



E WASHINGTON AVE

S BLAIR ST

MULTI-FAMILY
7 STORIES
223 UNITS

S FRANKLIN ST

REFUSE STAGING AREA

+ 872.0'

LOWER LEVEL
PARKING ENTRY

ALLOWANCE OPENINGS
45%
OF SETBACK

ALLOWANCE OPENINGS
45%
OF SETBACK

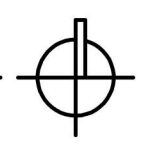


JLA
ARCHITECTS

501 EAST WASHINGTON

CONCEPTUAL MASTERPLAN

FEBRUARY 17, 2025
1"=60' @ 11x17



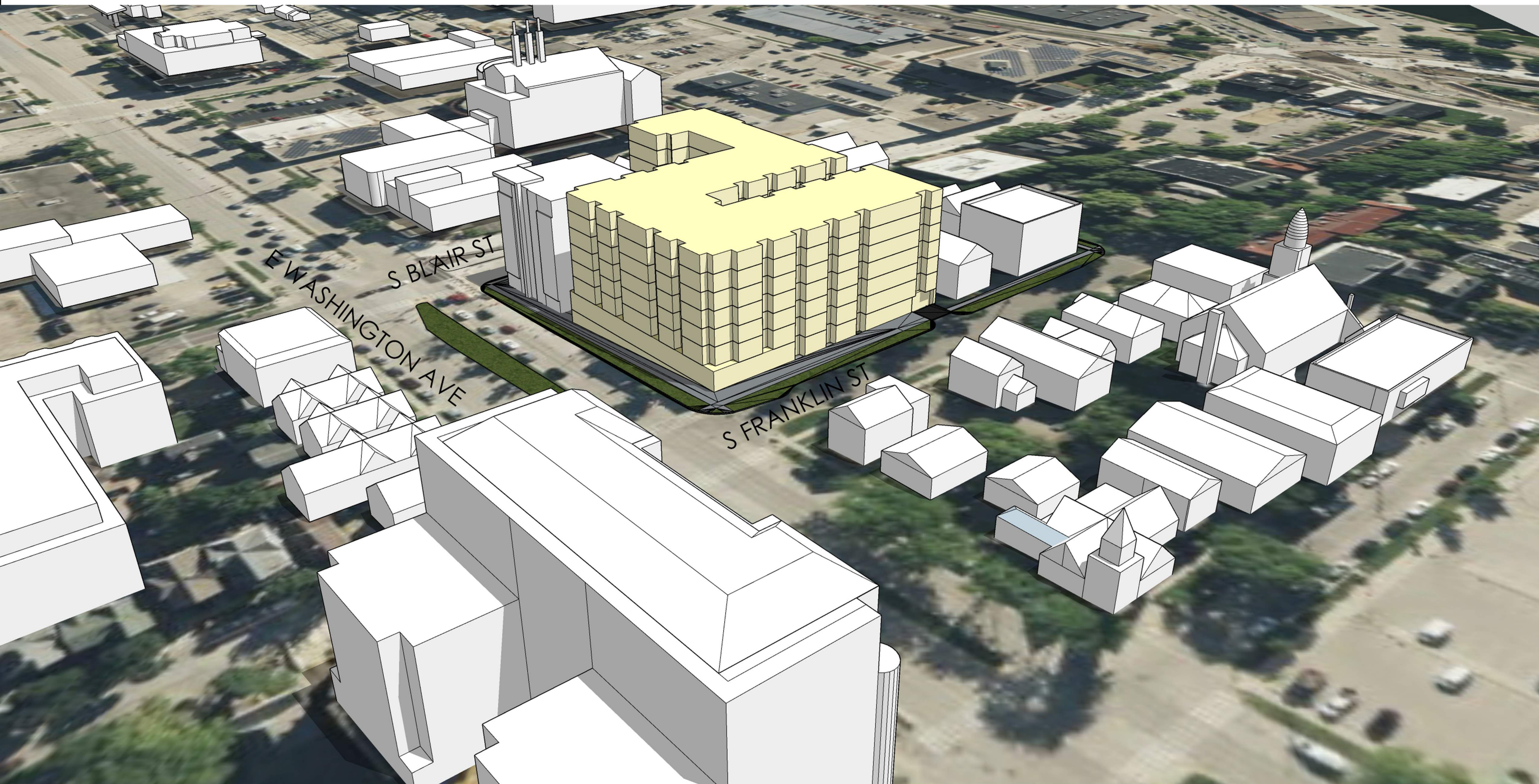


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501 EAST WASHINGTON

CONCEPTUAL MASSING

