



(AERIAL EXISTING SITE PHOTO)

PROJECT NARRATIVE

SITE:
345 West Main Street
Broom Street between Main Street and Doty Street
The property is on the same block as Capitol Lakes Senior Living Community.
Current Use:
A 44 Unit Community Based Residential Facility
Zoning:
P.U.D (G.D.P) (S.I.P) 342 West Doty Street and 343-353 West Main Street
Maximum Building Heights: 4 Stories

PROPOSAL:
To remove the existing building and construct a new 4 story approximately 49-unit apartment building for independent seniors. The building would include a below grade parking structure for approximately 50-60 spaces. This building will provide a link to the adjacent building near Main Street so residents can circulate to the other buildings and community services.

AREA - OVERALL PROGRAM SUMMARY:
UNITS - 75,187 SQFT
BOH - 10,846 SQFT
CIRCULATION - 15,033 SQFT
COMMONS - 2,052 SQFT
PARKING - 25,640 SQFT
ROOF AMENITY -3,171 SQFT
GREEN ROOF - 1,606 SQFT
TOTAL - 133,535 SQFT

AREA - OVERALL NET UNIT SQFT:
2 - 1 BR UNITS
47 - 2 BR UNITS
49 TOTAL UNITS @ 75,187 SQFT

NUMBER	SHEET NAME	UDC / LAND-USE SET
00 GENERAL		
TS	TITLE SHEET	■
G0.03	SITE CONTEXT	■
G0.21	RENDERING	■
G0.22	STREETSCAPE RENDERING	■
G0.23	STREETSCAPE RENDERING	■
G0.24	STREETSCAPE RENDERING	■
G2.11	LEVEL P1 - FLS PLAN	■
G2.21	LOWER LEVEL - FLS PLAN	■
G2.22	LEVEL 1 - FLS PLAN	■
G2.23	LEVEL 2 - FLS PLAN	■
G2.24	LEVEL 3 - FLS PLAN	■
G2.25	ROOF - FLS PLAN	■
G4.03	FIRE ACCESS DIAGRAM	■
G4.04	FEC LOCATIONS	■
02 CIVIL		
C	REFER TO CIVIL SET	■
03 LANDSCAPE		
L	REFER TO LANDSCAPE SET	■
04 ARCHITECTURAL		

NUMBER	SHEET NAME	UDC / LAND-USE SET
A0.02	DATA SHEET	■
A01.01	SITE DEMOLITION	■
A1.01	SITE PLAN	■
A1.02	ENLARGED SITE PLAN	■
A1.03	SITE DETAILS - PARKING	■
A2.P1	LEVEL P1 FLOOR PLAN	■
A2.01	LOWER LEVEL FLOOR PLAN	■
A2.02	LEVEL 1 FLOOR PLAN	■
A2.03	LEVEL 2 FLOOR PLAN	■
A2.04	LEVEL 3 FLOOR PLAN	■
A2.05	ROOF PLAN	■
A3.11	BUILDING ELEVATIONS - COLOR	■
A3.12	BUILDING ELEVATIONS - COLOR	■
A3.21	BUILDING ELEVATIONS	■
A3.22	BUILDING ELEVATIONS	■
A3.31	BIRD-SAFE GLASS DIAGRAMS	■
A3.32	BIRD-SAFE GLASS DIAGRAMS	■
A3.51	ENLARGED ELEVATIONS - EXHAUST LOUVERS	■
A4.01	BUILDING SECTIONS	■

VICINITY MAP



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BASSETT PLACE
351 West Main Street Madison, WI 53703
PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

