

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
04275

DATE SUBMITTED: <u>8-2-2006</u>	Action Requested
UDC MEETING DATE: <u>8-23-2006</u>	☒ Informational Presentation
	☐ Initial Approval and/or Recommendation
	☐ Final Approval and/or Recommendation

PROJECT ADDRESS: 2 GREENSIDE CIRCLE
ALDERMANIC DISTRICT: 1

OWNER/DEVELOPER (Partners and/or Principals)	ARCHITECT/DESIGNER/OR AGENT:
<u>WEST END PROPERTIES, LLC.</u>	<u>ISTHMUS ARCHITECTURE, INC.</u>
<u>429 GAMMON PLACE</u>	<u>613 WILLIAMSON ST.</u>
<u>MADISON, WI 53719</u>	<u>MADISON, WI 53703</u>

CONTACT PERSON: TERRY TEMPLE, WEST END PROPERTIES
Address: 429 GAMMON PLACE
MADISON, WI 53719
Phone: 608-833-9099
Fax: 608-833-9079
E-mail address: _____



TYPE OF PROJECT:
(See Section A for:)

- ☐ Planned Unit Development (PUD)
- ☐ General Development Plan (GDP)
- ☐ Specific Implementation Plan (SIP)
- ☐ Planned Community Development (PCD)
- ☐ General Development Plan (GDP)
- ☐ Specific Implementation Plan (SIP)
- ☒ Planned Residential Development (PRD)
- ☐ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- ☐ School, Public Building or Space (Fee may be required)
- ☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- ☐ Planned Commercial Site

(See Section B for:)

- ☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- ☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- ☐ Comprehensive Design Review* (Fee required)
- ☐ Street Graphics Variance* (Fee required)
- ☐ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

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isthmus@is-arch.com
Phone 608.294.0206
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LOT 117 at HAWKS LANDING
Project Description

2 August 2006

This proposed Planned Residential Development Project for the Hawks Landing Development is situated on 13 acres. This property is the last vacant parcel existing at Hawks Landing. The property is located in the far northeastern limit of the development. Currently, adjacent property to the south and to the west is developed with medium and larger single family homes. Many of these homes have golf course frontage. To the north, construction is well along for Linden Park, a residential project of Veridian. On the eastern border, an undeveloped parcel exists. Lot 117 is zoned R4 and is approved for 225 residential units at this time.

This project is envisioned as a potential link between the established golf course community to the south and the medium density residential neighborhood under construction immediately to the north. As the final lot in Hawks Landing, the visual identity of the project is important. The northern entry into the Hawks Landing Development fronts on this lot.

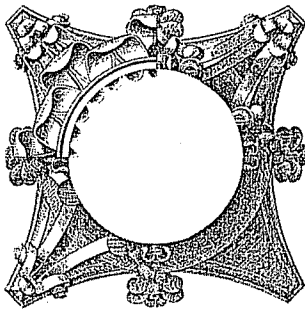
This project proposes a mix of housing types with heavier density at the north and the east portions of the site. The buildings are situated to take advantage of the existing terrain and potential view opportunities. The largest buildings proposed for the site are carefully situated into the east area of the site and will benefit from adjacency to the new city park and the partially wooded open land to the east. The esthetic goal of this project is to create a pedestrian friendly neighborhood character by providing buildings of appropriate scale with complementary materials, generous landscaping and inviting open space. This project proposes 166 dwelling units, providing an overall density of 12.7 units per acre.

Additional information:

Owner/ Developer	West End Properties, LLC 429 Gammon Place Madison, WI 53719 Contact: Terry Temple 608.833.9099
Architect	Isthmus Architecture, Inc. 613 Williamson Street, Suite 203 Madison, WI 53703 Contact: Peter R. Rött, AIA, NCARB 608.294.0206

The anticipated development schedule is as follows:

Commencement:	Fall/Winter 2006
Completion of Phase 1:	Spring 2007



LOT 117
at
HAWKS LANDING

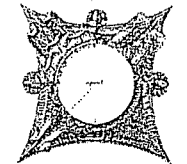
PLANNED RESIDENTIAL DEVELOPMENT

2 GREENSIDE CIRCLE
CITY OF MADISON
WISCONSIN

FOR
WEST END PROPERTIES, LLC.
429 GAMMON PLACE
MADISON, WI 53719
CONTACT: TERRY TEMPLE

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LOT 117
at
Hawks Landing
PRD Submittal

Project
Proj. No.: 0612.01

TITLE SHEET

Sheet Title

Scale:
Drawn By: NONE
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

TO.1

DESIGN TEAM

ARCHITECT

ISTHMUS
ARCHITECTURE INC.

613 WILLIAMSON STREET SUITE 203
MADISON, WISCONSIN 53703

PHONE: 608-294-0206
CONTACT: PETER ROTT, AIA, NCARB

LANDSCAPE

OLSON WILLS
LANDSCAPING, INC.

4387 SCHWARTZ ROAD
MIDDLETON, WISCONSIN 53562

PHONE: 608-827-9401
CONTACT: MARK ALLEN

CIVIL

CALKINS ENGINEERING, LLC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718

PHONE: 608-838-0444
CONTACT: DAVID GLUSICK, P.E.

SHEET INDEX

T01 TITLE SHEET
C10 SITE PLAN
C11 SITE SURVEY
C12 EROSION CONTROL & GRADING PLAN
C13 SITE UTILITY PLAN
C14 SITE LIGHTING PLAN
L10 LANDSCAPING PLAN

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A3.1E BUILDING ELEVATIONS

SITE & BUILDING INFORMATION

Legal Description
Lot 117 of Hawks Landing Plat
Part of the SE1/4 of Section, and of the to be revised.
T8N, R10E, City of Madison Dane County, Wisconsin.

Dwelling Unit Mix		
Building Type A:	22 Duplex Units	13%
Building Type B:	13 Townhouse Units	8%
Building Type C:	64 Garden Units	50%
Building Type D:	38 Rowhouse Units	22%
Building Type E:	12 Fourplex Units	7%
Total Units	157 Units	100%

Parking Provided

Surface Parking	X STALLS
Covered Parking	X STALLS
Total	0 STALLS

Site Area	
Impervious Area:	SQ. FT.
Non-impervious Area:	SQ. FT.
Total Lot Area:	671,000 SQ. FT.

Project Total Building Area:	614,501 SQ. FT.
Lot Area Provided:	671,000 SQ. FT.
Floor Area Ratio:	0.901

Building Area

Building Type A:	
Basement:	4761 SQ. FT.
First Floor:	4761 SQ. FT.
Second Floor:	1747 SQ. FT.
Total Building Area:	11269 SQ. FT.

Building Type B:	
Basement:	8900 SQ. FT.
First Floor:	9064 SQ. FT.
Second Floor:	4300 SQ. FT.
Total Building Area:	21964 SQ. FT.

Building Type C:	
Basement:	9780 SQ. FT.
First Floor:	9780 SQ. FT.
Second Floor:	9780 SQ. FT.
Third Floor:	9780 SQ. FT.
Total Building Area:	39040 SQ. FT.

Building Type D:	
Basement:	7360 SQ. FT.
First Floor:	7360 SQ. FT.
Second Floor:	7360 SQ. FT.
Total Building Area:	22080 SQ. FT.

Building Type E:	
Basement:	4396 SQ. FT.
First Floor:	4396 SQ. FT.
Second Floor:	2148 SQ. FT.
Total Building Area:	10940 SQ. FT.

Building Footprint:	
Type A x 11 Bldgs:	62,571 SQ. FT.
Type B x 3 Bldgs:	29,412 SQ. FT.
Type C x 4 Bldgs:	38,040 SQ. FT.
Type D x 6 Bldgs:	44,160 SQ. FT.
Type E x 3 Bldgs:	12,588 SQ. FT.
Parking Building:	4,030 SQ. FT.
Total Building Footprint:	161,801 SQ. FT.

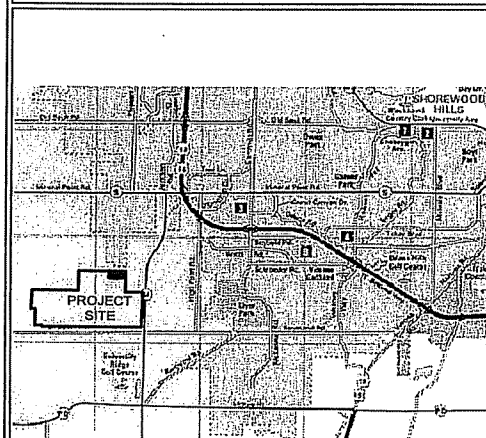
Paved Areas:	SQ. FT.
Green Areas:	SQ. FT.
Total Lot Area:	SQ. FT.

First Floor Elevation: see DWG L10 (finished floor)
Building Height: Roof Ridges Varies

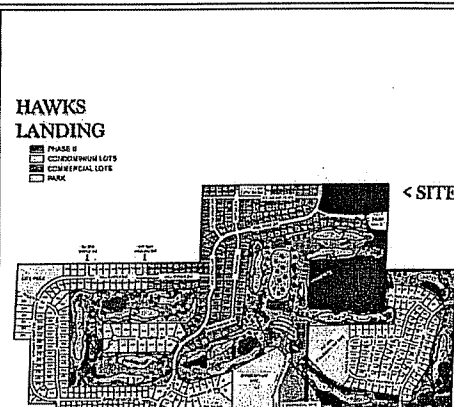
Construction Classification: TYPE V A Three Stories
Fire Protection System: as required
Jurisdiction Codes: WI Commercial Building Code
WI Uniform Dwelling Code

Zoning: R4 conditional use

LOCATION MAP



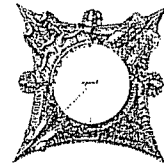
VICINITY MAP



LINDEN PARK DEVELOPMENT

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LOT 117
at
Hawks Landing
PRD Submittal



Project
Proj. No.: 0612.01

ARCHITECTURAL
SITE PLAN

Sheet Title

Scale: 1"=40'-0"

Drawn By: PRR

Date: 07.26.06

Rev. Date:

Rev. Date:

Rev. Date:

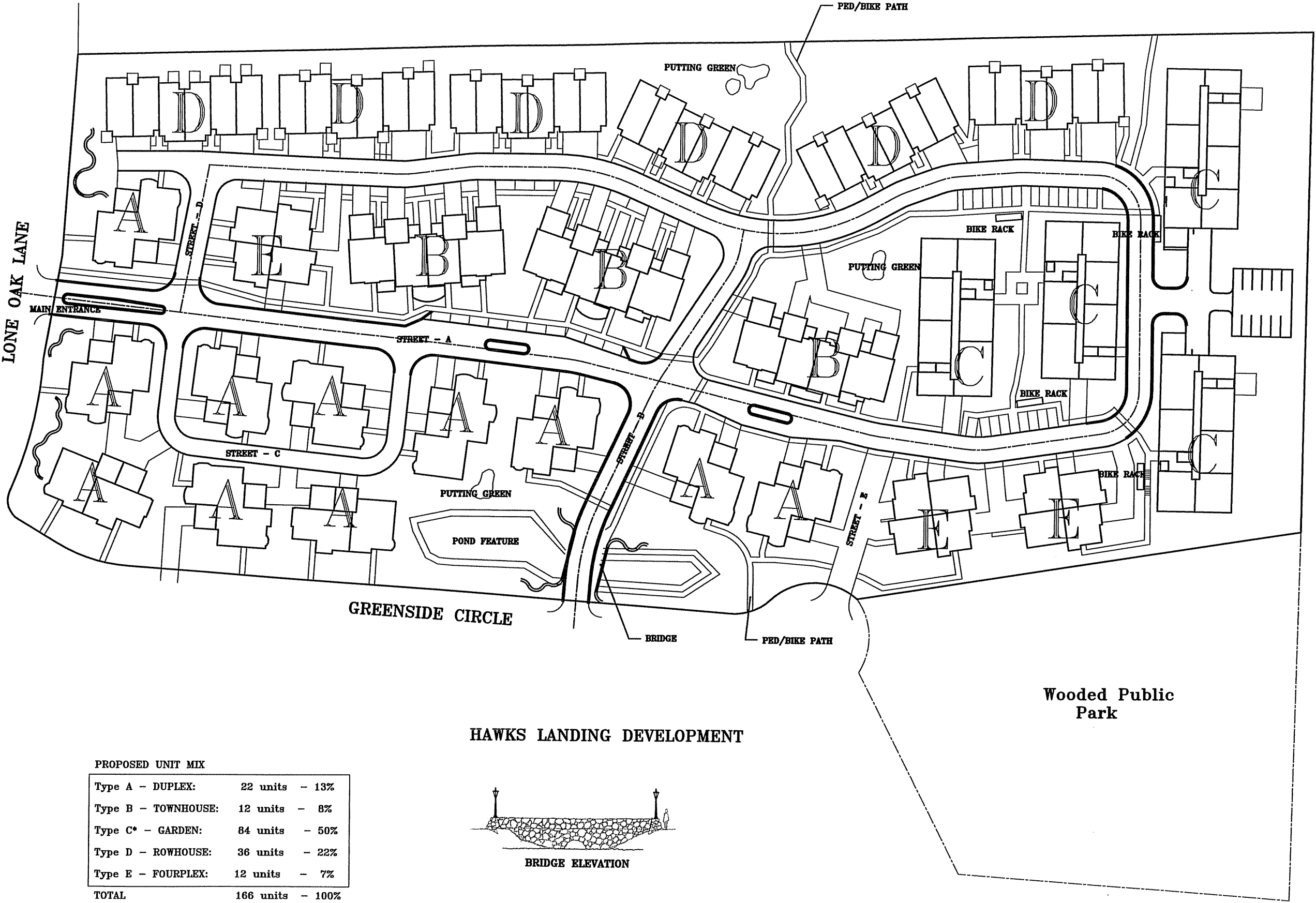
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Rev. Date:

Sheet No:

C1.0



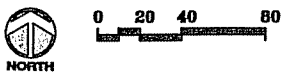
PROPOSED UNIT MIX

Type A - DUPLEX:	22 units	- 13%
Type B - TOWNHOUSE:	12 units	- 8%
Type C* - GARDEN:	84 units	- 50%
Type D - ROWHOUSE:	36 units	- 22%
Type E - FOURPLEX:	12 units	- 7%
TOTAL	166 units	- 100%

*(21 UNITS ON 3 FLOORS)



BRIDGE ELEVATION



TOPOGRAPHIC SURVEY

LOT 117, HAWK'S LANDING GOLF CLUB, AS RECORDED IN VOLUME 57-150B OF PLATS, ON PAGES 605-614, AS DOCUMENT NUMBER 3219695, DANE COUNTY REGISTRY, ALSO LOCATED IN THE SOUTHWEST QUARTER (1/4) OF THE NORTHWEST QUARTER (1/4) OF SECTION 34, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

SCALE: ONE INCH = FIFTY FEET

NUMBER	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD
C1	83°42'57"	60.00	87.87	S 89°08'47" W (S 89°08'51.5" W)	80.07
C2	47°00'51"	50.00	41.03	S 70°47'43" W (S 70°47'48.5" W)	39.89
C3	25°14'22"	152.00	89.81	N 72°34'41" W (N 72°34'35" W)	89.00
C4	83°18'19"	20.00	29.08	N 17°48'20" W (N 17°48'14.8" W)	28.58
C5	18°55'15"	368.00	127.25	N 13°53'12" E (N 13°53'17.5" E)	126.81

NOTES PER SHEET 9 OF THE RECORDED PLAT:

- All lots within this plat are subject to a non-exclusive easement for drainage purposes which shall be a minimum of 6 feet in width measured from the property line to the interior of each lot, except that the easement shall be 12 feet in width on the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets.
- The intra block drainage easements shall be graded with the construction of each principle structure in accordance with the approved storm water drainage plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with Madison General Ordinances.
- For purposes of this plan, it is assumed that grading shall be a straight line grade between points unless otherwise indicated. All slopes shall be 0.75% or steeper. Grade breaks between lot corners are shown by elevation or through the use of drainage arrows.
- The owner intends to record a joint maintenance agreement with the City of Madison for storm water drainageways and detention ponds.

NOTES:

- Except as specifically stated or shown on this survey, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- Surveyor has not been provided with a copy of the title work, and has made no investigation or independent search for easements of record, (other than easements shown on the recorded plat), encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- Dates of field work: July 13-14, 2006.
- Description furnished: Lot 117, HAWK'S LANDING GOLF CLUB, as recorded in Volume 57-150B of Plats, on Pages 605-614, as Document Number 3219695, Dane County Registry.
- Parcel Number/Address Surveyed: 251/0708-342-0112-4; 2 Greenlake Circle.
- Parcel Area: 482,884 square feet or 11.0855 acres.
- Utilities are as marked by Digger's Hotline One-Call ticket numbers 20062907579, 20062907587, 20062907800, and 20062912346, or as shown on drawings provided the surveyor by the City of Madison's Engineering Department.

NORTH
BEARINGS ARE BASED UPON TWO
83/91 COORDINATE SYSTEM,
WISCONSIN SOUTH ZONE USING
THE CITY OF MADISON AS
STATION AS REFERENCE

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LOT 117
at
Hawks Landing

PRD Submittal



Project

Proj. No.: 0612.01

SITE
SURVEY

Sheet Title

Scale: 1"=40'-0"

Drawn By:

Date: 07.26.06

Rev. Date:

Rev. Date:

Rev. Date:

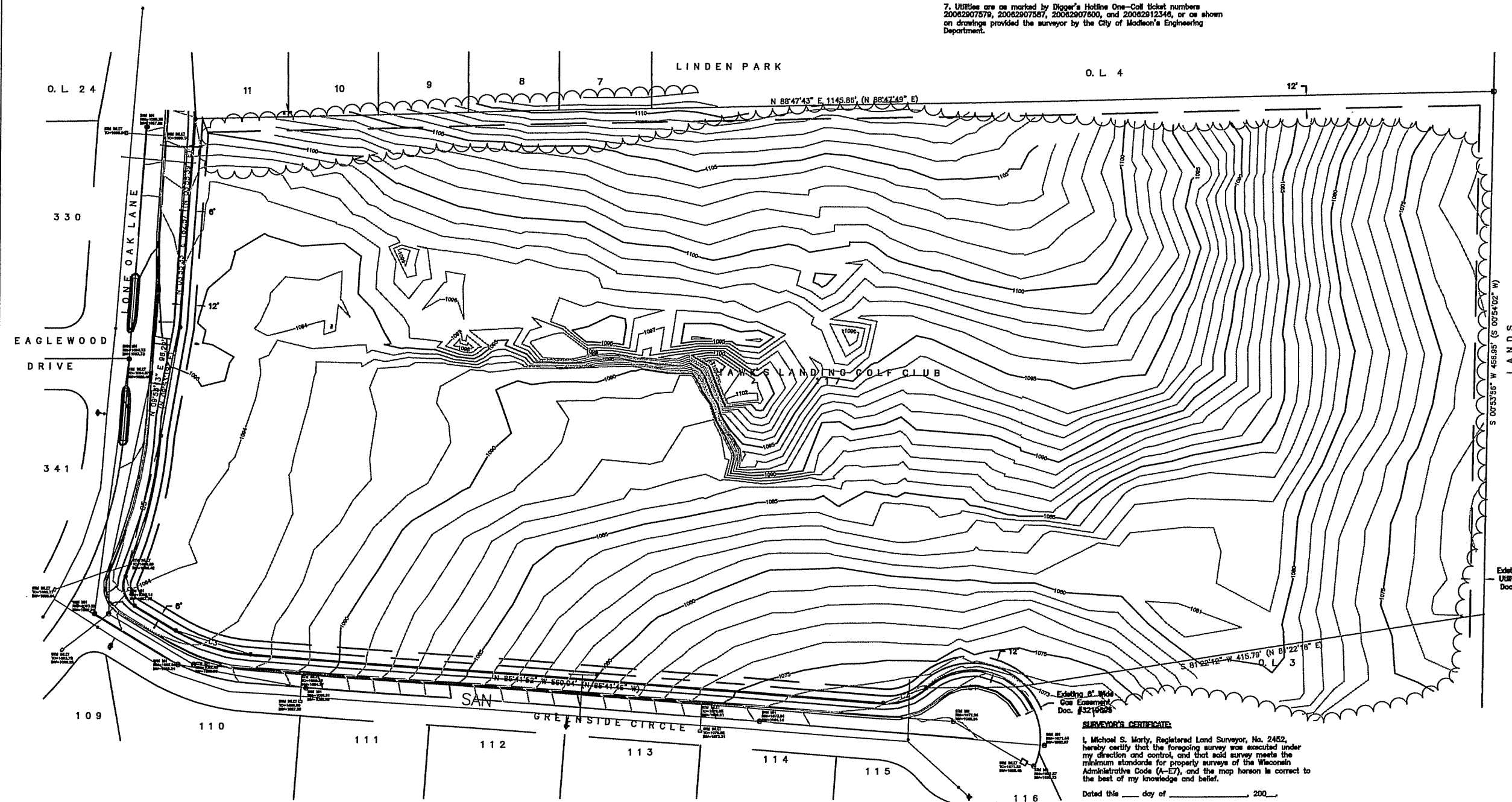
Rev. Date:

Rev. Date:

Sheet No:

C1.1

IST02
SHEET 1 OF 1



Date: July 17, 2006
Plot: Plot
P: \IST02\Topo\topo IST02.dwg

Signed: Michael S. Marty, R.L.S. No. 2452



Calkins Engineering, LLC
5010 Wood Road
Madison, WI 53718
(608) 838-0444

DATE: 08-02-06
REVISIONS:

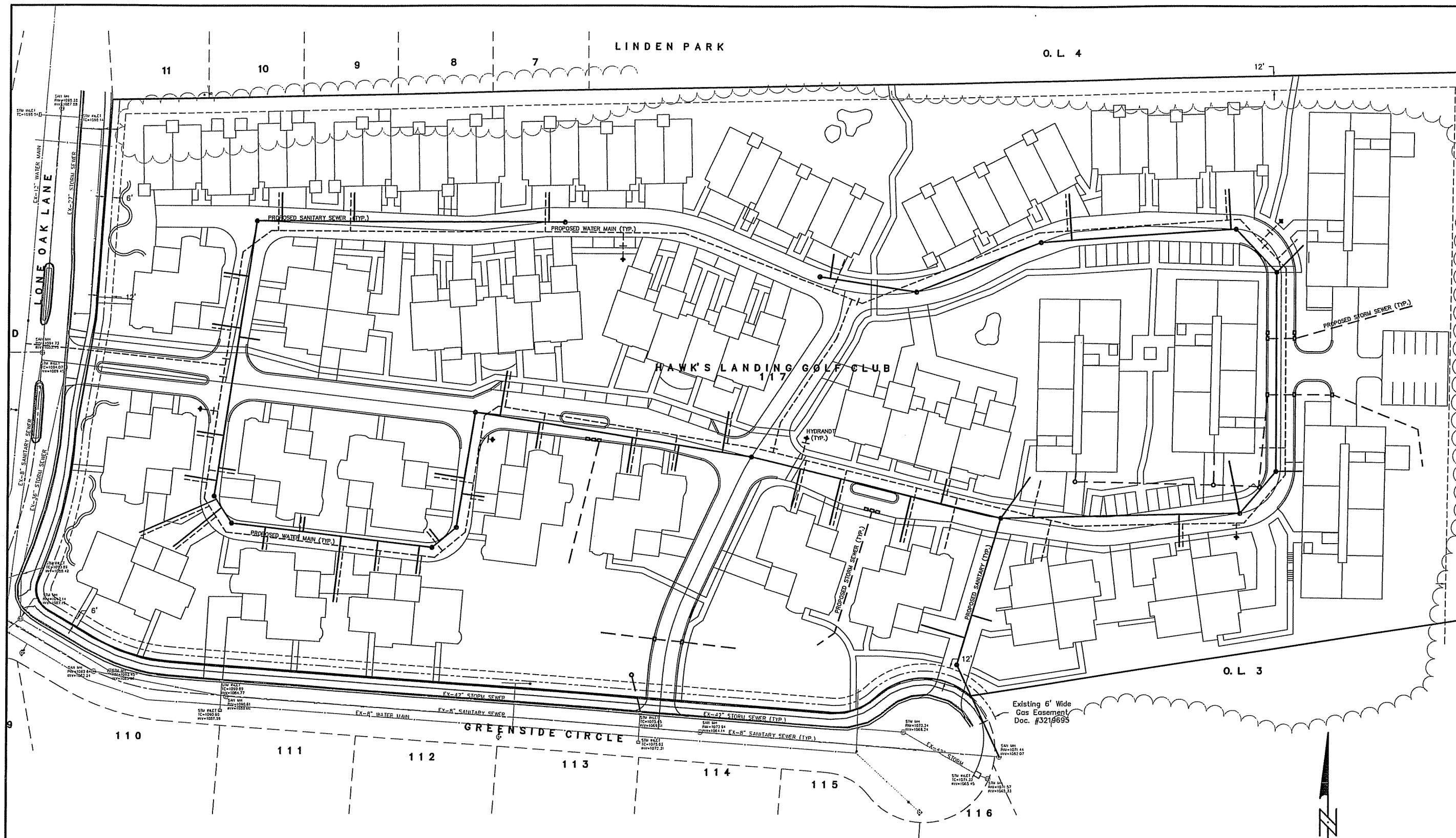
LOT 117 AT HAWKS LANDING
GRADING PLAN

Calkins Engineering, LLC
Civil Engineers & Land Surveyors

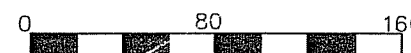
SHEET
C 1.2

SCALE: 1" = 80' (11"x17")
SCALE: 1" = 40' (24"x36")