FEBRUARY 17, 2025



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FEBRUARY 17, 2025



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501 EAST WASHINGTON

EXTERIOR DESIGN

FEBRUARY 19, 2025

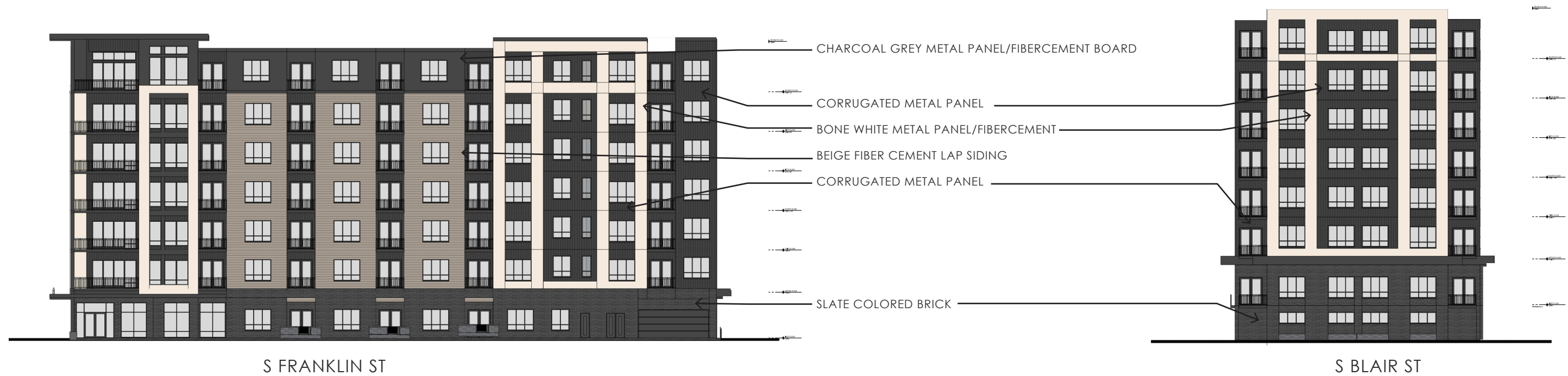


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501 EAST WASHINGTON

EXTERIOR DESIGN

FEBRUARY 19, 2025



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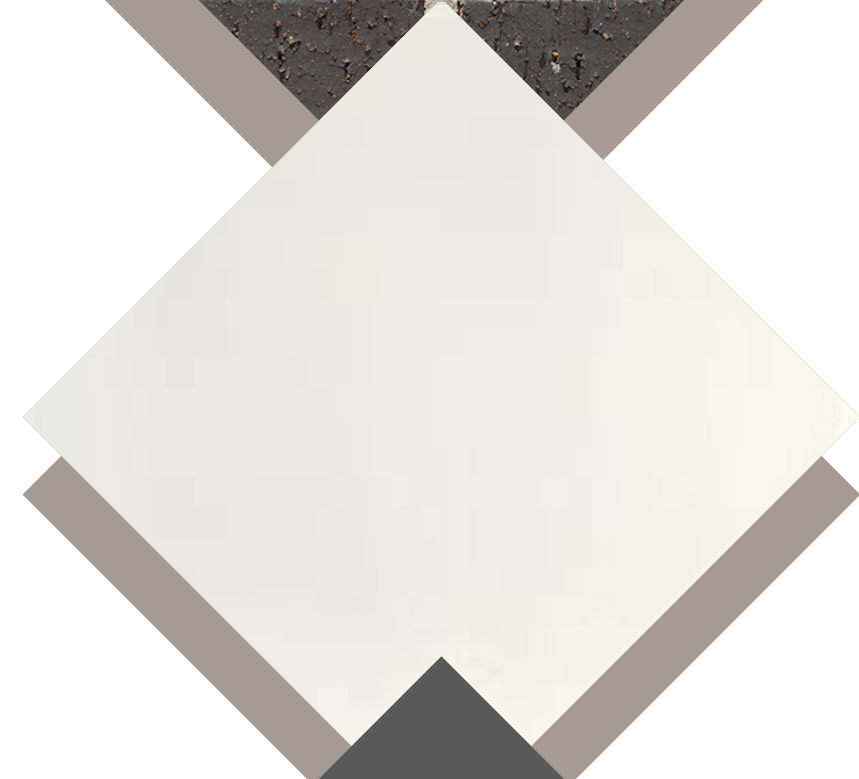
501 EAST WASHINGTON