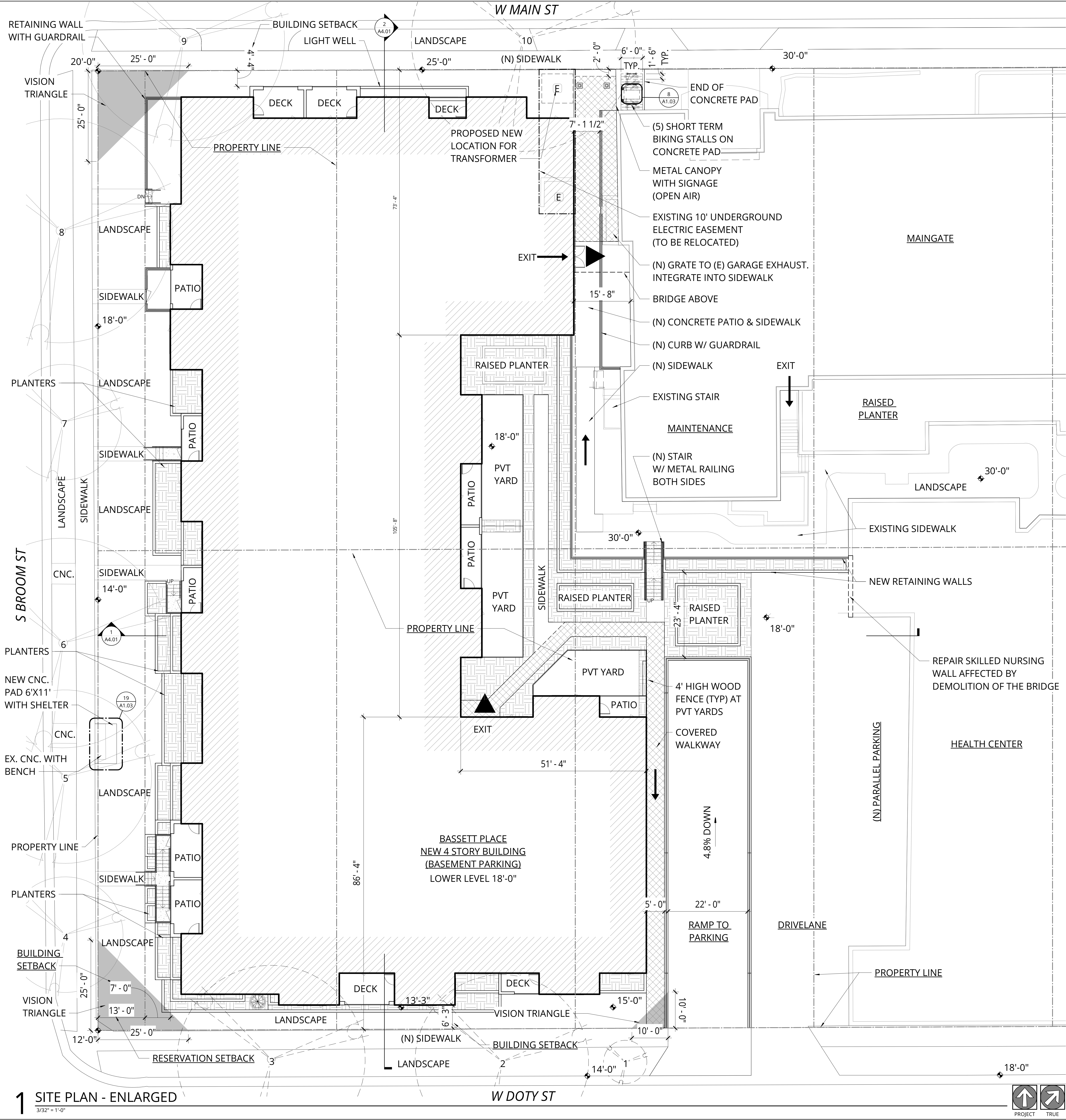
TITLE SHEET

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	TS

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GENERAL NOTES - SITE PLAN

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS, NOTES, & DETAILS
3. SEE CIVIL DRAWINGS FOR HORIZONTAL CONTROL DIMENSIONS. <VERIFY>
4. <ADD THE FOLLOWING FOR SDC JURISDICTION PROJECTS ONLY>
5. ENROACHMENTS OF BUILDINGS OVER SIDEWALKS ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION THAT A STREET USE PERMIT WILL BE OBTAINED FOR THE CANOPIES THAT EXTEND INTO THE STREET RIGHT OF WAY
6. REFER TO SDOOT STREET IMPROVEMENT PLAN #XXXX FOR WORK IN THE RIGHT OF WAY

SHORT TERM BIKE PARKING

RESIDENTIAL USE	REQUIREMENT	UNIT/BEDS	PARKING PROVIDED
ACCESSIBLE STALLS	N/A	49 / 96 BEDS	2
BICYCLE PARKING	N/A	49 / 96 BEDS	3

TOTAL REQUIRED: N/A

TOTAL PROVIDED: 3 STANDARD STALLS, 2 ACCESSIBLE = 5 TOTAL SHORT TERM BIKE PARKING

TREE INVENTORY

#	COMMON NAME	CONDITION
1	GALLERY PEAR	GOOD
2	WHITE ASH	POOR
3	GREEN ASH	FAIR
4	ELM HYBRID	FAIR
5	GREEN ASH	GOOD
6	GREEN ASH	GOOD
7	ELM HYBRID	GOOD
8	GREEN ASH	FAIR
9	GREEN ASH	POOR
10	NORTHERN HACKBERRY	FAIR

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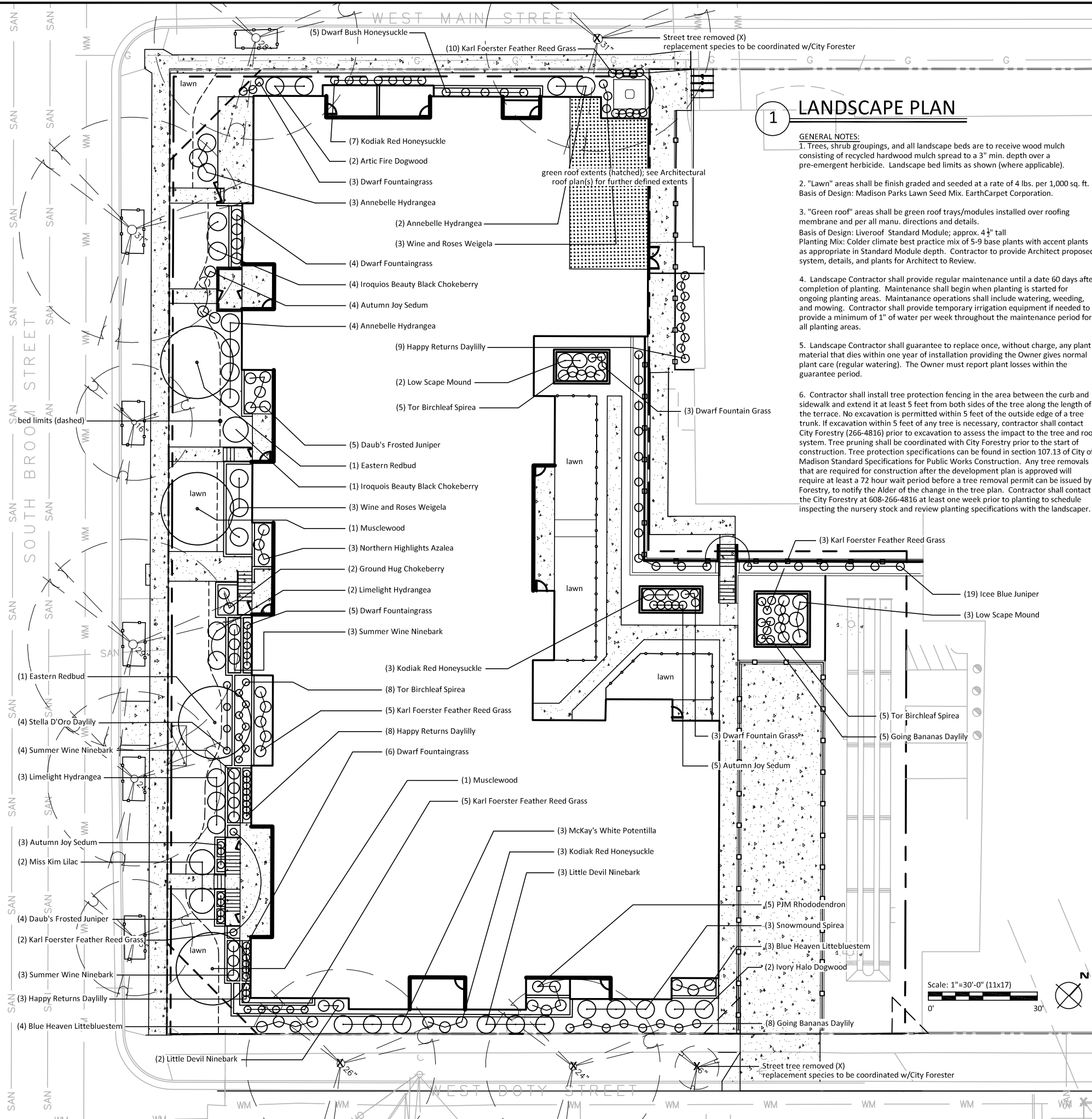
ENLARGED SITE PLAN

