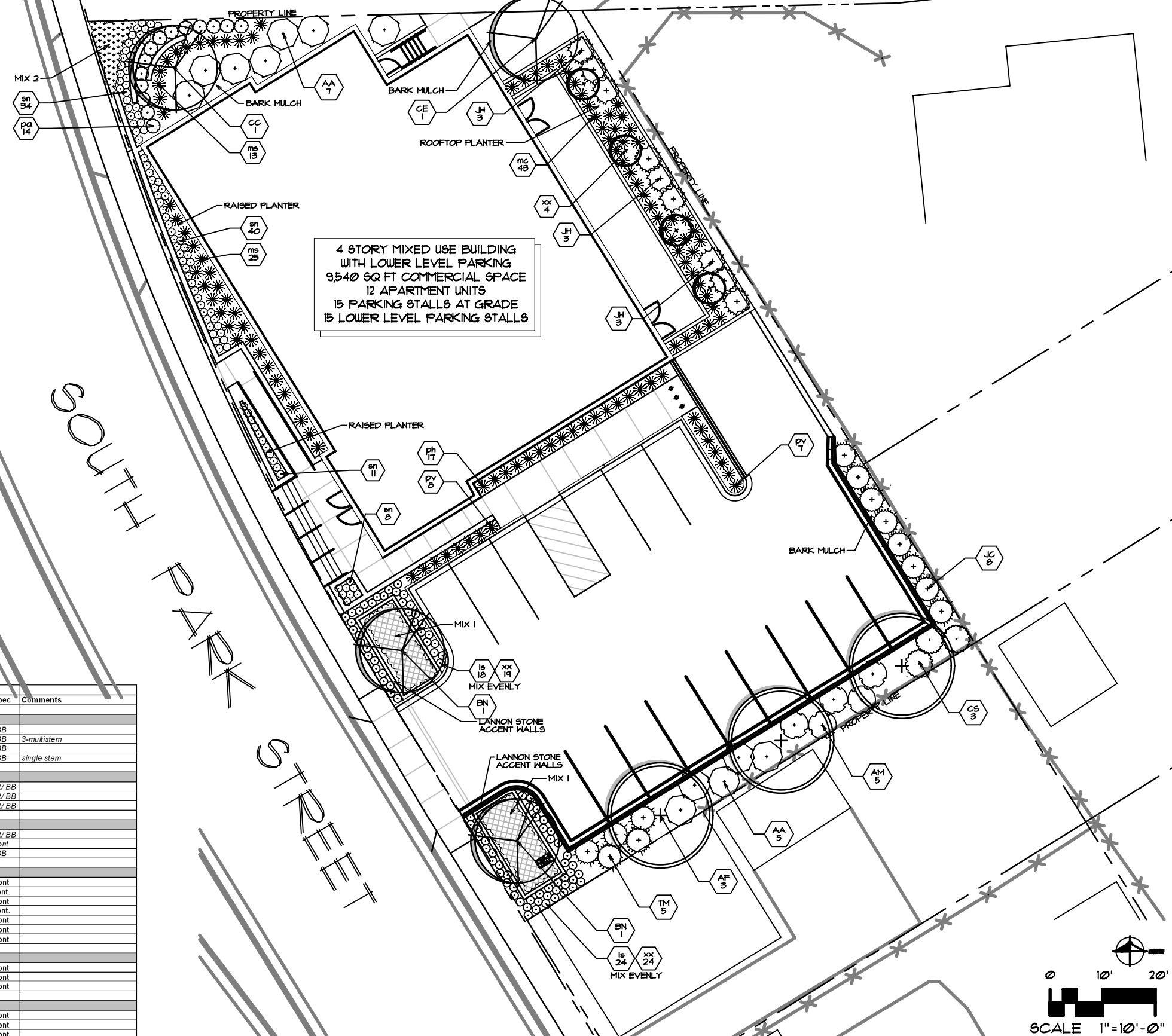
SOUTH PARK STREET

City of Madison - Landscape Worksheet

Number of Parking Stalls	15
Total Sq. Footage of Storage Area	4573
Number of Canopy Shade Trees Required - 2" - 2 1/2" cal.	1
No. of Landscape Points Required	74
Number of Points Required	74