EXTERIOR ELEVATIONS

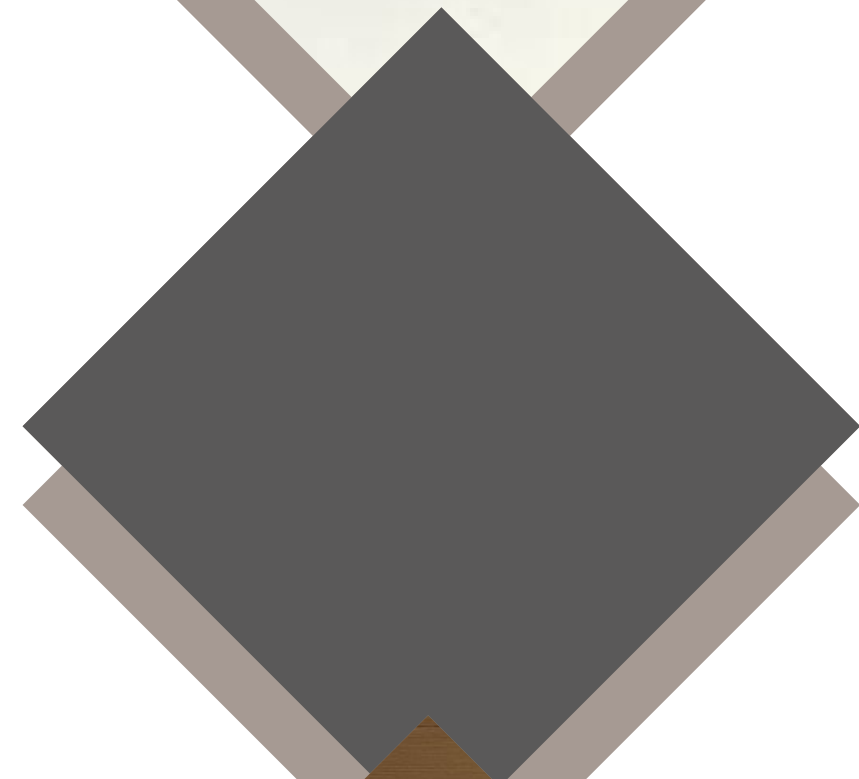
FEBRUARY 19, 2025
1"=30' @ 11x17



SLATE COLORED BRICK



BONE WHITE METAL
PANEL/ FIBER CEMENT



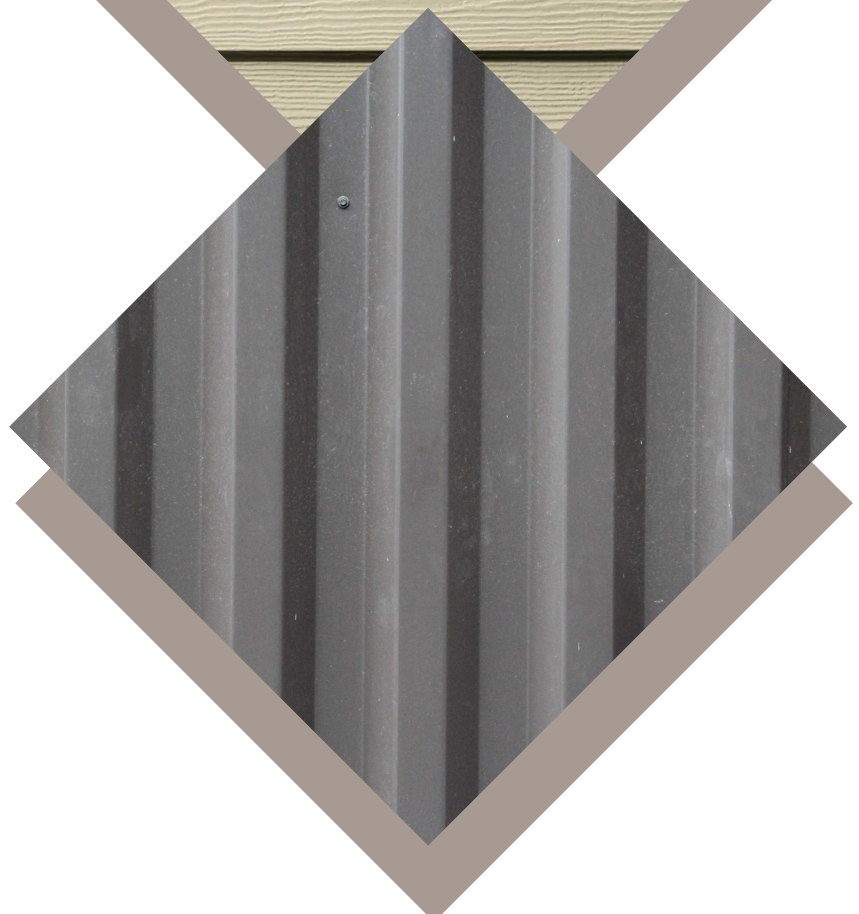