DESIGN DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

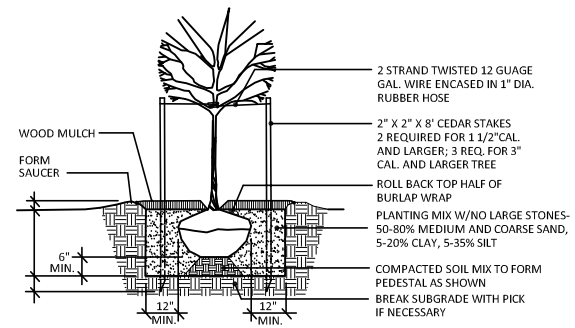
A1.02



LANDSCAPE PLAN

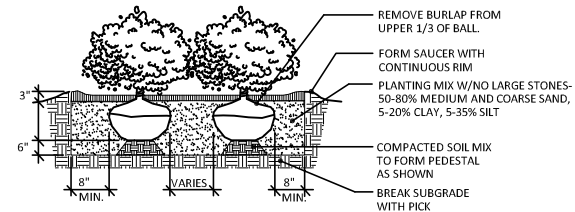
GENERAL NOTES:

1. Trees, shrub groupings, and all landscape beds are to receive wood mulch consisting of recycled hardwood mulch spread to a 3" min. depth over a pre-emergent herbicide. Landscape bed limits as shown (where applicable).
2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.
3. "Green roof" areas shall be green roof trays/modules installed over roofing membrane and per all manu. directions and details.
Basis of Design: Liveroof Standard Module; approx. 4 1/4" tall
Planting Mix: Colder climate best practice mix of 5-9 base plants with accent plants as appropriate in Standard Module depth. Contractor to provide Architect proposed system, details, and plants for Architect to Review.
4. Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
5. Landscape Contractor shall guarantee to replace one, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.
6. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (266-4816) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan. Contractor shall contact the City Forestry at 608-266-4816 at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper.



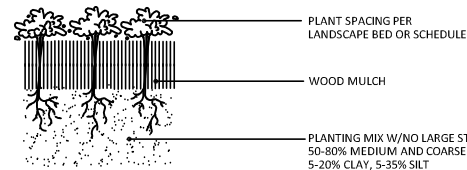
TREE PLANTING

NTS



SHRUB PLANTING

NTS



PERENNIAL PLANTING

NTS

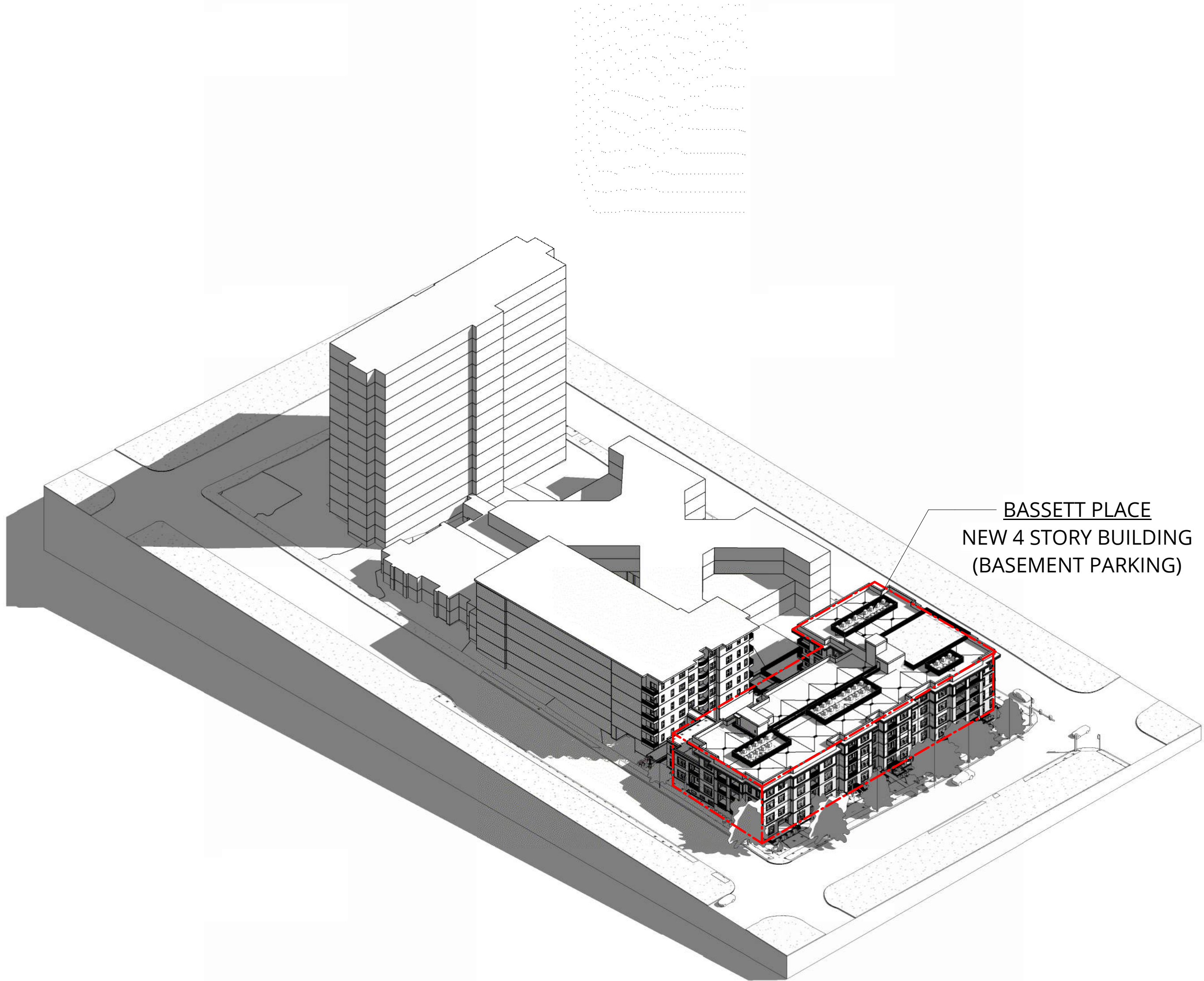
Landscape Calculations and Distribution							
One (5) landscape plants should be provided per each (300) sf of developed area							
Total sf of developed area this project = 5,677 sf							
Developed area divided by (300) x 5 = 94 Points Required			731 Total Points Provided (94 Required)				
Development Frontage Landscaping							
Total If of lot frontage = 597 (this project)							
Required Trees = 20		Provided Trees = *4					
Required Shrubs = 100		Provided Shrubs = *33					
Owner/Architect Request Waiver by Zoning Administrator to reduce required frontage plantings due to limiting site conditions and size of existing City of Madison street/terrace trees.							
Tabulation of Points and Credits (includes Development Frontage Landscaping):							
Plant Type/Element		Min. size	Points	Existing Qty.	Existing Pts.	Proposed Qty. Pts.	
Overstory Deciduous Tree		2 1/2" cal.	35	-	-	2 70	
Ornamental tree		1 1/2" cal.	15	-	-	2 30	
Upright evergreen shrub		3-4 feet tall	10	-	-	- -	
Shrub, deciduous		18" or 3 gal.	3	-	-	103 309	
Shrub, evergreen		18" or 3 gal.	4	-	-	28 112	
Ornamental grasses/perennials		18" or 3 gal.	2	-	-	105 210	
Ornamental fence or wall		na	4 per 10 lf	-	-	- -	
Total						731	
Trees	Master Plant List	Scientific Name		Plant Size		Qty.	
	Musclewood	Carpinus caroliniana		2' cal.		2	
Shrubs	Eastern Redbud	Cercis canadensis		1 1/2" cal.		2	
	Arctic Fire Dogwood	Cornus stolonifera Arctic Fire		24" ht.		2	
	Low Scape Mound	Aronia melanocarpa		18" ht.		5	
	Wine and Roses Weigela	Weigela florida		18" ht.		6	
	Summer Wine Ninebark	Physocarpus opulifolius		18" ht.		7	
	Annebella Hydrangea	Hydrangea arborescens 'Annabelle'		24" ht.		7	
	Dwarf Bush Honeysuckle	Diervilla lonicera		18" ht.		5	
	PJM Rhododendron	Rhododendron 'Peter J. Mezzit'		18" ht.		5	
	Northern Highlights Azalea	Azalea x 'Northern HI- Lights'		18" ht.		3	
	Limelight Hydrangea	Hydrangea paniculata 'Limelight'		24" ht.		5	
	McKay's White Potentilla	Potentilla fruticosa 'McKay's White'		24" ht.		3	
	Kodiak Red Honeysuckle	Diervilla 'Kodiak Red'		18" ht.		13	
	Little Devil Ninebark	Physocarpus opulifolius 'Little Devil'		18" ht.		5	
	Ivory Halo Dogwood	Cornus alba 'Baillhau'		24" ht.		2	
	Summer Wine Ninebark	Physocarpus opulifolius		18" ht.		3	
	Tor Birchleaf Spirea	Spiraea betulifolia 'Tor'		18" ht.		18	
	Ground Hug Chokeberry	Aronia melanocarpa		18" ht.		2	
	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'		24" ht.		5	
	Perennials	Miss Kim Lilac	Syringa pubescens subsp. patula		18" ht.		2
		Snowmound Spirea	Spiraea nipponica 'Snowmound'		18" ht.		3
Icee Blue Juniper		Juniperus horizontalis 'Icee Blue'		12" ht.		19	
Daub's Frosted Juniper		Juniperus chinensis 'Daub's Frosted'		12" ht.		9	
Blue Heaven Littebluestem		Schizachyrium scoparium Blue HEAVEN		1 gal.		7	
Happy Returns Daylily		Hemerocallis 'Happy Returns'		1 gal.		20	
Stella D'Oro Daylily		Hemerocallis 'Stella de Oro'		1 gal.		4	
Karl Foerster Feather Reed Grass		Calamagrostis acutiflora		1 gal.		25	
Autumn Joy Sedum		Hylotelephium 'Autumn Joy'		1 gal.		12	
Going Bananas Daylily		Hemerocallis 'Going Bananas'		1 gal.		13	
Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'		1 gal.		24		