Element	Point Value	Quantity	Points Achieved
Canopy Tree: 2" - 2 1/2"	35	5	175
Deciduous Shrub	2	13	26
Evergreen Shrub	3	13	39
Decorative Wall or Fence (per 10 L.F.)	5		0
Earth Berm (per 10 L.F.)			0
Avg. Height 30"	5		0
Avg. Height 15"	2		0
Evergreen Trees 3' height minimum	15		0
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15		0
Total Points			240

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
AF	<i>Acer x freemanii</i> 'Marmo'	Marmo Maple			BB	
BN	<i>Betula nigra</i> 'Cully'	Heritage River Birch			BB	3-multistem
CC	<i>Carpinus caroliniana</i>	American Hornbeam			BB	
CE	<i>Cercis canadensis</i>	Eastern Redbud			BB	single stem
Deciduous Shrubs						
AA	<i>Amelanchier alnifolia</i> 'Regent'	Regent Saskatoon Serviceberry			cont/BB	
AM	<i>Aronia melanocarpa</i>	Black Chokeberry			cont/BB	
CS	<i>Cornus sericea</i> 'Isanti'	Isanti Dogwood			cont/BB	
Evergreen Shrubs						
JC	<i>Juniperus chinensis</i> 'Iowa'	Iowa Chinese Juniper			cont/BB	
JH	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper			cont	
TM	<i>Taxus x media</i> 'Hicks'	Hicks Intermediate Yew			BB	
Perennials/Grasses/Groundcovers						
ls	<i>Liatris spicata</i> 'Kobold'	Spike gayfeather			cont	
mc	<i>Molinia caerulea</i> 'Variegata'	Variegated Purple Moor Grass			cont.	
ms	<i>Miscanthus sinensis</i> 'Morning Light'	Morning Light Japanese Silver Grass			cont.	
pa	<i>Perovskia atriplicifolia</i>	Russian sage			cont.	
ph	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Dwarf Fountain Grass			cont.	
pv	<i>Panicum virgatum</i> 'Northwind'	Norwind Switchgrass			cont.	
sn	<i>Salvia nemorosa</i> 'May Night'	May Night Sage			cont.	
Mix 1						
	<i>Carex ostricta</i>	Fringed Sedge			cont.	
	<i>Carex vulpinoidea</i>	Fox Sedge			cont.	
	<i>Iris versicolor</i>	Blue Flag Iris			cont.	
Mix 2						
	<i>Allium tanguticum</i> 'Summer Beauty'	Summer Beauty Ornamental Chive			cont.	
	<i>Sporobolus heterolepis</i>	Prairie dropseed			cont.	