IRON ORE METAL PANEL/
FIBER CEMENT



BROWN FIBER CEMENT
LAP SIDING



BEIGE FIBER CEMENT
LAP SIDING



CORRUGATED METAL
PANEL

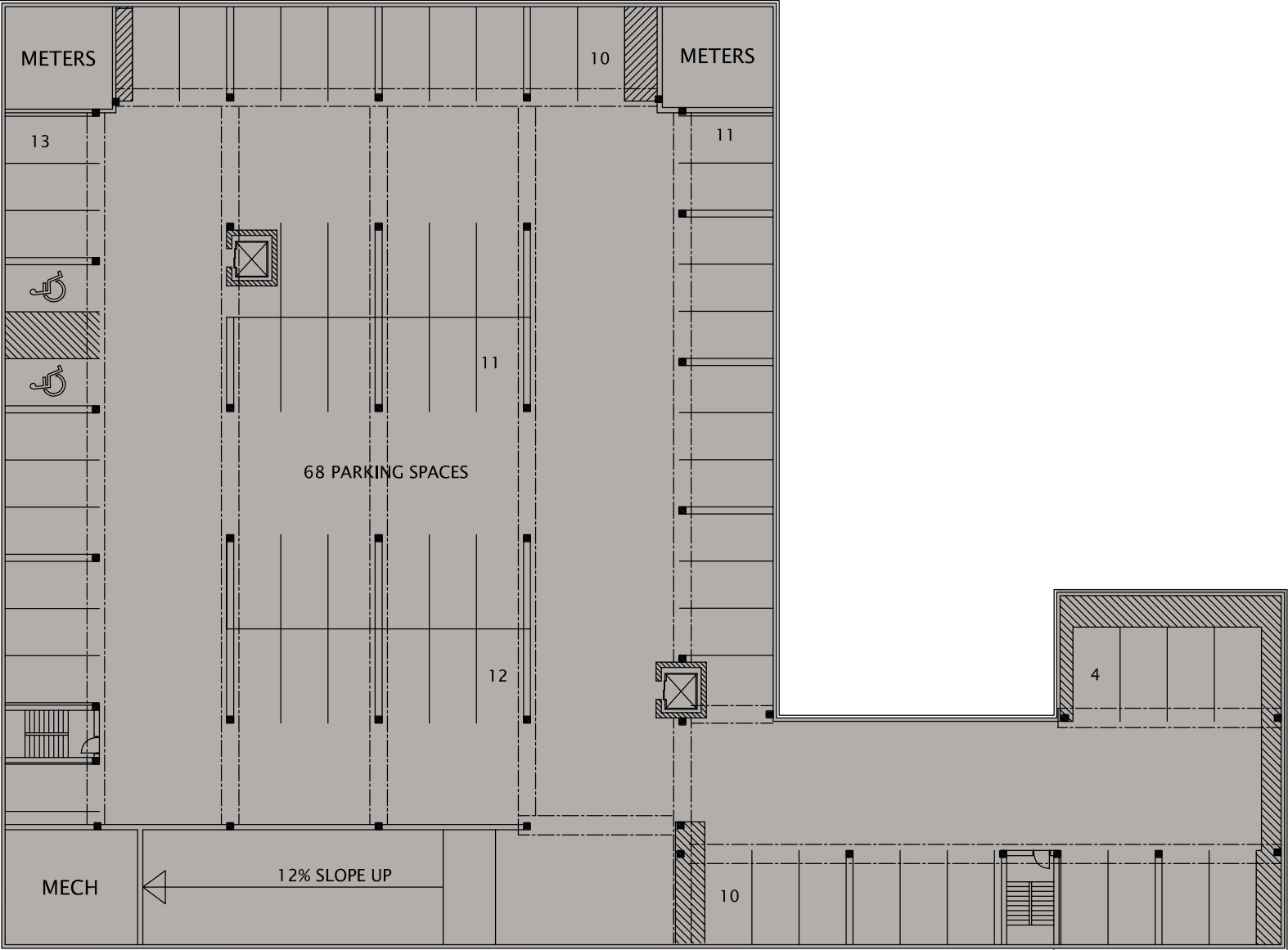


501 EAST WASHINGTON AVE

