

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received _____ Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial Approval

Final Approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Modifications of Height, Area, and Setback

Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Project contact person _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Property owner (if not applicant) _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner Colin M. Hooper Date _____

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City’s drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City’s drop box.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))

Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))

Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

February 11th, 2025

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635

RE: 7-Brew – 3915 Lien Rd, Madison, WI 53704 (Parcel # 081033209257)

To Whom it May Concern:

Please accept this Letter of Intent to apply for the proposed Seven Brew Coffee development.

A. Project Description

Brew 4 You, LLC, doing business as 7 Brew, and Plaza Street Fund 350, LLC, doing business as Plaza Street Partners, LLC are proposing a Land Use (LUA) Application and an Urban Design Commission (UDC) Application for a Site Plan (“SP”) for a parcel of land containing approximately 0.826 acres located at the southeast of E Washington Ave (portion of Lot 1, CSM 983) (“Site”) in the city of Madison, Wisconsin (“City”). The property is situated in Section 33, Township 8 North, Range 10 East, City of Madison, Dane County, Wisconsin 53704. It is bound on the north by E Washington Ave, on the east by Mobil Gas Station, on the south by the Hotel The Point on Washington, and to the west by a vacant lot where a new car wash will be built. A vicinity map is included in Appendix A for reference.

The Site is currently vacant, being used as the hotel parking lot. The new proposed use comprises of a new Seven Brew Coffee kiosk with a drive-thru, a remote walk-in cooler, and a dumpster enclosure. The main building structure is 2,006.7 sq. ft, being 1045.3 sq. ft. on the main floor and 961.4 sq. ft. on the second floor (77.8% of the main area). The development includes a double drive-through covered by the second story, providing service with two menu boards for more efficient customer service, a dumpster enclosure, 4 parking spaces, being 1 ADA, and landscaped areas. The main car access is proposed from an internal drive connected to Lien Road, and sidewalks will provide connections to pedestrian and bike access from E Washington Ave and to the hotel.

B. Public Benefit

The Site is located along the major corridor of the City of Madison and the proposed improvements will greatly improve the appearance and use of the property to better serve the surrounding community. The development will incorporate high-quality materials and landscape design to accentuate the character of the City. The future business created by the proposed Site Plan will also result in the creation of a minimum of 40 jobs and sales tax benefits for the City.

Although 7 Brew is a national brand, they are owned and operated by a local franchisee. The brand also emphasizes the importance of kindness and community as a pillar of their mission. 7 Brew will participate with local charities and fundraisers to create awareness and promote community engagement and promote Fun Community Engagement & Promotional Marketing. More information can be found at <https://7brew.com/heroes/>.

C. Operations

The proposed hours of operation are Sunday-Thursday 5:30am - 10pm; and Friday-Saturday 5:30am - 11pm. Peak Hours are in the morning from 7am-10am. The service time is a maximum of 4 minutes from order to pick up, and employees greet customers at their cars with iPads to take their orders for a friendlier service. Two drive-thru lanes and the ordering system create an efficient method of delivery and service to customer to prevent long wait times and reduces car stacking. Seven Brew will have a maximum number of 10-12 employees per shift for the first few months, and 5-8 once the team is fully trained.

D. Project Compliance, Compatibility, and Impact

The Site is located in the Urban Design District 05 and Wellhead Protection Overlay-15. A link to this map is included in Appendix A for reference. The UDS establishes building standards “to assure the highest quality of design for all public and private projects in the City”; “to protect and to improve the general appearance of all buildings, structures, landscaping, and open areas in the City; to encourage the protection of economic values and proper use of properties”, and to “assure a functionally efficient and visually attractive City in the future”. The proposed Development aligns with the City’s objective by addressing all requirements for building and site plan standards, providing high-quality materials and design, sidewalk connections, and bike racks.

Urban Design District 05

- The proposal complies with the UDD 5 by improving the appearance of the major transportation corridor which constitutes a major entrance to the City of Madison by replacing a parking lot with a new Coffee Kiosk with sidewalk connectivity, bike racks, and landscaped areas.
- The property has frontage on East Washington Avenue per the District’s requirements.
- The proposed development shall be designed, erected, and maintained in compliance with the UDD 5 criteria, all applicable federal and other state laws, and the Building Code, Zoning Ordinance, and other applicable codes of the City of Madison not in conflict with this ordinance.
- *Public Rights-of-Way*
 - The public right-of-way will be landscaped with the appropriate planting per the UDC’s requirements.
- *Off-Street Parking and Loading Areas*
 - The number of parking and service areas will conform to the provisions of Chapter 28 of the Madison General Ordinances.
 - No new parking space is more than 70 feet from a canopy tree of at least 2-1/2 - 3-inch caliper.
 - The parking area is located at the rear of the building.
- *Signs*
 - The signs will conform to all provisions of Chapter 31 of the Madison General Ordinances.
 - The signs are integrated with the architecture of the building.
 - The signs and menu board will not alternate, change, fade in, fade out, or otherwise change more frequently than once every 1 hour, nor will change its level of illumination more than once every 1 hour.
- *Building Design*
 - The exterior building materials will be low maintenance and harmonious with those used on

- other buildings in the area, which include brick-like fiber cement panel siding and metal panels.
- Mechanical elements mounted on the roof are screened from views.
- All building elevations were carefully designed with no unbroken exterior facades.
- *Lighting*
 - Lighting is adequate and not excessive, as shown on the photometric plan included in the civil set.
 - Architectural lighting is free from glare and is of a type to complement the existing development in the district.
 - Security lighting shall provide necessary levels of illumination to ensure the safety of the property and its residents, while not reflecting direct rays of light into adjacent property.
- *Landscaping*
 - Plant materials will be local to this region and will be of sufficient size to have an immediate visual impact.
 - Plant materials will be well-maintained, especially during the year following their installation and any dead plant will be replaced during the next planting season.
- *Utility Service*
 - Underground lines are being proposed for utility connections, which will be accomplished during building development and construction.

Additional Compatibility and impact notes

It is not anticipated that the Site will have any adverse impacts on public facilities, including fire, police, sanitation, roads, parks, or schools.

There are no known water features, wetlands, or wildlife habitats located within the Site.

Brew 4 You and their development team will adhere to the City of Madison Land Use Code and specific requirements applicable to the subject applications. Brew 4 You and their development team intend to fully cooperate with city staff to ensure all comments are addressed for both the Site Plan and Building Plan review.

E. Development Plans and Timing

Brew 4 You is anticipating starting construction upon permit approval by the City, which is currently being estimated in the second quarter of 2025. The total length of construction is estimated to be between 120 and 150 days, depending on the weather. The first phase of construction will be the grading of the site and underground utility connections. The second phase of construction will be the construction of new improvements, also noted in our Site Plan(s). The goal is to have the Site ready for 7-Brew opening in the Winter of 2025.

F. Summary

Brew 4 You and their development team are committed to providing a suitable development that upholds the vision and guidelines set forth in the City of Madison's Land Use Code. The proposed development is compatible with the surrounding community and the proposed improvements enhance the current state of the Site, as well as promote future employment opportunities and long-term economic growth.

References:

1. [City of Madison Land Use Code](#)
2. [Urban Design District](#)
3. [33.24 Urban Design Commission](#)
4. [Urban Design District No. 5](#)

APPENDIX A

VICINITY MAP

SITE DATA SUMMARY TABLE

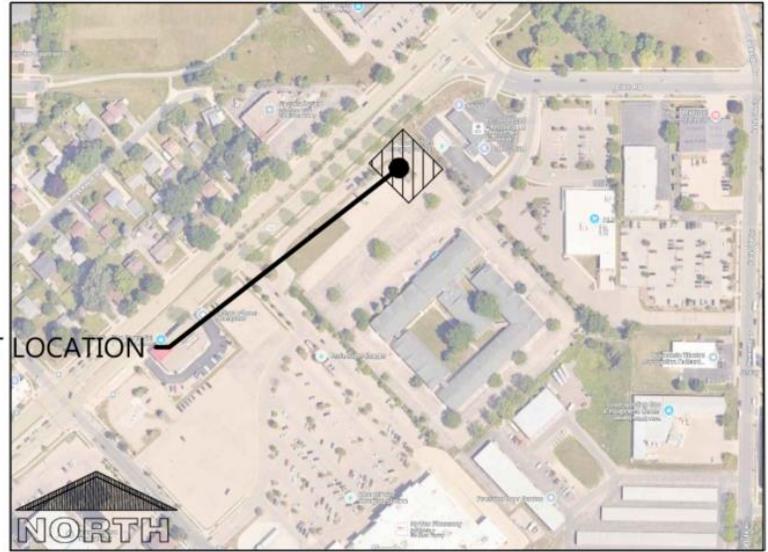
[City of Madison Urban Design Districts](#)

APPENDIX A

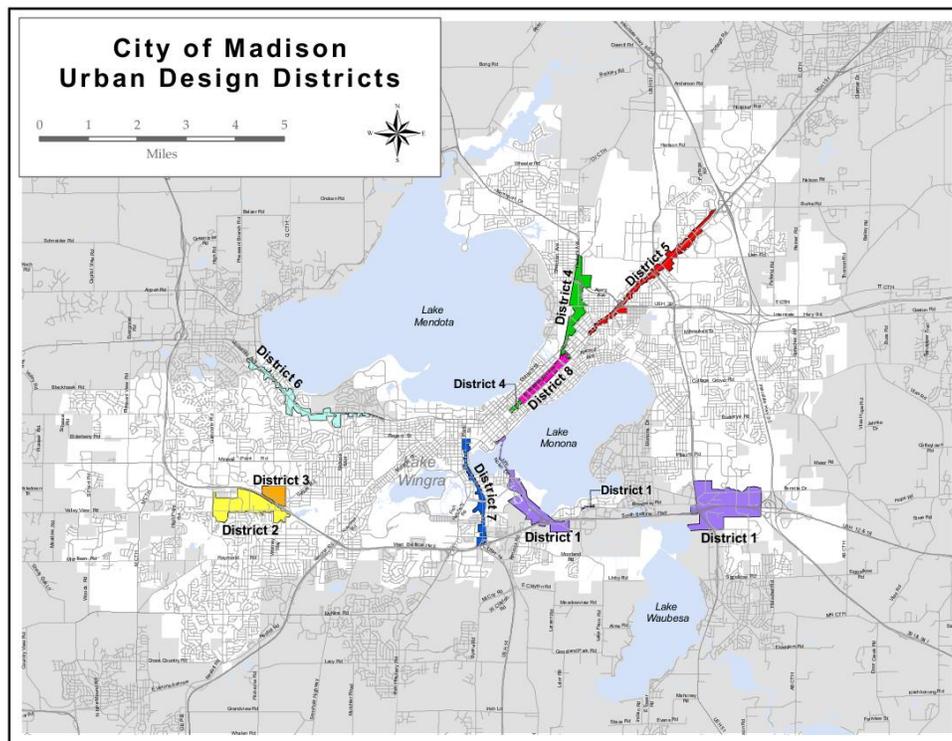
VICINITY MAP



PROJECT LOCATION



NTS



APPENDIX A

SITE DATA SUMMARY TABLE

CURRENT PROPERTY OWNER	Repvblik Madison Outparcels LLC 1784 Hamilton Road, Okemos, MI 48864 Att.: Colin Hooper colin@therepvblik.com
ADDRESS	3915 Lien Rd, Madison, WI 53704
PARCEL ID	081033209257
SITE AREA	0.826 acre
ZONING	CC-T / Transit Oriented Development (TOD) Overlay District
DEVELOPER/APPLICANT	Plaza Street Fund 350, LLC (dba Plaza Street Partners, LLC) 3400 College Blvd, Suite 200, Leawood, KS 66211 Attn: Mylena Oliveira (Pre-Development Coordinator) moliveira@plazastreetpartners.com

PROPOSED COFFEE SHOP FOR: 7-BREW MADISON

MADISON, WI

PROJECT INFORMATION

SITE INFORMATION:

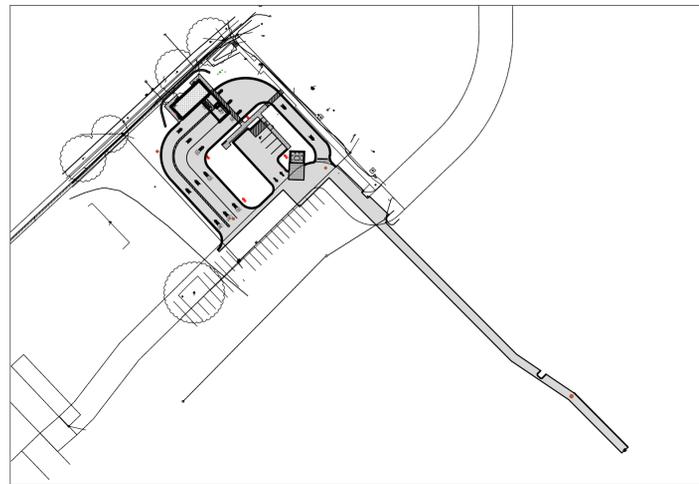
PROPERTY AREA: 37,979 S.F. (0.87 ACRES).
 EXISTING ZONING: COMMERCIAL CORRIDOR - TRANSITIONAL/ URBAN DESIGN DISTRICT NO. 5
 PROPOSED ZONING: COMMERCIAL CORRIDOR - TRANSITIONAL/ URBAN DESIGN DISTRICT NO. 5
 PROPOSED USE: COFFEE SHOP WITH DRIVE THRU (C.U.P.)
 SETBACKS:
 BUILDING: FRONT(NW) = 5' (AT LEAST 30% BUILDING WIDTH WITHIN 20' OF PRIMARY STREET = 14' SETBACK)
 SIDE(S/W/E) = 0'
 REAR(SE) = 20'
 PAVEMENT: FRONT(NW) = NONE
 SIDE(S/W/E) = NONE
 REAR(SE) = NONE
 PROPOSED BUILDING HEIGHT: 22' (MAX. HEIGHT ALLOWED: 78')
 AIRPORT HEIGHT RESTRICTIONS: 938' (PROPOSED BUILDING HEIGHT: 895.29')
 PARKING REQUIRED: NO MINIMUM PARKING REQUIRED (NOT WITHIN 300' OF ANOTHER RESTAURANT) MAXIMUM 25% OF PERSONS (25% X 15 = 4 SPACES MAX)
 PARKING PROVIDED: 4 SPACES (1 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
 LANDSCAPE REQUIREMENTS: MAXIMUM LOT COVERAGE - BUILDING ONLY: 85%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.72	31,399	87.3%
TOTAL IMPERVIOUS	0.72	31,399	87.3%
LANDSCAPE/ OPEN SPACE	0.11	4,580	12.7%
PROJECT SITE	0.83	35,979	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.02	1,045	2.9%
PAVEMENT (ASP. & CONC.)	0.52	22,647	62.9%
TOTAL IMPERVIOUS	0.54	23,692	65.8%
LANDSCAPE/ OPEN SPACE	0.28	12,287	34.2%
PROJECT SITE	0.83	35,979	100.0%



