

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ ☐ Initial Submittal
Paid _____ ☐ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 345 West Main Street Madison, WI 53703 345 will be retired after Demo, and building will be 351)

Title: Capitol Lakes

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested March 26th, 2025 (Or the soonest available date if this is not accurate)

- ☐ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☒ Initial Approval ☐ Final Approval

3. Project Type

- ☐ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☒ Planned Development (PD)
☒ General Development Plan (GDP)
☒ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Modifications of Height, Area, and Setback
☐ Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Jason Erdahl
Street address 38 NW Davis Street
Telephone (503) 977-5235

Company Ankrom Moisan Architects
City/State/Zip Portland, OR 97209
Email Jasone@ankrommoisan.com

Project contact person Jason Erdahl
Street address 38 NW Davis Street
Telephone (503) 977-5235

Company Ankrom Moisan Architects
City/State/Zip Portland, OR 97209
Email Jasone@ankrommoisan.com

Property owner (if not applicant) Capitol Lakes
Street address 345 West Main Street
Telephone 608-283-2156

City/State/Zip Madison, WI 53703
Email tconroy@retirement.org

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☒ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials
- ☒ Proposed sign areas and types (if applicable) **Only have addresses visible to street**

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials☒ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ **Development Plans** (Refer to checklist on Page 4 for plan details)☐ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)☒ **Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 11/26/24.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Jason Erdahl Relationship to property Architect

Authorizing signature of property owner  Date 2/21/25

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- ☐ Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Letter of Intent

Please consider this our formal Letter of Intent for the land use application/design review and to pursue an Amendment to the General Development Plan and Specific Implementation Plan which was previously approved May 24th, 1995.

Project Name:

Capitol Lakes Retirement Community

Parcel Location:

345 West Main Street (345 Address number will be retired with the demolition of 345 West Main streets current building on the property and it will become, 351 W Main St.)

Madison, WI

Contacts:

Applicant/Architect

Ankrom Moisan Architects., Inc.
38 NW Davis Street
Portland, Oregon 97209
Jason Erdahl
503.245.7100
jasone@ankrommoisan.com

Civil/Landscape Engineer

Professional Engineering
818 N. Meadowbrook Lane
Waukegan, WI 53597
Roxanne Johnson, P.E.
608-849-9378
RJohnson@pe-wi.com

Landowner/Building Occupant

Capitol Lakes Retirement
333 West Main Street, Madison, WI 53703
Tim Conroy
608-283-2156
tconroy@retirement.org

Traffic

TADI
Cedarburg, WI 53012
John A. Bieberitz, PE, PTOE
262-377-1845
jbieberitz@tadi-us.com

Contractor

McGann Construction
3622 Lexington Ave, Madison, WI 53714
608-241-5585

Capitol Lakes Retirement Community functions as a comprehensive campus consisting of four buildings, serving residents in independent living, assisted living, and skilled nursing. The proposed project involves the demolition of the existing assisted living building at 345 West Main Street, which currently houses 44

units. This will be replaced by a new 133,535 sq. ft. independent living facility featuring 49 units, thus expanding the campus. Current residents in the existing assisted living facility will be relocated to a newly renovated floor in the existing skilled nursing facility to the north that is slated for renovation.

The new independent living building will be connected to the Maingate building on West Main Street via a third-floor skybridge, providing seamless access for residents to the entire campus. The project will also include the construction of an underground parking garage with 58 total parking stalls, replacing the existing five surface parking spaces. The Capitol Lakes block is comprised of 18 parcels, with the new building being developed across five parcels totaling 53,558 sq. ft., while also extending across a sixth parcel.

Our project is in the Downtown Core neighborhood, adjacent to the Bassett Neighborhood with a design intended to seamlessly transition between these two distinct areas. The proposed exterior of the building will feature a combination of materials, including brick on the first floor, two stories of plank siding, and stucco on the fourth floor. The four-story structure will feature a rooftop deck with ground-floor units along Broom Street, designed to evoke the character of a residential brownstone, fostering a natural connection to the street and enhancing the neighborhood's architectural cohesion.

Our plan is to begin the construction phase in the last quarter of 2025 with completion first quarter of 2027. We are currently interviewing multiple local contractors to work with our team during design and through construction. During any construction that interferes with the sidewalk, a temporary sidewalk would be erected. Trees along broom and any remaining trees along Main and Doty streets will be protected and maintained per the arborist report and tree plan.

Site:

The Capitol Lakes development is a total of 3.63 acres (158,186sf).

Parcel A, Lots 1 through 18 (Block 50) are 3.63 acres (158,186 sf). As part of this project the property boundaries of Lots 1 through 18 will be revised via Certified Survey Map (CSM) to combine all the lots within the block (1-18) into one lot.

- Lots 1 through 18 PD lines within the site will be omitted and property will become one lot.
- Currently all of the existing buildings listed are connected by walkways.

Current lot information prior to CSM work:

- Lots 12 through 16 and 4 through 7, Capitol Lakes Health Center along 334 W Doty Street, 53703. Parcel Area total of 33,000 SF.
- Lots 10 through 12 and 7 through 9, Capitol Lakes Heights along 110 South Henry Street, 53703.
- Lots 1/2 and 17/18, Capitol Lakes Terraces along 345 W Main Street.
- Lots 3 through 7, Capitol Lakes Maingate along 333 West Main Street, Madison.

Existing Buildings on Campus (Block 50):

Health Center is a 39 bed Skilled Nursing currently attached to the Terraces building 44 feet to the west. This health center will be remodeled to serve as an assisted living facility on the third floor to replace the Terraces assisted living units. It is in conformance with the PUD-G.D.P. on file with your department. This property currently is restricted to one ownership and management. The ground coverage of this project is 29,164 sq ft. Setbacks are as follows: Doty Street – 0 ft.; Main Street – 122 ft.; Broom Street – 206 ft. The building is 44 feet in height as measured from the main entry level. There are 26 parking spaces provided within the building outline. The health center is attached to the Terraces building by an enclosed corridor.

Maingate is an independent facility at 333 W Main Street, which houses 52 units and 59 underground parking stalls. Maingate functions as the entrance into the campus for the public and that will remain the case after construction of the proposed building. This is also where residents of the Maingate and Heights buildings can enjoy the dining rooms, coffee/gift shop, library, aquatics, fitness and common rooms for social activities.

Heights is a 14 Story Tower along S Henry Street that is entered through an entrance plaza, which houses 216 independent living units and 27 parking stalls. Heights includes a dining room with kitchen, lounge, salon services and laundry.

Terraces existing assisted living building at 345 West Main Street, which currently houses 44 units. This will be replaced by a new 133,535 sq. ft. independent living facility featuring 49 units, thus expanding the campus. Current residents in the existing assisted living facility will be relocated into the existing skilled nursing facility to the north that will soon be under renovation to become an assisted living facility.

Comprehensive Plan:

The City of Madison Comprehensive Plan designates this site as a planned development. The Block is made up of 4 existing planned developments but is within the Downtown Core Zone. Our plan is to do an amendment for the planned development and CSM to omit any property lines within the block.

Existing Zoning:

The new proposed building is part of a planned development but is within the Downtown Core District.

To remain consistent with the requirements of the Downtown Core zoning code, the building will meet the following criteria:

Downtown Core District – 28.074

1) Statement of purpose

The DC District is established to recognize the Capitol Square, the State Street corridor, and surrounding properties as the center of governmental, office, educational, cultural, specialty retail and recreational activities for the City and the region. Residential uses are appropriate in some locations or in combination with other uses. This district is intended to allow intensive development with high-quality architecture and urban design.

6) Site Standards: New and Existing Development

a) New parking shall be located in parking structures. Surface parking lots are prohibited.

Downtown District – 28.071

3) Design Standards

c) Façade Articulation. The facades of new buildings more than forty (40) feet in width shall be divided into smaller vertical intervals through techniques including but not limited to the following:

1. Facade modulation, step backs, or extending forward of a portion of the facade.
2. Vertical divisions using different textures, materials, or colors of materials.
3. Variation in roof lines to reinforce the modulation or vertical intervals.

4. Arcades, awnings, window bays, arched windows, and balconies to reinforce the vertical intervals.

d) Story Heights and Treatments

1. For all buildings, the minimum ground story height is twelve (12) feet, measured from the sidewalk to the second story floor.
2. For ground-story residential uses, landscaping, steps, porches, grade changes, and low ornamental fences or walls or similar treatments shall be located between the sidewalk and the front door to create a private yard area.

e) Doors and Window Openings

1. For street-facing facades with ground story non-residential uses, the ground story door and window openings shall comprise a minimum of fifty percent (50%) of the facade area.
2. For street-facing facades with ground story residential uses, ground story openings shall comprise a minimum of fifteen percent (15%) of the facade area.
3. For all buildings, upper story openings shall comprise a minimum of fifteen percent (15%) of the facade area per story.
4. Garage doors and opaque service doors shall not count toward the above requirements.
5. Glass on all windows and doors shall be clear or slightly tinted, allowing views into and out of the interior. Spandrel glass may be used on service areas on the building.

f) Building Materials

1. Buildings shall be constructed of durable, high-quality materials. Table 28 E-1 below lists allowable building materials.
2. All building facades visible from a public street or public walkway shall use materials and design features similar to or complementary to those of the front facade. See Table 28-1.

g) Equipment and Service Area Screening

1. Outdoor loading areas or mechanical equipment are not permitted in the front yard. When visible from an abutting public street or walkway, they shall be screened by a decorative fence, wall, or screen of plant material.
2. Fences and walls shall be architecturally compatible with the principal structure.

h) Screening of Roof Top Equipment

1. All rooftop equipment, with the exception of solar and wind equipment, shall be screened from view from adjacent streets and public rights-of-way. Rooftop equipment shall be screened from view from adjacent buildings to the extent possible.

2. The equipment shall be within an enclosure. This structure shall be set back a distance of one and one-half (1½) times its height from any primary facade fronting a public street. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials. (Am. by ORD-15-00104, 10-15-15)

Zoning designations of adjacent parcels are as follow for 345 W Main Street:

North: PD

South: DR2

West: PD, Urban Mixed-Use (UMX)

East: PD; Downtown Residential 2 (DR2)

Sustainability:

The building is providing a green roof off the third floor (Over the second floor) in the NE corner of the building for storm management that is 1,363.9 sq ft. Please see landscape plans for more details on the green roof layouts and planting types.

Signage:

The building address will be provided at the end of the residential entrance canopy off of Main Street and a sign at the residential entrance door with the name of the wing, Bassett Place. The main campus sign is located at the public entrance to the new building, which is Maingate building on 333 W Main Street as that is the campus entrance for the site.

Schedule:

Beginning the construction phase last quarter of 2025 with completion first quarter of 2027. We are currently interviewing multiple local contractors to work with our team during design and through construction.

Transportation:

Bike:

The Capitol Lakes independent living project will include stalls for 5 Secured shared fleet Bicycles for resident/employee use, 47 secured resident bike storage and 5 exterior short term bikes stalls along the building resident entrance on Main Street. A bicycle maintenance station for on-site employees, tenants, residents and visitors. Tools and supplies will include a bicycle pump, wrenches, a chain tool, tire levers, hex keys/Allen wrenches, torx keys, screwdrivers, and spoke wrenches. The existing bike path on the west side of the development will remain and be maintained throughout construction.

Transit:

Bus stop on Broom Street will be maintained and provided with a new concrete pad/shelter. The current bus stops blue bench will be salvaged to be used somewhere else on site. 49 Metro Fast cards will be provided to residents as an incentive to take public transit. Commute cards will be provided to the employees.

Deliveries:

Mailboxes and a secure area for USPS, UPS, Fedex, and or Amazon deliveries will be provided in the resident lobby of Basset place of Main street..

Traffic Study:

A traffic impact analysis has been completed by TADI and was submitted to the City of Madison with this submission. The site requires 15 TDM points and we are providing 16 points, please see TDM attached.

Operations:

Capitol Lakes has been serving older adults from Madison and beyond since its founding in 1975 by Methodist Retirement Services. We are a not-for-profit 501(c)(3) organization operating as a Life Plan Community. Residents commonly move into an apartment and can transition to assisted living or skilled nursing if needed. Capitol Lakes is open 24/7 and provides its own maintenance, housekeeping and property management services. The proposed facility will employ a staff of three individuals, with operating hours from 7 a.m. to 5 p.m. Monday through Saturday, and limited staff on Sundays. The existing staff supporting the Terraces assisted living building will be reutilized for the new addition and for support in the skilled nursing building.

The Specific Implementation Plan

Project Name:

Capitol Lakes Retirement Community

Parcel Location:

345 West Main Street (345 Address number will be retired with the demo of 345 West Main streets current building on site and it will become, 351 W Main St.)

Madison, WI

Legal Description:

333 West Main	Site Parcel Number 60-0709-231-2116-8
345 W. Main Street	Original plat, SW ½ of Lot 2, Block 50; Site Parcel Number 60-0709-231-2118-4
334 West Doty Street	Site Parcel 60-0709-231-2128-3
110 S. Henry Street	Site Parcel Number 60-0709-231-2101-9

Description Furnished:

Parcel A:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 11, 12, 13, 14, 15, 16 ,17 and 18, Block 50, Madison, according to the recorded plat thereof, in the City of Madison, County of Dane, State of Wisconsin.

Metes and Bound Description:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 11, 12, 13, 14, 15, 16 ,17 and 18, Block 50, Madison, according to the recorded plat thereof, in the City of Madison, County of Dane, State of Wisconsin, more particularly described as follow;
Beginning at the southwest corner of said Lot 18, also being the northwest right of way of West Doty Street, also being the northwest right of way South Broom Street; thence North 43 degrees 48 minutes 44 seconds West along said northeast right of way, 265.42 feet to the southwest right of way West Main Street; thence North 45 degrees 57 minutes 50 seconds East along said southeast right of way, 596.22 feet to the southwest right of way of South Henry Street; thence South 48 degrees 48 minutes 39 second East along said southwest right of way, 265.22 feet to the aforementioned northwest right of way; thence South 45 degrees 56 minutes 40 seconds West along said northwest right of way, 596.21 feet to the point of beginning.

All of the buildings on Block 50 are located in the following lots:

- Lots 1 through 18 PD lines within the site will be omitted and property will become one lot.
- Lots 12 through 16 and 4 through 7, Capitol Lakes Health Center along 334 W Doty Street, 53703.
- Lots 10 through 12 and 7 through 9, Capitol Lakes Heights along 110 South Henry Street, 53703.
- Lots 1/2 and 15 through 18, Capitol Lakes Terraces along 345 W Main Street.

- Lots 3 through 7, Capitol Lakes Maingate along 333 West Main Street, Madison.

Development Description:

Capitol Lakes Retirement Community functions as a comprehensive campus consisting of four buildings, serving residents in independent living, assisted living, and skilled nursing.

Health Center is a 39bed Skilled Nursing currently attached to the Terraces building 44 feet to the west. This health center is being remodeled to be an assisted living facility on the third floor to replace the Terraces building units. It is in conformance with the PUD-G.D.P. on file with your department. This property currently is restricted to one ownership and management. The ground coverage of this project is 29,164 sq ft. Setbacks are as follows: Doty Street – 0 ft.; Main Street – 122 ft.; Broom Street – 206 ft. The building is 44 feet in height as measured from the main entry level. There are 26 parking spaces provided within the building outline. The health center is attached to the Terraces building by an enclosed corridor.

Maingate is an independent facility at 333 W Main Steet, which houses 52 units and 59 underground parking stalls. Maingate functions as the entrance into the campus for the public and that will remain the case after construction of the proposed building. This is also where residents of the Maingate and Heights buildings can enjoy the dining rooms, a coffee/gift shop, library, aquatics, fitness and common rooms for social activities.

Heights is a 14 Story Tower along S Henry Street that is entered through an entrance plaza, which houses 216 independent living units and 27 parking stalls. Heights includes a dining room with kitchen, lounge, salon services and laundry.

The proposed project involves the demolition of the existing Terraces assisted living building at 345 West Main Street, which currently houses 44 units. This will be replaced by a new 133,535 sq. ft. independent living facility featuring 49 units, thus expanding the campus. Current residents in the existing assisted living facility will be relocated into the existing skilled nursing facility to the north that is currently under renovation to become an assisted living facility.

The new independent living building will be connected to the Maingate building on West Main Street via a third-floor skybridge, providing seamless access for residents to the entire campus. The project will also include the construction of an underground parking garage with 58 parking stalls, replacing the existing five surface parking spaces.

Zoning Text *Applicant must submit 3 copies including the following:*

Height of proposed building(s)

Bulk of proposed building(s)

Signs

Lot width

Lot Area

Density

Family Definitions

Yards

Parking limitations & requirements

The building on 345 West Main Street is an existing assisted living building, which currently houses 44 units. This building will be demolished to make room for the proposed building and the address associated with it will be retired. The new building will receive the address 351 W. Main Street.

The new building at 351 W. Main Street will remain at the current allowed zoning height of stories and 60 feet. The building steps down with the slope of the site and was left at four stories to maintain views for Maingate and the Heights buildings on campus.

Our project is in the Downtown Core neighborhood, adjacent to the Bassett Neighborhood with a design intended to serve as a transition between these two distinct areas. The proposed exterior of the building will feature a combination of materials, including brick on the first floor, two stories of plank siding, and stucco on the fourth floor. The four-story structure will include a rooftop deck and ground-floor units along Broom Street, designed to evoke the character of a residential brownstone, fostering a seamless connection to the street and enhancing the neighborhood's architectural cohesion.

The building address will be provided at the end of the residential entrance canopy off of Main Street and a sign at the residential entrance door with the name of the wing, Bassett Place. The main campus sign is located at the public entrance to the new building, which is Maingate building on 333 W Main Street as that is the campus entrance for the site.

Lighting will be in conformance with the city of Madison standards for street and safety lighting. An appropriate standard for the Main street pedestrian corridor will be established to reflect the pedestrian orientation of the street. A standard for potential historic era lighting will be established for Broom, Doty and Henry streets to reflect the historic origins of the plat pattern, architecture and relationship to the capitol. All lighting will meet city of Madison standards for height, luminaire, cutoff, intensity, and patterns. Campus and landscape accent lighting will be submitted with the final electrical plans.

Lot width is not applicable. Capitol Lakes retirement community comprises all 18 lots and all of Block 50 will do a CSM to create one parcel/lot. Block 50 is 166,154 sf.

The site recognizes a thirty-foot required setback along Broom Street for potential expansion of the right-of-way from 66 feet to 96 feet from the Broom Street Widening Project which is in recommendation of the Bassett Neighborhood Plan. The Bassett Neighborhood Plan recommends that the city pursue the Broom Street Widening Project and conversion to two-way traffic to remove through traffic from Bassett Street and the interior of the Bassett Neighborhood. The neighborhood plan envisions Broom Street right-of-way expanding from 66 feet to 96 feet to all for a divided street with a median wide enough to accommodate the construction of left-turn lanes at intersections. Four lanes are also included in the cross section. This expansion is not currently anticipated by the city but the recognition of this thirty-foot setback at this time is appropriate and in the interest of the public welfare and the recommendations of the Bassett Neighborhood Plan. Several developments along Broom Street have recognized this setback and dedicated for the city future use.

All maintenance and upgrades to the entire site will be responsibility of Capitol Lakes retirement community. Please see operating plan attached for the operational structure, use, maintenance and continued protection of the development and any of its common services, common open areas, or other facilities.

The new building at 351 W Main Street will be a new 133,535 sq. ft. independent living facility featuring 49 units, thus expanding the campus. The site of the new proposed building is 53,558 square feet. The new independent living building will be connected to the Maingate building on West Main Street via a third-floor skybridge, providing seamless access for residents to the entire campus. The floor breakdown is below, which results in a floor area ratio of 2,725 SF/Unit.

Parking 32,494 SF

Lower Floor 24,409 SF

First Floor 24,068 SF

Second Floor 23,908 SF

Third Floor 24,066 SF

Roof Deck 4,589 SF

Private yards will be provided for some residents and the remaining courtyard will be integrated into existing courtyard between Maingate and the Health Center. Courtyards will be secured and dedicated to the residents and are shown on the site plan. Upper and lower courtyards will be connected by staircase and both will be connected to the public right of way. Courtyards are provided with walking paths and will have a retaining wall with greenery and trailing plants to grown down/up walls to provide lush green space for the residents. Two green roofs will be provided on the building and the residential entrance into the building. Given the nature of the courtyard for the new building being shared by the parking structure roof it will also be a green roof with paths.

Property includes an existing bus stop with bench and concrete pad along Broom Street. Plans include salvage of the existing bench for reuse on the site and an addition of a new concrete pad with accessible bus shelter. 5 Secured shared fleet Bicycles for resident/employee use, 47 secured resident bike storage, and 5 exterior short term bikes stalls along the building resident entrance on Main Street will be provided. A bicycle maintenance station for on-site employees, tenants, residents and visitors. Tools and supplies will include a bicycle pump, wrenches, a chain tool, tire levers, hex keys/Allen wrenches, torx keys, screwdrivers, and spoke wrenches. The existing bike path on the west side of the development will remain and be maintained throughout construction.

The project will also include the construction of an underground parking garage with 58 parking stalls, replacing the existing five surface parking spaces. Parking will be a ratio of 1.22 which will provide extra parking for employees and visitors of the building. Two accessible stalls will be provided with one being designated as a VAN parking stall. Electric vehicle parking to be provided for resident use.

Proposed Zoning Text

General Provisions

1) Statement of purpose

The DC District is established to recognize the Capitol Square, the State Street corridor, and surrounding properties as the center of governmental, office, educational, cultural, specialty retail and recreational activities for the City and the region. Residential uses are appropriate in some locations or in combination with other uses. This district is intended to allow intensive development with high-quality architecture and urban design.

2) Height and Setback requirements

- a) Building height within the downtown, as defined by the height map, Table 28E-3 establishes an 8 story height limit within and against the site. We propose to allow 8 story for the entirety of Block 50, with a max of 116 feet.
- b) Buildings must meet both the maximum number of stories in the Downtown Height Map and the maximum height in Table 28E-3. In the CV area in the Downtown Height Map, the maximum height shall be the Capitol View Preservation Limit.

Minimum front yard Setback	Nonresidential or mixed-use buildings: 0' or 5' (See note a. below) 0' if the distance between the curb and property line is equal to or greater than 15' or shown on the Setback Exceptions Map. A no-build easement may be used to achieve the 15' distance. 5' if the distance between the curb and property line is less than 15'. See (a) below and Downtown Setback Map and Setback Exceptions Map.
Maximum front yard setback	10 feet
Side yard setback	0' or 5' 0' if the distance between the curb and property line is equal to or greater than 15' or shown on the Setback Exceptions Map. A no-build easement may be used to achieve the 15' distance. 5' if the distance between the curb and property line is less than 15'. See (a) below and Downtown Setback Map and Setback Exceptions Map
Rear yard setback	10 Feet (See (a) below)
Maximum lot coverage	90%
Maximum height	8 Stories
Minimum Height	2 Stories

a. Thirty foot required setback along Broom Street for potential expansion of the right-of-way from 66 feet to 96 feet from the Broom Street Widening Project which is in recommendation of the Bassett Neighborhood Plan.

3) Design Standards.

- a) Façade Articulation. The facades of new buildings more than forty (40) feet in width shall be divided into smaller vertical intervals through techniques including but not limited to the following:
 - 5. Façade modulation, step backs, or extending forward of a portion of the façade.
 - 6. Vertical divisions using different textures, materials, or colors of materials.
 - 7. Variation in roof lines to reinforce the modulation or vertical intervals.
 - 8. Arcades, awnings, window bays, arched windows, and balconies to reinforce the vertical intervals.
- b) Story Heights and Treatments
 - 3. For all buildings, the minimum ground story height is twelve (12) feet, measured from the sidewalk to the second story floor.
 - 4. For ground-story residential uses, landscaping, steps, porches, grade changes, and low ornamental fences or walls or similar treatments shall be located between the sidewalk and the front door to create a private yard area.
- c) Doors and Window Openings.
 - 6. For street-facing facades with ground story non-residential uses, the ground story door and window openings shall comprise a minimum of fifty percent (50%) of the façade area.
 - 7. For street-facing facades with ground story residential uses, ground story openings shall comprise a minimum of fifteen percent (15%) of the façade area.
 - 8. For all buildings, upper story openings shall comprise a minimum of fifteen percent (15%) of the façade area per story.
 - 9. Garage doors and opaque service doors shall not count toward the above requirements.
 - 10. Glass on all windows and doors shall be clear or slightly tinted, allowing views into and out of the interior. Spandrel glass may be used on service areas on the building.
- d) Building Materials.
 - 3. Buildings shall be constructed of durable, high-quality materials. Table 28 E-1 below lists allowable building materials.
 - 4. All building facades visible from a public street or public walkway shall use materials and design features similar to or complementary to those of the front façade. See Table 28-1.
- e) Equipment and Service Area Screening.
 - 3. Outdoor loading areas or mechanical equipment are not permitted in the front yard. When visible from an abutting public street or walkway, they shall be screened by a decorative fence, wall, or screen of plant material.
 - 4. Fences and walls shall be architecturally compatible with the principal structure.
- f) Screening of Roof Top Equipment.
 - 3. All rooftop equipment, with the exception of solar and wind equipment, shall be screened from view from adjacent streets and public rights-of-way. Rooftop equipment shall be screened from view from adjacent buildings to the extent possible.

4. The equipment shall be within an enclosure. This structure shall be set back a distance of one and one-half ($1\frac{1}{2}$) times its height from any primary facade fronting a public street. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials. (Am. by ORD-15-00104, 10-15-15)

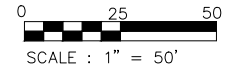
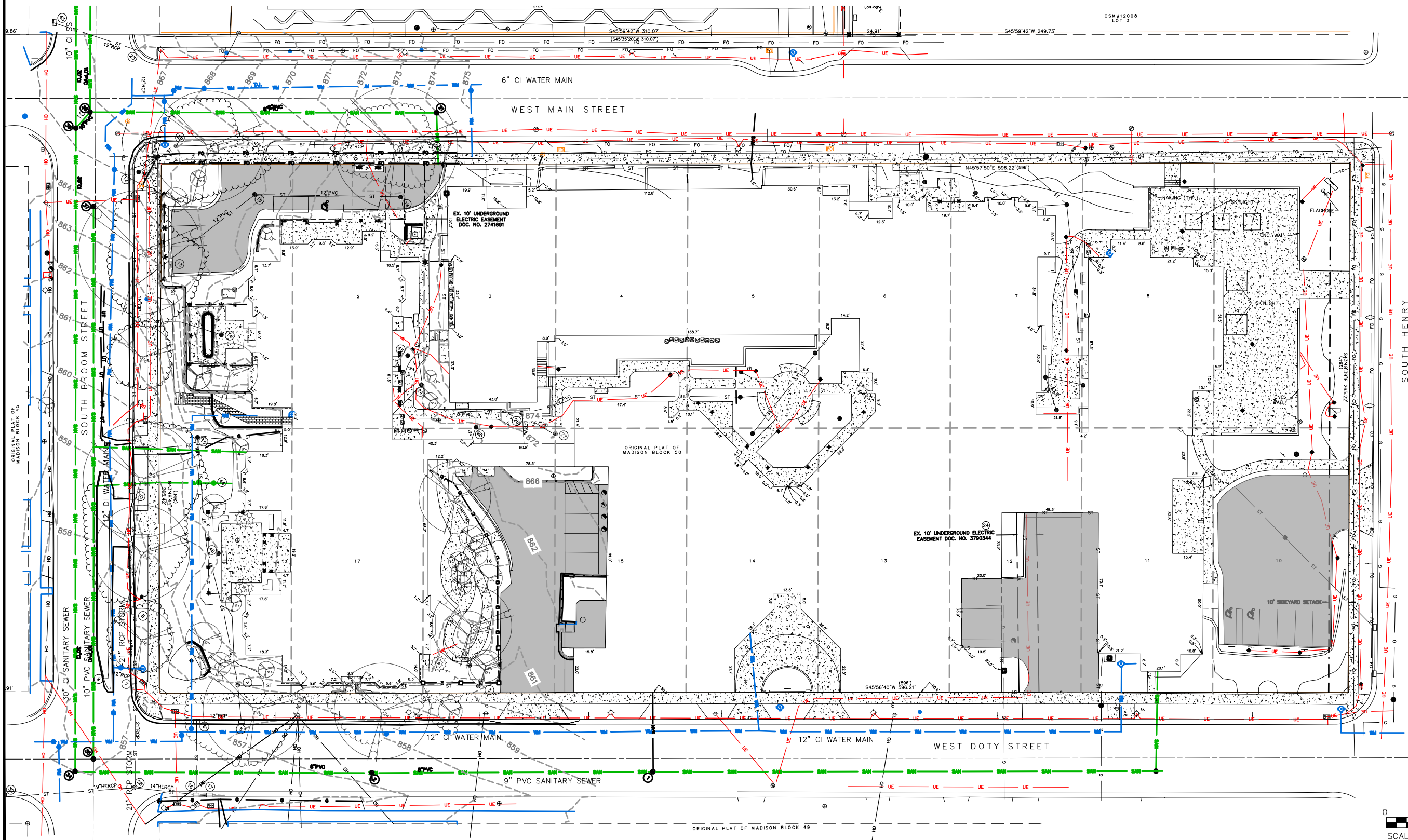
g) Site Standard: New and Existing Development.

- a) Parking shall be located in parking structures. Surface parking lots are prohibited.



TOPOGRAPHIC SURVEY

LOTS 1-3 AND LOTS 18, BLOCK 50, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST AND NORTHEAST QUARTERS OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



ISSUANCE/REVISION	DATE
UDC SUBMITTAL	02-25-25

818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
www.pe-wi.com

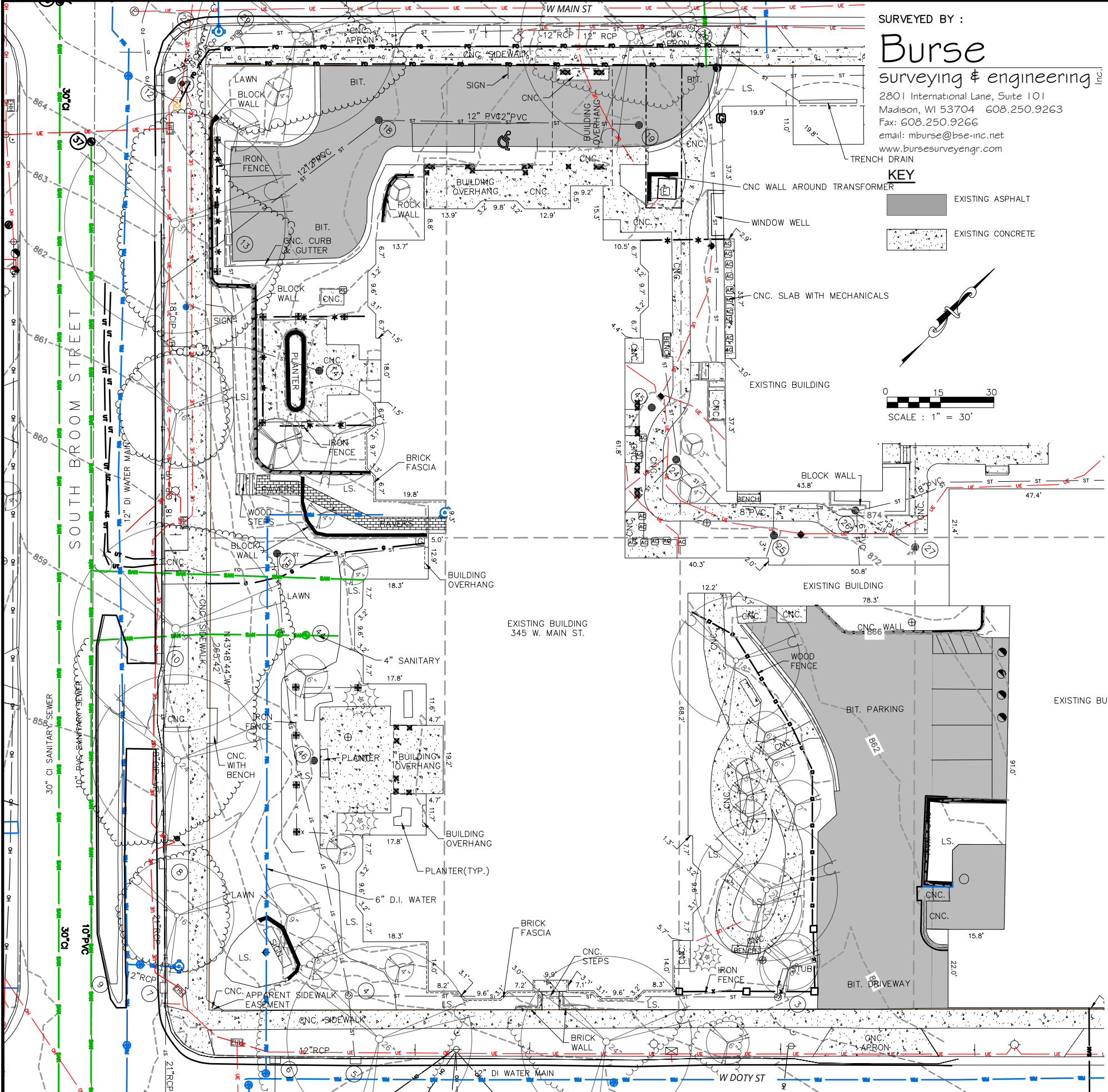


MADISON, WISCONSIN

PRs - CAPITOL LAKES
OVERALL EXISTING CONDITIONS

345 WEST MAIN STREET

C100

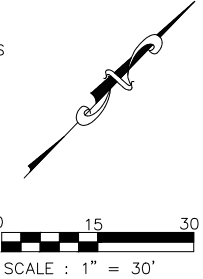


SURVEYED BY :
Burse
surveying & engineering Inc.
2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

KEY

EXISTING ASPHALT

EXISTING CONCRETE



STORM SEWER AND SANITARY SEWER ELEVATION TABLE

NUMBER	RIM/TC	ELEVATION	ELEVATION	ELEVATION	ELEVATION	DESCRIPTION
1	860.03	SW	860.98	NW	851.18	Sanitary Manhole
2	857.20	SW	850.00	NE	849.60	Sanitary Manhole
3	859.84	NW	856.74	SE	855.14	2 Storm Catch Basin
4	857.66	SE	854.01			2 Storm Catch Basin
5	857.32	SW	854.97			Storm Inlet
6	857.12	N	853.62	NE	854.37	Storm Inlet
7	857.51	NW	853.56	SE	853.31	Storm Inlet, Could Not See SW Pipe
8	858.13	NW	854.13	SE	854.08	Storm Inlet
9	857.35	NE	854.60			Storm Inlet With No Curb Head
10	859.20	NW	854.95	SE	854.95	Storm Inlet
11	865.63	FLR	857.73			Storm Manhole
12	865.53	SE	858.08			Storm Inlet Catch Basin, Could Only See The One Pipe
13	867.43	NE	862.03	SE	861.98	Storm Inlet
14	871.08	NW	866.68	SE	868.13	2 Storm Catch Basin
15	861.48	NE	859.18	SE	853.22	2 Storm Catch Basin
16	856.57	NW	853.32	NE	853.07	Storm Inlet
17	856.45	NE	854.15	SW	853.35	Storm Inlet
18	868.60	NE	864.70	SE	863.70	2 Storm Catch Basin
19	871.80	SW	866.45			2 Storm Catch Basin
20	873.19	SW	867.29	W	866.39	Storm Manhole
21	873.99	NE	863.89	SE	864.29	Sanitary Manhole
22	866.15	N	859.50	S	859.45	Storm Inlet
23	866.89	NE	862.89	S	860.14	Storm Inlet
24	869.99	NW	867.09	SE	867.14	2 Storm Catch Basin
25	870.44	NW	868.09	SE	868.19	2 Storm Catch Basin
26	872.23	NE	864.93	SE	865.88	2 Storm Catch Basin
27	871.92	FLR	869.72			2 Storm Catch Basin, Open Structure With No Pipes In Sight
28	856.61	FLR	851.51			Storm Manhole, Open Structure With No Pipes In Sight
29	866.95	NE	860.60	SE	861.65	Storm Manhole
30	856.52	SW	853.77	FLR	852.72	Storm Inlet, Open Structure and Couldn't See Any Other Pipes
34	856.97	NW	842.67	NE	842.77	Sanitary Manhole
35	857.03	NW	848.28	NE	848.53	Sanitary Manhole
37	863.90	SE	849.85			Sanitary Manhole
38	865.78	NW	849.93	NE	850.13	Sanitary Manhole
39	865.23	NW	843.08	NE	850.48	Sanitary Manhole
43	865.90	E	861.00			Storm Inlet
44	862.50		Unable to get a depth			2 Manhole (Possible Grease Trap)
45	870.87	SE	869.67	Pipe goes straight down into a 90 degree bend.		1 x 1' Storm Catch Basin
46	861.20	SE	857.10	W	857.15	2 Storm Catch Basin

- NOTES:**
- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
 - 2) No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - 3) Dates of field work: 12-17-2024 and 01-06-2025
 - 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 - 5) All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
 - 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
 - 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
 - 8) Elevations are based upon NAVD88 datum. Elevations are transferred to the site utilizing RTK GPS surveying while observing the WSCORS Network. WI GEOID 12

LEGEND

AC

 AIR CONDITIONER

TV

 TV PEDESTAL

EP

 ELECTRIC PEDESTAL

UP

 UTILITY POLE

GL

 GROUND LIGHT

TP

 TELEPHONE PEDESTAL

FH

 FIRE HYDRANT

S

 SIGN

GW

 GUY WIRE

B

 BOLLARD

SSI

 STORM SEWER INLET

EM

 ELECTRIC MANHOLE

TM

 TELEPHONE MANHOLE

SSM

 STORM SEWER MANHOLE

RCB

 ROUND CATCH BASIN

SSM

 SANITARY SEWER MANHOLE

BP

 BITUMINOUS PAVEMENT

CNC

 CONCRETE PAVEMENT

()

 INDICATES RECORDED AS

X 851.2

 SPOT ELEVATION

OH

 OVERHEAD UTILITY WIRE

G

 BURIED GAS LINE

WM

 WATER MAIN

SS

 SANITARY SEWER

ST

 STORM SEWER

UT

 BURIED TELEPHONE

BE

 BURIED ELECTRIC

WTV

 BURIED CABLE ACCESS TELEVISION LINE

FO

 BURIED FIBER OPTIC

WV

 WATER VALVE

GV

 GAS VALVE

GM

 GAS METER

DT

 DECIDUOUS TREE (DBH IN INCHES)

CT

 CONIFEROUS TREE (DBH IN INCHES)

TD

 TREE DRIP LINE

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

DATE
02-25-25

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UDC SUBMITTAL

818 N Meadowbrook Ln
Waunakee, WI 53597
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www.pe-wi.com

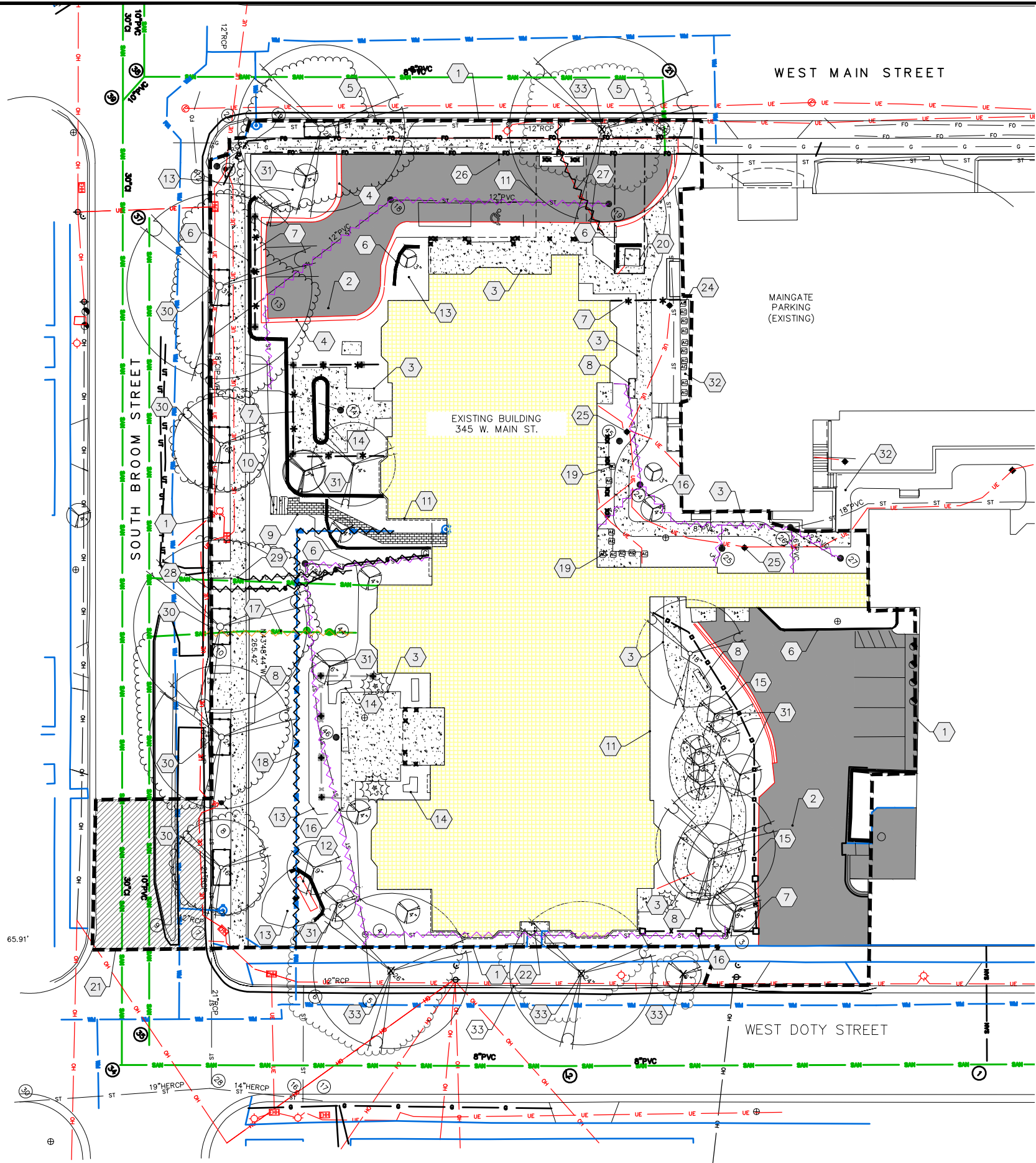
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ENGINEERING**
LLC

MADISON, WISCONSIN

345 WEST MAIN STREET

PRS - CAPITOL LAKES
EXISTING CONDITIONS

C101



NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO START OF DEMOLITION/ CONSTRUCTION. CONTRACTOR TO PAY FOR PRIVATE LOCATES.
- B. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING TREES, STUMPS, ROOTS, AND OTHER ITEMS THAT ARE NOT NOTED TO REMAIN PER THE CONSTRUCTION DRAWINGS AND WHICH INTERFERE WITH NEW CONSTRUCTION.
- C. GENERAL CONTRACTOR TO DISPOSE OF ALL DEMOLITION / CONSTRUCTION MATERIALS OFF SITE IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED.
- D. ALL MATERIALS, UTILITIES, AND SIDEWALK DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- E. CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALK, ETC.) THAT ARE TO REMAIN.
- F. RESTORATION OF LAWN AREAS WITHIN THE PROJECT LIMITS IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE SITE IMPROVEMENTS.