MADISON, WI



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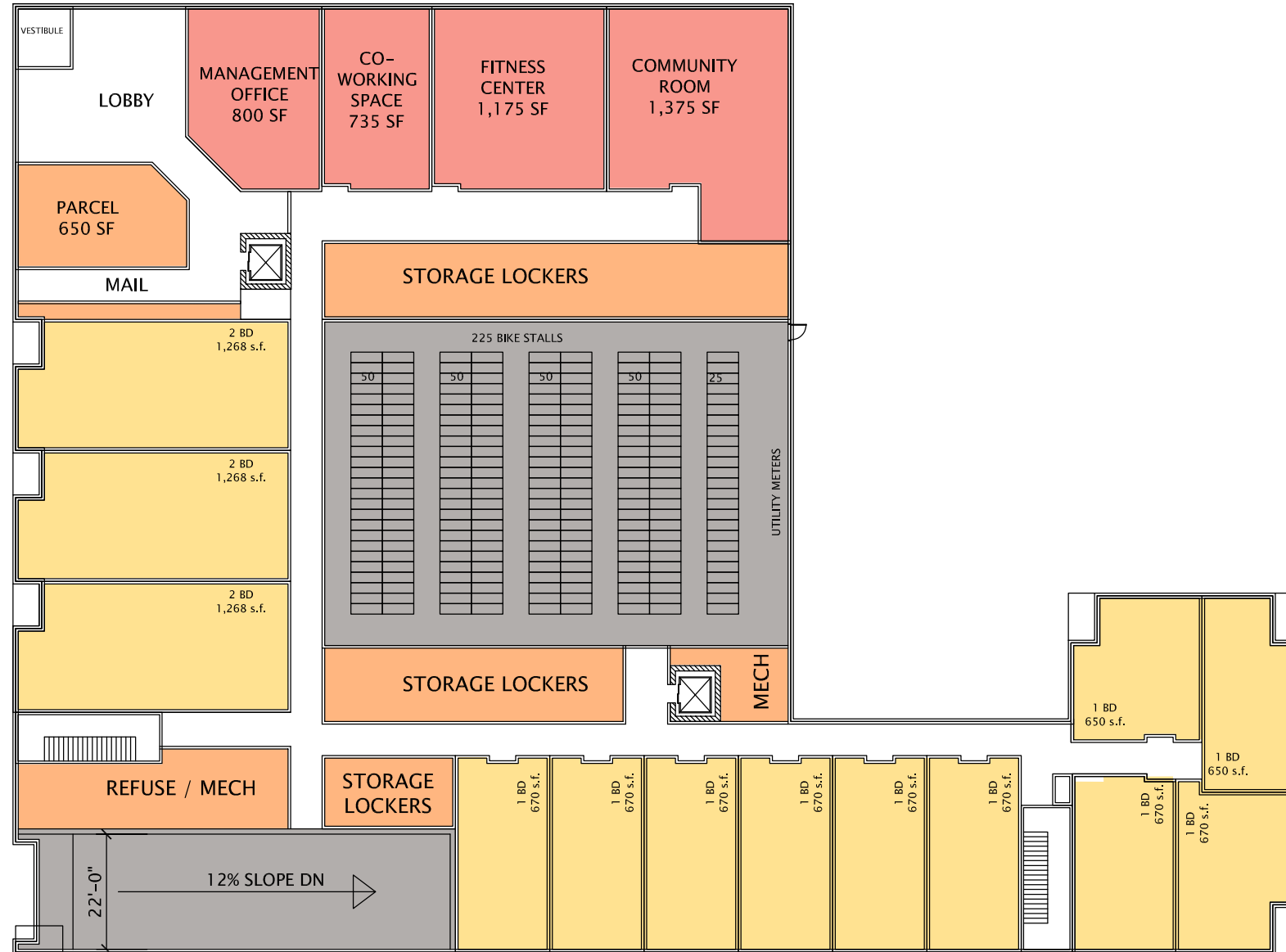
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501 EAST WASHINGTON