SITE PLAN OVERVIEW



EXCEL LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

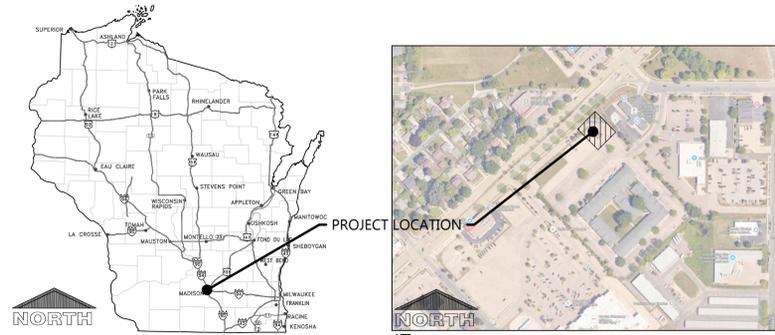
SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	1000.00TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
1000.00EG	EXISTING GRADE SPOT ELEVATIONS	1000.00FL	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
1000.00BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL	1000.00TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
1000.00FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) FG-FINISHED SURFACE GRADE AT FRONT OF WALL	1000.00BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
PROPOSED SITE SYMBOLS			
→	PROPOSED DRAINAGE FLOW	CO	PROPOSED CLEANOUT
⊕	PROPOSED WATER VALVE IN BOX	DS	PROPOSED DOWNSPOUT TO RISER
⊕	PROPOSED WELL	↔	PROPOSED APRON END SECTION
○□	PROPOSED LIGHT POLE	⊠	SOIL BORING
⊕	PROPOSED STORM CATCH BASIN - ST CB	⊕	CENTER LINE
⊕	PROPOSED STORM FIELD INLET - ST FI	⊕	PROPOSED HANDICAP PARKING STALL
⊕	PROPOSED STORM CURB INLET - ST CI	⊕	PROPOSED SIGN
PROPOSED LINETYPES			
---	PROPOSED PROPERTY LINE	---	INTERIOR PROPERTY LINE
ST	PROPOSED STORM SEWER AND MANHOLE - ST MH	---	RAILROAD TRACKS
SA	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	---	EXISTING GROUND CONTOUR
---	PROPOSED WATER LINE AND HYDRANT	---	PROPOSED GROUND CONTOUR
---	PROPOSED CURB AND GUTTER	POL	PROPOSED POLISH SEWER AND MANHOLE
---	GRADING/SEEDING LIMITS	P	PROPOSED PROCESS SEWER AND MANHOLE
---	RIGHT-OF-WAY LINE	CLW	PROPOSED CLEAR WATER LINE
T	PROPOSED UNDERGROUND TELEPHONE CABLE	G	PROPOSED UNDERGROUND GAS LINE
---	PROPOSED GUARD RAIL	E	PROPOSED UNDERGROUND ELECTRIC CABLE
FD	PROPOSED UNDERGROUND FIBER OPTIC LINE		

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE TELEFAX (414) 259-0947
 TDD (FOR THE HEARING IMPAIRED)
 1-800-542-2289
 WISCONSIN STATUTE 182.0175 (1974)
 REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PROJECT CONTACTS

OWNER INFORMATION:	CIVIL:	CITY PLANNER:	CITY ENGINEER:	CITY FIRE CHIEF:	CITY BUILDING INSPECTOR:	CITY DIRECTOR OF PUBLIC WORKS:
Plaza Street Partners Kara Kondie 3400 College Blvd, Suite 200 Leawood, KS 66211 Phone: (913) 299-5737 Email: kcondie@plazastreetpartners.com	Eric Draskowski, P.E. Phone: (920)322-1678 E-mail: eric.draskowski@excelengineer.com	Heather Stouder Phone: (608) 266-4635 E-mail: hstouder@cityofmadison.com	Jim Wolfe Phone: (608) 266-4099 E-mail: jwolfe@cityofmadison.com	Chris Carlson Phone: (608) 266-4420 E-mail: fire@cityofmadison.com	Phone: (608) 266-4551 E-mail: bldginspection@cityofmadison.com	Charles Romines E-mail: publicworks@cityofmadison.com

LOCATION MAP



PROJECT NOTES

GENERAL PROJECT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY THAT OWNER HAS OBTAINED PERMISSION TO COMPLETE WORK OFFSITE.
- FOLLOWING THE COMPLETION OF THE STORMWATER BMP'S, CONTRACTOR TO PROVIDE THE CITY OF MADISON WITH AN AS-BUILT STORMWATER MANAGEMENT/UTILITY PLAN.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

SURVEY NOTE

ALTA/NSPS LAND TITLE SURVEY WAS COMPLETED BY BUCKLEY D. BLEW (PROJECT NUMBER 24-6247) REVISION DATED OCTOBER 10, 2024. CONTACT BLEW AT SUVERY@BLEWINC.COM WITH ANY QUESTIONS REGARDING SURVEY OR EXISTING CONDITIONS INFORMATION. SEE ALTA/NSPS LAND TITLE SURVEY FOR ADDITIONAL INFORMATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS, UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER OF DISCREPANCIES. FAILURE TO NOTIFY ENGINEER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A RESULT OF FAILURE TO FIELD VERIFY.

SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN: COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1A	SITE PLAN
C1.1B	STRIPING PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

SURVEY LEGEND

●	FOUND MONUMENT AS NOTED
○	SET MONUMENT AS NOTED
+	COMPUTED POINT
+	TEMPORARY BENCHMARK (TBM)
⊕	FIRE HYDRANT
⊕	LIGHT
⊕	SANITARY MANHOLE (SMH)
⊕	SIGN
⊕	ELECTRIC METER
⊕	ELECTRIC BOX
⊕	MONITORING WELL
⊕	WATER VALVE
⊕	CURB INLET (CI)
⊕	STORM MANHOLE
⊕	TELEPHONE PEDESTAL
⊕	FIBER OPTIC VAULT
⊕	TELEVISION PEDESTAL
N.G.	NATURAL GROUND (NG)
P.S.	PARKING SPACE(S)
(M)	MEASURED/CALCULATED DIMENSION
(R)	RECORD DIMENSION
PVC	POLYVINYL CHLORIDE PIPE
CPP	CORRUGATED PLASTIC PIPE
RCP	REINFORCED CONCRETE PIPE
BOC	BACK OF CURB
FL	FLOW LINE
TB	TOP OF BANK
BB	BOTTOM OF BANK
EA	EDGE OF ASPHALT
TA	TOP OF ASPHALT
EC	EDGE OF CONCRETE
TC	TOP OF CONCRETE
---	BOUNDARY LINE
---	ADJOINER LINE
---	EASEMENT LINE
R/W	RIGHT-OF-WAY LINE
C/L	CENTERLINE
---	GUARDRAIL LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND FIBER OPTIC LINE
---	UNDERGROUND TELEVISION LINE
---	UNKNOWN UNDERGROUND UTILITY LINE
---	UNDERGROUND WATER LINE
---	UNDERGROUND STORM LINE
---	UNDERGROUND SANITARY LINE



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7-BREW MADISON
 3915 LIEN RD. • MADISON, WI 53704

PROFESSIONAL SEAL



PRELIMINARY DATES

DEC. 6, 2024
 DEC. 13, 2024
 FEB. 12, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

240275600

SHEET NUMBER

C0.1

CIVIL SPECIFICATIONS

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS, UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO THE REQUIRED DRY DENSITY.
- PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
 - UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE - PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY GILES ENGINEERING ASSOCIATES, INC.
- ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (WA.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS, TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
 - SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 - STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3/4" CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NOTED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
 - STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
 - DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
 - THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
 - CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
 - TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
 - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
 - ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (WA.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
 - EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW:

STANDARD ASPHALT PAVING SECTION	HEAVY ASPHALT PAVING SECTION
1-1/2" SURFACE COURSE (5 LT 58-285)	1-1/2" SURFACE COURSE (5 LT 58-285)
(WISDOT 455.2.5 TACK COAT (STAGED PAVING)	WISDOT 455.2.5 TACK COAT (STAGED PAVING)
2" BINDER COURSE (4 LT 58-285)	2-1/2" BINDER COURSE (4 LT 58-285)
10" OF 1-1/4" CRUSHED AGGREGATE	12" OF 1-1/4" CRUSHED AGGREGATE
- CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.5% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 20 00 CONCRETE AND AGGREGATE BASE

- CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.
- EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
 - SIDEWALK CONCRETE** - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONSTRUCTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.
 - DUMPSTER PAD/APRON CONCRETE** - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.
 - CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB:
 - THE BARS AT ALL CONTRACTION JOINTS OF THE CONCRETE. THE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30" O.C.
 - DUMPSTER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS:
 - CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT SHALL BE 2" IN DEPTH.

- DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
 - STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
 - MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
 - SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
 - SLUMP SHALL BE 2.5" OR LESS FOR SLP-FORMED CURB AND GUTTER
 - SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLP-FORMED CURB AND GUTTER.
 - ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERESH 300 FIBERS AT A RATE OF 1.5 LBS./CU. YD. OR 8 X 6 WY 4 X WY 4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADIES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.

- ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #6 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD, BUT LESS THAN 25 CU. YD, PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELING.
- LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DICING SALTS TO 0.45.
- TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- TOPSOIL** - CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROCESS. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5% PERCENT ORGANIC MATERIAL. CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.

TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM TO OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE GRADE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- SEEDED LAWNS:**
 - PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (20-25 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (10-18 LBS./1,000 S.F.), 15% FINE FESCUE (0-10 LBS./1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ON SITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
 - ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1,000 S.F.), 40% CREeping RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
 - ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- SEEDED LAWN MAINTENANCE:** CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5%. CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- EROSION MATTING:**
 - CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.

- TREES AND SHRUBS:** FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- TREE AND SHRUB INSTALLATION:** EXCAVATE CIRCULAR LAR PITS WITH SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF FIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- TREE AND SHRUB MAINTENANCE/WARRANTY:** CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- ORGANIC MULCH:** PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- PLASTIC EDGING:** INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGINGS TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF 4" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A 2" TURN (2" 142) IN HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE IN PAVED SURFACES. THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. SITE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SPLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GE PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE, IF ATTACHED. THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REQUIRED). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.



PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7-BREW MADISON
 3915 LIEN RD. • MADISON, WI 53704

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 6, 2024
 DEC. 13, 2024
 FEB. 12, 2025

JOB NUMBER

240275600

SHEET NUMBER

C0.2

NOT FOR CONSTRUCTION

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.
	2. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
	3. PLACE ALL SILT FENCE AND INLET PROTECTION.
	4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.
	5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS.
	6. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.
	7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED.
	2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. LOCATION BY OWNER. FINAL LOCATION BY CONTRACTOR. PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED.
	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.
	4. CONSTRUCT ANY REMAINING STORMWATER TREATMENT & CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.
	5. DIG AND POUR ALL BUILDING FOOTINGS.
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES.
	7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.
	8. CONSTRUCT BUILDING.
	9. PAVE DRIVEWAYS AND PARKING AREAS.
	10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.
	2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE

SHOP DRAWING SUBMITTALS

MATERIAL / INFORMATION
1. <u>32.10.00 (A) - AGGREGATE BASE & ASPHALT PAVEMENT</u> <ul style="list-style-type: none"> HOT MIX ASPHALT SPECIFICATIONS AGGREGATE BASE
2. <u>32.20.00-CONCRETE AND AGGREGATE BASE</u> <ul style="list-style-type: none"> DESIGN MIX AGGREGATE BASE COMPRESSION TEST RESULTS
3. <u>33.10.00 - SITE UTILITIES</u> <ul style="list-style-type: none"> STORM MANHOLES SANITARY PIPING MATERIALS GREASE INTERCEPTOR SHOP DRAWINGS WATER PIPING MATERIALS WATER FITTINGS & APPURTENANCES STORM PIPING MATERIALS STORMWATER TREATMENT SHOP DRAWINGS
4. <u>MISCELLANEOUS ITEMS</u> <ul style="list-style-type: none"> SITE LIGHTING

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7-BREW MADISON
3915 LIEN RD. • MADISON, WI 53704

PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 6, 2024
DEC. 13, 2024
FEB. 12, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
240275600

SHEET NUMBER
C1.0

GENERAL NOTES:

- SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS.
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LEGEND:

- REMOVE ONSITE FEATURES
- COORDINATE OFFSITE IMPROVEMENTS W/ OWNER AND NEIGHBOR

KEYNOTES

A	PROTECT EXISTING SIDEWALK & RAMP
B	SAWCUT (AS NECESSARY) AND REMOVE ASPHALT AND BASE
C	SAWCUT (AS NECESSARY) AND REMOVE ASPHALT FOR UTILITY INSTALLATION. VERIFY ALL UTILITIES ROUTES ARE CLEAR PRIOR TO CONSTRUCTION. SURVEY NOT COMPLETED IN THIS AREA
D	SAWCUT (AS NECESSARY) AND REMOVE ASPHALT AND PROTECT BASE
E	REMOVE LIGHT POLE AND DISCONNECT UNDERGROUND ELECTRICAL LINE. VERIFY SOUTHWEST LIGHT POLE MAINTAINS FUNCTION AFTER DISCONNECTION
F	REMOVE 52' OF WATER SERVICE SERVICE TO REMAIN ACTIVE DURING CONSTRUCTION COORDINATE W/ OWNER OF WATER SERVICE. FIELD VERIFY ROUTE AND LOCATION.
G	REMOVE CURB. SAWCUT (AS NECESSARY)
H	REMOVE TREE
I	CONTRACTOR TO PROTECT UNDERGROUND ELECTRICAL LINES. PROVIDE REMOVAL AND RELOCATION AS NECESSARY.
J	CONTRACTOR TO FIELD VERIFY STORMSEWER ROUTE PRIOR TO CONSTRUCTION. VERIFY ROUTE IS CLEAR OF IMPROVEMENTS. RELOCATE AS NECESSARY.
L	CONTRACTOR TO FIELD VERIFY SIZE, LOCATION AND DEPTH PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF LOCATION DOES NOT MATCH INTENDED DESIGN.
M	REMOVE AND RELOCATE SIGN
N	REMOVE PAVEMENT STRIPING
O	REMOVE CURB (IF NECESSARY)

- SURVEY NOTES:**
- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
 - DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
 - IN REGARD TO ALTA/NSPS TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS EXCEPT AS SHOWN HEREON.
 - IN REGARD TO ALTA/NSPS TABLE A ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS EXCEPT AS SHOWN HEREON.
 - AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
 - AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
 - COMPLETED FIELD WORK WAS SEPTEMBER 9TH, 2024.
 - THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
 - THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF EAST WASHINGTON AVENUE (A.K.A. U.S. HIGHWAY 151), WHICH IS APPROXIMATELY 185' FROM THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
 - THE SUBJECT PROPERTY HAS INDIRECT ACCESS TO LIEN ROAD VIA CROSS ACCESS EASEMENT PER DOCUMENT NO. 5978321, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.
 - EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY; EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 - NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED WISCONSIN ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY (THE SUBJECT PROPERTY), THE PURPOSE OF THIS SURVEY, AND THE COMMENTS RELATED TO THE SCHEDULE B-4 EXCEPTIONS, IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBJECTIONS IN RELATION THERETO. TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
 - NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM DANE COUNTY GIS.
 - THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
 - IN REGARD TO ALTA/NSPS TABLE A ITEM 10, NO VISIBLE DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELD SURVEY WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT.
 - A PRIVATE UTILITY LOCATE WAS CONDUCTED ON THE SUBJECT PROPERTY BY BLEW AND ASSOCIATES ON 09/12/2024.
 - ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING, VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD88) IN US SURVEY FEET. CONTOURS SHOWN ARE 1' INTERVALS.
 - THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.

