APPLICATION FOR URBAN DESIGN COMMISSION REVIEW AND APPROVAL

AGENDA ITEM#	
Project #	
02319	

	February 15, 2006 [Elebruary 22, 2006]	Action Requested Informational Presentation Initial Approval and/or Recommendation X Final Approval and/or Recommendation		
PROJECT ADDRESS	: 702 N. Midvale			
ALDERMANIC DIS	TRICT: 11th District Tim			
OWNER/DEVELOP Joseph Fre	ER (Partners and/or Principals and Associates, LLC	ARCHITECT/DESIGNER/OR AGENT:		
220 N. Smi	th Street, Suite 300			
Palatine,	IL 60067			
CONTACT PERSON Address:	220 N. Smith Street Palatine, IL 60067			
Phone: Fax: E-mail addres	(847) 215.5430 (847) 215.5282 s: dlanniejfreed.com			
TYPE OF PROJECT: (See Section A for:)	ii			
Gener X Specify Planned Com Gener Specify Planned Resident New Construct Well as a fee)	c Building or Space (Fee may be ction or Addition to or Remode	an Urban Design District * (A public hearing is required a e required) ling of a Retail, Hotel or Motel Building Exceeding 50,000		
- 17	ction or Exterior Remodeling ir	1 C4 District (Fee required)		
(See Section C for:) R.P.S.M. Par	king Variance (Fee required)	e e		
(See Section D for:)	ive Design Review* (Fee requirics Variance* (Fee required)	red)		
		±		

Joseph Freed and Associates LLC

Wednesday February 15, 2006

Mr. Al Martin City of Madison, Department of Planning and Development 215 Martin Luther King Jr. Blvd Madison, WI 53701

RE: Hilldale PUD-GDP-SIP Amendment #2

Dear Al:

We are submitting this package and want to confirm our plan of presenting this project at the Urban Design Commission hearing on February 22, 2006. This package includes the following material;

- 11x17 set of project drawings;
- Engineering plans;
- Analysis of big box requirements; and
- A written response to the Urban Design Commission's concerns.

Please do not hesitate to call me if you have any questions.

Sincerely,

Joseph Freed and Associates LLC

Domenic Lanni

Development Associate

JFA RESPONSE TO URBAN DESIGN COMMISSION CONCERNS HILLDALE SHOPPING CENTER – AMENDED PUD (GDP-SIP): SIP #2

MAJOR CATEGORY: THE NEED FOR A MASTER PLAN

The Urban Design Commission, Hill Farm Neighborhood Association, Alder Tim Gruber, Alder Noel Radomski, community residents and others interested in the future of Hilldale and the surrounding area have at one time or another raised the question "what else can be developed at Hilldale?" This is an important question that is only partially addressed by the existing PUD/GDP/SIP:

- For the entire 37-acre Hilldale site, the PUD establishes allowable land uses, maximum non-residential floor area, number of parking spaces and maximum number of residential units, as well as certain other site-wide controls and features.
- For the areas covered by an SIP, specifics are set for site plan, buildings, circulation, landscaping, etc.

The community and the Developer recognize the importance to the success of the overall development for the Developer to maintain the redevelopment momentum currently underway at Hilldale. From the beginning of planning efforts with the community about the future of Hilldale, Joseph Freed and Associates (JFA) has endeavored to work with all interested parties to understand their concerns and to plan its redevelopment proposals to address as many concerns as possible. In doing this, JFA has also brought its own concerns to the community, public officials and all interest groups.

Therefore in the spirit of continued cooperation the Developer would like to move forward with SIP #2 with the understanding that they would not bring any new development proposals for work along the western edge of the property until they have met with the Community and developed a Master Plan for that area.

The Developer agrees that a master planning effort to address the issues is necessary and desirable. The Master Plan would entail a description of future uses and their proposed locations as well as solutions to the issues effected by the future development including but not limited to traffic, pedestrian and open space concerns. The Developer will commit its resources, expertise and time to this effort and is prepared to start this effort in the near future with two important qualifications to its commitment:

- SIP #2 has been analyzed and discussed through the public approval process and should continue on without being placed in suspended animation while the master planning efforts proceed. There has already been extensive discussion of the traffic and circulation, open space and community connection concerns related to SIP #2, and this proposal must proceed separate from the master planning work.
- The approximate 30,000 SF building proposed within SIP #2 but without specifics It is the desire of the Developer that this building pad be treated in the same manner as the restaurant pads were treated in SIP #1: building pads at a maximum size were located in the site plan with a requirement that before development would occur, specifics as to the building

JFA Response to UDC concerns Amended PUD (GDP-SIP): SIP #2

• footprint, size, elevations and use would be brought back through the process for approval by the UDC, the Plan Commission and the Common Council.

MAJOR CATEGORY: CONCERNS - PROPOSED HILLDALE SIP #2

CONCERNS: ROOFTOP CONDITIONS AND APPEARANCE – WHOLE FOODS MARKET AND CONDOMINIUM BUILDING

- Consider a green roof for both buildings
- Consider rooftop deck for the condominium building.
- Consider residential uses above the grocery store.
- Consider what the roofs will look like from Westin Place?

DEVELOPER REVISED PROPOSAL:

- The roof areas of the Whole Foods Market building <u>and</u> the condominium building have been re-designed to provide 40% 50% coverage with vegetative "green roof" material.
- Rooftop mechanical equipment on the Whole Foods Market has been appropriately arranged behind screening, and the mechanical penthouse on the condominium building has been enclosed and covered.
- A roof deck would increase the height of the elevator stack in the condominium building and is not
 economically viable or warranted for this product.
- Isometric views of both roofs have been provided in this submittal.

CONCERNS: LOADING FACILITIES - WHOLE FOODS MARKET

- Consider relocation of the loading docks to reduce noise and view impacts.
- Consider in-place features to attenuate loading dock noise and to hide the loading operation
- The proposed trellis is an inadequate solution.

DEVELOPER REVISED PROPOSAL:

- The loading dock for the Whole Foods market remains in place on the south side of the building. Adequate screening and noise attenuation can be much more successfully implemented on the south side of the grocery building. The existing grade on the south side allows the loading dock to sit below the pedestrian grade.
- The existing grade on the north side would not allow for a pleasant presentation to the heavily traveled University Avenue.
- A roof has been designed to cover the loading dock and will also be covered with vegetative "green roof" material.
- A higher retaining wall and enhanced landscaping and screening along Frey Street have been provided between the loading dock and the sidewalk.
- Whole Foods Market will manage the operation of its loading area for minimal impact on the adjacent community:
 - o Once-a-day evening bulk delivery;
 - o Daily morning deliveries of perishables;
 - o Daily on-site trash compaction and separation of recyclable materials;
 - Weekly trash pick-up;
 - o Daily site clean up includes the loading area.
 - o Bi-weekly (summer) and monthly (winter) deep cleaning of trash compactor.

February 15, 2006

JFA Response to UDC concerns Amended PUD (GDP-SIP): SIP #2

CONCERNS: WHOLE FOODS MARKET SURFACE PARKING AREA AND ADJACENT AREAS

- Number of spaces relationship to city zoning standards for parking;
- Relationship of SIP #2 to the rest of the shopping center
- Potential for grade-separated, underground parking
- Entrance drive curb radii are too large
- Parking extends to University Avenue
- Pedestrian experience along University Avenue, inside the parking lot, around the southeast corner
- Relationship to University Avenue transit stop

DEVELOPER REVISED PROPOSAL

- The entire Hilldale Shopping Center redevelopment will have a net increase of 6 parking spaces and a net increase of approximately 60,000 square feet of floor area. The parking ratio has been improved from 3.6 spaces per 1,000 sf of floor area to 3.3 spaces per 1,000 sf of floor area. This includes the existing SIP #2 portion of the development. This ratio is below that which would be required for separate projects containing the same amount of floor area. The Developer has determined the distribution of parking spaces that best serves the multiple businesses within the Hilldale Planned Unit Development, and the Madison Zoning Ordinance allows for a distribution of parking spaces for the multiple-business center that wouldn't necessarily be allowed for any one business if it were not within a Planned Development. The Developer's proposal for SIP #2 keeps the overall parking for the Center as approved initially in the GDP.
- The current configuration parks Whole Foods at 4.8 spaces per 1,000 sf of floor area. Typical grocers require between 5 and 6 spaces per 1000 sf of floor area. This is a key criterion to ensure vitality. Whole Foods has obtained up to 6 spaces per 1000 sf of floor area for their urban stores in downtown Chicago.
- Various compromises must be made throughout the development to provide a balanced solution of
 aesthetics, mixed-use, pedestrian feel, open space, parking requirements and ultimately the vitality of the
 project to exist from an economic standpoint. Whole Foods acts as an engine greatly improving the chances
 of continued success throughout the project.
- The Developer has indicated that below-grade parking is economically infeasible at this location in the Hilldale PUD and further believes that below-grade spaces in SIP #2 (other than those to be provided within the footprint of the condominium building therein) would be the least attractive parking spaces in the center. The Developer did analyze the feasibility of below grade parking, which increased project costs by approximately \$2.5 million.
- The curb radii at all entrances in SIP #2 will conform to the standards and requirements of City Traffic Engineering. The curb radii at the right in on University have been tightened. Truck movements as well as fire code issues limit the remaining radii.
- Pedestrians and motorists moving westbound on University Avenue will see very little of the surface
 parking lot and any vehicles therein because of the change in elevation from east to west. Instead, these
 pedestrians and motorists will see a sloped area, parkway and terraced retaining wall, all of which are
 heavily landscaped.
- Pedestrians and motorists moving eastbound on University Avenue will get a limited view into the surface
 parking area just past the grocery building, which view will be quickly interrupted as the roadway elevation
 drops, by a view of landscaped slope, parkway and terraced wall area to the east.
- The east-west landscaped pathway through the parking area has been redesigned in small ways to enhance the landscaping areas.
- A terraced pedestrian stairway has been introduced at the southeast corner of the Whole Foods parking lot to provide another pathway leading to an enhanced pocket park and the rest of the development.
- The Developer has connected all of the walkways and paths in SIP #2 to the remainder of the Hilldale Planned Development Area and to pedestrian facilities in adjacent areas to facilitate movement to and from surrounding communities and community facilities, including parks, open spaces, transit stops, et al.
- The bus stop along University has been located and will be provided in accord with the advice and requirements of the Madison Metro Transit District.

February 15, 2006

JFA Response to UDC concerns Amended PUD (GDP-SIP): SIP #2

CONCERNS: PEDESTRIAN EXPERIENCE ALONG THE CONDOMINIUM BUILDING FRONTAGES

- Pedestrian experience at grade level along Frey Street is harsh
- The ground floor of the condominium building is an environment with no windows and a large retaining wall.

DEVELOPER REVISED PROPOSAL:

- The facades of the condominium building closest to the streets have been re-designed to address concerns about visual interest.
- Landscaping (materials and design of planting areas), street furniture and paving along the street frontages of the condominium have been intensified and upgraded.
- Pocket parks are being placed at the north and south corners of the intersection of Frey and Sawyer.

CONCERNS: STORM WATER MANAGEMENT PLAN AND CONCEPTS

- The storm water management plan was not provided
- Impacts on potential for flooding from extensive hard surface
- · Rain gardens or other infiltration opportunity areas are needed

DEVELOPER REVISED PROPOSAL

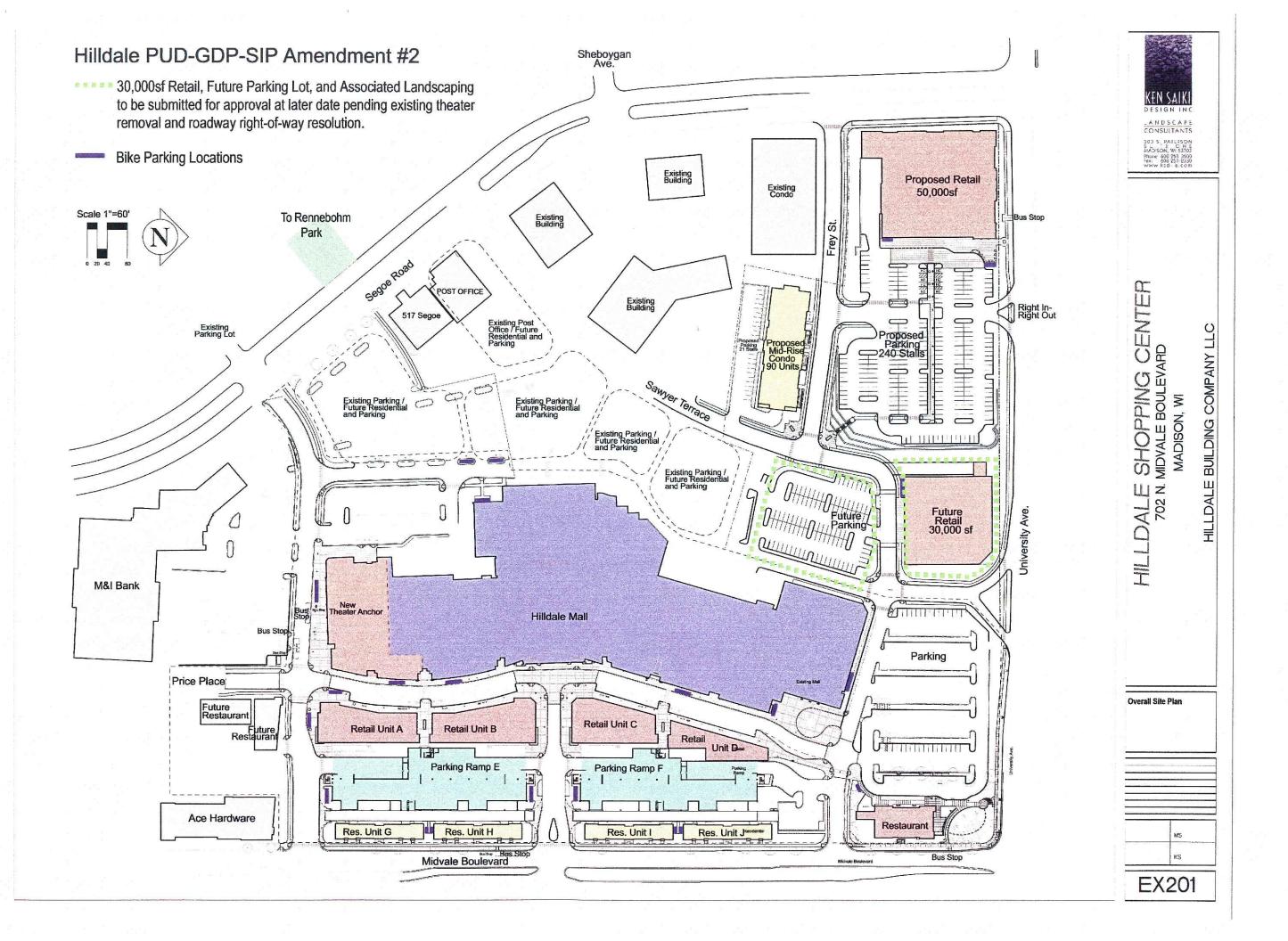
- The storm water management plan has been provided for the entire center with the SIP #2 area shown for this submittal.
- The proposed development will increase the impervious area of the site by approximately 6% but will increase the permeable and green space area by 16%. There are currently no stormwater management measures utilized on site to treat stormwater runoff from these areas.
- Stormwater management measures are proposed for the redevelopment and include the following;
 - O Approximately 50% of the rooftops will be constructed as a "green roof". This will provide stormwater detention and stormwater runoff volume reduction over an area of approximately 0.6 acres.
 - o Drain tiles will carry rainwater from the roof to vegetated areas throughout the site. This will provide opportunities for stormwater re-use.
 - o Porous pavers will be utilized at low points in the parking lot.
 - O At least 5 "infiltration islands" will be installed throughout the lot. This will provide infiltration opportunities and peak volume reduction over an additional area of approximately 0.1 acres.
 - o An underground detention storage system will be installed to impound excess stormwater runoff and release it to the City drainage system at a controlled rate.
- The net result of these measures is an expected reduction in the peak discharge rate, stormwater runoff volume, and TSS loading which will meet or exceed City of Madison, Dane County, and Wisconsin DNR Stormwater Management Requirements

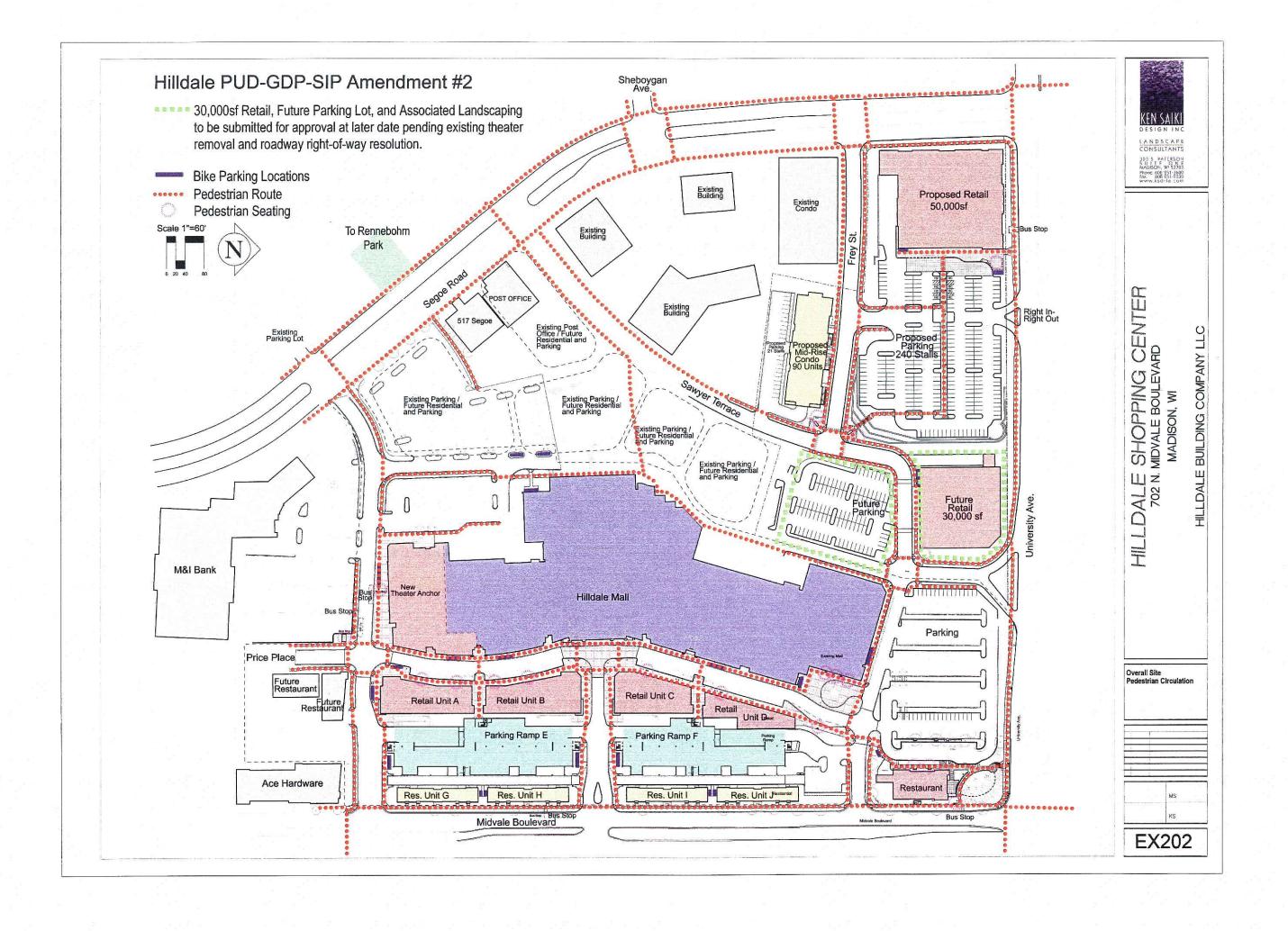
February 15, 2006

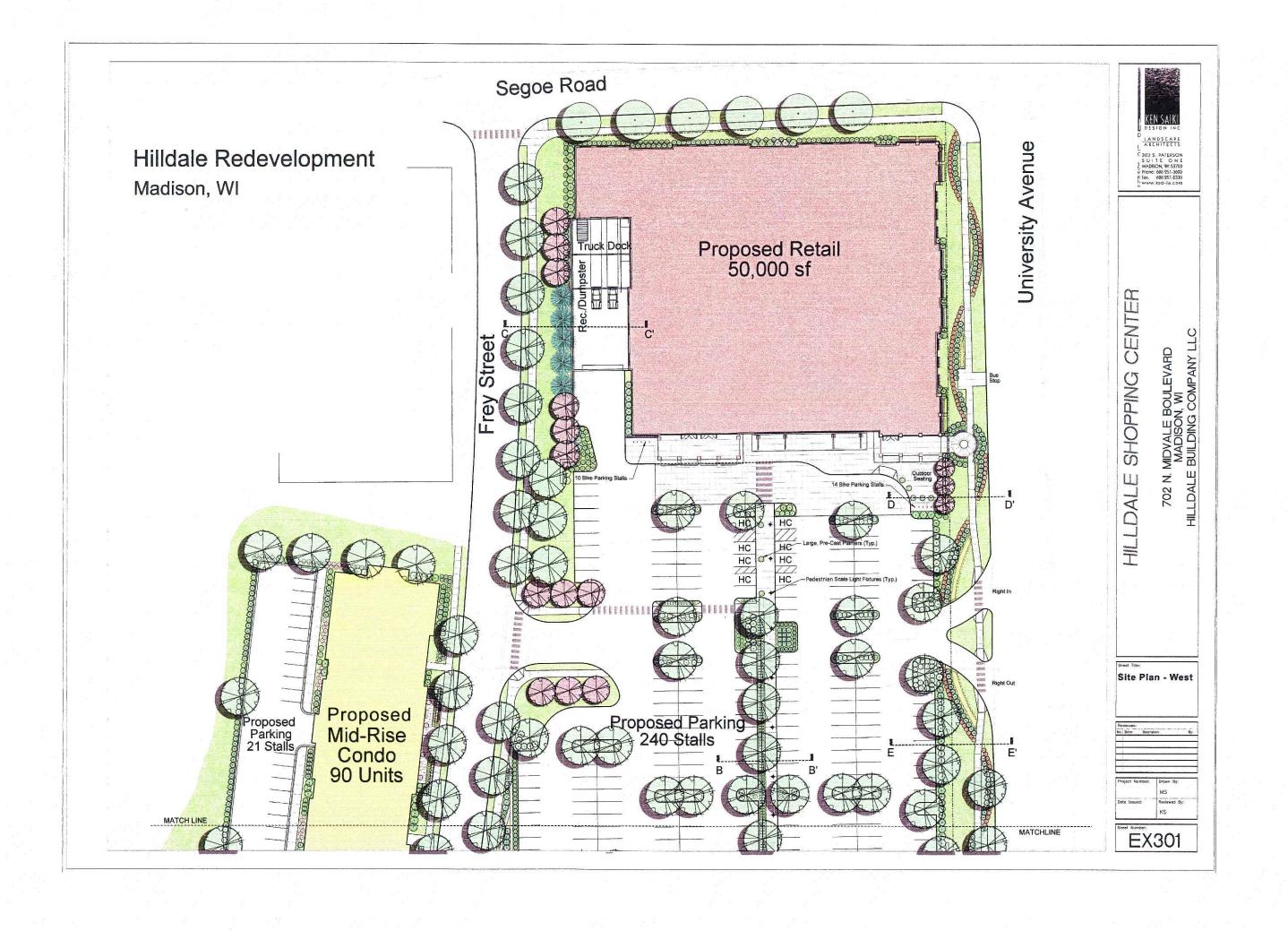


BILLERALE

HILLDALE PUD-GDP-SIP Amendment #2 02-15-06









MLB700A

Bench ends are made from solid cast aluminium. The seat employs 1.38" x 1.5" and 1.38" x 4.00" lpe slats.

Height 32.25" Length: 70.00" Depth: 22.25" Seat 17.00"

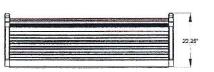
WEIGHT. 130lbs (60kg.)

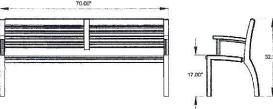
FINISH:

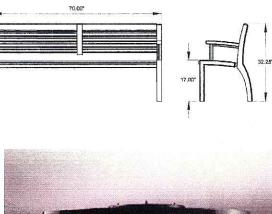
The Maglin Powder Paint System provides a durable finish on all metal surfaces.

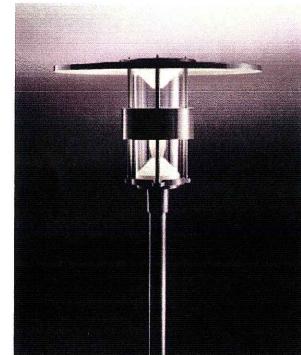
INSTALLATION: The bench is delivered pre-assembled. Holes {0.5"} are provided in each foot for securing to base.











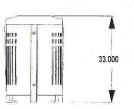
MLWR700

The trash container trame is constructed using heavy duty steel and aluminum. A 32 gallon co-grade plastic liner and metal lid are provided,

All steel components are protected with E-Coat rust proofing. The Maglin Powder Paint System provides a durable finish on all metal surfaces.