SW CORNER PERSPECTIVE



NW CORNER PERSPECTIVE



OVERALL SITE ISOMETRIC VIEW

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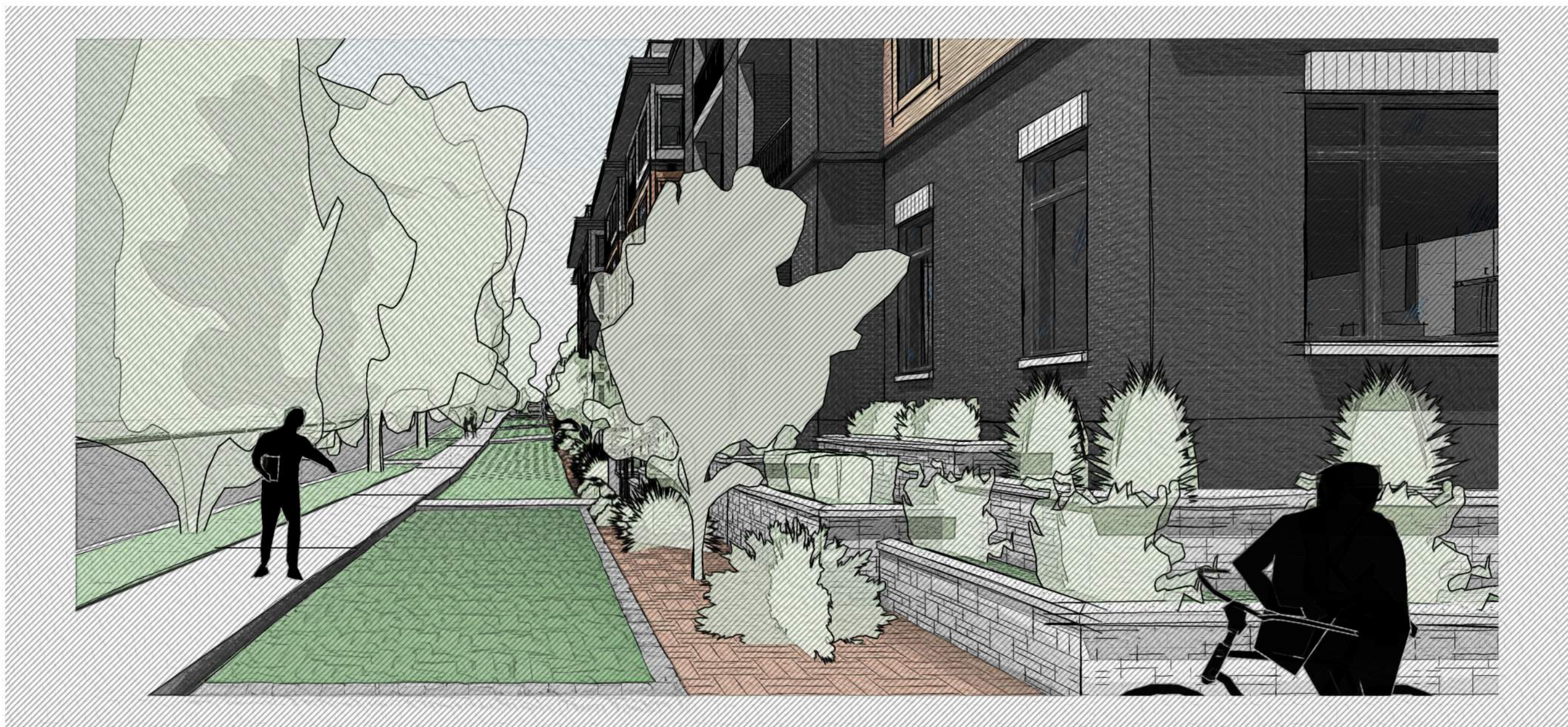
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SHEET NUMBER
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1 PERSPECTIVE - S BROOM STREET - NORTH