SURVEY NOTE:

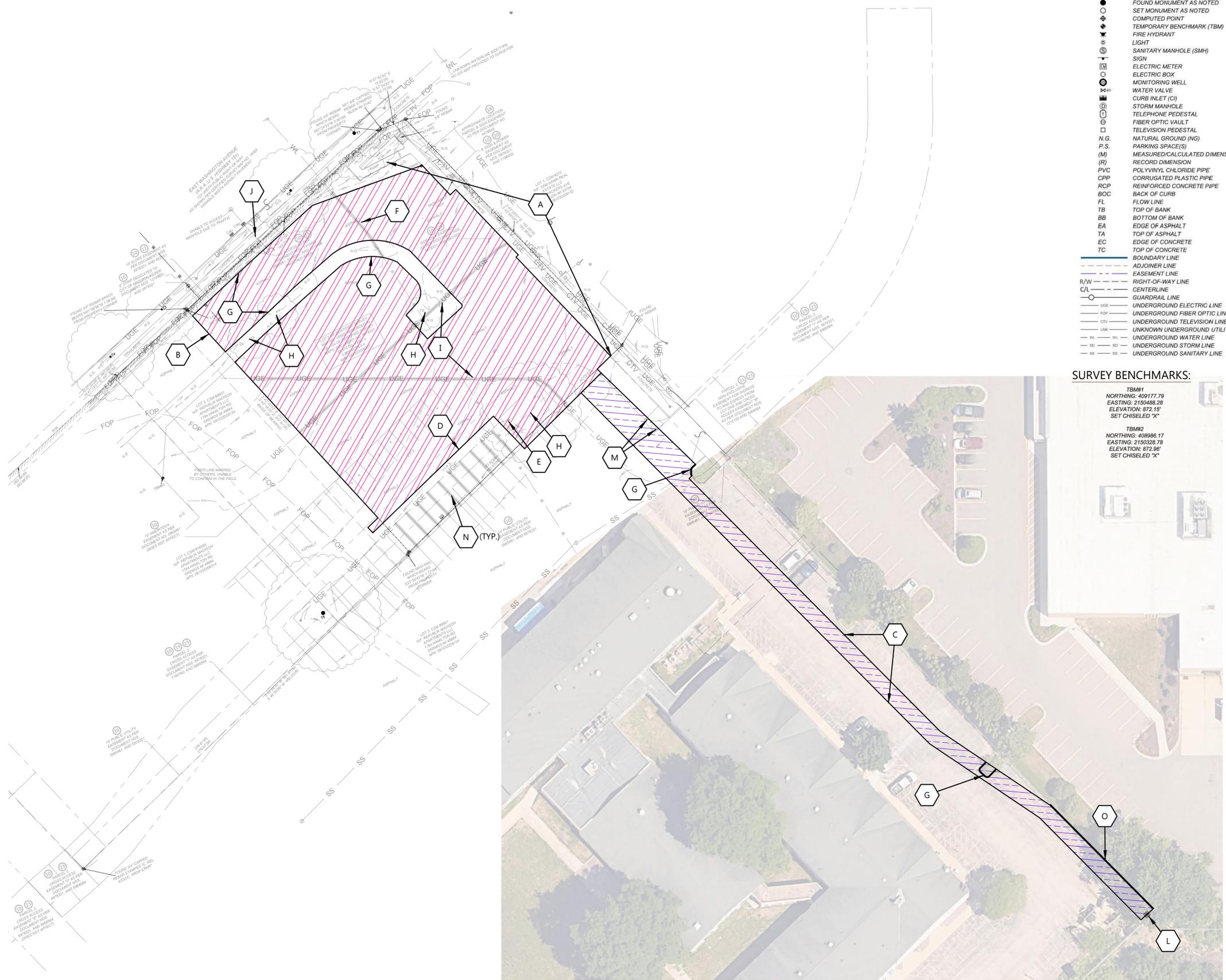
ALTA/NSPS LAND TITLE SURVEY WAS COMPLETED BY BUCKLEY D. BLEW (PROJECT NUMBER 24-6247) REVISION DATED OCTOBER 10, 2024. CONTACT BLEW AT SUVERY@BLEWINC.COM WITH ANY QUESTIONS REGARDING SURVEY OR EXISTING CONDITIONS INFORMATION. SEE ALTA/NSPS LAND TITLE SURVEY FOR ADDITIONAL INFORMATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS, UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER OF DISCREPANCIES. FAILURE TO NOTIFY ENGINEER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A RESULT OF FAILURE TO FIELD VERIFY.

- SURVEY LEGEND:**
- FOUND MONUMENT AS NOTED
 - SET MONUMENT AS NOTED
 - COMPUTED POINT
 - TEMPORARY BENCHMARK (TBM)
 - FIRE HYDRANT
 - LIGHT
 - SANITARY MANHOLE (SMH)
 - SIGN
 - ELECTRIC METER
 - ELECTRIC BOX
 - MONITORING WELL
 - WATER VALVE
 - CURB INLET (CI)
 - STORM MANHOLE
 - TELEPHONE PEDESTAL
 - FIBER OPTIC VAULT
 - TELEVISION PEDESTAL
 - N.G. NATURAL GROUND (NG)
 - P.S. PARKING SPACE(S)
 - (M) MEASURED/CALCULATED DIMENSION
 - (R) RECORD DIMENSION
 - PVC POLYVINYL CHLORIDE PIPE
 - CPFP CORRUGATED PLASTIC PIPE
 - RCP REINFORCED CONCRETE PIPE
 - BOC BACK OF CURB
 - FL FLOW LINE
 - TB TOP OF BANK
 - BB BOTTOM OF BANK
 - EA EDGE OF ASPHALT
 - TA TOP OF ASPHALT
 - EC EDGE OF CONCRETE
 - TC TOP OF CONCRETE
 - BOUNDARY LINE
 - EASEMENT LINE
 - R/W RIGHT-OF-WAY LINE
 - C/L CENTERLINE
 - GUARDRAIL LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND FIBER OPTIC LINE
 - CTV UNDERGROUND TELEVISION LINE
 - UNK UNKNOWN UNDERGROUND UTILITY LINE
 - WL UNDERGROUND WATER LINE
 - SD UNDERGROUND STORM LINE
 - SS UNDERGROUND SANITARY LINE

SURVEY BENCHMARKS:

TBM#1
NORTHING: 409177.79
EASTING: 2150488.28
ELEVATION: 872.15'
SET CHISELED "X"

TBM#2
NORTHING: 408986.17
EASTING: 2150328.78
ELEVATION: 872.96'
SET CHISELED "X"



EXISTING R.O.W. TREES			
COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
HONEYLOCUST	GLEDITSIA TRIANCANTHOS SPP.	24" DIA	1
HONEYLOCUST	GLEDITSIA TRIANCANTHOS SPP.	18" DIA	1
HONEYLOCUST	GLEDITSIA TRIANCANTHOS SPP.	14" DIA	1
ELM	ULMUS	13" DIA	1

LEGEND:	
HATCH	PAVEMENT SECTION
[Hatch Pattern]	STANDARD ASPHALT
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	REPLACE TO MATCH EXISTING
[Hatch Pattern]	SIDEWALK CONCRETE
[Hatch Pattern]	DUMPSTER PAD / APRON CONCRETE
[Hatch Pattern]	INVERTED CURB & GUTTER

GENERAL NOTES:

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KEYNOTES	
1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
3	FLUSH WALK (SEE DETAIL)
4	REMOVED AND RELOCATED SIGNS
6	ADA CURB RAMP (SEE DETAIL)
7	ADA SIDEWALK RAMP (SEE DETAIL)
8	18" CURB & GUTTER (SEE DETAIL)
9	CURB TAPER (SEE DETAIL)
10	CURB CUT (SEE DETAIL)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
17	6" CONCRETE BOLLARDS (SEE DETAIL)
20	BIKE RACK (SEE DETAIL) (TYPE & COLOR BY OWNER)
21	DETECTABLE WARNING PLATE PER STATE CODE
23	PAINT STRIPING (TYP), SEE SHEET C1.1B FOR DETAILS.
24	WARMING HUT (SEE ARCH PLANS FOR DETAILS)
25	MODULAR BLOCK RETAINING WALL TO MATCH BUILDING MATERIAL COLOR AND TEXTURE (SEE DETAIL) (100' IN LENGTH) - FINAL DESIGN BY SUPPLIER
27	6" CURB HEAD TO MATCH EXISTING

EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7-BREW MADISON
 3915 LIEN RD. • MADISON, WI 53704

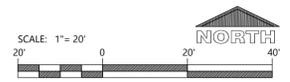
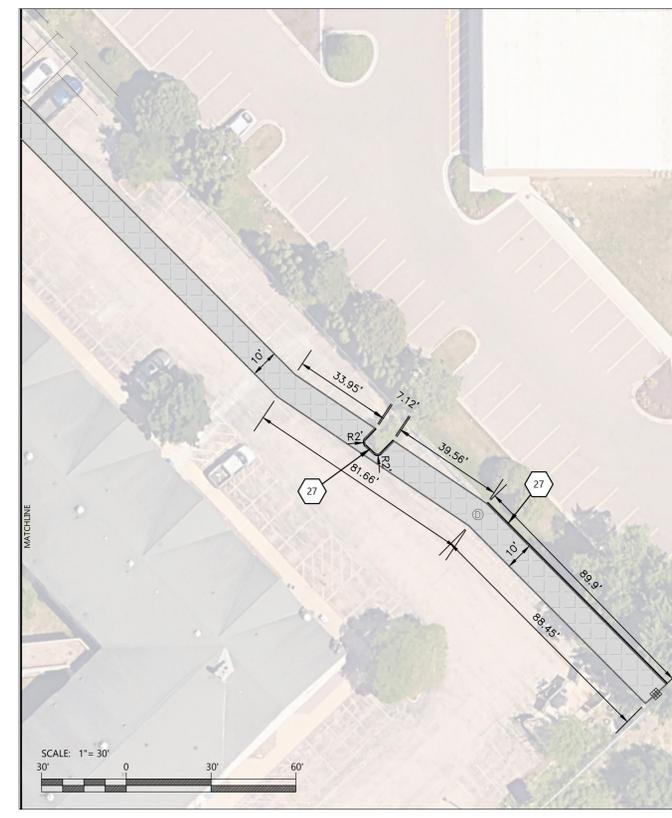
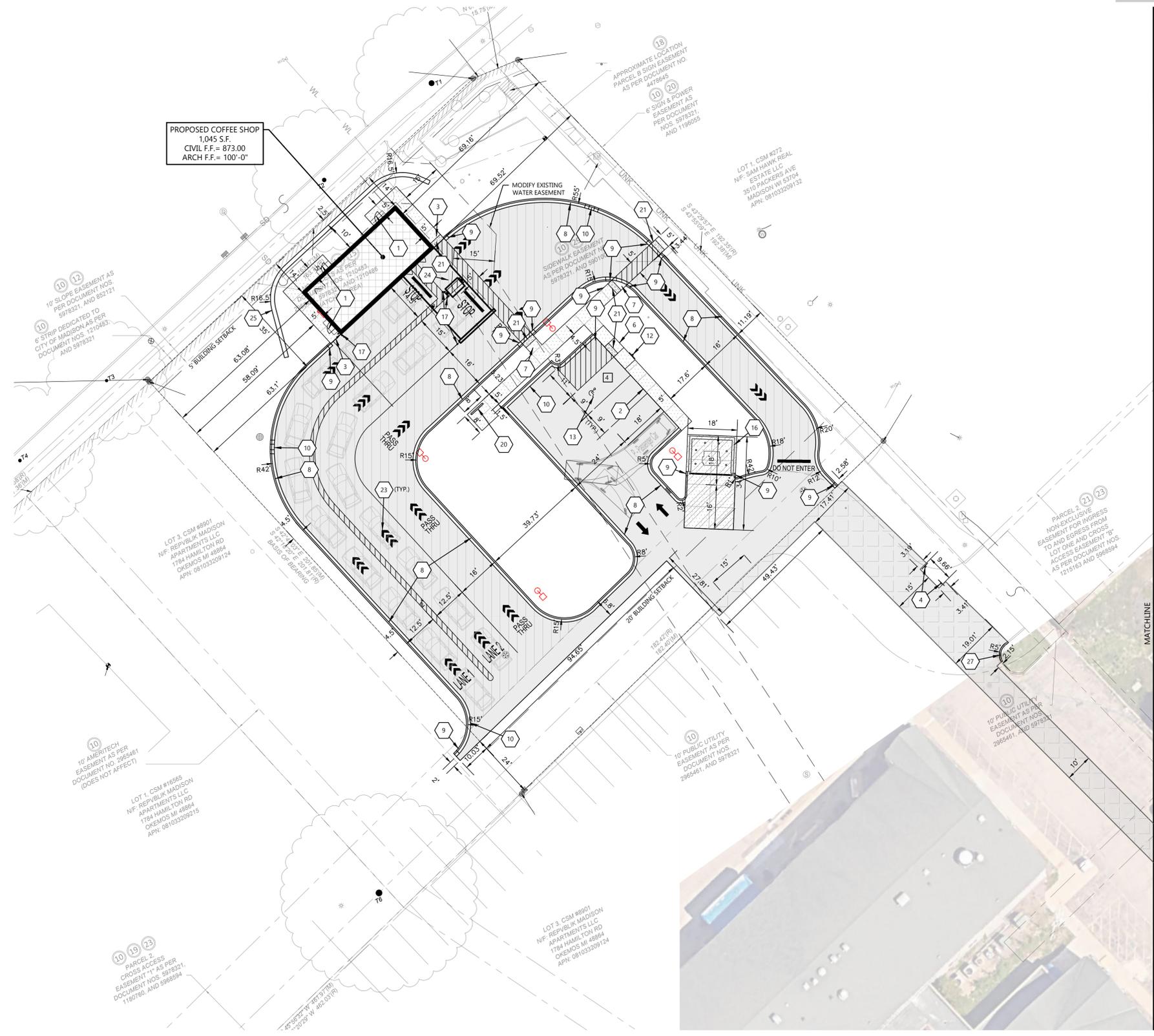
PROFESSIONAL SEAL

PRELIMINARY DATES
 OCT. 14, 2024
 DEC. 6, 2024
 DEC. 13, 2024
 FEB. 12, 2025

NOT FOR CONSTRUCTION

JOB NUMBER
 240275600

SHEET NUMBER
C1.1A



CIVIL SITE PLAN

EXISTING R.O.W. TREES			
COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
HONEYLOCUST	GLEDITSIA TRIANCANTHOS SPP.	24" DIA	1
HONEYLOCUST	GLEDITSIA TRIANCANTHOS SPP.	18" DIA	1
HONEYLOCUST	GLEDITSIA TRIANCANTHOS SPP.	14" DIA	1
ELM	ULMUS	13" DIA	1

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- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS/ PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

SURVEY NOTE:

ALTA/NSPS LAND TITLE SURVEY WAS COMPLETED BY BUCKLEY D. BLEW (PROJECT NUMBER 24-6247) REVISION DATED OCTOBER 10, 2024. CONTACT BLEW AT SUVERY@BLEWINC.COM WITH ANY QUESTIONS REGARDING SURVEY OR EXISTING CONDITIONS INFORMATION. SEE ALTA/NSPS LAND TITLE SURVEY FOR ADDITIONAL INFORMATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS, UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER OF DISCREPANCIES. FAILURE TO NOTIFY ENGINEER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A RESULT OF FAILURE TO FIELD VERIFY.



