

City of Madison – Zoning Code Rewrite
Residential Districts

| | | | | |
|--|---------------|---|-------------------------------------|---|
| Eaves and gutters | 3 | 2 | 3 | |
| Egress windows | minimum req. | | | |
| Decks, uncovered | | | | P |
| Decks, terraces, elevated not more than 3' above adjacent ground level | P [distance?] | | | |
| Fences, walls, hedges subject to provisions of Section ____ | P | | | |
| Fire escapes | | | 1/3 width of yard; not to exceed 3' | 6 |
| Flagpoles or garden ornaments | P | | | |
| Garages, detached, subject to provisions of Section ____ | | | P | P |
| Laundry drying equipment | | | P | P |
| Open porches | | 6 | | |
| Open off-street parking spaces as specified in Section [28.11(3)]. | | P | P | |
| Recreational equipment, minor | P | | | |
| Recreational equipment, major | | | | P |
| Steps no more than 3' above adjoining ground level | P | | | |
| Swimming pools, hot tubs, whirlpools, etc. | | | | P |
| | | | | |

B. Accessory Buildings

Maximum area per lot: Total area of accessory buildings measured at ground floor: 10% of lot area but no more than 1,000 square feet. A larger total building area may be allowed by conditional use permit.

Maximum percentage of rear yard: Accessory buildings may occupy a maximum of fifty percent (50%) of the area of the required rear yard.

Maximum size of accessory: No individual structure shall exceed 800 square feet in size except by conditional use permit.

Maximum height. The height of the principal building or 15 feet, whichever is lower, except by area exception, where allowed under Section ____.

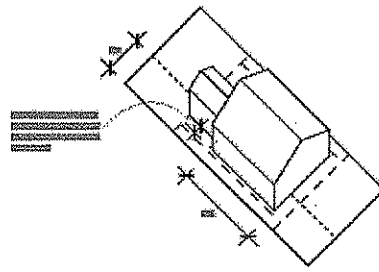
Placement. Accessory buildings may be located in the following locations: [SEE DIAGRAMS]

- In a rear yard a minimum of 3 feet from any property line;
- In a side yard if located behind the rear plane of the principal building, a minimum of 3 feet from any property line;
- In the side or rear yard of a corner lot, a minimum distance from the street side lot line equal to the [existing?] setback of the principal building;
- In the rear yard of a reversed corner lot, no closer to the street side lot line than the front yard setback of the adjacent property, for the first 25 feet from the

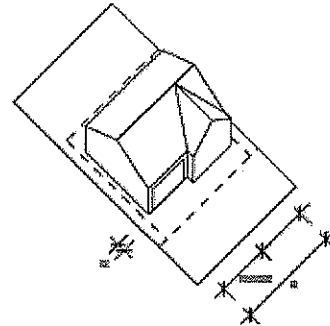
Area Exceptions would continue to apply, and would be extended to all Traditional Residential districts, with the same requirement that currently apply (lots existed prior to 1966, etc.). Area exceptions would reduce accessory building setbacks and allow heights up to 17'.

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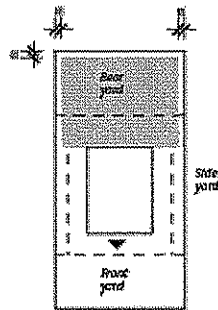
Sidewall offset



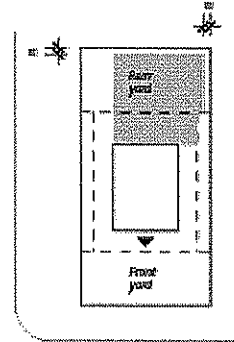
Attached garage setback



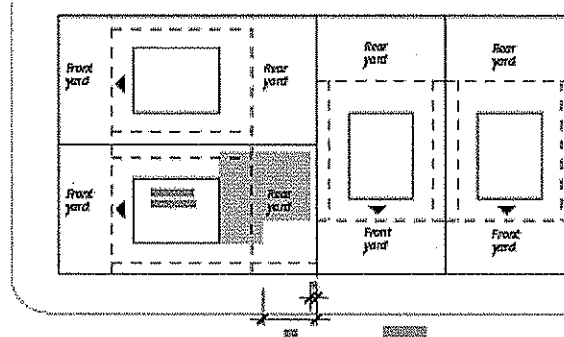
Accessory building on typical lot



Accessory building on corner lot



Accessory building on reversed corner lot



E. Nonresidential Design Standards. All new development and major additions or remodels threshold to be determined within residential districts shall comply with the following design standards:

1. **Long Façade Articulation.** In order to avoid the monotonous appearance of long unbroken building facades from streets or abutting properties, any portion of a building side wall that exceeds 40' in depth shall be set back an additional 2" from the side lot line for every foot over 40 feet in depth.
2. **Front Yard Setback.** All building facades abutting any street shall be set back from the street lot line a minimum distance equal to the front yard setback required for that zoning district.
3. **Parking Location.** Parking shall not be permitted between the front façade of any nonresidential building and the abutting street.

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| | |
|-----------------------------|---|
| Rear Yard | Equal to building height but no less than 30' |
| Usable Open Space (sq. ft.) | n/a |
| Maximum height | n/a |
| Maximum lot coverage | 65% |
| Maximum building coverage | 50% |

TR-V2 District

[Residential neighborhoods within this district are typically characterized by small multi-family buildings, including multi-family conversions of single-family buildings, interspersed with single-, two- and three-family buildings. These neighborhoods were developed prior to the 1966 zoning code and frequently zoned R4 under that code.]

Permitted and Conditional Uses

See Table R.1 for a complete list of allowed uses within the residential districts.

Dimensional standards: permitted uses

Standards represent minimums unless otherwise noted

| | Single-family detached | Two-family - duplex | Two-family - twin |
|-----------------------------------|--|--|--|
| Lot Area (sq. ft.) | 4,800 | 4,800 | 4,800 |
| Lot Width | 40' | 40' | 20'/unit |
| Front Yard Setback | 20' or block avg. | 20' or block avg. | 20' or block avg. |
| Front Yard Setback - Maximum | 30' or no more than 20% greater than block average | 30' or no more than 20% greater than block average | 30' or no more than 20% greater than block average |
| Side Yard Setback | One-story: 5' Two-story: 6' Lot width <40': 10% lot width | Two-story: 6' Lot width <40': 10% lot width | One-story: 5' Two-story: 6' |
| Reversed Corner Side Yard Setback | 12' | 12 | 12' |
| Rear Yard | 25% lot depth but no less than 30' | 25% lot depth but no less than 30' | 25% lot depth but no less than 30' |
| Usable Open Space (sq. ft.) | 500 | 500 | 500 |
| Maximum height | 2 stories/35' | 2 stories/35' | 2 stories/35' |
| Maximum lot coverage | 65% | 65% | 65% |