Ø 22.200





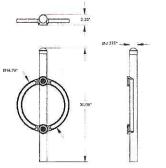


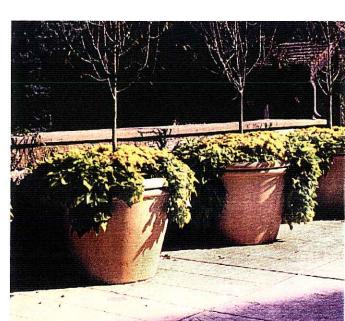








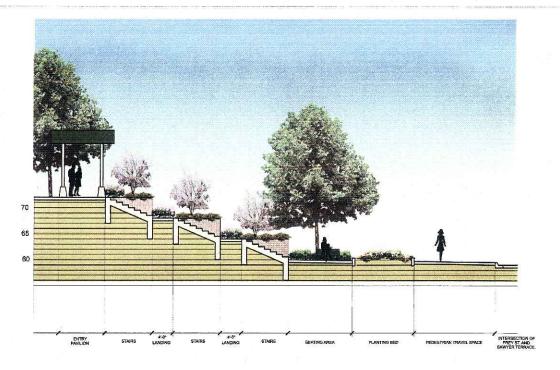




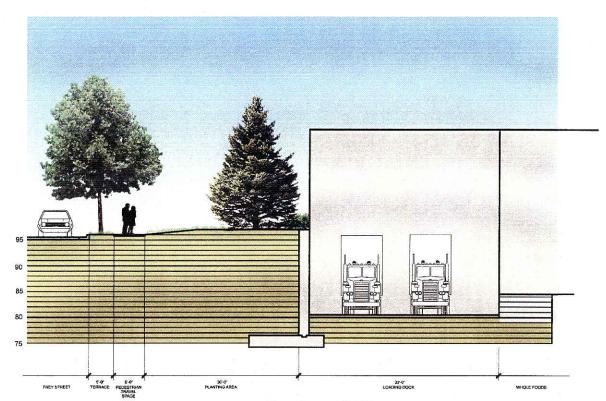


HILLDALE SHOPPING CENTER 702 N. MIDVALE BOULEVARD MADISON, WI HILLDALE BUILDING COMPANY LLC

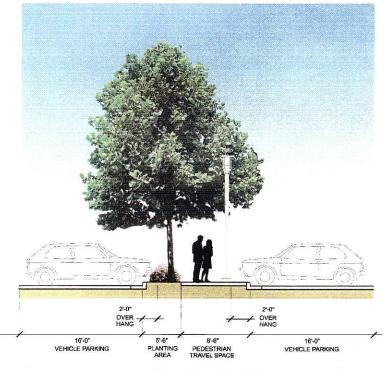
Site Amenities



Section A-A'
Sawyer Terrace to parking lot



Section C-C'
Frey Street to Whole Foods loading dock



Section B-B'
Pedestrian walkway through parking lot

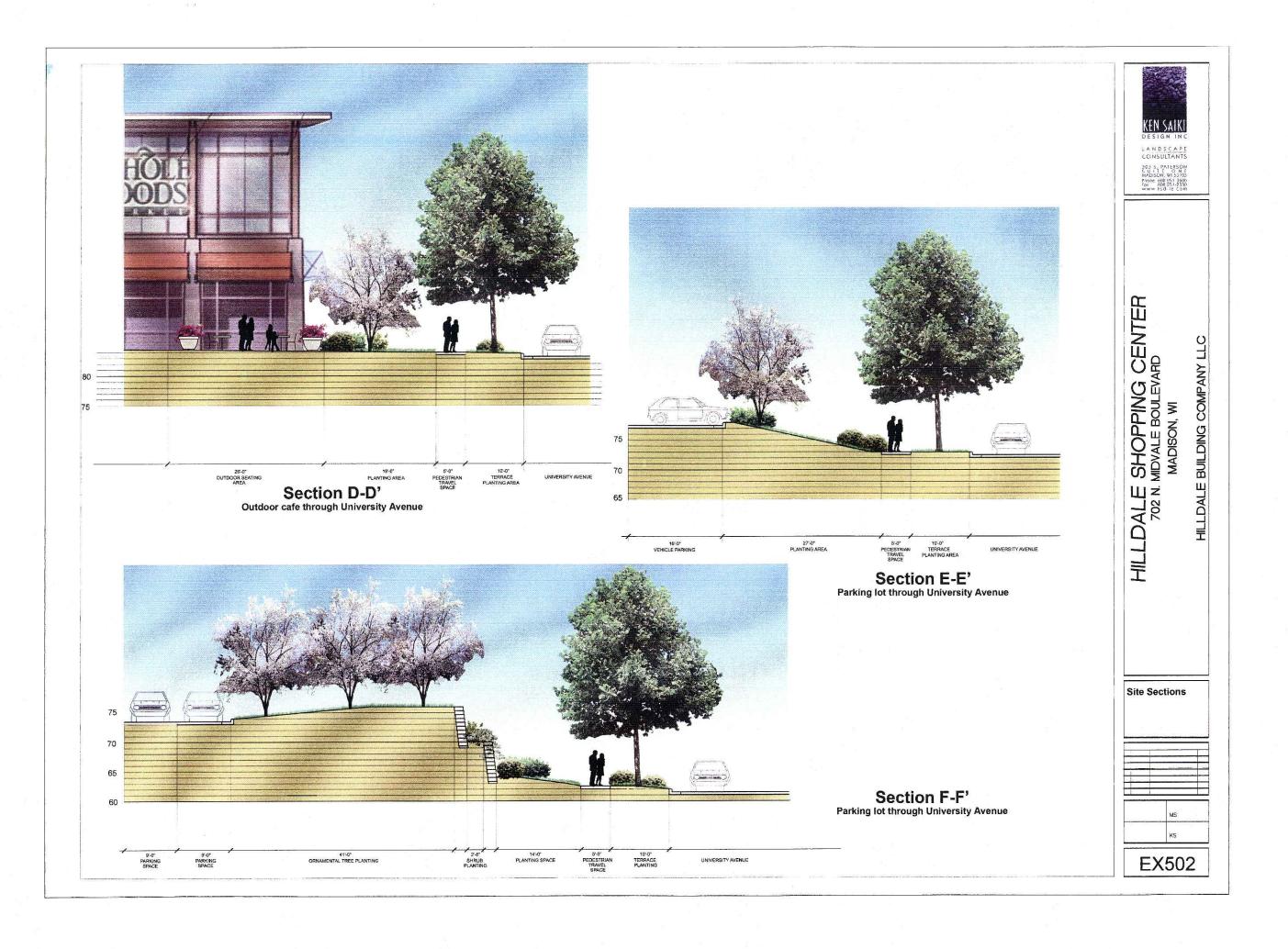


HILLDALE SHOPPING CENTER 702 N. MIDVALE BOULEVARD MADISON, WI

HILLDALE BUILDING COMPANY LLC

Site Sections









Section G-G'
Parking lot through propsed building and loading dock

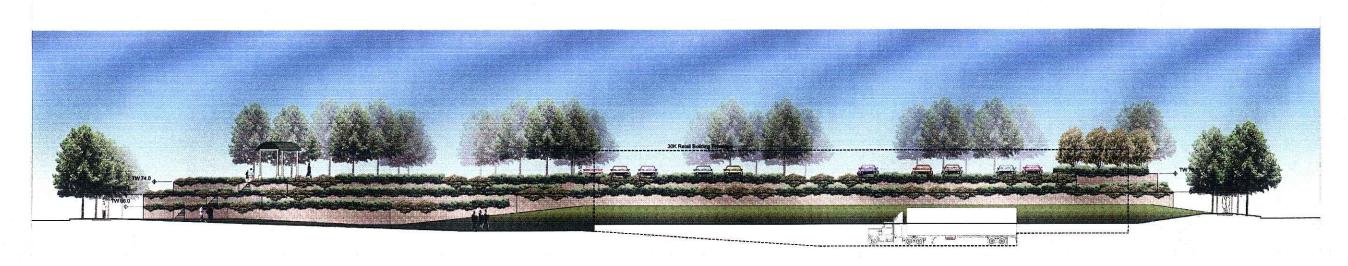


HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

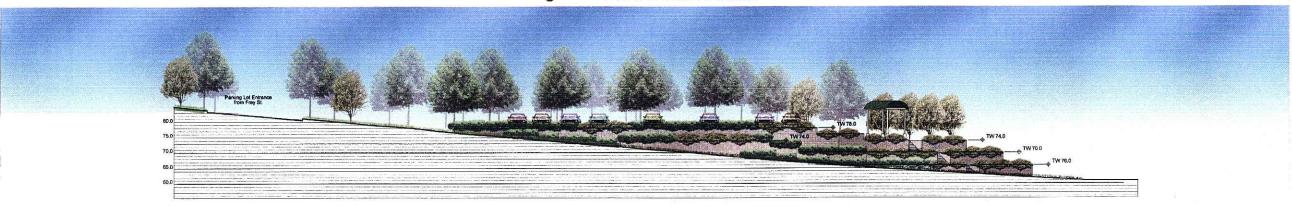
HILLDALE BUILDING COMPANY LLC

Site Sections

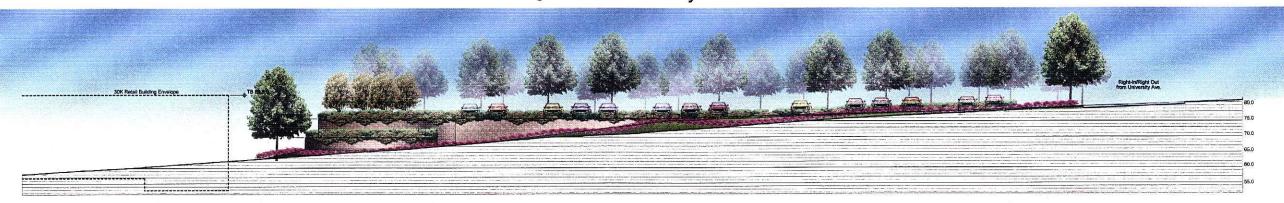




Retaining Wall Elevation Facing West from 30K Retail



Retaining Wall Elevation Facing North from Frey Street



Retaining Wall Elevation Facing South from University Ave.

Site Elevations EX504

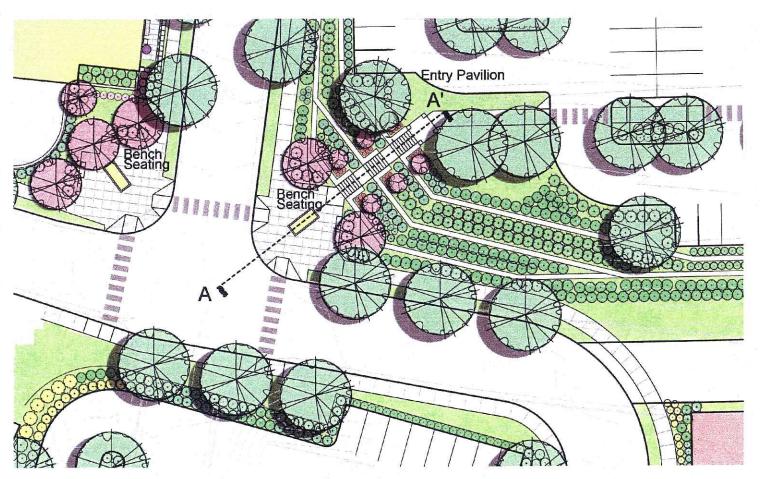


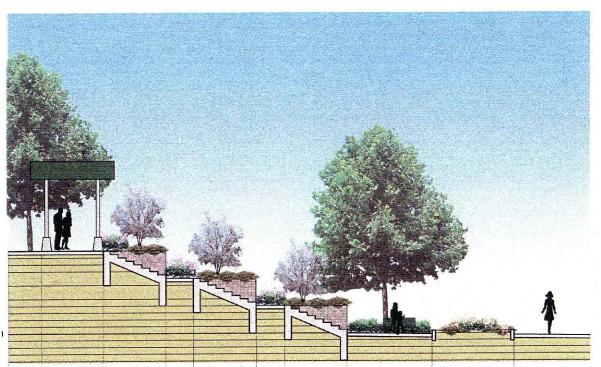
Site Section facing South from University Ave.



HILLDALE SHOPPING CENTER

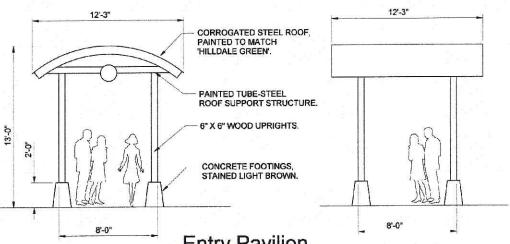
702 N. MIDVALE BOULEVARD MADISON, WI HILLDALE BUILDING COMPANY LLC





Stair Section





Entry Pavilion



ARCHITECTS

303 S. FATERSON S. U.T. E. O. N. E. MADISON, W. 53703 Phone: 608 951-3600 Pag. 608 951-9330 Www.ksd+la.com

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI HILLDALE BUILDING COMPANY LLC



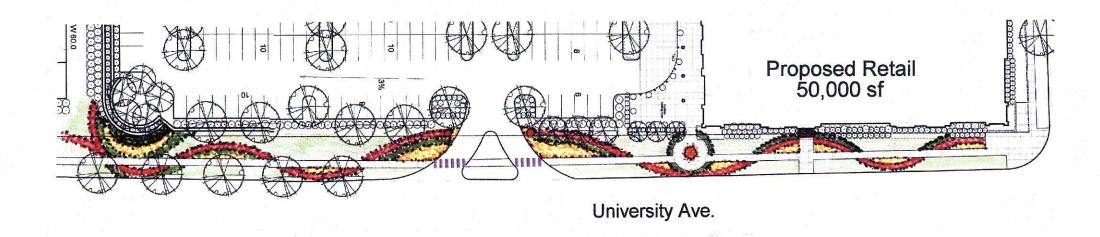
SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI HILLDALE BUILDING COMPANY LLC

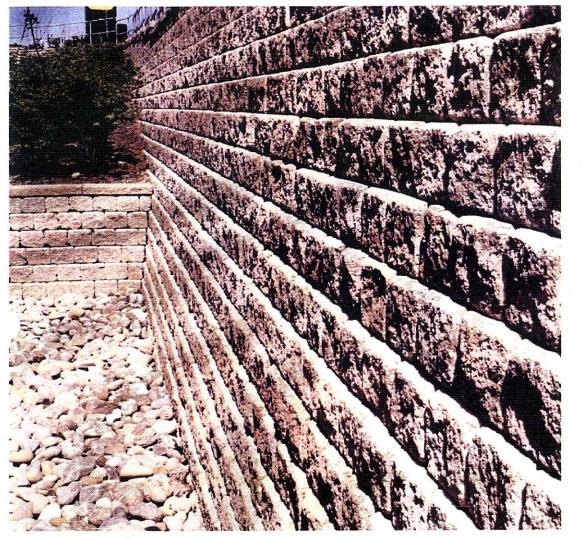
HILLDALE

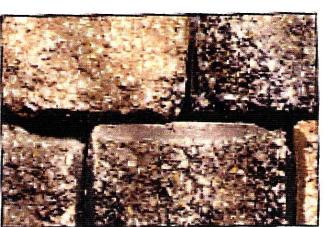
Enhanced University Ave. Landscape Design

EX601



Enhanced Landscape Design Along University Ave.

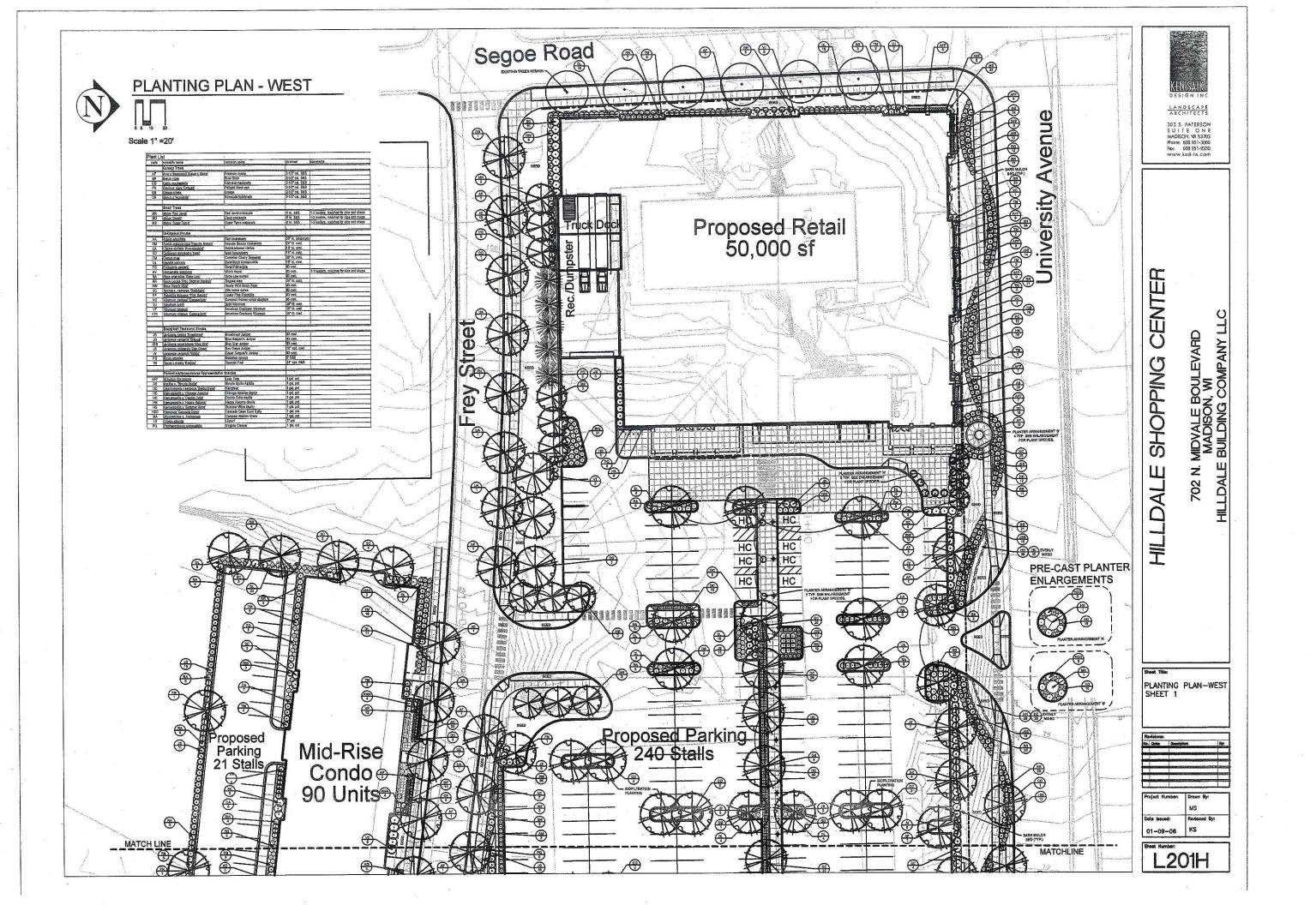


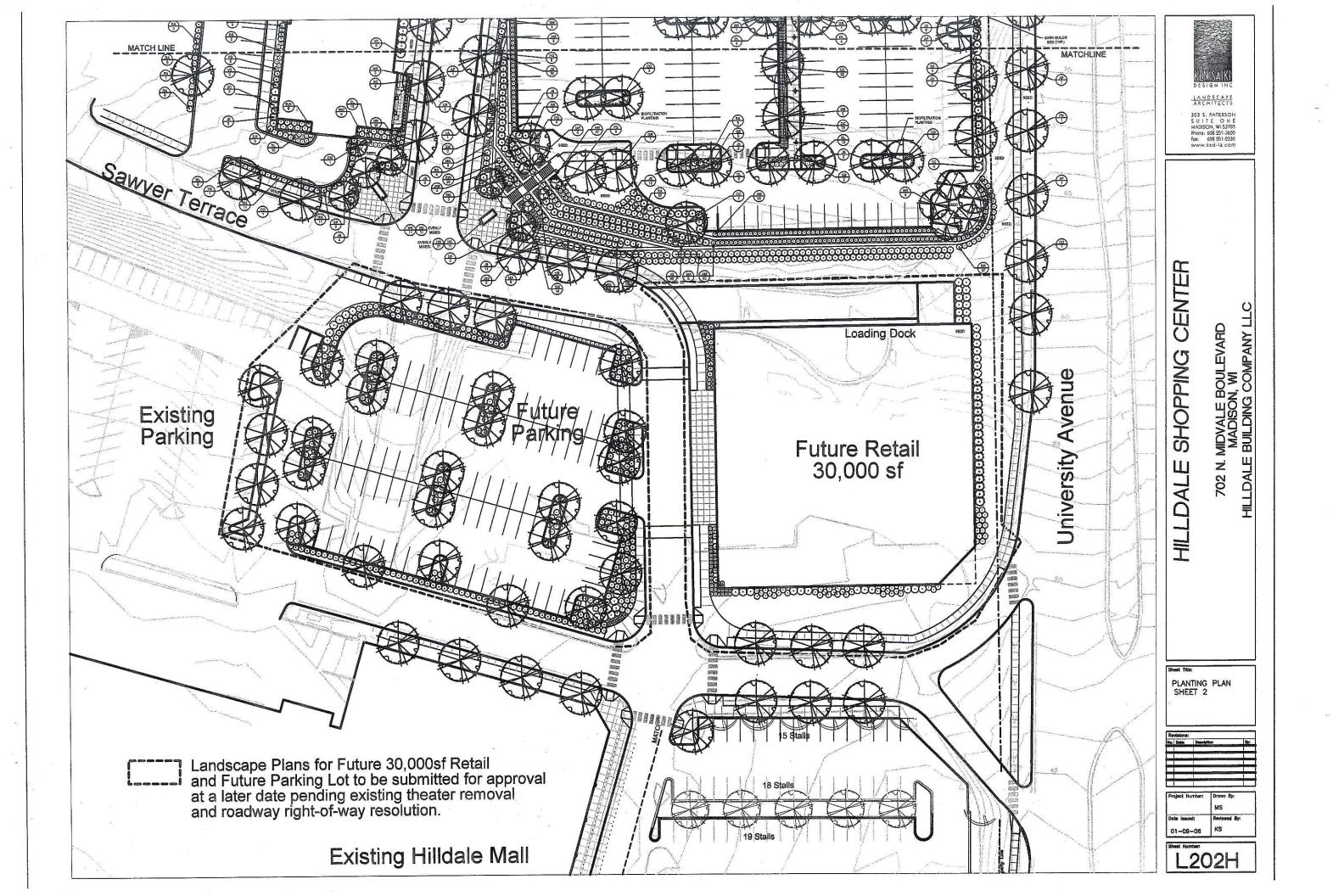




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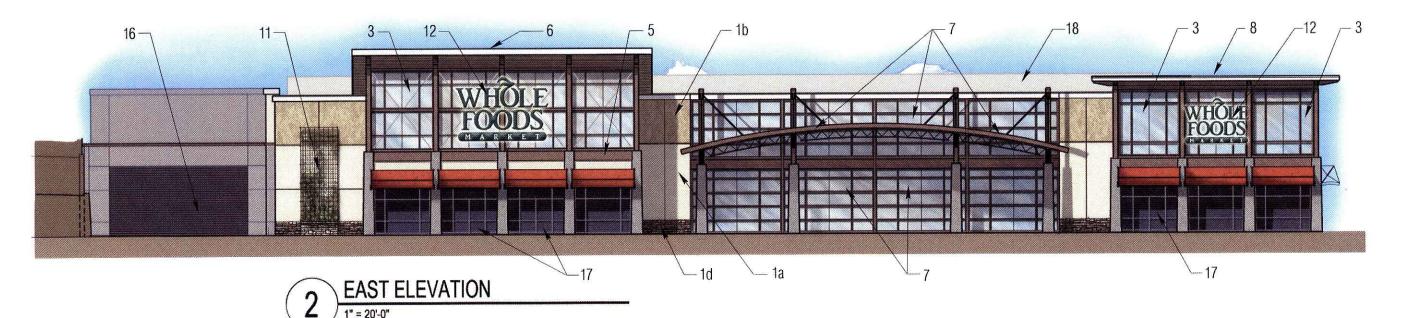




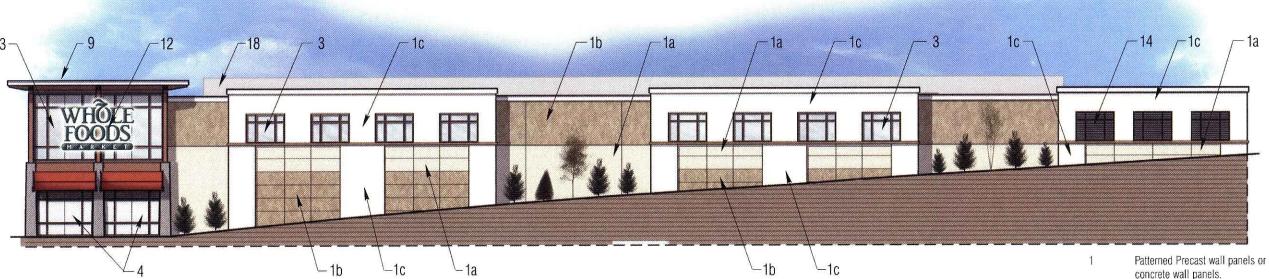


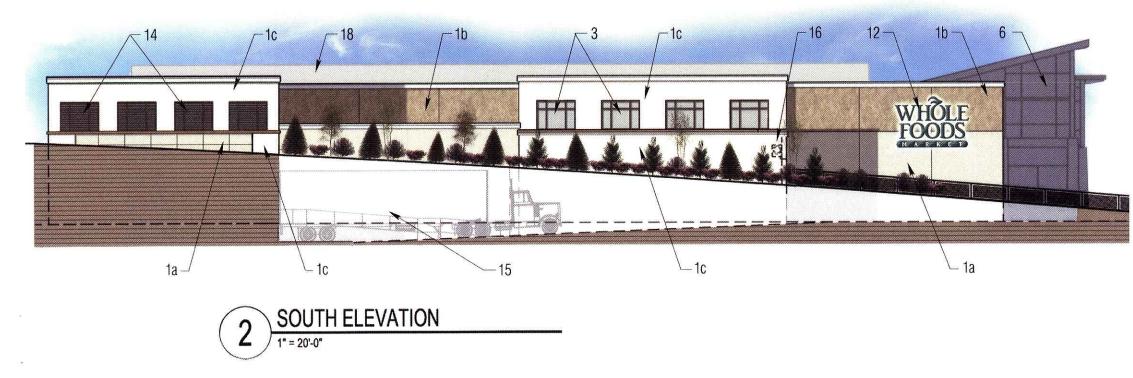
Patterned Precast wall panels or patterned cast-in-place concrete wall panels. Field material - Tan concrete mix, light acid wash finish. Accent band - Tan concrete mix, deep sand blast, exposed brown aggregate. Accent band - Tan concrete mix, light sand blast, partially exposed brown aggregate. Base accent - Sierra Drystack precast formliner, field Poured concrete piers, light sand blast. Vision glass - clear insulated unit. Bronze anodized alu minum frame with thermal break. Patterned glass - insulated unit, no vision, some light transmittance. Bronze anodized aluminum frame with thermal break. Glu-lam timber framing. Entrance Tower: Sloping entry roof with two story space. Underside of roof is an exposed wood tongue & groove ceiling over glu-lam framing. Curtain wall system & arched canopy: Curved cantilevered canopy with steel trusses supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass at the top parapet panels. University Avenue structure: Two story tower on University Avenue, glulam framing, vision glass. Pedestrian connection to public transportation and city sidewalk. Segoe Road structure: Two story tower with glu-lam framing, poured concrete piers, vision glass above and patterned glass below. Wood clad projections with steel-framed fabric awnings and patterned Vine covered metal trellis screen with base planter. "Whole Foods Market" signage/logo graphic. Backlit, individually cut metal signage. Pedestrian plaza. Architectural metal louvers. Recessed truck dock, naturally screened by existing site conditions. Precast panel wall with 6' side return and 30' wide coiling over-head door to screen loading dock.

> Automatic sliding doors Roof Screen (beyond)









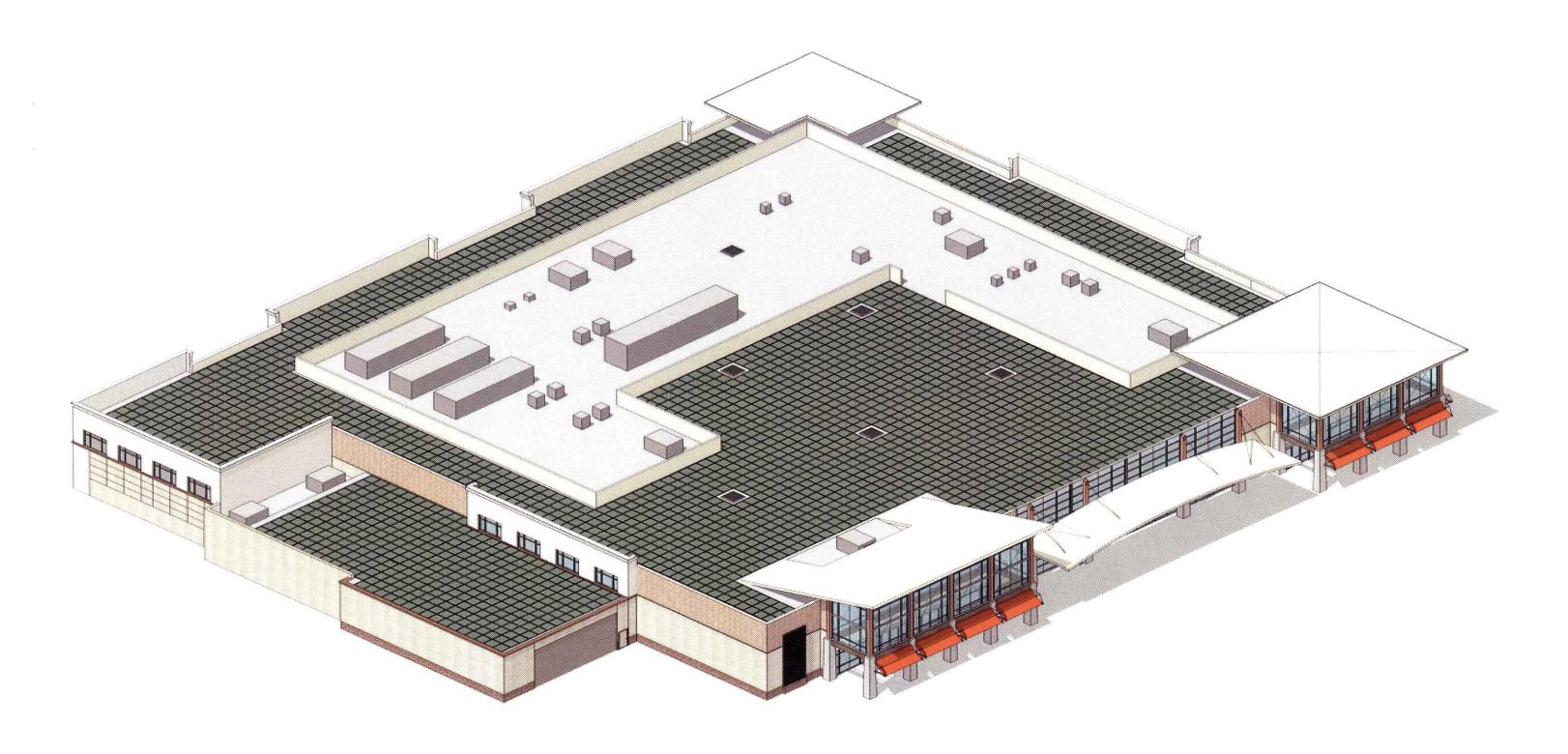
WEST ELEVATION

- Patterned Precast wall panels or patterned cast-in-place
- Field material Tan concrete mix, light acid wash finish.
- Accent band Tan concrete mix, deep sand blast, exposed brown aggregate.
- Accent band Tan concrete mix, light sand blast, partially exposed brown aggregate.
- Base accent Sierra Drystack precast formliner, field
- Poured concrete piers, light sand blast.
- Vision glass clear insulated unit. Bronze anodized alu
 - minum frame with thermal break.
- Patterned glass insulated unit, no vision, some light transmittance. Bronze anodized aluminum frame with thermal break.
- Glu-lam timber framing.
- Entrance Tower: Sloping entry roof with two story space. Underside of roof is an exposed wood tongue & groove ceiling over glu-lam framing.
 - Curtain wall system & arched canopy: Curved cantilevered canopy with steel trusses supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception
 - of patterned glass at the top parapet panels.
 - University Avenue structure: Two story tower on University Avenue, glulam framing, vision glass. Pedestrian connection to public transportation and city sidewalk.
 - Segoe Road structure: Two story tower with glu-lam framing, poured concrete piers, vision glass above and patterned glass below.
- Wood clad projections with steel-framed fabric awnings and patterned
- Vine covered metal trellis screen with base planter.
- "Whole Foods Market" signage/logo graphic. Backlit, individually cut metal signage.
- Pedestrian plaza.
- Architectural metal louvers.
- Recessed truck dock, naturally screened by existing site conditions.
- Precast panel wall with 6' side return and 30' wide coiling over-head door to screen loading dock.
- 17 Automatic sliding doors
- Roof Screen (beyond)



OSEPH FREED AND ASSOCIATES LLC

ONE OF THE FREED GROUP OF COMPANIES



Isometric view of the proposed Whole Foods Market and green roof assembly







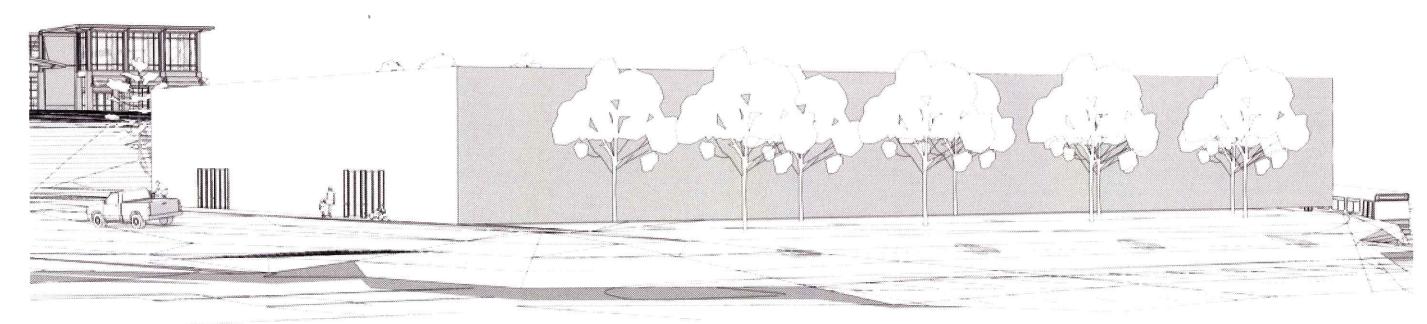
Southeast view of the proposed Whole Foods Market at Hilldale.