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100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7-BREW MADISON
3915 LIEN RD. • MADISON, WI 53704

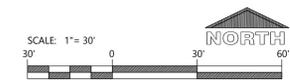
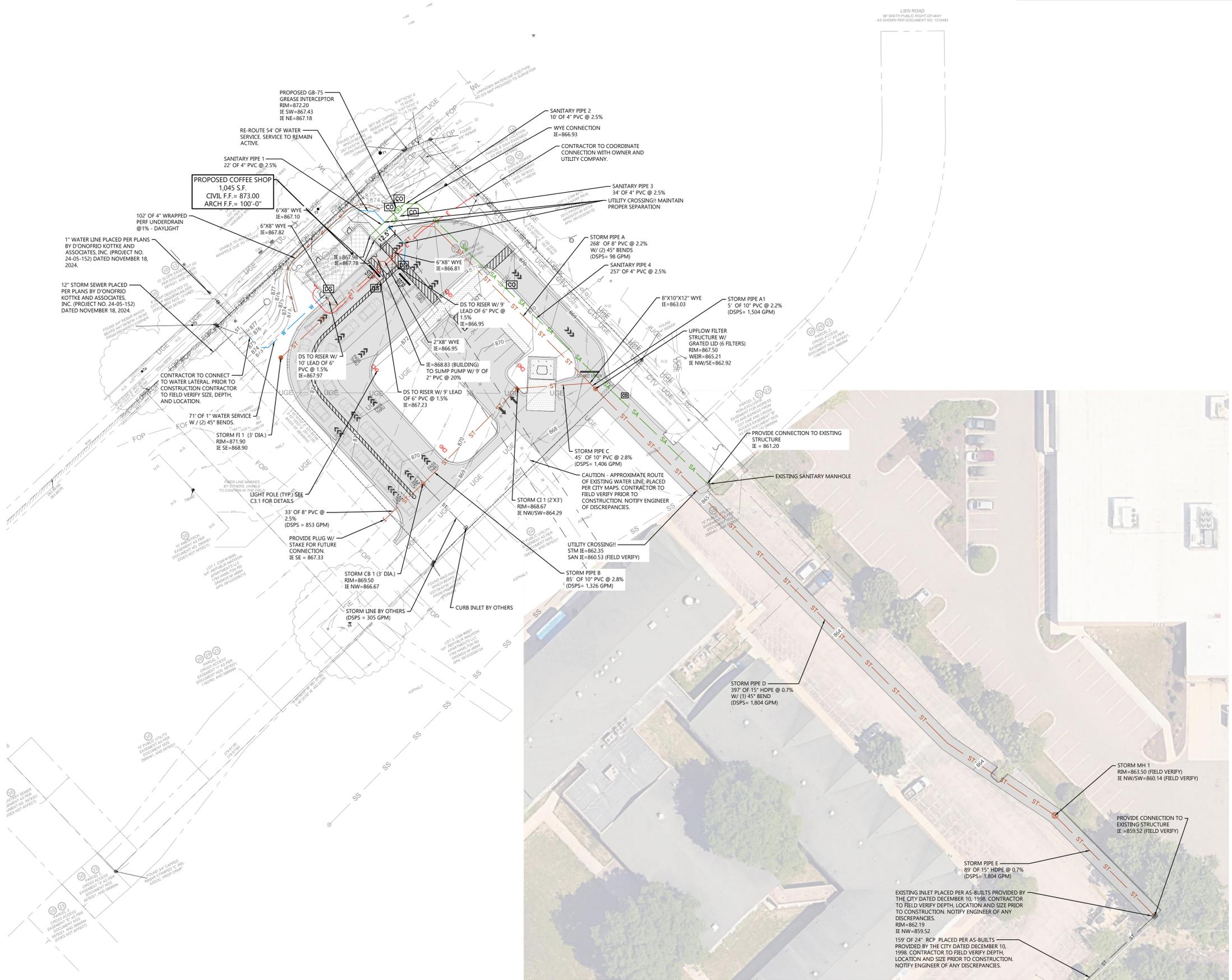
PROFESSIONAL SEAL

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DEC. 6, 2024
DEC. 13, 2024
FEB. 12, 2025

JOB NUMBER
240275600

SHEET NUMBER
C1.3

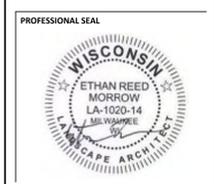
NOT FOR CONSTRUCTION



PROJECT INFORMATION

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SHEET NUMBER
C1.4

LANDSCAPE PLANT SCHEDULE								
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	ROOT	HEIGHT	SPREAD	QUANTITY	POINTS
OVERSTORY TREES								
☉	Green Column Black Maple	Acer saccharum ssp. nigrum 'Green Column'	2 1/2" CAL.	B&B	50-70'	20-30'	3	35
☉	Autumn Gold Ginkgo	Ginkgo biloba 'Autum Gold'	2 1/2" CAL.	B&B	40-50'	25-30'	6	35
☉	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso-JFS'	2 1/2" CAL.	B&B	50'	35'	3	35
☉	Redmond Linden	Tilia americana 'Redmond'	2 1/2" CAL.	B&B	40-60'	25'	3	35
							POINTS IN THIS SECTION	525
EVERGREEN TREES								
☉	White Spruce	Picea glauca	5" HT.	B&B	40-60'	10-20'	2	35
							POINTS IN THIS SECTION	70
DECIDUOUS SHRUBS								
☉	Low Scape Mound Chokeberry	Aronia melanocarpa 'UCONNAM165'	12" HT.	CONT.	1-2'	2-3'	16	3
☉	Yuki Cherry Blossom Deutzia	Deutzia x 'NCDX2'	12" HT.	CONT.	1-2'	1-2'	18	3
☉	Bobo Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT.	CONT.	3'	3-4'	10	3
☉	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	18" HT.	CONT.	3-4'	3-4'	10	3
☉	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18" HT.	CONT.	2-3'	4-5'	6	3
							POINTS IN THIS SECTION	180
EVERGREEN SHRUBS								
☉	Sea of Gold Juniper	Juniperus Chinensis 'Monsan'	18" HT.	CONT.	4'	4'	11	4
							POINTS IN THIS SECTION	44
PERENNIALS/ORNAMENTAL GRASSES								
*	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL.	POT.	4-5'	2'	14	2
☉	Walker's Low Catmint	Nepeta 'Walker's Low'	1 GAL.	POT.	18"-24"	18"	10	2
							POINTS IN THIS SECTION	48

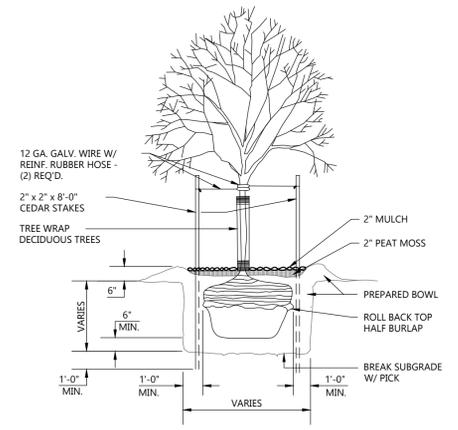
TREE REMOVAL LIST			
COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
OVERSTORY TREES			
HONEYLOCUST	GLEDITSIA TRIACANTHOS SPP.	20" DIA.	1
EVERGREEN TREES			
BLUE SPRUCE	PICEA PUNGENS	10-13" DIA.	4

LANDSCAPING CALCULATIONS		
ZONE	REQUIRED PLANTS	PLANTS PROVIDED
FRONTAGE	178' OF FRONTAGE 1 OVERSTORY TREE AND 5 SHRUBS PER 30' REQUIRED: 6 OVERSTORY TREES / 30 SHRUBS	PROVIDED: 6 OVERSTORY TREES / 50 SHRUBS POINTS FOR THIS SECTION: 365
INTERIOR PARKING LOT LANDSCAPE	15,588 SF x 5% = 779 SF REQ. LANDSCAPE AREA 1 TREE PER 160 SF OF REQ. LANDSCAPE AREA REQUIRED: 779 SF/160 SF = 4.9 TREES	PROVIDED: 5 OVERSTORY TREES / 117 POINTS OF UNDERSTORY LANDSCAPING POINTS FOR THIS SECTION: 292
DISPLACED LANDSCAPE REQUIREMENTS	5 EXISTING TREES REMOVED FROM SITE REQUIRED: REPLACE WITH 5 NEW TREES	PROVIDED: 6 TREES POINTS FOR THIS SECTION: 210
LANDSCAPE POINT CALCULATIONS	22,838 SF OF DEVELOPED AREA 5 LANDSCAPE POINTS REQ. PER 300 SF 22,838 SF/300 SF x 5 POINTS REQUIRED: 380.6 POINTS	TOTAL PROVIDED: 867 POINTS

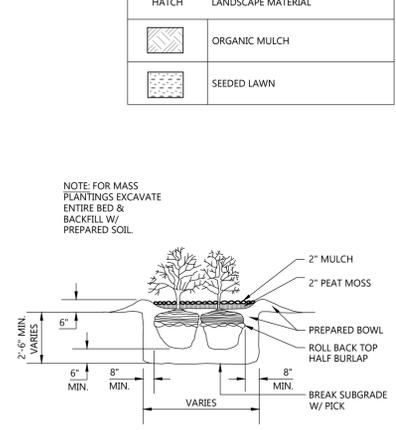
GENERAL NOTES:

- PLANTS ARE SHOWN AT 60% MATURITY
- LANDSCAPE ZONES THAT EXCEED CODE REQUIREMENTS WERE INCREASED IN RESPONSE TO CITY COMMENTS RELATED TO URBAN DESIGN DISTRICT 5 GUIDELINES

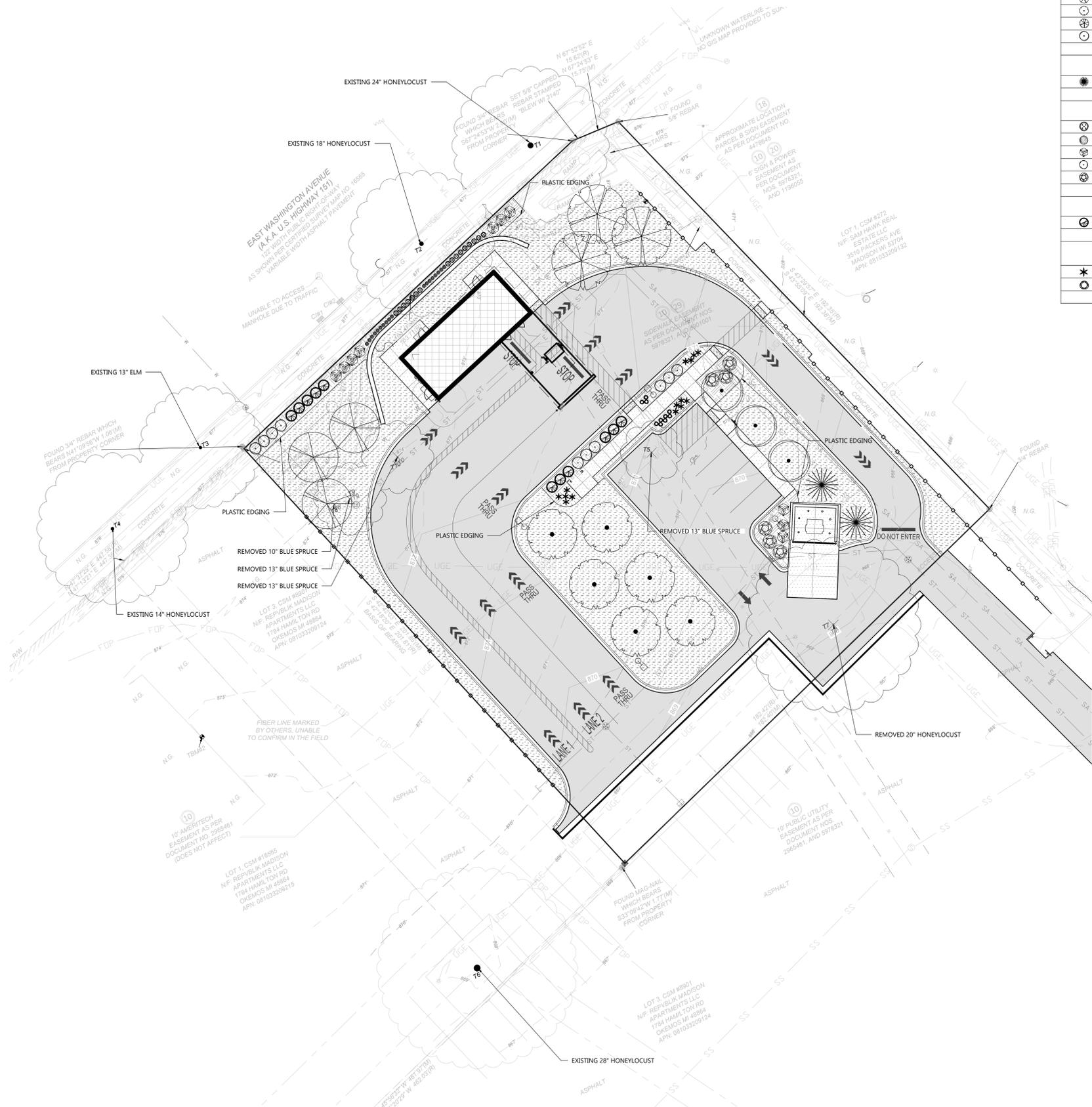
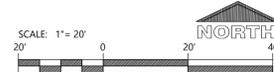
HATCH KEY:	
HATCH	LANDSCAPE MATERIAL
	ORGANIC MULCH
	SEEDED LAWN