STREET TREE NOTES:

1. STREET TREE ZONING FENCING IS REQUIRED FOR THIS PROJECT
2. FENCING SHALL BE ERECTED PRIOR TO DEMOLITION, GRADING OR CONSTRUCTION BEGINS.
3. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF THE TERRACE, AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK.
4. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
5. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE.
6. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

KEY

- REMOVE EXISTING ASPHALT
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING BUILDING
- REMOVE CURB AND GUTTER/CURB

NOTE:

RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS

PLAN KEY

- 1 CONSTRUCTION LIMITS
- 2 REMOVE ASPHALT
- 3 REMOVE CONCRETE, TYPICAL
- 4 REMOVE CURB AND GUTTER
- 5 EXISTING DRIVEWAY TO BE ABANDONED IN ACCORDANCE WITH CITY STANDARDS W/ CURB REPLACED & TERRACE RESTORED
- 6 REMOVE RETAINING WALL
- 7 REMOVE IRON FENCE
- 8 REMOVE BENCH
- 9 REMOVE PAVERS
- 10 REMOVE WOOD STEPS
- 11 REMOVE BUILDING AND OVERHANG
- 12 REMOVE SIGN
- 13 REMOVE EXISTING LANDSCAPING, TYPICAL
- 14 REMOVE PLANTER, TYPICAL
- 15 REMOVE WOOD FENCE
- 16 REMOVE EXISTING STORM SEWER, TYPICAL
- 17 REMOVE EXISTING SANITARY SEWER IN ACCORDANCE WITH CITY STANDARD
- 18 REMOVE EXISTING WATER SERVICE IN ACCORDANCE WITH CITY STANDARDS
- 19 REMOVE AC UNITS, TYPICAL
- 20 REMOVE/RELOCATE EXISTING TRANSFORMER. CONTRACTOR TO COORDINATE WORK WITH ELECTRIC UTILITY.
- 21 UTILITY PATCH PER CITY REQUIREMENTS (SEE UTILITY PLAN)
- 22 REMOVE STAIRS, TYPICAL
- 23 REMOVE CONCRETE WALL
- 24 AC UNITS SERVING EXISTING BUILDING TO REMAIN
- 25 REMOVE LIGHT POLE AND BASE, TYPICAL
- 26 REMOVE SIGNAGE, TYPICAL
- 27 REMOVE/ABANDON ELECTRIC LINE, TYPICAL. CONTRACTOR TO COORDINATE WORK WITH ELECTRIC UTILITY.
- 28 REMOVE/ABANDON GAS LINE, TYPICAL. CONTRACTOR TO COORDINATE WORK WITH GAS UTILITY.
- 29 REMOVE/ABANDON COMMUNICATION LINE/PEDESTAL TYPICAL. CONTRACTOR TO COORDINATE WORK WITH TELECOM UTILITY.
- 30 PRESERVE AND PROTECT STREET TREES (SEE STREET TREE NOTE)
- 31 REMOVE TREES AND LANDSCAPING WITHIN THE PROPERTY AND CONSTRUCTION LIMITS, TYPICAL. THIS DOES NOT INCLUDE TREES IN THE RIGHT OF WAY
- 32 CONCRETE TO REMAIN
- 33 REMOVE AND REPLACE EXISTING TREE

PRS - CAPITOL LAKES
DEMOLITION PLAN

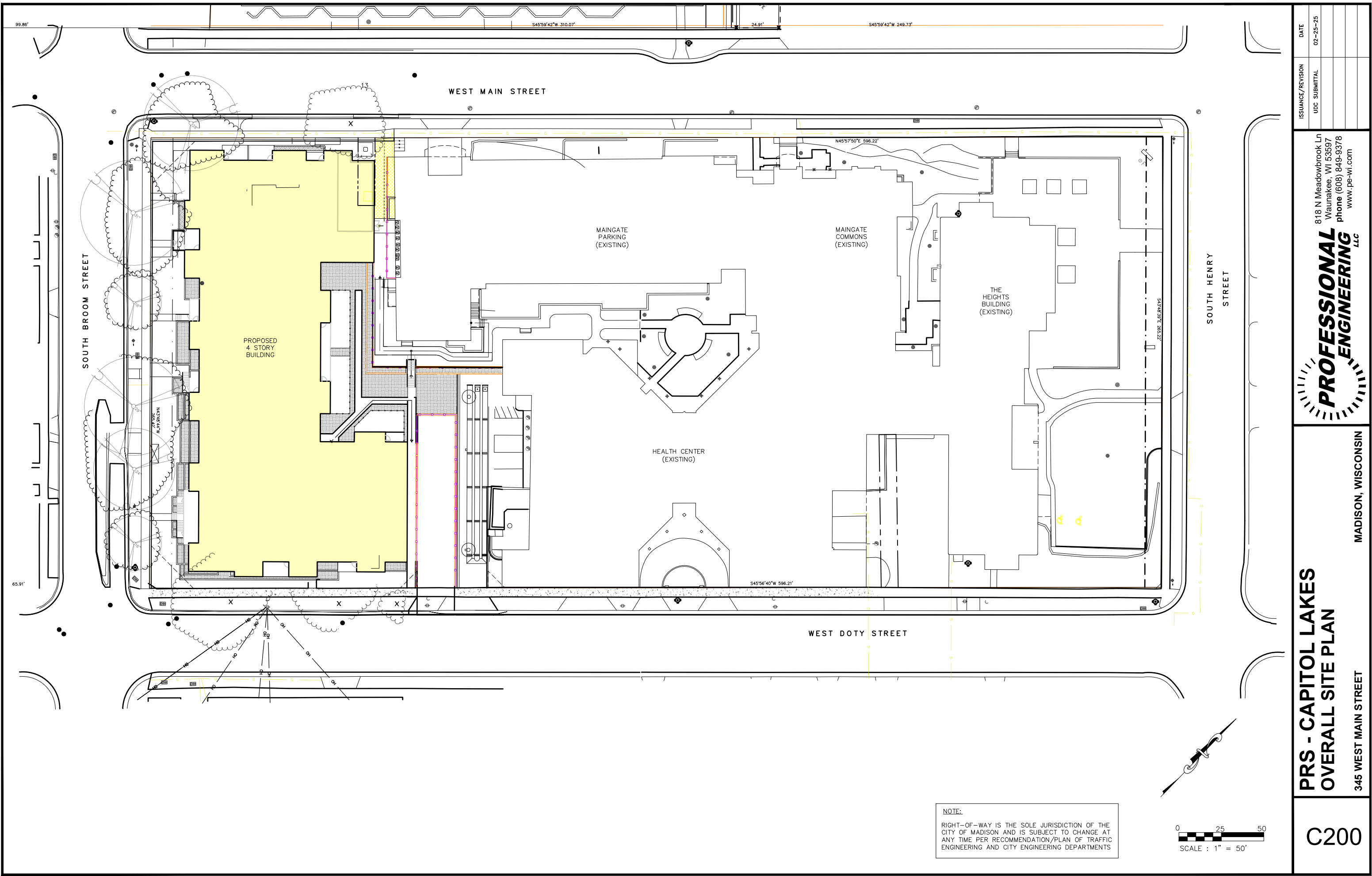
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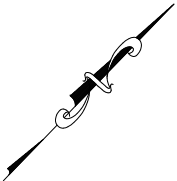
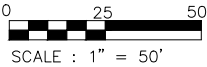
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UDC SUBMITTAL	02-25-25

C102



NOTE:
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PRS - CAPITOL LAKES
OVERALL SITE PLAN

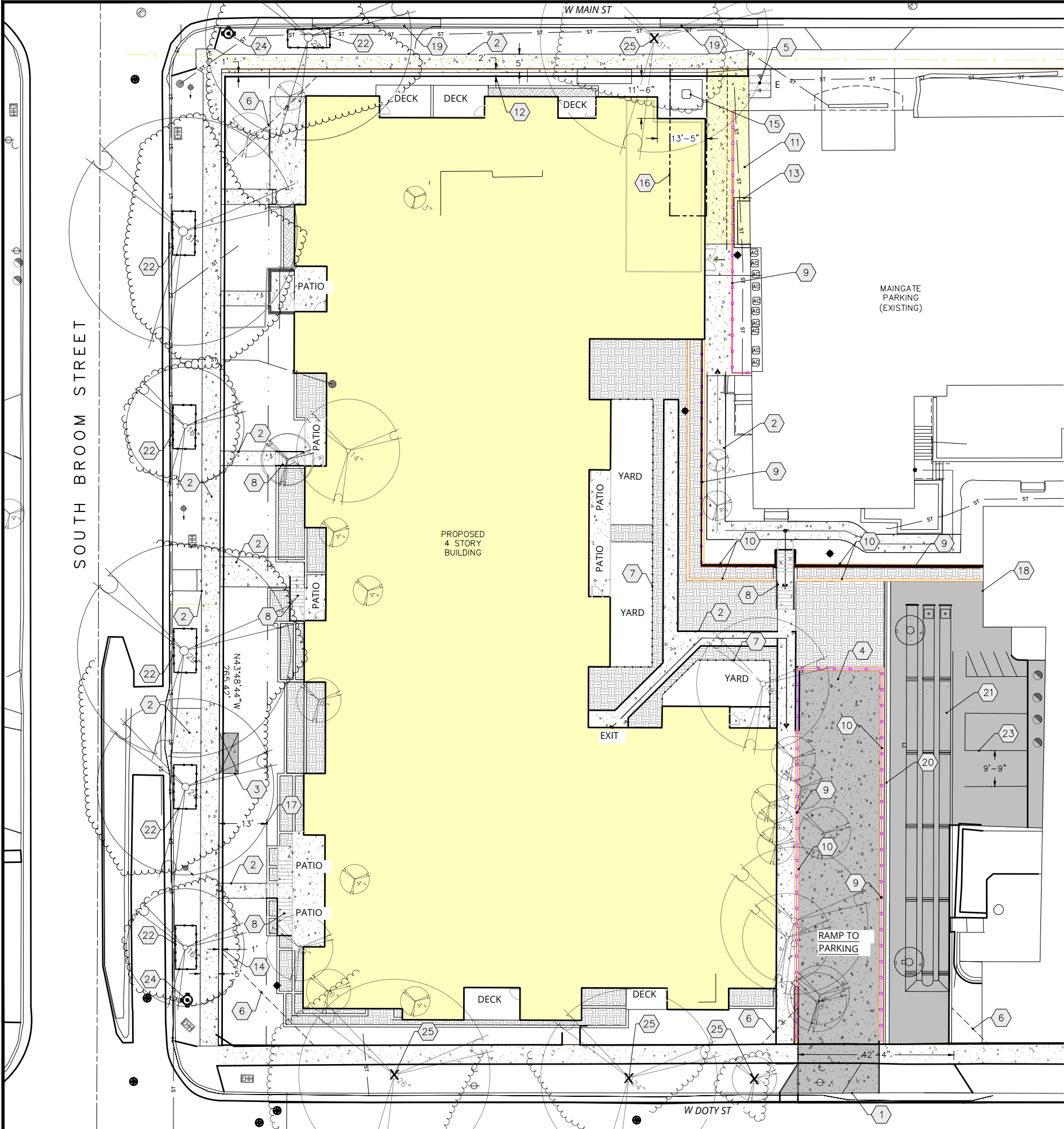
345 WEST MAIN STREET

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818 N Meadowbrook Ln
Waukegan, WI 53597
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STREET TREE NOTES:

- A. STREET TREE ZONING FENCING IS REQUIRED FOR THIS PROJECT
- B. FENCING SHALL BE ERECTED PRIOR TO DEMOLITION, GRADING OR CONSTRUCTION BEGINS.
- C. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF THE TERRACE, AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK.
- D. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- E. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE.
- F. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

KEY

- ASPHALT PAVEMENT
- CONCRETE
- CONCRETE PAVEMENT
- PLANTERS
- GREEN ROOF

SITE INFORMATION

SITE ADDRESS: 345 W MAIN STREET
SITE ACREAGE TOTAL: 156,142 SF (3.58 ACRES)
NUMBER OF BUILDING STORIES = 4
BUILDING AREA = 24,425 GSF
EXISTING IMPERVIOUS AREA = 121,241 SF
EXISTING IMPERVIOUS SURFACE % = 77.6%
PROPOSED IMPERVIOUS AREA = 126,039 SF
BUILDING = 89,538 SF
PAVEMENT/SIDEWALK = 30,103 SF
IMPERVIOUS SURFACE % = 80.7%
NUMBER OF PARKING STALLS: 60
TOTAL BIKE PARKING: 6 STALLS

PLAN KEY

- 1 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH CITY STANDARDS. CONTRACTOR TO OBTAIN STREET EXCAVATION PERMIT FROM THE CITY TO WORK IN THE RIGHT-OF-WAY
- 2 CONCRETE SIDEWALK, TYP.
- 3 BUS SHELTER
- 4 CONCRETE PAVEMENT
- 5 BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
- 6 VISION TRIANGLE
- 7 4' HIGH WOOD FENCE
- 8 STAIR W/METAL RAILING BOTH SIDES
- 9 METAL GUARDRAIL
- 10 CONCRETE RETAINING WALL
- 11 METAL CANOPY WITH SIGNAGE (OPEN AIR)
- 12 2' PROPERTY LINE ADJUSTMENT
- 13 EXISTING GRATE FOR GARAGE EXHAUST TO REMAIN
- 14 1' PROPERTY LINE ADJUSTMENT
- 15 TRANSFORMER
- 16 EXISTING 10' WIDE ELECTRIC EASEMENT TO BE RELOCATED
- 17 13' RESERVATION SETBACK
- 18 REPAIR SKILLED NURSING WALL AFFECTED BY BRIDGE DEMOLITION
- 19 30" CURB AND GUTTER
- 20 18" CURB AND GUTTER
- 21 UNDERGROUND RETENTION SYSTEM
- 22 PRESERVE AND PROTECT STREET TREE (SEE STREET TREE NOTES)
- 23 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 24 EXISTING HYDRANT
- 25 REMOVE AND REPLACE EXISTING TREE

NOTE:

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DATE
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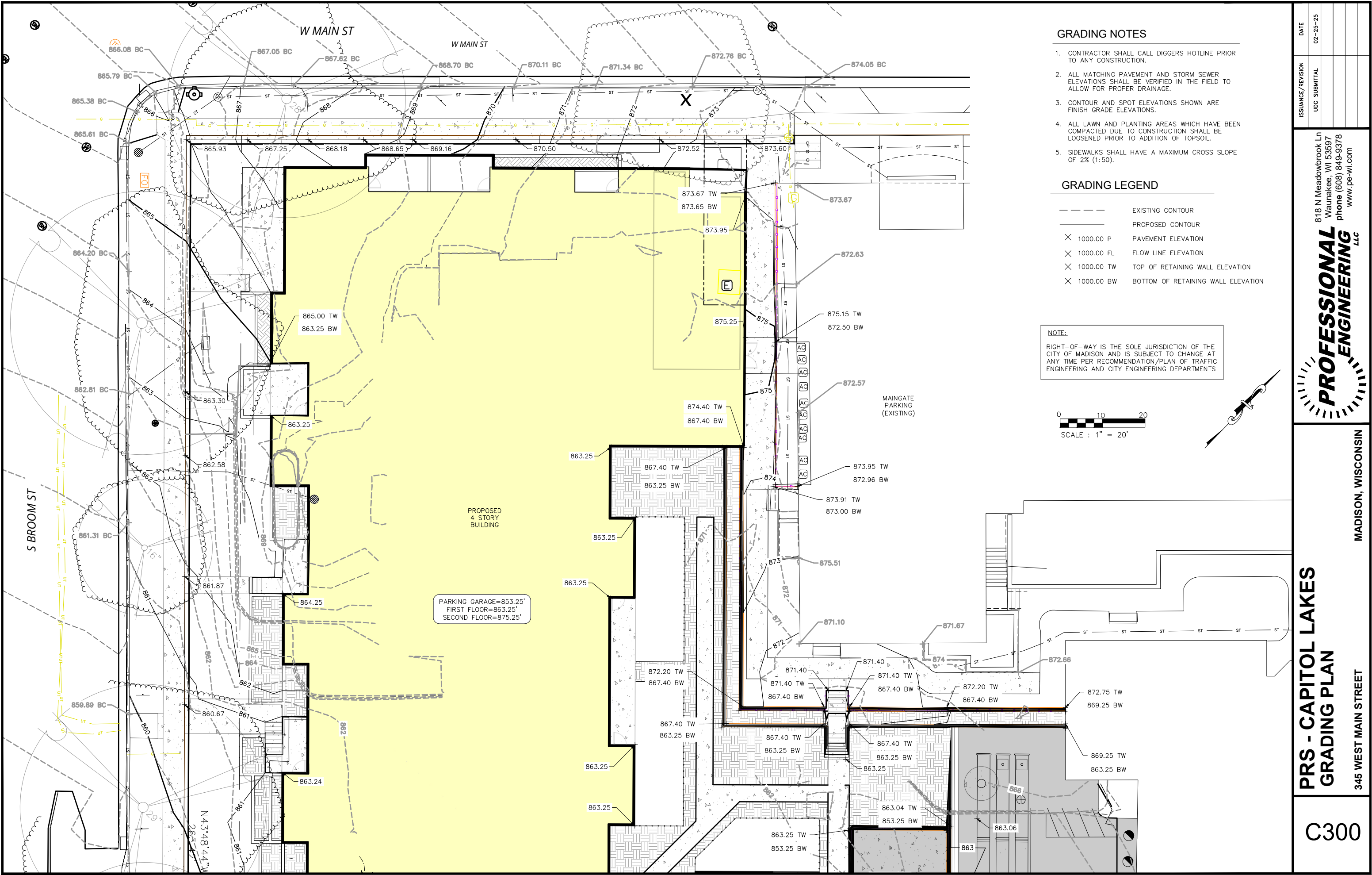
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PRIS - CAPITOL LAKES
SITE PLAN

MADISON, WISCONSIN

345 WEST MAIN STREET

C201



GRADING NOTES

- 1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- 2. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- 3. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- 4. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.
- 5. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% (1:50).

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- X 1000.00 P PAVEMENT ELEVATION
- X 1000.00 FL FLOW LINE ELEVATION
- X 1000.00 TW TOP OF RETAINING WALL ELEVATION
- X 1000.00 BW BOTTOM OF RETAINING WALL ELEVATION

NOTE:
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0 10 20
SCALE : 1" = 20'

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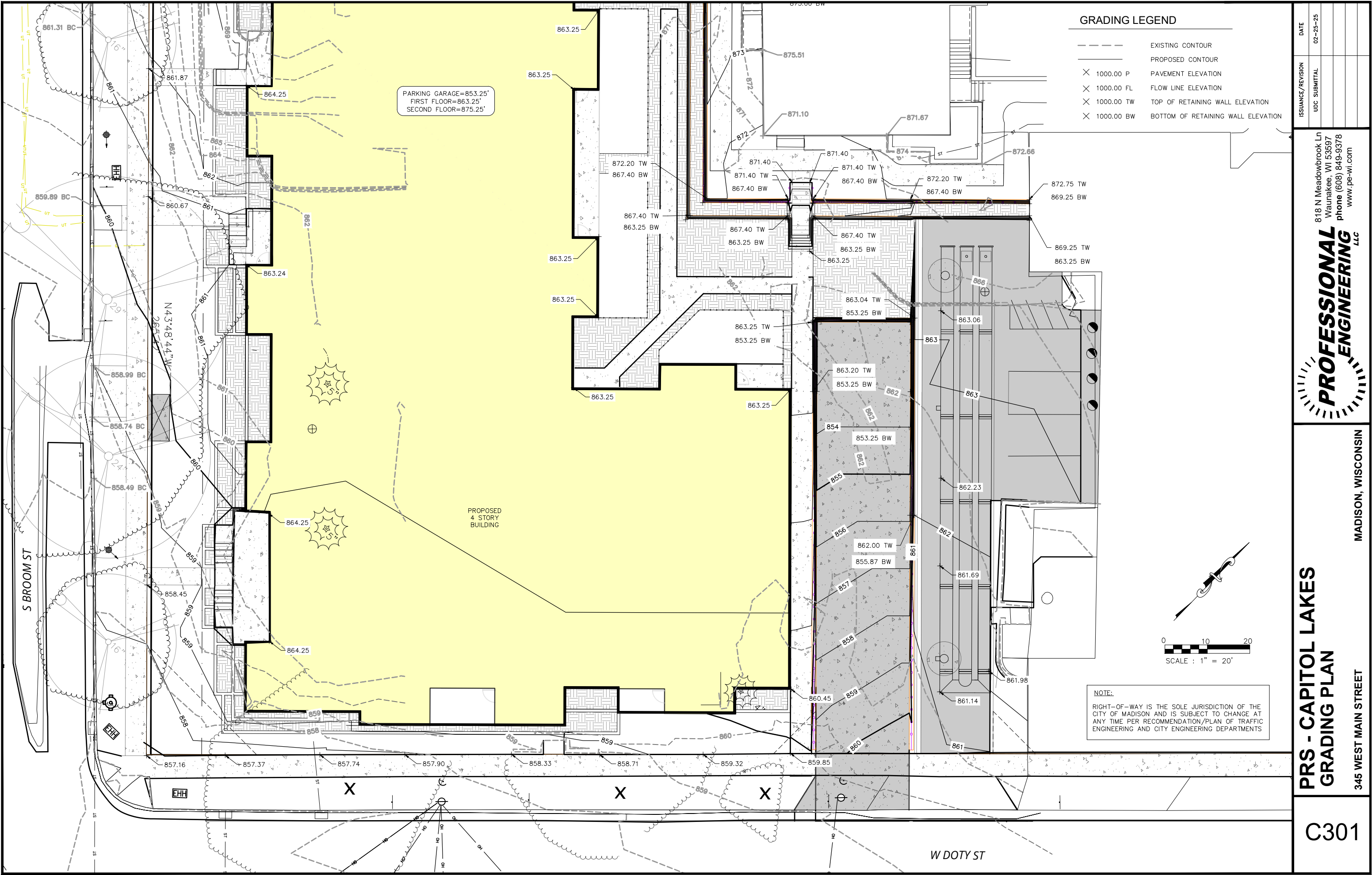
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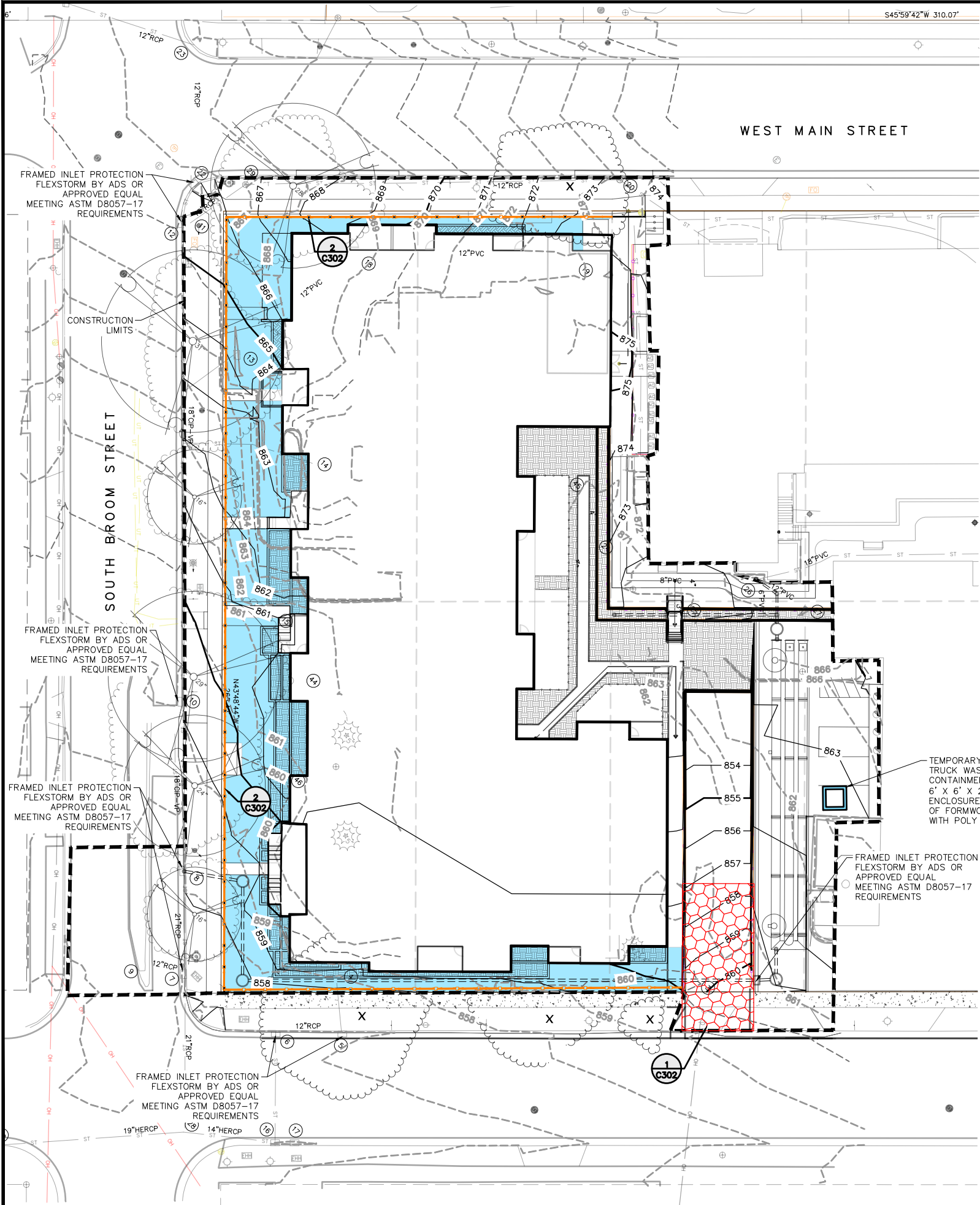
345 WEST MAIN STREET

PRS - CAPITOL LAKES
GRADING PLAN

C300

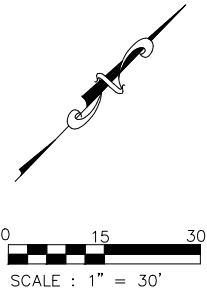
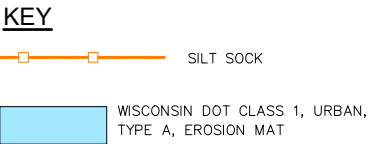
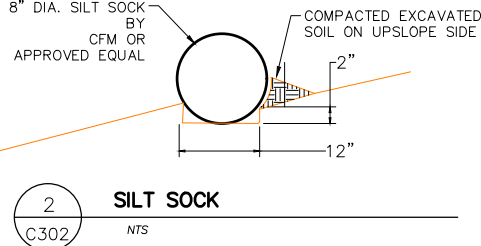
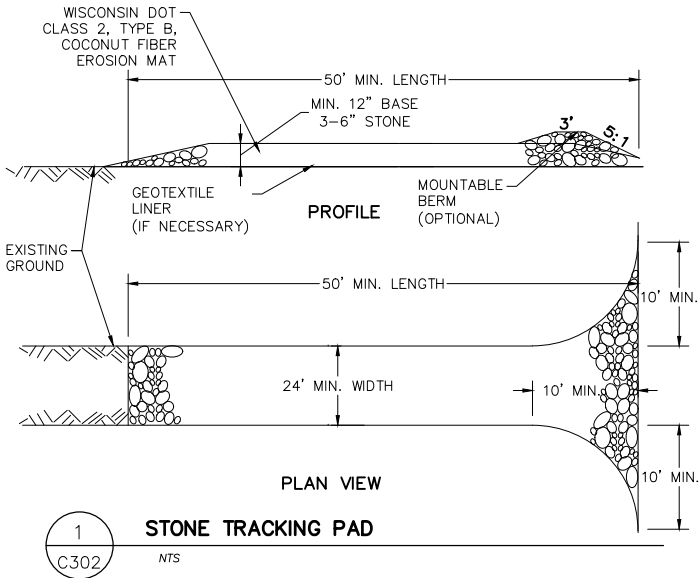


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	UDC SUBMITTAL	02-25-25
PRS - CAPITOL LAKES GRADING PLAN		C301
MADISON, WISCONSIN		345 WEST MAIN STREET



EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- 2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE COUNTY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- 3. CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- 4. RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE COUNTY.
- 5. INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- 6. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH FRAMED INLET PROTECTION MEETING ASTM D8057-17 REQUIREMENTS. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- 7. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT AS NOTED.
- 8. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- 9. STABILIZATION. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADING.
- 10. TOPSOIL. A MINIMUM OF 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
- 11. SEEDING. LAWN AREAS SHALL BE FINISH GRADED AND SEEDED AT A RATE OF 4 LBS. PER 1,000 SQ. FT. BASIS OF DESIGN: MADISON PARKS LAWN SEED MIX. EARTHCARPET CORPORATION. (WWW.SEEDSOLUTIONS.COM). ALL STRAW MULCH MUST BE CRIMPED IN.
- 12. STOCKPILES. ALL STOCKPILES MUST BE TEMPORARILY STABILIZED WITHIN 7 DAYS OF LAST ACTIVITY AND PROTECTED WITH PERIMETER CONTROL INSTALLED 5' FROM THE TOE OF THE PILE.



DATE
02-25-25

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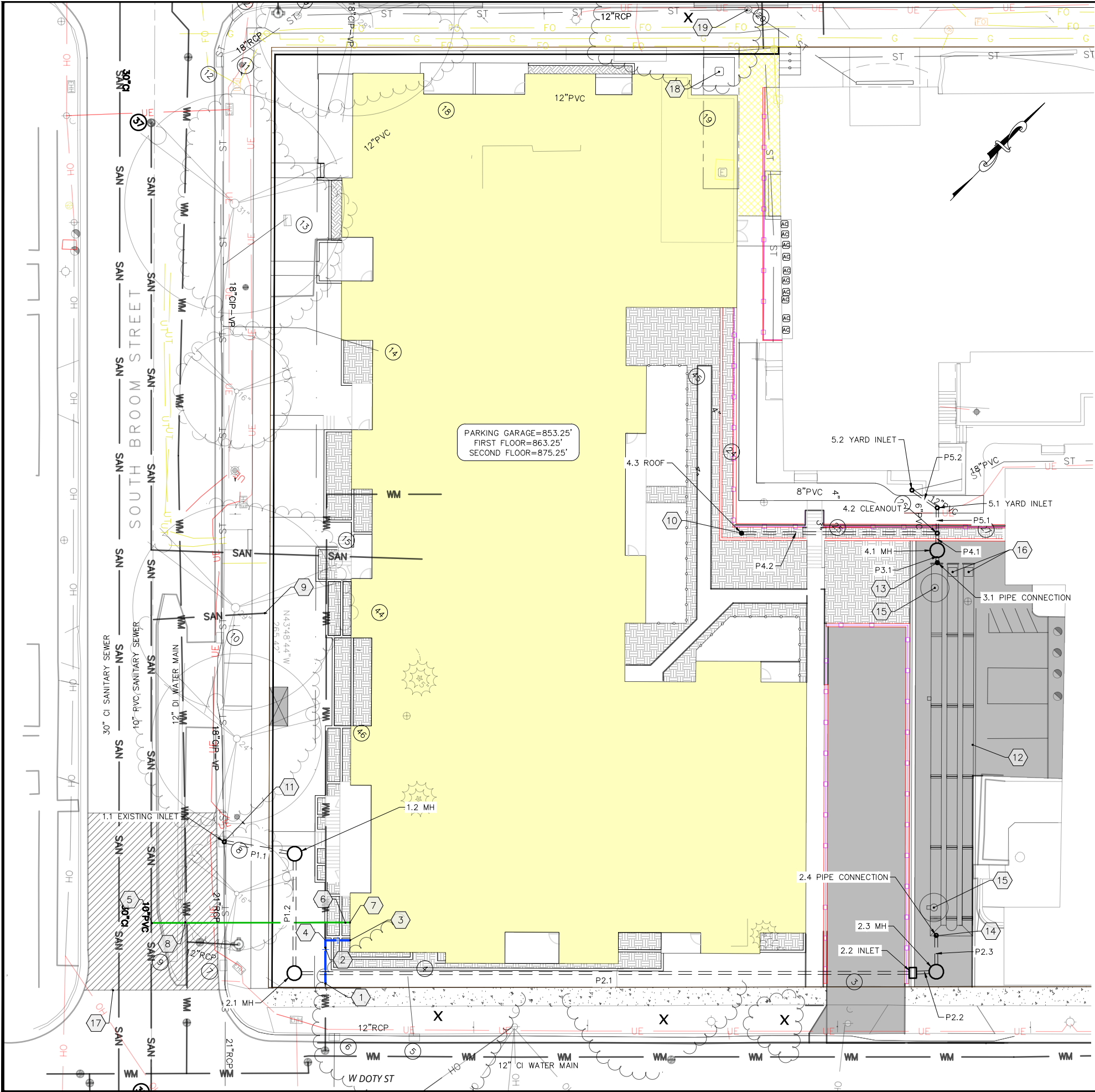
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MADISON, WISCONSIN

345 WEST MAIN STREET

PRS - CAPITOL LAKES
EROSION CONTROL PLAN

C302

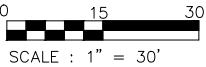


UTILITY NOTES

- A. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- B. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- C. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
- D. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- E. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- F. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- G. ALL STORM SEWER PIPE TO BE ADS N-12 OR SDR-35 PIPE AS NOTED ON THE STORM SEWER SCHEDULE. ALL BRANCH CONNECTIONS TO BE WYES WITH 45 DEGREE BENDS.
- H. DRAIN BASINS 18" IN DIAMETER OR SMALLER TO BE ADS NYLOPLAST OR APPROVED EQUAL. NYLOPLAST DRAIN BASIN GRATES TO BE BRONZE.
- I. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- J. ALL WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON. FITTINGS TO HAVE MEGA-LUG CONNECTIONS. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
- K. SANITARY SEWER MAIN AND SERVICES SHALL BE SDR-35 PVC. MANHOLES TO BE PRECAST WITH RUBBER BOOTS.
- L. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- M. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- N. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.
- O. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRAVING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- P. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- Q. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
- R. CLEANOUTS WILL REQUIRE FROST SLEEVES.
- S. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

PLAN KEY

- 1 CONNECT TO EXISTING 6" WATER LATERAL PER CITY STANDARDS
- 2 6" D.I. WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- 3 CONNECT TO BUILDING WATER SERVICE, SEE PLUMBING PLANS
- 4 WATER BEND, TYPICAL
- 5 CONNECT TO EXISTING 10" SANITARY MAIN IN ACCORDANCE WITH CITY STANDARDS
- 6 SANITARY CLEANOUT, TYPICAL
- 7 CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
- 8 6" SANITARY SEWER AT 1.1% SLOPE MINIMUM, VERIFY SIZE WITH ARCHITECT
- 9 ABANDON EXISTING 4" SANITARY LATERAL IN ACCORDANCE WITH CITY STANDARDS
- 10 CONNECT TO ROOF DRAINAGE SYSTEM. CONTRACTOR TO VERIFY WITH FINAL DRAIN LOCATION WITH ARCHITECT PRIOR TO CONNECTING
- 11 CONNECT TO STORM SEWER IN ACCORDANCE WITH CITY STANDARDS
- 12 UNDERGROUND STORAGE CHAMBERS
- 13 CONNECT TO 10" INLET PIPE STUB
- 14 CONNECT TO 10" OUTLET PIPE STUB
- 15 24" RISER, WITH NEENAH R-1556-A SOLID LID
- 16 6" CLEANOUT
- 17 UTILITY PATCH IN ACCORDANCE WITH CITY STANDARDS W/CURB AND ASPHALT REPLACED AND TERRACE RESTORED
- 18 TRANSFORMER. COORDINATE FINAL LOCATION WITH MG&E
- 19 REPLACE EXISTING STORM INLET AS NEEDED TO MATCH NEW GRADE



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PRs - CAPITOL LAKES
UTILITY PLAN

345 WEST MAIN STREET

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STRUCTURE TABLE					
STRUCTURE NAME	SIZE	RIM*	PIPES IN	PIPES OUT	CASTING
1.1 EXISTING INLET	EXISTING STRUCTURE	854.88	P1.1, 10" INV IN =854.00		
1.2 MH	4-FT DIA. CB	858.69	P1.2, 10" INV IN =854.60	P1.1, 10" INV OUT =854.60	NEENAH R-1550
2.1 MH	4-FT DIA. CB	857.68	P2.1, 10" INV IN =854.93	P1.2, 10" INV OUT =854.93	NEENAH R-1550
2.2 INLET	2X3-FT	860.57	P2.2, 10" INV IN =856.68	P2.1, 10" INV OUT =856.68	NEENAH R-3067
2.3 MH	4-FT DIA. CB	861.05	P2.3, 10" INV IN =856.75	P2.2, 10" INV OUT =856.75	NEENAH R-1550
2.4 PIPE CONNECTION	CONNECT TO STORAGE CHAMBERS	861.26		P2.3, 10" INV OUT =856.80	
3.1 PIPE CONNECTION	CONNECT TO STORAGE CHAMBERS	863.20	P3.1, 10" INV IN =859.00		
4.1 MH	4-FT DIA. CB	863.23	P4.1, 10" INV IN =859.29	P3.1, 10" INV OUT =859.29	NEENAH R-1550
4.2 CLEANOUT	CLEANOUT	866.03	P4.2, 10" INV IN =859.34 P5.1, 8" INV IN =865.00	P4.1, 10" INV OUT =859.34	
4.3 ROOF	CONNECT TO ROOF DRAIN	860.93		P4.2, 10" INV OUT =860.00	
5.1 YARD INLET	8" BASIN	872.43	P5.2, 8" INV IN =867.00	P5.1, 8" INV OUT =865.07	8" GRATE
5.2 YARD INLET	8" BASIN	872.27		P5.2, 8" INV OUT =867.09	8" GRATE

*RIM IS FLOW LINE FOR CURB INLETS, RIM FOR CATCH BASINS AND YARD DRAINS, AND GROUND SURFACE FOR OTHERS.

PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	10"	21'	3.00%	SDR 35	854.60'	854.00'
P1.2	10"	34'	0.98%	SDR 35	854.93'	854.60'
P2.1	10"	175'	1.00%	SDR 35	856.68'	854.93'
P2.2	10"	7'	1.08%	SDR 35	856.75'	856.68'
P2.3	10"	11'	0.53%	SDR 35	856.80'	856.75'
P3.1	10"	4'	8.28%	SDR 35	859.29'	859.00'
P4.1	10"	5'	1.10%	SDR 35	859.34'	859.29'
P4.2	10"	56'	1.19%	SDR 35	860.00'	859.34'
P5.1	8"	8'	1.00%	SDR 35	865.07'	865.00'
P5.2	8"	9'	1.00%	SDR 35	867.09'	867.00'

PRS - CAPITOL LAKES
STORM SEWER SCHEDULE

345 WEST MAIN STREET

MADISON, WISCONSIN

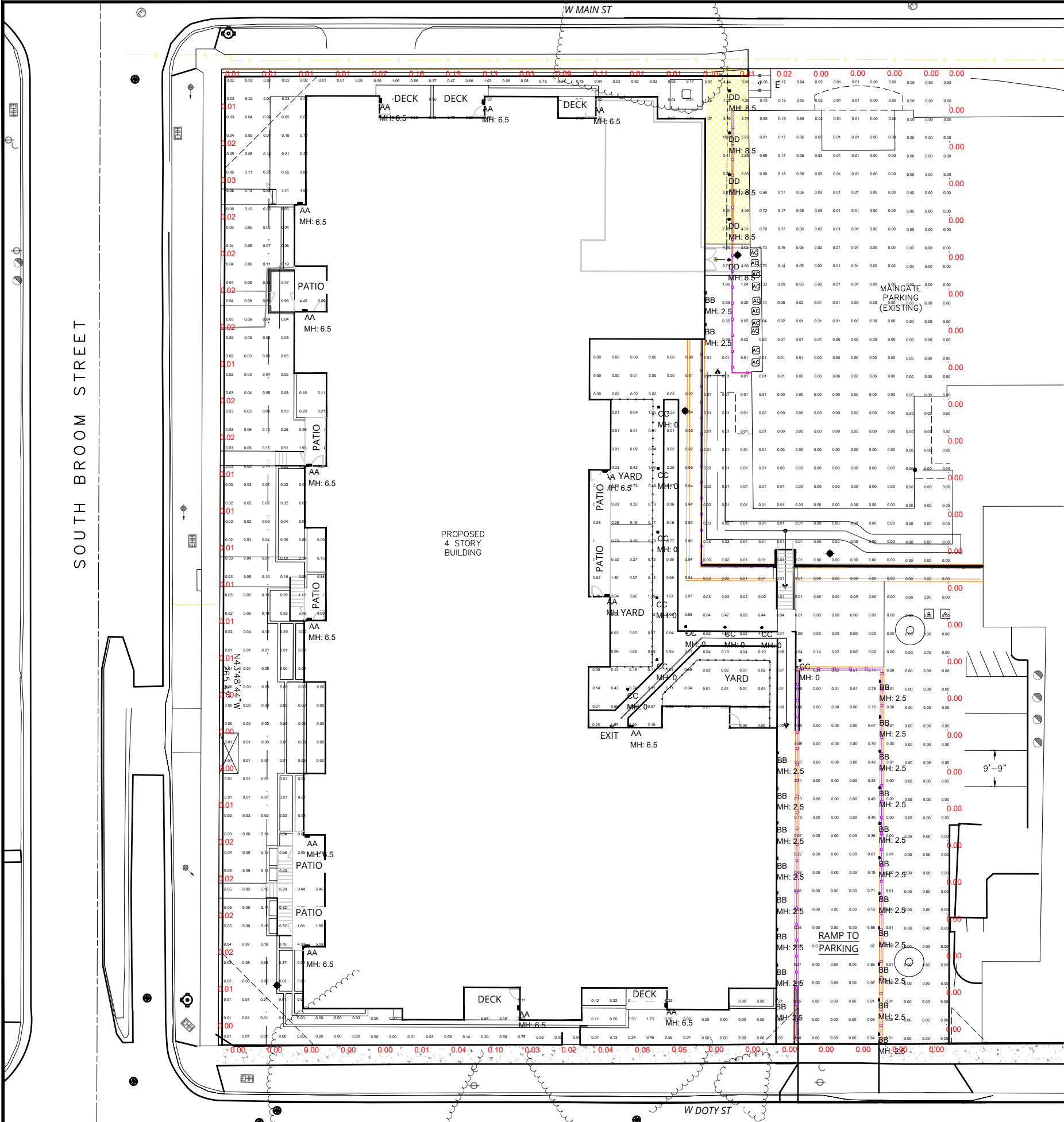


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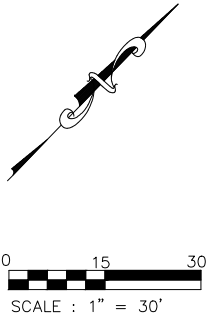
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UDC SUBMITTAL	02-25-25



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.02	0.41	0.00	N.A.	N.A.
SITE	Illuminance	Fc	0.35	14.20	0.00	N.A.	N.A.

Luminaire Schedule								
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
14	AA	Single	0.950	WAC	WS-25612-27-(Finish)	28.7	401.8	1170
21	BB	Single	1.000	WAC	4011-xxK-BK	4	84	17
10	CC	Single	0.950	WAC	6651-27BK	5.3424	53.424	111
5	DD	Single	0.950	WAC	FM-W2605-3000K-90CRI-AL	16.8	84	802



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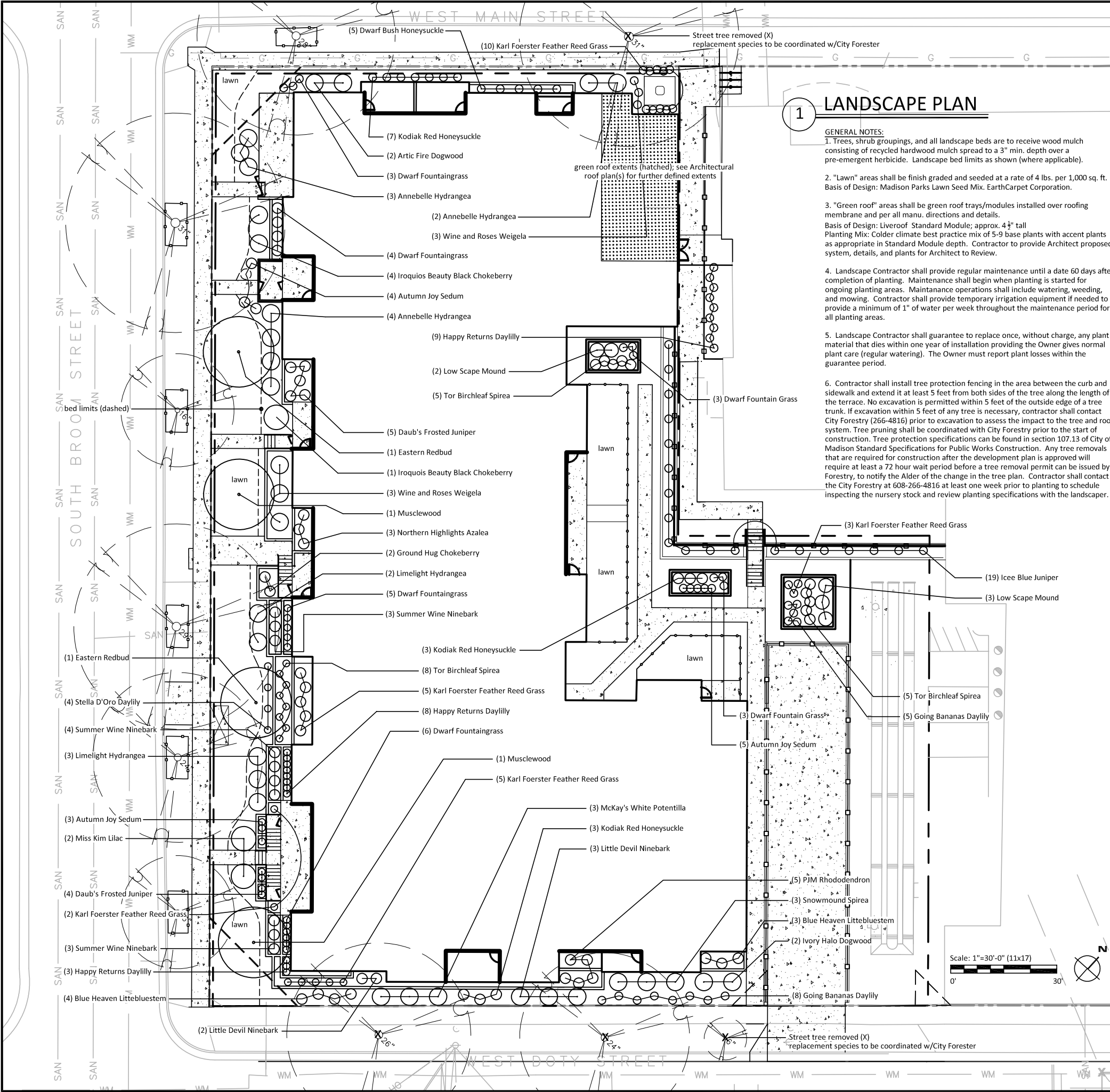
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PRS - CAPITOL LAKES
LIGHTING PLAN

345 WEST MAIN STREET

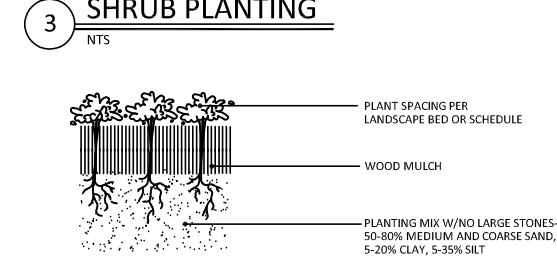
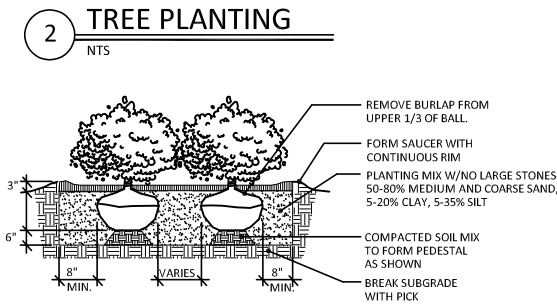
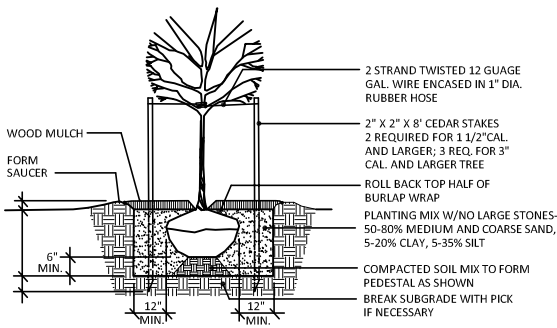
MADISON, WISCONSIN

E100



LANDSCAPE PLAN

- GENERAL NOTES:
1. Trees, shrub groupings, and all landscape beds are to receive wood mulch consisting of recycled hardwood mulch spread to a 3" min. depth over a pre-emergent herbicide. Landscape bed limits as shown (where applicable).
 2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.
 3. "Green roof" areas shall be green roof trays/modules installed over roofing membrane and per all manu. directions and details. Basis of Design: Liveroof Standard Module; approx. 4 1/2" tall Planting Mix: Colder climate best practice mix of 5-9 base plants with accent plants as appropriate in Standard Module depth. Contractor to provide Architect proposed system, details, and plants for Architect to Review.
 4. Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
 5. Landscape Contractor shall guarantee to replace once, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.
 6. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (266-4816) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan. Contractor shall contact the City Forestry at 608-266-4816 at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper.



Landscape Calculations and Distribution				
One (5) landscape points shall be provided per each (300) sf of developed area				
Total sf of developed area this project = 5,677 sf				
Developed area divided by (300) x 5 = 94 Points Required				
731 Total Points Provided (94 Required)				
Development Frontage Landscaping				
Total lf of lot frontage = 597 (this project)				
Required Trees = 20				
Required Shrubs = 100				
Provided Trees = *4				
Provided Shrubs = *33				
Owner/Architect Request Waiver by Zoning Administrator to reduce required frontage plantings due to limiting site conditions and size of existing City of Madison street/terrace trees.				
Tabulation of Points and Credits (includes Development Frontage Landscaping):				
Plant Type/Element	Min. size	Points	Existing Qty.	Proposed Qty.
Overstory Deciduous Tree	2 1/2" cal.	35	-	2
Ornamental tree	1 1/2" cal.	15	-	2
Upright evergreen shrub	3-4 feet tall	10	-	-
Shrub, deciduous	18" or 3 gal.	3	-	103
Shrub, evergreen	18" or 3 gal.	4	-	28
Ornamental grasses/perennials	18" or 3 gal.	2	-	105
Ornamental fence or wall	na	4 per 10 lf	-	-
Total				731
Master Plant List				
Trees	Musclewood	Carpinus caroliniana	2" cal.	2
	Eastern Redbud	Cercis canadensis	1 1/2" cal.	2
Shrubs	Artic Fire Dogwood	Cornus stolonifera Arctic Fire	24" ht.	2
	Low Scape Mound	Aronia melanocarpa	18" ht.	5
	Wine and Roses Weigela	Weigela florida	18" ht.	6
	Summer Wine Ninebark	Physocarpus opulifolius	18" ht.	7
	Annebelle Hydrangea	Hydrangea arborescens 'Annabelle'	24" ht.	9
	Dwarf Bush Honeysuckle	Diervilla lonicera	18" ht.	5
	PJM Rhododendron	Rhododendron 'Peter J. Mezzit'	18" ht.	5
	Northern Highlights Azalea	Azalea x 'Northern Hi-Lights'	18" ht.	3
	Limelight Hydrangea	Hydrangea paniculata 'Limelight'	24" ht.	5
	McKay's White Potentilla	Potentilla fruticosa 'McKay's White'	18" ht.	3
	Kodiak Red Honeysuckle	Diervilla 'Kodiak Red'	18" ht.	13
	Little Devil Ninebark	Physocarpus opulifolius 'Little Devil'	18" ht.	5
	Ivory Halo Dogwood	Cornus alba 'Bailhalo'	24" ht.	2
	Summer Wine Ninebark	Physocarpus opulifolius	18" ht.	3
	Tor Birchleaf Spirea	Spiraea betulifolia 'Tor'	18" ht.	18
	Ground Hug Chokeberry	Aronia melanocarpa	18" ht.	2
	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	24" ht.	5
	Miss Kim Lilac	Syringa pubescens subsp. patula	18" ht.	2
	Snowmound Spirea	Spiraea nipponica 'Snowmound'	18" ht.	3
Perennials	Icee Blue Juniper	Juniperus horizontalis 'Icee Blue'	12" ht.	19
	Daub's Frosted Juniper	Juniperus chinensis 'Daub's Frosted'	12" ht.	9
	Blue Heaven Littebluestem	Schizachyrium scoparium BLUE HEAVEN	1 gal.	7
	Happy Returns Daylilly	Hemerocallis 'Happy Returns'	1 gal.	20
	Stella D'Oro Daylily	Hemerocallis 'Stella de Oro'	1 gal.	4
	Karl Foerster Feather Reed Grass	Calamagrostis acutiflora	1 gal.	25
	Autumn Joy Sedum	Hylotelephium 'Autumn Joy'	1 gal.	12
	Going Bananas Daylily	Hemerocallis 'Going Bananas'	1 gal.	13
	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'	1 gal.	24

DATE03-01-25

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PRs - CAPITOL LAKES
SITE PLAN

345 WEST MAIN STREET

L100



(AERIAL EXISTING SITE PHOTO)

PROJECT NARRATIVE

SITE:
345 West Main Street
Broom Street between Main Street and Doty Street
The property is on the same block as Capitol Lakes Senior Living Community.
Current Use:
A 44 Unit Community Based Residential Facility
Zoning:
P.U.D (G.D.P) (S.I.P) 342 West Doty Street and 343-353 West Main Street
Maximum Building Heights: 4 Stories

PROPOSAL:
To remove the existing building and construct a new 4 story approximately 49-unit apartment building for independent seniors. The building would include a below grade parking structure for approximately 50-60 spaces. This building will provide a link to the adjacent building near Main Street so residents can circulate to the other buildings and community services.

AREA - OVERALL PROGRAM SUMMARY:
UNITS - 75,187 SQFT
BOH - 10,846 SQFT
CIRCULATION - 15,033 SQFT
COMMONS - 2,052 SQFT
PARKING - 25,640 SQFT
ROOF AMENITY -3,171 SQFT
GREEN ROOF - 1,606 SQFT
TOTAL - 133,535 SQFT

AREA - OVERALL NET UNIT SQFT:
2 - 1 BR UNITS
47 - 2 BR UNITS
49 TOTAL UNITS @ 75,187 SQFT

NUMBER	SHEET NAME	UDC / LAND-USE SET
00 GENERAL		
TS	TITLE SHEET	■
G0.03	SITE CONTEXT	■
G0.21	RENDERING	■
G0.22	STREETSCAPE RENDERING	■
G0.23	STREETSCAPE RENDERING	■
G0.24	STREETSCAPE RENDERING	■
G2.11	LEVEL P1 - FLS PLAN	■
G2.21	LOWER LEVEL - FLS PLAN	■
G2.22	LEVEL 1 - FLS PLAN	■
G2.23	LEVEL 2 - FLS PLAN	■
G2.24	LEVEL 3 - FLS PLAN	■
G2.25	ROOF - FLS PLAN	■
G4.03	FIRE ACCESS DIAGRAM	■
G4.04	FEC LOCATIONS	■
02 CIVIL		
C	REFER TO CIVIL SET	■
03 LANDSCAPE		
L	REFER TO LANDSCAPE SET	■

NUMBER	SHEET NAME	UDC / LAND-USE SET
04 ARCHITECTURAL		
A0.02	DATA SHEET	■
AD1.01	SITE DEMOLITION	■
A1.01	SITE PLAN	■
A1.02	ENLARGED SITE PLAN	■
A1.03	SITE DETAILS - PARKING	■
A2.P1	LEVEL P1 FLOOR PLAN	■
A2.01	LOWER LEVEL FLOOR PLAN	■
A2.02	LEVEL 1 FLOOR PLAN	■
A2.03	LEVEL 2 FLOOR PLAN	■
A2.04	LEVEL 3 FLOOR PLAN	■
A2.05	ROOF PLAN	■
A3.11	BUILDING ELEVATIONS - COLOR	■
A3.12	BUILDING ELEVATIONS - COLOR	■
A3.21	BUILDING ELEVATIONS	■
A3.22	BUILDING ELEVATIONS	■
A3.31	BIRD-SAFE GLASS DIAGRAMS	■
A3.32	BIRD-SAFE GLASS DIAGRAMS	■
A3.51	ENLARGED ELEVATIONS - EXHAUST LOUVERS	■
A3.52	EXTERIOR MATERIALS & BUILDING DETAILS	■
A4.01	BUILDING SECTIONS	■

VICINITY MAP



NOT FOR
CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100
1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600
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415.252.7063
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BASSETT PLACE
351 West Main Street Madison, WI 53703
PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

TITLE SHEET

DESIGN
DEVELOPEMENT

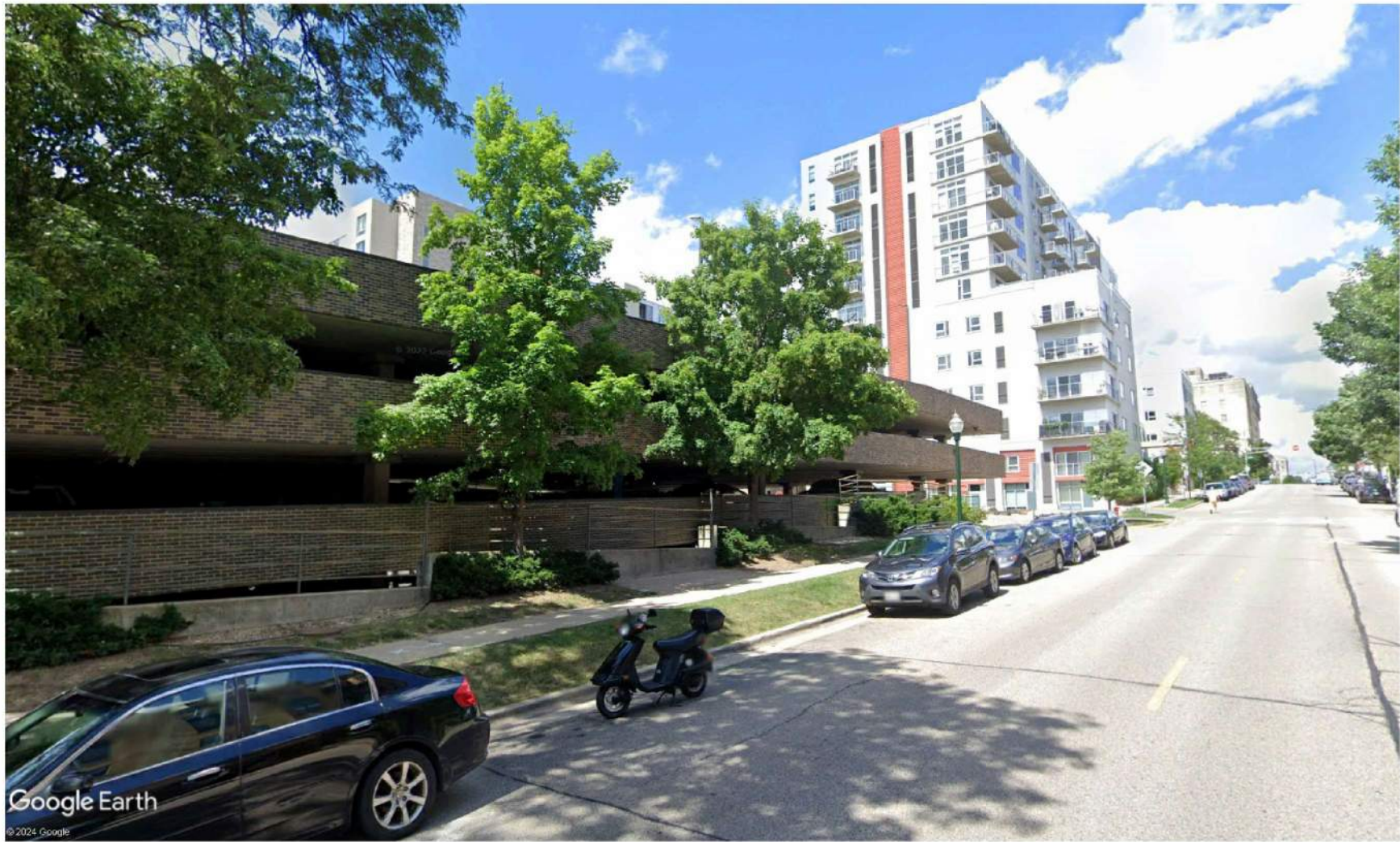
DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	TS



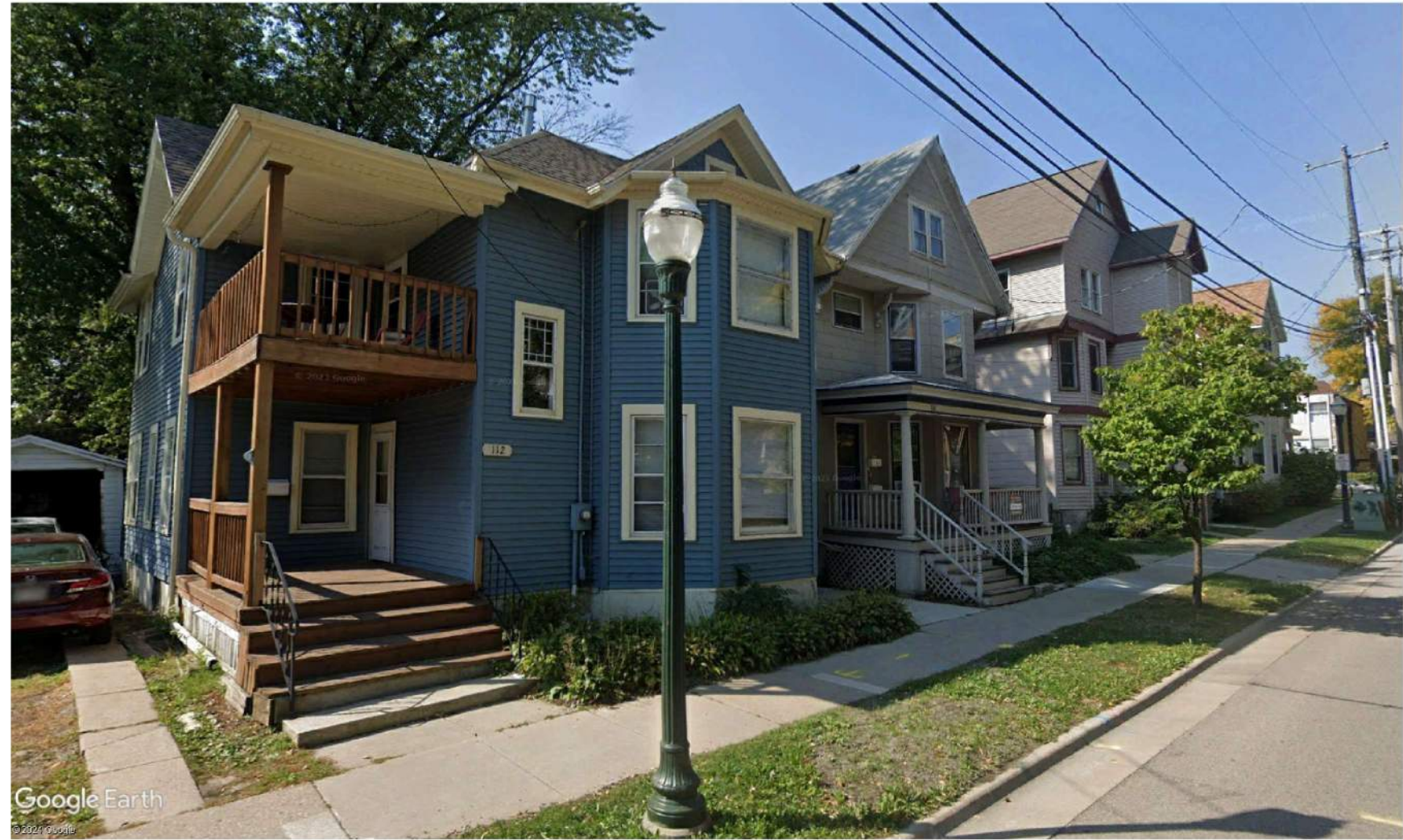
(AERIAL EXISTING SITE PHOTO)



1: MAINGATE BUILDING - DOWNTOWN CORE



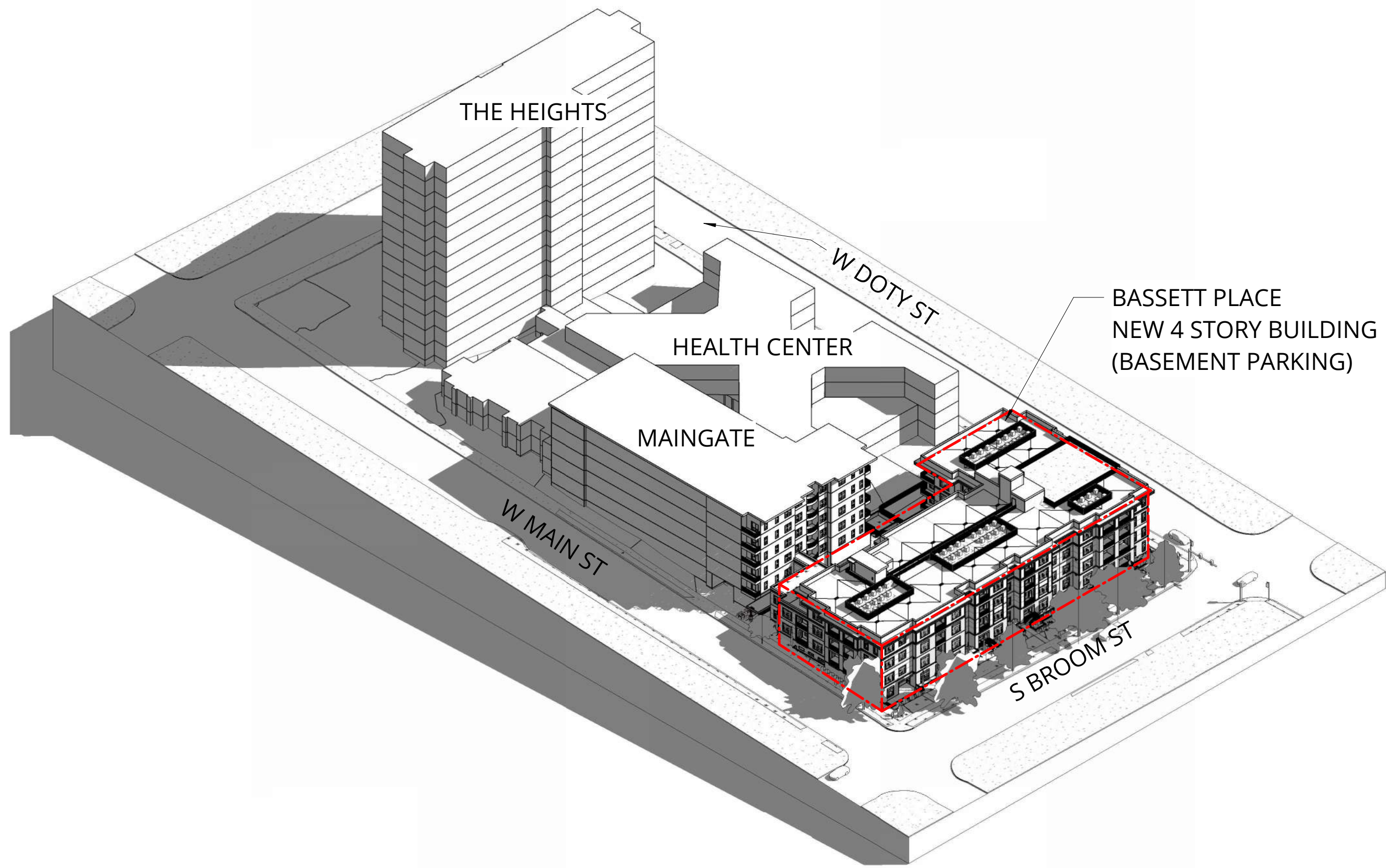
2: WEST MAIN STREET - DOWNTOWN CORE



3: SOUTH BROOM STREET - BASSETT NEIGHBORHOOD



4: WEST DOTY STREET - BASSETT NEIGHBORHOOD



OVERALL SITE ISOMETRIC VIEW



SW CORNER PERSPECTIVE



NW CORNER PERSPECTIVE

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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

SITE CONTEXT

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

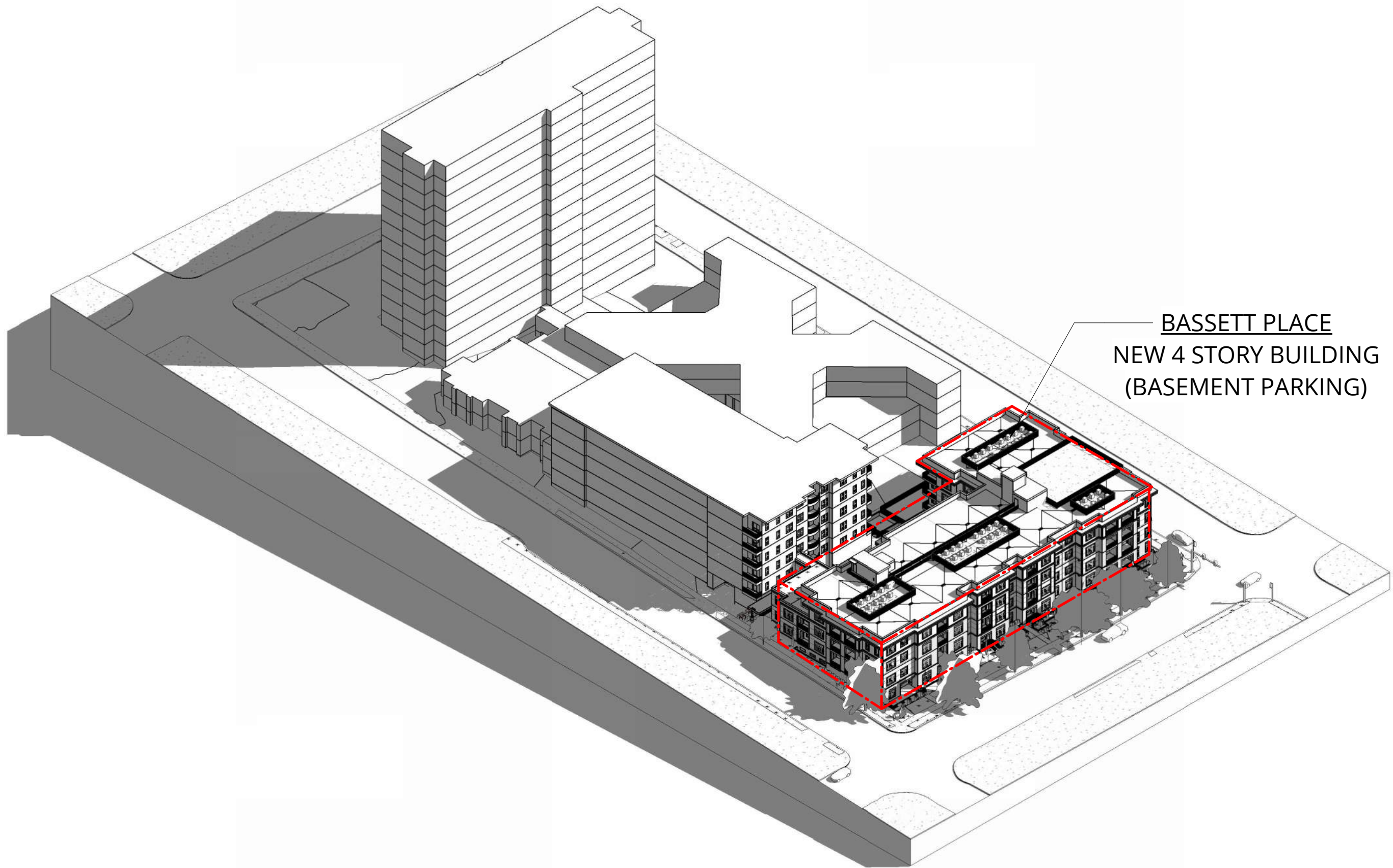
G0.03



SW CORNER PERSPECTIVE



NW CORNER PERSPECTIVE



OVERALL SITE ISOMETRIC VIEW

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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

RENDERING

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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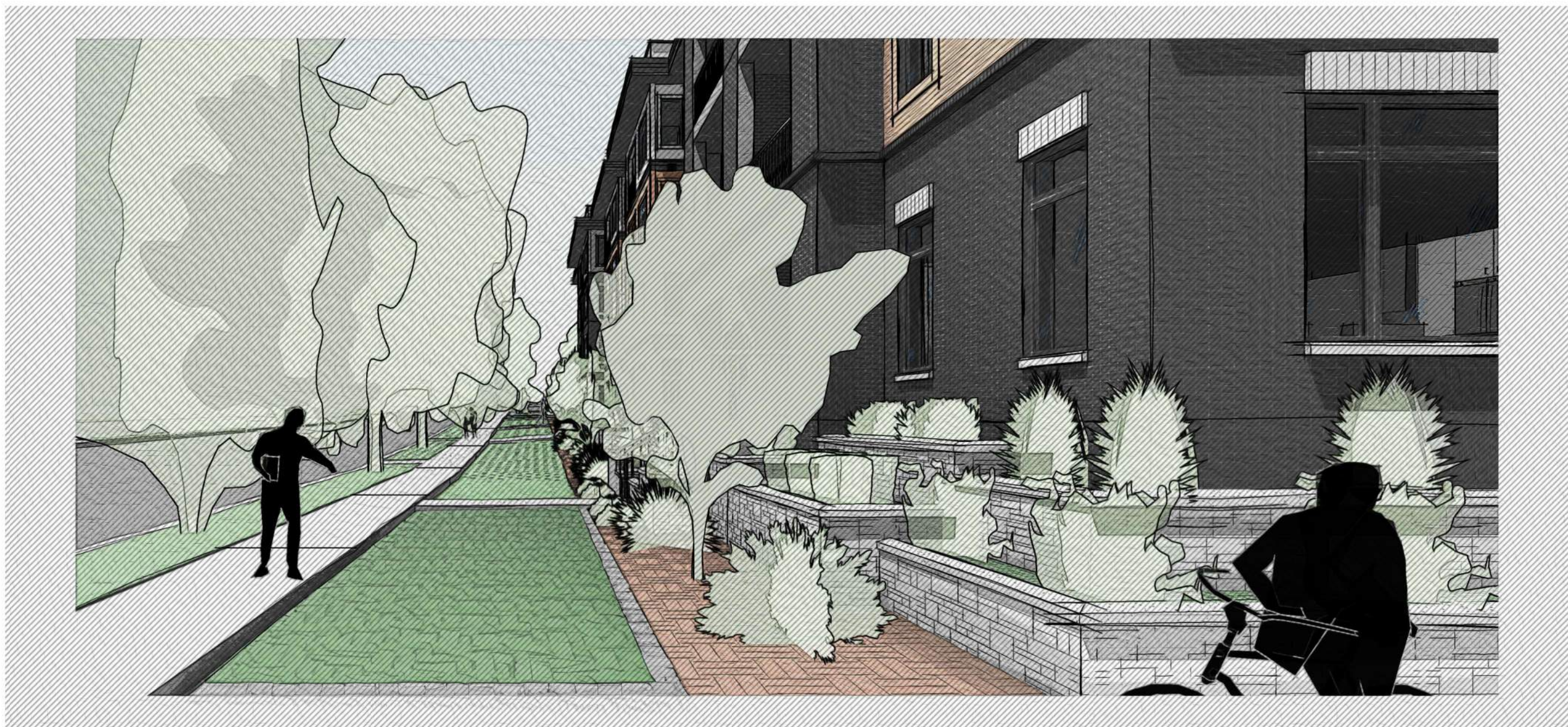
SHEET NUMBER

G0.21

2/2/2025 4:26:55 PM



1 PERSPECTIVE - S BROOM STREET - NORTH



2 PERSPECTIVE - S BROOM STREET - SOUTH



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
5	C.I.P. CONCRETE @ WINDOW SILL
11	PLANTER WALLS W/ CONCRETE SLOPED CAP

3 ISOMETRIC PERSPECTIVE - SOUTH BROOM STREET



4 WEST ELEVATION - STREETScape

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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

STREETSCAPE
RENDERING

DESIGN
DEVELOPEMENT

DATE
02/24/2025

PROJECT NUMBER
233810

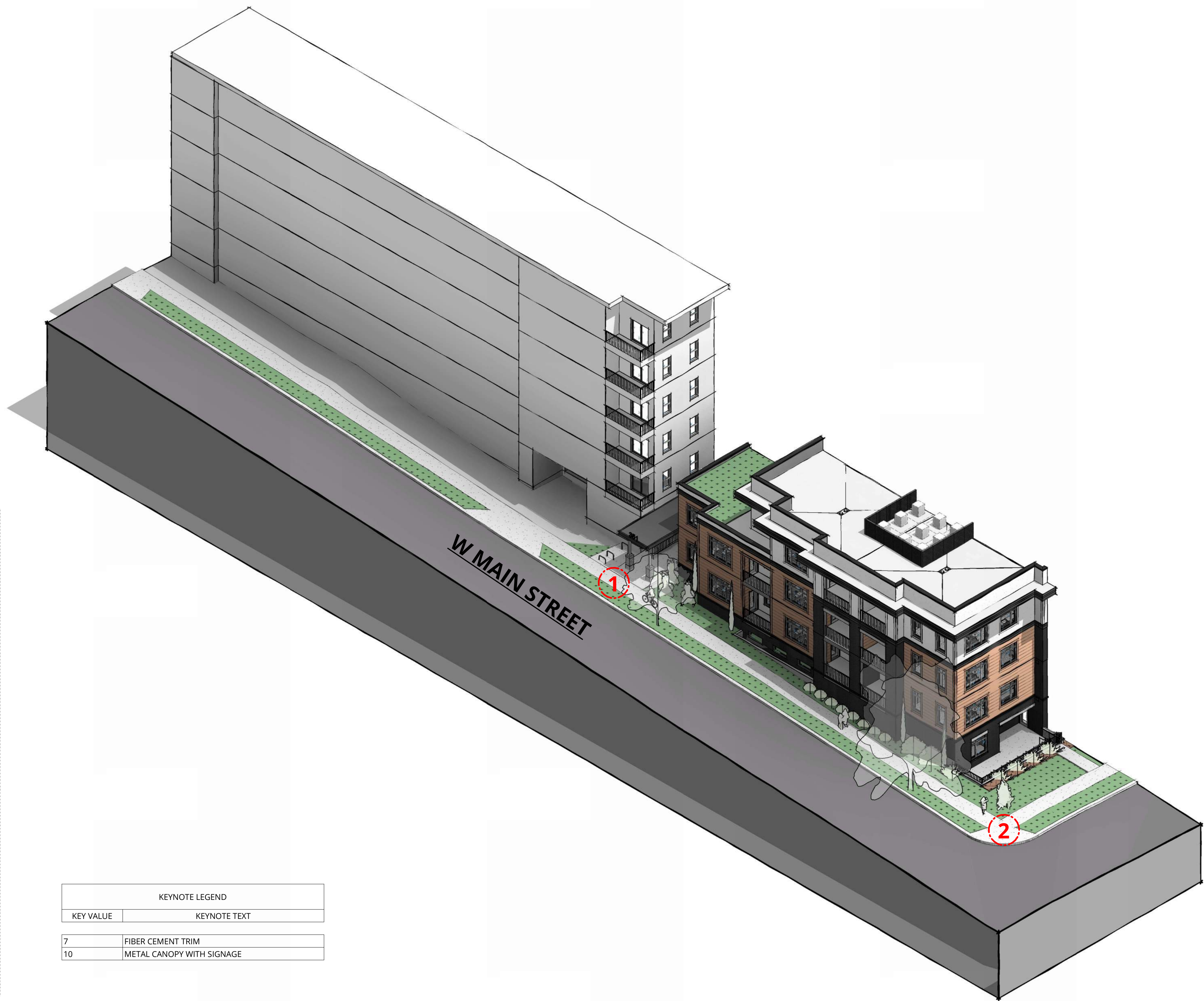
SHEET NUMBER
G0.22



1 PERSPECTIVE - W MAIN STREET - ENTRY



2 PERSPECTIVE - W MAIN STREET - NW CORNER



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
7	FIBER CEMENT TRIM
10	METAL CANOPY WITH SIGNAGE

3 ISOMETRIC PERSPECTIVE - WEST MAIN STREET



4 NORTH ELEVATION - STREETScape

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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