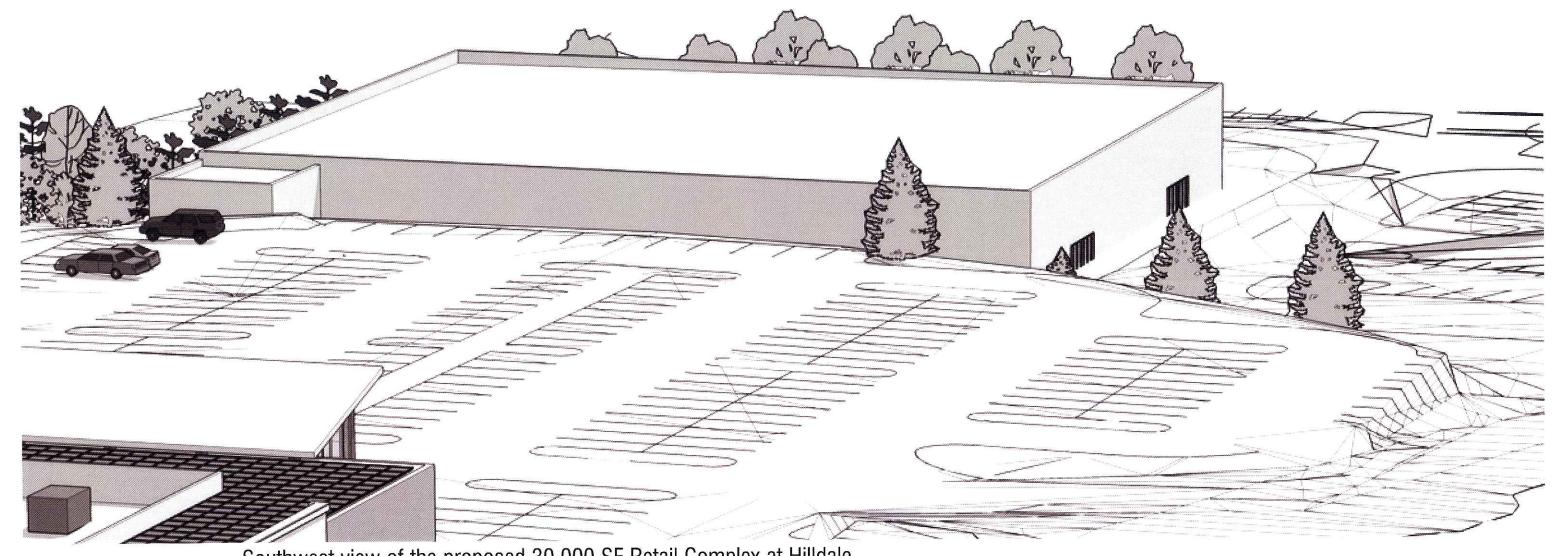
Northwest view of the proposed 30,000 SF Retail Complex at Hilldale. (View looking from University Avenue.)



Southeast view of the proposed 30,000 SF Retail Complex at Hilldale. (View looking from Hilldale Mall.)







Southwest view of the proposed 30,000 SF Retail Complex at Hilldale. (View looking from above proposed Whole Foods Market.)





ANALYSIS OF BIG BOX COMPLIANCE ISSUES City of Madison, Urban Design Commission Requirements

Whole Foods Market - Hilldale

1. Large Retail Developments

Applies to retail 40,000 sf or greater

2. Maximum Building Footprint

Max footprint size 100,000 GSF

- 3. Facades and Exterior Walls
 - a. Facades greater than 75' in length shall incorporate projections or recesses having a depth of at least 3% of the total length of the façade. No façade shall exceed 75' in length.
 - b. Ground floor facades that face or abut public streets with pedestrian and vehicular access shall incorporate the following features along 60% of their length: Arcades, windows (vision, display, or day lighting), entrances, awnings, canopies, porticos, outdoor patios, community features.
 - c. Facades shall have repeating features with no less than 3 of the following elements: color change, texture change, material/module change, expression of architectural or structural bay through 24" minimum change in plane
 - d. At least one of the above must repeat horizontally. All elements must repeat at 30' max.

Comments

50,000 sf retail footprint

Less than Maximum allowed

North & South Facades: 229.5' long

3% of 228' = 6'-11'' required

North: 9'-0" provided

South: 47'-0" provided

East & West Facades: 268' long

3% of 268' = 8'-0" required

East: 97'-0" provided West: 12'-0" provided

65'-0" wide projection on North elevation is longest façade element.

Color, texture, material & expression all repeat

All elements repeat at 30' or less.

4. Roofs

- a. Varies with change in height every 75' max
- b. No less than 2 of the following
 - i. Parapets to conceal RTU's with 3 dimensional cornice treatment
 - ii. Overhanging eaves that extend no less than 3' past the walls
 - iii. 3 or more roof slope planes with varying lengths and designs.

5. Materials and Colors

Facades directly visible from public streets must use high quality materials and may not have E.I.F.S. below 3' above grade.

6. Customer Entrances

- a. Defined, highly visible entrance with no fewer than 3 of the following: Canopies or porticos, overhangs, recess/projections, display windows, architectural details, arcades.
- b. All sides that directly abut R.O.W. which provides vehicular access to the site shall feature 1 customer entrance. May use entry portico or plaza. If abuts 2 or more R.O.W.'s shall apply to the side with the most traffic.

Varies - Max. 65'-0'

Parapets on all walls
Overhangs at entry towers
Multiple slope roof planes provided

Architectural precast walls with multiple colors, textures, and patterns provided. No E.I.F.S. specified.

Well defined customer entrance on East façade with pedestrian access via highly visible public-plaza and arcade.

3. Facades & Exterior Walls

A. Facades greater than 75' in length shall incorporate projections or recesses having a depth of at least 3% of the total length of the façade. No façade shall exceed 75' in length.

	East Façade	North Façade	West Façade	South Façade	
Length in F	eet: 274	229.5	268	229.5	
3% of Faça	nde: 8.22	6.885	8.04	6.885	2
Provid	ed: (4) Projections:	(3) Projections:	(4) projections,	(3) Projections:	
	Total of 97' of	Total of 9' of	Total of 12'-0"	Total of 47' of	
	projection	projection	projection	projection	
	(13' min)	(3' min)	(3' min)	(3' min)	

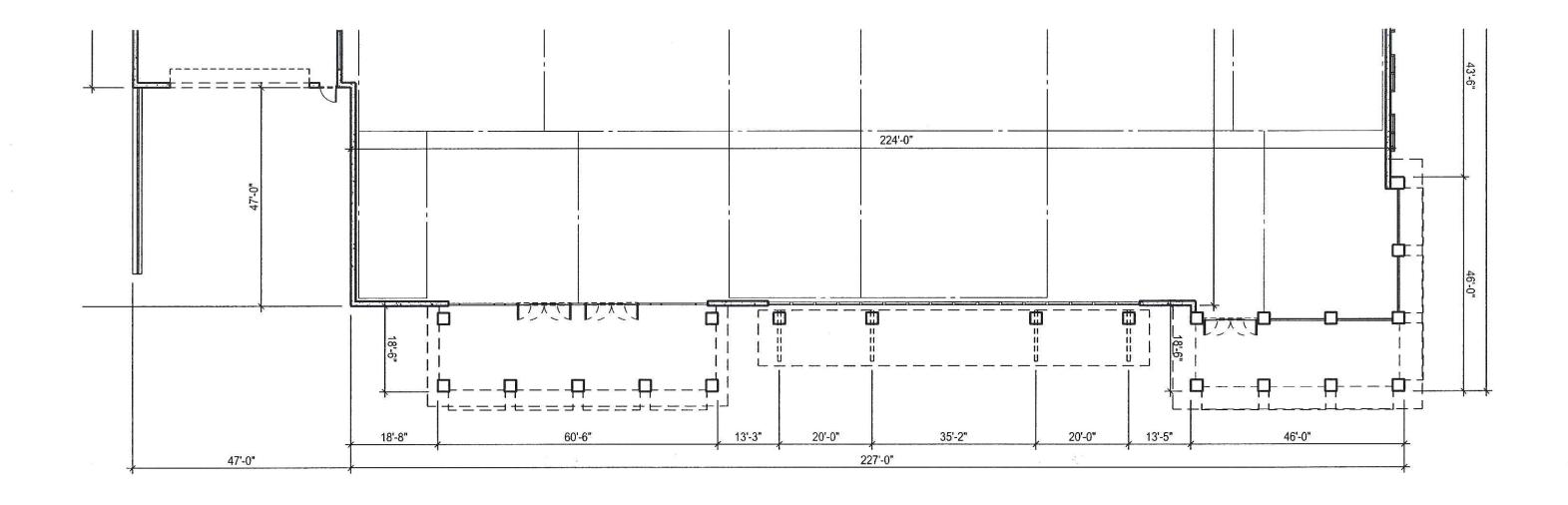
B. Ground floor facades that face or abut public streets with pedestrian and vehicular access shall incorporate the following types of features along no less than 60% of their horizontal length in a manner determined sufficient by the Plan Commission

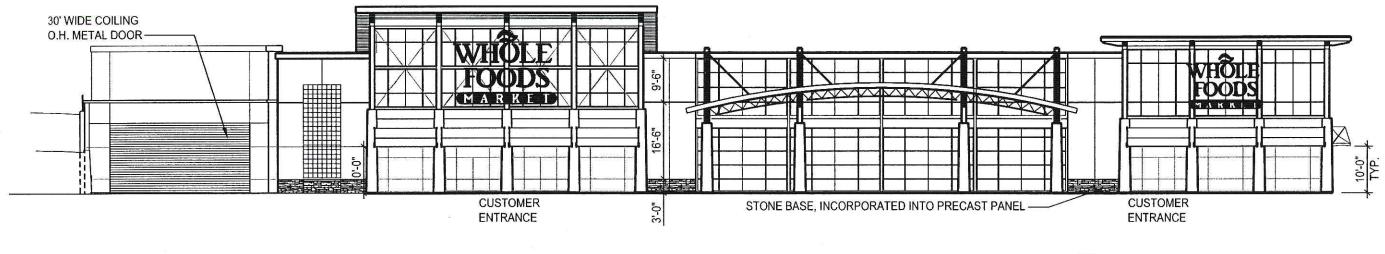
	(1) Arcades	(2) Windows for Vision, display or daylighting	(3) Customer entrances	(4) Awnings, canopies or porticos	(5) Outdoor Patios or community
East Façade		X	Х	X	X
North Façade		X	X (from sidewalk)	Χ	Х
West Façade		X		Χ	
South Façade		Х		Х	

C. Facades shall have repeating features with no less than 3 of the elements below. 24" minimum change in plane.

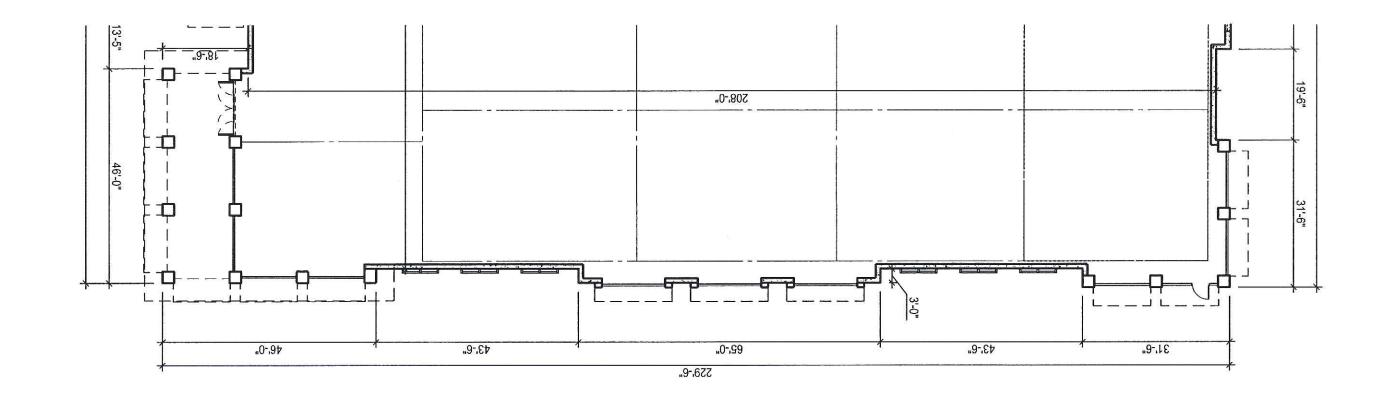
	[C] Color	[T] Texture	[M] Material/ module	[E] Expression of Architecture/
East Façade	X	X	X	X
North Façade	X	X	Х	X
West Façade	X	Х	Х	Х
South Façade	X	Х	X	X

D. At least one of the above must repeat horizontally. All elements must repeat at 30' max. See elevations for 3a

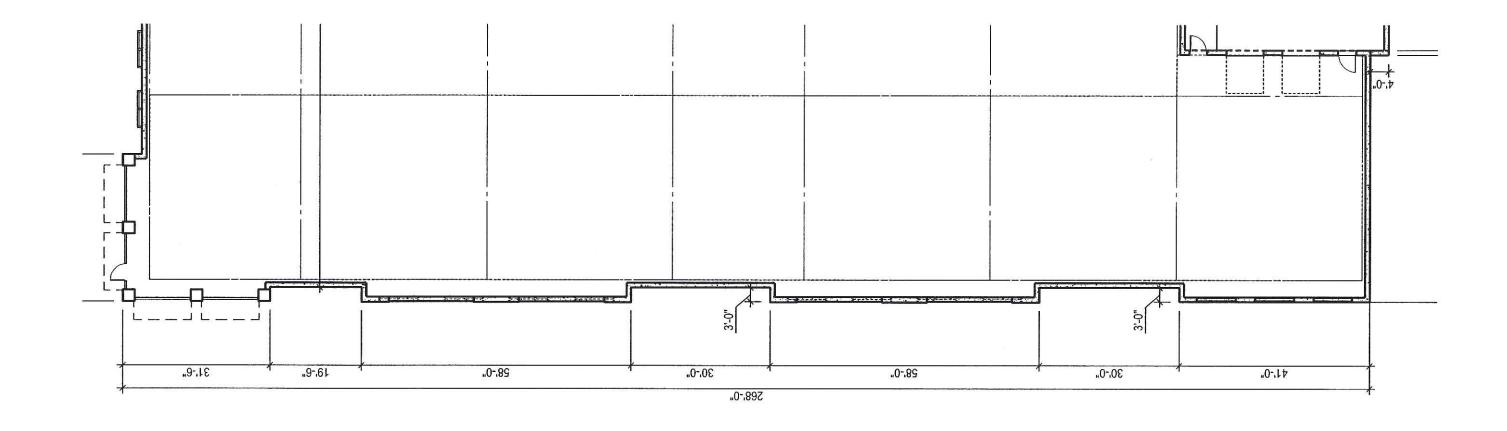


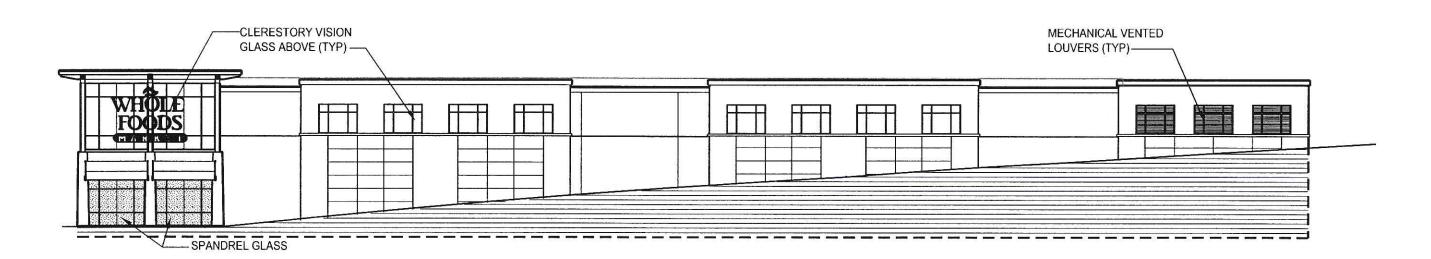


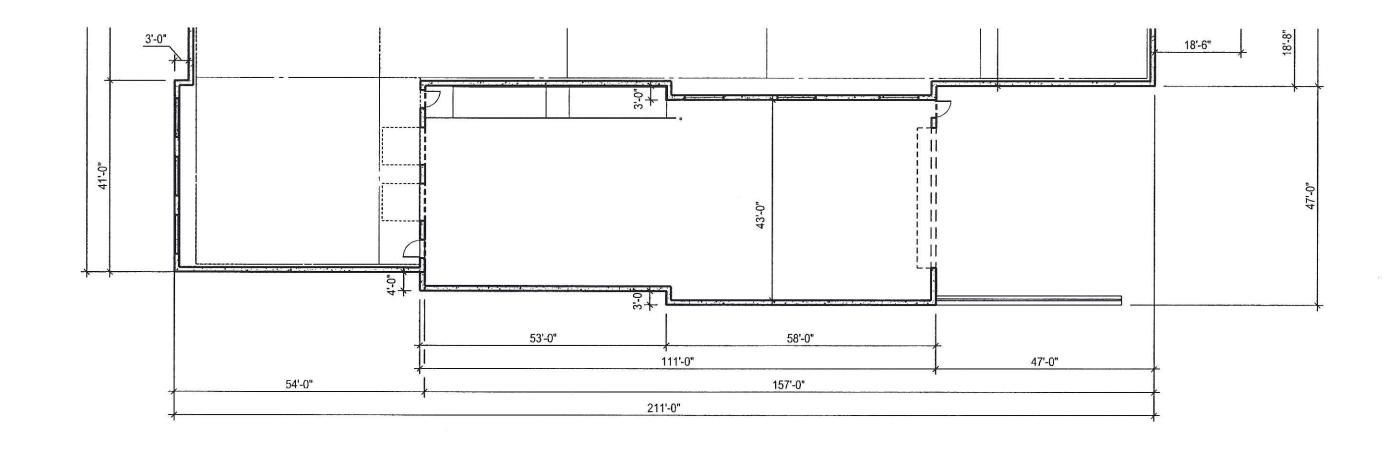


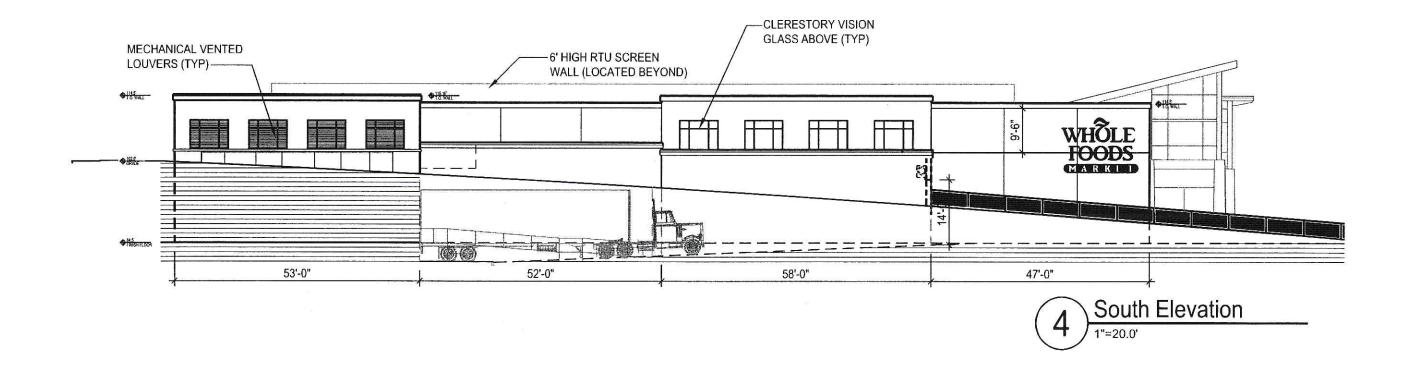


















NORTH ELEVATION SCALE: 1/8"=1'-0"

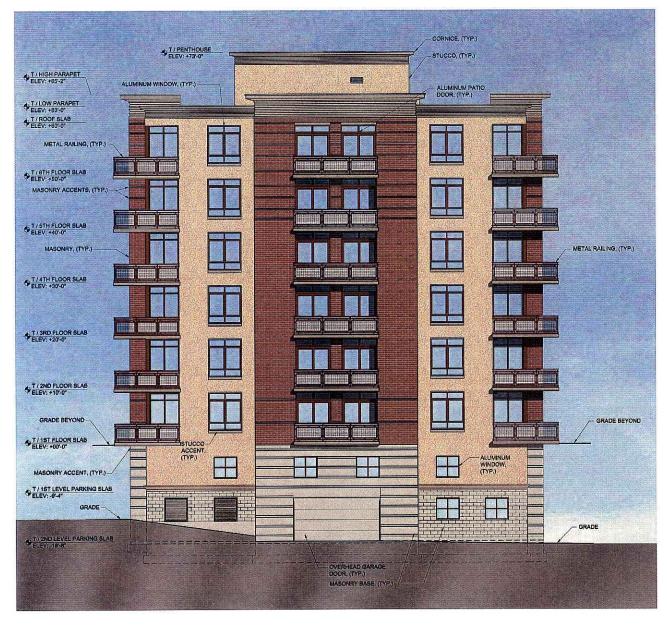


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SOUTH ELEVATION SCALE: 1/8"=1'-0"





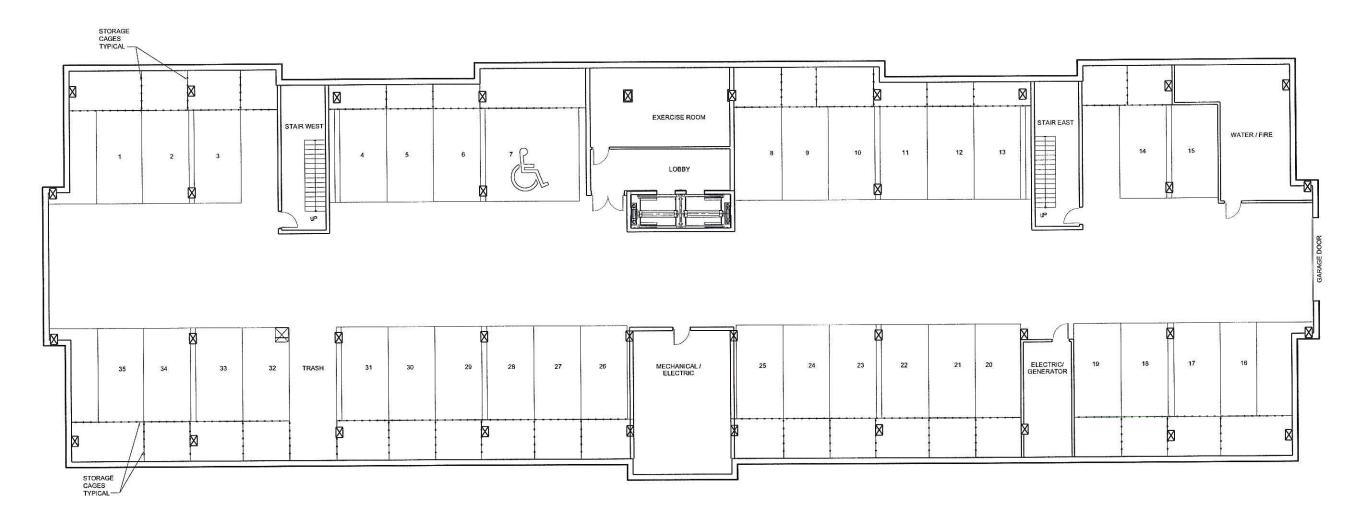


EAST ELEVATION SCALE: 1/8"=1'-0"

WEST ELEVATION SCALE: 1/8"=1'-0"



PROJECT NUMBER: 05030

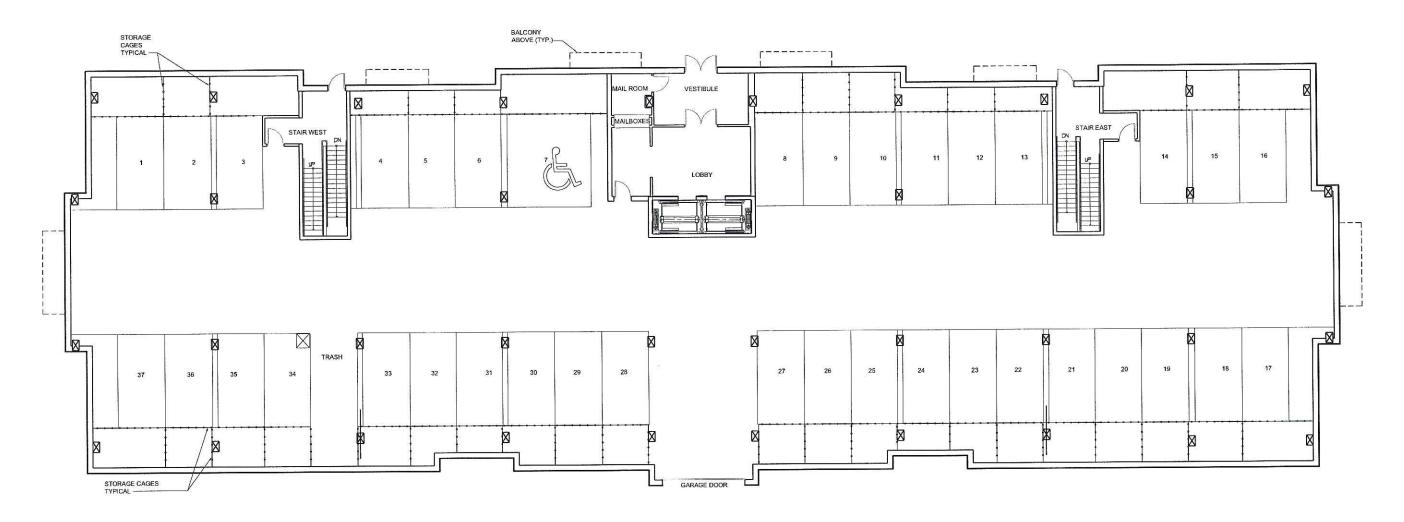


2ND LEVEL PARKING FLOOR PLAN SCALE: 1/8"=1"-0"