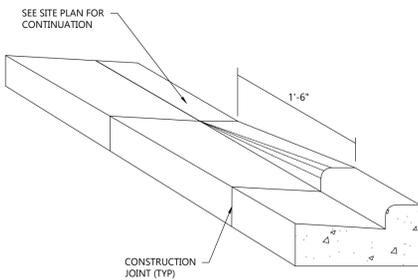


TREE PLANTING DETAIL
NOT TO SCALE

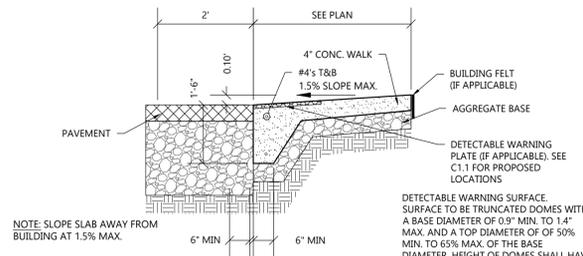


SHRUB PLANTING DETAIL
NOT TO SCALE

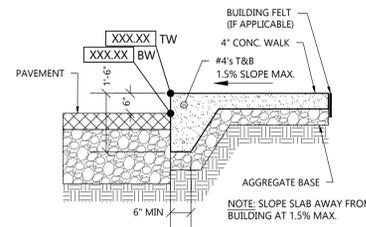




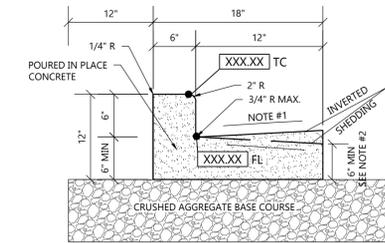
CURB TAPER DETAIL
NOT TO SCALE



FLUSH WALK DETAIL
NOT TO SCALE

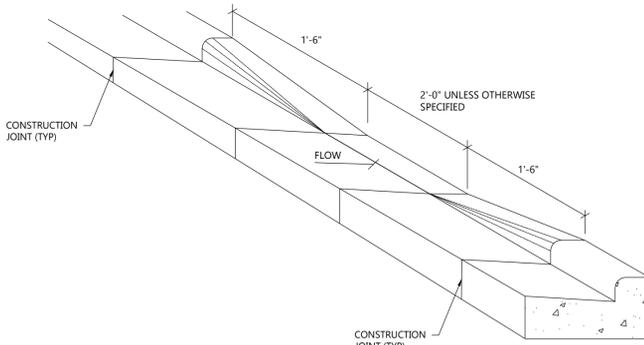


RAISED WALK DETAIL
NOT TO SCALE

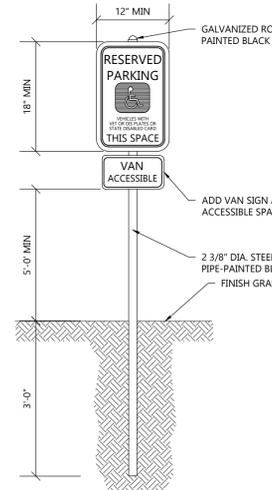


18" CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE

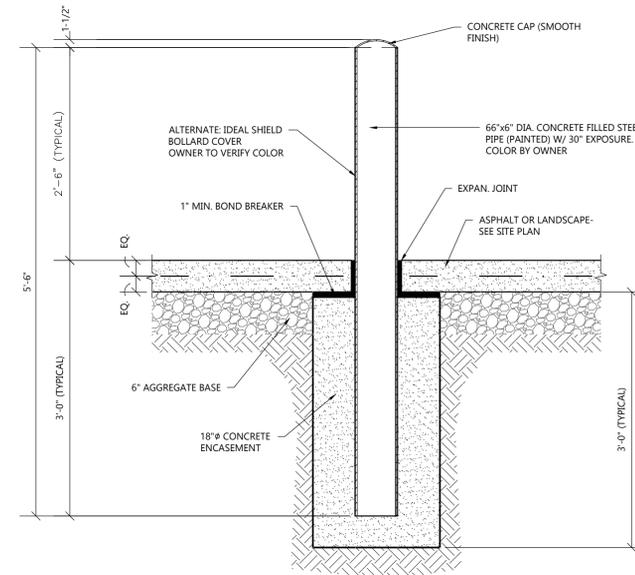
- NOTE:
1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 2. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS



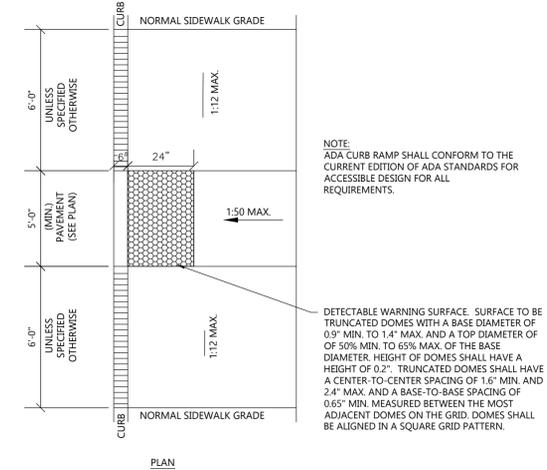
CURB CUT DETAIL
NOT TO SCALE



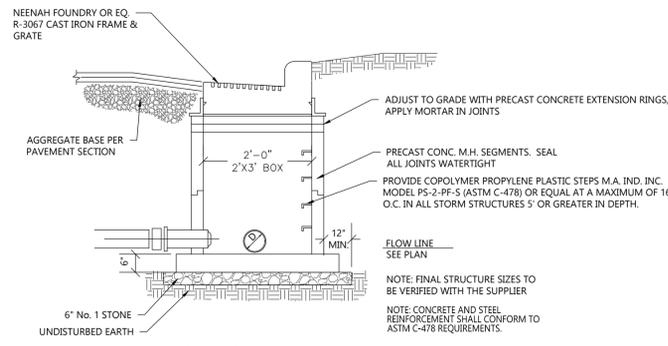
HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL
NOT TO SCALE



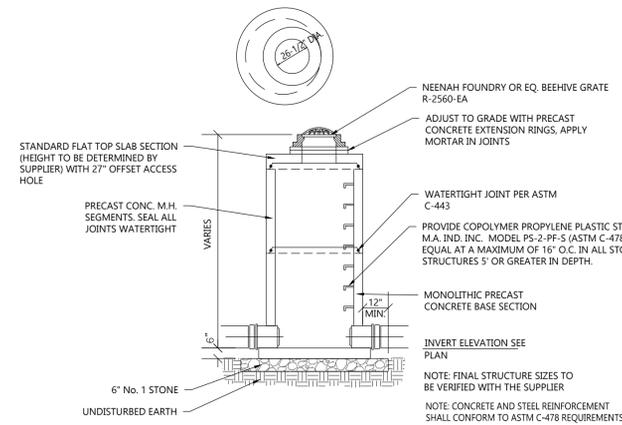
6" PIPE BOLLARD DETAIL
NOT TO SCALE



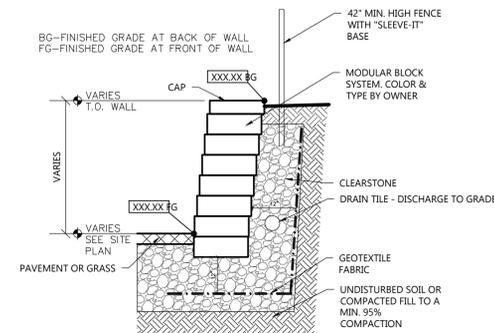
ADA CURB RAMP DETAIL
NOT TO SCALE



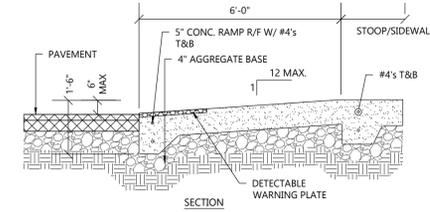
STORM CURB INLET DETAIL
NOT TO SCALE



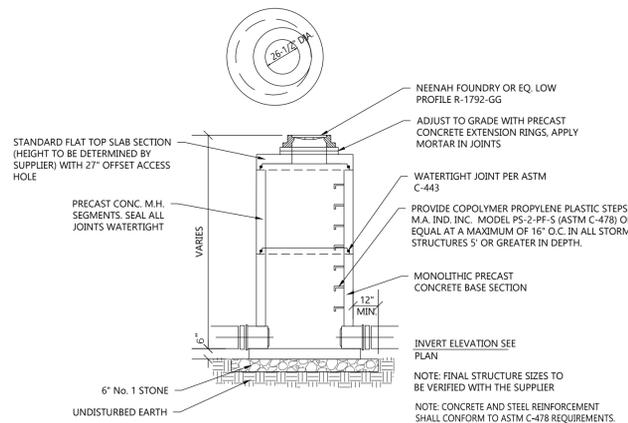
**STORM FIELD INLET /
DOME GRATE DETAIL**
NOT TO SCALE



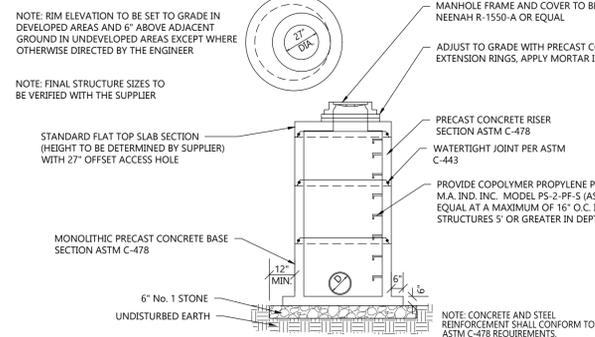
RETAINING WALL DETAIL
NOT TO SCALE



ADA SIDEWALK RAMP DETAIL
NOT TO SCALE



STORM CATCH BASIN DETAIL
NOT TO SCALE



STORM MANHOLE DETAIL
NOT TO SCALE

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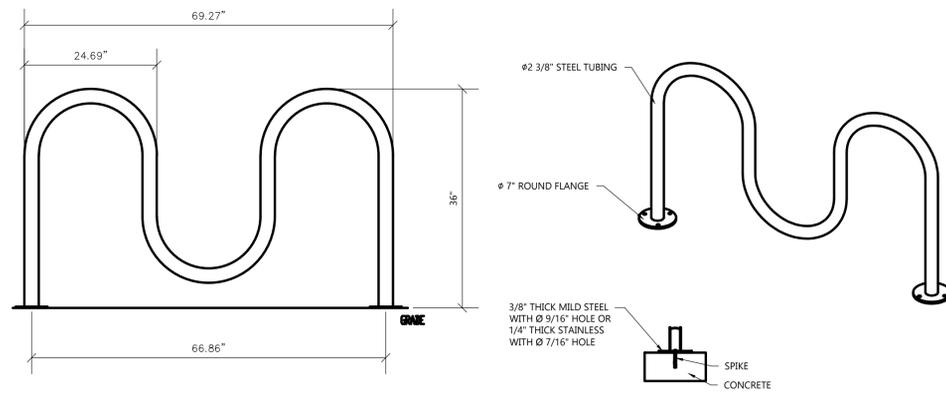
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240275600

SHEET NUMBER

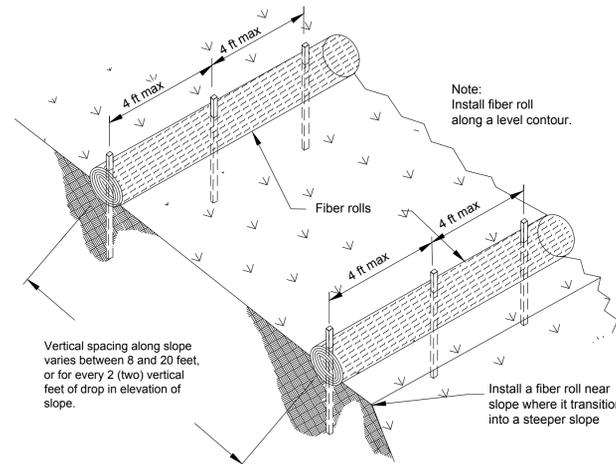
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NOT FOR CONSTRUCTION

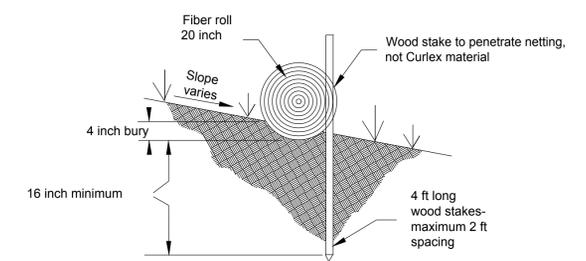


- NOTES:
- INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - OWNER SHALL SELECT COLOR & FINISH
 - SEE SITE PLAN FOR APPROX. LOCATION. COORDINATE W/ OWNER PRIOR TO CONSTRUCTION.
 - MANUFACTURED BY MADRAX PRODUCT: CS200-5-1G(SF); DESCRIPTION: CAPITAL SQUARE BIKE RAKE 5 BIKE

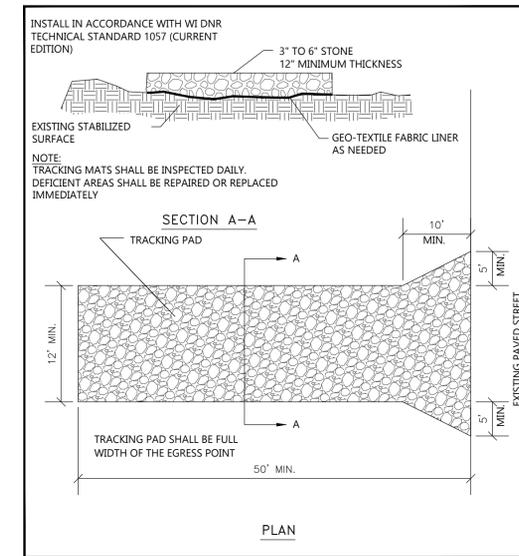
5 BIKE RACK DETAIL-WAVE TYPE
NOT TO SCALE