0 80 160



SCALE: 1" = 80' (11"x17")
SCALE: 1" = 40' (24"x36")



Calkins Engineering, LLC
5010 Voges Road
Madison, WI 53718
(608) 838-0444

DATE: 08-02-06

REVISIONS:

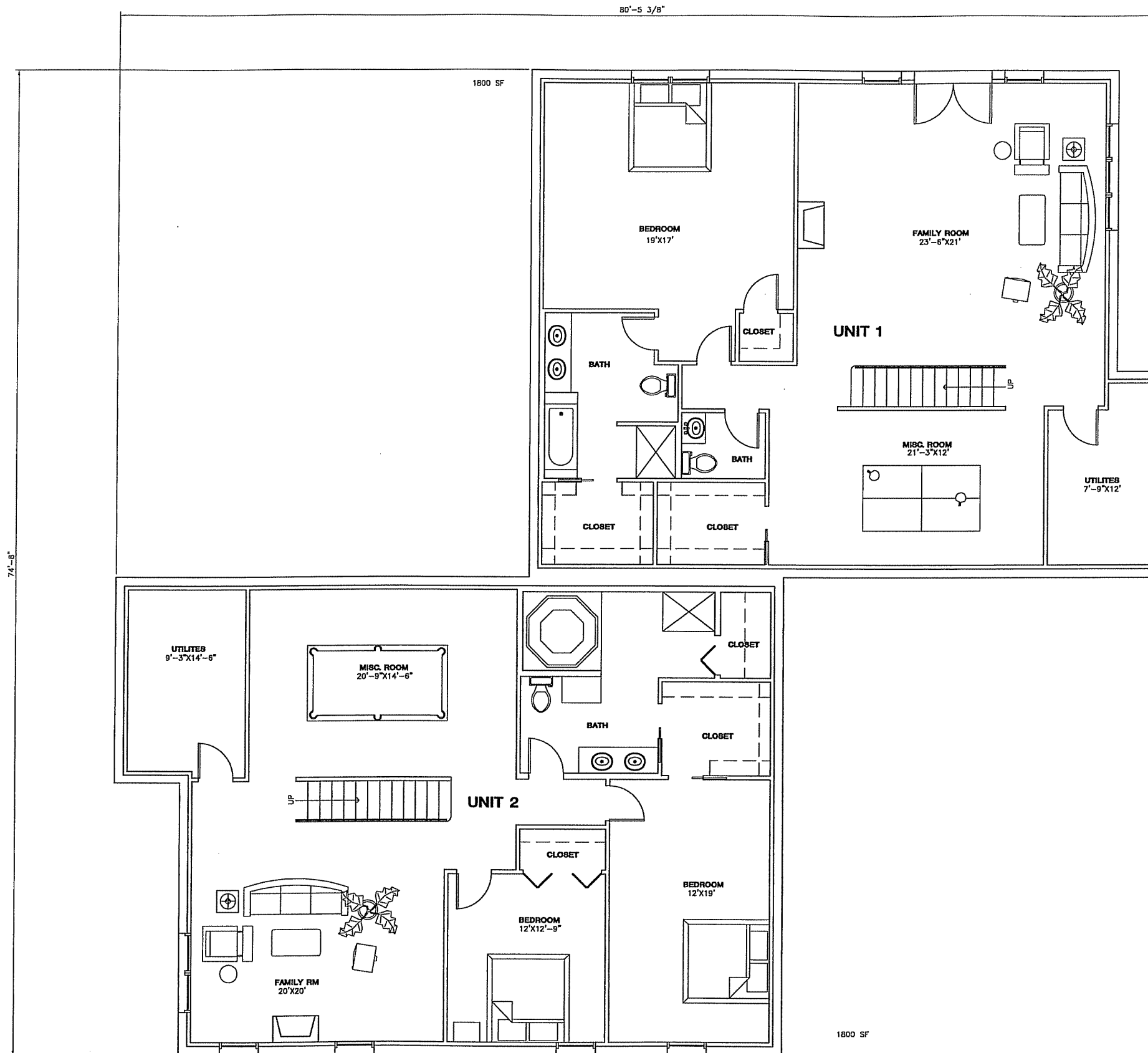
LOT 117 AT HAWKS LANDING UTILITY PLAN

DRAWING NAME: P:\ST02\DESIGN\BASE.DWG

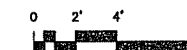
FR: 15702

Calkins Engineering, LLC
Civil Engineers & Land Surveyors

Reference Name:
Lot 117 at Hawks Landing

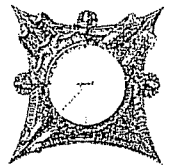


1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



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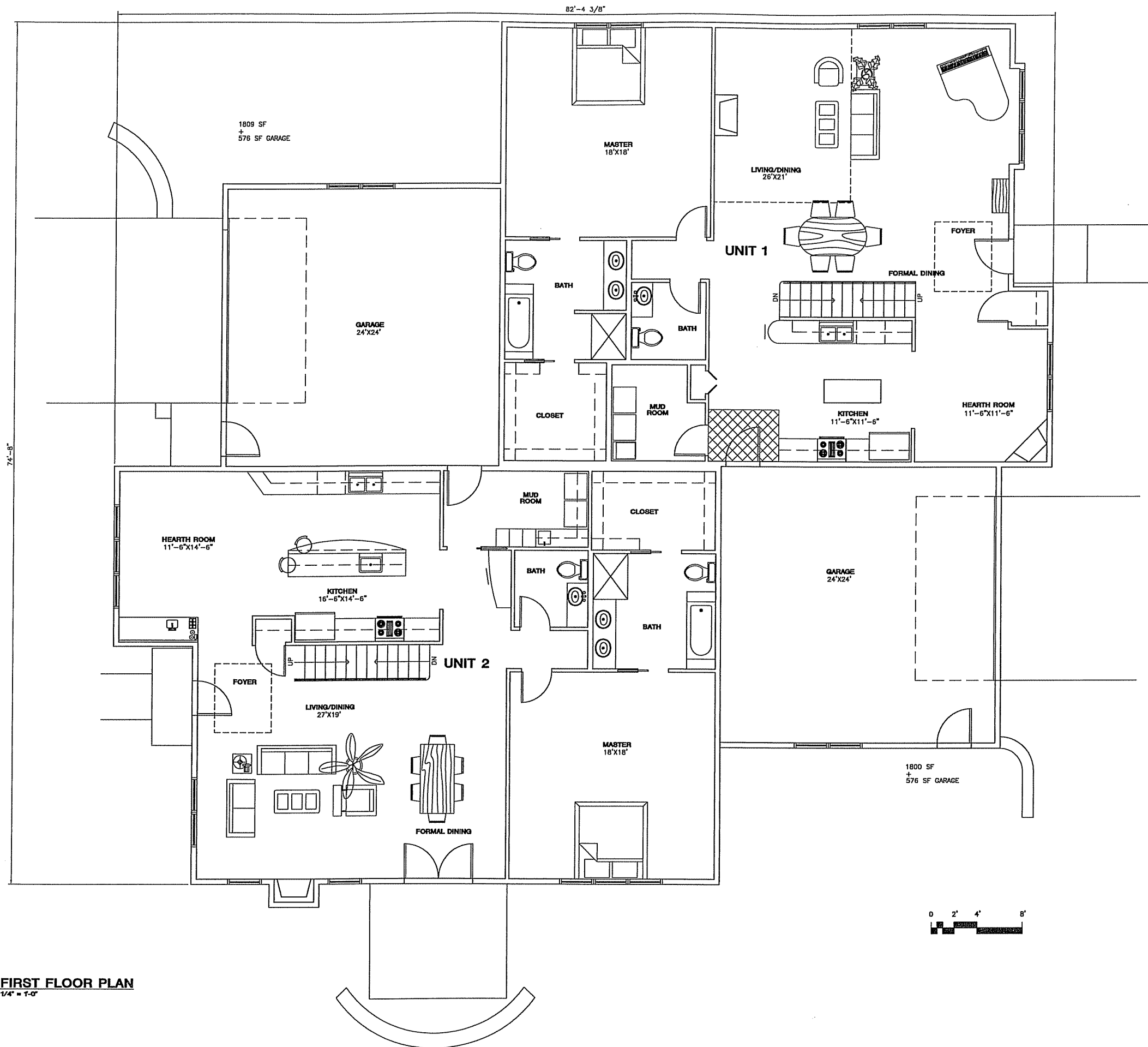
UNIT TYPE A
BASEMENT

Sheet Title

Scale:
Drawn By: KMZ
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
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Rev. Date:

Sheet No:

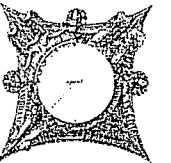
A2.1A



1 FIRST FLOOR PLAN
1/4" = 1'-0"

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LOT 117
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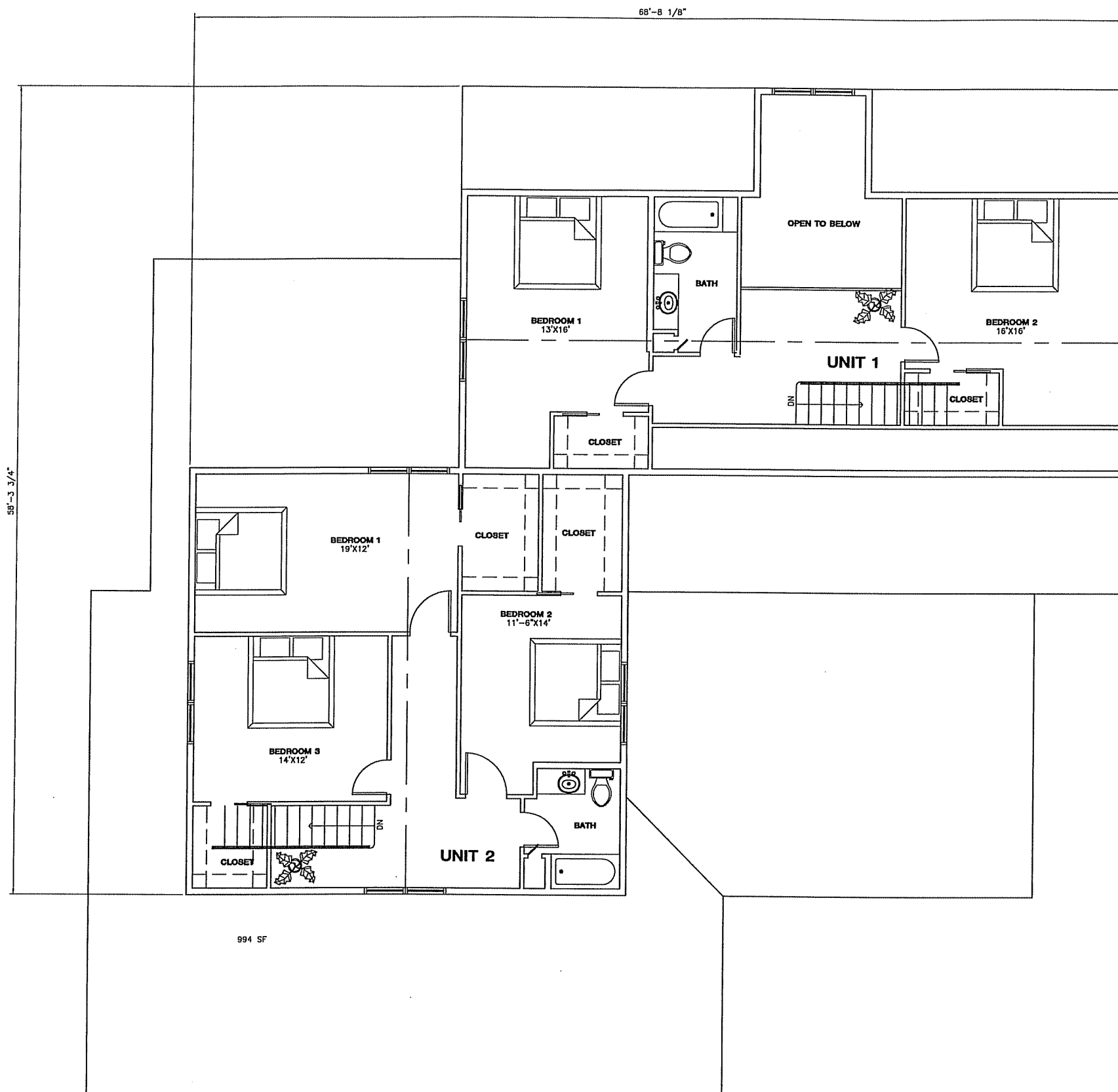
UNIT TYPE A
FIRST FLOOR PLAN