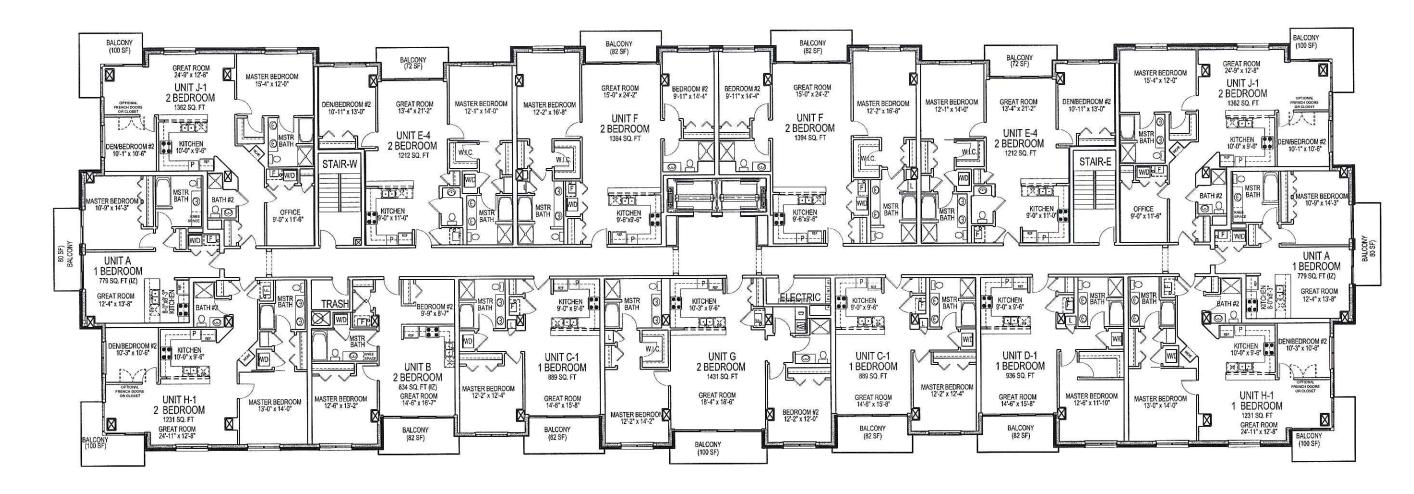
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MADISON, WISCONSIN



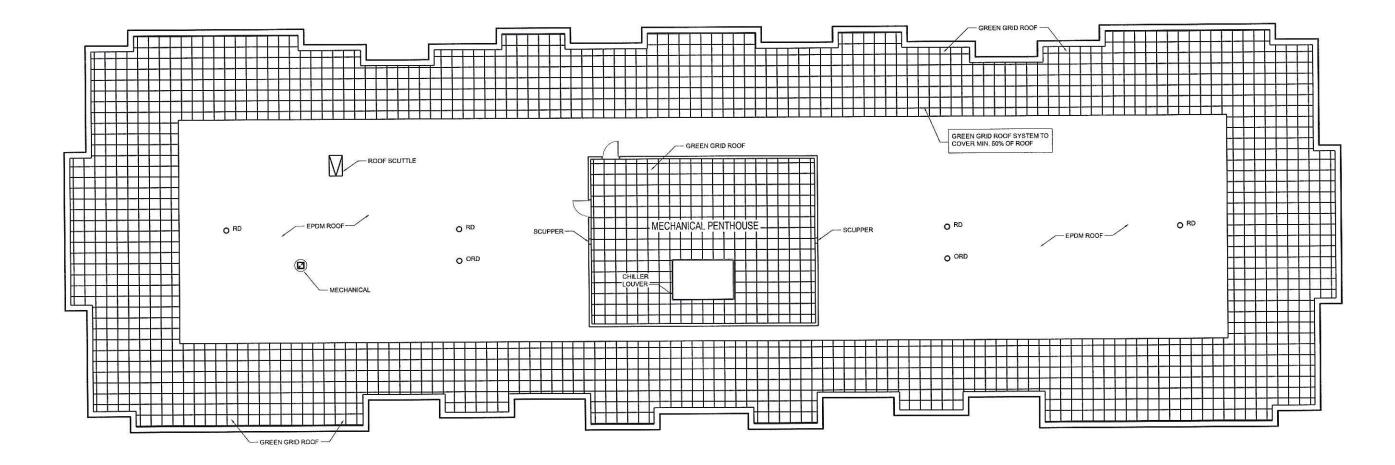
1ST LEVEL PARKING FLOOR PLAN SCALE: 1/8"=1"-0"

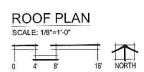
PROJECT NUMBER: 05030



TYPICAL FLOOR PLAN

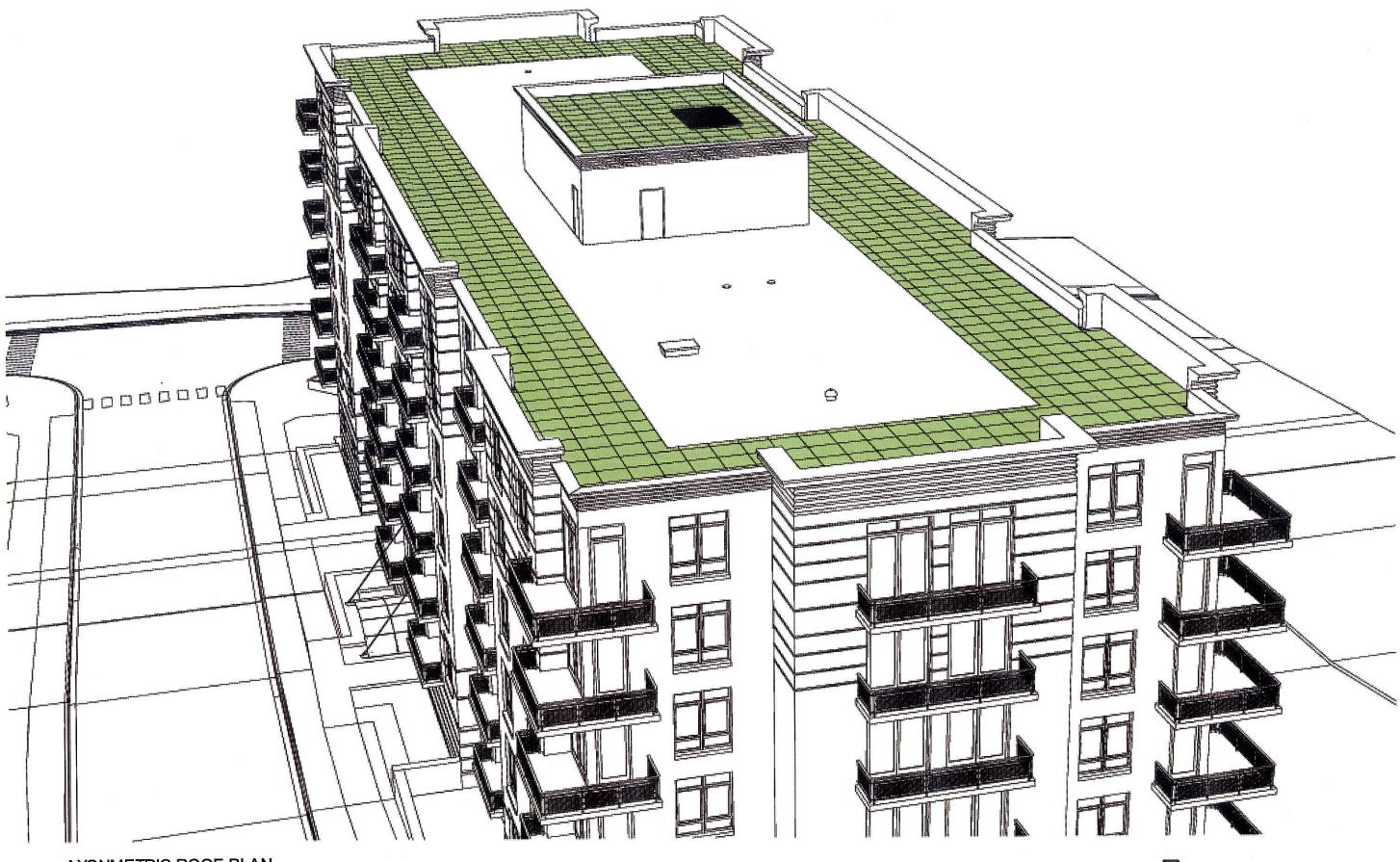
0 4' 8' 16' NORTH







PROJECT NUMBER: 05030



AXONMETRIC ROOF PLAN

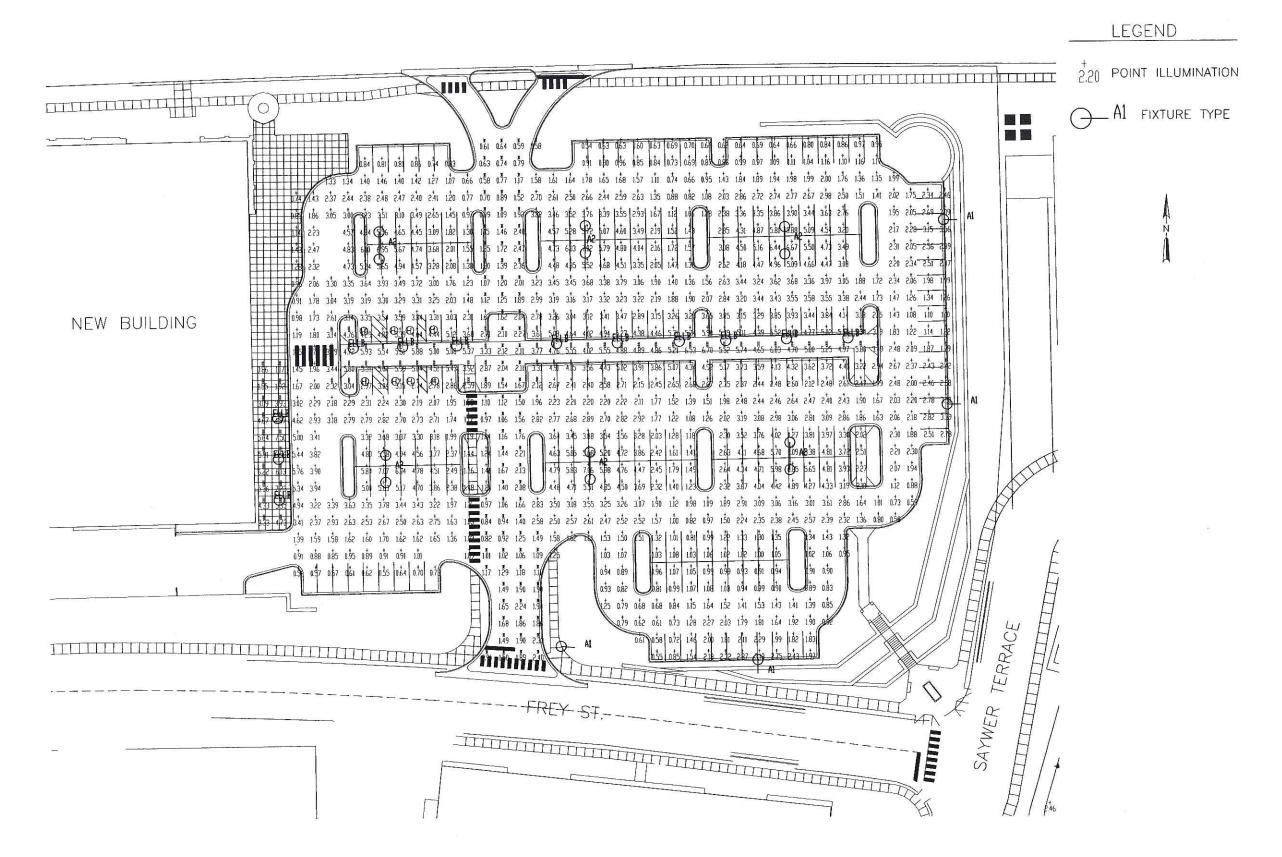
HILLDALE CONDOMINIUMS

JOSEPH FREED & ASSOCIATES



OKW Architects

UNIVERSITY AVE

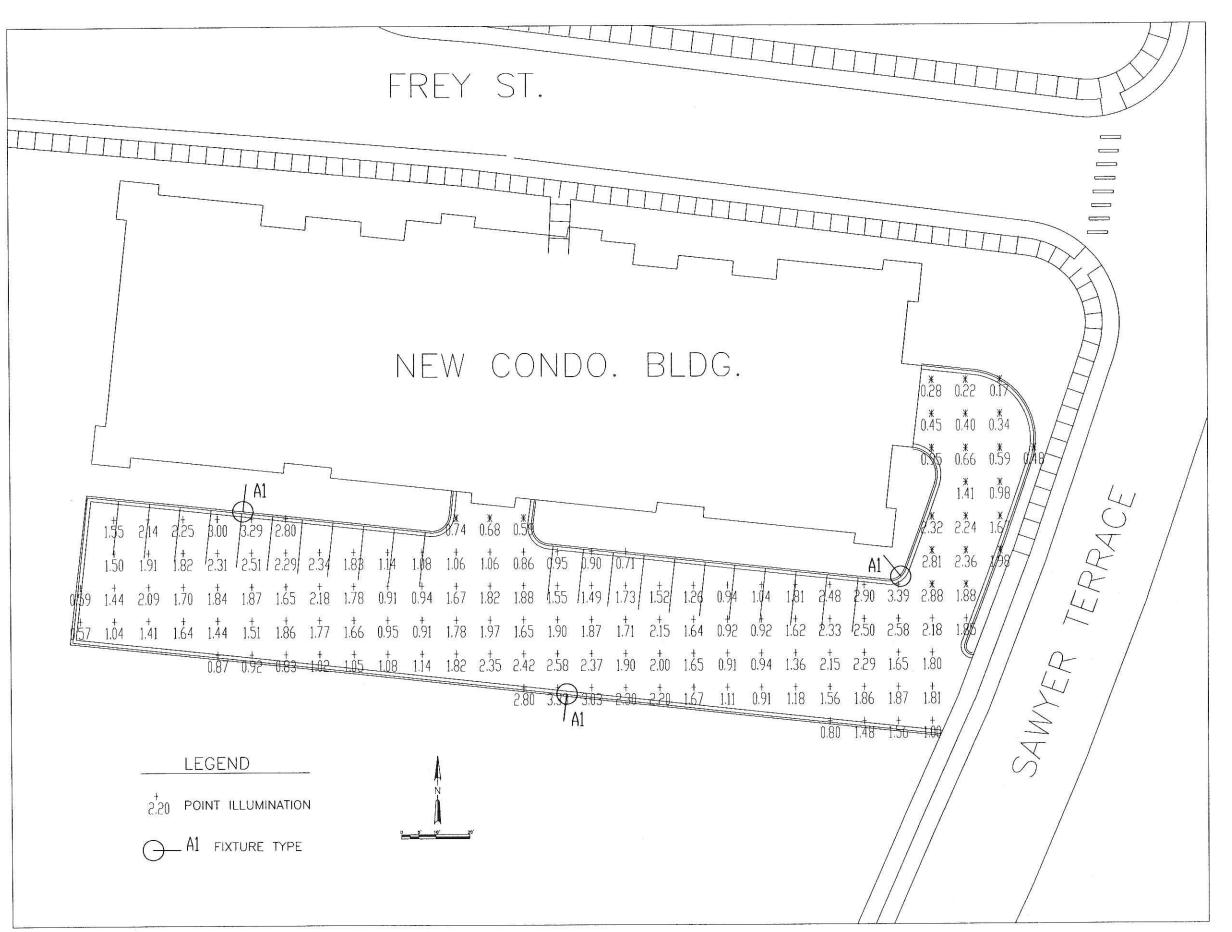




HILLDALE SHOPPING CENTER PUD-GDP-SIP Amendment #2 702 N. MIDVALE BOULEVARD. MADISON,WI

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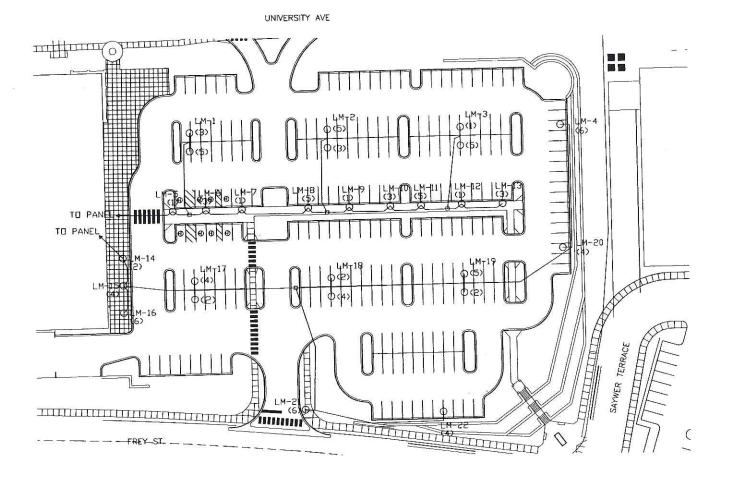
HILLDALE SHOPPING CENTER PUD-GDP-SIP Amendment #2 702 N. MIDVALE BOULEVARD. MADISON WILLIAM

Sheet Tibe:
LIGHTING PHOTO
METRICS PLAN
HUMANA-CONDO SITE

Na.	Dute	Description:	9)
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- PHASE CONDUCTORS FOR CIRCUITS (1,3,5) SHALL BE 4~#10, STRANDED, IN 1~1" CONDUIT.
 PHASE CONDUCTORS FOR CIRCUIT (2,4,6) SHALL BE 4~#10, STRANDED, IN 1~1" CONDUIT.
 ALL GROUNDING CONDUCTORS FOR LIGHTING CIRCUITS SHALL BE #12, STRANDED.

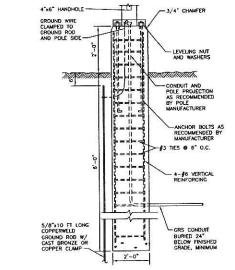
LIGHTING ASSEMBLY SCHEDULE

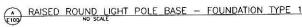
	FIXTURE	FOUNDATION
FIXTURE	TYPE	TYPE
LM-:1	A2	1
LM- 2	A2	1
LM- 3	A2	1
LM- 4	A1	2
LM- 5	ELLB	2
LM- 6	ELLB	2
LM- 7	ELLB	2
LM- 8	ELLB	2
LM- 9	ELLB	2
LM- 10	ELLB	2
LM- 11	ELLB	2
LM- 12	ELLB	2
LM- 13	ELLB	2
LM- 14	ELLB	2
LM- 15	ELLB	2
LM- 16	ELLB	2
LM- 17	A2	1
LM- 18	A2	1
LM- 19	A2	1
LM- 20	A1	2
LM- 21	A1	2
LM- 22	A1	2

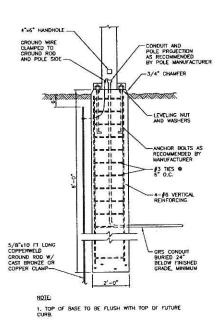
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS MOUNTING/BALLAST	LLF	QT
A1	P	COOPER LIGHTING (1) 'P32M' CIM-320-PSMH-XX-4S	(1)	28000	0.80	4
A2	9	COOPER LIGHTING (2) 'P32M' CIM-320-PSMH-XX-45	(2)	28000	0.80	6
ELLB	0	PAULSEN LIGHTIN (1) 'D' [SATT-360-BLACK	(1) LAMP CATALOG NUMBER	14000	0.80	12



COOPER LIGHTING - P32M NO SCALE







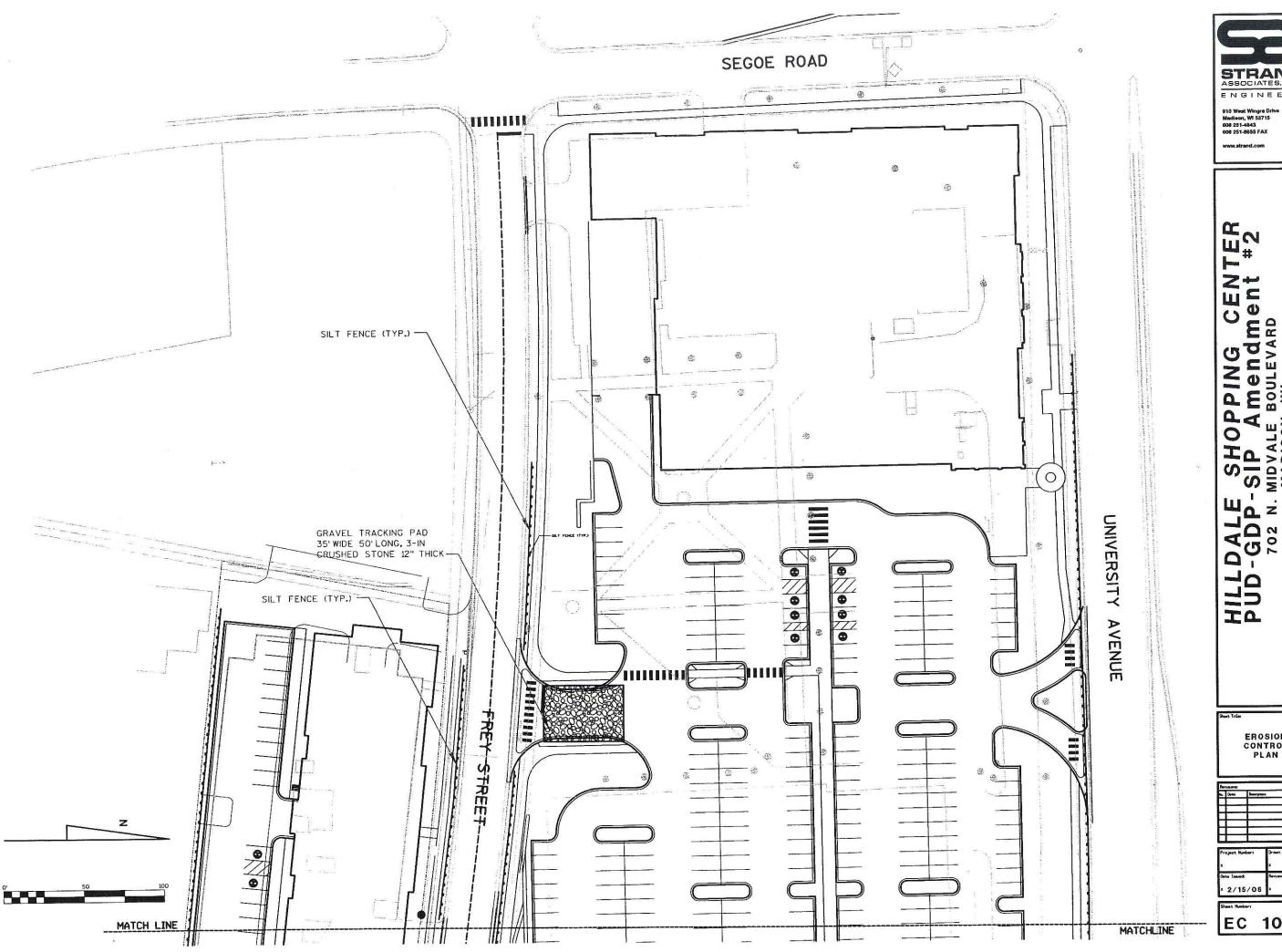
8 FLUSH ROUND LIGHT POLE BASE - FOUNDATION TYPE 2



SHOPPING CENTER SIP Amendment #2 MADISON,WI HILLDALE BUILDING COMPANY LLC

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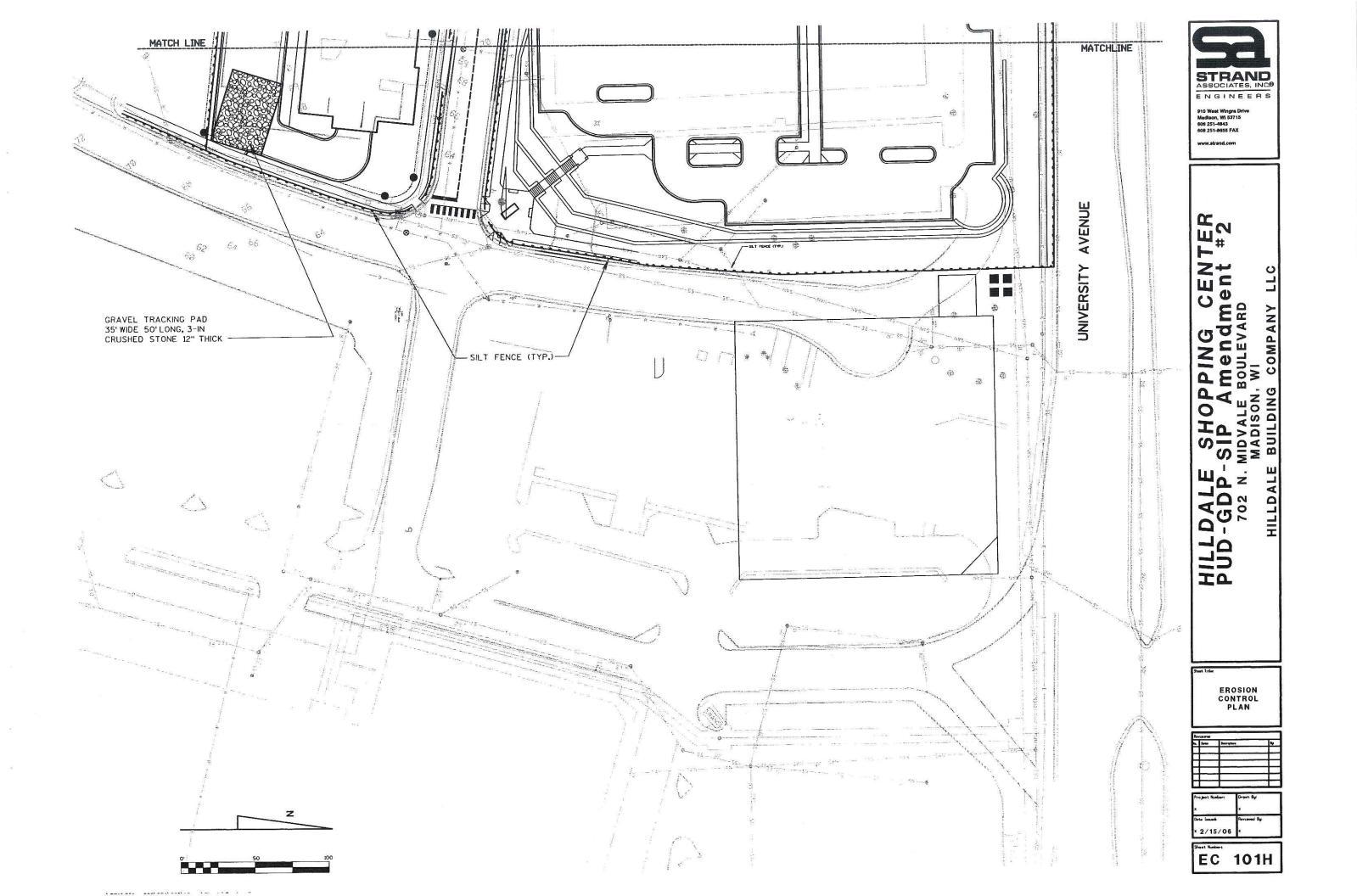
HILLDALE SHOPPING CEN PUD-GDP-SIP Amendment 702 N. MIDVALE BOULEVARD MADISON, WI HILLDALE BUILDING COMPANY LLC