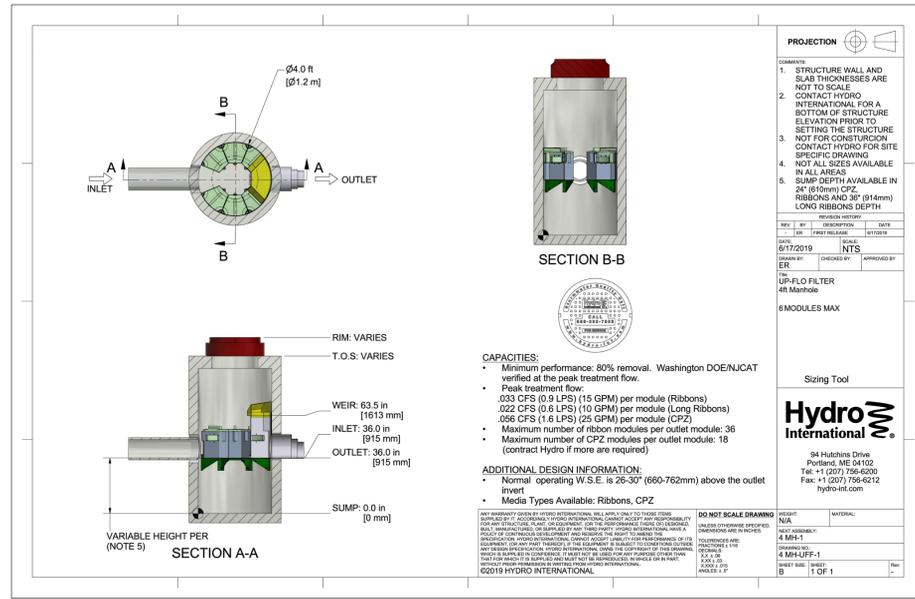
TYPICAL FIBER ROLL INSTALLATION
N.T.S.



SEDIMENT LOG INSTALLATION
NOT TO SCALE



TRACKPAD DETAILS
NOT TO SCALE

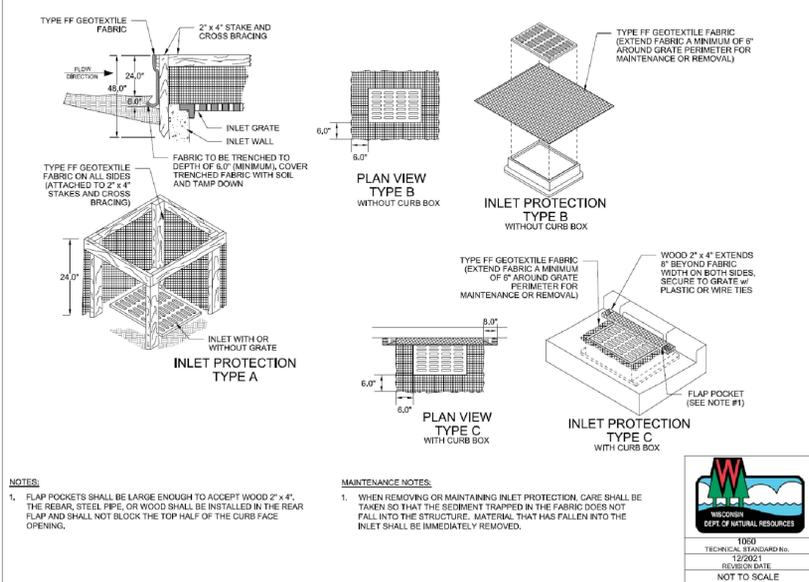


Hydro International

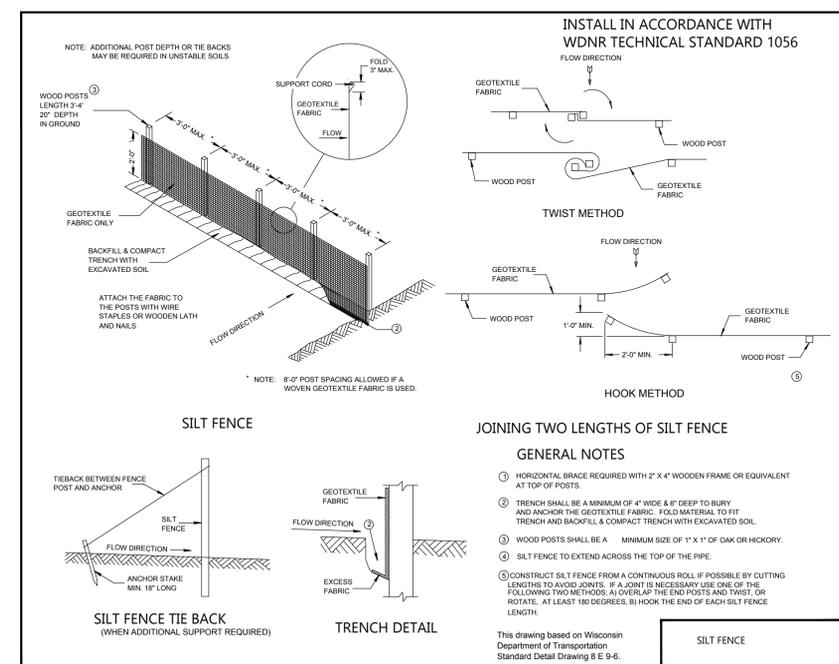
84 Hutchins Drive
Portland, ME 04102
Tel: +1 (207) 756-6200
Fax: +1 (207) 756-6212
hydro-int.com

PROFESSIONAL SEAL

FIGURE 1. INLET PROTECTION TYPES A, B AND C



INLET PROTECTION DETAIL
NOT TO SCALE



SILT FENCE - INSTALLATION DETAIL
NOT TO SCALE

EXCEL

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920-926-9800
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SHEET NUMBER

C2.1

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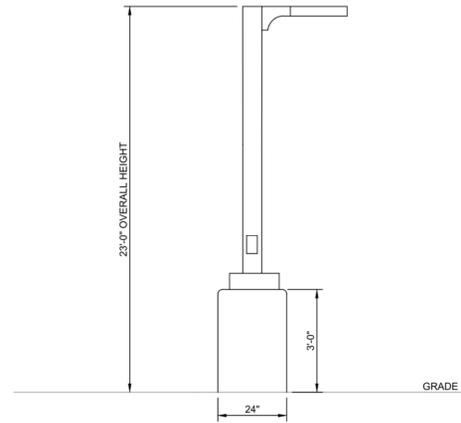
JOB NUMBER

240275600

SHEET NUMBER

C3.1

NOT FOR CONSTRUCTION



LIGHT POLE DETAIL
NO SCALE

Mirada Medium (MRM)
Outdoor LED Area Light

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
TL	TL	30			1	400	0.2	2,97766
L14	L14	0	LSI INDUSTRIES, INC.	MRM-LED-18L-SIL-FT-30-70CRI	1	19332	1	135
L15	L15	4	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-SW-30-70CRI	1	12672	1	85

Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
PARKING LOT	X	1.5 fc	3.2 fc	0.5 fc	6.4:1 3.0:1
Calc. Zone #2	+	0.7 fc	3.2 fc	0.0 fc	N/A N/A

OVERVIEW

Lumen Package	10000 - 33000
Wattage Range	45 - 420
Efficacy Range (LPW)	105 - 162
Weight (lbs)	30 (13.6)
Control Options	RFID / A.I.B. / ALS / 7-1/2" P.C.

QUICK LINKS

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's Duragrip polyester powder coat finishing process. The Duragrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Contact factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in LSI Types 2, 3, 4, 5W, FT, FTA, AH, and LC/R/C.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 95-99%.
- Zero sagging.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Coated Amber with Peak Intensity at 600nm.
- Minimum CRI of 70.
- Integral lower (L) and integral half lower (H) options available for enhanced backlight control.

Electrical

- High performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (220-277 Vac) Input (50/60 Hz) or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100K Hours (See Lumen Maintenance chart)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 425 and 485 lumen packages rated to +40°C. 55L lumen package rated to +35°C.
- Power factor >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C1 low operation (per ANSI/IEEE C62.41.2).
- High efficiency LED's mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see controls section for more details).

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

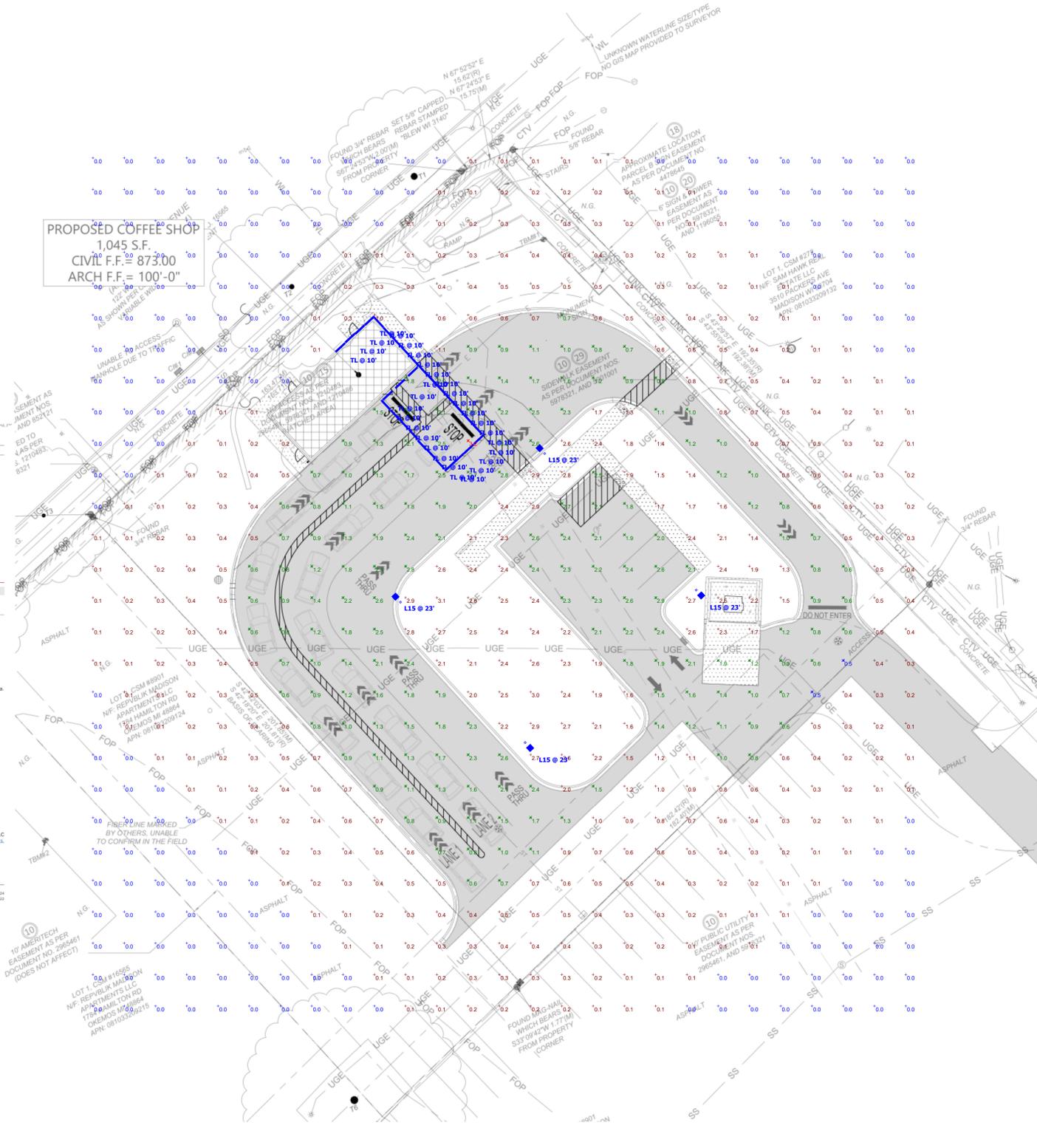
Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant, with 3000K color temperature selection.
- Title 24 Compliant, see local ordinance for qualification information.
- RHHS compliant.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598.
- 30 listed for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org.
- Patented Silicone Optics (US Patent NO. 8,018,163 B2)
- IK08 rated luminaire per IEC 60529 mechanical impact code