2 PERSPECTIVE - S BROOM STREET - SOUTH



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
5	C.I.P. CONCRETE @ WINDOW SILL
11	PLANTER WALLS W/ CONCRETE SLOPED CAP

3 ISOMETRIC PERSPECTIVE - SOUTH BROOM STREET



4 WEST ELEVATION - STREETSCAPE

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STREETSCAPE
RENDERING

DESIGN
DEVELOPEMENT

DATE
02/24/2025

PROJECT NUMBER
233810

SHEET NUMBER

G0.22

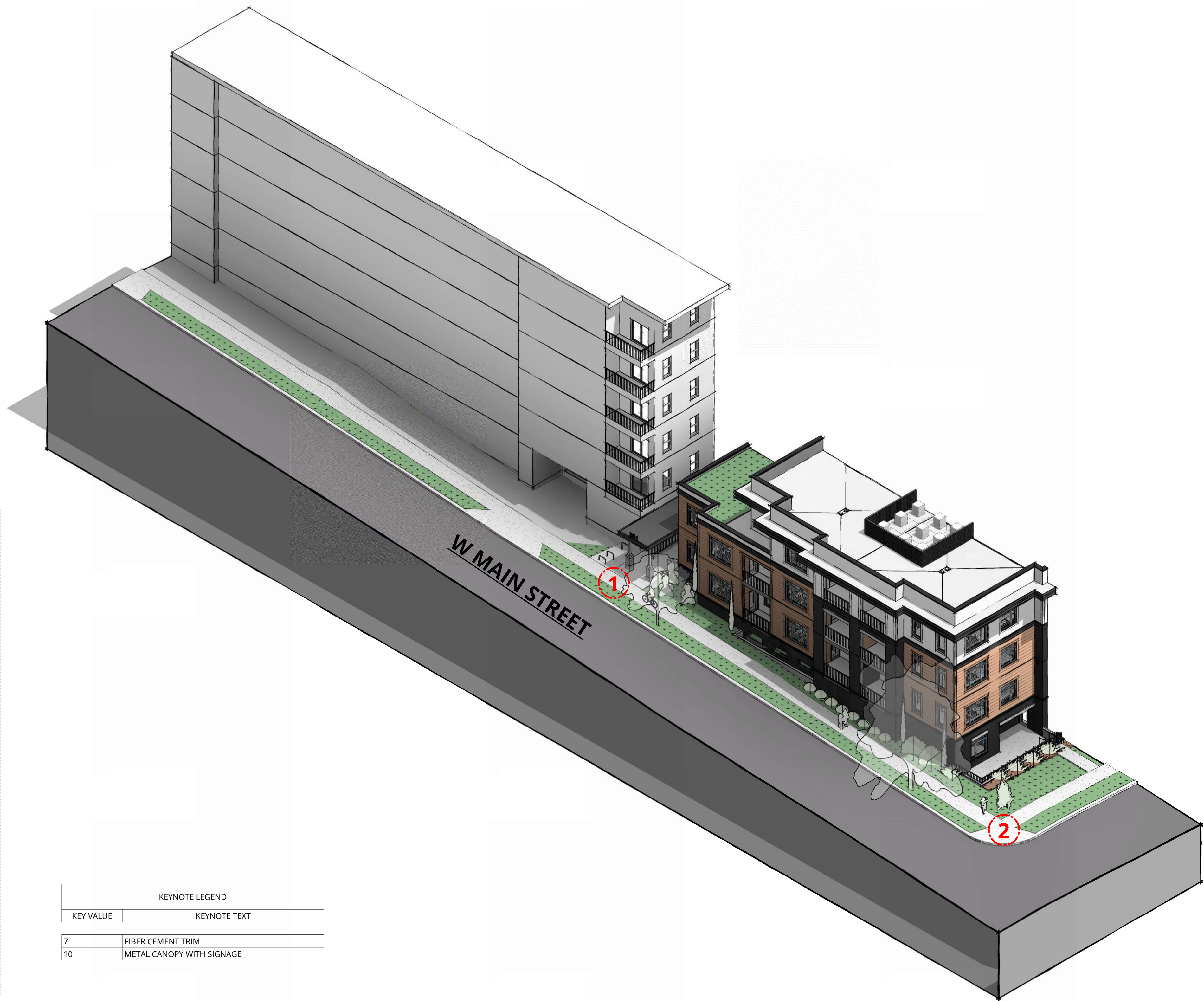
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1 PERSPECTIVE - W MAIN STREET - ENTRY