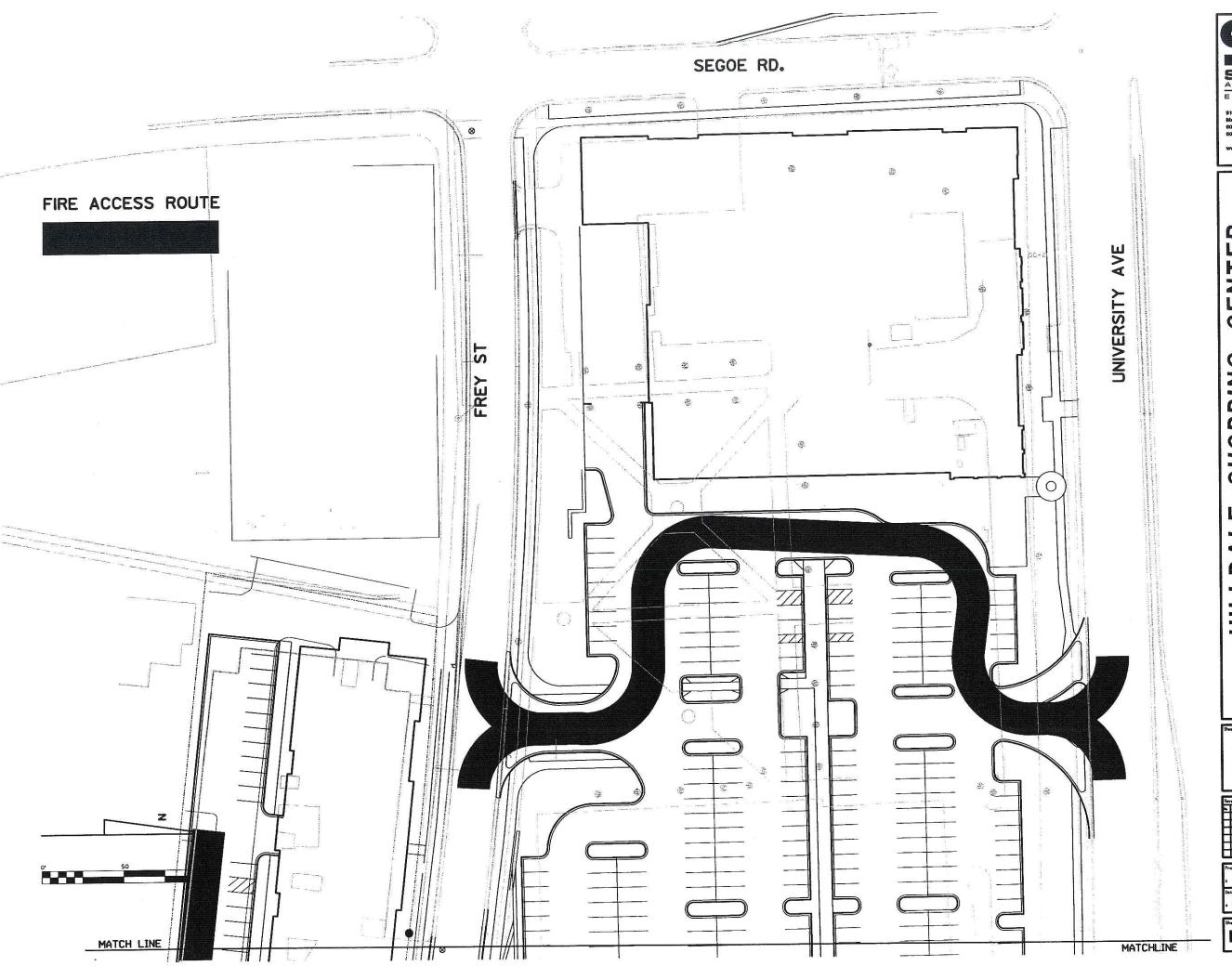
EROSION CONTROL PLAN

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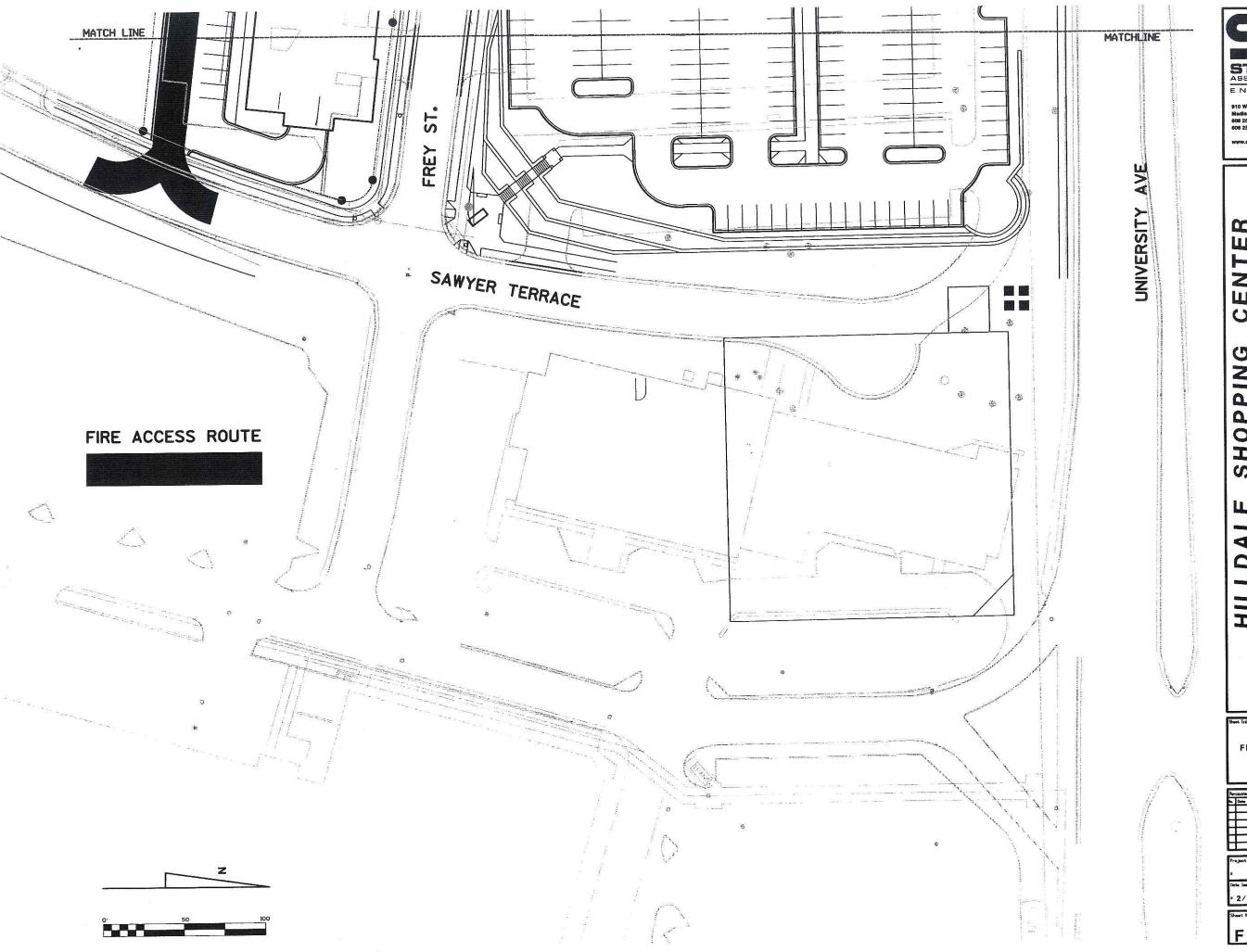
910 West Wingra Drive Madleon, WI 53715 608 251-4843 608 251-8655 FAX

HILLDALE SHOPPING CENTER PUD-GDP-SIP Amendment #2 702 N. MIDVALE BOULEVARD MADISON, WI

FIRE ACCESS PLAN

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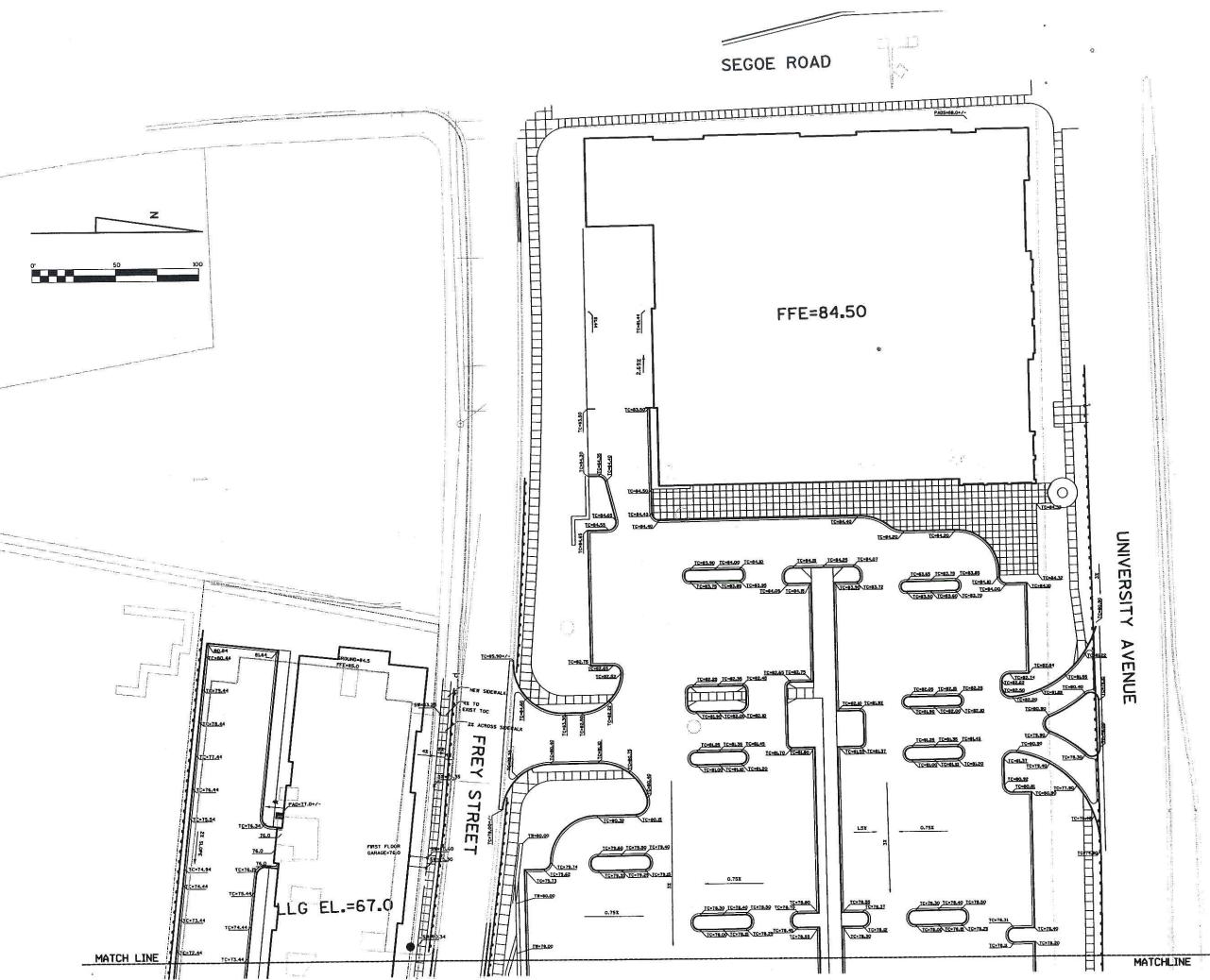
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E SHOPPING CENT
-SIP Amendment
I. MIDVALE BOULEVARD
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FIRE ACCESS PLAN

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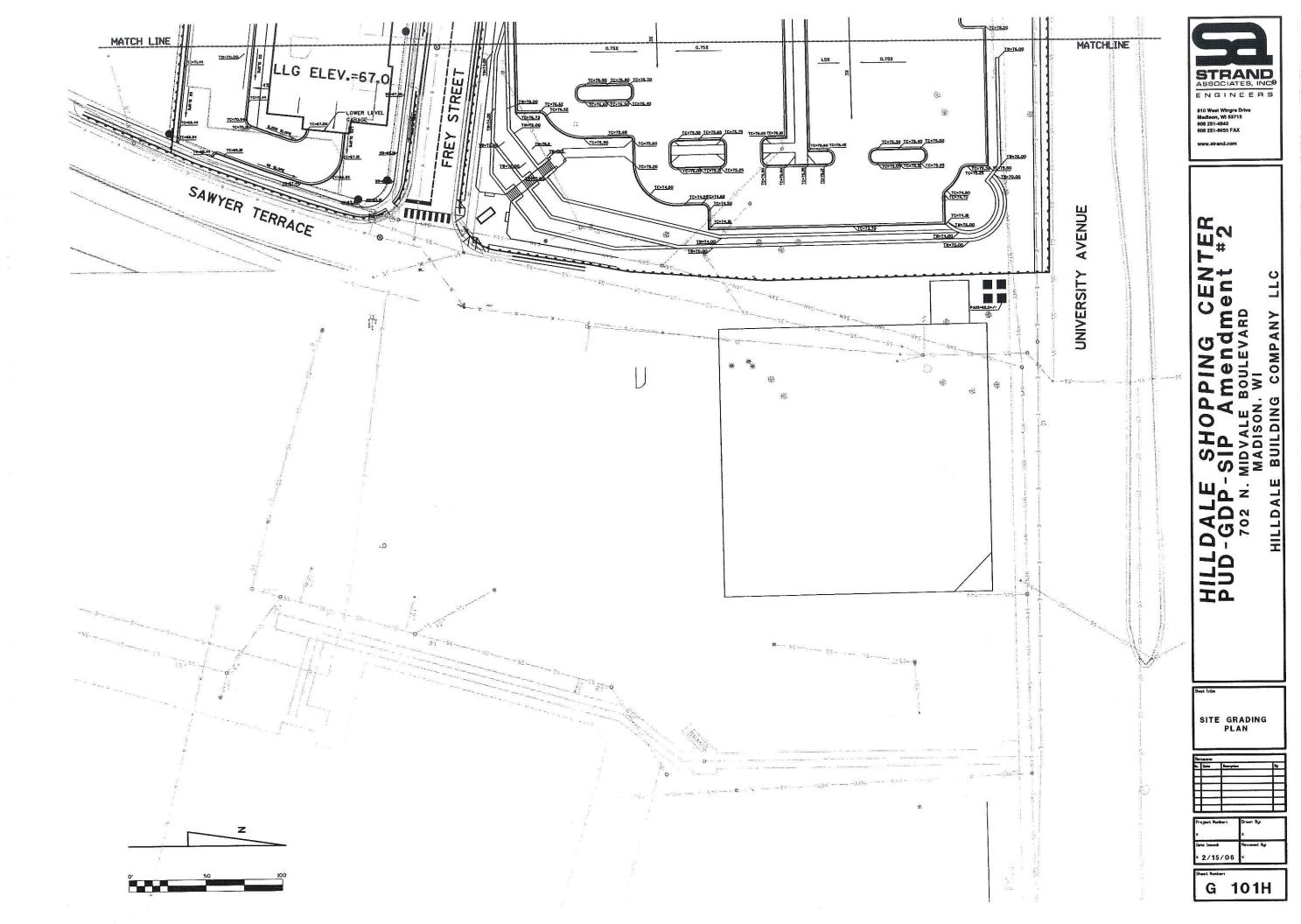


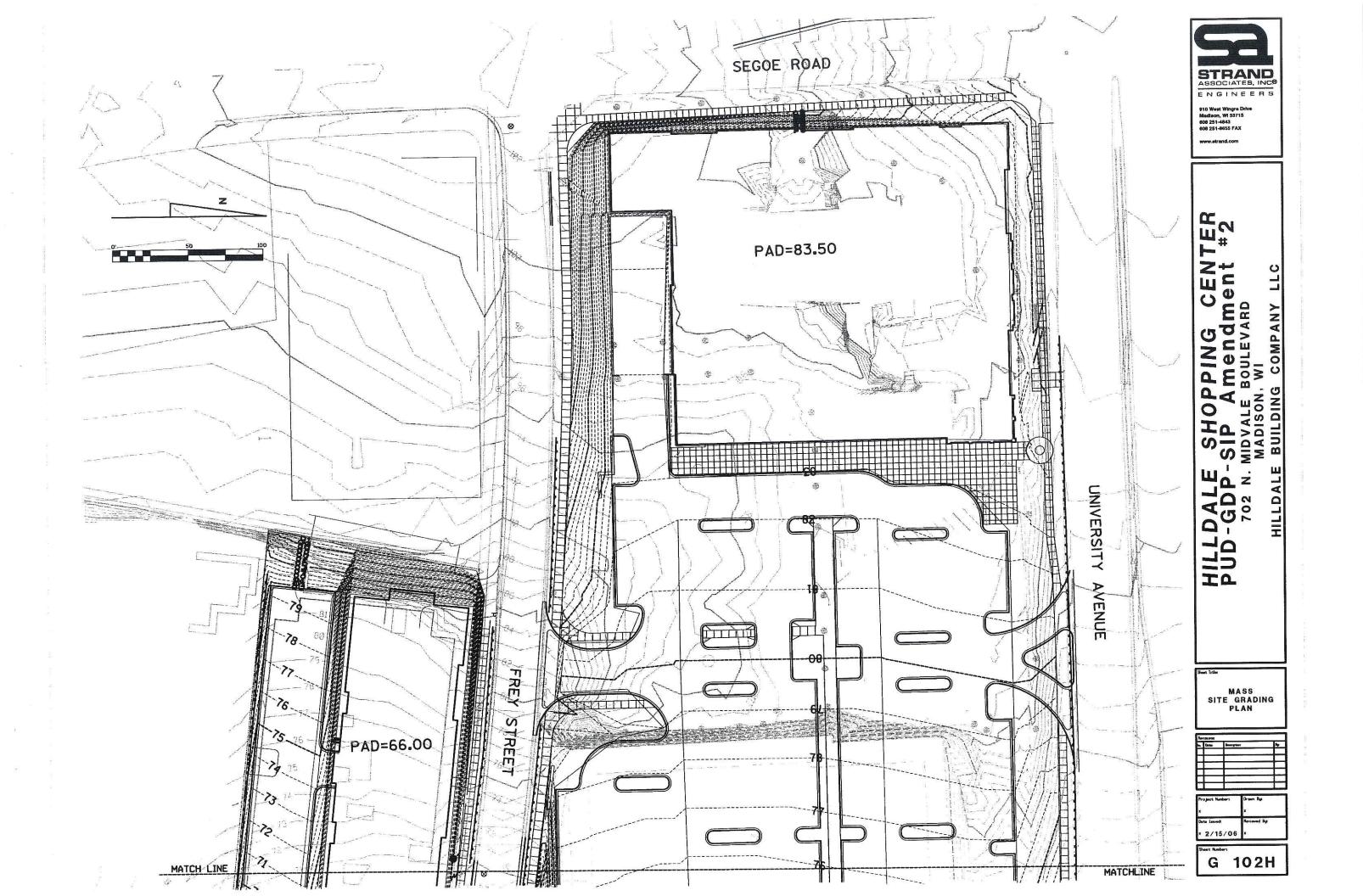
HILLDALE SHOPPING CENTER PUD-GDP-SIP Amendment #2
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE BUILDING COMPANY LLC

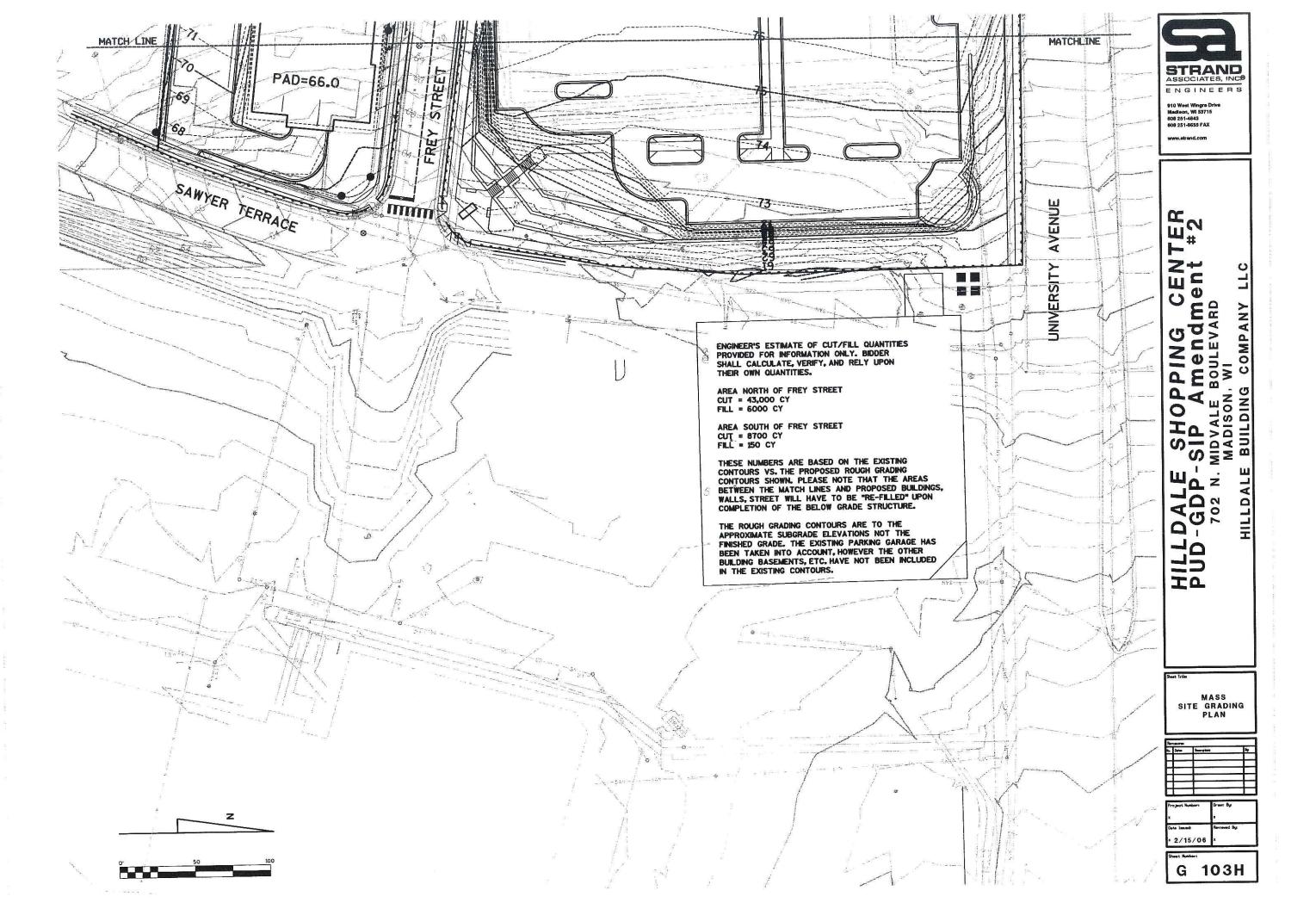
SITE GRADING Plan

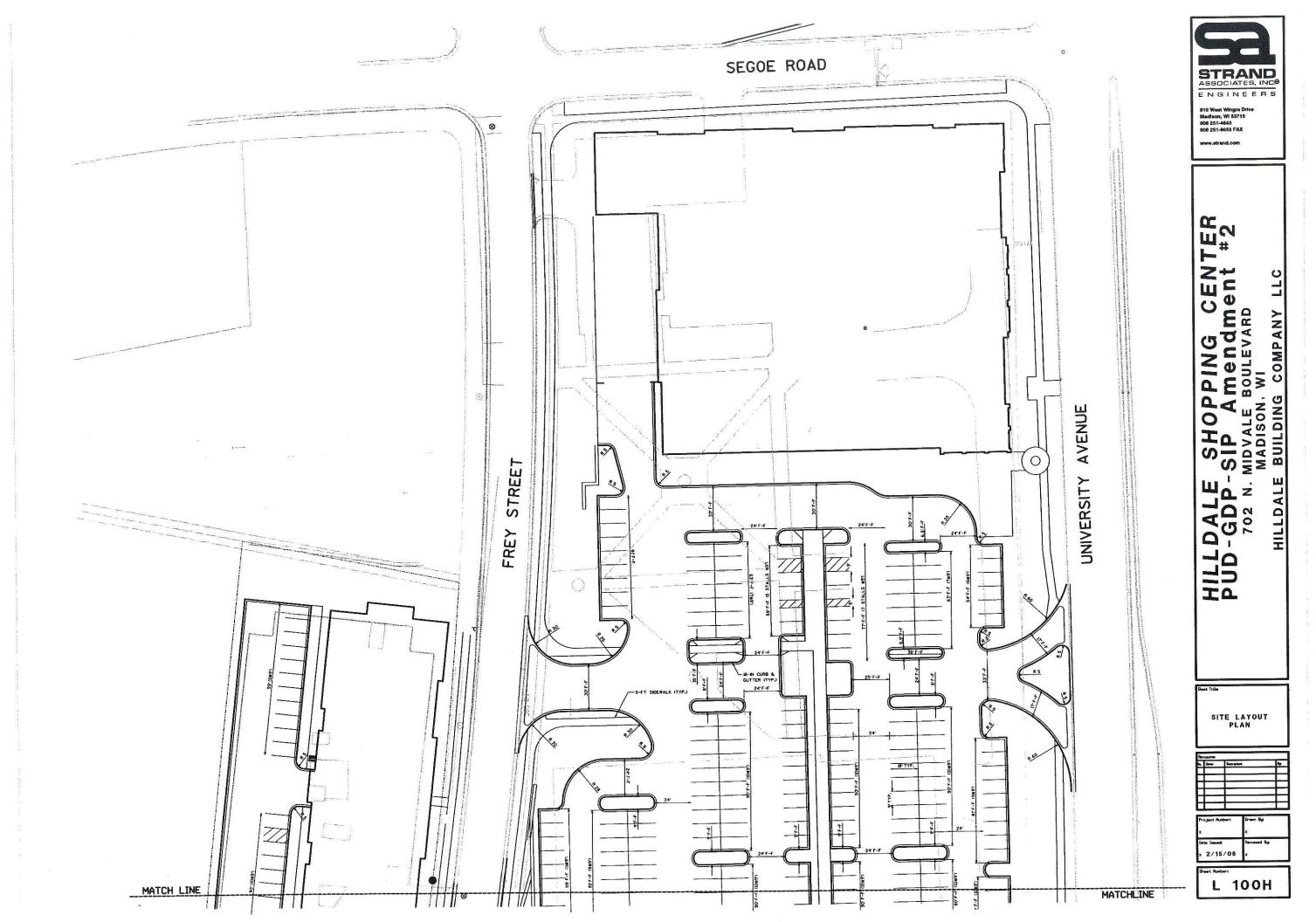
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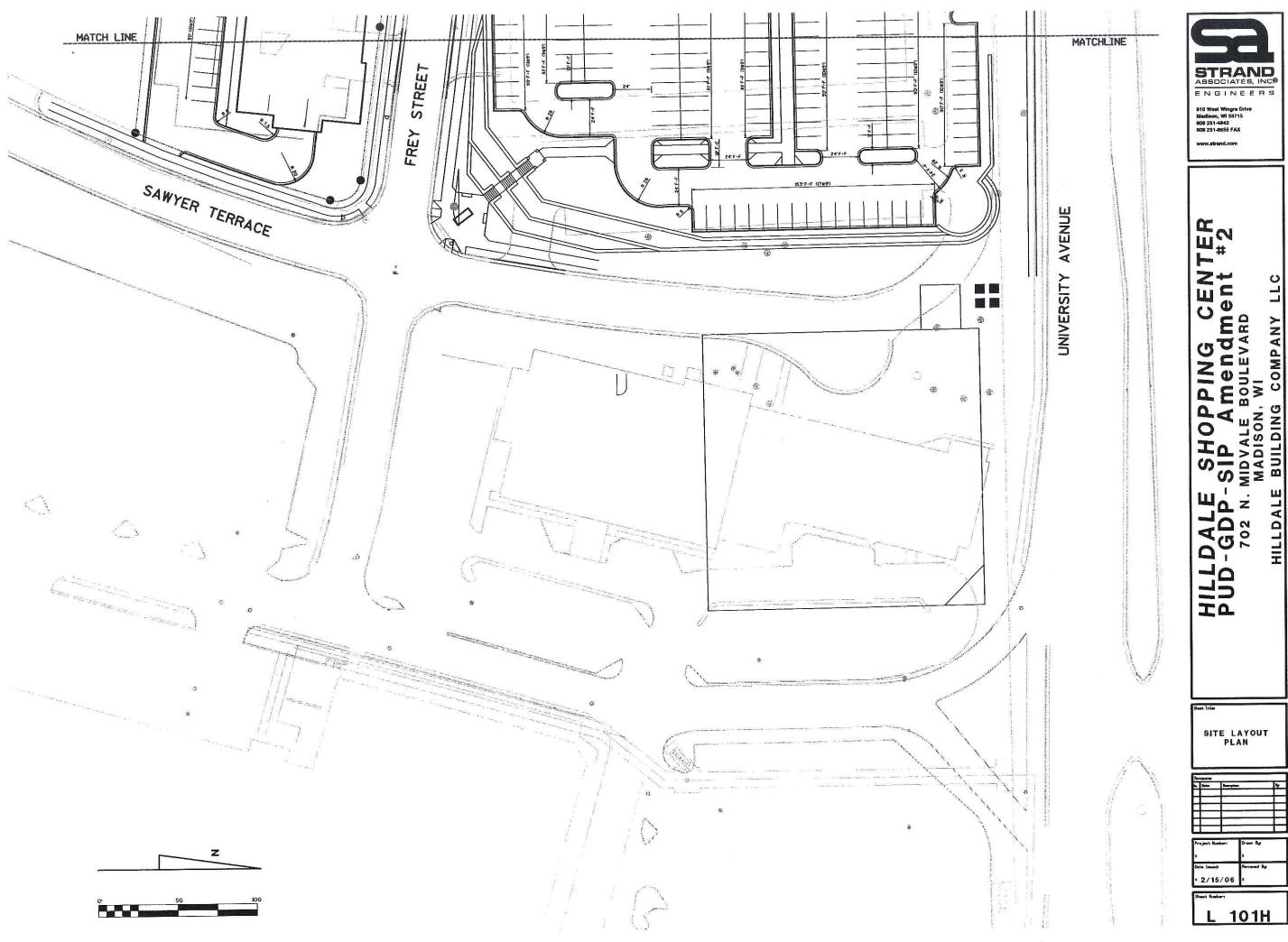
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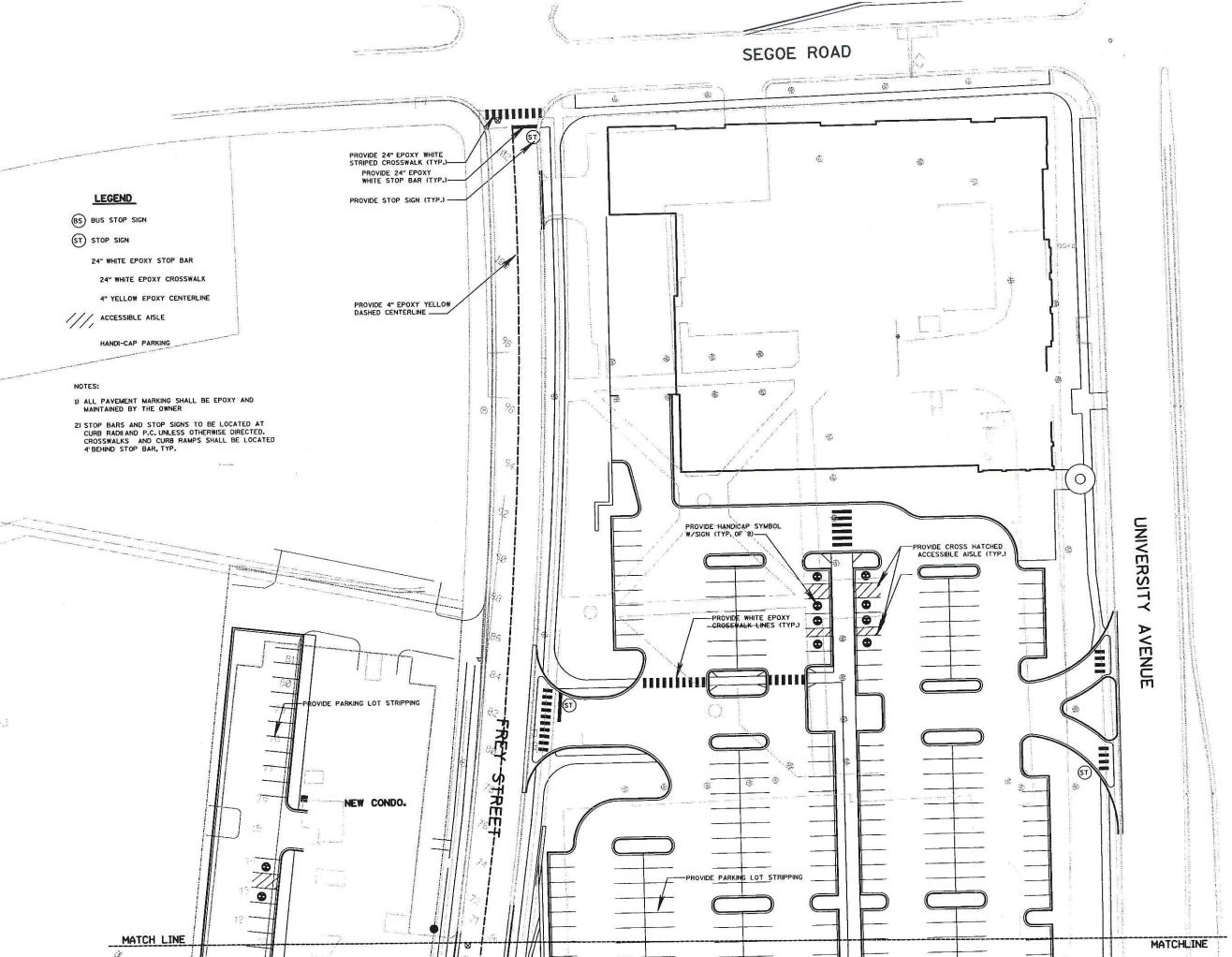