Sheet Title

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Date: 07.26.06
Rev. Date:
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Sheet No:

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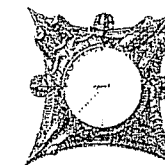


1 SECOND FLOOR PLAN
1/4" = 1'-0"



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UNIT TYPE A
SECOND FLOOR PLAN

Sheet Title

Scale:
Drawn By: KMZ
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

A2.3A

EXTERIOR FINISHES
 STUCCO: GATMEAL 20905-55, HEAVY TEXTURE
 WINDOWS: WHITE
 TRIM: ANTIQUE WHITE
 DOOR: FIREWEED SW6328 BY SHERWIN WILLIAMS
 ROOF: OAKRIDGE IM. SHINGLES BY OWENS CORNING, DRIFTWOOD
 FASCIA: WHITE
 RAILINGS: WHITE
 STONE MASONRY: RUBBLESTONE

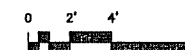
- NOTES:
1. PROVIDE AND INSTALL ALUM. PREFINISHED 1/2 ROUND GUTTERS AND DOWNSPOUTS IN COLOR TO MATCH FASCIA.
 2. GUTTER AND FASCIA NOT INDICATED FOR DRAWING CLARITY.



1 FRONT ELEVATION
 1/4" = 1'-0"

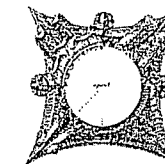


2 SIDE ELEVATION
 1/4" = 1'-0"



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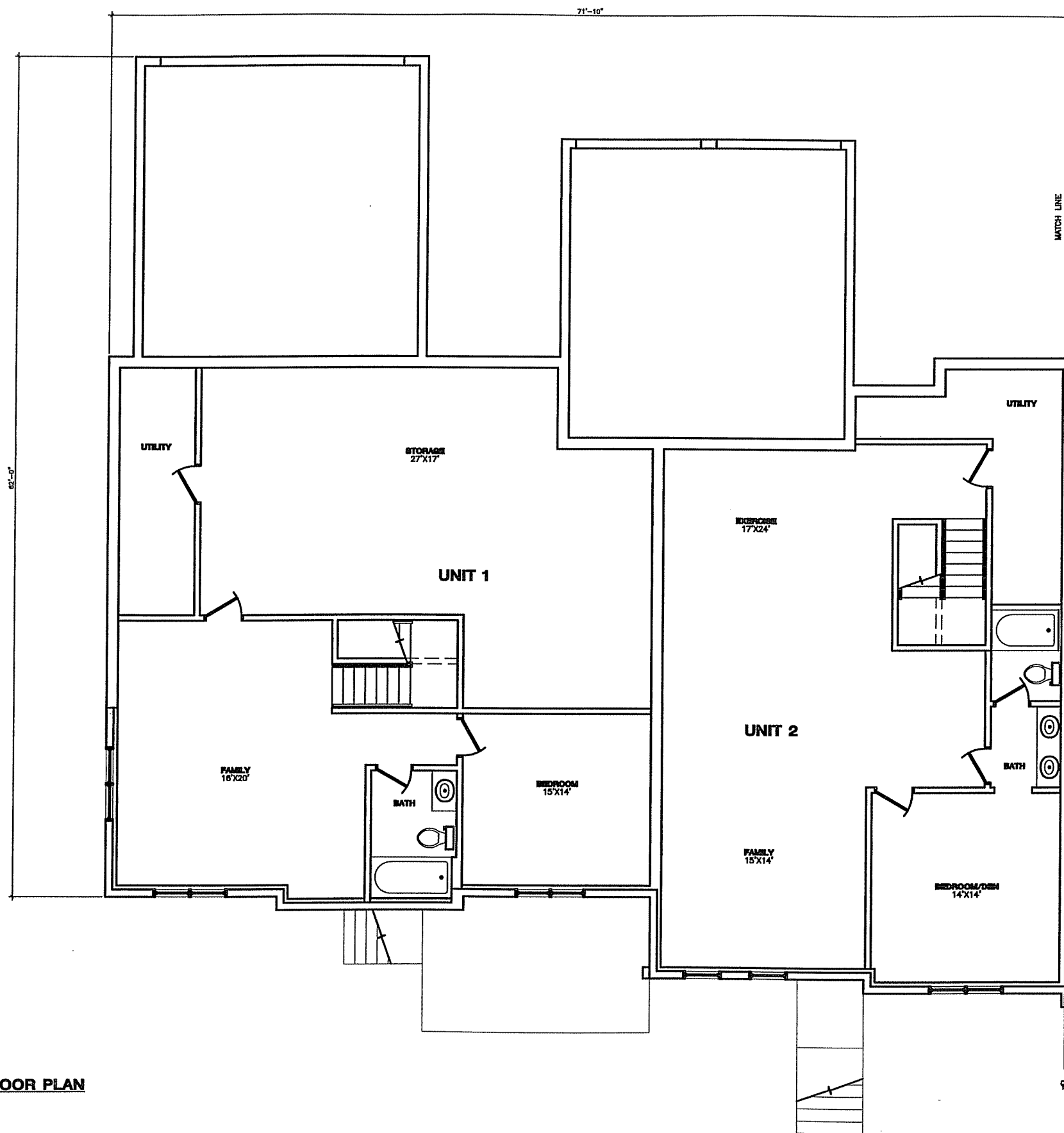
UNIT TYPE A
 BUILDING ELEVATIONS

Sheet Title

Scale:
 Drawn By: PRR
 Date: 07.26.06
 Rev. Date:
 Rev. Date:
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 Rev. Date:
 Rev. Date:

Sheet No:

A3.1A

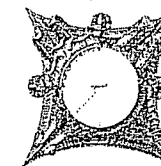


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Proj. No.: 0612.01

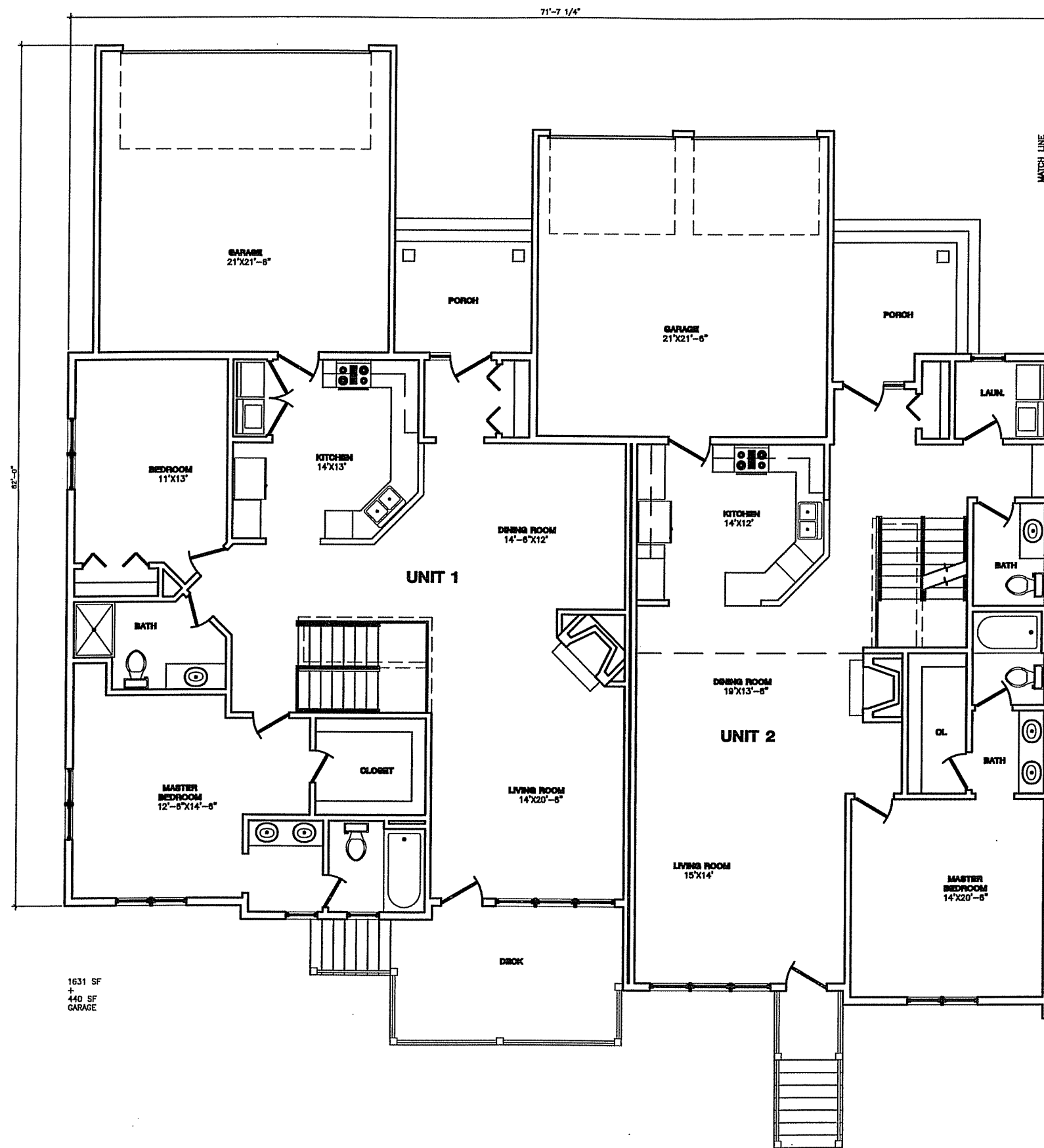
UNIT TYPE B
BASEMENT FLOOR PLAN

Sheet Title

Scale:
Drawn By: KMZ
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

A2.1B



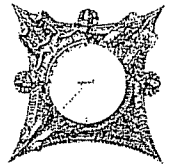
1631 SF
+
440 SF
GARAGE

1 FIRST FLOOR PLAN
1/4" = 1'-0"



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LOT 117
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Hawks Landing
PRD Submittal

Project
Proj. No.: 0612.01

UNIT TYPE B
FIRST FLOOR PLAN

Sheet Title

Scale:
Drawn By: KMZ
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

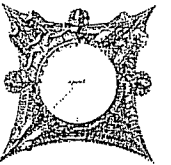
Sheet No:

A2.2B

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UNIT TYPE B
SECOND FLOOR PLAN

Sheet Title

Scale:

Drawn By: KMZ

Date: 07.26.06

Rev. Date:

Rev. Date:

Rev. Date:

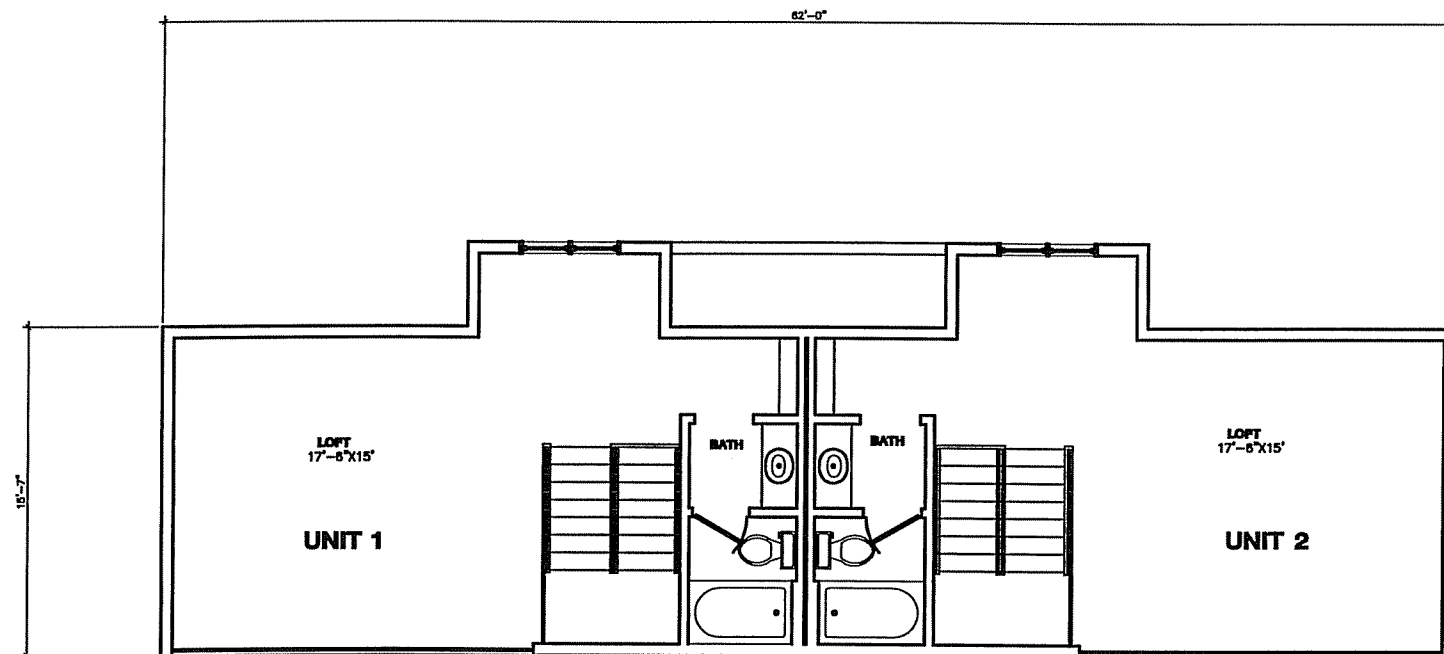
Rev. Date:

Rev. Date:

Rev. Date:

Sheet No:

A2.3B



1 SECOND FLOOR PLAN
1/4" = 1'-0"

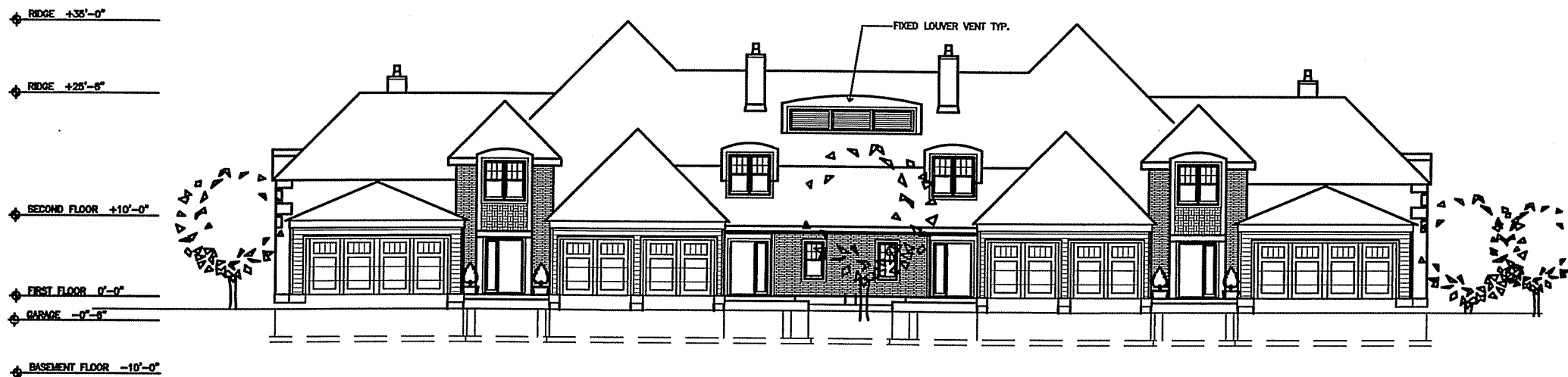
EXTERIOR FINISHES
 SIDING: SMART SIDING, LAPPED, CONNECTED GRAY SW8185
 STUCCO: STO, 93330-69, CHAMPAGNE, HEAVY TEXTURE
 WINDOWS: WHITE
 TRIM: ANTIQUE WHITE
 DOOR: FIREWEED SW8328 BY SHERWIN WILLIAMS
 ROOF: OAKRIDGE D.M. SHINGLES BY OWENS CORNING,
 COLONIAL SLATE
 CORNER BOARDS: WHITE
 FASCIA: WHITE
 RAILINGS: WHITE
 BRICK MASONRY: ROBINSON BRICK CO., CAMBRIDGE
 STONE MASONRY: RUBBLESTONE

NOTES:

1. PROVIDE AND INSTALL ALUM. PREFINISHED ½ ROUND GUTTERS AND DOWNSPOUTS IN COLOR TO MATCH FASCIA.
2. GUTTER AND FASCIA NOT INDICATED FOR DRAWING CLARITY.



1 FRONT ELEVATION
 1/8" = 1'-0"

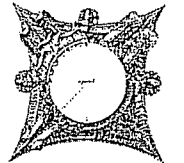


2 REAR ELEVATION
 1/8" = 1'-0"



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LOT 117
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Hawks Landing
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Project
 Proj. No.: 0612.01

UNIT TYPE B
 BUILDING ELEVATIONS

Sheet Title

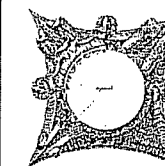
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 Rev. Date:
 Rev. Date:
 Rev. Date:
 Rev. Date:
 Rev. Date:

Sheet No:

A3.1B

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The Contractor shall verify all dimensions of the lot, site and existing with the recorded before proceeding with the work.

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LOT 117
at
Hawks Landing
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Project

Proj. No.: 0612.01

UNIT TYPE C
BASEMENT FLOOR PLAN

Sheet Title

Scale:

Drawn By:

Date: 07.26.06

Rev. Date:

Rev. Date:

Rev. Date:

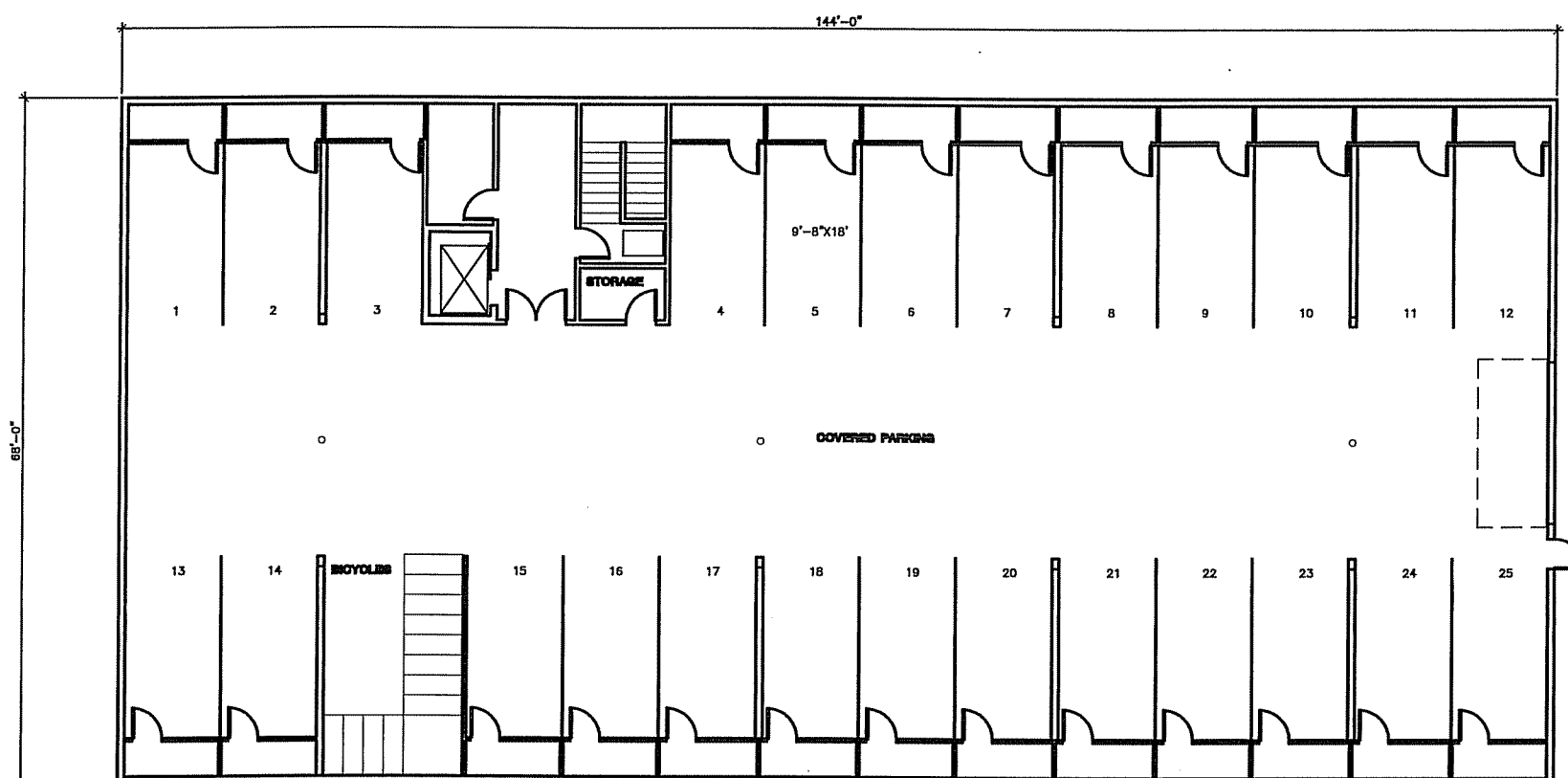
Rev. Date:

Rev. Date:

Rev. Date:

Sheet No:

A2.1C

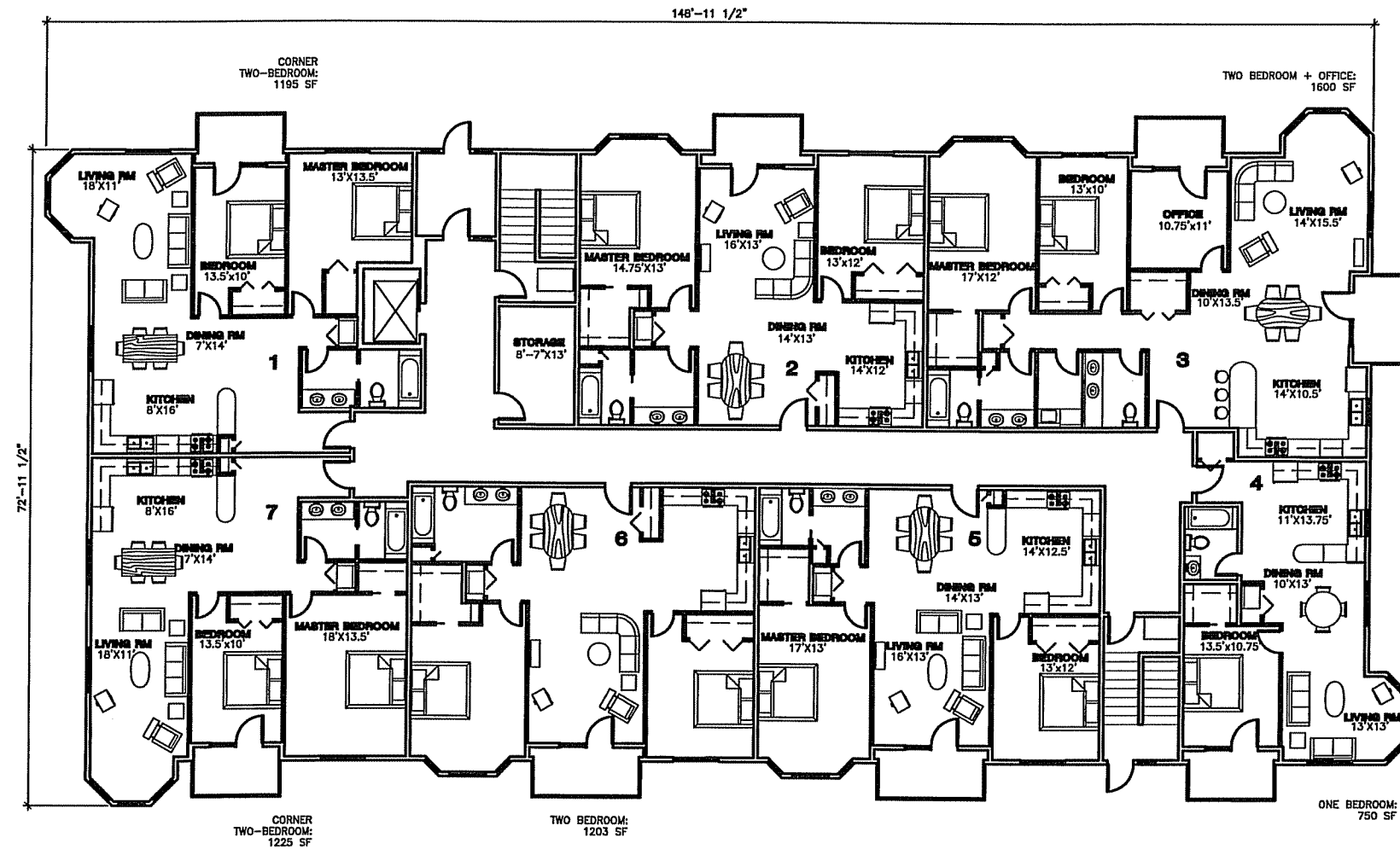
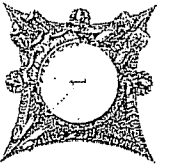