CONCEPTUAL LOWER LEVEL PLAN

FEBRUARY 17, 2025
1"=30' @ 11x17





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501 EAST WASHINGTON

CONCEPTUAL FIRST FLOOR PLAN

FEBRUARY 17, 2025
1"=30' @ 11x17



501 E. Washington Ave

February 17, 2025



UNIT NAME		STUDIO		1 BEDROOM				2 BEDROOMS			(1) TOTAL UNITS	(1) TOTAL BEDROOMS	COMMERCIAL NET AREA LEASABLE	RESIDENTIAL NET AREA LEASABLE	(3) GROSS AREA (S.F.)	EFFICIENCY	PARKING AREA (S.F.)	COVERED PARKING	SURFACE PARKING	PARKING RATIO		
		A2	A3	B1	B2	B3	B4	D1	D2	D3												
BEDROOMS		1	1	1	1	1	1	2	2	2												
AREA (S.F.)		466	530	594	622	650	670	923	1,025	1,268												
FLOORS	7	1	1	5	10	12	2	2	2	0	35	39	-	23,222	27,698	83.8%						
	6	1	1	5	10	12	2	2	2	0	35	39	-	23,222	27,698	83.8%						
	5	1	1	5	10	12	2	2	2	0	35	39	-	23,222	27,698	83.8%						
	4	1	1	5	10	12	2	2	2	0	35	39	-	23,222	27,698	83.8%						
	3	1	1	5	10	12	2	2	2	0	35	39	-	23,222	27,698	83.8%						
	2	1	1	5	10	12	2	2	2	0	35	39	-	23,222	27,698	83.8%	-	0				
	1	0	0	0	0	2	8	0	0	3	13	16	-	10,464	31,550	33.2%	-	0				
	LL												-	-			32,025	68	0	PER UNIT	PER BR	
TOTALS		6	6	30	60	74	20	12	12	3	223	250	-	149,796	197,738	75.8%	32,025	68	0	0.30	0.27	
PERCENT		2.7%	2.7%	13.5%	26.9%	33.2%	9.0%	5.4%	5.4%	1.3%												
		5.4%		82.5%				12.1%				672 Average N.S.F. per unit										

- NOTES:**
- 1 TOTAL UNIT & BEDROOM COUNT ASSUMES IDENTICAL FOOTPRINT FROM FLOORS 1 THRU 7.
 - 2 1st FLOOR CONTAINS THE MAIN ENTRY LOBBY, LEASING OFFICE, FITNESS CENTER, AND COMMUNITY ROOM
 - 3 GROSS AREA DOES NOT INCLUDE PARKING AREAS.
 - 4 PARKING AREAS INCLUDE THE STAIRS & ELEVATOR.