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SITE LAYOUT Plan

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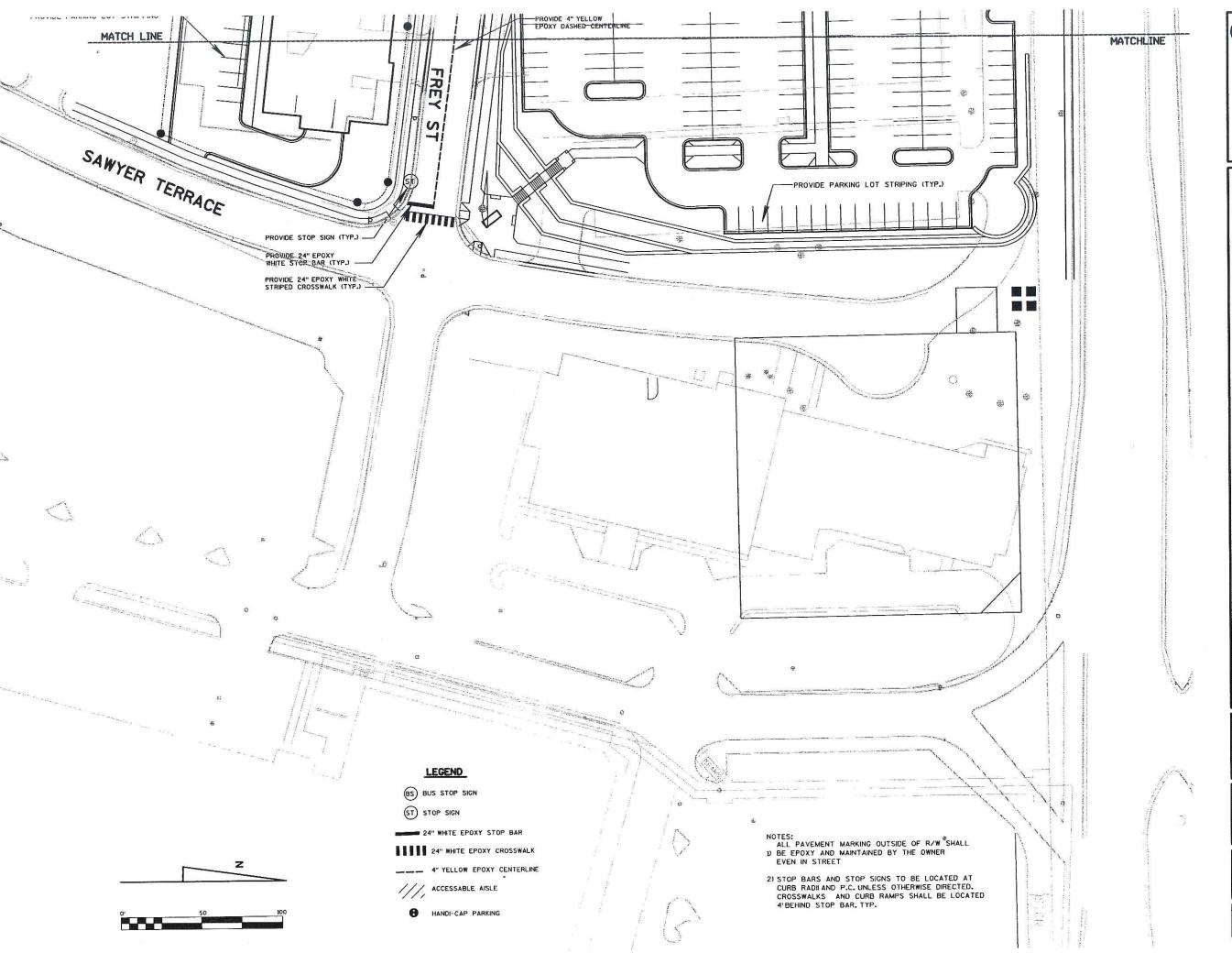
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PAVEMENT MARKING PLAN

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HOPPING CENT P Amendment VALE BOULEVARD DISON, WI SHOI SIP A MIDVALE MADISON BUILDIN GDP-702 N. PUD-G

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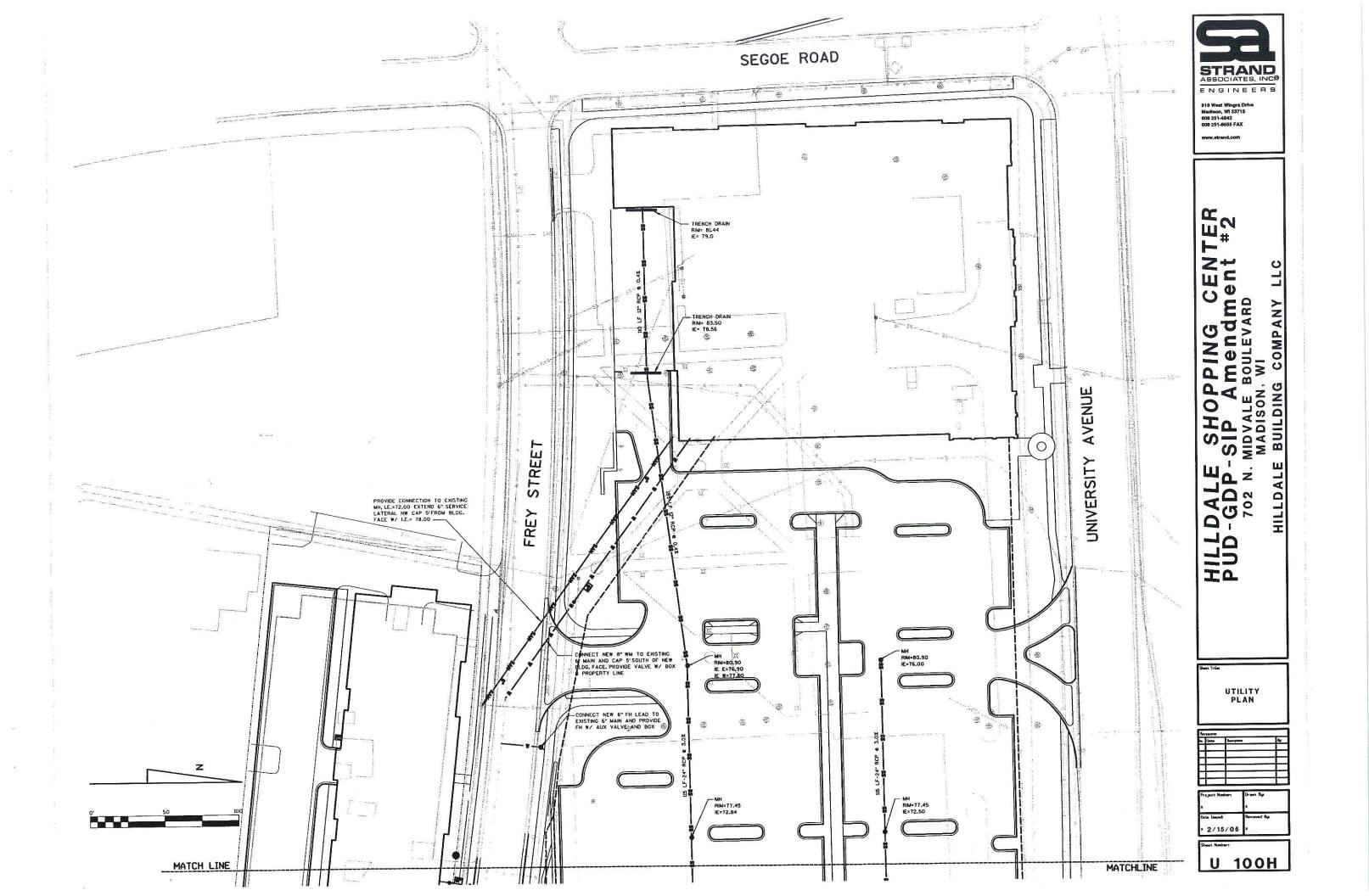
PAVEMENT Marking Plan

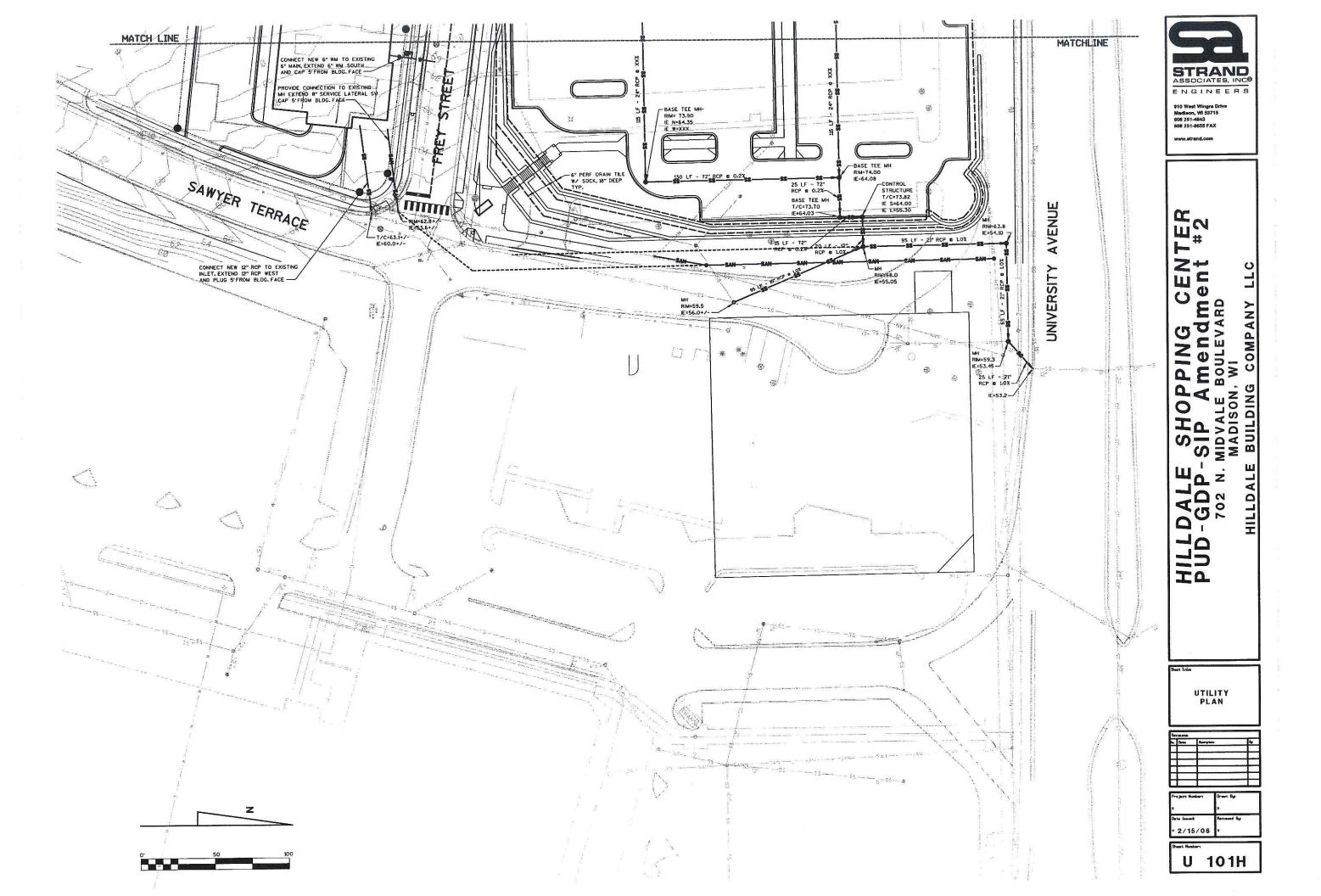


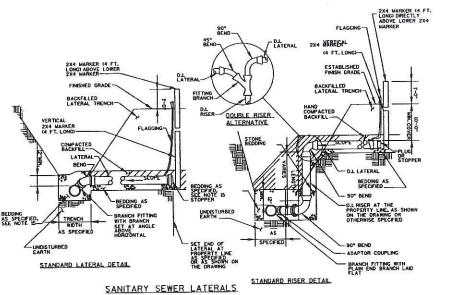
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5. BEDDING CLASSES "8" AND "C" SHALL MEET DR FXCFFD ASTM C12 REQUIREMENTS.

E. ALL LATERALS SHALL BE LAD AT A STANDARD SLOPE OF LV4-INCH PER FOOT UNLESS OTHERWISE NOTED ON THE DRAWNINGS OR SPECIFIED. IN NO CASE SHALL LATERAL SLOPE BE LESS THAN LV8-INCH PER FOOT. MAXIMUM LATERAL SLOPE SHALL BE ITO 1

7. END PLUGS OR STOPPERS FOR THE ENDS LATERALS AND BRANCH FITTINGS SHALL BE PROVIDED.

9. BAR STEEL REINFORCEMENT SHALL BE IMBEDDED 1 1/2-INCH CLEAR MINIMUM.

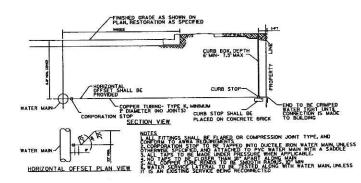
11 INSTALL DOUBLE RISERS WHERE SHOWN ON THE DRAWINGS OR SPECIFIED. IZ. STANDARD LATERALS AND MODIFIED LATERALS SHALL BE CONSTRUCTED OF MATERIAL AS SPECIFIED. 3. RISERS AND LATERALS FROM RISERS SHALL BE CONSTRUCTED OF DUCTLE RONL TITTINGS FOR RISERS AND LATERALS FROM USERS SHALL BE GRAY IRON OR DUCTLE

M. FLAGGING SHALL BE 4-INCH WIDE STANDARD ORANGE VINYL TAPE TIE FLAGGIN ARDUND END OF ALL LATERALS AND EXTEND UNBROKEN TO FINISHED GRADE DRECTLY ABOYE ENDS OF LATERALS.

15. STONE BEDDING SHALL BE USED AROUND
AND TO ONE FT. ABOVE TOP OF ALL SEWER
MAINS AT LATERAL CONNECTIONS, PROVIDE



LATERAL TYPES



GATE VALVE ASSEMBLY

RESIDENTIAL WATER SERVICE

3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE CONCRETE BLOCK OR REMFORCED CONCRETE CULVERT PIPE THE TOP OF THE MASONRY SHALL BE LEFT SUFFICENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO CRADE.

6. STEPS SHALL BE INSTALLED IN

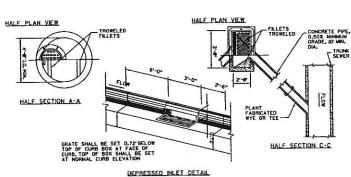
T. AT ALL BENDS IN SEWER, A SMOOTH RADIUS FLOW LINE SHALL BE PROVIDED IN MANHOLES, ALL CONCRETE FILLETS SHALL BE HAND TROWELED.

B. INSIDE DIMENSIONS FOR MANIQLES; USE MINHUM 4* DIAMETER FOR SEWER LESS THAN 18* IN DIAMETER FOR SEWER 18* THRU 24* IN DIAMETER FOR SEWER 18* THRU 24* IN DIAMETER OR MINHUM 6* DIAMETER OR MINHUM 6* SOULARE FOR SEWER OVER 24* IN DIAMETER.

9. ARRANGEMENT AND NUMBER OF MILETS AND DISCHARGE PIPES SHALL CONFORM TO THE NEEDS OF THE PERTINENT LOCATION.

10. PROVIDE MINIMUM 2'-0" COVER FOR ALL INLET LEAD PIPE.

IL ALL INLETS SHALL BE DEPRESSED AS SHOWN. IZ. INLET DEPTH AND GRADE OF RLET LEAD PIPE VARY ACCORDING TO DEPTH OF TRUMS SEWER. WINNIMUM INLET DEPTH BELOW TOP OF CURB SHALL BE 4'-0".

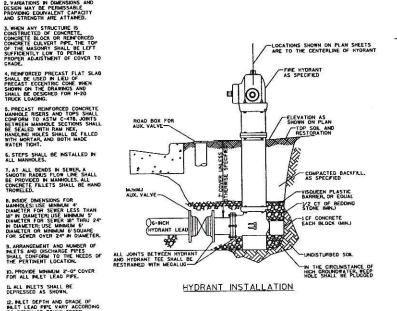


POURED CONCRETE 2" EACH RING 2" WEEP PIPE SAW CUT FILTER FABRIC CCENTRIC CONE LANGE LO. MIN.

SANITARY SEWER APPURTANCES

PRECAST INLET DETAIL

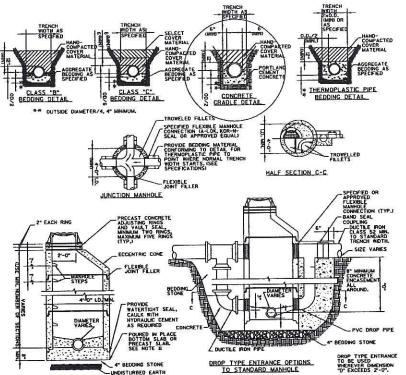
STANDARD PRECAST MANHOLE



THREE PIECE CAST IRON VALVE BOX WITH TELESCOPING THREADS

FINISHED ELEVATION
AS SHOWN ON THE PLAN
RESTORATION AS
SPECIFIED

- LINDISTURBED SOIL



SANITARY SEWER APPURTANCES

3. ALL CONCRETE FILLETS SHALL BE HAND TROWELED WITH A 1/4"/FT. SLOPE.

4. MISIDE DIMENSIONS FOR MANHOLES: USE MINIMUM 4 DIAMETER FOR SEWER LESS THAN 18" IN DIAMITER; USE MINIMUM 5" DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 10 DIAMETER OR MINIMUM 6" SOULARE FOR SEWER OVER 24" IN DIAMETER.

5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM CIZ REQUIREMENTS.

5.DROP TYPE ENTRANCE TO STANDARD MANHOLE WELL BE PAID FOR SEPARATELY IF SO LISTED IN THE BID.

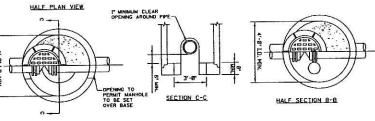
7. SEE DRAWINGS FOR DROP TYPE ENTRANCES FOR SANITARY SEWERS LARGER THAN 15".

8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF REGULATORY BODIES OF THE STATE AND APPLICABLE MUNICIPAL ORDINANCES

9. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.

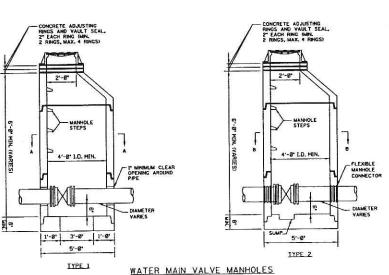
IO. FLAT SLAB TOPS SHALL BE DESIGNED FOR H-20 TRUCK LOADING AND SHALL MEET REQUIREMENTS OF ASTM C-478.





HALF SECTION A-A

STANDARD PRECAST MANHOLE



NOTES:

3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK, OR TREMPORCED CONCRETE CULVENT PPPE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMAT PROPER ADJUSTMENT OF COVER TO GRADE BY THE USE OF MORTAR.

4. CONCRETE BLOCK MANHOLES REVIEWED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE BACK PLASTER OUTSIDE OF ALL CONCRETE BLOCK CONCRETE BLOCK MANHOLE WALLS SHALL BE 2 BLOCKS THOCK BELOW DEPTHS OF 10 FEET.

5. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC COME AS SHOWN ON THE DRAWINGS AS NEEDED TO INSTALL EQUIPMENT OR VALVES.

6. PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS SHALL CONFORM TO ASTM C-478. JOINTS BETWEEN SECTIONS SHALL BE SEALED WATERTIGHT WITH KENT SEAL, RAM NEK OR EQUAL.

7. STEPS SHALL BE INSTALLED IN ALL

8. MANHOLE COVER SHALL BE NEENAH TYPE R-1550, OR EQUAL, WITH TYPE 8 NON-ROCKING LID.

9. TYPE I MANHOLE SHALL BE FILLED WITH CLEAN BEDDING UP TO THE BOTTOM OF THE PIPE.

IO. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS. 11 FLAT SLAB TOPS SHALL BE DESIGNED FOR H-20 TRUCK LOADING AND SHALL MEET REQUEMENTS OF ASTM C-478.

Z. BASE SLABS SHALL BE REMFORCED AS FOLLOWS, REMFORCHING SHALL BE PLACED LEACH PRECEDON AT Z'CLEAF FROM TOP SUFFACE OF SLAB REMFORCHING SHALL BE GRADE BO, USE OF CAST—NP-LACE SLAB SHALL NOT RELEVE CONTRACTOR OF REQUIREMENTS TO PROVIDE WATERTICHT JOINTS.

STRAND ASSOCIATES, INC ENGINEERS 910 West Wingra Drive Madison, Wi 53715 808 251-4843 608 251-8655 FAX www.strand.com

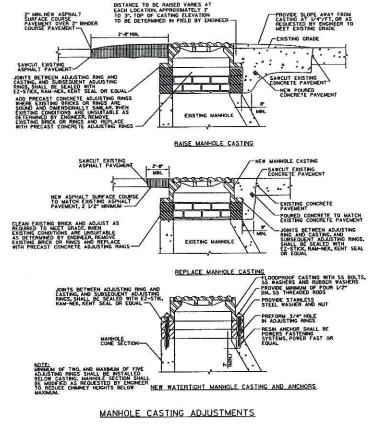
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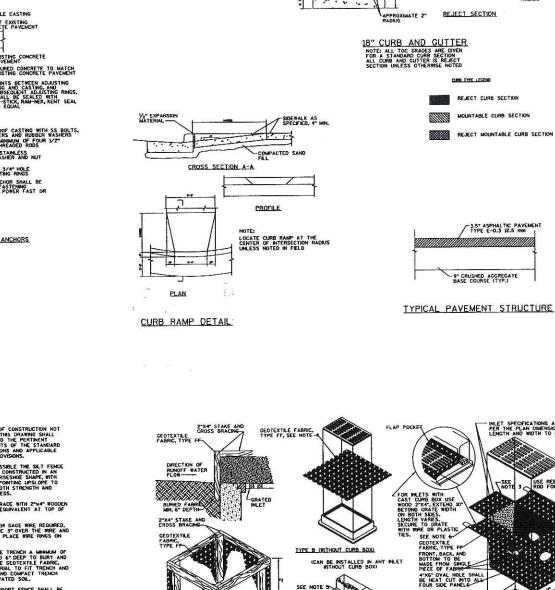
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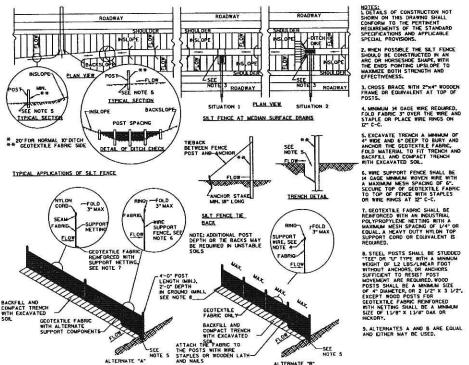
UTILITY DETAILS

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TYPE A



SLT FENCE PROTECTION

DRIVEWAY SECTION

4" MOUNTABLE CURB

INLET PROTECTION



ER #2 0 C **E** 2 mendr Boulevar PPIN Amen 0 ALE 0 SHC SIP MIDVA MADI O_Z GD 702 ۵۲ IL