1 BASEMENT FLOOR PLAN
1/8" = 1'-0"



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SEVEN UNITS PER FLOOR
-5 TWO-BEDROOM UNITS
-1 TWO-BEDROOM + OFFICE UNIT
-1 ONE-BEDROOM UNIT

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LOT 117
at
Hawks Landing
PRD Submittal

Project
Proj. No.: 061201

UNIT TYPE C
FIRST FLOOR PLAN

Sheet Title

Scale:
Drawn By:
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

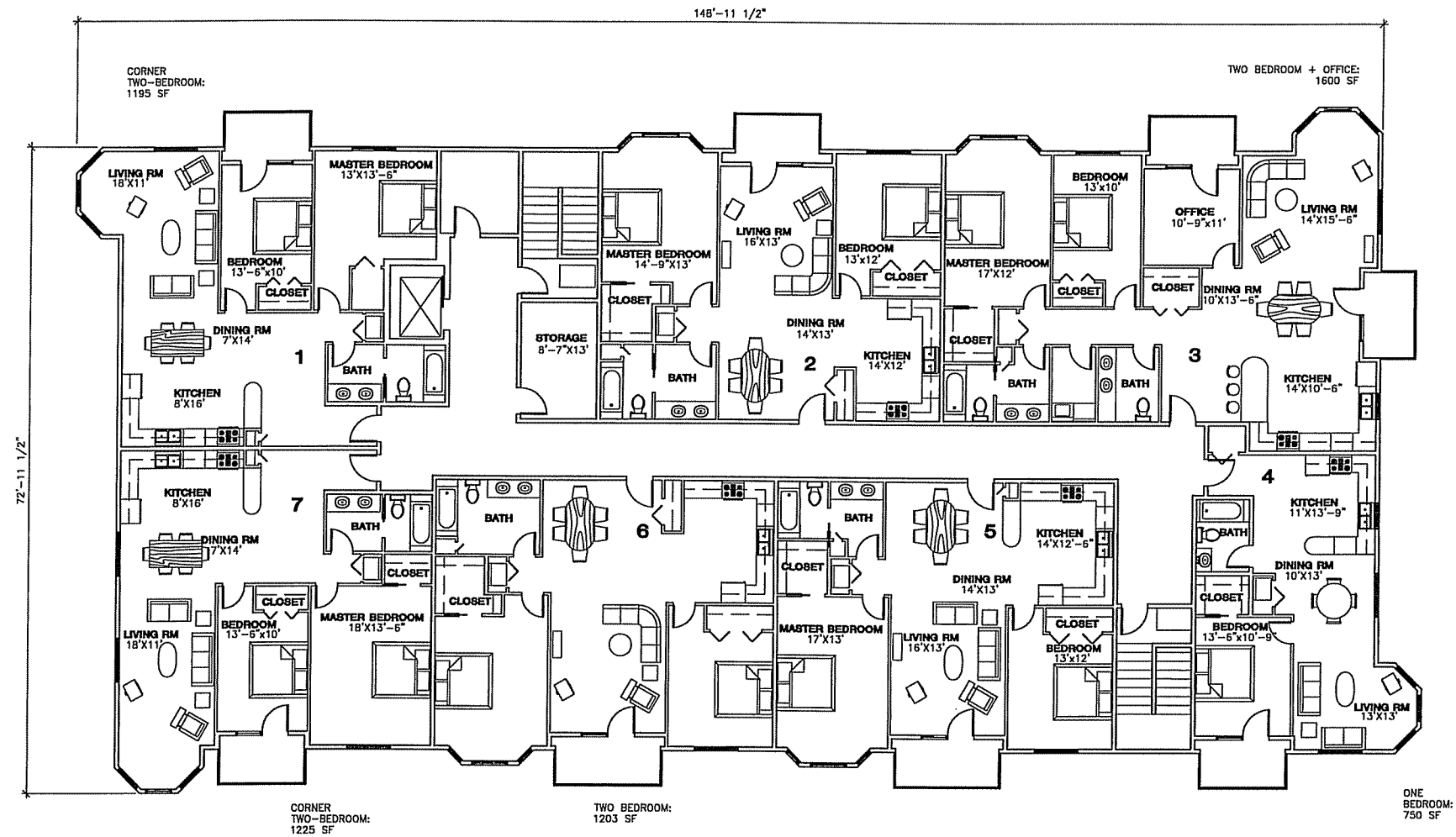
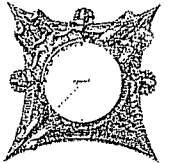
A2.2C

1 FIRST FLOOR PLAN
1/8" = 1'-0"



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SEVEN UNITS PER FLOOR
-5 TWO-BEDROOM UNITS
-1 TWO-BEDROOM + OFFICE UNIT
-1 ONE-BEDROOM UNIT

1 SECOND & THIRD FLOOR PLAN
1/8" = 1'-0"



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G. Isthmus Architecture, Inc.

LOT 117
at
Hawks Landing
PRD Submittal

Project
Proj. No.: 0612.01

UNIT TYPE C
SECOND & THIRD FLOOR PLAN

Sheet Title

Scale:
Drawn By:
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

A2.3C

EXTERIOR FINISHES
SIDING: SMART SIDING, ESCAPE GRAY SW6185 BY SHERWIN WILLIAMS
WINDOWS: WHITE
TRIM: ANTIQUE WHITE
DOOR: FIREWEED SW6326 BY SHERWIN WILLIAMS
ROOF: OAKRIDGE DIM. SHINGLES BY OWENS CORNING, ESTATE GRAY
CORNER BOARDS: WHITE
FASCIA: WHITE
RAILINGS: WHITE
STONE MASONRY: RUBBLESTONE
STUCCO: MOCHA CREAM 1015-35, HEAVY TEXTURE

- NOTES:
1. PROVIDE AND INSTALL ALUM. PREFINISHED OGEE GUTTERS AND DOWNSPOUTS IN COLOR TO MATCH FASCIA.
 2. GUTTER AND FASCIA NOT INDICATED FOR DRAWING CLARITY.
 3. BAY WINDOW ROOF SLOPE TO MATCH PORCH ROOF SLOPE.
 4. PROVIDE PREFINISHED FLAT CEILING IN ALL PORCHES.
 5. BASE OF BUILDING TO BE FORMED CONCRETE WITH IMPRINT OF BRICK. CONCRETE TO BE PAINTED TO APPEAR AS BRICK.



1 ELEVATION
1/8" = 1'-0"



2 SIDE ELEVATION
1/8" = 1'-0"



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G. Isthmus Architecture, Inc.

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at
Hawks Landing
PRD Submittal

Project
Proj. No.: 0612.01

UNIT TYPE C
BUILDING ELEVATIONS

Sheet Title

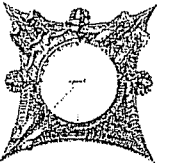
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Date:	07.26.06
Rev. Date:	
Rev. Date:	
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Rev. Date:	

Sheet No:

A3.1C

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Proj. No.: 0612.01

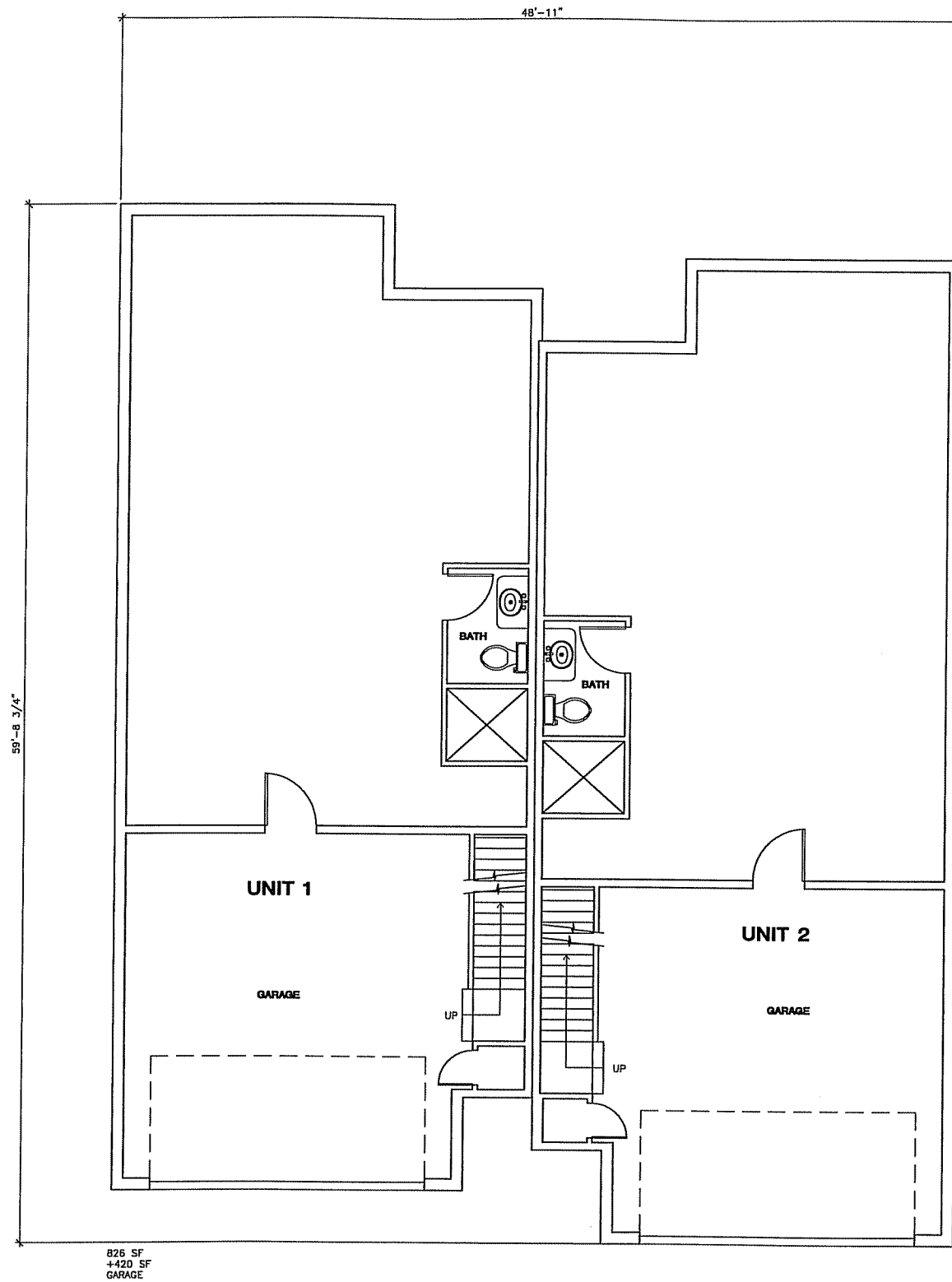
UNIT PLAN TYPE D
BASEMENT FLOOR PLAN

Sheet Title

Scale:
Drawn By:
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

A2.1D

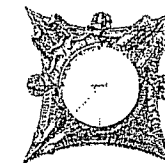


1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



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Hawks Landing
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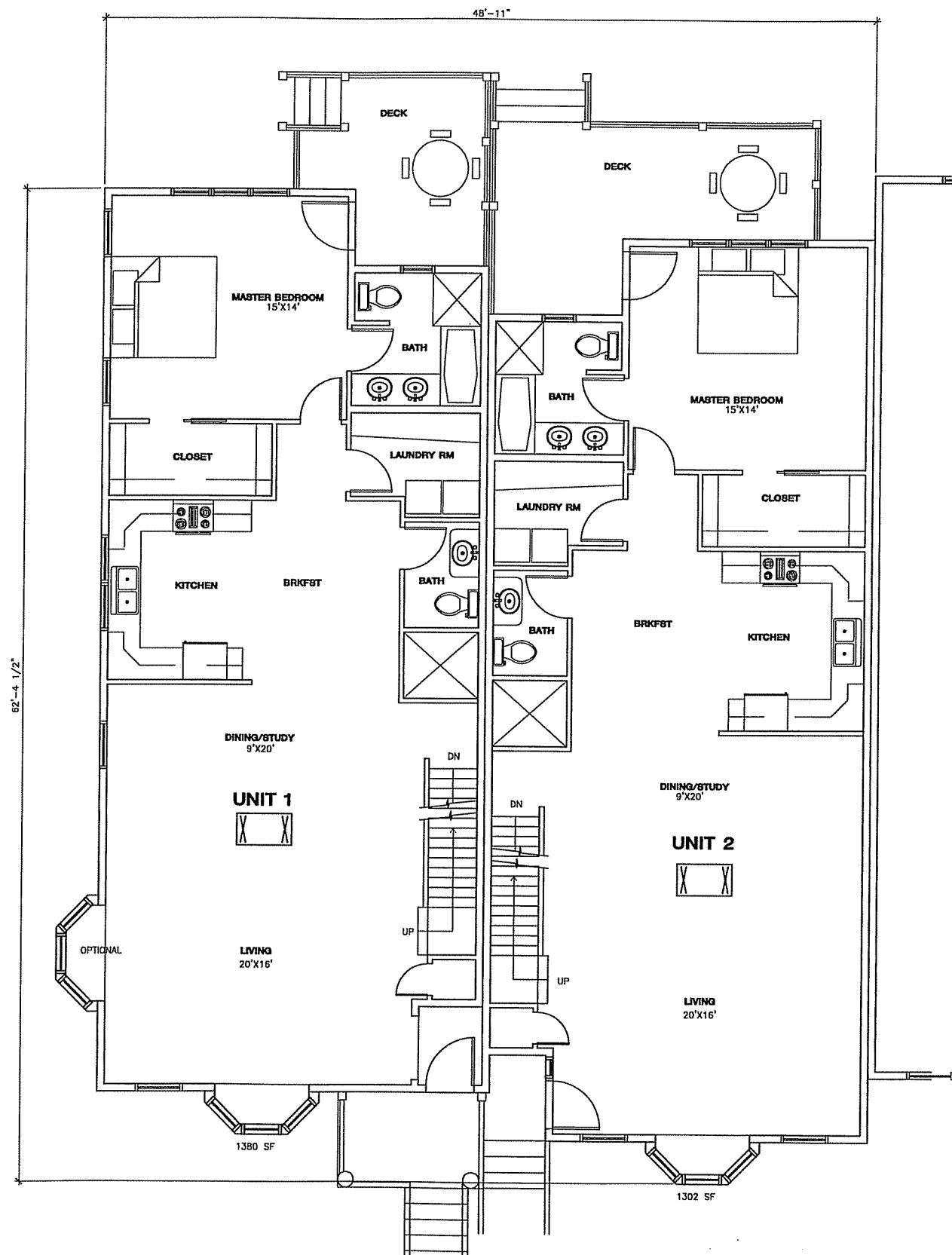
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FIRST FLOOR PLAN

Sheet Title

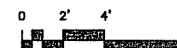
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Date: 07.26.06
Rev. Date:
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Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

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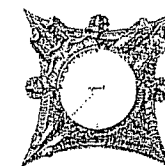


1 FIRST FLOOR PLAN
1/4" = 1'-0"



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Hawks Landing
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Proj. No.: 0612.01

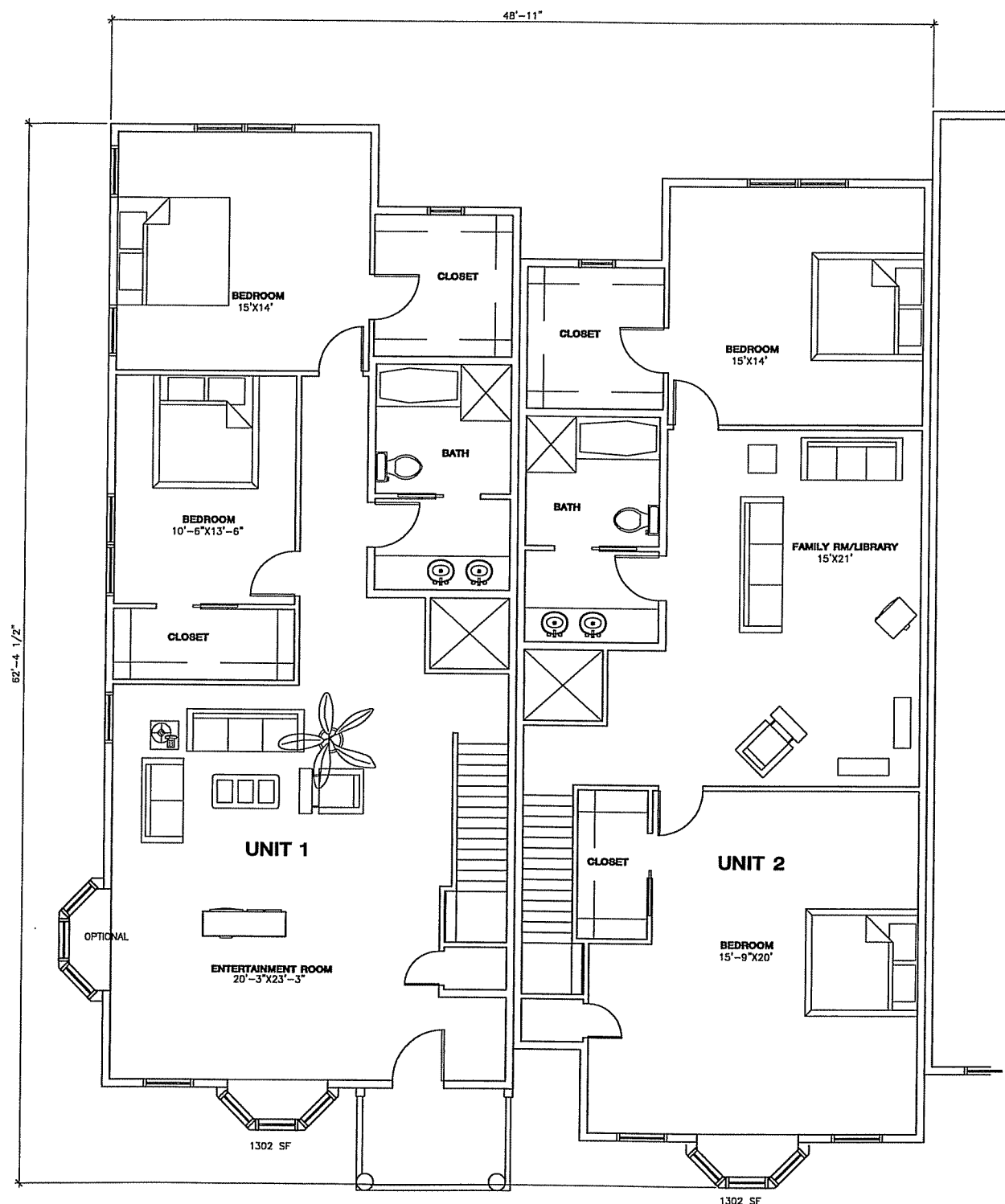
UNIT TYPE D
SECOND FLOOR PLAN

Sheet Title

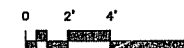
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Drawn By:
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

A2.3D



1 SECOND FLOOR PLAN
1/4" = 1'-0"



EXTERIOR FINISHES (END UNIT)
 BRICK MASONRY: BORAL, COUNTY MATERIALS, WERACOBAS-MODULAR.
 WINDOWS: WHITE
 TRIM: ANTIQUE WHITE
 DOOR: FIREWEED SW6328 BY SHERWIN WILLIAMS
 STONE MASONRY: ARRISCRAFT CAST STONE, ALMOND, SMOOTH CUT.
 SIDING: SMART SIDING, LAPPED.
 ROOF: OAKRIDGE DIM. SHINGLES BY OWENS CORNING, DRIFTWOOD
 CORNER BOARDS: WHITE
 FASCIA: WHITE
 COLUMNS & RAILINGS: IVORY LACE, SW7013 BY SHERWIN WILLIAMS
 FRONT WINDOW BAY: SANDS OF TIME, SW6101 BY SHERWIN WILLIAMS



1 FRONT ELEVATION
 1/4" = 1'-0"



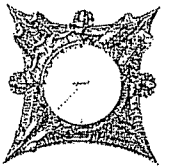
2 SIDE ELEVATION
 1/4" = 1'-0"

NOTES:

1. PROVIDE AND INSTALL ALUM. PREFINISHED OGEE GUTTERS AND DOWNSPOUTS IN COLOR TO MATCH FASCIA.
2. GUTTER AND FASCIA NOT INDICATED FOR DRAWING CLARITY.
3. BAY WINDOW ROOF SLOPE TO MATCH PORCH ROOF SLOPE.
4. PROVIDE PREFINISHED FLAT CEILING IN ALL PORCHES.
5. BASE OF BUILDING TO BE FORMED CONCRETE WITH IMPRINT OF BRICK. CONCRETE TO BE PAINTED TO APPEAR AS BRICK.

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at
Hawks Landing
PRD Submittal

Project
 Proj. No.: 0612.01

UNIT TYPE D
 BUILDING ELEVATIONS

Sheet Title

Scale:
 Drawn By:
 Date: 07.26.06
 Rev. Date:
 Rev. Date:
 Rev. Date:
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 Rev. Date:

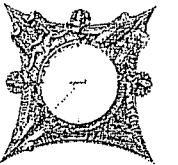
Sheet No:

A3.1D



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at
Hawks Landing
PRD Submittal

Project
Proj. No.: 0612.01

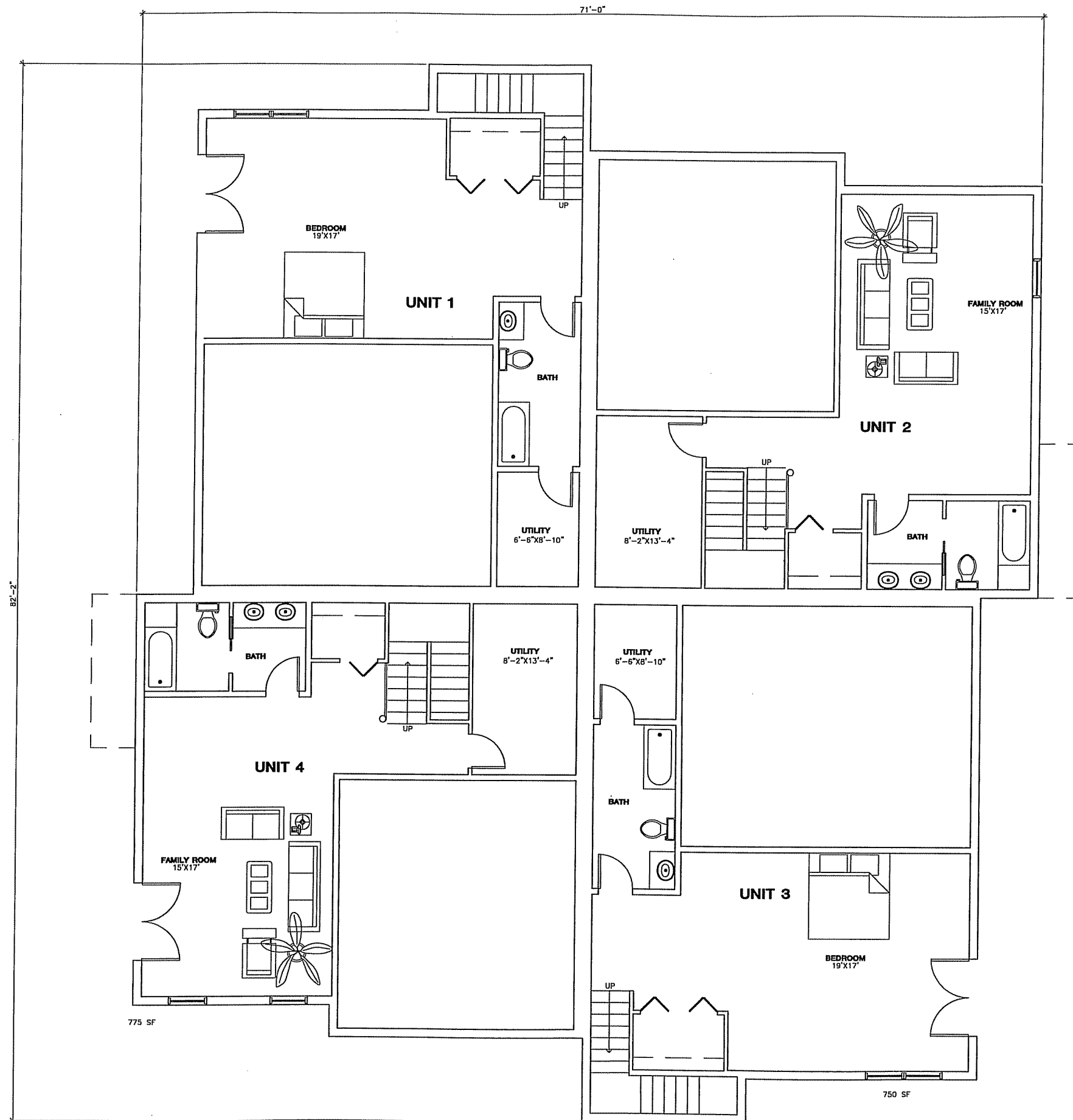
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BASEMENT FLOOR PLAN