STREETSCAPE
RENDERING

DESIGN
DEVELOPEMENT

DATE
02/24/2025

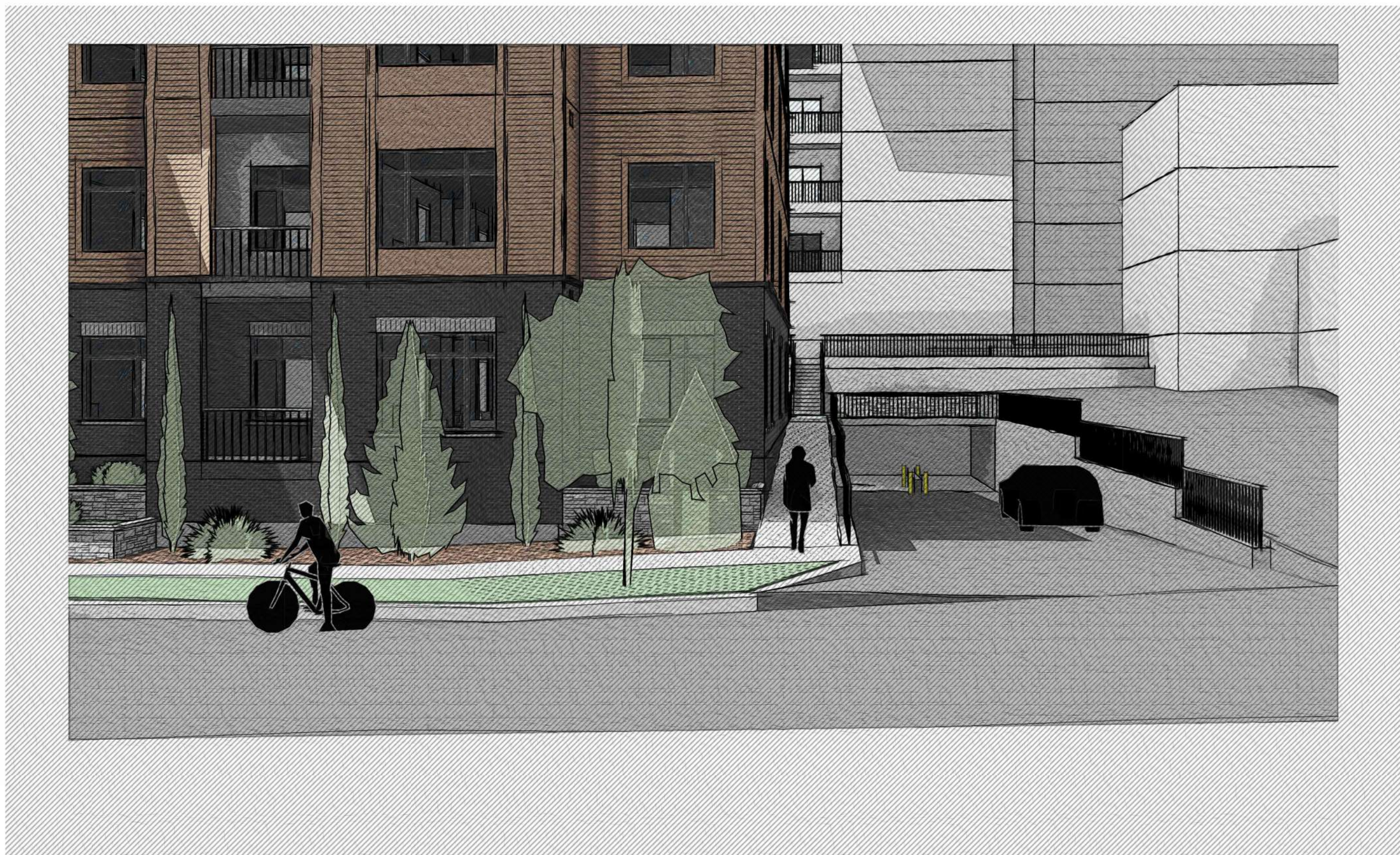
PROJECT NUMBER
233810

SHEET NUMBER

G0.23



1 PERSPECTIVE - W DOTY STREET - SW CORNER



2 PERSPECTIVE - W DOTY STREET - SIDE ENTRY



KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P CONCRETE @ WINDOW SILL
11	PLANTER WALLS W/ CONCRETE SLOPED CAP

3 ISOMETRIC PERSPECTIVE - WEST DOTY STREET



4 SOUTH ELEVATION - STREETScape

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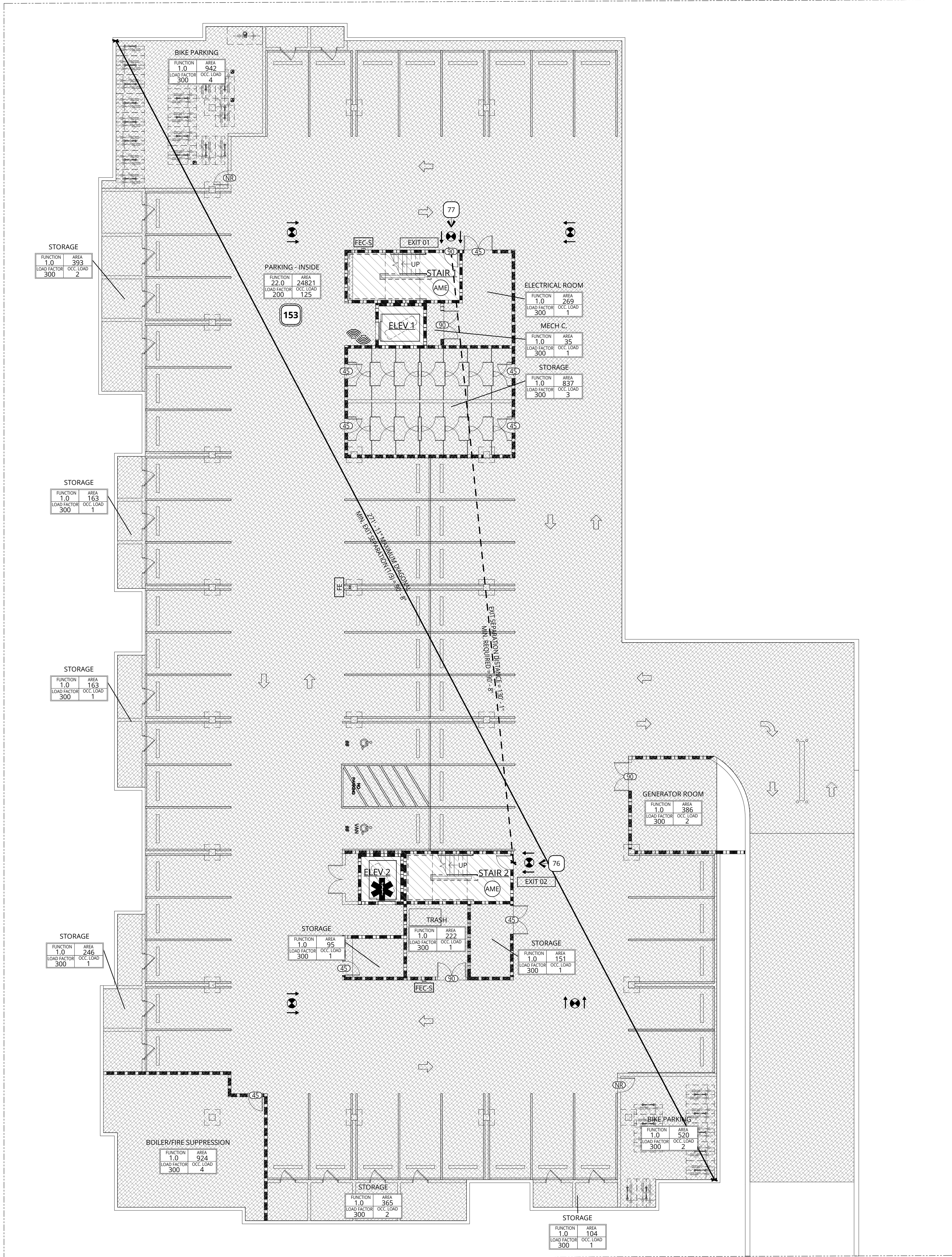
REVISION	DATE	REASON FOR ISSUE

STREETScape
RENDERING

DESIGN
DEVELOPEMENT

DATE	PROJECT NUMBER
02/24/2025	233810

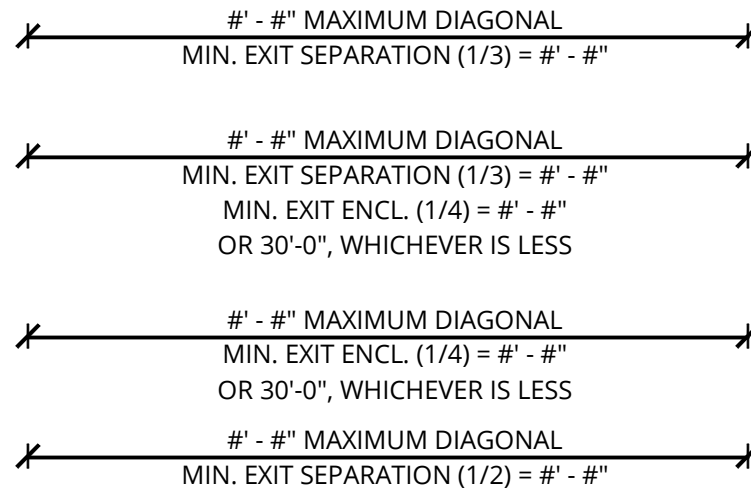
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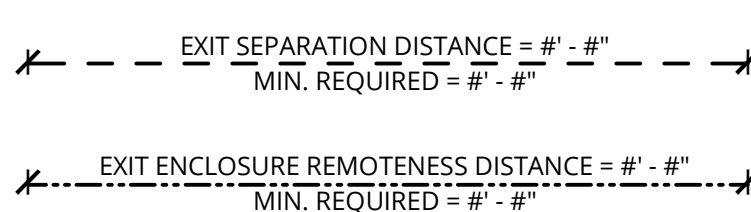
GENERAL NOTES - FLS PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- PROVIDE EXIT SIGNS LOCATIONS AS SHOWN AND AS REQUIRED BY AHJ. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- MAINTAIN AN AVERAGE OF 1 FC, AND A MINIMUM OF 0.1 FC, ILLUMINATION AT THE WALKING SURFACE ALONG THE PATH OF EGRESS IN THE FOLLOWING LOCATIONS USING EMERGENCY POWER:
 - ANY SPACE REQUIRING TWO OR MORE MEANS OF EGRESS.
 - AISELS & CORRIDORS
 - INTERIOR EXIT ACCESS STAIRWAYS & RAMP
 - INTERIOR & EXTERIOR EXIT STAIRWAYS & RAMP
 - EXIT PASSAGEWAYS
 - AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE PER SECTION 1028.1.
 - EXTERIOR LANDINGS AT EXIT DISCHARGE DOORS.
- PROVIDE EMERGENCY POWER FOR LIGHTING IN THE FOLLOWING LOCATIONS:
 - ELECTRICAL EQUIPMENT ROOMS
 - FIRE COMMAND CENTERS (IF APPLICABLE)
 - FIRE PUMP ROOMS
 - GENERATOR ROOMS
 - PUBLIC RESTROOMS GREATER THAN 300 SF
- FIRE RATINGS SHOWN ON THESE PLANS REFER TO SECTION 701.1 FOR FIRE-RESISTANCE-RATED CONSTRUCTION TO CONTAIN THE SPREAD OF FIRE AND SMOKE.
- WALLS REQUIRED TO BE FIRE-RESISTANCE RATED FOR STRUCTURAL PROTECTION PER TABLE 601 ARE CONSTRUCTED AS FOLLOWS:
 - METAL & WOOD STUD FRAMED WALLS ARE PROTECTED ON BOTH SIDES WITH AT LEAST ONE LAYER OF 5/8" TYPE 'X' GWB. OPENING PROTECTION IS NOT REQUIRED. CONSTRUCT MEMBRANE PENETRATIONS IN ACCORDANCE WITH SECTION 714
 - CMU WALLS ACHIEVE RATING BY PROTECTION OF THE REINFORCING STEEL WITH SOLID GROUT
 - CONCRETE WALLS ACHIEVE RATING BY PROTECTION OF THE REINFORCING STEEL BY AT LEAST THE MINIMUM COVERAGE REQUIRED. REFER TO THE STRUCTURAL DRAWINGS FOR DETAILS
- SMOKE/FIRE RATED CURTAIN AT ALL ELEVATOR OPENINGS. NOT REQUIRED AT LEVEL(S) OF EXIT DISCHARGE

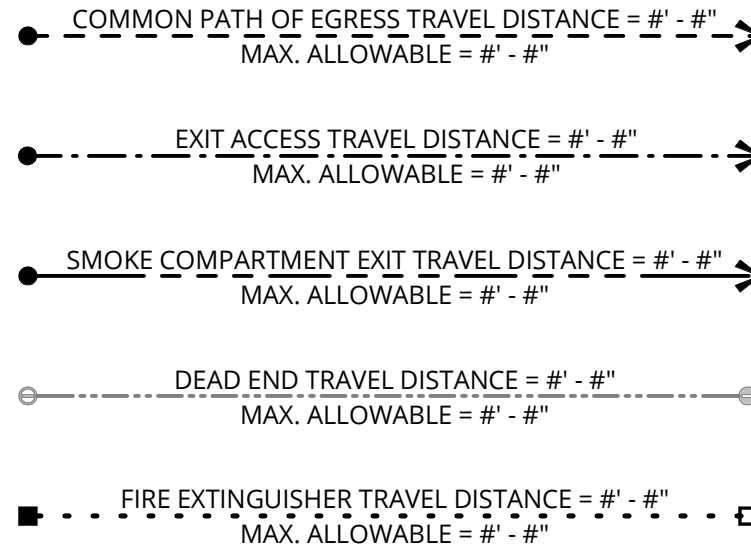
BUILDING DIAGONAL



EXIT & EXIT ENCLOSURE SEPARATION & REMOTENESS



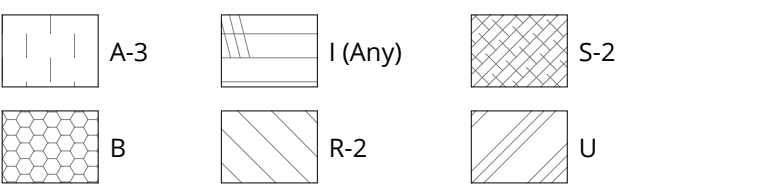
PATHS



EXIT WIDTH SUMMARY PER 1005.1		
EXIT LOCATION:	REQUIRED:	PROVIDED:
EXIT 01	150(0.2in) = 30.00"	6'-0"
EXIT 02	147(0.2in) = 29.40"	3'-0"
HORIZONTAL EXIT 03	57(0.2in) = 11.40"	3'-0"

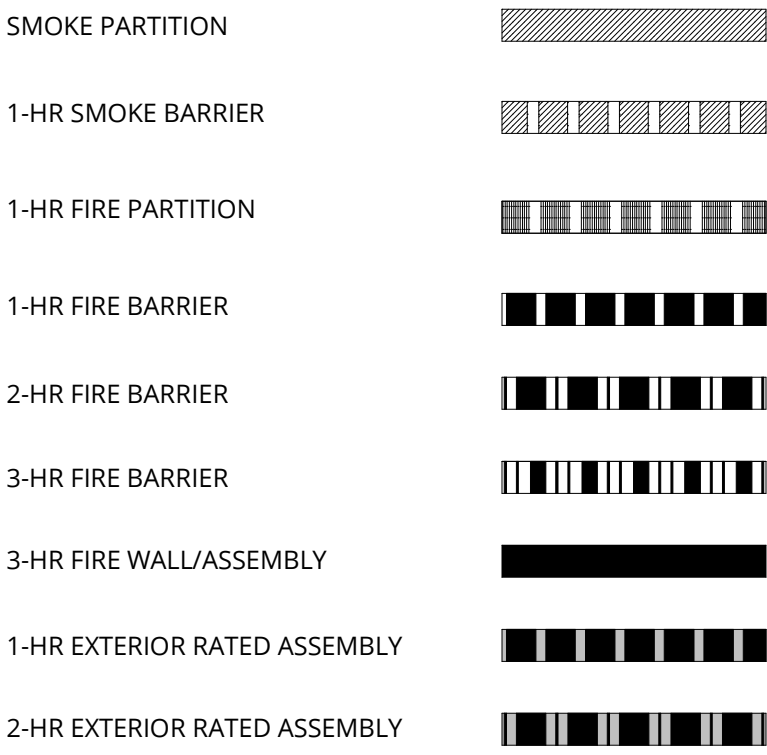
FLS - OCCUPANCY - LEVEL P-1					
NAME	OCC. GROUP	FUNCTION	AREA	LOAD FACTOR	OCC. LOAD
ELEV 1	R-2	30.0 NO CLASSIFICATION APPLIES	103 SF		
ELEV 2	R-2	30.0 NO CLASSIFICATION APPLIES	103 SF		
STAIR 1	R-2	30.0 NO CLASSIFICATION APPLIES	260 SF		
STAIR 2	R-2	30.0 NO CLASSIFICATION APPLIES	260 SF		
BIKE PARKING	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	942 SF	300	4
BIKE PARKING	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	520 SF	300	2
BOILER/FIRE SUPPRESSION	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	924 SF	300	4
ELECTRICAL ROOM	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	269 SF	300	1
GENERATOR ROOM	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	386 SF	300	2
MECH. C.	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	35 SF	300	1
PARKING - INSIDE	S-2	22.0 PARKING GARAGES	24,821 SF	200	125
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	837 SF	300	3
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	95 SF	300	1
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	151 SF	300	1
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	246 SF	300	1
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	163 SF	300	1
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	163 SF	300	1
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	393 SF	300	2
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	365 SF	300	2
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	104 SF	300	1
TRASH	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	222 SF	300	1
TOTAL OCCUPANT LOAD			31,363 SF		153

OCCUPANCY LEGEND

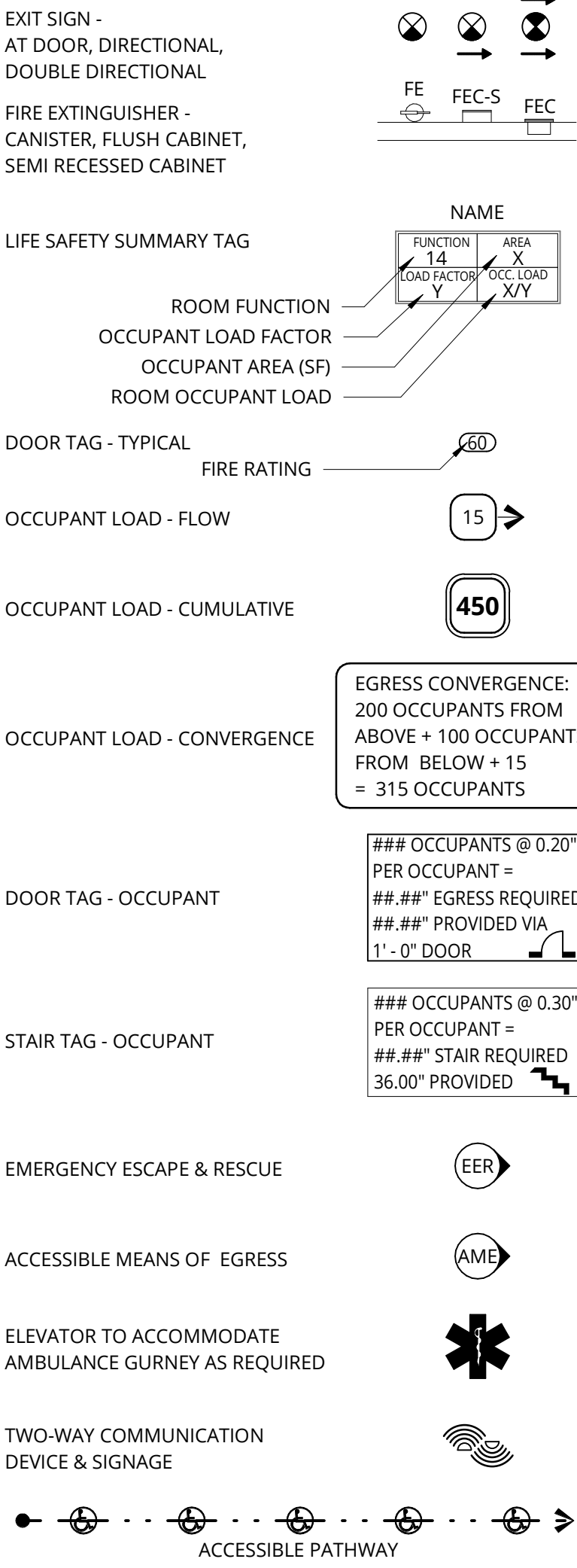


FLS PLAN LEGEND

ENCLOSING ELEMENTS



SYMBOLS & ELEMENTS



ADDITIONAL REQUIREMENTS

- NOTES

NOT FOR CONSTRUCTION



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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

115 SANSOME ST., SUITE 1005
SAN FRANCISCO, CA 94104
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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

LEVEL P1 - FLS PLAN

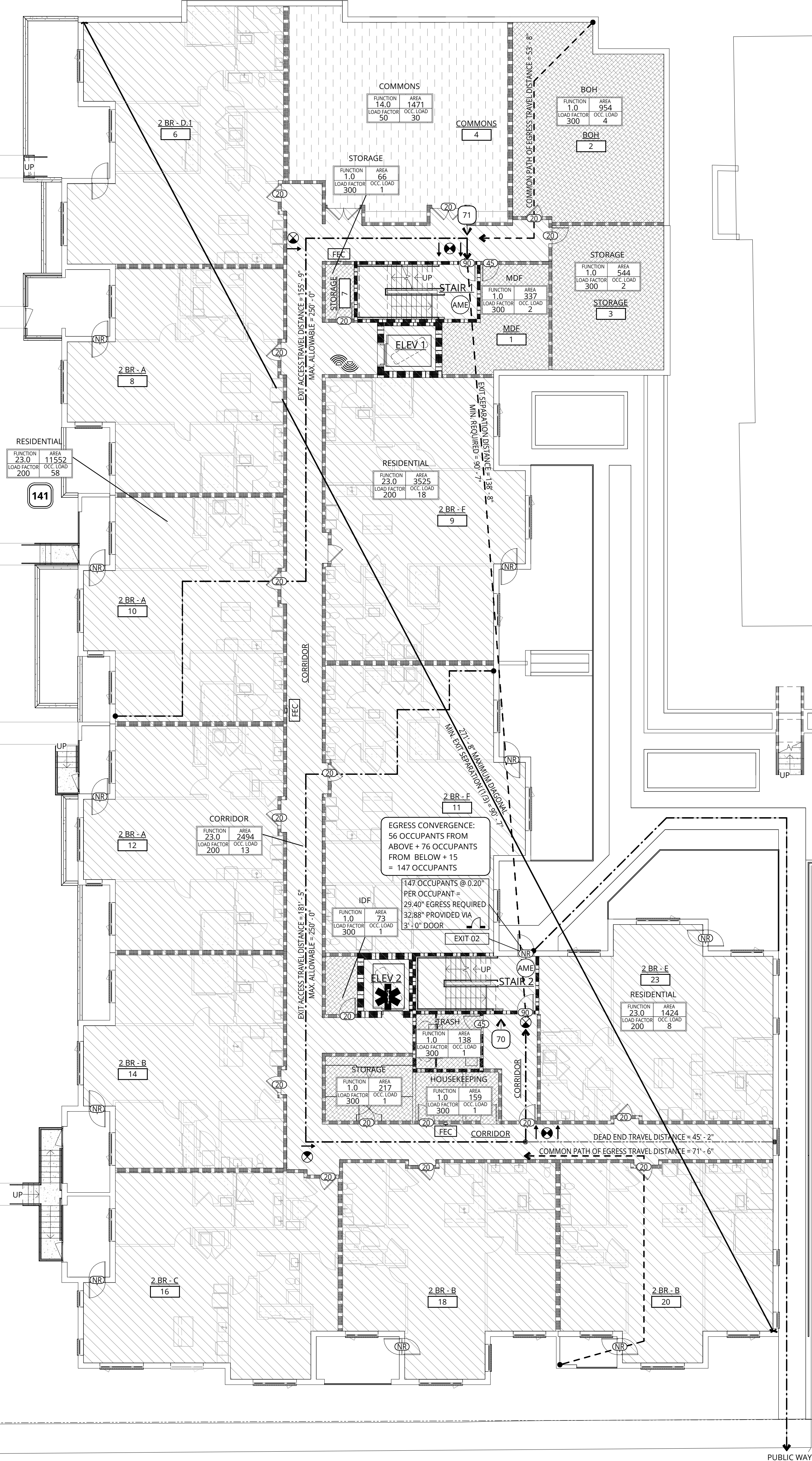
DESIGN DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

G2.11

1 LOWER LEVEL - FLS PLAN

3/32" = 1'-0"



GENERAL NOTES - FLS PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- PROVIDE EXIT SIGNS LOCATIONS AS SHOWN AND AS REQUIRED BY AHJ. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- MAINTAIN AN AVERAGE OF 1 FC, AND A MINIMUM OF 0.1 FC, ILLUMINATION AT THE WALKING SURFACE ALONG THE PATH OF EGRESS IN THE FOLLOWING LOCATIONS USING EMERGENCY POWER:
 - ANY SPACE REQUIRING TWO OR MORE MEANS OF EGRESS.
 - AISELS & CORRIDORS
 - INTERIOR EXIT ACCESS STAIRWAYS & RAMP
 - INTERIOR & EXTERIOR EXIT STAIRWAYS & RAMP
 - EXIT PASSAGEWAYS
 - AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE PER SECTION 1028.1.
 - EXTERIOR LANDINGS AT EXIT DISCHARGE DOORS.
- PROVIDE EMERGENCY POWER FOR LIGHTING IN THE FOLLOWING LOCATIONS:
 - ELECTRICAL EQUIPMENT ROOMS
 - FIRE COMMAND CENTERS (IF APPLICABLE)
 - FIRE PUMP ROOMS
 - GENERATOR ROOMS
 - PUBLIC RESTROOMS GREATER THAN 300 SF
- FIRE RATINGS SHOWN ON THESE PLANS REFER TO SECTION 701.1 FOR FIRE-RESISTANCE-RATED CONSTRUCTION TO CONTAIN THE SPREAD OF FIRE AND SMOKE.
- WALLS REQUIRED TO BE FIRE-RESISTANCE RATED FOR STRUCTURAL PROTECTION PER TABLE 601 ARE CONSTRUCTED AS FOLLOWS:
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 - CMU WALLS ACHIEVE RATING BY PROTECTION OF THE REINFORCING STEEL WITH SOLID GROUT
 - CONCRETE WALLS ACHIEVE RATING BY PROTECTION OF THE REINFORCING STEEL BY AT LEAST THE MINIMUM COVERAGE REQUIRED. REFER TO THE STRUCTURAL DRAWINGS FOR DETAILS
- SMOKE/FIRE RATED CURTAIN AT ALL ELEVATOR OPENINGS. NOT REQUIRED AT LEVEL(S) OF EXIT DISCHARGE

BUILDING DIAGONAL

- #'-#'' MAXIMUM DIAGONAL
MIN. EXIT SEPARATION (1/3) = #'-#''
- #'-#'' MAXIMUM DIAGONAL
MIN. EXIT SEPARATION (1/3) = #'-#''
MIN. EXIT ENCL. (1/4) = #'-#''
OR 3'-0", WHICHEVER IS LESS
- #'-#'' MAXIMUM DIAGONAL
MIN. EXIT ENCL. (1/4) = #'-#''
OR 3'-0", WHICHEVER IS LESS
- #'-#'' MAXIMUM DIAGONAL
MIN. EXIT SEPARATION (1/2) = #'-#''

EXIT & EXIT ENCLOSURE SEPARATION & REMOTENESS

- EXIT SEPARATION DISTANCE = #'-#''
MIN. REQUIRED = #'-#''
- EXIT ENCLOSURE REMOTENESS DISTANCE = #'-#''
MIN. REQUIRED = #'-#''

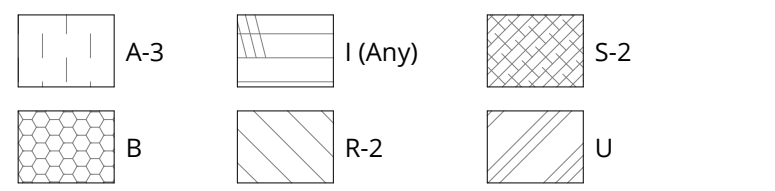
PATHS

- COMMON PATH OF EGRESS TRAVEL DISTANCE = #'-#''
MAX. ALLOWABLE = #'-#''
- EXIT ACCESS TRAVEL DISTANCE = #'-#''
MAX. ALLOWABLE = #'-#''
- SMOKE COMPARTMENT EXIT TRAVEL DISTANCE = #'-#''
MAX. ALLOWABLE = #'-#''
- DEAD END TRAVEL DISTANCE = #'-#''
MAX. ALLOWABLE = #'-#''
- FIRE EXTINGUISHER TRAVEL DISTANCE = #'-#''
MAX. ALLOWABLE = #'-#''

EXIT WIDTH SUMMARY PER 1005.1			
EXIT LOCATION:	REQUIRED:	PROVIDED:	
EXIT 01	150(0.2in) =	30.00"	6'-0"
EXIT 02	147(0.2in) =	29.40"	3'-0"
HORIZONTAL EXIT 03	57(0.2in) =	11.40"	3'-0"

FLS - OCCUPANCY - LEVEL 1						
NAME	OCC. GROUP	FUNCTION	AREA	LOAD FACTOR	OCC. LOAD	
COMMONS	A-3	14.0 EXERCISE ROOMS	1,471 SF	50	30	
CORRIDOR	R-2	23.0 RESIDENTIAL	2,494 SF	200	13	
ELEV 1	R-2	30.0 NO CLASSIFICATION APPLIES	121 SF			
ELEV 2	R-2	30.0 NO CLASSIFICATION APPLIES	109 SF			
RESIDENTIAL	R-2	23.0 RESIDENTIAL	11,552 SF	200	58	
RESIDENTIAL	R-2	23.0 RESIDENTIAL	3,525 SF	200	18	
RESIDENTIAL	R-2	23.0 RESIDENTIAL	1,424 SF	200	8	
STAIR 1	R-2	30.0 NO CLASSIFICATION APPLIES	260 SF			
STAIR 2	R-2	30.0 NO CLASSIFICATION APPLIES	255 SF			
BOH	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	954 SF	300	4	
HOUSEKEEPING	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	159 SF	300	1	
IDF	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	73 SF	300	1	
IDF	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	337 SF	300	2	
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	66 SF	300	1	
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	544 SF	300	2	
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	217 SF	300	1	
TRASH	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	138 SF	300	1	
TOTAL OCCUPANT LOAD			23,698 SF		140	

OCCUPANCY LEGEND



FLS PLAN LEGEND

ENCLOSING ELEMENTS

- SMOKE PARTITION
- 1-HR SMOKE BARRIER
- 1-HR FIRE PARTITION
- 1-HR FIRE BARRIER
- 2-HR FIRE BARRIER
- 3-HR FIRE BARRIER
- 3-HR FIRE WALL/ASSEMBLY
- 1-HR EXTERIOR RATED ASSEMBLY
- 2-HR EXTERIOR RATED ASSEMBLY

SYMBOLS & ELEMENTS

- EXIT SIGN -
AT DOOR, DIRECTIONAL,
DOUBLE DIRECTIONAL
- FIRE EXTINGUISHER -
CANISTER, FLUSH CABINET,
SEMI RECESSED CABINET
- LIFE SAFETY SUMMARY TAG
- ROOM FUNCTION
OCCUPANT LOAD FACTOR
OCCUPANT AREA (SF)
ROOM OCCUPANT LOAD
- DOOR TAG - TYPICAL
- FIRE RATING
- OCCUPANT LOAD - FLOW
- OCCUPANT LOAD - CUMULATIVE
- OCCUPANT LOAD - CONVERGENCE
- DOOR TAG - OCCUPANT
- STAIR TAG - OCCUPANT
- EMERGENCY ESCAPE & RESCUE
- ACCESSIBLE MEANS OF EGRESS
- ELEVATOR TO ACCOMMODATE
AMBULANCE GURNEY AS REQUIRED
- TWO-WAY COMMUNICATION
DEVICE & SIGNAGE
- ACCESSIBLE PATHWAY

ADDITIONAL REQUIREMENTS

- NOTES

NOT FOR
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REVISION	DATE	REASON FOR ISSUE

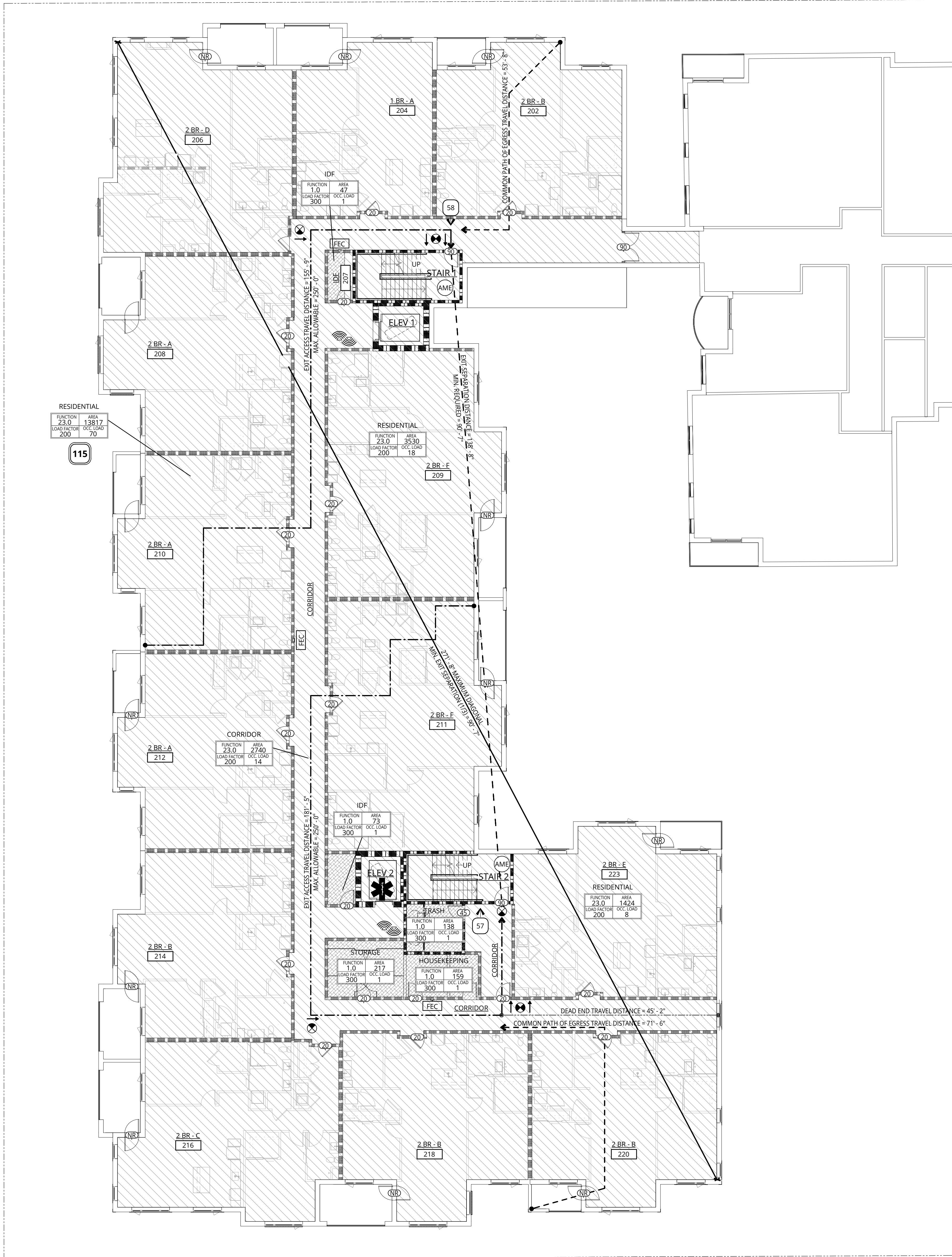
LOWER LEVEL - FLS
PLAN

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

G2.21

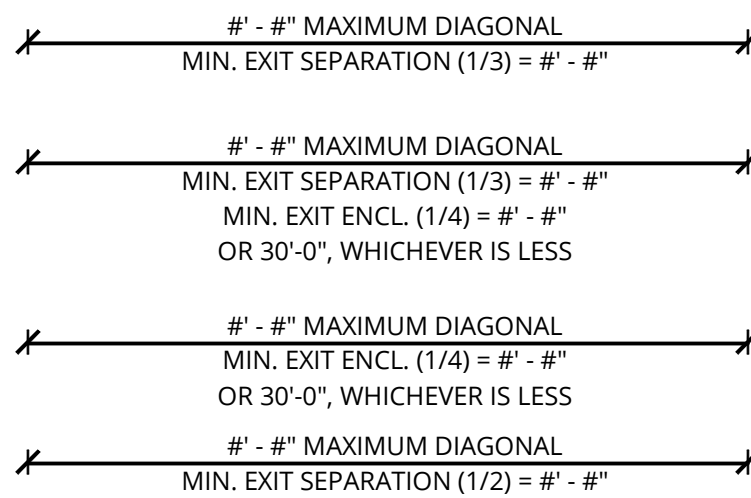
1 LEVEL 2 - FLS PLAN
3/32" = 1'-0" LEVEL OF EXIT DISCHARGE