2 PERSPECTIVE - W MAIN STREET - NW CORNER



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
7	FIBER CEMENT TRIM
10	METAL CANOPY WITH SIGNAGE

3 ISOMETRIC PERSPECTIVE - WEST MAIN STREET



4 NORTH ELEVATION - STREETSCAPE

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STREETSCAPE
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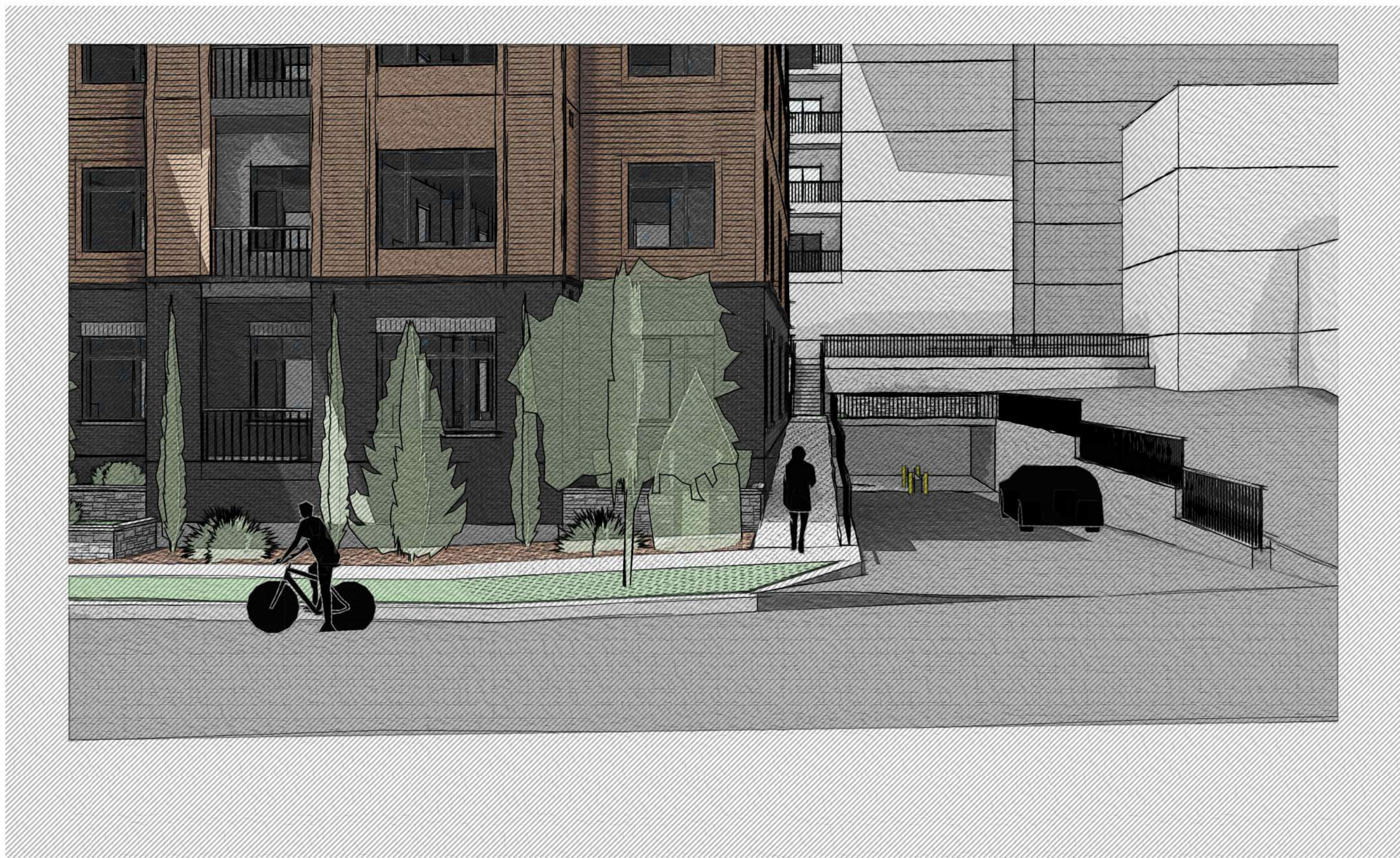
DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

G0.23



1 PERSPECTIVE - W DOTY STREET - SW CORNER



2 PERSPECTIVE - W DOTY STREET - SIDE ENTRY



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P CONCRETE @ WINDOW SILL
11	PLANTER WALLS W/ CONCRETE SLOPED CAP

3 ISOMETRIC PERSPECTIVE - WEST DOTY STREET



4 SOUTH ELEVATION - STREETSCAPE

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PACIFIC RETIREMENT SERVICES

STREETSCAPE
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233810

SHEET NUMBER

G0.24

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1 NORTH ELEVATION - COLOR
3/32" = 1'-0"



2 SOUTH ELEVATION - COLOR
3/32" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEET AX.XX FOR WINDOW AND LOUVER INFORMATION.

EXTERIOR ELEVATIONS LEGEND

- FIBER CEMENT PANEL - WHITE
- FIBER CEMENT LAP SIDING - TAN
- BRICK - GRAY
- EXPOSED CONCRETE

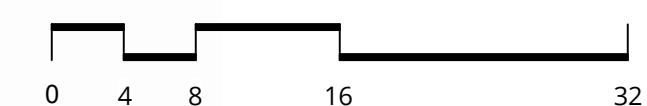
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3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P. CONCRETE @ WINDOW SILL
6	PARAPET CAP
7	FIBER CEMENT TRIM
10	METAL CANOPY WITH SIGNAGE
14	MECHANICAL SCREEN