KEN SAIKI
DESIGN INC
LANDSCAPE ARCHITECTS



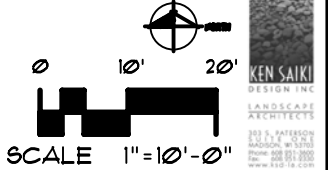
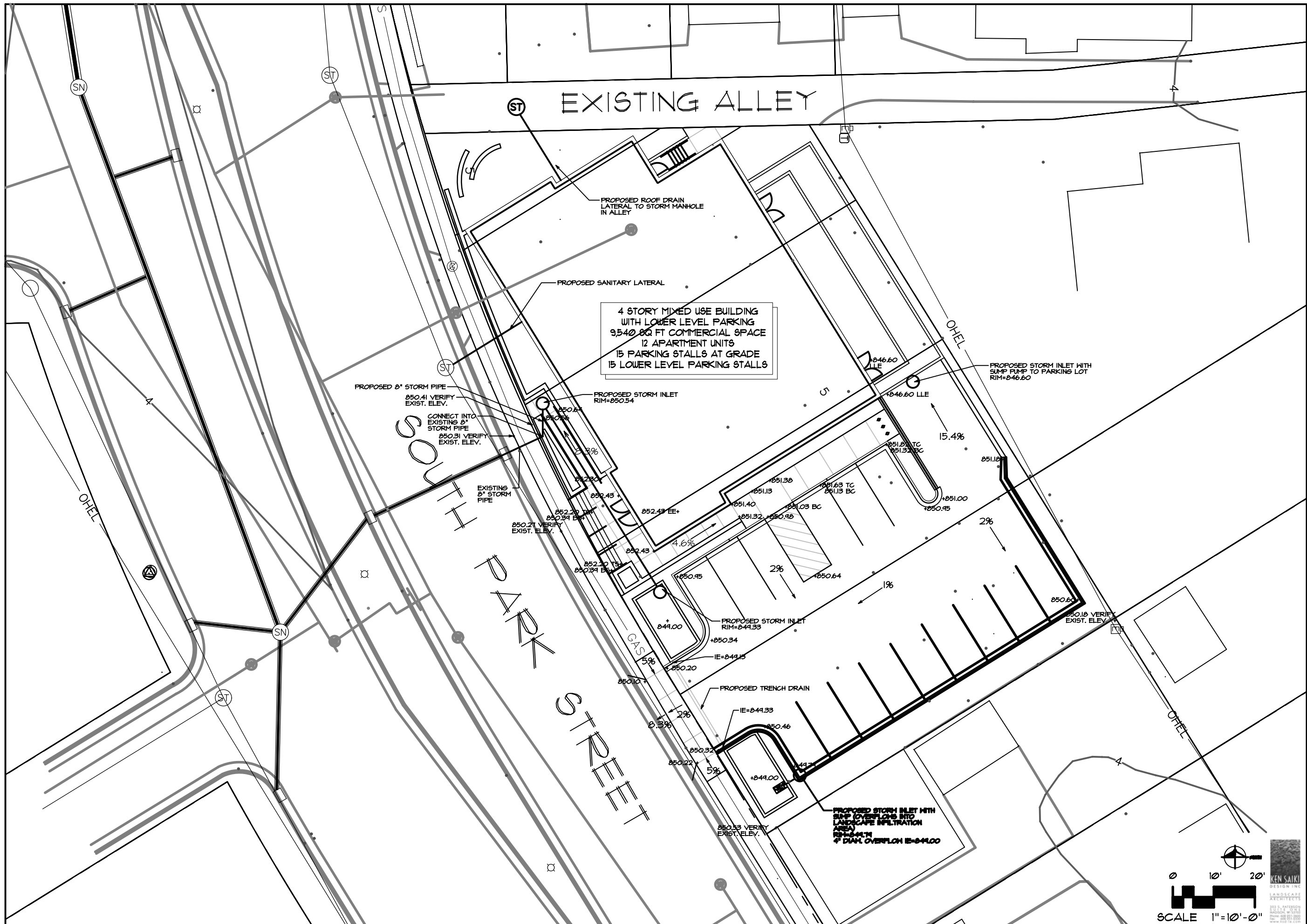
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REV DATE

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PROPOSED FACILITY FOR
801 SOUTH PARK STREET
 801 SOUTH PARK STREET
 MADISON, WISCONSIN

L-1
GRADING & UTILITY PLAN
 11.11.09



PHOTOS OF EXISTING SITE CONDITIONS:

EAST POINTE PLAZA - RETAIL
MADISON, WI

PHOTOS:



SOUTH CORNER OF LOT
LOOKING NORTH



SOUTH CORNER OF LOT
LOOKING NORTHWEST



WEST CORNER OF LOT
LOOKING NORTHWEST



NORTHEAST CORNER OF LOT
LOOKING SOUTHWEST



SOUTH CORNER OF SITE
LOOKING SOUTH



SITE VIEW FROM NORTHWEST



SITE VIEW FROM WEST



SITE VIEW FROM SOUTHWEST



EAST END OF ALLEY
LOOKING WEST



CENTER OF ALLEY
LOOKING NORTHWEST



CENTER OF ALLEY
LOOKING NORTHEAST



WEST END OF ALLEY
LOOKING EAST