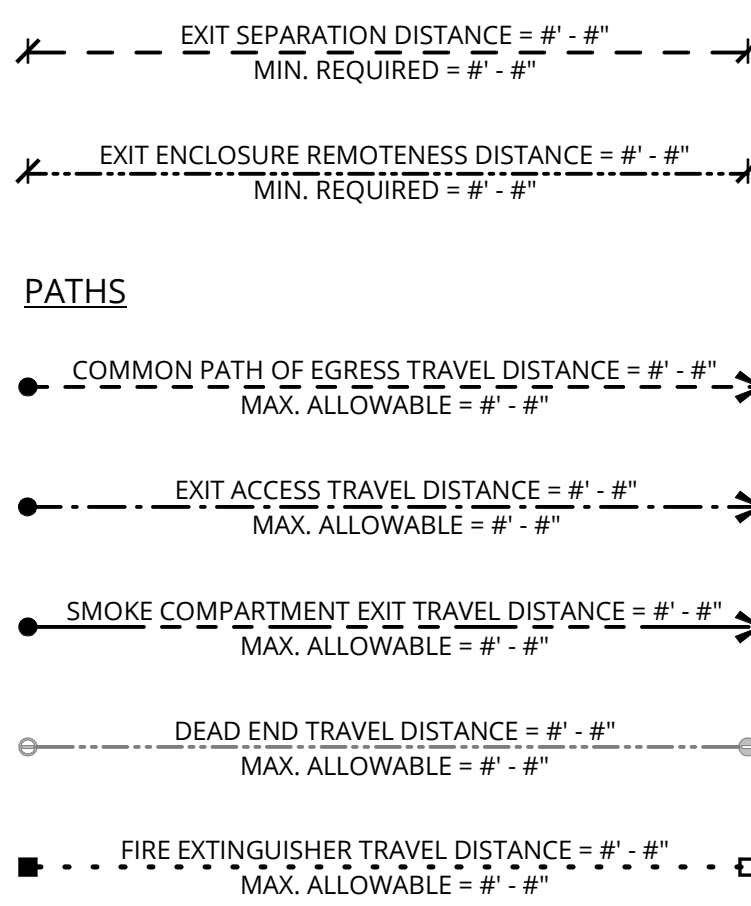
GENERAL NOTES - FLS PLANS

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- PROVIDE EXIT SIGNS LOCATIONS AS SHOWN AND AS REQUIRED BY AHJ. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- MAINTAIN AN AVERAGE OF 1 FC, AND A MINIMUM OF 0.1 FC, ILLUMINATION AT THE WALKING SURFACE ALONG THE PATH OF EGRESS IN THE FOLLOWING LOCATIONS USING EMERGENCY POWER:
 - ANY SPACE REQUIRING TWO OR MORE MEANS OF EGRESS.
 - AISELES & CORRIDORS
 - INTERIOR EXIT ACCESS STAIRWAYS & RAMP
 - INTERIOR & EXTERIOR EXIT STAIRWAYS & RAMP
 - EXIT PASSAGEWAYS
 - AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE PER SECTION 1028.1.
 - EXTERIOR LANDINGS AT EXIT DISCHARGE DOORS.
- PROVIDE EMERGENCY POWER FOR LIGHTING IN THE FOLLOWING LOCATIONS:
 - ELECTRICAL EQUIPMENT ROOMS
 - FIRE COMMAND CENTERS (IF APPLICABLE)
 - FIRE PUMP ROOMS
 - GENERATOR ROOMS
 - PUBLIC RESTROOMS GREATER THAN 300 SF
- FIRE RATINGS SHOWN ON THESE PLANS REFER TO SECTION 701.1 FOR FIRE-RESISTANCE-RATED CONSTRUCTION TO CONTAIN THE SPREAD OF FIRE AND SMOKE.
- WALLS REQUIRED TO BE FIRE-RESISTANCE RATED FOR STRUCTURAL PROTECTION PER TABLE 601 ARE CONSTRUCTED AS FOLLOWS:
 - METAL & WOOD STUD FRAMED WALLS ARE PROTECTED ON BOTH SIDES WITH AT LEAST ONE LAYER OF 5/8" TYPE 'X' GWB. OPENING PROTECTION IS NOT REQUIRED. CONSTRUCT MEMBRANE PENETRATIONS IN ACCORDANCE WITH SECTION 714
 - CMU WALLS ACHIEVE RATING BY PROTECTION OF THE REINFORCING STEEL WITH SOLID GROUT
 - CONCRETE WALLS ACHIEVE RATING BY PROTECTION OF THE REINFORCING STEEL BY AT LEAST THE MINIMUM COVERAGE REQUIRED. REFER TO THE STRUCTURAL DRAWINGS FOR DETAILS
- SMOKE/FIRE RATED CURTAIN AT ALL ELEVATOR OPENINGS. NOT REQUIRED AT LEVEL(S) OF EXIT DISCHARGE

BUILDING DIAGONAL



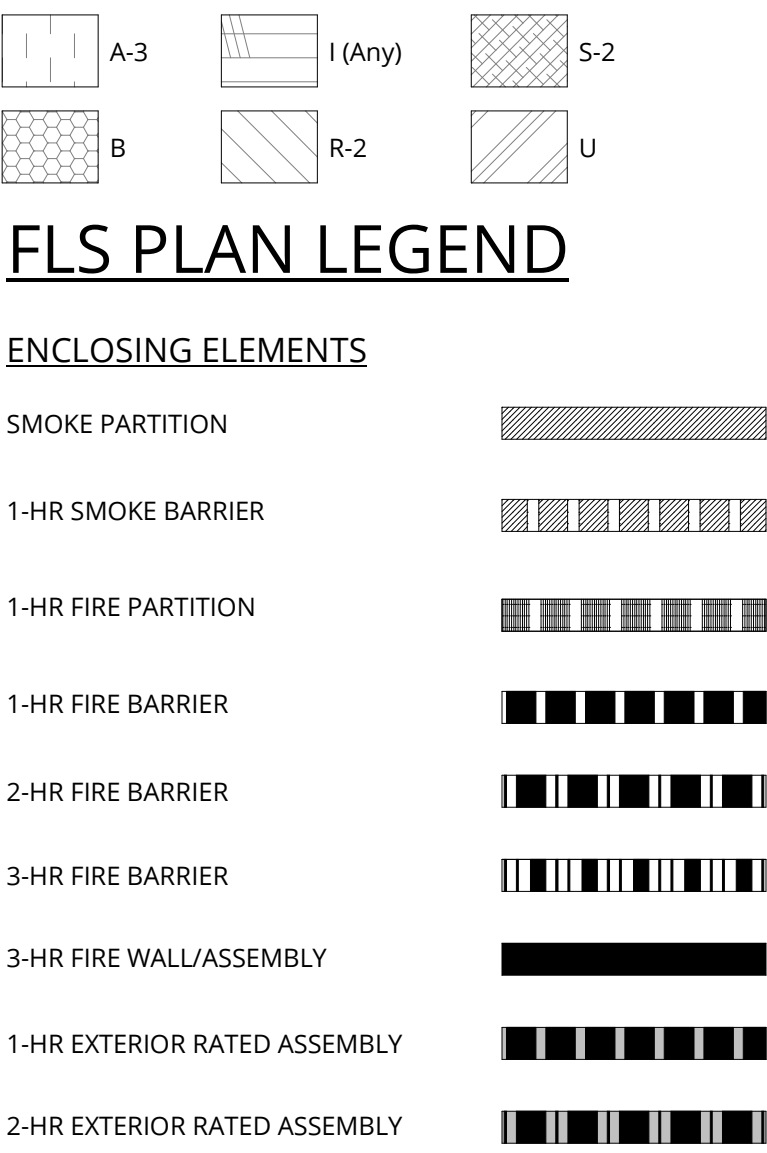
EXIT & EXIT ENCLOSURE SEPARATION & REMOTENESS



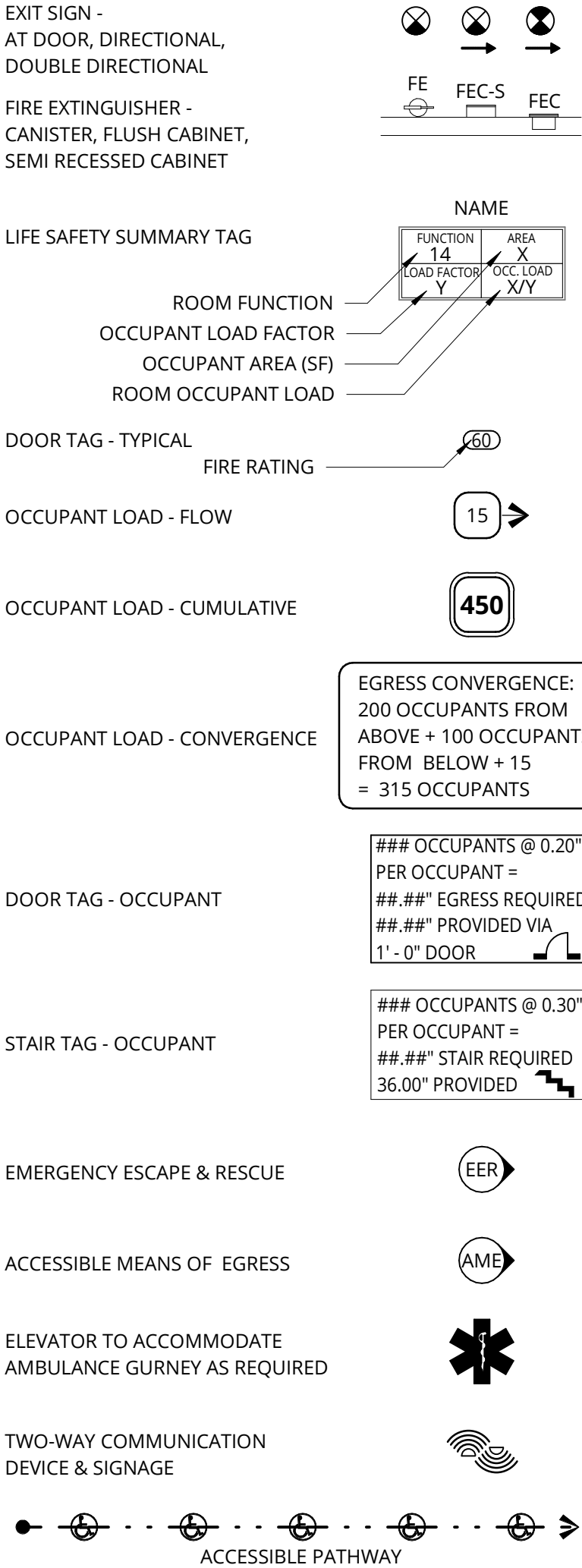
EXIT WIDTH SUMMARY PER 1005.1			
EXIT LOCATION:	REQUIRED:	PROVIDED:	
EXIT 01	150(0.2in) =	30.00"	6'-0"
EXIT 02	147(0.2in) =	29.40"	3'-0"
HORIZONTAL EXIT 03	57(0.2in) =	11.40"	3'-0"

FLS - OCCUPANCY - LEVEL 3					
NAME	OCC. GROUP	FUNCTION	AREA	LOAD FACTOR	OCC. LOAD
CORRIDOR	R-2	23.0 RESIDENTIAL	2,740 SF	200	14
ELEV 1	R-2	30.0 NO CLASSIFICATION APPLIES	121 SF		
ELEV 2	R-2	30.0 NO CLASSIFICATION APPLIES	109 SF		
RESIDENTIAL	R-2	23.0 RESIDENTIAL	13,817 SF	200	70
RESIDENTIAL	R-2	23.0 RESIDENTIAL	3,530 SF	200	18
RESIDENTIAL	R-2	23.0 RESIDENTIAL	1,424 SF	200	8
STAIR 1	R-2	30.0 NO CLASSIFICATION APPLIES	279 SF		
STAIR 2	R-2	30.0 NO CLASSIFICATION APPLIES	255 SF		
HOUSEKEEPING	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	159 SF	300	1
IDF	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	73 SF	300	1
IDF	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	47 SF	300	1
STORAGE	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	217 SF	300	1
TRASH	S-2	1.0 ACCESSORY STORAGE AREAS, MECHANICAL ROOM	138 SF	300	1
TOTAL OCCUPANT LOAD			22,908 SF		115

OCCUPANCY LEGEND



SYMBOLS & ELEMENTS



ADDITIONAL REQUIREMENTS

- NOTES

NOT FOR
CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100

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206.576.1600

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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

LEVEL 2 - FLS PLAN

DESIGN
DEVELOPEMENT

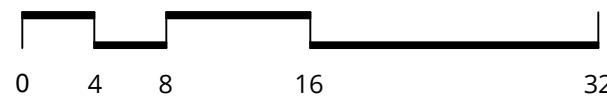
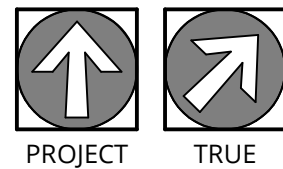
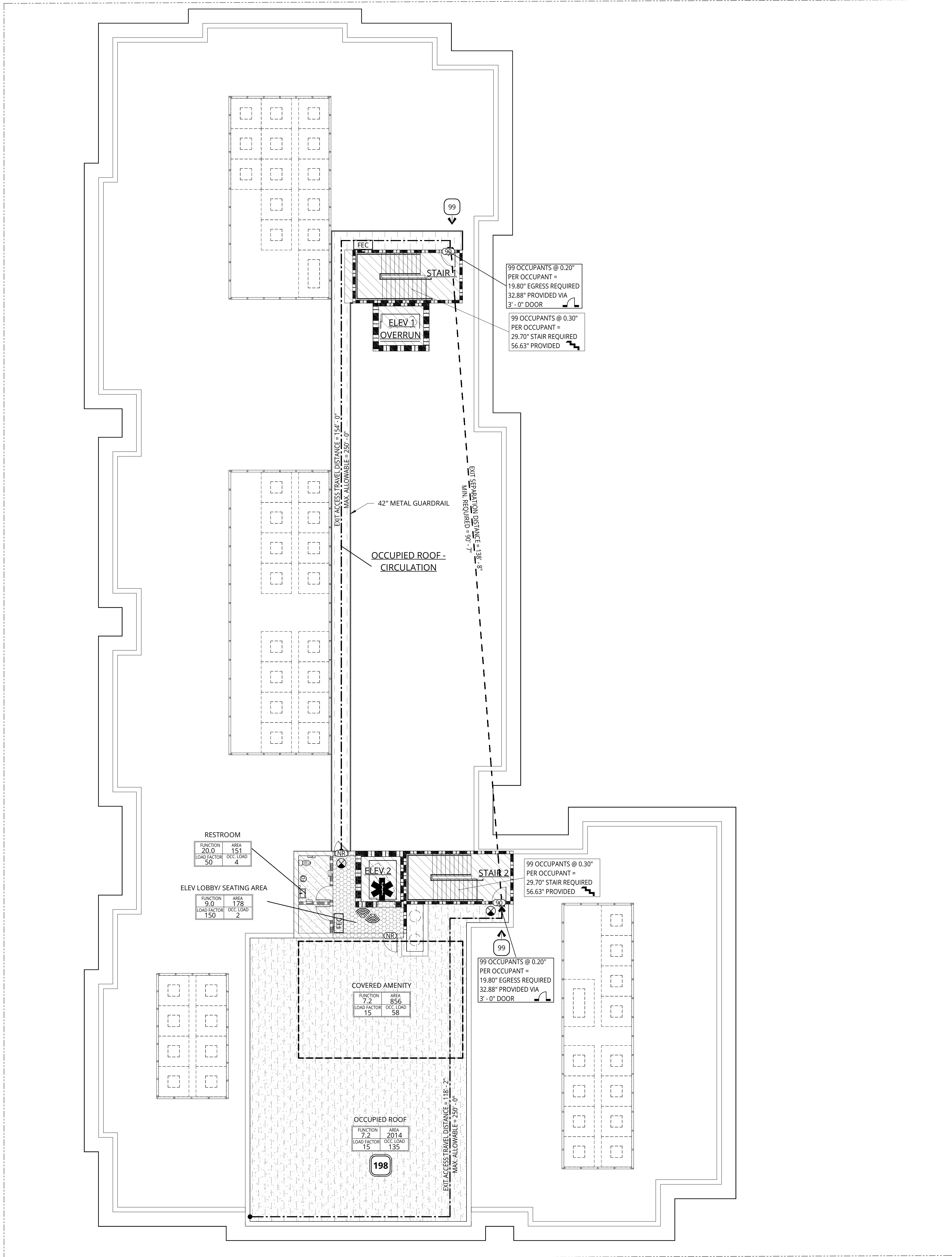
DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

G2.23

1 ROOF - FLS PLAN

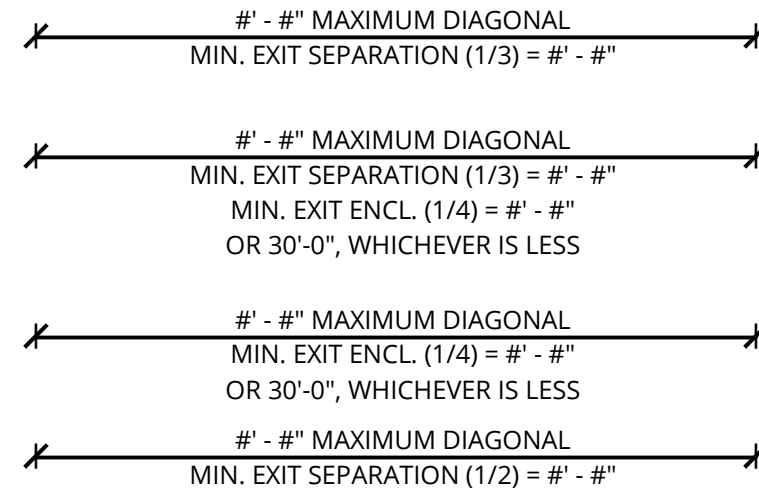
3/32" = 1'-0"



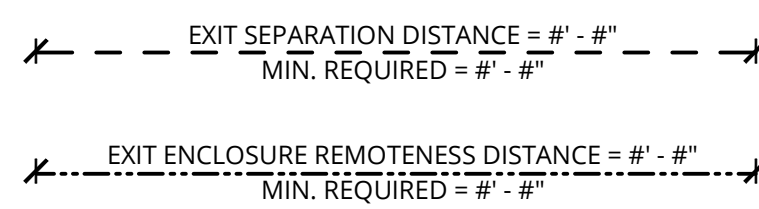
GENERAL NOTES - FLS PLANS

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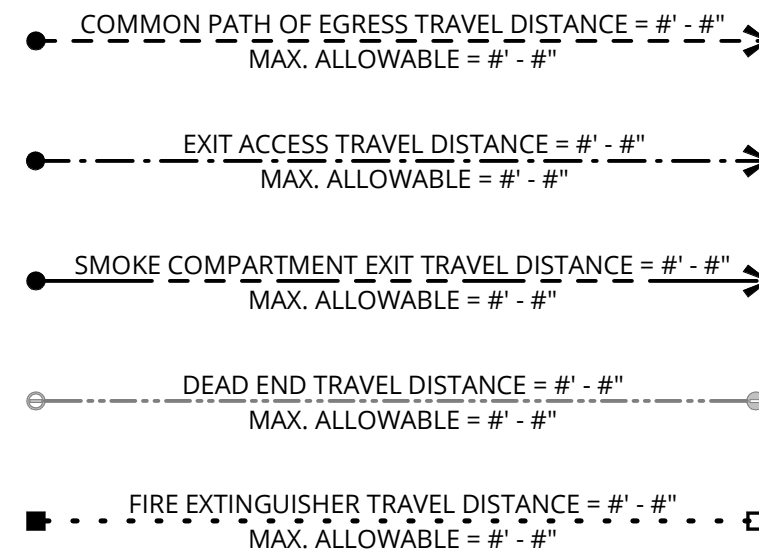
BUILDING DIAGONAL



EXIT & EXIT ENCLOSURE SEPARATION & REMOTENESS



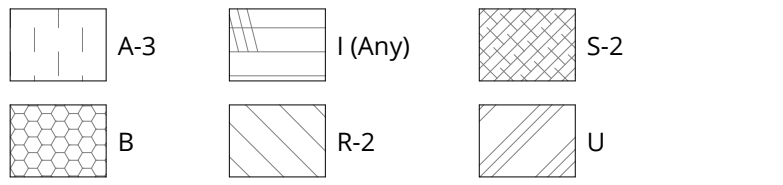
PATHS



EXIT WIDTH SUMMARY PER 1005.1			
EXIT LOCATION:	REQUIRED:	PROVIDED:	
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EXIT 02	147(0.2in) =	29.40"	3'-0"
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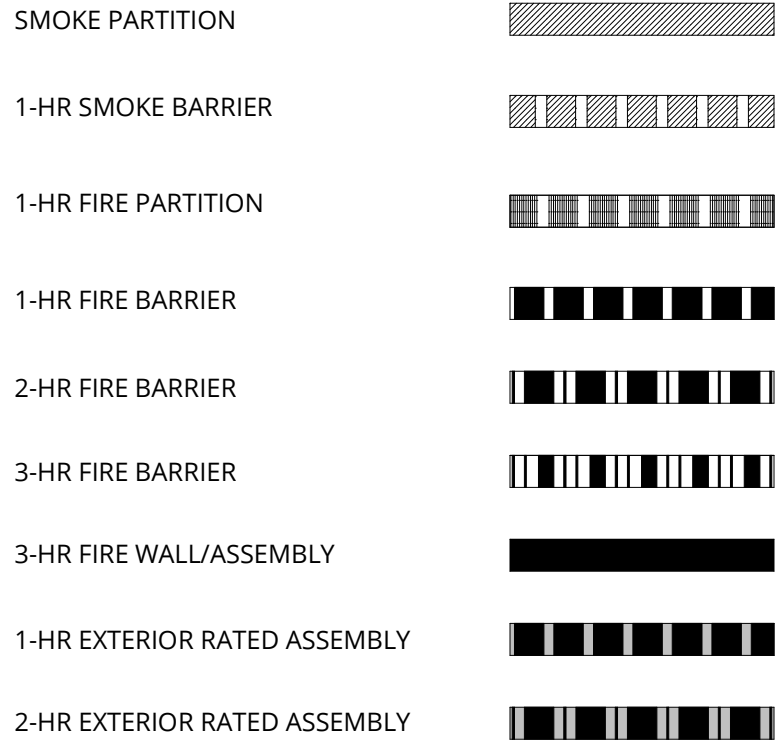
FLS - OCCUPANCY - ROOF						
NAME	OCC. GROUP	FUNCTION	AREA	LOAD FACTOR	OCC. LOAD	
COVERED AMENITY	A-3	7.2 ASSEMBLY: UNCONCENTRATED-TABLES AND CHAIRS	856 SF	15	58	
OCCUPIED ROOF	A-3	7.2 ASSEMBLY: UNCONCENTRATED-TABLES AND CHAIRS	2,014 SF	15	135	
OCCUPIED ROOF - CIRCULATION	A-3	30.0 NO CLASSIFICATION APPLIES	582 SF			
ELEV LOBBY/ SEATING AREA	B	9.0 BUSINESS	178 SF	150	2	
ELEV 1	R-2	23.0 NO CLASSIFICATION APPLIES	121 SF			
ELEV 2	R-2	23.0 NO CLASSIFICATION APPLIES	96 SF			
RESTROOM	R-2	20.0 LOCKER ROOMS	151 SF	50	4	
STAIR 1	R-2	23.0 NO CLASSIFICATION APPLIES	279 SF			
STAIR 2	R-2	23.0 NO CLASSIFICATION APPLIES	255 SF			
TOTAL OCCUPANT LOAD			4,533 SF		199	

OCCUPANCY LEGEND

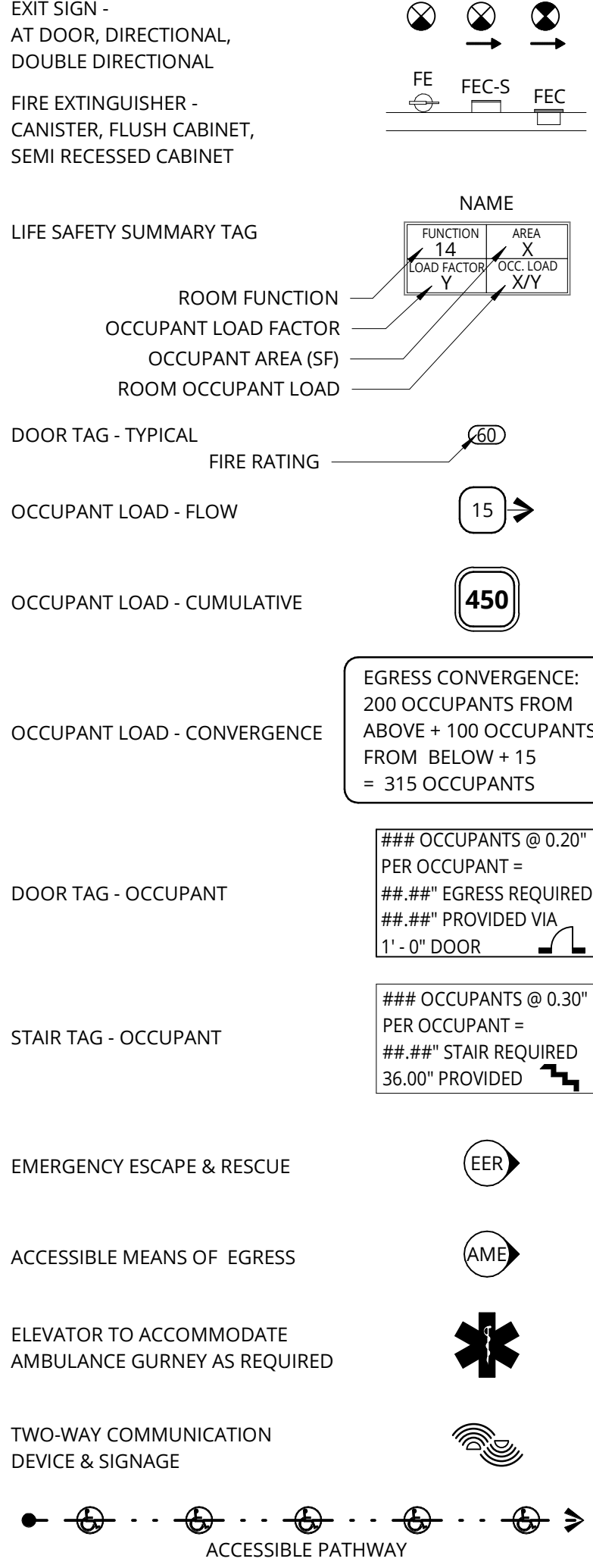


FLS PLAN LEGEND

ENCLOSING ELEMENTS



SYMBOLS & ELEMENTS



ADDITIONAL REQUIREMENTS

- NOTES

NOT FOR CONSTRUCTION



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PORTLAND, OR 97209
503.245.7100

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SEATTLE, WA 98101
206.576.1600

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PACIFIC RETIREMENT SERVICES

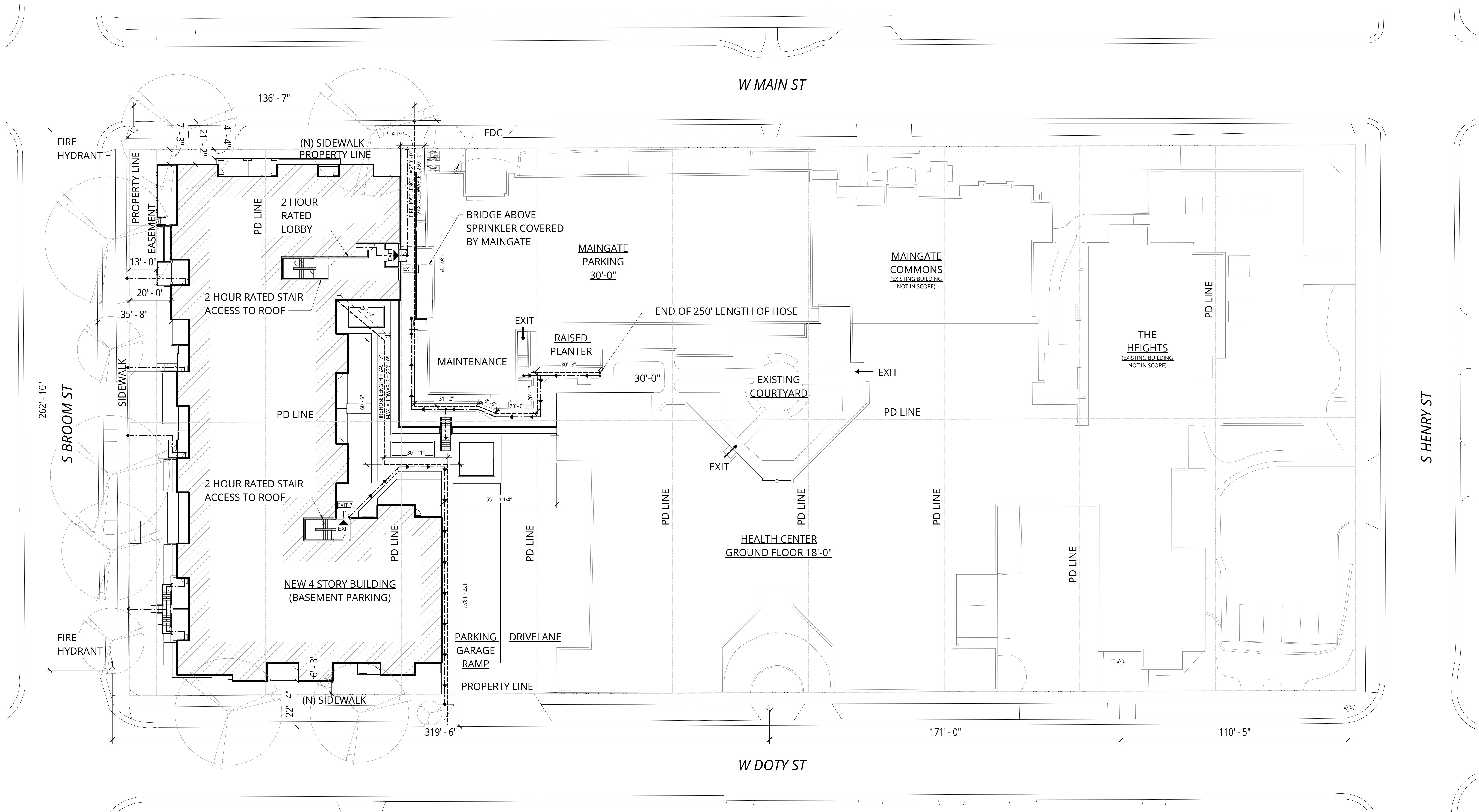
REVISION	DATE	REASON FOR ISSUE

ROOF - FLS PLAN

DESIGN DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

G2.25



FLS PLAN LEGEND

PATHS

HOSE TRAVEL DISTANCE = #'-#"
MAX. ALLOWABLE = #'-#"

EGRESS PATH

FIRE HYDRANT



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REVISION	DATE	REASON FOR ISSUE

FIRE ACCESS
DIAGRAM

DESIGN
DEVELOPEMENT

DATE
02/24/2025

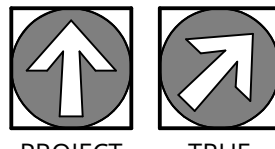
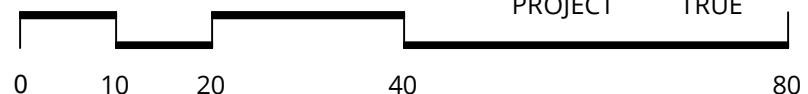
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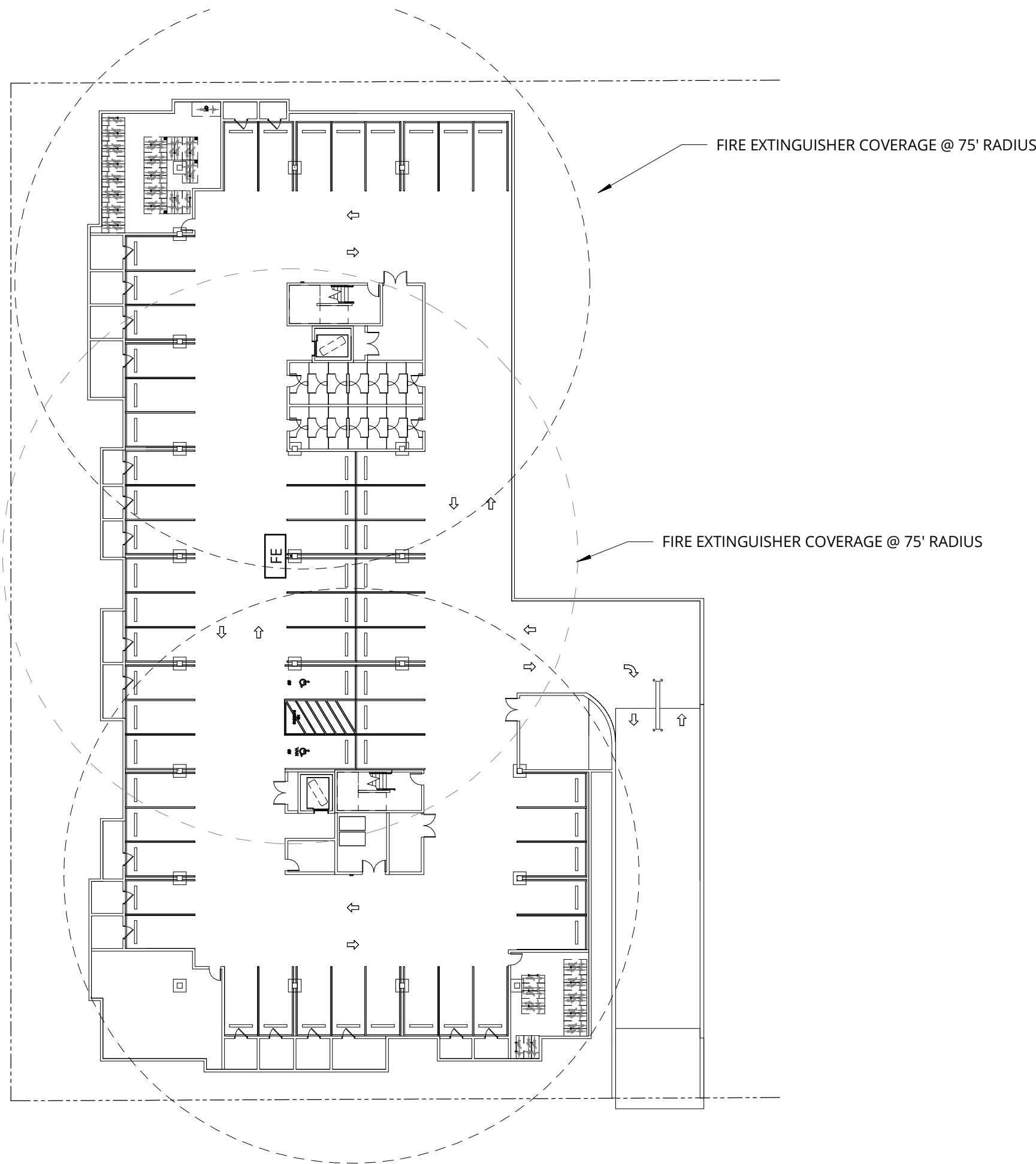
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G4.03

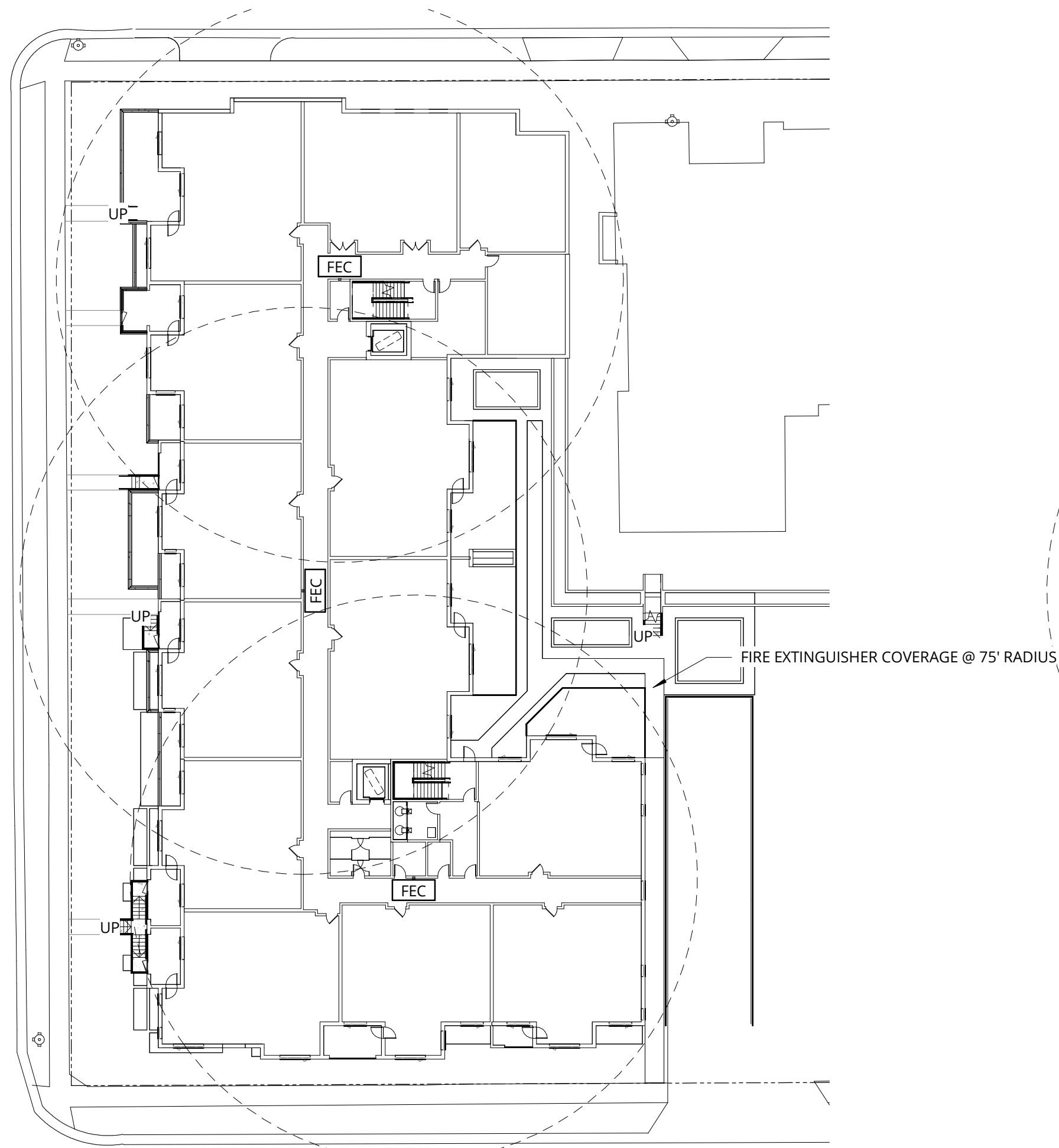
1 SITE PLAN - FIRE HOSE LENGTH & FIRE HYDRANT LOCATIONS

1" = 20'-0"

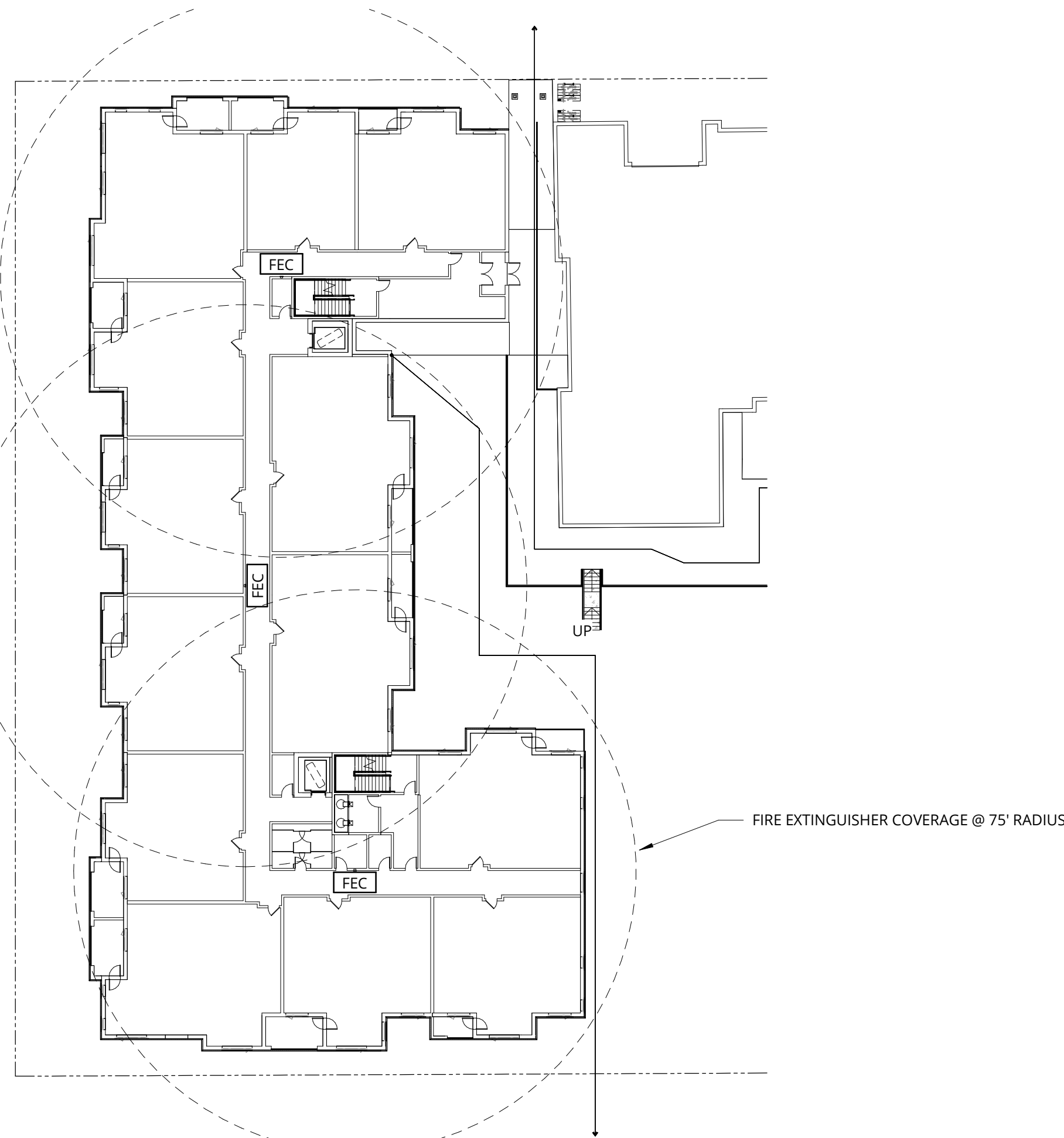




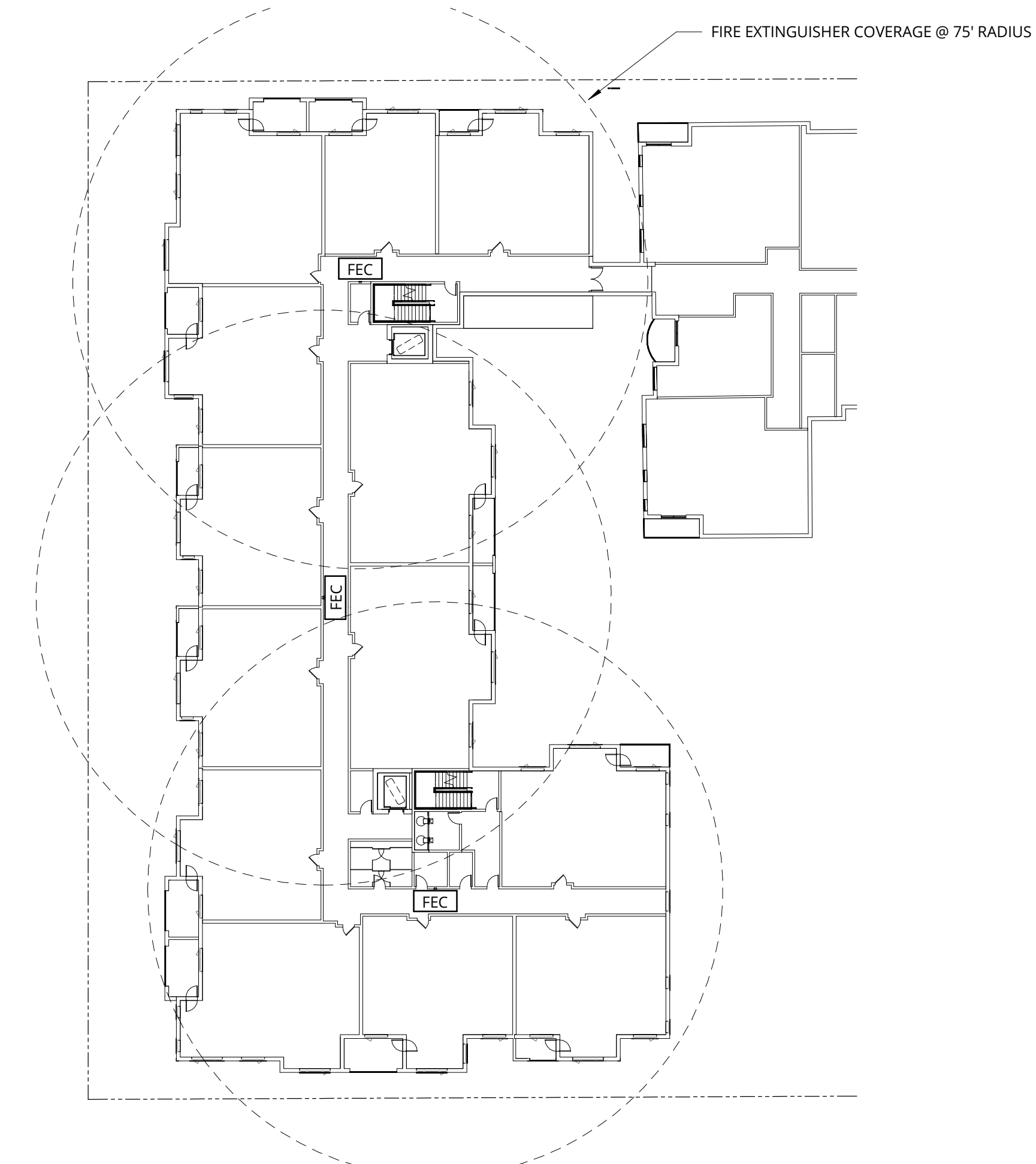
1 P-1 LEVEL - FEC COVERAGE PLANS
1" = 30'-0"