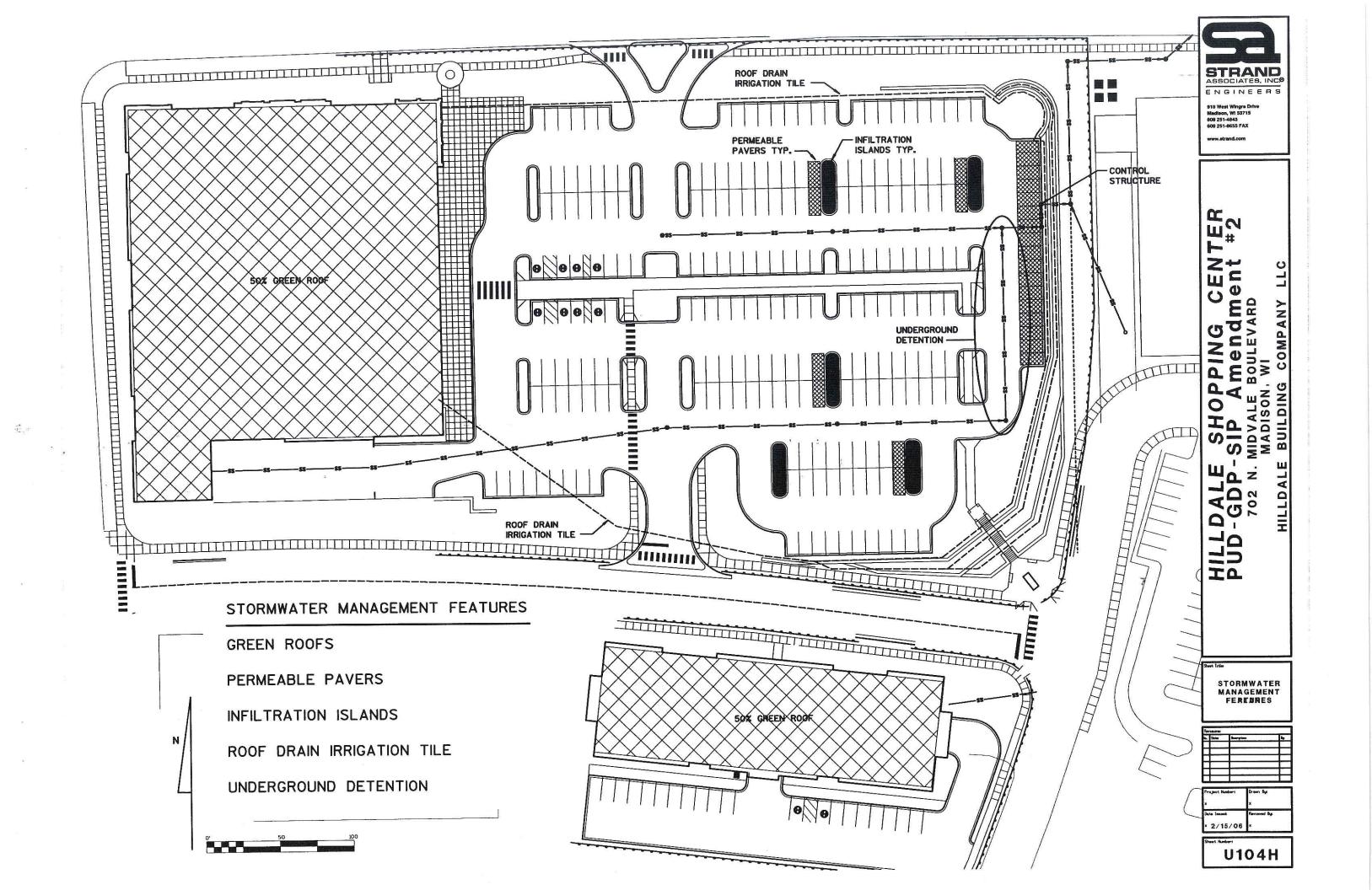
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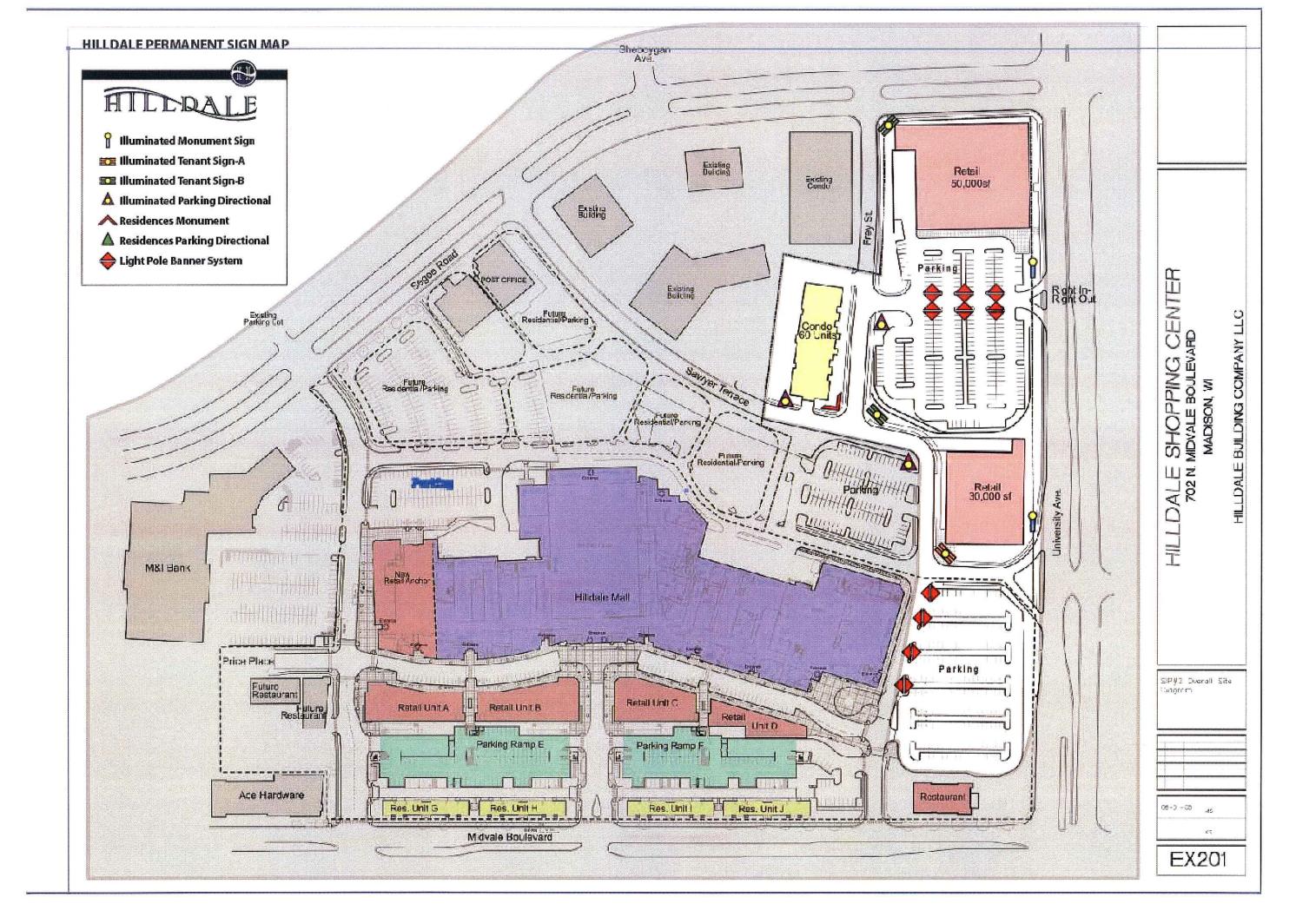
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UTILITY DETAILS

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ILLUMINATED MONUMENT SIGN





JOB DESCRIPTION

QTY (2) DVF ILLUMINATED MONUMENT SIGN

A) FRONT-LIT AND HALO-LIT DISKS, ROUTED .125 ALUMINUM FACES BACKED WITH 3/16" WHITE ACRYLIC, ACRYLIC TO BE OVERLAYED WITH 3M #3630-126 DARK EMERALD GREEN & #3630-87 ROYAL BLUE VINYL, 5", 063 ALUMINUM RETURNS. BACKS TO BE 177 POLYCARBONATE ILLIMINATE WITH 6500 SNOW WHITE 15MM NEON TUBING. NEON TO BE POWERED BY 80 MILLIAMP TRANSFORMER, PAINT FACES AND RETURNS TO

MATCH #3630-121 SILVER VINYL B) 1" DEEP .080 ROUTED ALUMINUM WAVE AND DISKS MOUNTED TO FACES. (DISK TO CONTINUE ACROSS TOP OF CABINET). PAINT FACES AND RETURNS TO MATCH #3630-121 SILVER VINYL. APPLY 3M #3630-49 BURGUNDY VINYL. TO FACE. C) ALUMINUM TUBE FRAME CABINET. FABRICATE CABINET FROM 1 1/2" ALUMINUM SQ. TUBING, FACES TO BE .125 ALUMINUM SHEETING, SIDES TO BE .080 ALUMINUM SHEETING. LAMP CABINET HORIZ, WITH (2) F72 T12-CW-HO FLUORESCENTS, PAINT CABINET IN COLOR TO MATCH 3M

#3830-126 DARK EMERALD GREEN VINYL.

D) 1"THICK ROUTED CLEAR ACRYLIC PUSH-THRU LOGO. 1/8"
ROUTED COLLARS. SIDES TO BE FROSTED. APPLY 3M #3835-7D
WHITE DIFFUSER TO BACKS OF LOGOS. FACES TO HAVE 3M #3630-121 SILVER VINYLAPPLIED TO FACES INSET 1/8" FROM

E) 2' ALUMINUM TUBE FRAME CABINET WITH J063 ALUMINUM FACES OVERLAYED WITH .125 PERFORATED ALUMINUM, 3/4" ROUND X 1" O/C WITH STAGGERED PATTERN. CEM-WELD TO FACE. PAINT TO MATCH #3630-121 SILVER VMYL. LAMP CABINET HORIZ. WITH (2) F72 T12-CW-HO FLUCRESCENTS. F) 1" THICK ROUTED CLEAR ACRYLIC PUSH-THRU LOGOS. 1/8" ROUTED COLLARS. SIDES TO BE FROSTED. APPLY 3M #3833-70. WHITE DIFFUSER TO BACKS AND FACES OF LOGOS, INSET 1/8" FROM EDGE OF LETTER FACE.

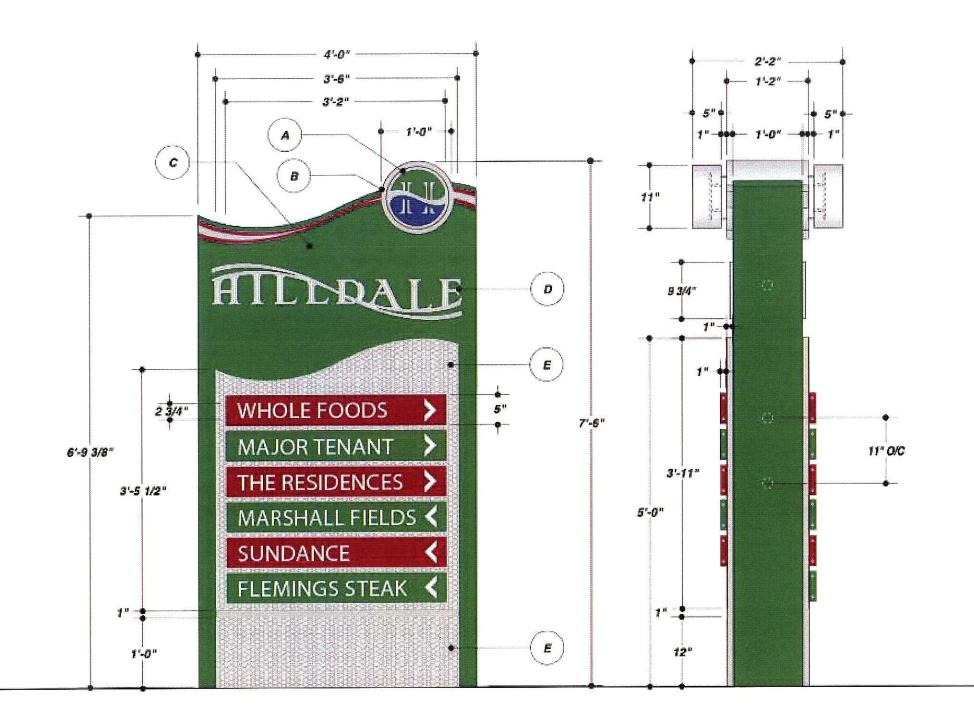
MAJOR TENTANT TO MATCH LOGO COLOR WHOLE FOODS LOGO TO MATCH LOGO COLOR

SERVICE PANELS TO BE ON SIDES OF CABINET AND ATTACHED WITH COUNTER SUNK FASTENERS.

UNLESS OTHERWISE SPECIFIED:

- ALL FLUORESCENT LAMPS WILL BE T12-CW-HO LAMPS.
- ALL BALLASTS WILL BE COLD START ALL-WEATHER BALLASTS.
- ALL NEON TRANSFORMERS WILL BE 30 MILLIAMPS.
- . 120 PRIMARY POWER TO SIGNS WILL BE BY OTHERS. ALL DATA LINES TO ELECTRONIC SIGNAGE WILL BE BY OTHERS.
- ALL PAINT COLORS WILL BE SEMI-GLOSS FINISH.

ILLUMINATED TENANT SIGN DIRECTIONAL-A





JOB DESCRIPTION

QTY (1) D/F ILLUMINATED TENANT SIGN

A) FRONT-LIT AND HALO-LIT DISKS. ROUTED .125 ALUMINUM FACES BACKED WITH 1/8" WHITE ACRYLIC. ACRYLIC TO BE OVERLAYED WITH 3M #3630-126 DARK EMERALD GREEN & #3630-97 ROYAL BLUE VINYL. 5".063 ALUMINUM RETURNS. BACKS TO BE .177 POLYCARBONATE. ILLUMINATE WITH 6500 SNOW WHITE 15MM NEON TUBING. NEON TO BE POWERED BY 60 MILLIAMP TRANSFORMER. PAINT FACES AND RETURNS TO MATCH #3630-121 SILVER VINYL.

B) 1" DEEP .080 ROUTED ALUMINUM WAVE AND DISKS MOUNTED TO FACES. (DISK TO CONTINUE ACROSS TOP OF CABINET). PAINT FACES AND RETURNS TO MATCH #3630-121 SILVER VINYL. APPLY 3M VINYL. #3630-49 BURGUNDY TO FACE. C) ALUMINUM TUBE FRAME CABINET. FABRICATE CABINET FROM 1 1/2" ALUMINUM SQ. TUBING. FACES TO BE .125 ALUMINUM SHEETING. SIDES TO BE .080 ALUMINUM SHEETING. LAMP CABINET VERT. WITH (4) F48 T12-CW-HO FLUORESCENTS. PAINT CABINET IN COLOR TO MATCH 3M #3630-126 DARK EMERALD GREEN VINYL.

D) 1" THICK ROUTED CLEAR ACRYLIC PUSH-THRU LOGO. 1/8" ROUTED COLLARS, SIDES TO BE FROSTED, APPLY 3M #3635-70 WHITE DIFFUSER TO BACKS OF LOGOS, FACES TO HAVE 3M #3630-121 SILVER VINYL APPLIED TO FACES INSET 1/8" FROM EDGE OF LETTER.

E) 1" ALUMINUM TUBE FRAME WITH .063 ALUMINUM FACES OVERLAYED WITH .125 PERFORATED ALUMINUM, 3/4" ROUND X 1" O/C WITH STAGGERED PATTERN. CEM-WELD TO FACE. PAINT TO MATCH #3630-121 SILVER VINYL. LAMP CABINET HORIZ. WITH (2) F42 T12-CW-HO FLUORESCENTS.

F) 1" DEEP TENANT PANELS. ROUT FACES FROM .125
ALUMINUM WITH .880 ALUMINUM RETURNS. FACES TO BE
BACKED WITH 3/16" WHITE ACRYLIC. ATTACH FACES WITH
CONTINUOUS INTER CLIP TO AVOID LIGHT LEAKS. USE
COUNTER SUNK SCREWS THRU ENDS TO ATTACH PANELS.

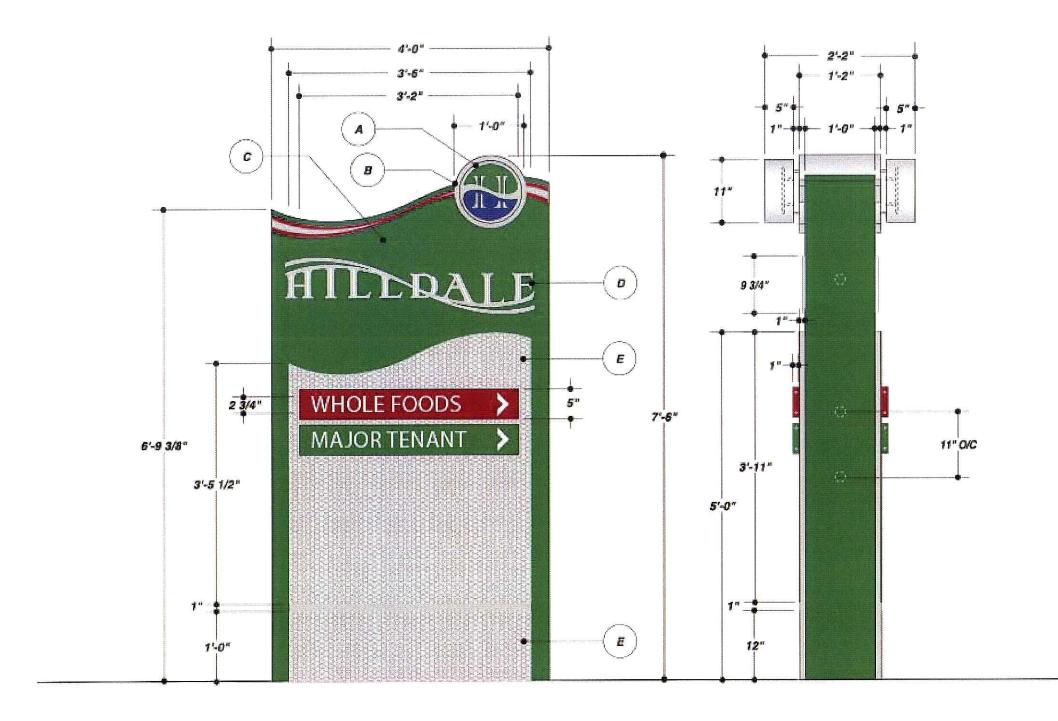
SERVICE PANELS TO BE ON SIDES OF CABINET AND ATTACHED WITH COUNTER SUNK FASTENERS.

SEE P-B FOR MOUNTING DETAIL.

UNLESS OTHERWISE SPECIFIED:

ALL FLUORESCENT LAMPS WILL BE T12-CW-HO LAMPS.
ALL BALLASTS WILL BE COLD START ALL-WEATHER BALLASTS.
ALL NEON TRANSFORMERS WILL BE 30 MILLIAMPS.
120 PRIMARY POWER TO SIGNS WILL BE BY OTHERS.
ALL DATA LINES TO ELECTRONIC SIGNAGE WILL BE BY OTHERS.
ALL PAINT COLORS WILL BE SEMI-GLOSS FINISH.

ILLUMINATED TENANT SIGN DIRECTIONAL-B





JOB DESCRIPTION

QTY (2) D/F ILLUMINATED TENANT SIGN

A) FRONT-LIT AND HALO-LIT DISKS, ROUTED .125 ALUMINUM FACES BACKED WITH 1/8" WHITE ACRYLIC, ACRYLIC TO BE OVERLAYED WITH 3M #3830-126 DARK EMERALD GREEN 8. #3830-87 ROYAL BLUE VINYL. 5" .063 ALUMINUM RETURNS. BACKS TO BE .177 POLYCARBONATE, ILLUMINATE WITH 6500 SNOW WHITE 15MM NEON TUBING, NEON TO BE POWERED BY 60 MILLIAMP TRANSFORMER, PAINT FACES AND RETURNS TO MATCH #3830-121 SILVER VINYL.

BU MILLIAMP TRANSFORMER. PAINT FACES AND RETURNS TO MATCH #3830-121 SILVER VINYL.

B) 1" DEEP. 080 ROUTED ALUMINUM WAVE AND DISKS MOUNTED TO FACES. (DISK TO CONTINUE ACROSS TOP OF CABINET). PAINT FACES AND RETURNS TO MATCH #3630-121 SILVER VINYL. APPLY 3M VINYL #3630-49 BURGUNDY TO FACE.

C) ALUMINUM TUBE FRAME CABINET. FABRICATE CABINET FROM 1 1/2" ALUMINUM SQ. TUBING. FACES TO BE .125 ALUMINUM SHEETING. SIDES TO BE .080 ALUMINUM SHEETING. LAMP CABINET VERT. WITH (4) F48 T12-CW-HO FLUORESCENTS. PAINT CABINET IN COLOR TO MATCH 3M #3630-126 DARK EMERALD GREEN VINYL.

EMERALD GREEN VINYL.

D) 1"THICK ROUTED CLEAR ACRYLIC PUSH-THRU LOGO. 1/8"
ROUTED COLLARS. SIDES TO BE FROSTED. APPLY 3M #3635-70
WHITE DIFFUSER TO BACKS OF LOGOS. FACES TO HAVE 3M
#3630-121 SILVER VINYL APPLIED TO FACES INSET 1/8" FROM
EDGE OF LETTER.

E) 1" ALUMINUM TUBE FRAME WITH .083 ALUMINUM FACES OVERLAYED WITH .125 PERFORATED ALUMINUM, 3/4" ROUND X. 1" O/C WITH STAGGERED PATTERN. CEM-WELD TO FACE. PAINT TO MATCH 63/830-121 SILVER VINYL. LAMP CABINET HORIZ. WITH (2) F42 T12-CW-HO FLUORESCENTS. F) 1" DEEP TENANT PANELS. ROUT FACES FROM .125 ALUMINUM WITH .080 ALUMINUM RETURNS. FACES TO BE BACKED WITH 3/16" WHITE ACRYLIC. ATTACH FACES WITH CONTINUOUS INTER CLIP TO AVOID LIGHT LEAKS. USE COUNTER SUNK SCREWS THRU ENDS TO ATTACH PANELS.

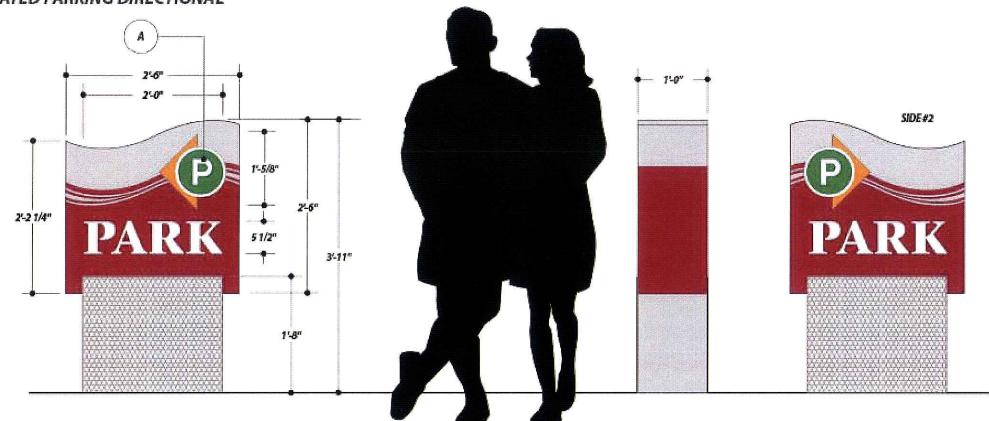
SERVICE PANELS TO BE ON SIDES OF CASINET AND ATTACHED WITH COUNTER SUNK FASTENERS.

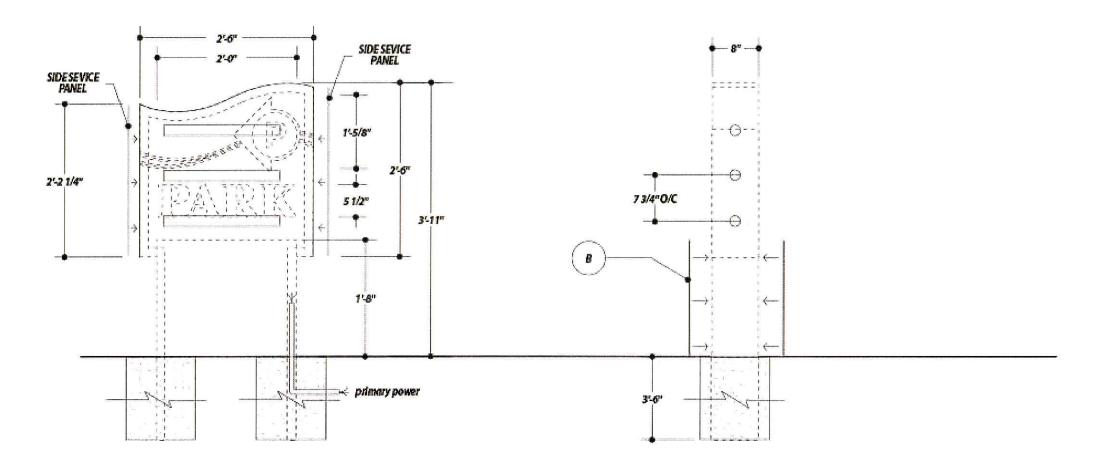
SEE P-B FOR MOUNTING DETAIL.

UNLESS OTHERWISE SPECIFIED:

ALL FLUCRESCENT LAMPS WILL BE T12-CW-HO LAMPS.
ALL BALLASTS WILL BE COLD START ALL-WEATHER BALLASTS.
ALL NEON TRANSFORMERS WILL BE 30 MILLIAMPS.
120 PRIMARY POWER TO SIGNS WILL BE BY OTHERS.
ALL DATA LINES TO ELECTRONIC SIGNAGE WILL BE BY OTHERS.
ALL PAVIT COLORS WILL BE SEMI-GLOSS FINISH.

ILLUMINATED PARKING DIRECTIONAL

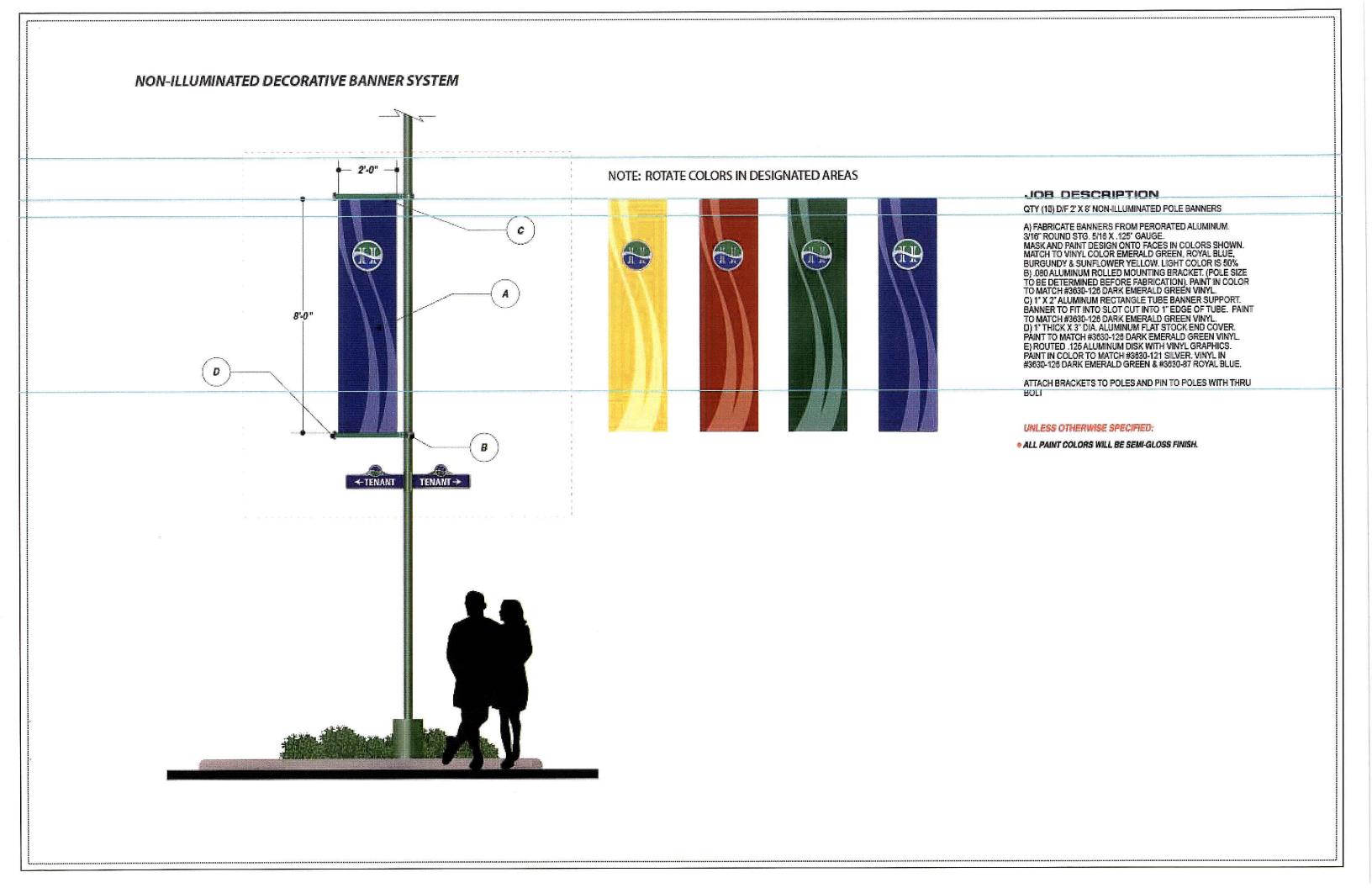




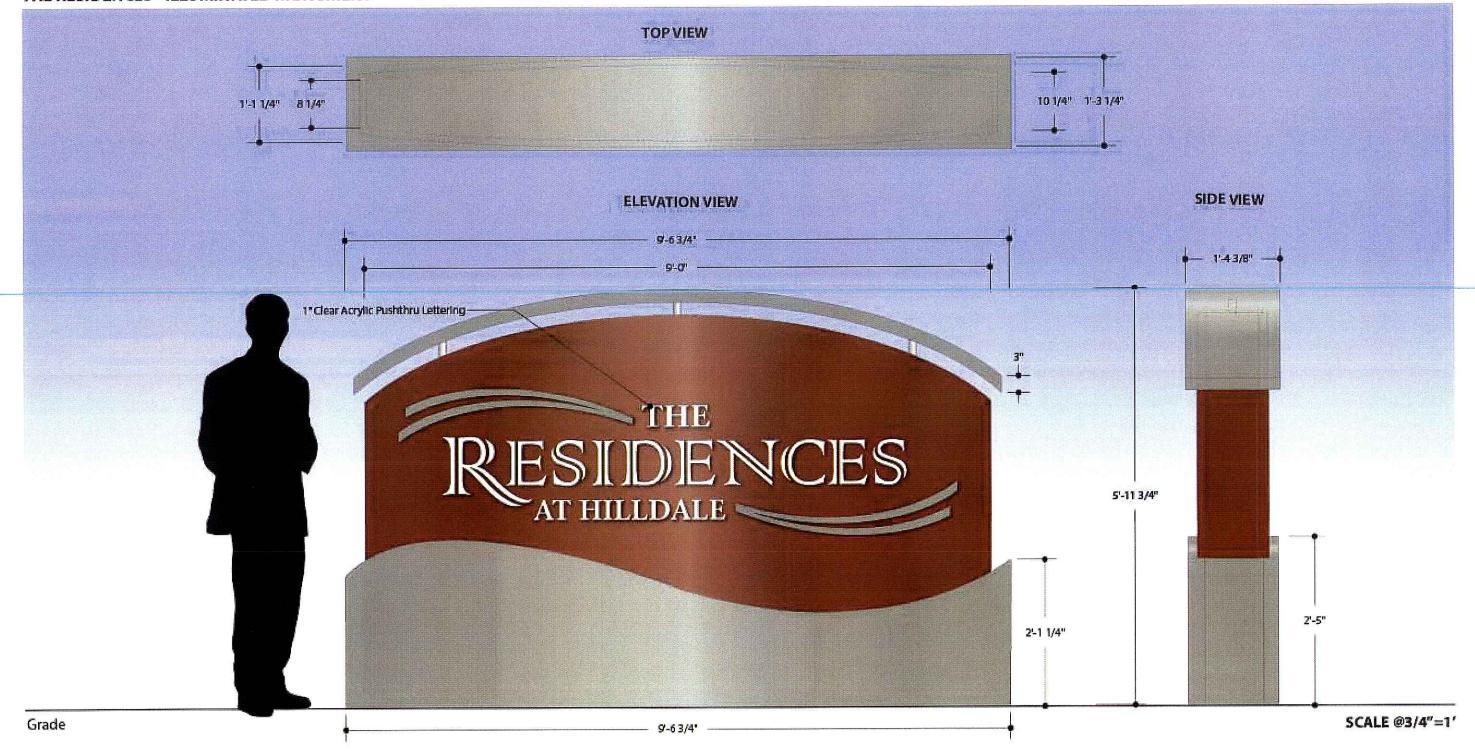
JOB DESCRIPTION

QTY (2) DAFILLUMINATED PARKING SIGN

FABRICATE CABINET FROM 8"X13/4"
FACES TO BE ROUTED. 125 ALUMINUM SHEETING.
SIDE SERVICEPANELS OF CABINET TO BE.080 ALUMINUM & ATTACHED
WITH COUNTER SUNK FASTENERS.
ROUTED FACES TO BE BACKED WITH 3/16" WHITE ACRYLIC.
A) PARKING ARROW TO BEVINYLED IN #3630-74 KUMQUAT ORANGE&
#3630-126 DARK EMERALD GREEN.
PAINT CABINET IN COLOR TO MATCH #3630-121 SILVER VINYL & #3630-49
BURGUNDY.
LAMP CABINET HORIZ. WITH (3) F24-T12CW-HO FLUORESCENTS.
B) OVERLAY LOWER FACE WITH.125 PERFORATED ALUMINUM, 3/4"
ROUND X 1"OC WITH STAGGERED PATTERN. CEM-WELD TO FACE PAINT
TO MATCH #3630-121 SILVER VINYL.
8"CHARNIEL FRAME TO EXTEND 42" BELOW GRADE TO FORM SUPPORTS
BASES TO BE 12" DIA.X 42" DEEP FILLED WITH CONCRETE.