Sheet Title

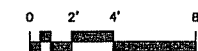
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Drawn By: KMZ
Date: 07.26.06
Rev. Date:
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Rev. Date:

Sheet No:

A2.1E

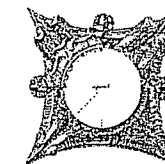


1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



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at
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PRD Submittal

Project

Proj. No.: 0612.01

UNIT TYPE E
FIRST FLOOR PLAN

Sheet Title

Scale:

Drawn By: KMZ

Date: 07.26.06

Rev. Date:

Rev. Date:

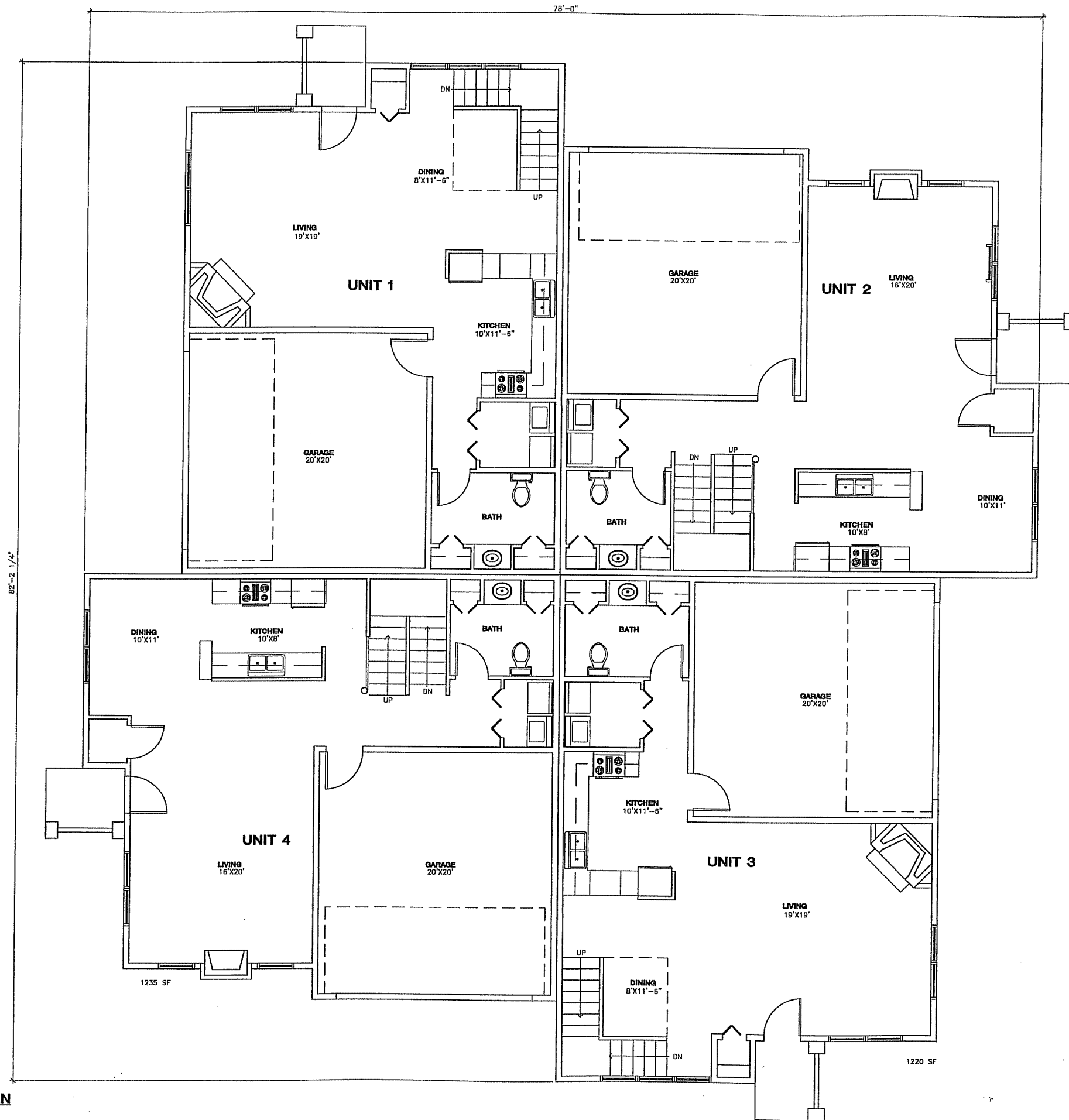
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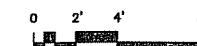
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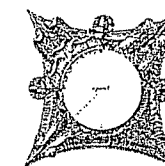


1 FIRST FLOOR PLAN
1/4" = 1'-0"



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**LOT 117
at
Hawks Landing
PRD Submittal**

Project
Proj. No.: 0612.01

UNIT TYPE E
SECOND FLOOR PLAN

Sheet Title

Scale:

Drawn By: KMZ

Date: 07.26.06

Rev. Date:

Rev. Date:

Rev. Date:

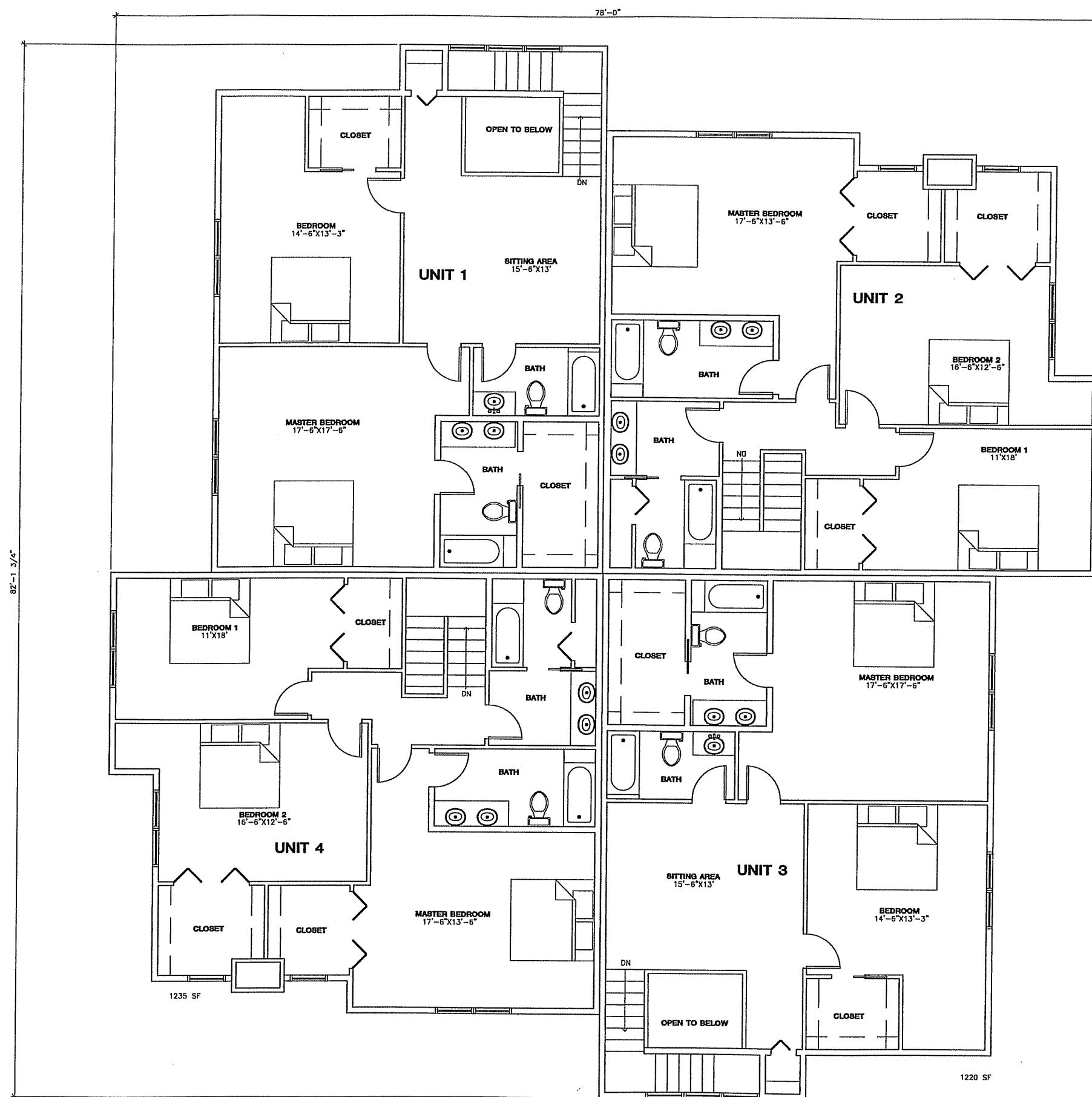
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Rev. Date:

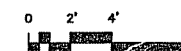
Rev. Date:

Sheet No:

A2.3E



1 SECOND FLOOR PLAN
1/4" = 1'-0"



RIDGE +35'-0"

TRUSS BEARING TYP. (+20'-4")

2ND FLOOR (+11'-4")

1ST FLOOR (0'-0")

EXTERIOR FINISHES
STUCCO: DIAMOND DUST 20822-56, HEAVY TEXTURE
BRICK VENEER: KASTEN MASONRY, 1007 OLD TUMBLE
WINDOW TRIM AND CROWN MOULD, CORNER BOARDS,
ROOF FASCIA,
DOOR: PLUM ISLAND BY CABOT
RAILINGS: MATCH TRIM COLOR
ROOF: OAKRIDGE IM. SHINGLES BY OWENS CORNING,
COLONIAL SLATE

NOTES:

1. PROVIDE AND INSTALL ALUM. PREFINISHED 1/2 ROUND GUTTERS AND DOWNSPOUTS IN COLOR TO MATCH FASCIA.
2. GUTTER AND FASCIA NOT INDICATED FOR DRAWING CLARITY.

ASPHALT SHINGLES TYP.

STUCCO TYPICAL

INSUL. WINDOW UNIT TYP.

BRICK VENEER

STUCCO TYPICAL

1 FRONT ELEVATION
1/4" = 1'-0"

BASEMENT (-9'-6 3/4")

RIDGE +35'-0"

TRUSS BEARING TYP. (+20'-4")

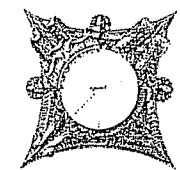
2ND FLOOR (+11'-4")

1ST FLOOR (0'-0")

2 SIDE ELEVATION
1/4" = 1'-0"

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ARCHITECTURE, INC.

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LOT 117
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Proj. No.: 0612.01

UNIT TYPE E
BUILDING ELEVATIONS

Sheet Title

Scale:
Drawn By:
Date: 07.26.06
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:

A3.1E