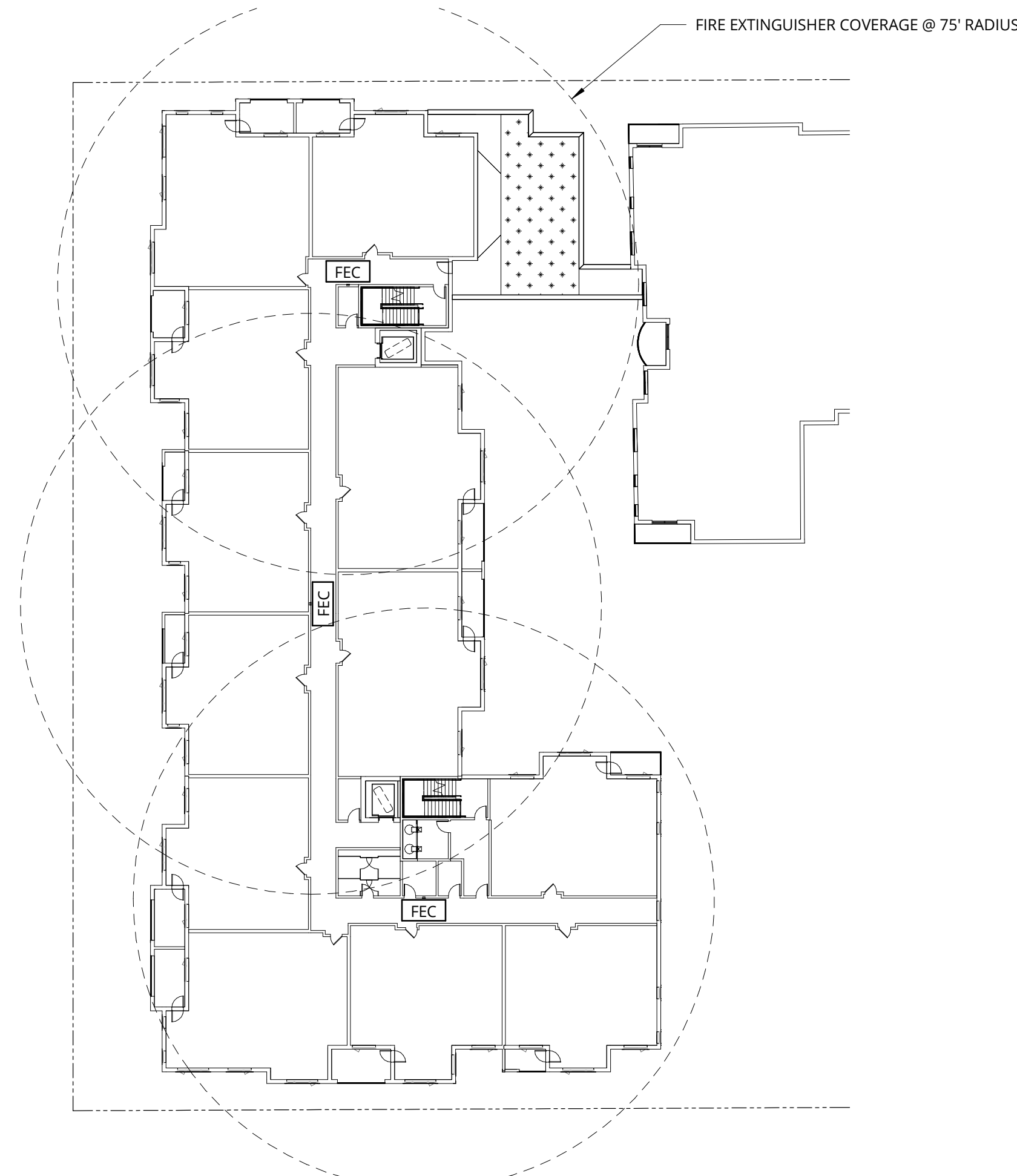
2 LOWER LEVEL - FEC COVERAGE PLANS
1" = 30'-0"



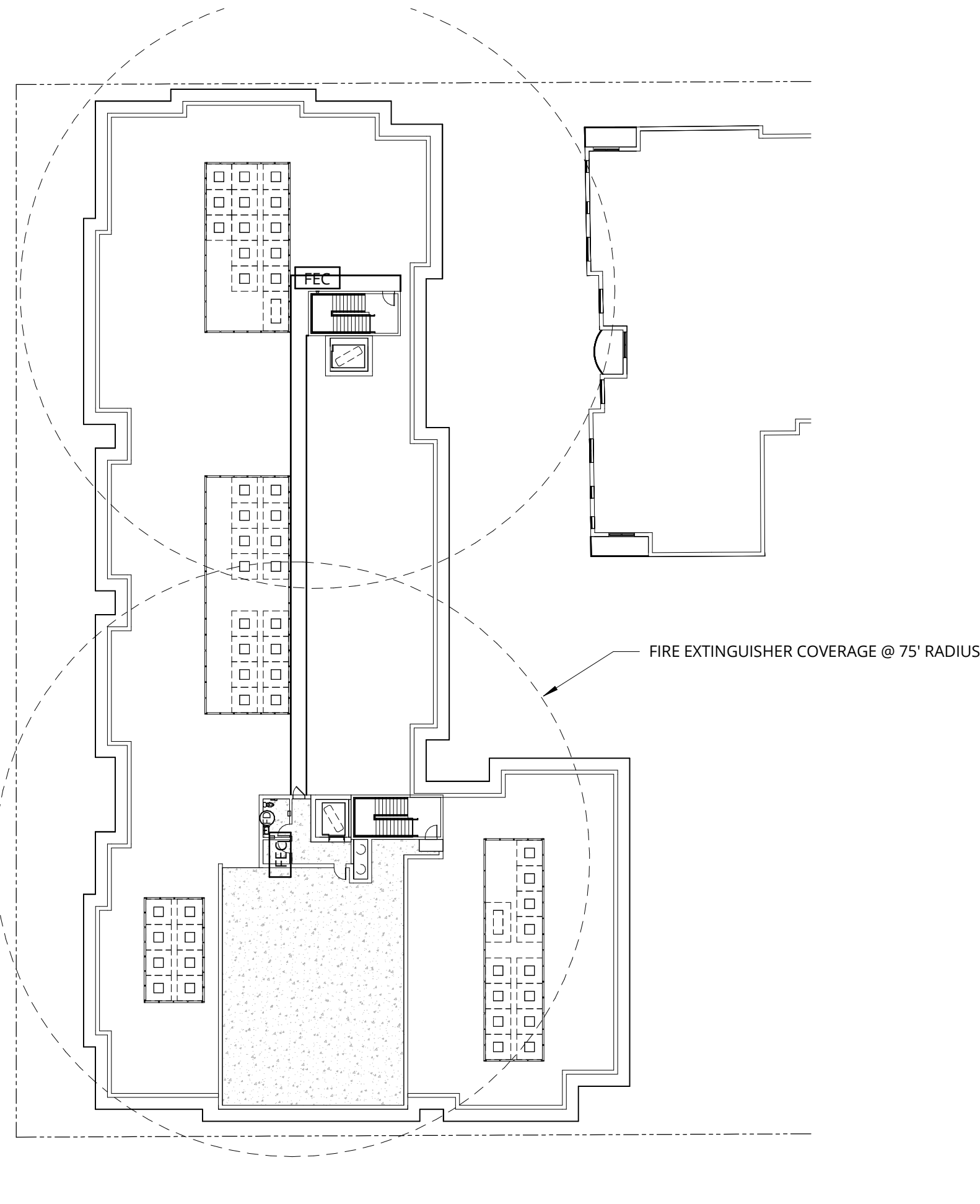
3 LEVEL 1 - FEC COVERAGE PLANS
1" = 30'-0"



4 LEVEL 2 - FEC COVERAGE PLANS
1" = 30'-0"



5 LEVEL 3 - FEC COVERAGE PLANS
1" = 30'-0"



6 ROOF - FEC COVERAGE PLANS
1" = 30'-0"

FLS PLAN LEGEND

ENCLOSING ELEMENTS

SMOKE PARTITION	
1-HR SMOKE BARRIER	
1-HR FIRE PARTITION	
1-HR FIRE BARRIER	
2-HR FIRE BARRIER	
3-HR FIRE BARRIER	
3-HR FIRE WALL/ASSEMBLY	
1-HR EXTERIOR RATED ASSEMBLY	
2-HR EXTERIOR RATED ASSEMBLY	

SYMBOLS & ELEMENTS

EXIT SIGN - AT DOOR, DIRECTIONAL, DOUBLE DIRECTIONAL	
FIRE EXTINGUISHER - CANISTER, FLUSH CABINET, SEMI RECESSED CABINET	

LIFE SAFETY SUMMARY TAG	
ROOM FUNCTION	NAME
OCCUPANT LOAD FACTOR	FUNCTION
OCCUPANT AREA (SF)	AREA
ROOM OCCUPANT LOAD	OCC. LOAD

DOOR TAG - TYPICAL	
OCCUPANT LOAD - FLOW	
OCCUPANT LOAD - CUMULATIVE	

OCCUPANT LOAD - CONVERGENCE	
-----------------------------	--

DOOR TAG - OCCUPANT	
---------------------	--

STAIR TAG - OCCUPANT	
----------------------	--

EMERGENCY ESCAPE & RESCUE	
---------------------------	--

ACCESSIBLE MEANS OF EGRESS	
----------------------------	--

ELEVATOR TO ACCOMMODATE AMBULANCE GURNEY AS REQUIRED	
---	--

FIRE SERVICE ACCESS ELEVATOR	
------------------------------	--

TWO-WAY COMMUNICATION DEVICE & SIGNAGE	
ACCESSIBLE PATHWAY	

BUILDING DIAGONAL

#' - #' MAXIMUM DIAGONAL MIN. EXIT SEPARATION (1/3) = #' - #'	
#' - #' MAXIMUM DIAGONAL MIN. EXIT SEPARATION (1/3) = #' - #' MIN. EXIT ENCL. (1/4) = #' - #' OR 30'-0", WHICHEVER IS LESS	
#' - #' MAXIMUM DIAGONAL MIN. EXIT ENCL. (1/4) = #' - #' OR 30'-0", WHICHEVER IS LESS	
#' - #' MAXIMUM DIAGONAL MIN. EXIT SEPARATION (1/2) = #' - #'	

EXIT & EXIT ENCLOSURE SEPARATION & REMOTENESS

EXIT SEPARATION DISTANCE = #' - #' MIN. REQUIRED = #' - #'	
EXIT ENCLOSURE REMOTENESS DISTANCE = #' - #' MIN. REQUIRED = #' - #'	

PATHS

COMMON PATH OF EGRESS TRAVEL DISTANCE = #' - #' MAX. ALLOWABLE = #' - #'	
EXIT ACCESS TRAVEL DISTANCE = #' - #' MAX. ALLOWABLE = #' - #'	
SMOKE COMPARTMENT EXIT TRAVEL DISTANCE = #' - #' MAX. ALLOWABLE = #' - #'	
DEAD END TRAVEL DISTANCE = #' - #' MAX. ALLOWABLE = #' - #'	
FIRE EXTINGUISHER TRAVEL DISTANCE = #' - #' MAX. ALLOWABLE = #' - #'	

ADDITIONAL REQUIREMENTS

- NOTES

PROJECT	TRUE			
0	15	30	60	120

NOT FOR
CONSTRUCTION



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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

FEC LOCATIONS

DESIGN
DEVELOPEMENT

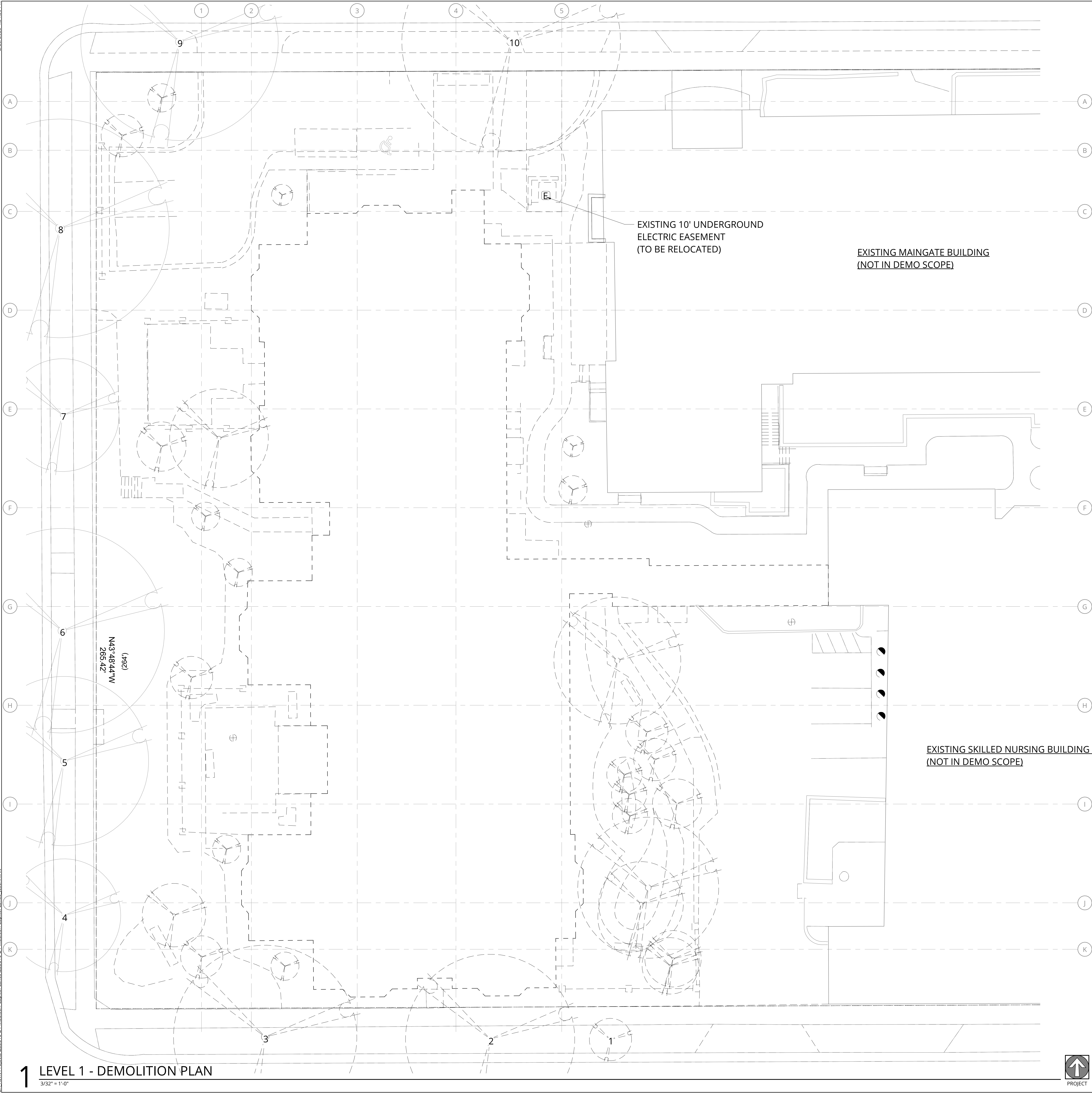
DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

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2/26/2025 4:31:30 PM

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GENERAL NOTES - DEMOLITION PLANS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. CONSTRUCTION SCHEDULED FOR DEMOLITION IS SHOWN DASHED.
3. IN ADDITION TO THE WORK SHOWN IN THE PLAN(S) REMOVE THE FOLLOWING COMPONENTS:
4. WINDOW TREATMENT
5. LAY-IN CEILING TILES (GRID TO REMAIN)
6. LIGHTING FIXTURES
7. GWB SOFFITS
8. REMOVE EXISTING FLOOR FINISH THROUGHOUT THE WORK AREA.

DEMOLITION LEGEND

STRUCTURE TO BE DEMOLISHED - - -

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SEATTLE, WA 98101
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PACIFIC RETIREMENT SERVICES

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SITE DEMOLITION

**DESIGN
DEVELOPEMENT**

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

AD1.01

2/26/2025 4:31:38 PM

SITE INFORMATION

CURRENT ZONE: PLANNED DEVELOPMENT
CURRENT USE: A 44 UNIT COMMUNITY BASED RESIDENTIAL FACILITY
LOCATION: 342 WEST DOTY STREET AND 343-353 WEST MAIN STREET

ALLOWED BUILDING SETBACKS:
FRONT: 13' FT RESERVATION SETBACK
SIDE: 0 FT
REAR: 0 FT
MAXIMUM BUILDING HEIGHT: BUILDING LIMIT TO 4 STORY.
CURRENT BUILDING HEIGHT: 4 STORY BUILDING OVER BASEMENT PARKING

REFUSE COLLECTION DISTRICT: 07C

PROPERTY CLASS: COMMERCIAL

PARCEL NUMBER: 070923121184

LOT SIZE: 53,558 SQ FT (43,632 SQ FT ON ANOTHER SITE)

ADDRESS: 345 W MAIN ST, MADISON WI 53703

ALDER DISTRICT: 4 - MICHAEL VERVEER

DISTRICT: DOWNTOWN CORE

SITE AREA ANALYSIS

RESIDENTIAL USE	AREA (SF)	% OF SITE
SITE AREA	43,790	100
BUILDING AREA	24,409	56
HARDSCAPE	2,656	6
PARKING/ROADS	4,646	11
LANDSCAPE	12,079	28

PARKING

RESIDENTIAL USE	REQUIREMENT	UNIT/BEDS	PARKING PROVIDED
COMMUNITY LIVING ARRANGEMENT	N/A	49 / 96 BEDS	56
ACCESSIBLE STALLS	N/A	49 / 96 BEDS	2
BICYCLE PARKING	1 PER DWELLING	49 / 96 BEDS	57
TOTAL REQUIRED: N/A			
TOTAL PROVIDED: 56 STANDARD STALLS, 2 ACCESSIBLE = 58 TOTAL PARKING STALLS			

PARKING SCHEDULE		
LEVEL	PARKING STALL TYPE	QUANTITY
P-1 LEVEL	STANDARD 9'-0"x18'-0"	56
P-1 LEVEL	ACCESSIBLE 9'-0"x18'-6"	2
TOTAL PARKING		58

BIKE PARKING SCHEDULE - LONG TERM (BIKE ROOM)		
Level	RACK TYPE	BIKE QUANTITY
P-1 LEVEL	HORIZONTAL BIKE PARKING	52
TOTAL BIKES		52

BIKE PARKING SCHEDULE - SHORT TERM		
Level	RACK TYPE	BIKE QUANTITY

LEVEL 1	HORIZONTAL BIKE PARKING	5
TOTAL BIKES		5

GENERAL NOTES - SITE PLAN

- REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS, NOTES, & DETAILS
- SEE CIVIL DRAWINGS FOR HORIZONTAL CONTROL DIMENSIONS. <VERIFY>
<ADD THE FOLLOWING FOR SDC JURISDICTION PROJECTS ONLY>
- ENCROACHMENTS OF BUILDINGS OVER SIDEWALKS ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION THAT A STREET USE PERMIT WILL BE OBTAINED FOR THE CANOPIES THAT EXTEND INTO THE STREET RIGHT OF WAY
- REFER TO SDOOT STREET IMPROVEMENT PLAN #XXXX FOR WORK IN THE RIGHT OF WAY

NOT FOR
CONSTRUCTION



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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

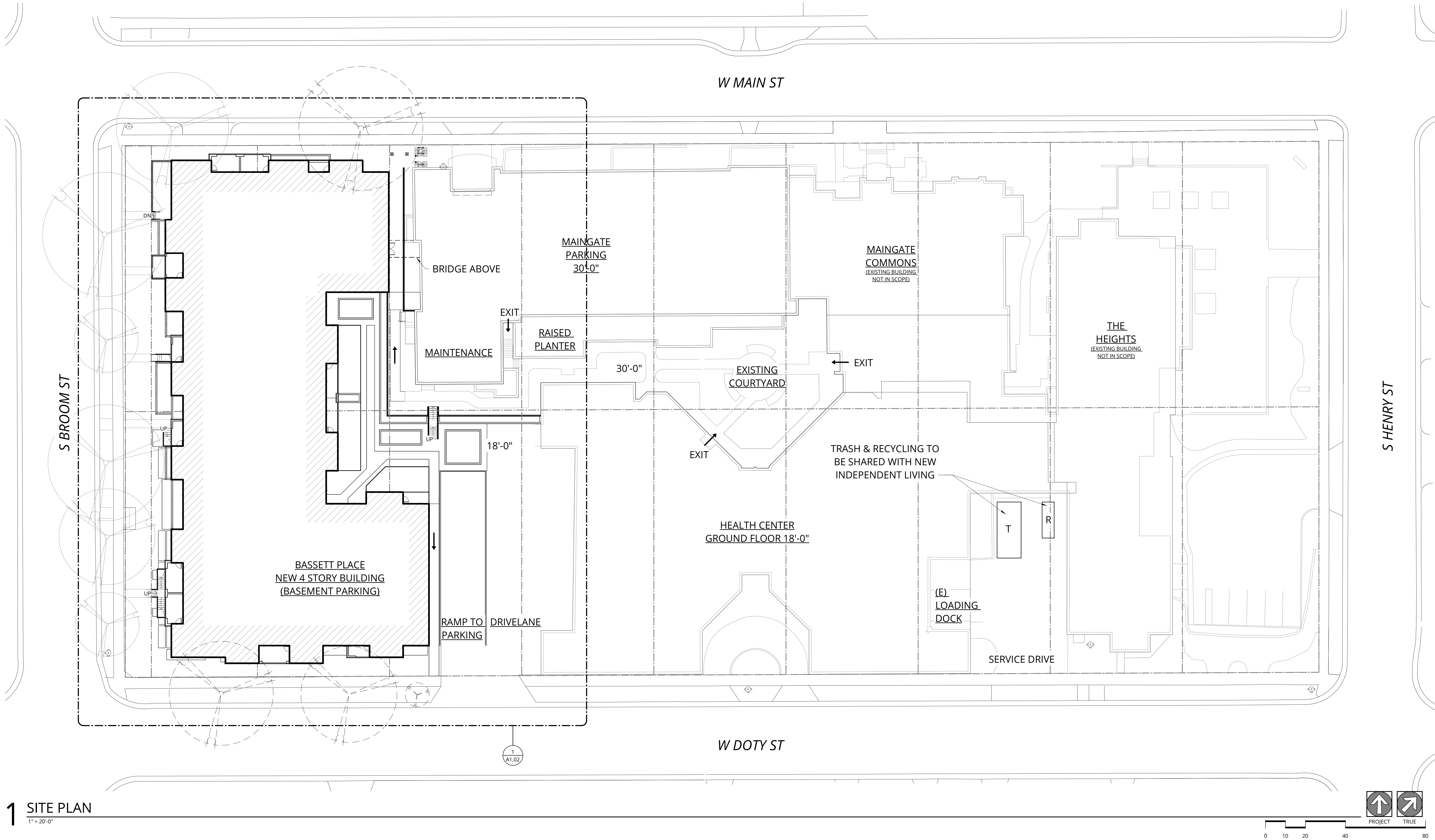
SITE PLAN

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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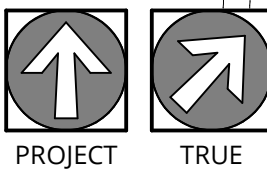
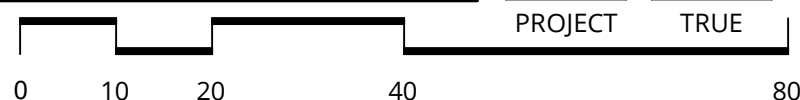
SHEET NUMBER

A1.01



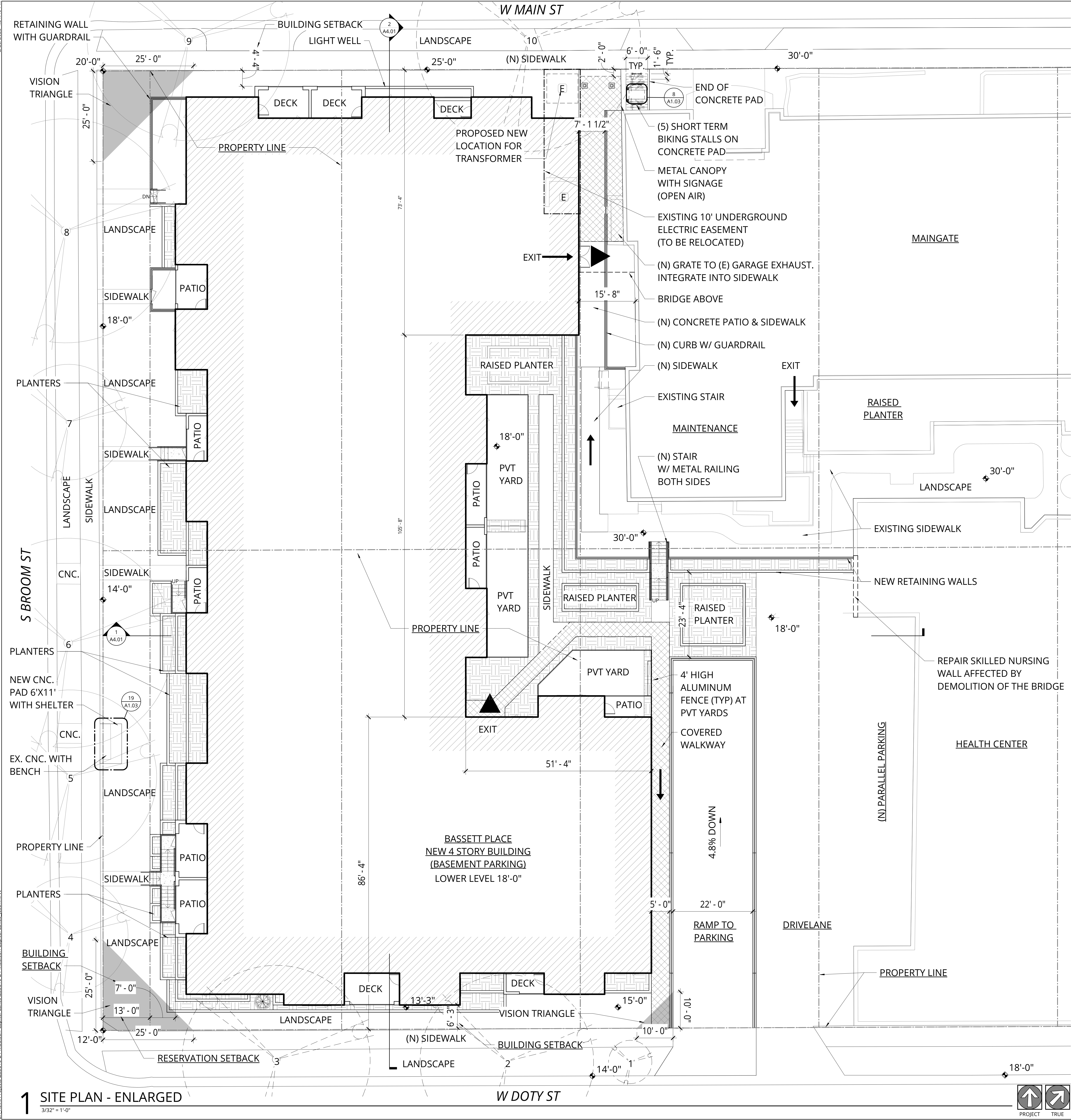
1 SITE PLAN

1" = 20'-0"



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1 SITE PLAN - ENLARGED
3/32" = 1'-0"

GENERAL NOTES - SITE PLAN

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS, NOTES, & DETAILS
3. SEE CIVIL DRAWINGS FOR HORIZONTAL CONTROL DIMENSIONS. <VERIFY>
<ADD THE FOLLOWING FOR SDC JURISDICTION PROJECTS ONLY>
4. ENCROACHMENTS OF BUILDINGS OVER SIDEWALKS ARE SUBJECT TO APPROVAL BY THE DIRECTOR OF TRANSPORTATION THAT A STREET USE PERMIT WILL BE OBTAINED FOR THE CANOPIES THAT EXTEND INTO THE STREET RIGHT OF WAY
5. REFER TO SDOT STREET IMPROVEMENT PLAN #XXXX FOR WORK IN THE RIGHT OF WAY

SHORT TERM BIKE PARKING

RESIDENTIAL USE	REQUIREMENT	UNIT/BEDS	PARKING PROVIDED
ACCESSIBLE STALLS	N/A	49 / 96 BEDS	2
BICYCLE PARKING	N/A	49 / 96 BEDS	3

TOTAL REQUIRED: N/A
TOTAL PROVIDED: 3 STANDARD STALLS, 2 ACCESSIBLE = 5 TOTAL SHORT TERM BIKE PARKING

TREE INVENTORY

#	COMMON NAME	CONDITION
1	GALLERY PEAR	GOOD
2	WHITE ASH	POOR
3	GREEN ASH	FAIR
4	ELM HYBRID	FAIR
5	GREEN ASH	GOOD
6	GREEN ASH	GOOD
7	ELM HYBRID	GOOD
8	GREEN ASH	FAIR
9	GREEN ASH	POOR
10	NORTHERN HACKBERRY	FAIR

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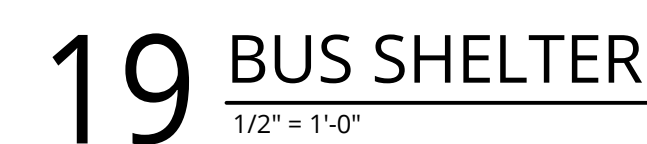
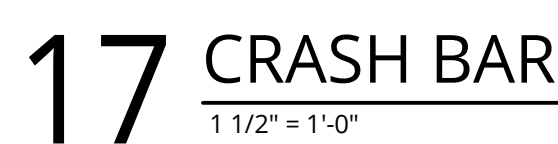
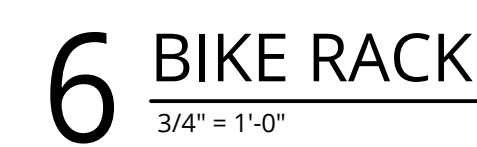
REVISION	DATE	REASON FOR ISSUE

ENLARGED SITE PLAN

DESIGN DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER
A1.02

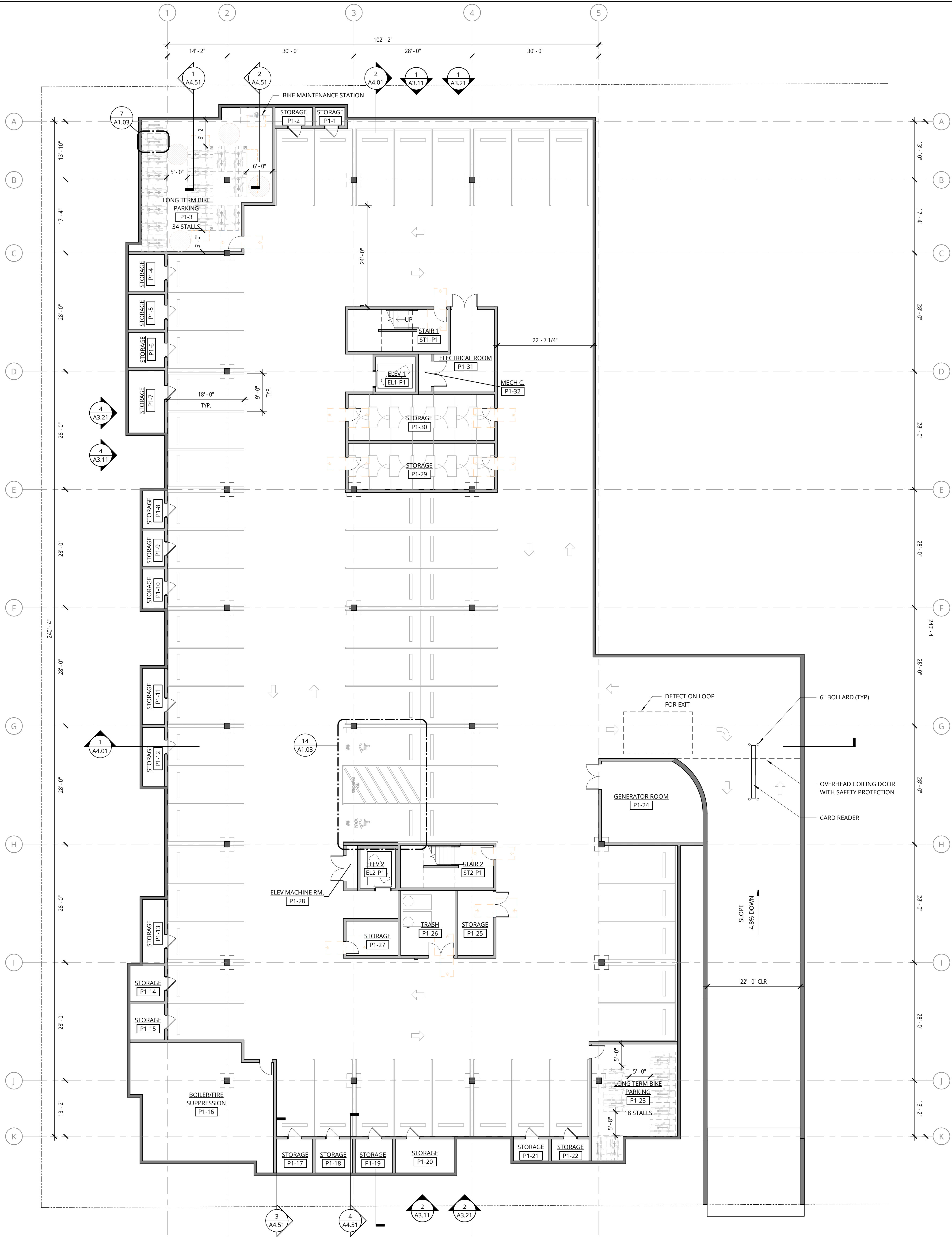


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1 LEVEL P1 - PLAN

3/32" = 1'-0"



GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. PRIOR TO FRAMING VERIFY THAT FINAL APPLIANCE AND PLUMBING FIXTURE SIZES/CLEARANCES MATCH THOSE USED AS BASIS OF DESIGN SHOWN ON DRAWING **AX.XX**. REFER TO SLAB LAYOUT PLANS FOR CONCRETE AND MASONRY WALL LOCATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.
3. SEE SHEETS A0.11 & A0.21 FOR WALL ASSEMBLIES.
4. SEE SHEET A0.41 FOR TYPICAL FRAMING AND ACOUSTICAL DETAILS.
5. SEE ENLARGED PLANS FOR DETAILED DIMENSIONS, WALL TAGS AND DOOR TAGS.
6. REFER TO STRUCTURAL DRAWINGS FOR COLUMNS, SHEAR WALL AND BEAM SIZES.
7. SEE SHEETS BEGINNING ON A5.01 FOR TYPICAL ACCESSIBILITY CLEARANCES.
8. REFER TO ENLARGED UNIT PLANS (**AX.X** SERIES) FOR DETAILED INFORMATION WITHIN EACH RESIDENTIAL UNIT.
9. CONTROL JOINTS TO BE SPACED NO MORE THAN 30'-0" OC IN EACH CONTINUOUS PLANE OF GYPSUM WALLBOARD. FIRE RATING OF ASSEMBLIES TO BE MAINTAINED THROUGH MINIMUM GYPSUM WALLBOARD CONTINUITY PER THE ASSEMBLIES.