3 EAST ELEVATION - COLOR
3/32" = 1'-0"



4 WEST ELEVATION - COLOR
3/32" = 1'-0"



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BUILDING
ELEVATIONS - COLOR

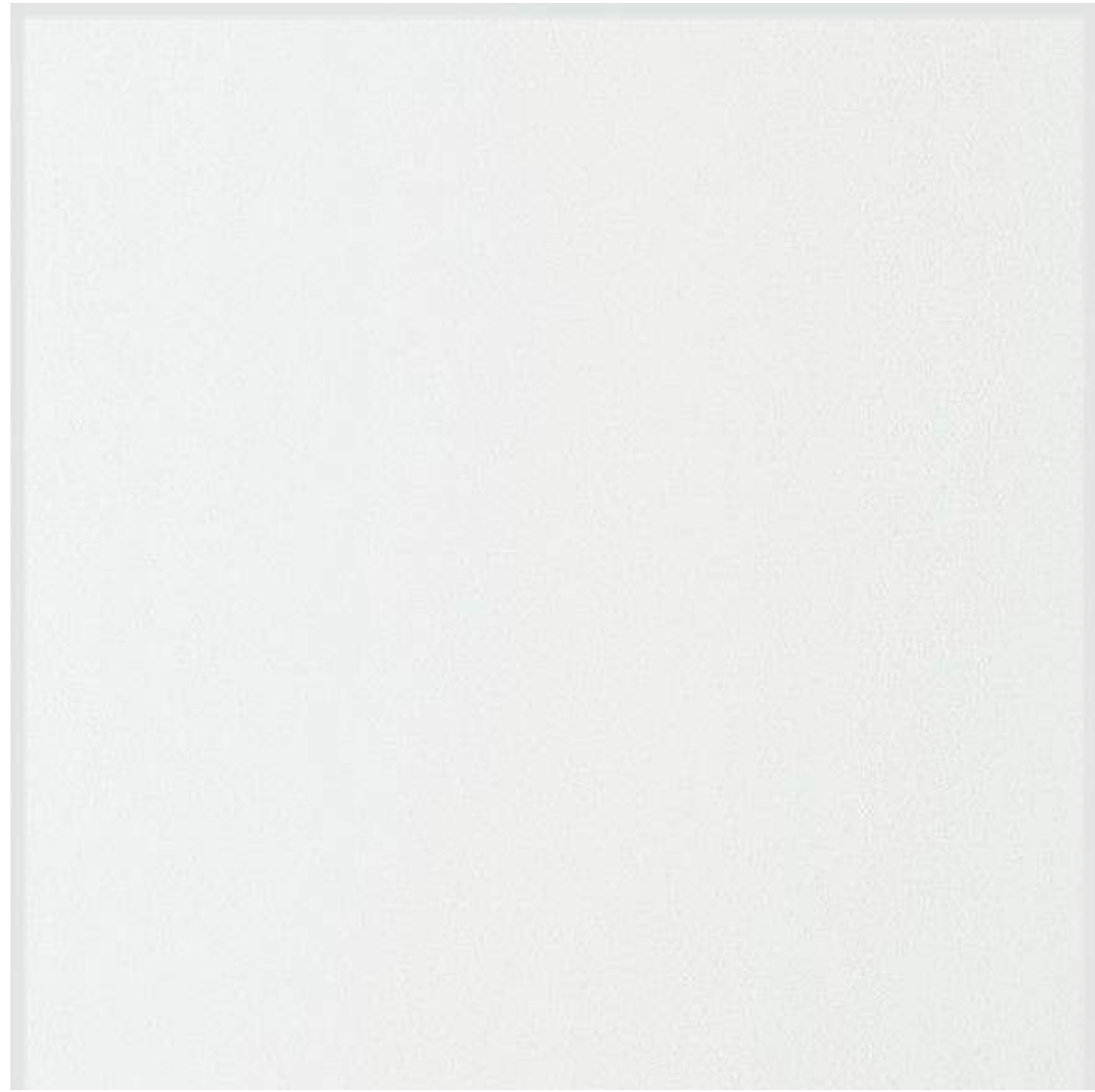
DESIGN
DEVELOPEMENT

DATE
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PROJECT NUMBER
233810

SHEET NUMBER

A3.11



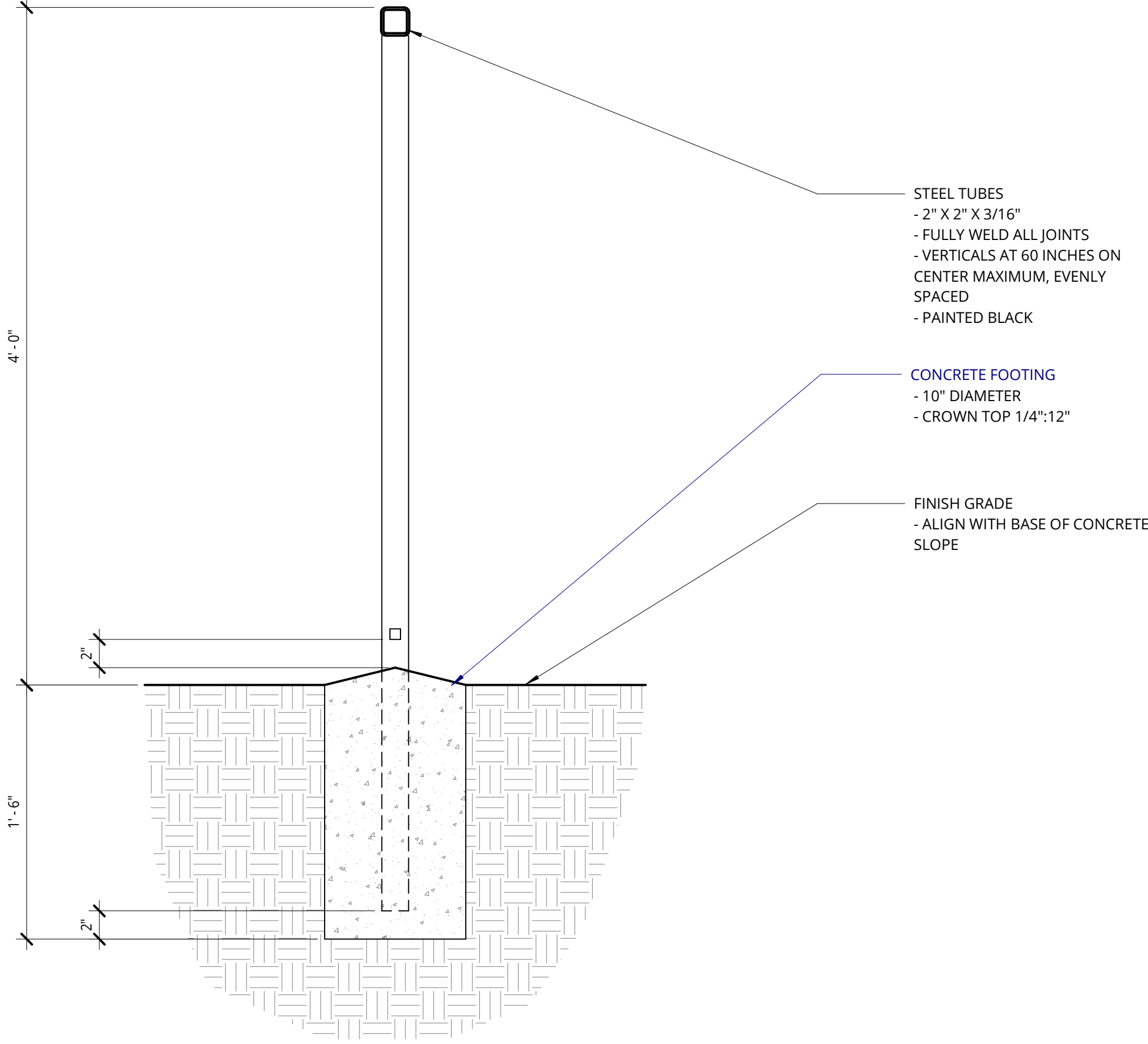
FIBER CEMENT PANEL:
SW7005 PURE WHITE



FIBER CEMENT LAP SIDING:
SW7513 SANDERLING



WINDOWS, MECHANICAL
SCREENING, LOUVERS, COPING,
RAILINGS, PICKET FENCES:
SW6258 TRICORN BLACK



WALL SECTION - ALUMINUM PICKET FENCE



CLOUD CERAMICS
SMOOTH BLACK DIAMOND BRICK



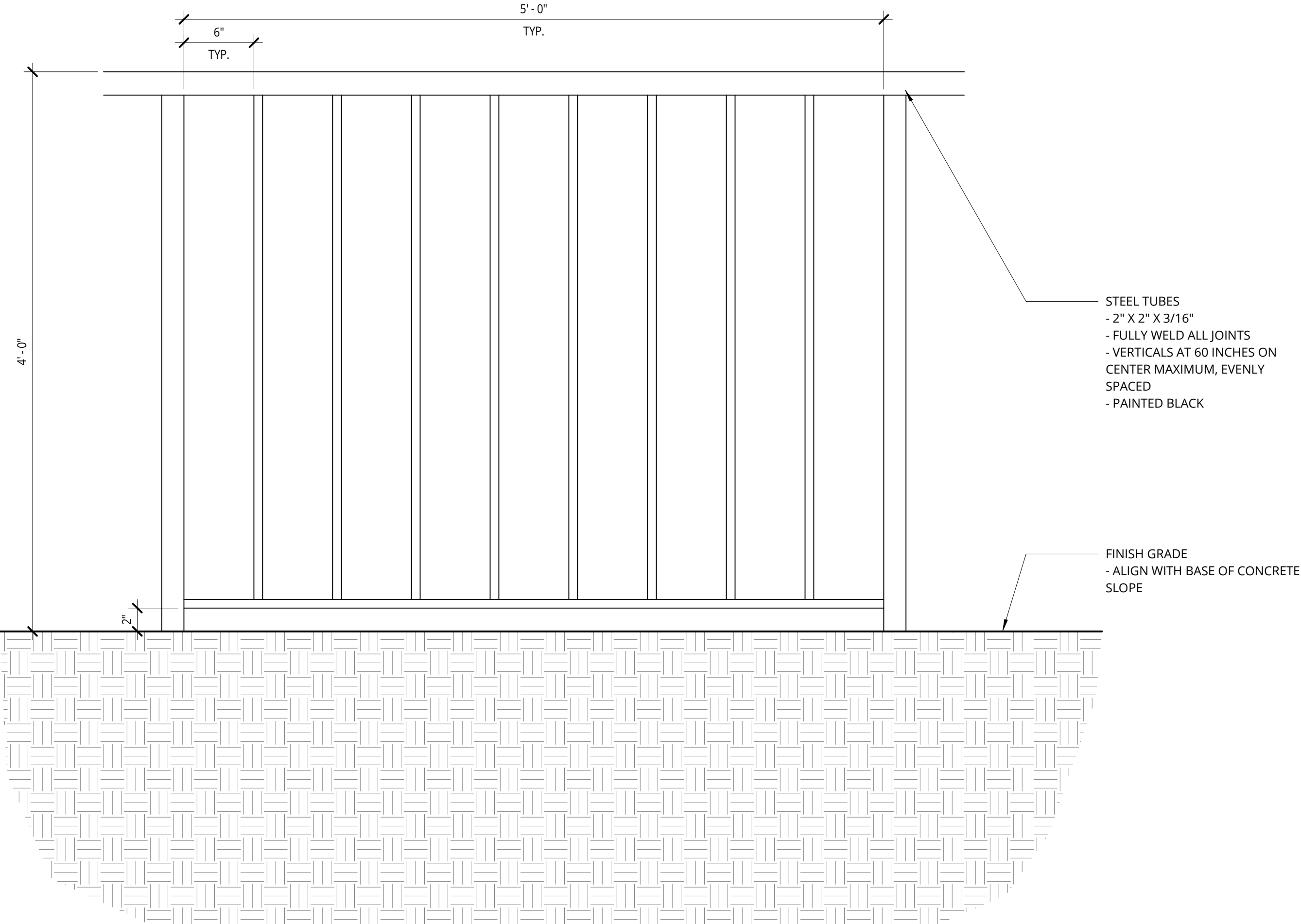
EXPOSED CONCRETE



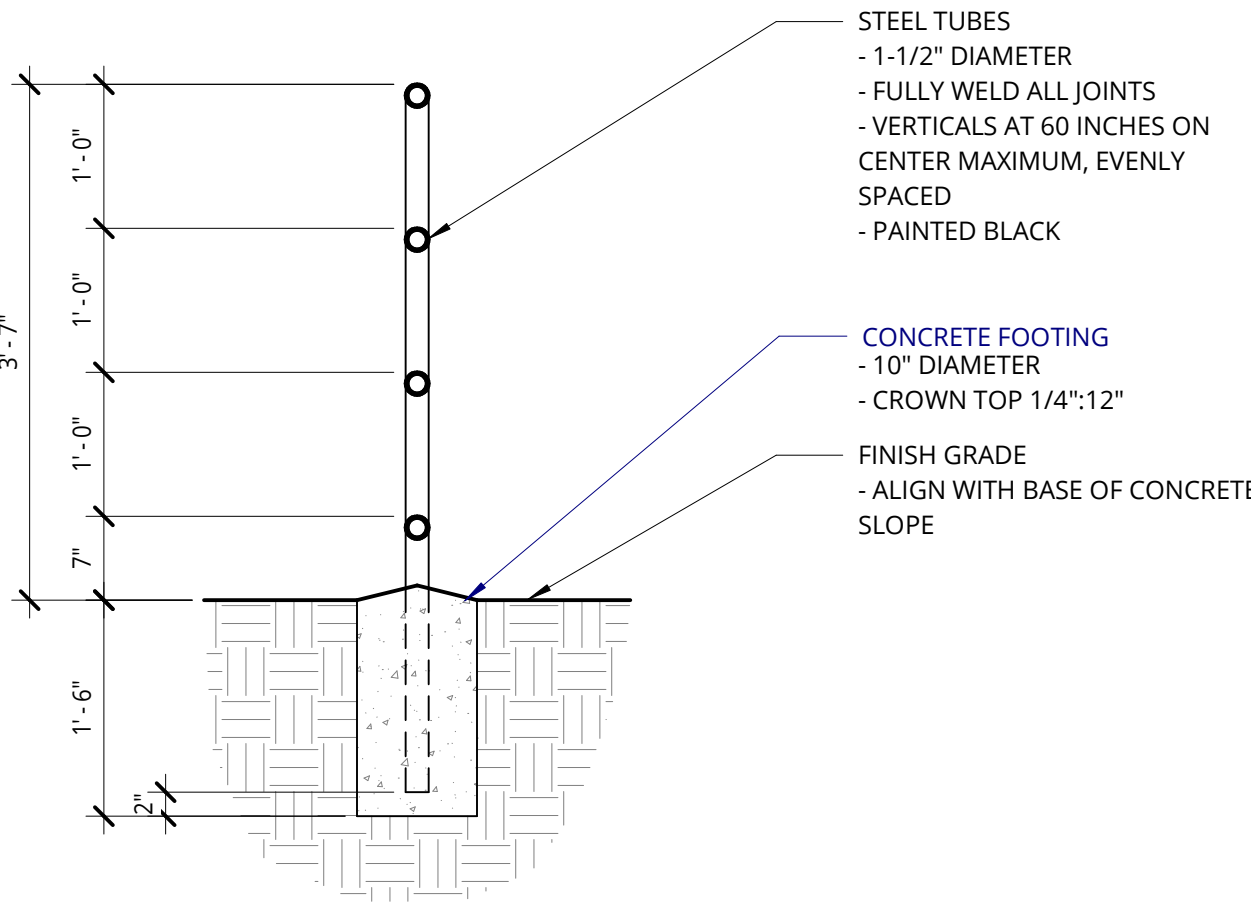
MADISON BLOCK&STONE
STACKED STONE:
RIVERCREST COASTAL SLATE



PRECAST CONCRETE SILL



ENLARGED ELEVATION - ALUMINUM PICKET FENCE



SITE GUARDRAIL

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EXTERIOR
MATERIALS &
BUILDING DETAILS
DESIGN
DEVELOPEMENT

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