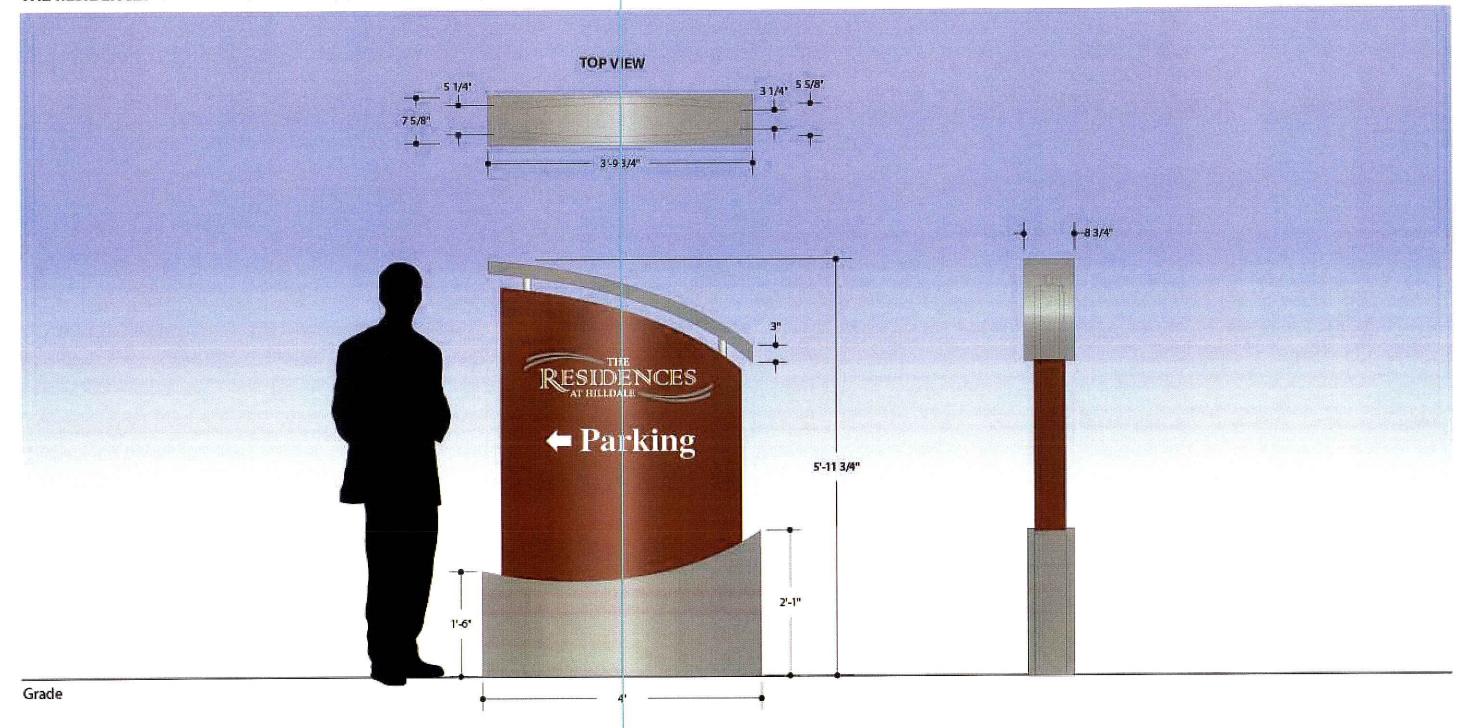
THE RESIDENCES - ILLUMINATED MONUMENT



SIGN SPECIFICATIONS: D/F ILLUMINATED CABINET SIGN

- -TUBE FRAME CONSTRUCTION SKIN W/ .080 ALUMINUM
- -LAMP WITH HIGH OUTPUT FLUORESCENT LAMPS POWERED
- BY ALL WEATHER BALLASTS
- -PAINT TO MATCH PMS 444 GREEN & PMS 477 BROWN
- -"THE RESIDENCES AT HILLDALE"TO BE 1" PUSH THRU ACRYLIC WITH 3M DIFFUSER
- SECOND SURFACE. FIRST SURFACE TO BE WHITE 3M 230-20
- SWOOSH TO BE 1" PUSH THRU ACRYLIC WITH 3M DIFFUSER
- SECOND SURFACE & PAINTED VINYL TO MATCH PMS 444 GREEN FIRST SURFACE

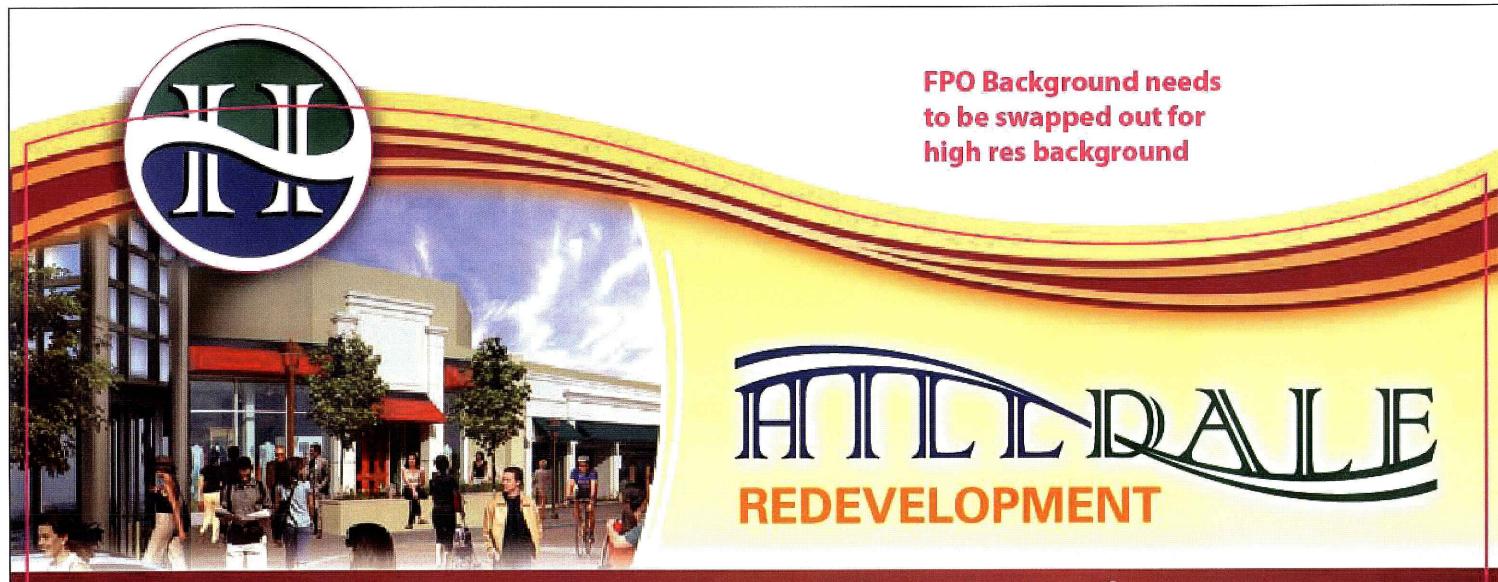
THE RESIDENCES - NON-ILLUMINATED PARKING DIRECTIONAL



SIGN SPECIFICATIONS: D/F NON-ILLUMINATED CABINET SIGN

- -TUBE FRAME CONSTRUCTION SKIN W/ .080 ALUMINUM
- -PAINT TO MATCH PMS 444 GREEN & PMS 477 BROWN
- -"THE RESIDENCES AT HILLDALE"TO BE FIRST SURFACE TO BE WHITE 3M 230-20 SWOOSH TO BE PAINTED VINYL TO MATCH PMS 444 GREEN FIRST SURFACE

Triangle Retail Residential Leasing Sign 1 File is build at 10% scale @ 750 DPI Final File Size is 84.0"w x 49.00"h background with a 14.25" diameter HillDale icon Lug-off @ 75 DPI (1" bleed on file)



Coming Soon WHÖLE Major Tenant









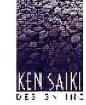






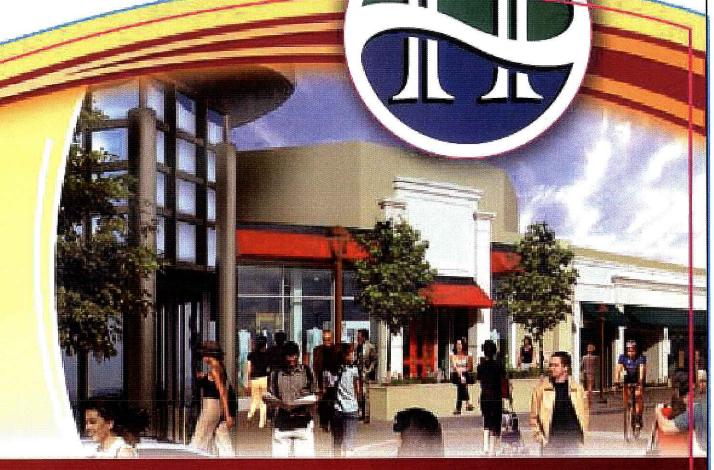






FPO Background needs to be swapped out for high res background

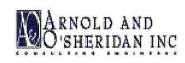




Coming Soon WHÖLE Major Tenant







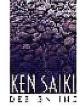








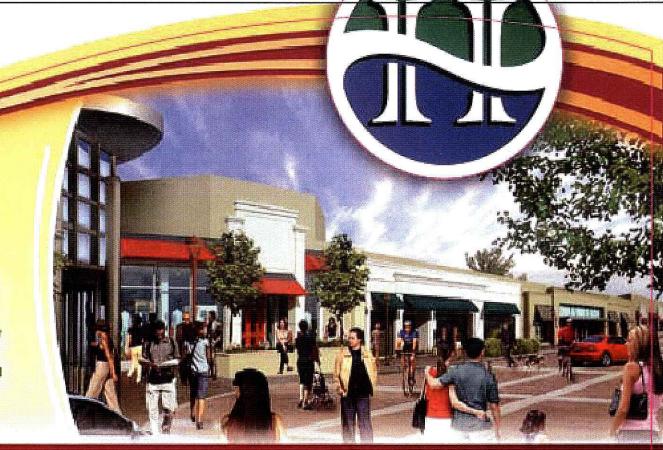




Profession Design/Build Team Sign File is build at 10% scale @ 750 DP! Final File Size is 96.0"wx 50.0"h background with a 16.5" diameter HillDale icon Lug-off@ 75 DPI (1" bleed on file)

> FPO Background needs to be swapped out for high res background





Development Team











NEED LOGO



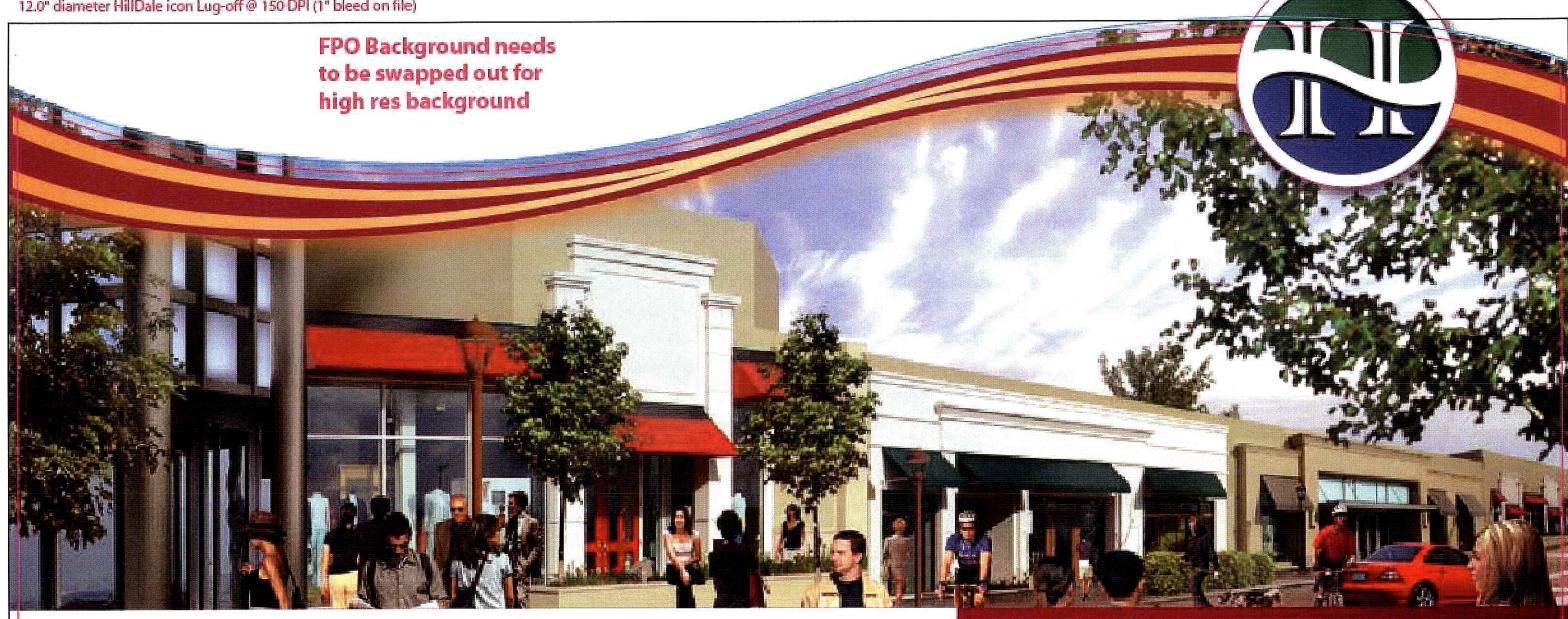








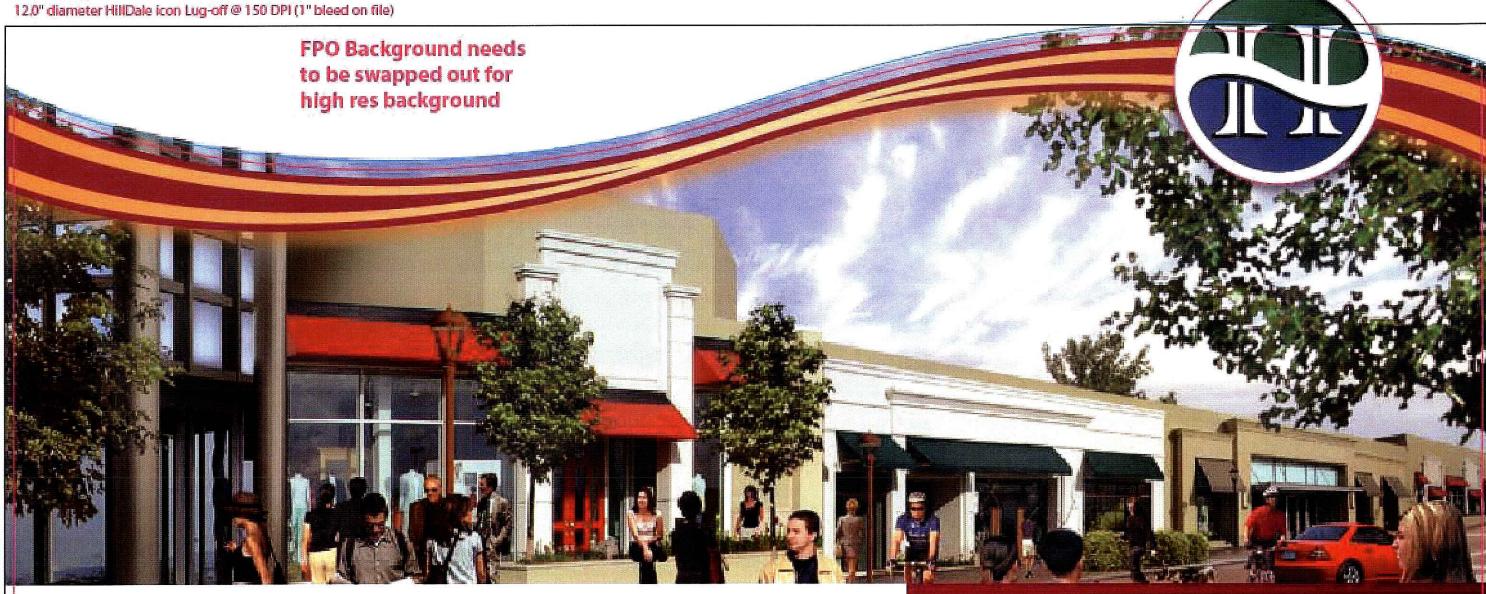
Coming Soon_FENCE Sign File is build at 10% scale @ 1500 DPI Final File Size is 84.0'w x 43.75"h background with a 12.0" diameter HillDale icon Lug-off @ 150 DPI (1" bleed on file)







Coming Soon Major Tenant Coming Soon_FENCE WFoods File is build at 10% scale @ 1500 DPI Final File Size is 84.0"w x 43.75"h background with a







Coming whôle FOODS OON



Farmer's Market Add On LFT File built @ 10% actual size

Final File trim size: 43.75w" x 17.5"h @ 150 dpi

.5" bleed built on the file

prints 4color CMYK

FPO Lo-Res Background needs to be swapped out for high res background



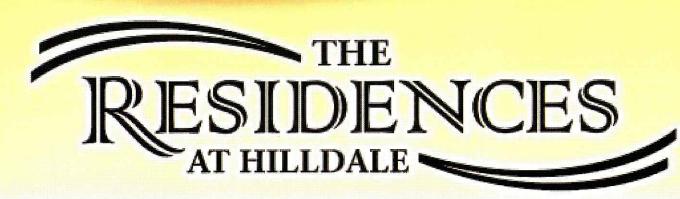
Farmer's Market Add On RIGHT
File built @ 10% actual size
Final File trim size: 43.75w" x 17.5"h @ 150 dpi
.5" bleed built on the file
prints 4color CMYK

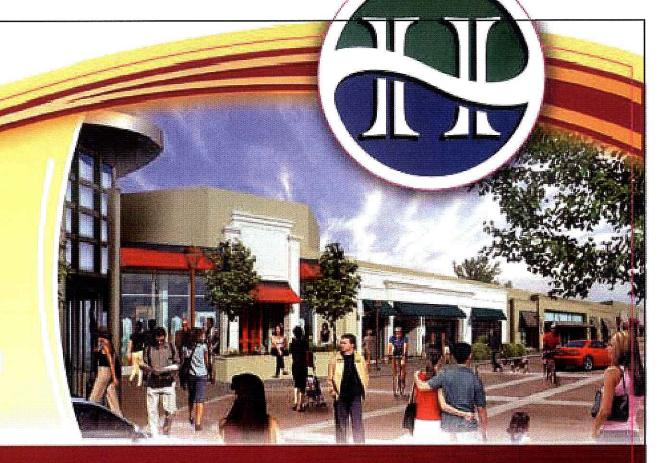
FPO Lo-Res Background needs to be swapped out for high res background



Profession Design/Build Team Sign File is build at 10% scale @ 750 DPI Final File Size is 96.0'w x 50.0'h background with a 16.5" diameter HillDale icon Lug-off @ 75 DPI (1" bleed on file)

> FPO Background needs to be swapped out for high res background





Mid-rise Condos Coming Soon











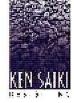
NEED LOGO







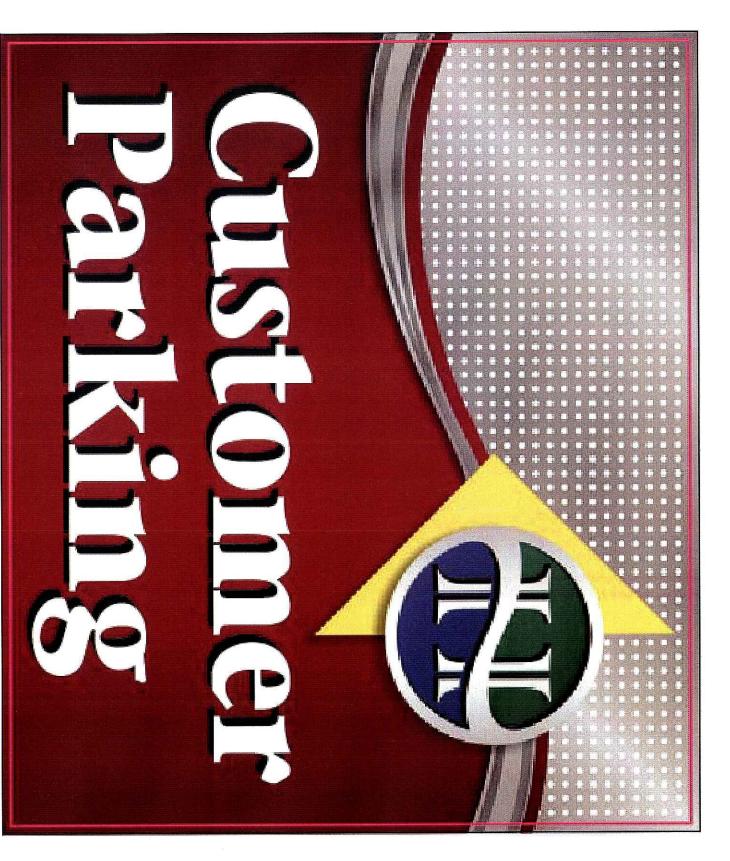






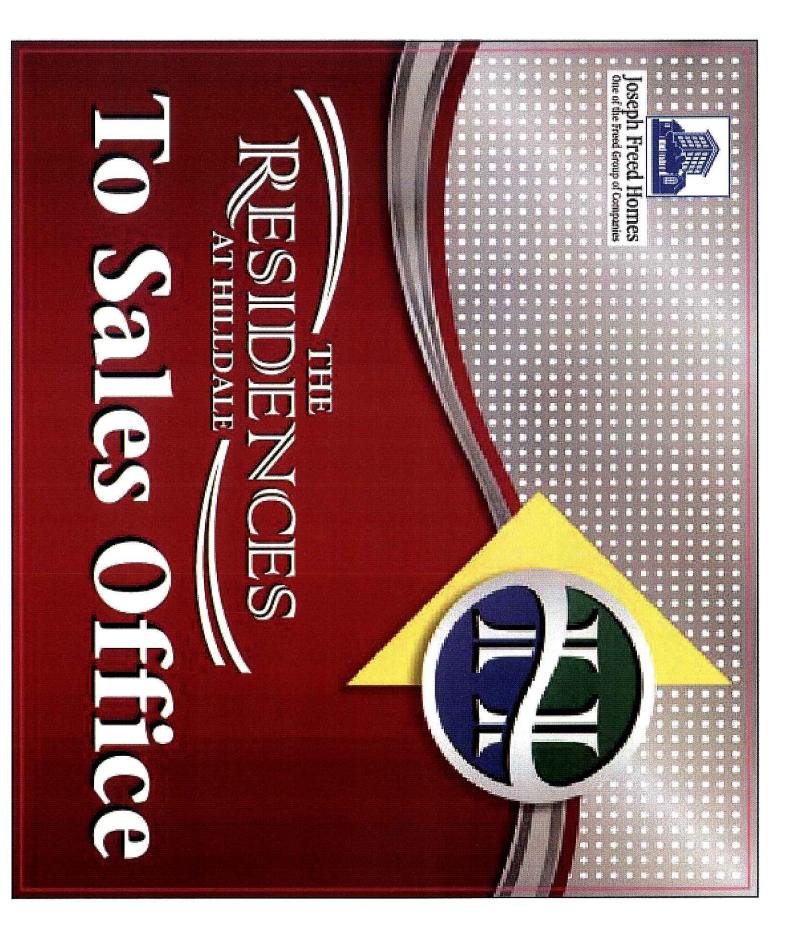
FPO lo-res Background needs to be swapped out for High res background

Parking Sign_Right
File Built @ 10% actual Size
Final Trim Size: 43.7" x 38"h @ 150 dpi
.5" bleed built on file
Die Line DOES NOT PRINT
prints 4 color CMYK



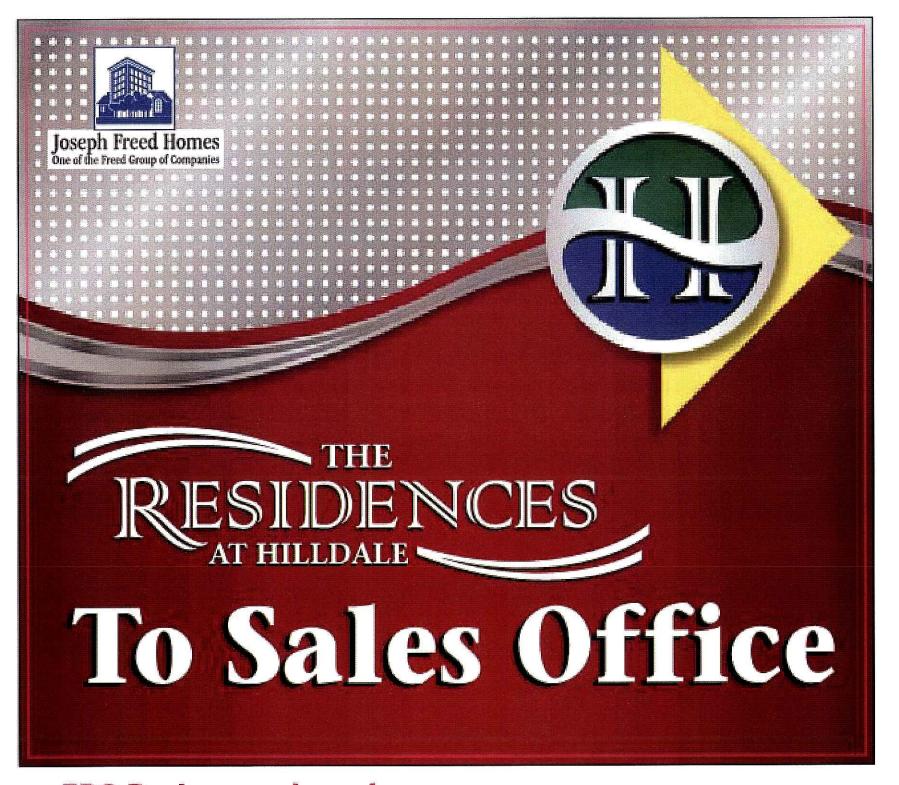
FPO lo-res Background needs to be swapped out for High res background

Parking Sign_Left
File Built @ 10% actual Size
Final Trim Size: 43.7"x 38"h @ 150 dpi
.5" bleed built on file
Die Line DOES NOT PRINT
prints 4 color CMYK



FPO Background needs to be swapped out for high res background

ResSalesDirect_Left
File Built @10% actual size
Final file trim size: 43.75"w x 39"h
0.5" bleed built on file
Prints 4color CMYK



FPO Background needs to be swapped out for high res background

ResSalesDirect_RIGHT
File Built @10% actual size
Final file trim size: 43.75"w x 39"h
0.5" bleed built on file
Prints 4color CMYK