PARKING

RESIDENTIAL USE	REQUIREMENT	UNIT/BEDS	PARKING PROVIDED
COMMUNITY LIVING ARRANGEMENT	N/A	49 / 96 BEDS	56
ACCESSIBLE STALLS	N/A	49 / 96 BEDS	2
BICYCLE PARKING	1 PER DWELLING	49 / 96 BEDS	57
TOTAL REQUIRED: N/A			
TOTAL PROVIDED: 56 STANDARD STALLS, 2 ACCESSIBLE = 58 TOTAL PARKING STALLS			

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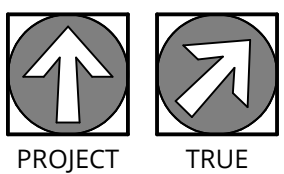
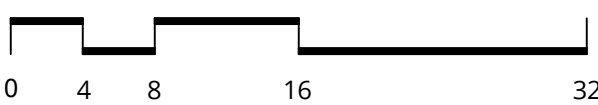
LEVEL P1 FLOOR
PLAN

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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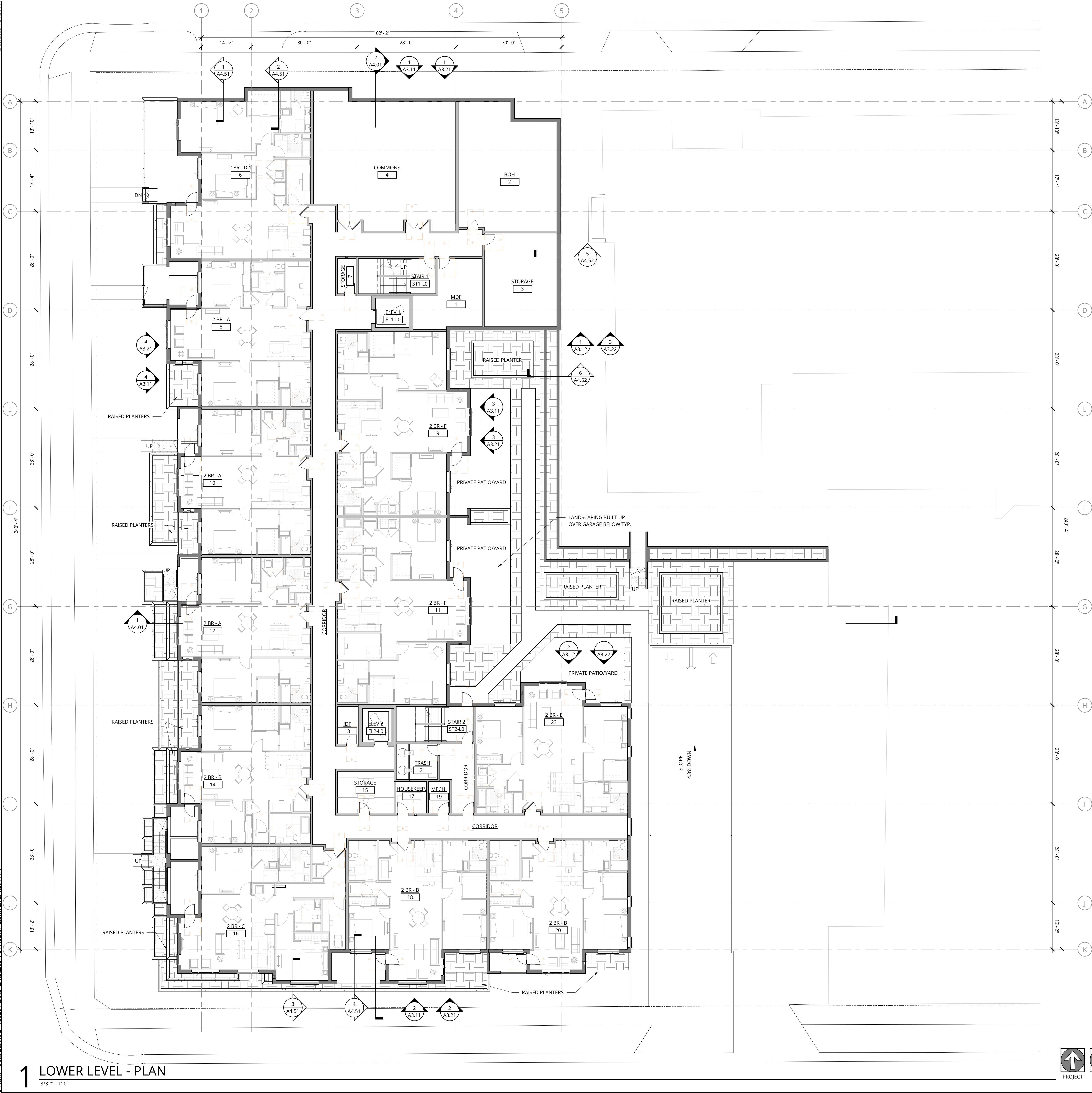
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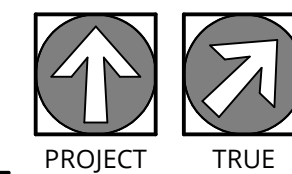


GENERAL NOTES - FLOOR PLANS

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1 LOWER LEVEL - PLAN

3/32" = 1'-0"



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**LOWER LEVEL FLOOR
PLAN**

**DESIGN
DEVELOPEMENT**

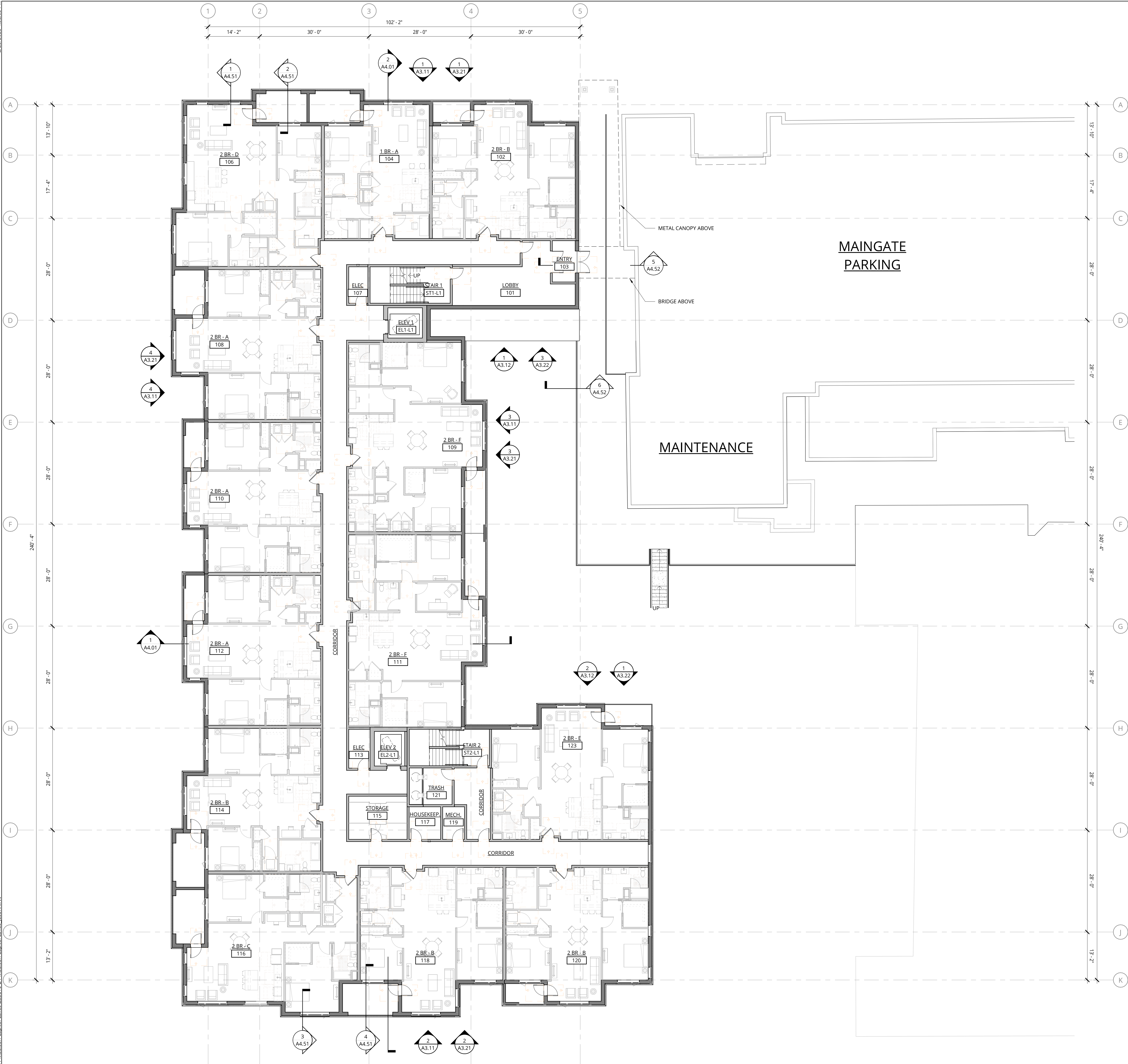
DATE 02/24/2025	PROJECT NUMBER 233810
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GENERAL NOTES - FLOOR PLANS

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LEVEL 1 FLOOR PLAN

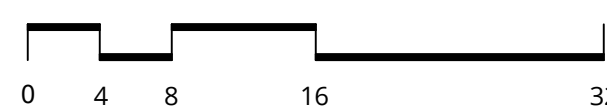
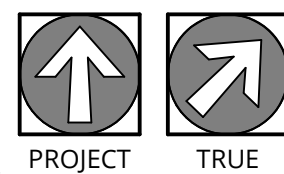
DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

A2.02

1 LEVEL 1 - PLAN
3/32" = 1'-0"

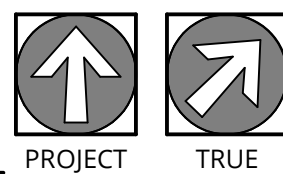
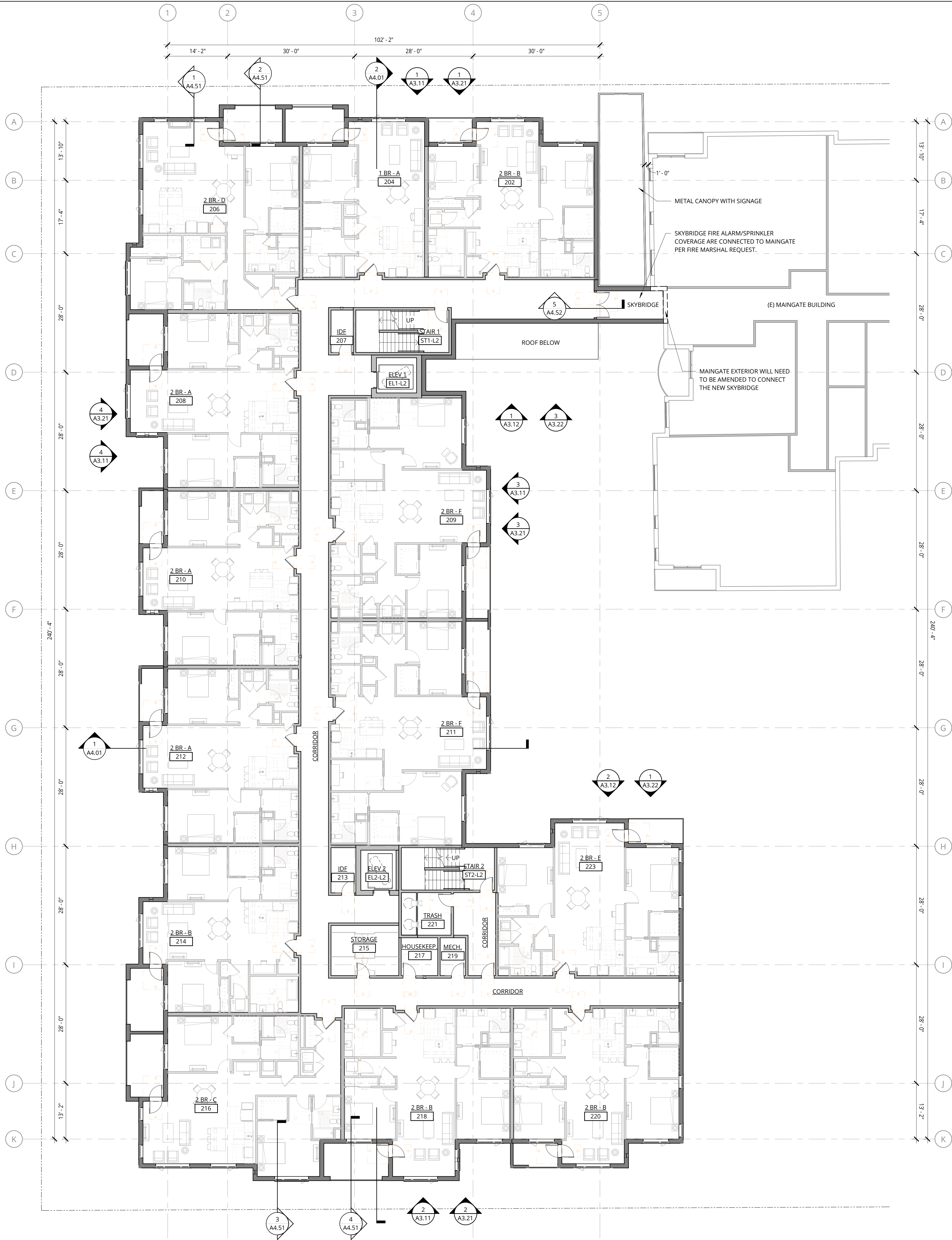


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1 LEVEL 2 - PLAN

3/32" = 1'-0"



GENERAL NOTES - FLOOR PLANS

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LEVEL 2 FLOOR PLAN

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

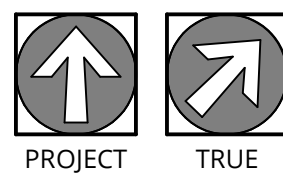
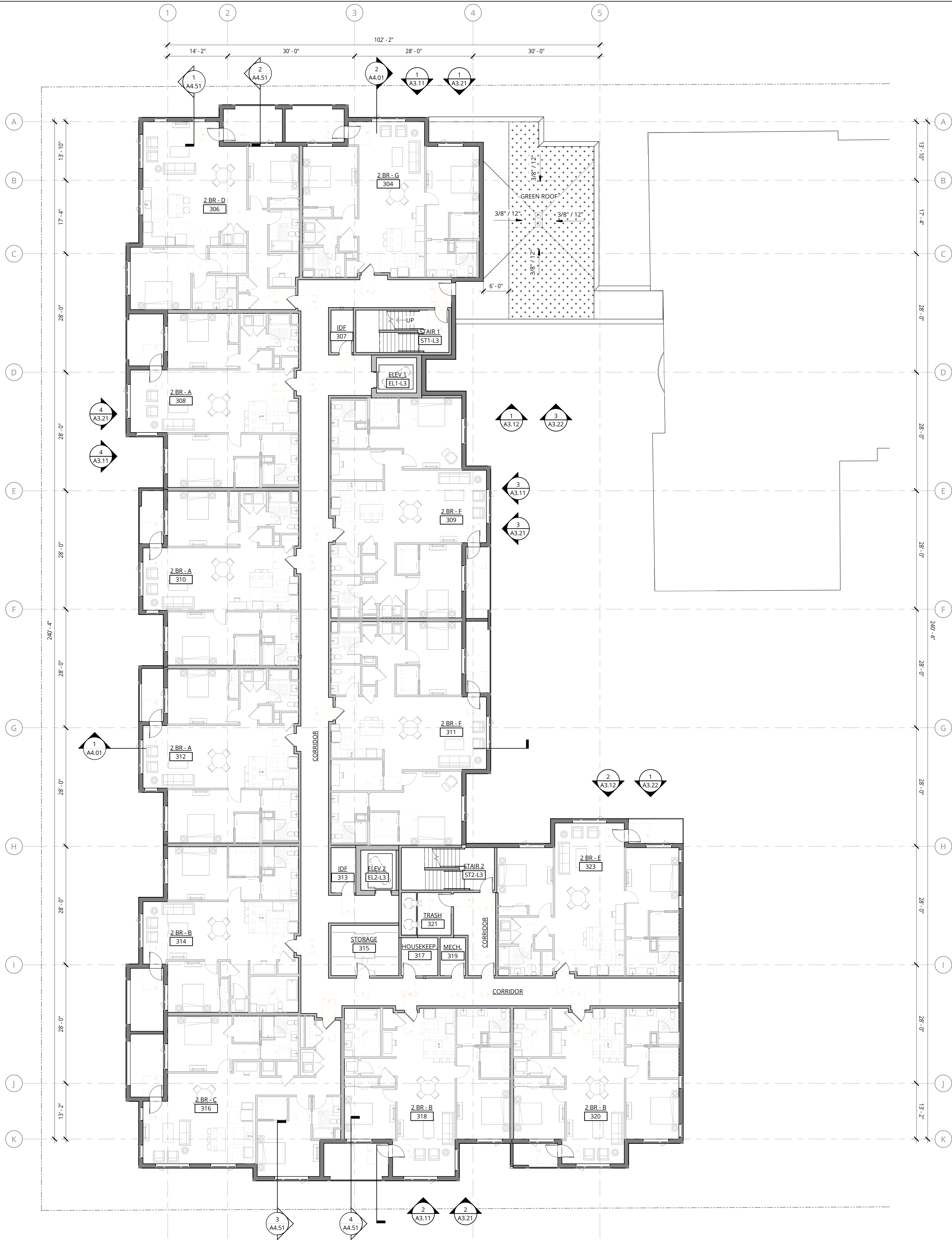
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1 LEVEL 3 - PLAN

3/32" = 1'-0"



GENERAL NOTES - FLOOR PLANS

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LEVEL 3 FLOOR PLAN

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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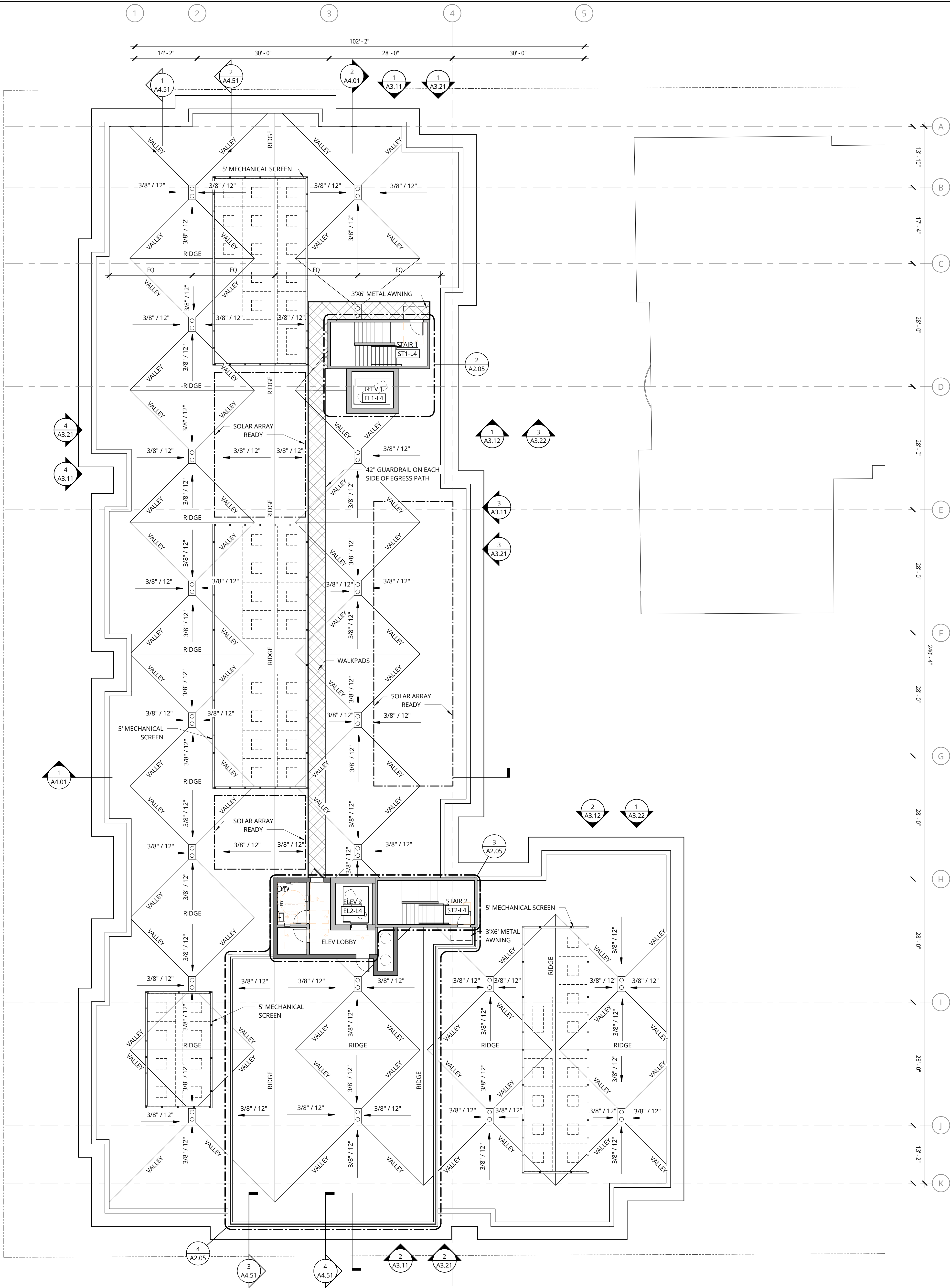
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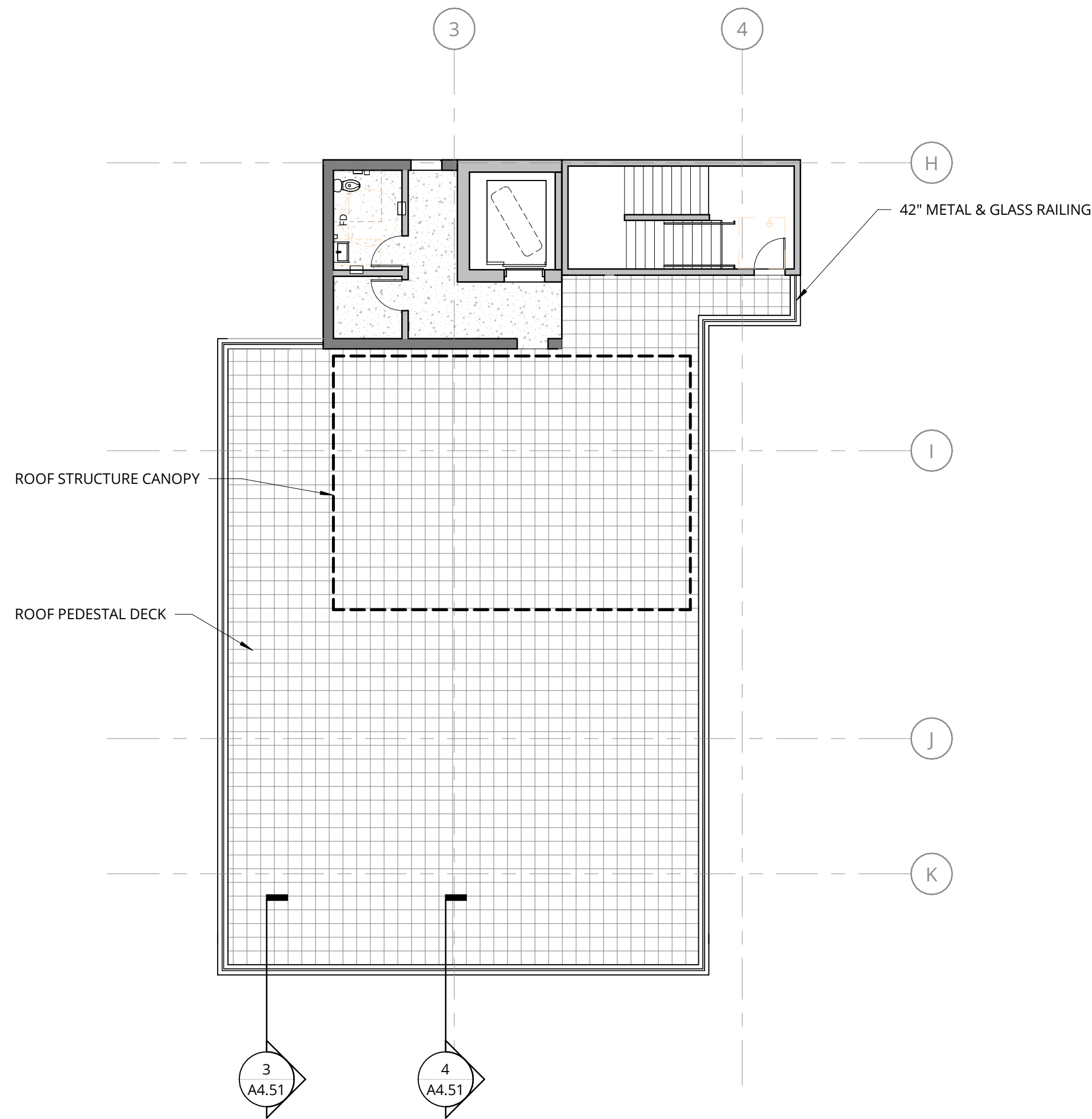
1 ROOF PLAN

3/32" = 1'-0"



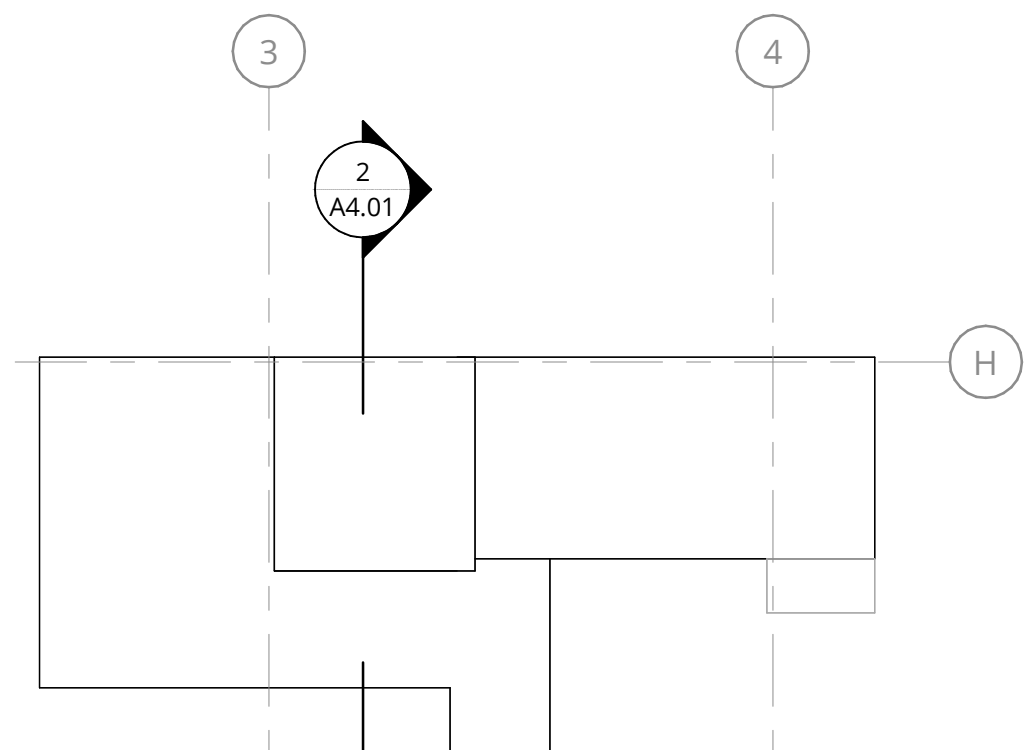
4 ROOF TERRACE PLAN

3/32" = 1'-0"



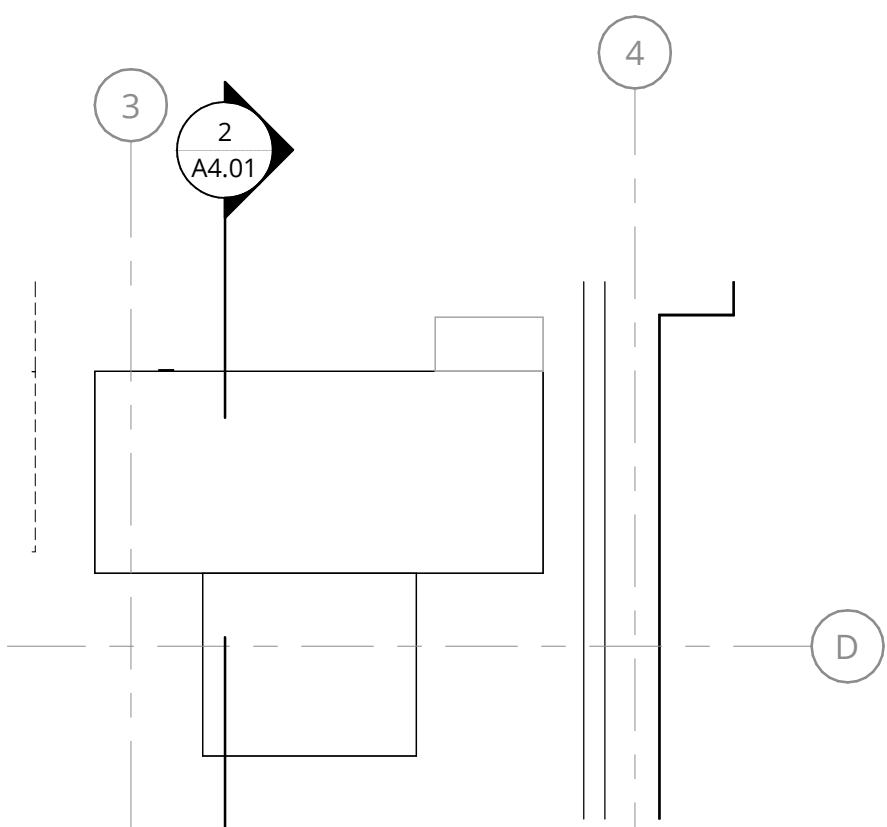
3 STAIR 2 & ELEV 2 - ROOF PLAN

3/32" = 1'-0"



2 STAIR 1 & ELEV 1 - ROOF PLAN

3/32" = 1'-0"



GENERAL NOTES - FLOOR PLANS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
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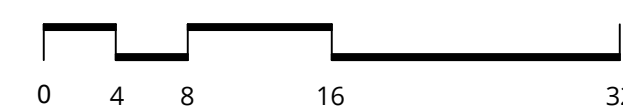
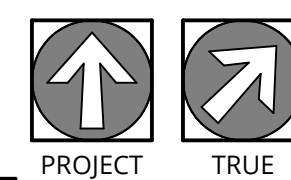
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ROOF PLAN

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

A2.05



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1 NORTH ELEVATION - COLOR
3/32" = 1'-0"



2 SOUTH ELEVATION - COLOR
3/32" = 1'-0"



3 EAST ELEVATION - COLOR
3/32" = 1'-0"



4 WEST ELEVATION - COLOR
3/32" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEET AX.XX FOR WINDOW AND LOUVER INFORMATION.

EXTERIOR ELEVATIONS LEGEND

	FIBER CEMENT PANEL - SW7005 PURE WHITE
	FIBER CEMENT LAP SIDING - SW7513 SANDERLING
	BRICK - SMOOTH BLACK DIAMOND
	EXPOSED CONCRETE
	STACKED STONE - RIVERCREST COASTAL SLATE

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P. CONCRETE @ WINDOW SILL
7	FIBER CEMENT TRIM
10	METAL CANOPY WITH SIGNAGE
14	MECHANICAL SCREEN

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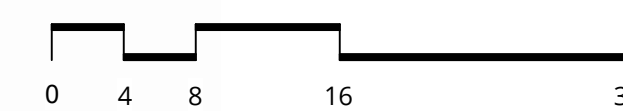
BUILDING
ELEVATIONS - COLOR

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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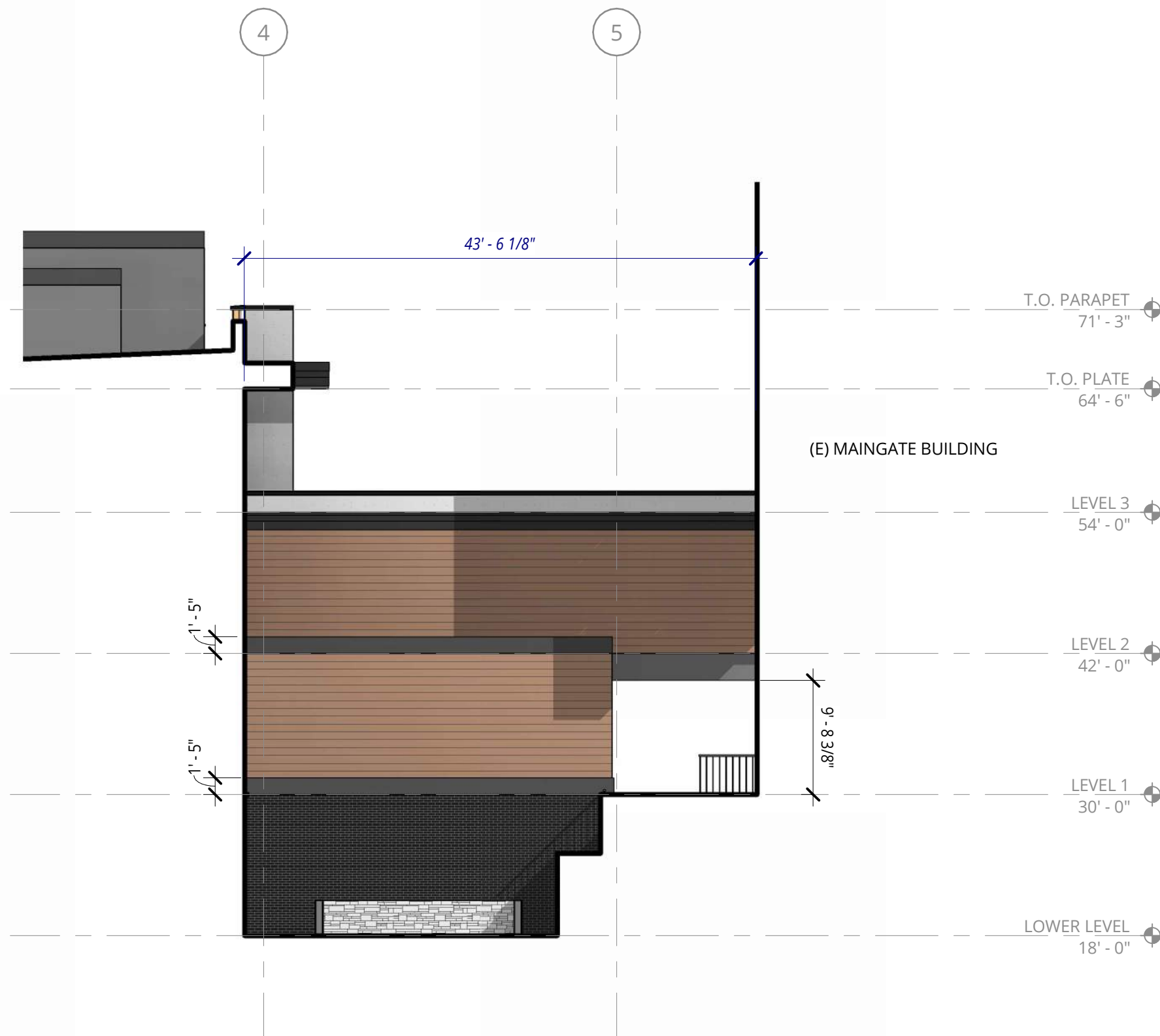
SHEET NUMBER

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1 NORTH ELEVATION - COURTYARD - COLOR
3/32" = 1'-0"



2 SOUTH ELEVATION - COURTYARD - COLOR
3/32" = 1'-0"



3 EAST ELEVATION - COURTYARD - COLOR
3/32" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

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2. SEE SHEET AX.XX FOR WINDOW AND LOUVER INFORMATION.

EXTERIOR ELEVATIONS LEGEND

	FIBER CEMENT PANEL - SW7005 PURE WHITE
	FIBER CEMENT LAP SIDING - SW7513 SANDERLING
	BRICK - SMOOTH BLACK DIAMOND
	EXPOSED CONCRETE
	STACKED STONE - RIVERCREST COASTAL SLATE

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P. CONCRETE @ WINDOW SILL
7	FIBER CEMENT TRIM
14	MECHANICAL SCREEN



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REVISION	DATE	REASON FOR ISSUE

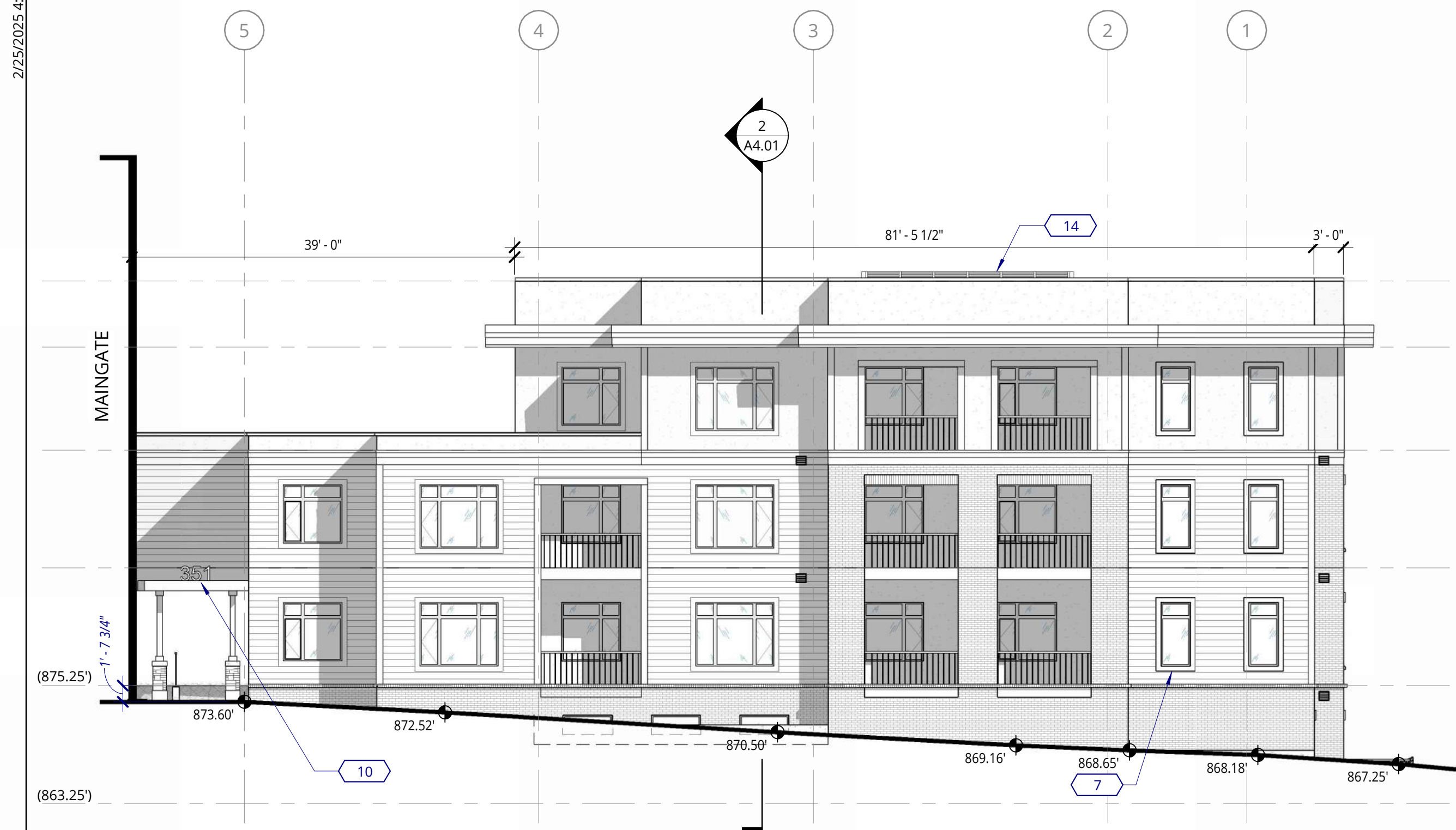
BUILDING
ELEVATIONS - COLOR

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

A3.12

2/26/2025 4:34:25 PM



1 NORTH ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION
3/32" = 1'-0"

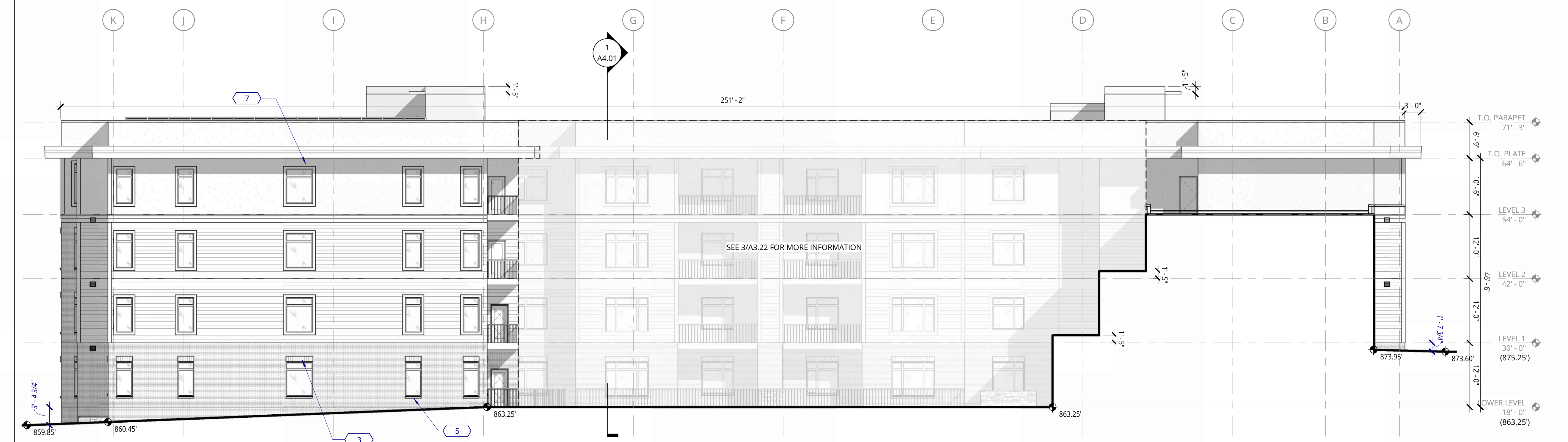
GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEET AX.XX FOR WINDOW AND LOUVER INFORMATION.

EXTERIOR ELEVATIONS LEGEND

	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING
	BRICK
	EXPOSED CONCRETE
	STACKED STONE

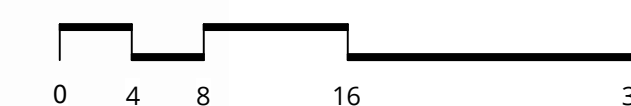
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P. CONCRETE @ WINDOW SILL
7	FIBER CEMENT TRIM
10	METAL CANOPY WITH SIGNAGE
14	MECHANICAL SCREEN



3 EAST ELEVATION
3/32" = 1'-0"



4 WEST ELEVATION
3/32" = 1'-0"



NOT FOR
CONSTRUCTION



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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

115 SANSOME ST, SUITE 1005
SAN FRANCISCO, CA 94104
415.252.7063

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351 West Main Street Madison, WI 53703

PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

BUILDING
ELEVATIONS

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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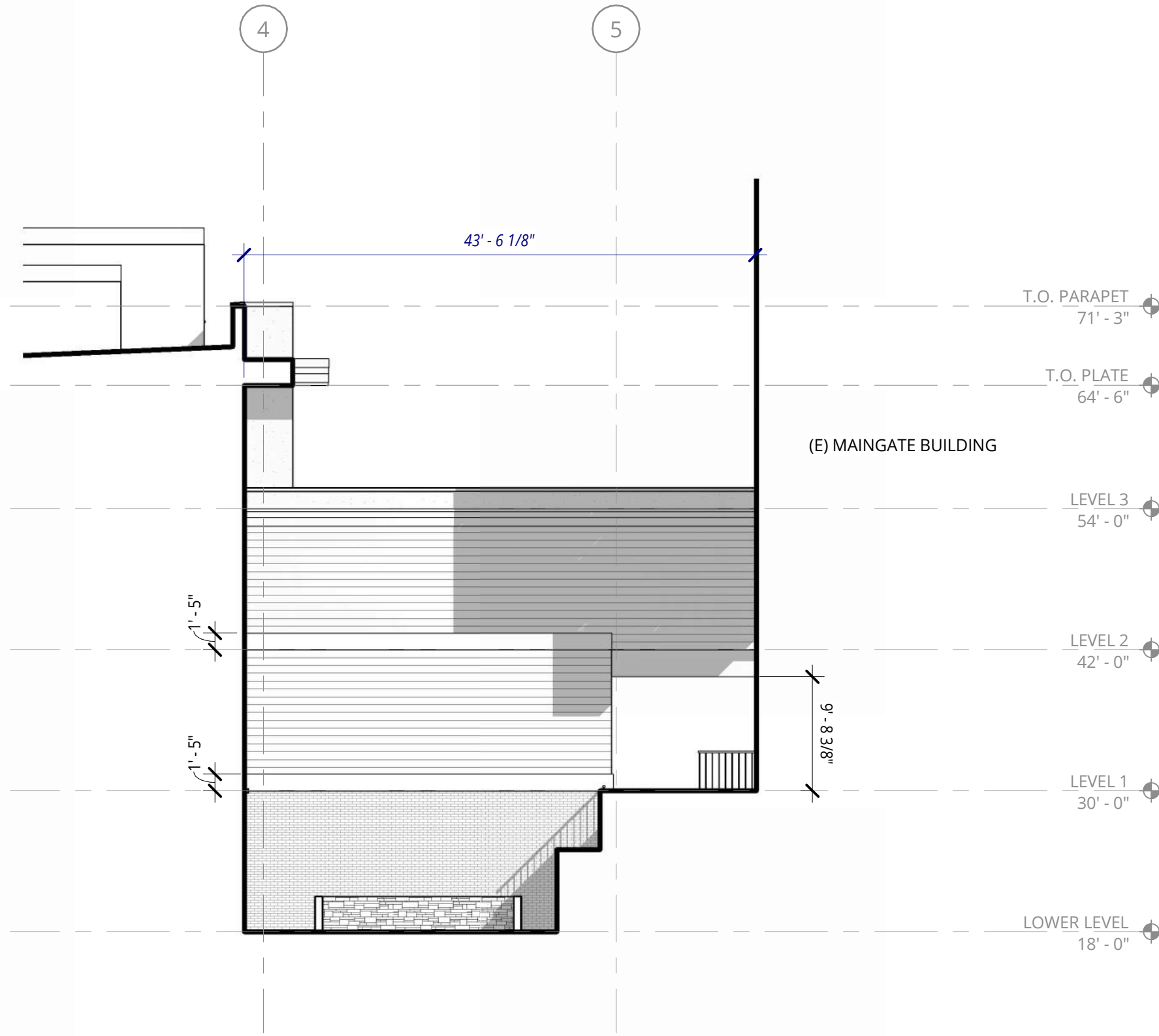
SHEET NUMBER

A3.21

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3 NORTH ELEVATION - COURTYARD
3/32" = 1'-0"



1 SOUTH ELEVATION - COURTYARD
3/32" = 1'-0"



4 EAST ELEVATION - COURTYARD
3/32" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. SEE SHEET AX.XX FOR WINDOW AND LOUVER INFORMATION.

EXTERIOR ELEVATIONS LEGEND

	FIBER CEMENT PANEL
	FIBER CEMENT LAP SIDING
	BRICK
	EXPOSED CONCRETE
	STACKED STONE

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	ALUMINUM GUARDRAIL
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P. CONCRETE @ WINDOW SILL
7	FIBER CEMENT TRIM
14	MECHANICAL SCREEN



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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

115 SANSOME ST., SUITE 1005
SAN FRANCISCO, CA 94104
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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

BUILDING
ELEVATIONS

DESIGN
DEVELOPEMENT

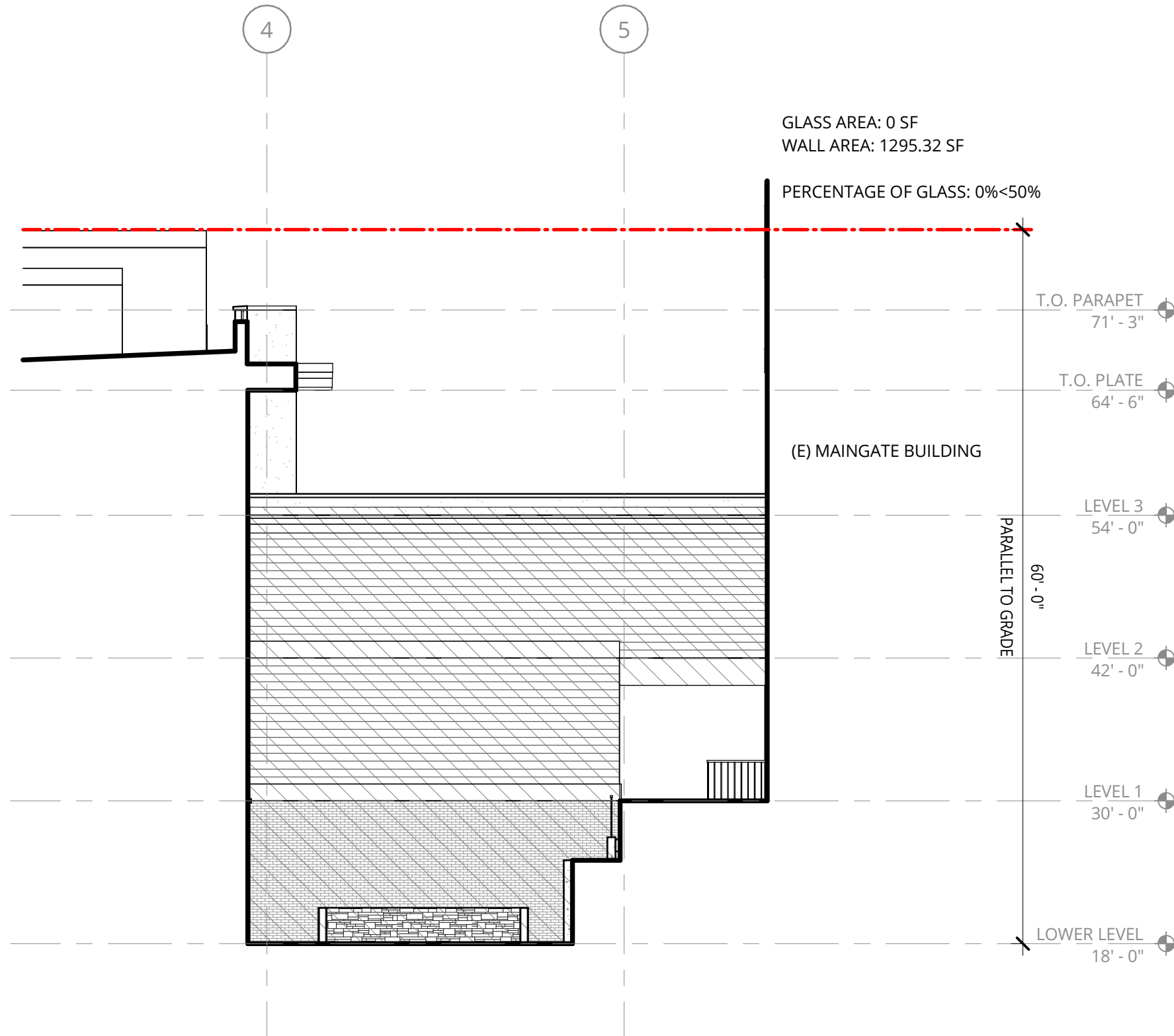
DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

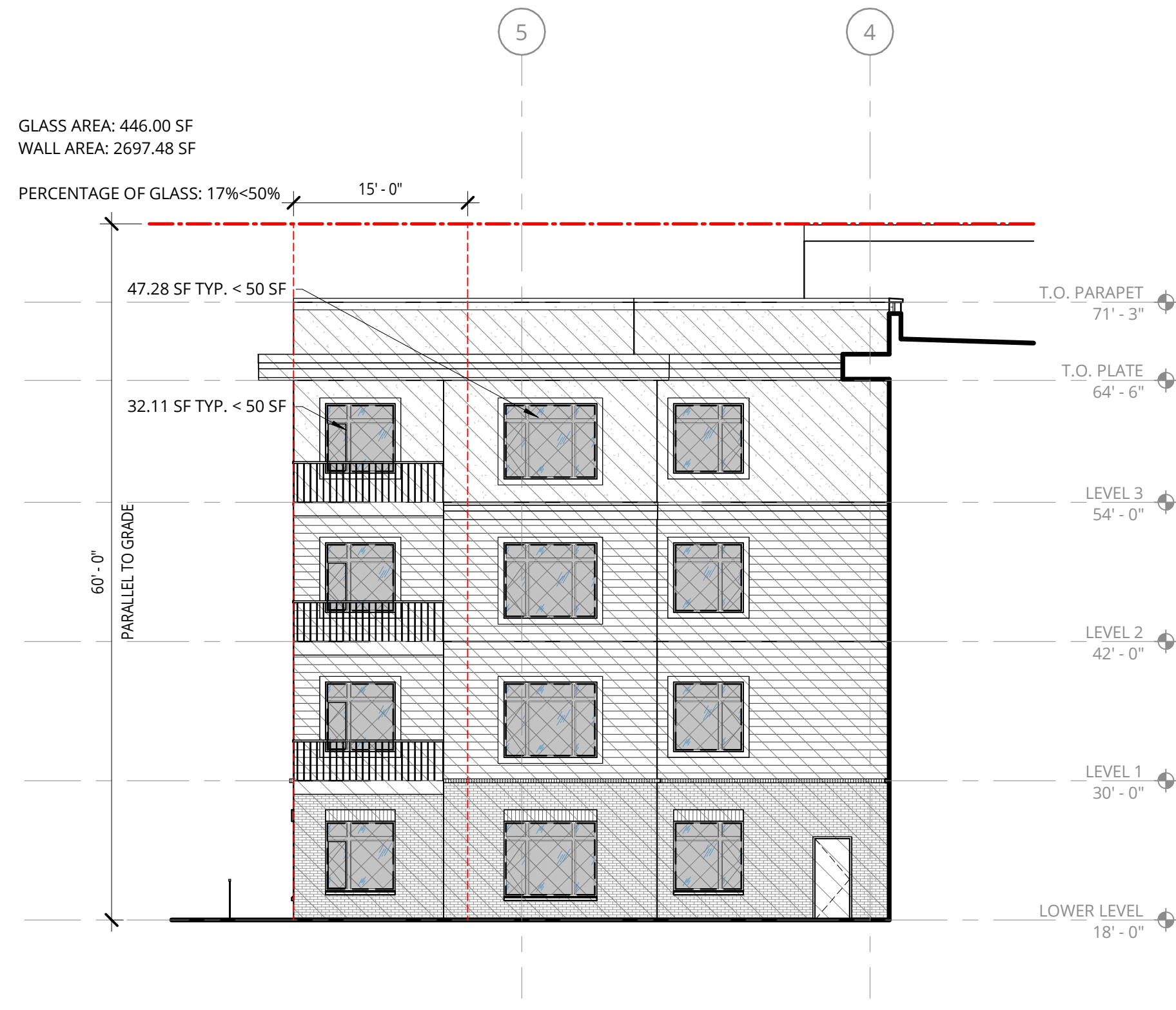
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1 NORTH ELEVATION - COURTYARD
3/32" = 1'-0"



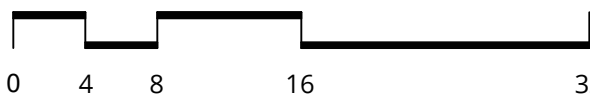
2 SOUTH ELEVATION - COURTYARD
3/32" = 1'-0"



3 EAST ELEVATION - COURTYARD
3/32" = 1'-0"

EXTERIOR ELEVATIONS LEGEND

- EXTERIOR WALL AREAS
- EXTERIOR GLASS AREAS
- BIRD-SAFE GLASS
- FIRST SIXTY (60) FEET PARALLEL FROM GRADE PER SECTION 28.129
- GLASS CORNER GRAPHIC PER SECTION 28.129



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PORTLAND, OR 97209
503.245.7100

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206.576.1600

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SAN FRANCISCO, CA 94104
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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

BIRD-SAFE GLASS
DIAGRAMS

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
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SHEET NUMBER

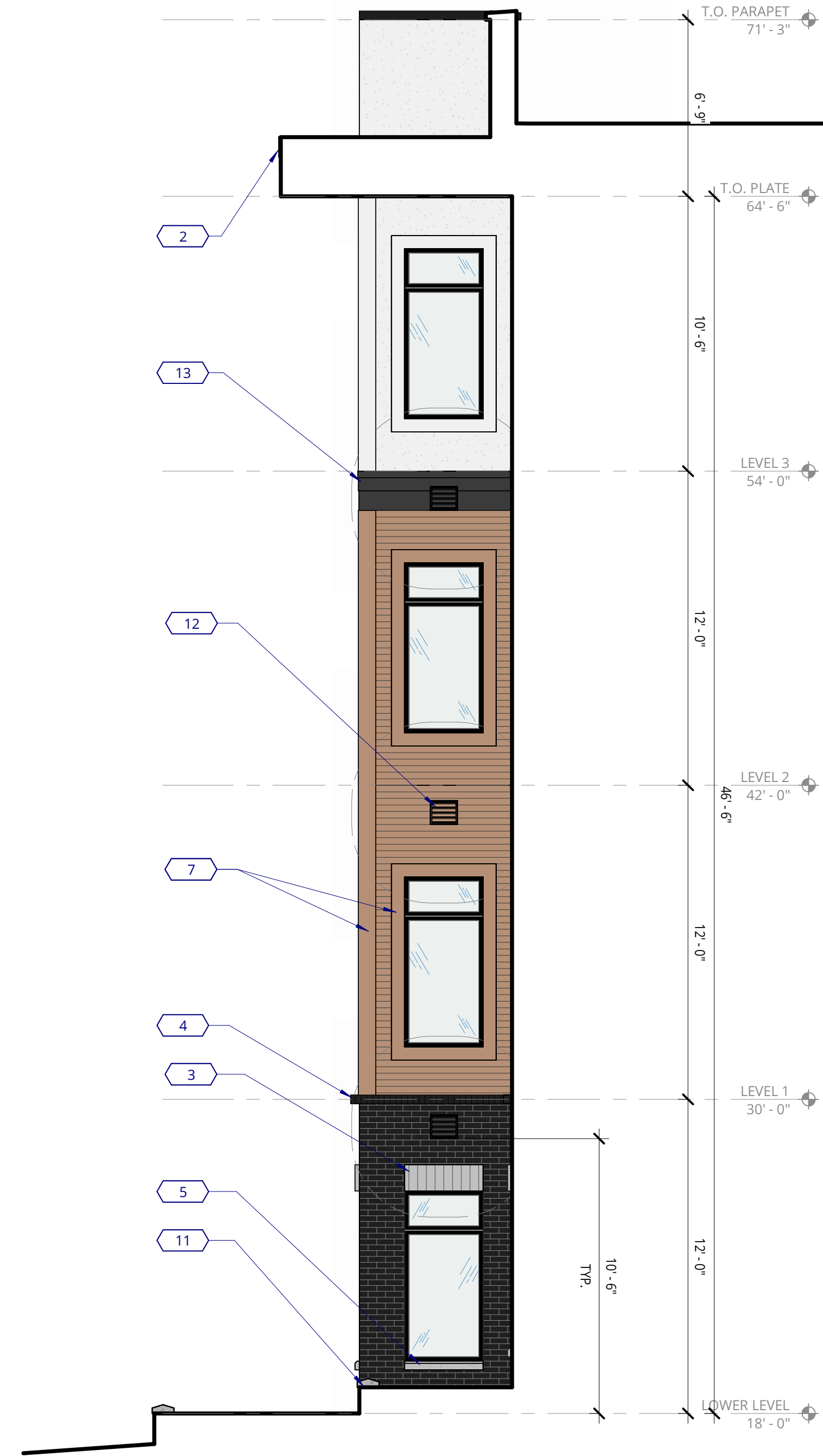
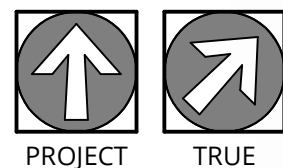
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1 EXHAUST LOUVER PLAN - TYP.
3/32" = 1'-0"

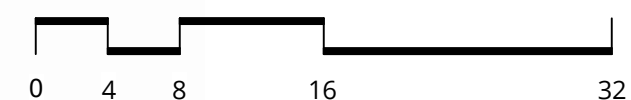


2 ENLARGED ELEVATION - EXHAUST LOUVER TYP.
1/4" = 1'-0"



3 ISOMETRIC - EXHAUST LOUVERS TYP.

KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
2	5/4" CEMENT BOARD FASCIA - PAINTED
3	BRICK SOLDIER COURSE @ HEAD
4	BRICK SOLDIER COURSE @ MATERIAL TRANSITION
5	C.I.P. CONCRETE @ WINDOW SILL
7	FIBER CEMENT TRIM
11	PLANTER WALLS W/ CONCRETE SLOPED CAP
12	EXHAUST LOUVER - PAINT TO MATCH SIDING
13	5/4" CEMENT BOARD @ MATERIAL TRANSITION



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PORTLAND, OR 97209
503.245.7100

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115 SANSOME ST., SUITE 1005
SAN FRANCISCO, CA 94104
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REVISION	DATE	REASON FOR ISSUE

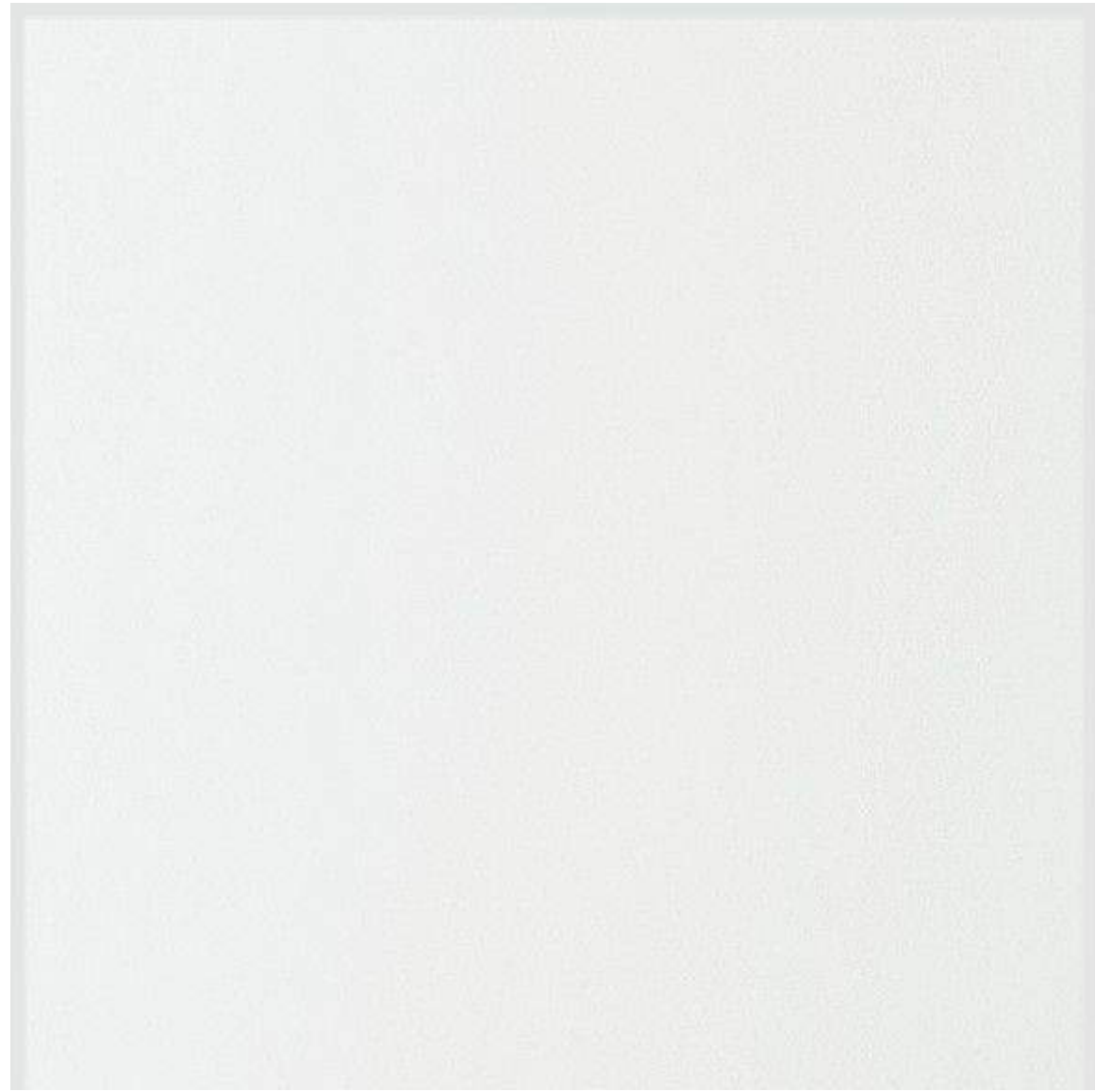
ENLARGED
ELEVATIONS -
EXHAUST LOUVERS
DESIGN
DEVELOPEMENT

DATE
02/24/2025

PROJECT NUMBER
233810

SHEET NUMBER

A3.51



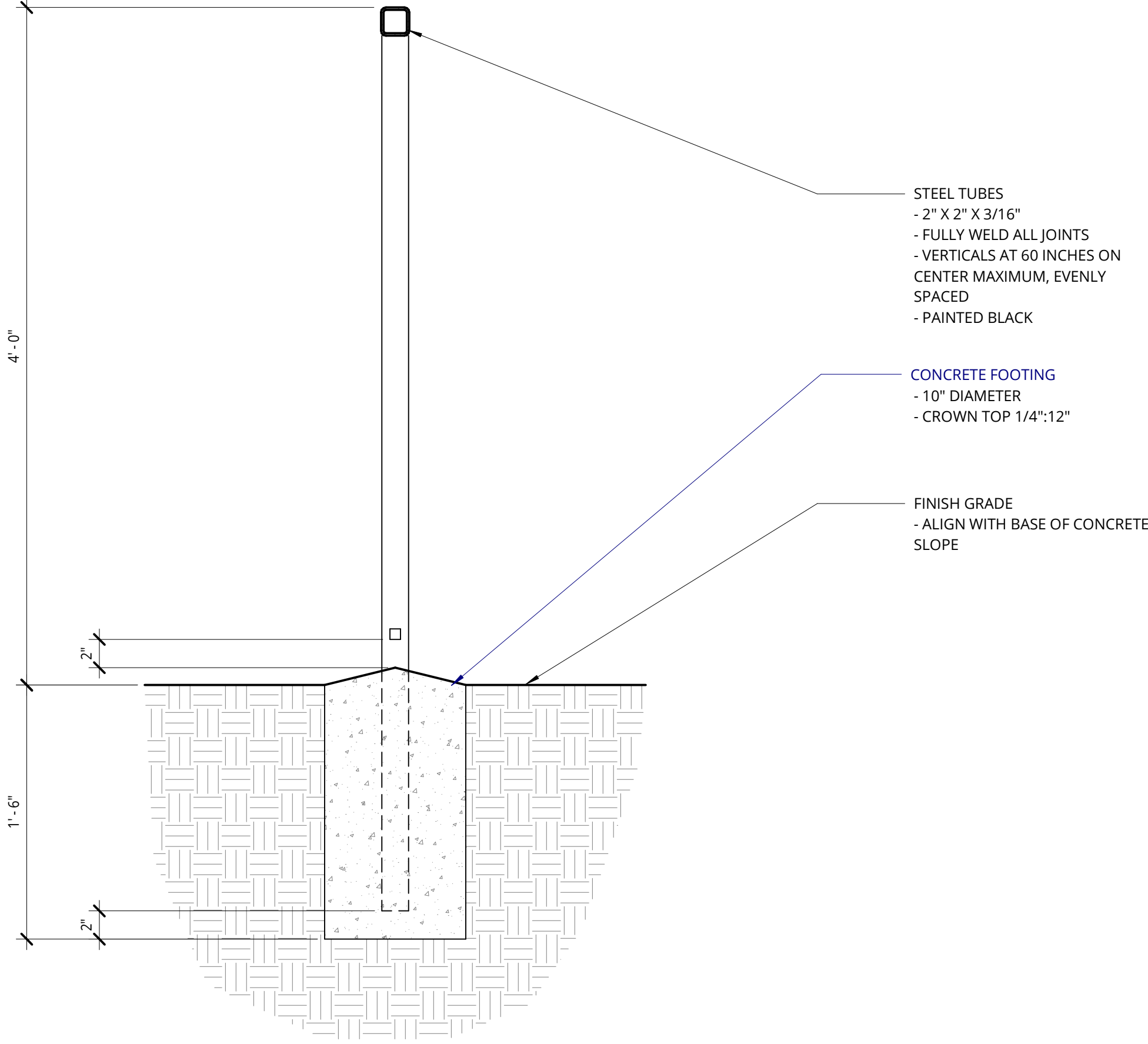
FIBER CEMENT PANEL:
SW7005 PURE WHITE



FIBER CEMENT LAP SIDING:
SW7513 SANDERLING



WINDOWS, MECHANICAL
SCREENING, LOUVERS, COPING,
RAILINGS, PICKET FENCES:
SW6258 TRICORN BLACK



WALL SECTION - ALUMINUM PICKET FENCE



CLOUD CERAMICS
SMOOTH BLACK DIAMOND BRICK



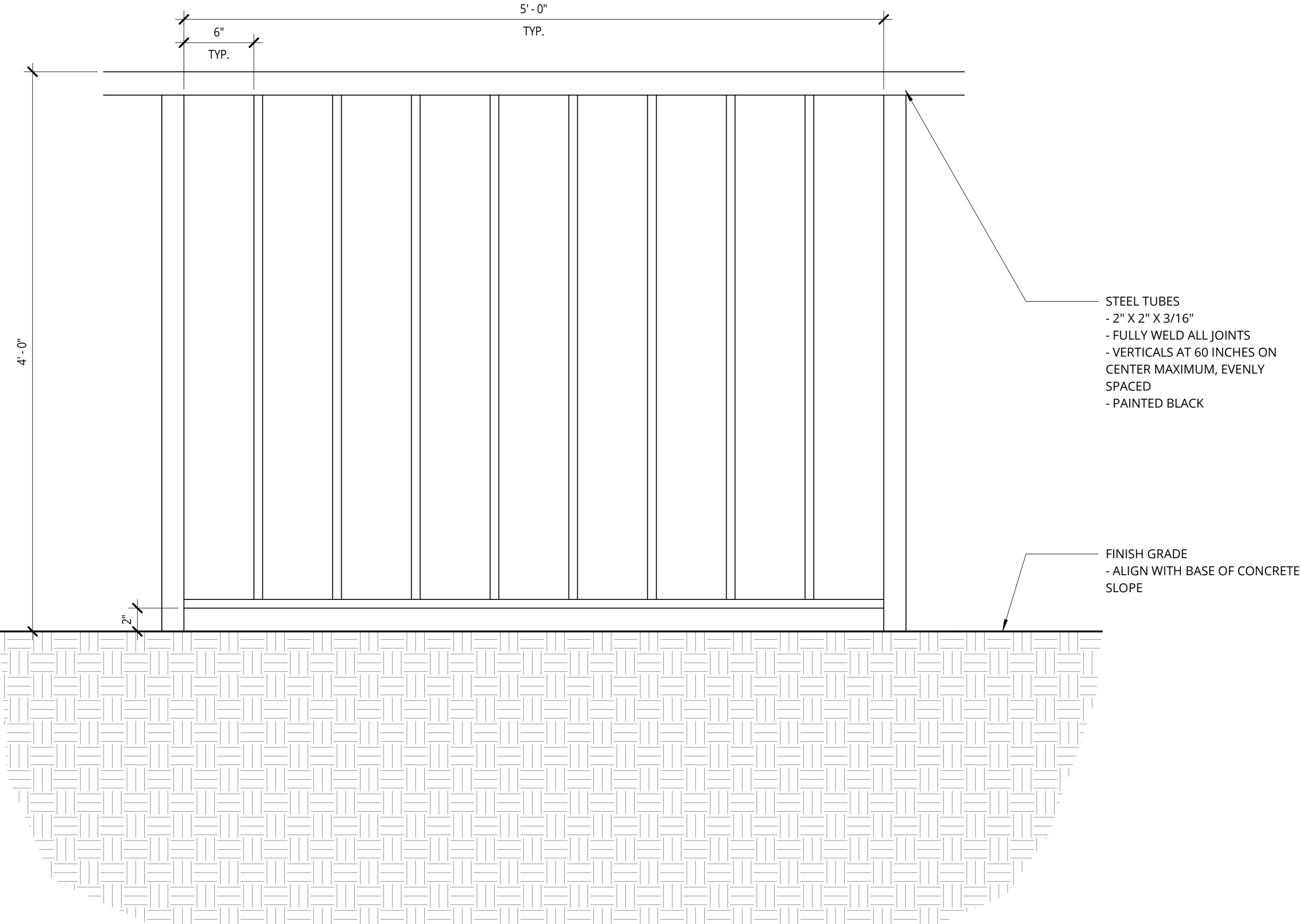
EXPOSED CONCRETE



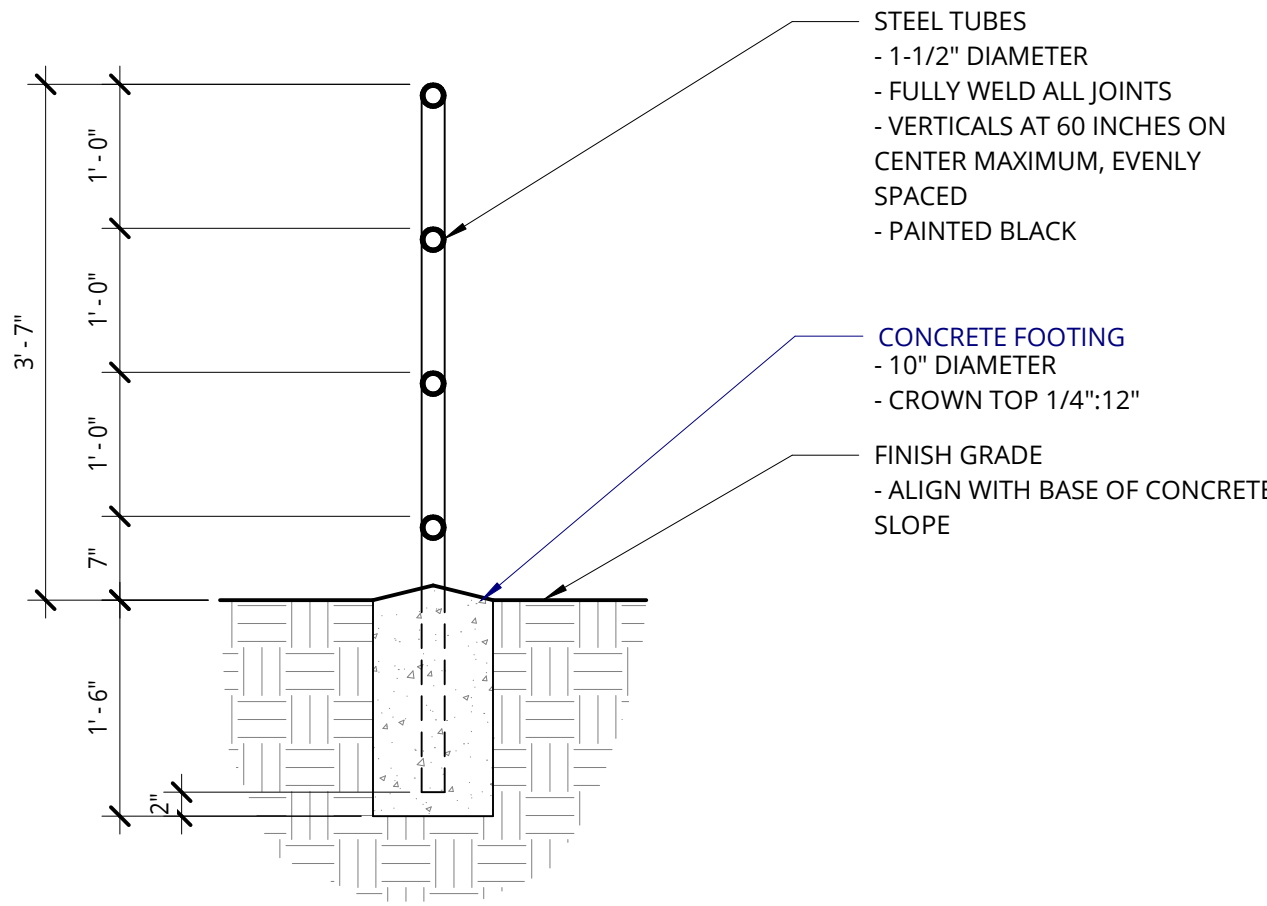
MADISON BLOCK&STONE
STACKED STONE:
RIVERCREST COASTAL SLATE



PRECAST CONCRETE SILL



ENLARGED ELEVATION - ALUMINUM PICKET FENCE



SITE GUARDRAIL

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503.245.7100

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206.576.1600

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SAN FRANCISCO, CA 94104
415.252.7063

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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

EXTERIOR
MATERIALS &
BUILDING DETAILS
DESIGN
DEVELOPEMENT

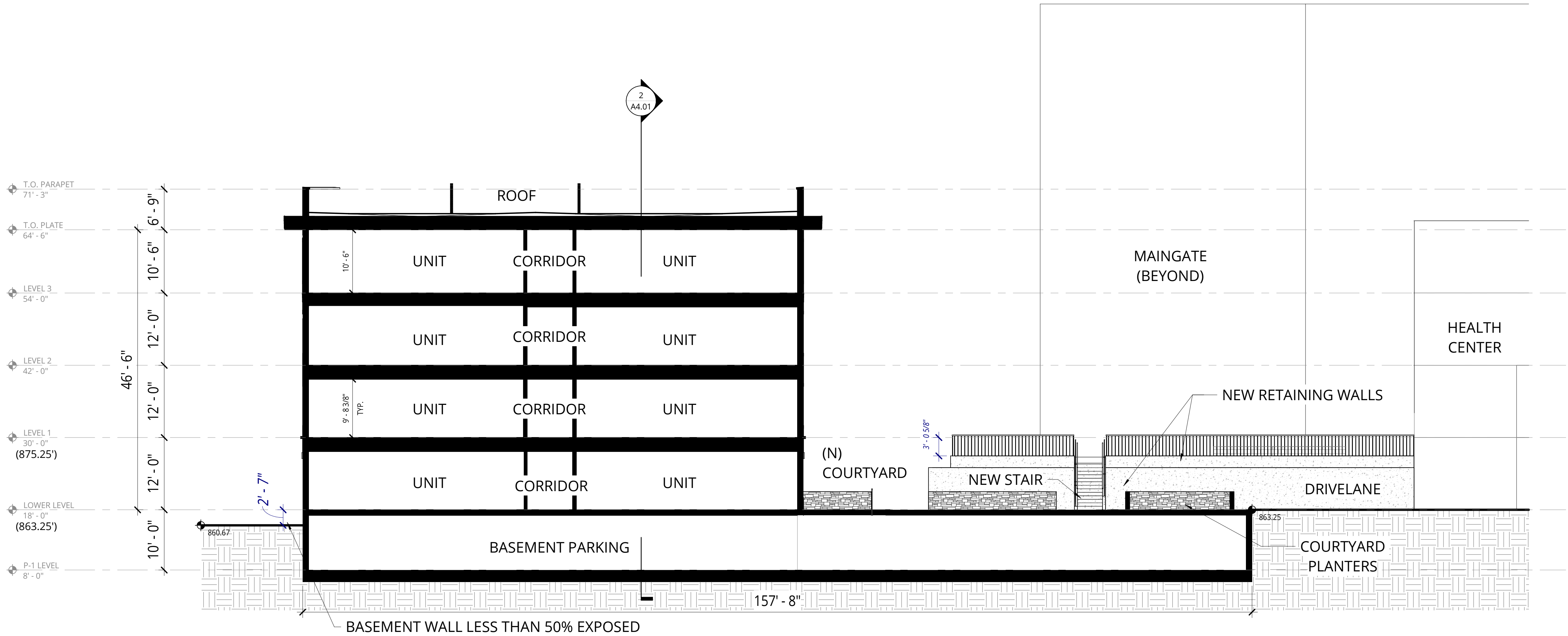
DATE 02/24/2025	PROJECT NUMBER 233810
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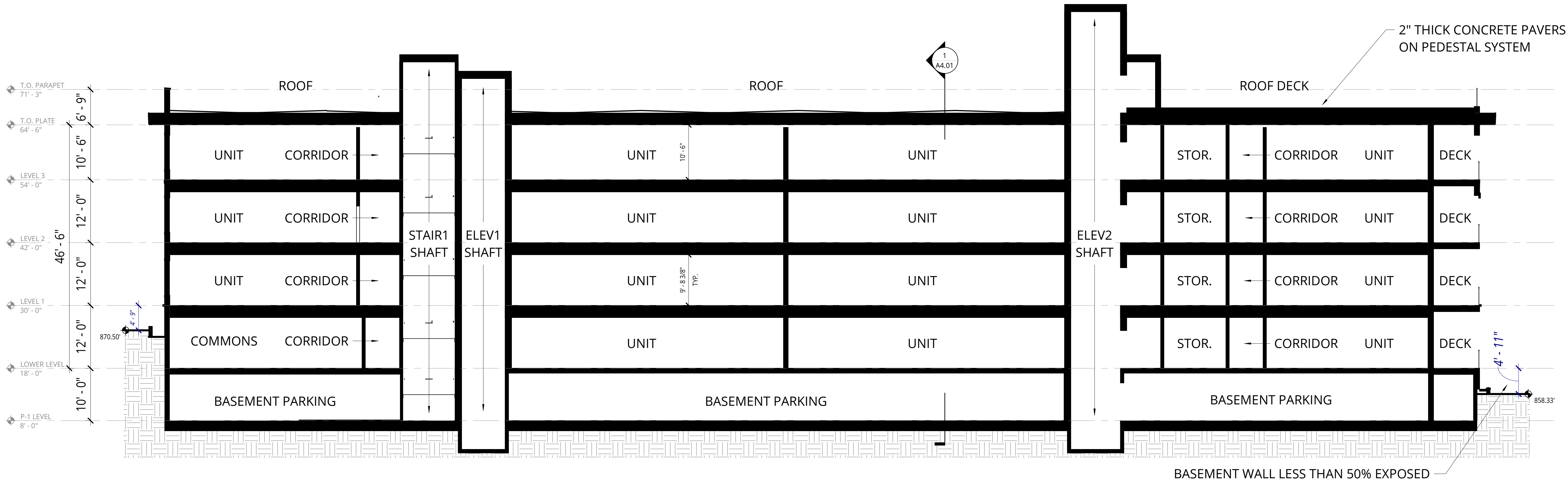
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GENERAL NOTES - BUILDING SECTIONS

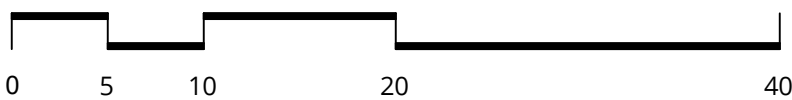
- 1. REFER TO SHEET A0.01 FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
- 2. SEE SHEET **A12.21** FOR WINDOW ELEVATIONS / SCHEDULE.
- 3. SEE ENLARGED ELEVATIONS AND WALL SECTIONS FOR ADDITIONAL EXTERIOR DETAILS.



1 W-E BUILDING SECTION - SOUTH
1" = 10'-0"



2 N-S BUILDING SECTION - WEST
1" = 10'-0"



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SAN FRANCISCO, CA 94104
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PACIFIC RETIREMENT SERVICES

REVISION	DATE	REASON FOR ISSUE

BUILDING SECTIONS

DESIGN
DEVELOPEMENT

DATE 02/24/2025	PROJECT NUMBER 233810
SHEET NUMBER	

A4.01