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-5200 • www.lsi.com

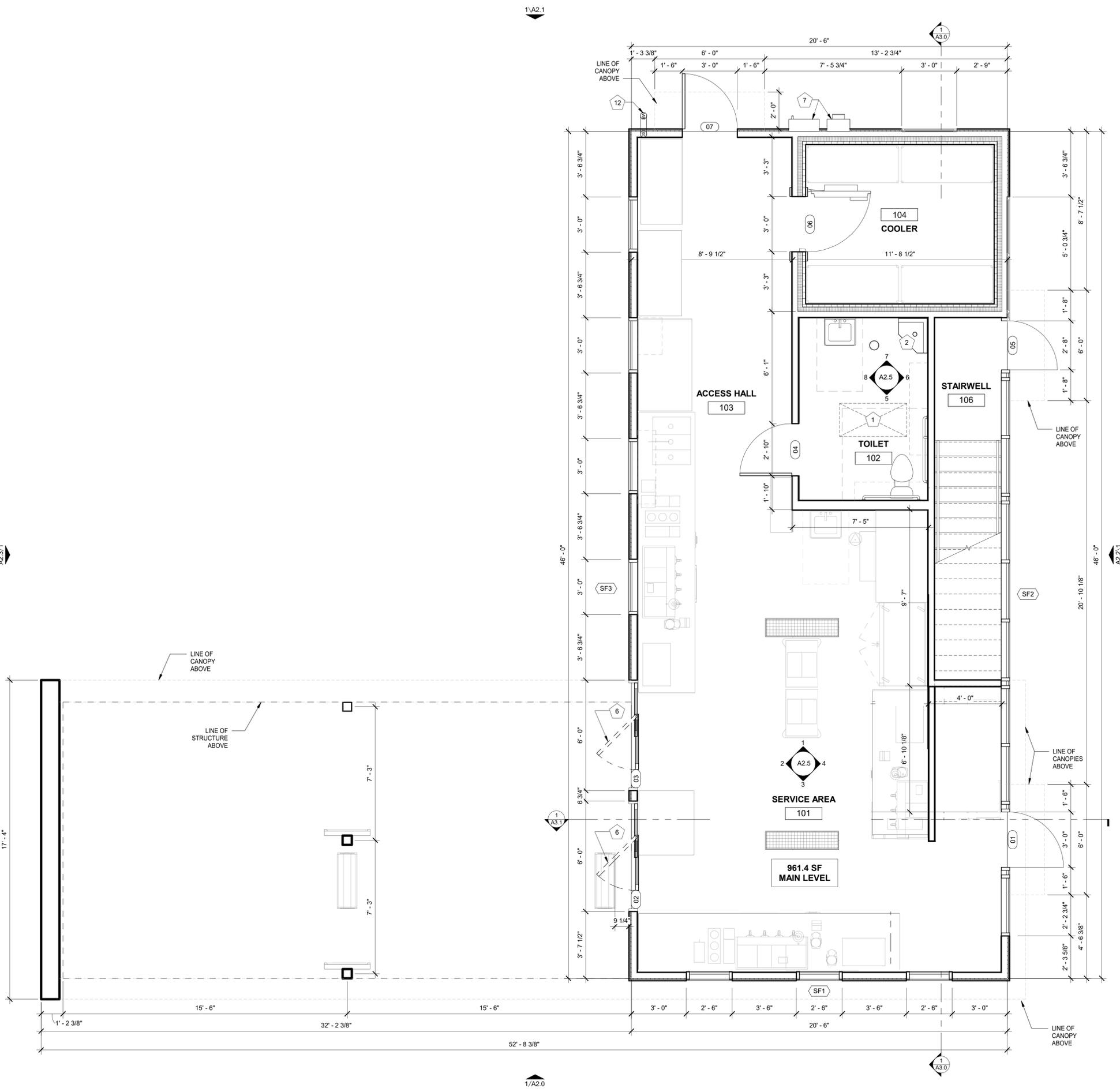


CIVIL SITE PHOTOMETRIC PLAN & DETAILS

Note Number	Note Text
1	ACCESS DOOR FOR CRAWLSPACE ACCESS
2	MOP SINK, REF PLUMBING
3	STEP, CENTER ON DOOR
4	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
5	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
6	SLIDING DOOR IS ADA AUTO/MANUAL EGRESS CAPABLE
7	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
8	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
9	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
10	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
11	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
12	DOWNSPOUT OUTLET - STORMWATER CONNECTION; REF CIVIL
13	SCREEN WALLS TO SIMILATE BUILDING EXTERIOR WALLS

ZONING AREAS COMPARISON		
LEVEL 1	1427.6 SF	(100.0%)
LEVEL 2	1110.9 SF	(77.6%)

1 MAIN LEVEL PLAN
 3/8" = 1'-0"





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kansas city, ks 66101
www.veritas-ad.com
913.308.1460
consulting engineer:

7 BREW DRIVE THRU - MADISON WI - WASHINGTON
PLAZA STREET PARTNERS, LLC
3909 EAST WASHINGTON AVENUE, MADISON, WISCONSIN 53704

REVISIONS

No.	Description	Date

sheet issue date:
02/11/2025
project no.:
23.26.05

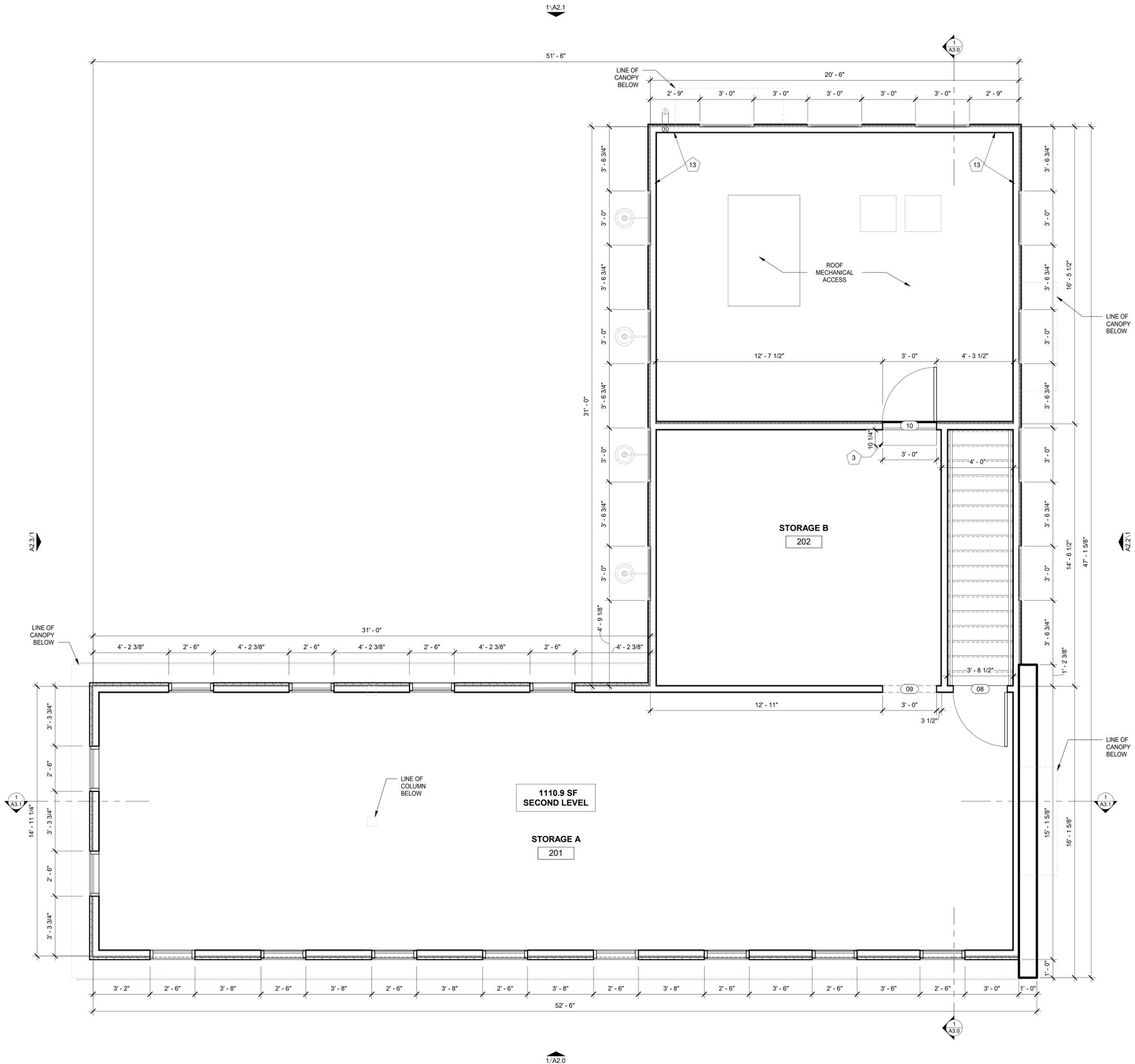
sheet contents:
FLOOR PLAN -
SECOND LEVEL

sheet no.:

A1.2

Note Number	Note Text
1	ACCESS DOOR FOR CRAWLSPACE ACCESS
2	MOP SINK, REF PLUMBING
3	STEP, CENTER ON DOOR
4	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
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11	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
12	DOWNSPOUT OUTLET - STORMWATER CONNECTION; REF CIVIL
13	SCREEN WALLS TO SIMILATE BUILDING EXTERIOR WALLS

ZONING AREAS COMPARISON		
LEVEL 1	1427.6 SF	(100.0%)
LEVEL 2	1110.9 SF	(77.8%)



1 SECOND LEVEL PLAN
3/8" = 1'-0"



2/11/2025 5:43:43 AM C:\Users\Vanessa\Documents\23.26.05_Madison WI - 2 Story_Entitlement.v2_R22_vanessaBWH88.rvt
7 Brew Template V3.0 Mirrored This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. ©2023



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Project no.:
23.26.05

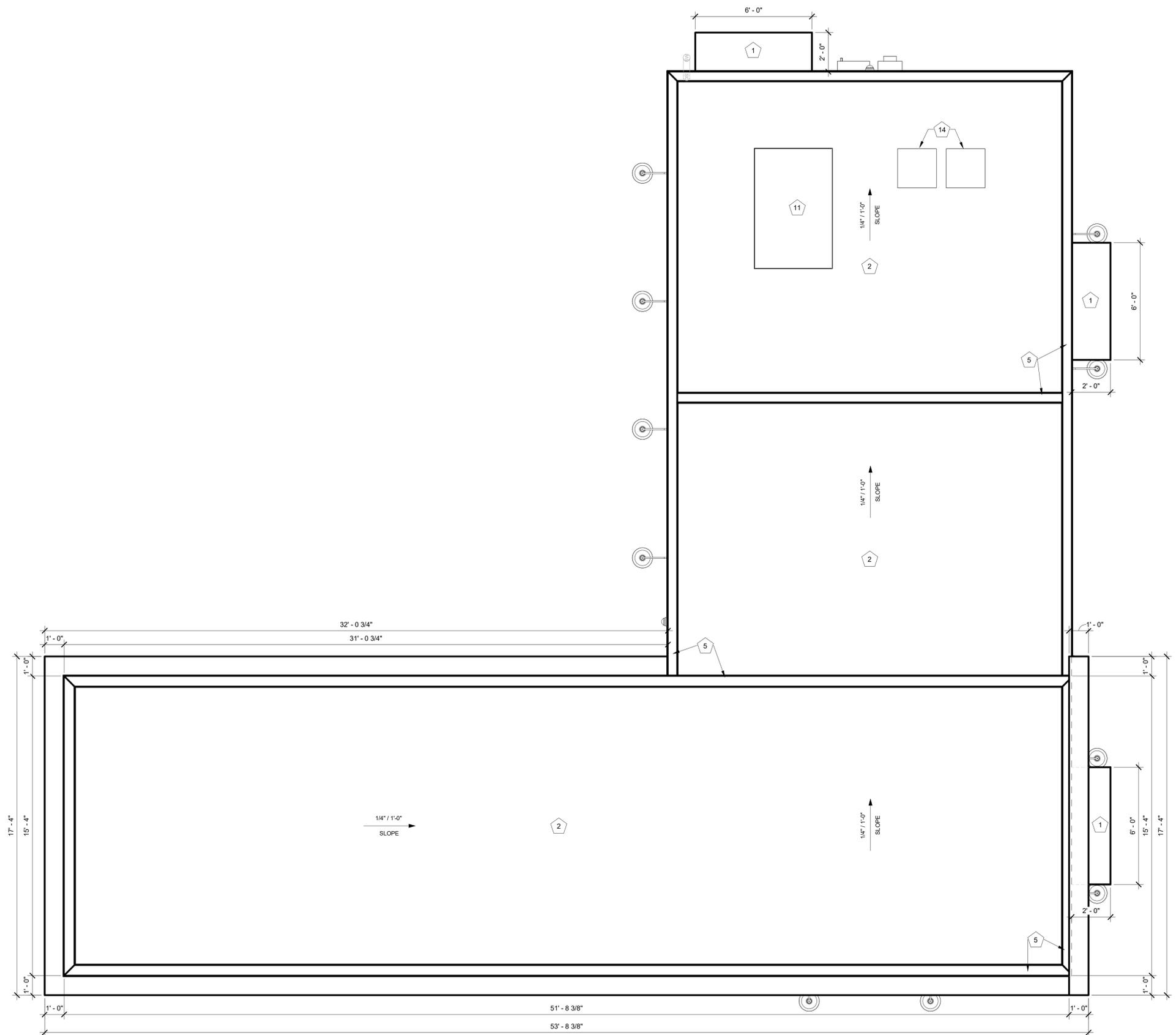
Sheet contents:
ROOF PLAN

Sheet no.:

A1.6

ROOF PLAN KEYNOTES

Note Number	Note Text
1	TPO ROOFING ON 5/8" CDX ROOF SHEATHING ON BUILT-UP 2x CRICKET FRAMING
2	TPO ROOFING ON 5/8" CDX ROOF SHEATHING
3	CORRUGATED ARC METAL ROOF ON #15 FELT ON PLYWOOD ROOF SHEATHING
4	8" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYMENT
5	BRAKE METAL CAP; REF ELEVATIONS
6	3' - 6" GUARDRAIL
7	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
8	ROOF DRAIN WITHIN STRUCTURAL COLUMN; DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
9	ROOF DRAIN; DOWNSPOUT TO BE GALVANIZED, PAINTED, STEEL; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
10	OVERFLOW ROOF DRAIN
11	HVAC EQUIPMENT
12	ROOFING PER COOLER MANUF
13	MODULAR BUILDING PICK POINTS WITH ROOFING COLLAR; REF STRUCT
14	ICE MACHINE CONDENSERS; SITE CONTRACTOR TO DETERMINE FINAL LOCATION
15	OVERFLOW SCUPPER TO GRADE
16	IN-WALL ROOF DRAIN W/ ABOVE-GRADE OUTLET (BEYOND) CONNECTED TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL



1 ROOF PLAN
3/8" = 1'-0"





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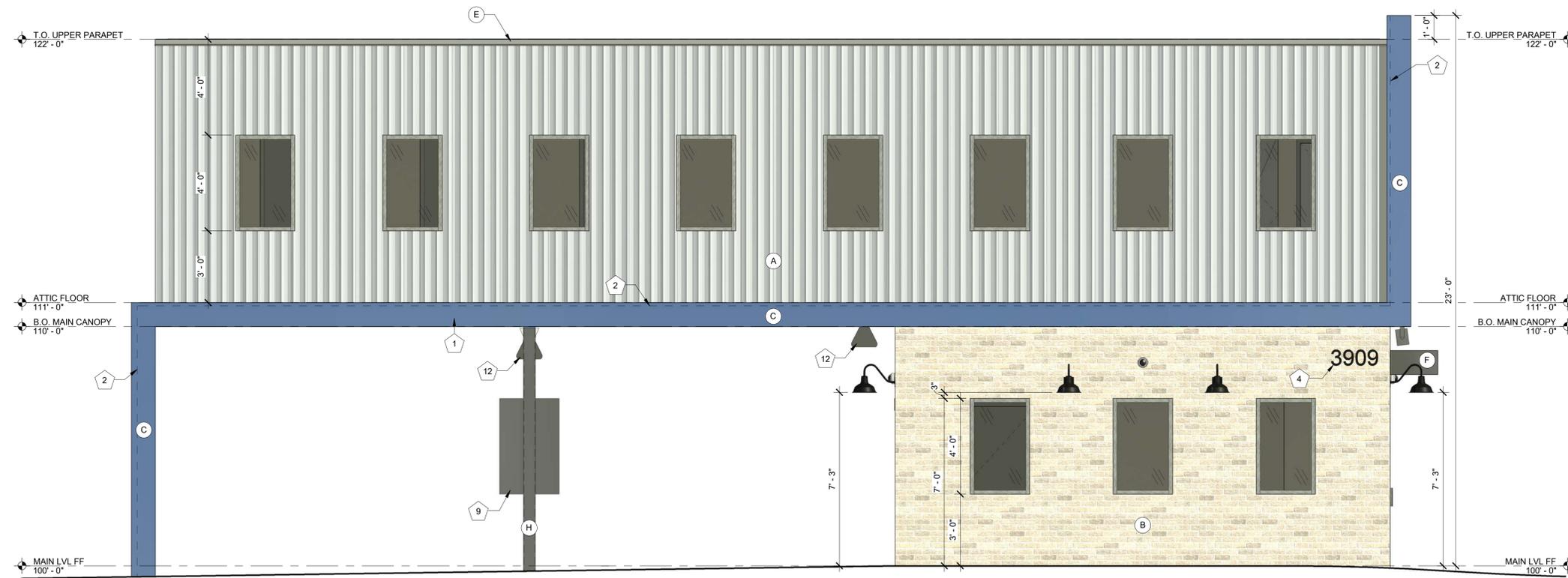
consulting engineer:

EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH-WALL ROOF SCUPPER; TYP
9	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
10	HVAC EQUIPMENT
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	CANOPY HEATER
13	36" COOLER DOOR
14	KNOX BOX

EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	VERTICAL METAL PANEL SIDING (MP-1)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	STANDING SEAM ROOF PANELS (MP-2)
E	METAL BRAKE CAP (MP-3)
F	BRAKE METAL FASCIA (MP-4)
G	SPANDREL GLAZING
H	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4



1 EXTERIOR ELEVATION - SOUTH
3/8" = 1'-0"

7 BREW DRIVE THRU - MADISON WI - WASHINGTON

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3909 EAST WASHINGTON AVENUE, MADISON, WISCONSIN 53704

REVISIONS

No. Description Date

sheet issue date:
02/11/2025

project no.:
23.26.05

sheet contents:
EXTERIOR ELEVATIONS

sheet no.:

A2.0



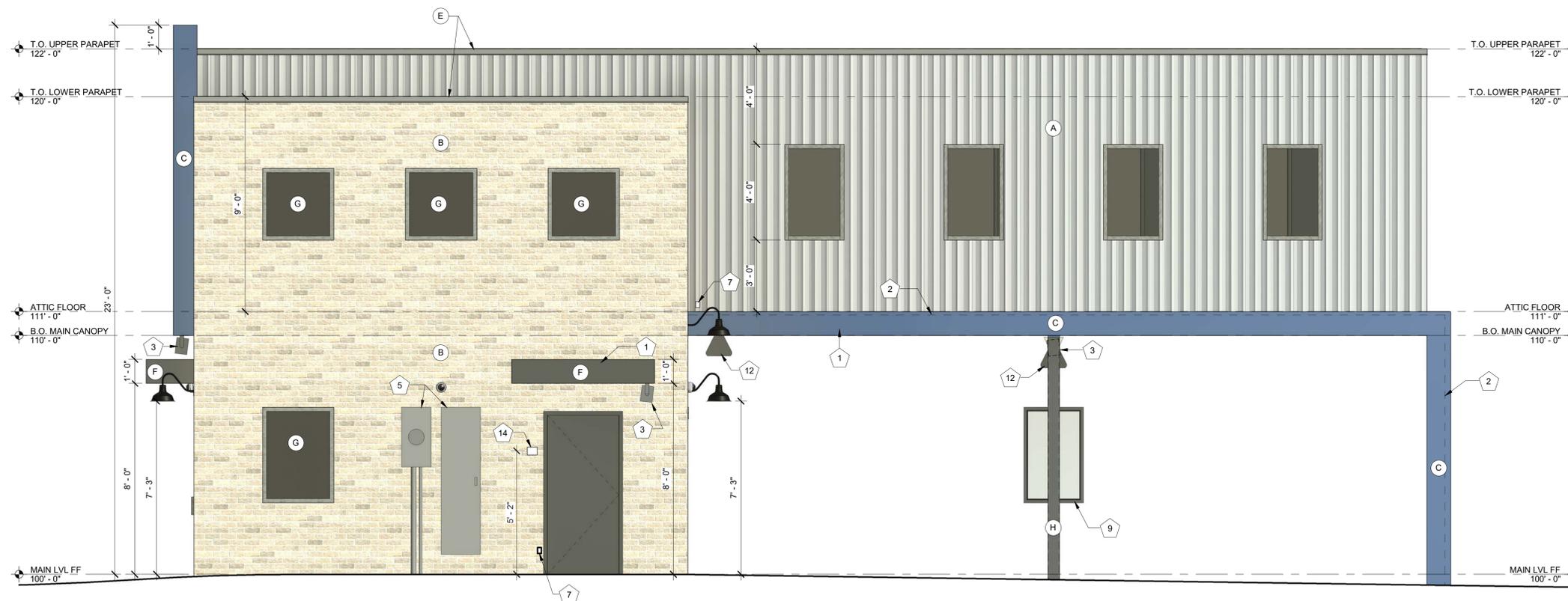
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EXTERIOR ELEVATION KEYNOTES	
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F	BRAKE METAL FASCIA (MP-4)
G	SPANDREL GLAZING
H	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4



1 EXTERIOR ELEVATION - NORTH
3/8" = 1'-0"

7 BREW DRIVE THRU - MADISON WI - WASHINGTON

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Project no.:
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Sheet contents:
EXTERIOR ELEVATIONS

Sheet no.:

A2.1



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EXTERIOR ELEVATION KEYNOTES

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LEVEL 1 PRIMARY FACADE GLAZING

LENGTH REQUIREMENT (60% REQUIRED)	
47.27 FT OVERALL FACADE LENGTH	(100.0%)
40.14 FT GLAZED LENGTH	(84.9%)
AREA REQUIREMENT (40% REQUIRED)	
472.7 SF OVERALL LEVEL 1 FACADE	(100.0%)
179.5 SF GLAZED AREA	(40.0%)

1 EXTERIOR ELEVATION - WEST

3/8" = 1'-0"

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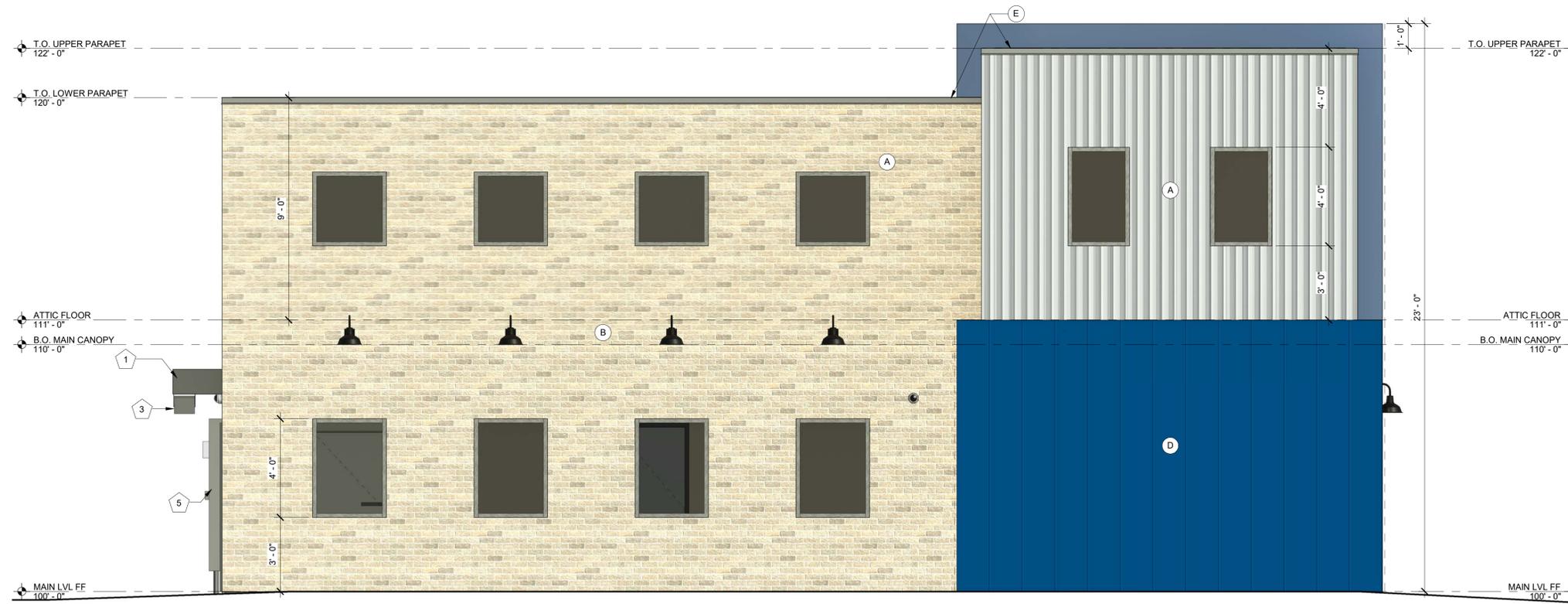
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EXTERIOR ELEVATION MATERIALS LEGEND

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F	BRAKE METAL FASCIA (MP-4)
G	SPANDREL GLAZING
H	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4



1 EXTERIOR ELEVATION - EAST
3/8" = 1'-0"

7 BREW DRIVE THRU - MADISON WI - WASHINGTON

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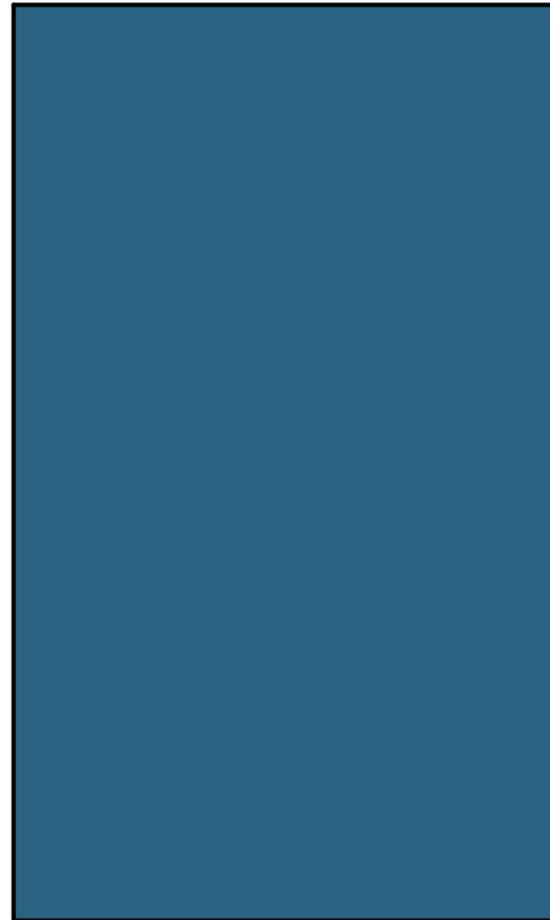
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EXTERIOR ELEVATIONS

sheet no.:

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VERTICAL METAL PANEL MP-1
BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: BR-12



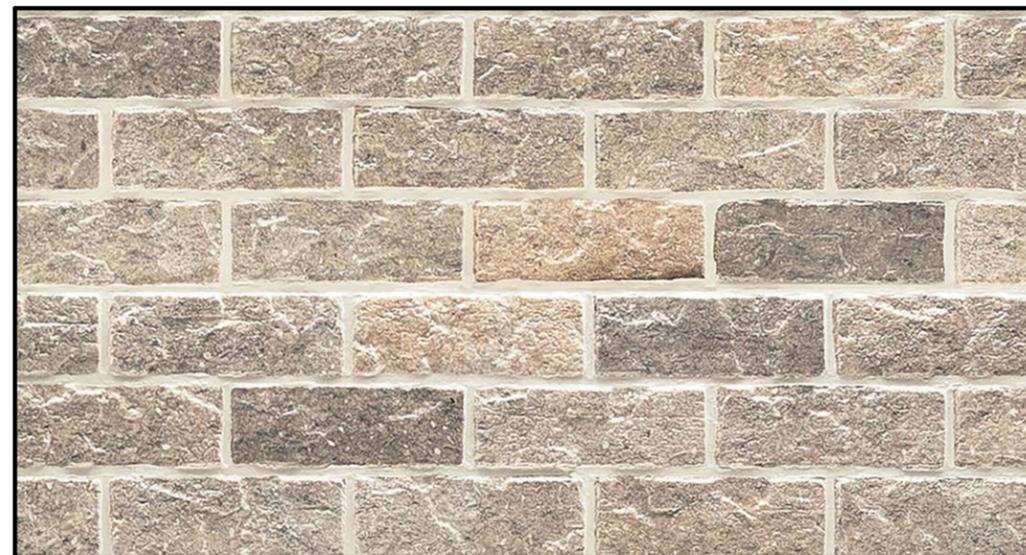
BLUE METAL PANEL MP-2
BRAND: BERRIDGE
COLOR: ROYAL BLUE
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3
BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



BLACK METAL PANEL MP-4
BRAND: BERRIDGE
COLOR: MATTE BLACK
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .236



FIBER CEMENT PANEL SIDING - BRK-2
BRAND: NICHHA
COLOR: SHALE BROWN
FINISH: CANYON BRICK

23.26.05
7 BREW DRIVE THRU -
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WASHINGTON
02/11/2025

MATERIAL COLOR
BOARD



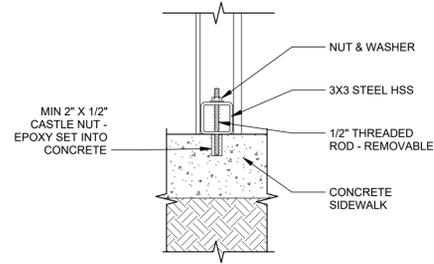
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7 BREW DRIVE THRU -
MADISON WI -
WASHINGTON
02/11/2025

RENDERINGS

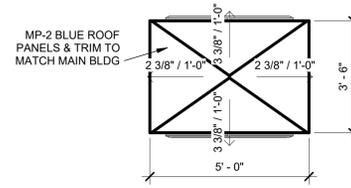


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7 BREW DRIVE THRU -
MADISON WI -
WASHINGTON
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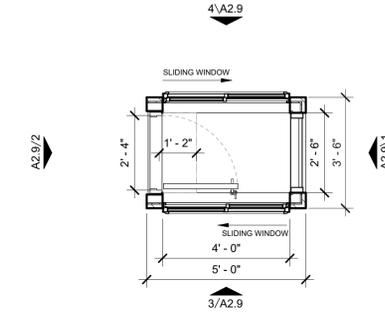
RENDERINGS



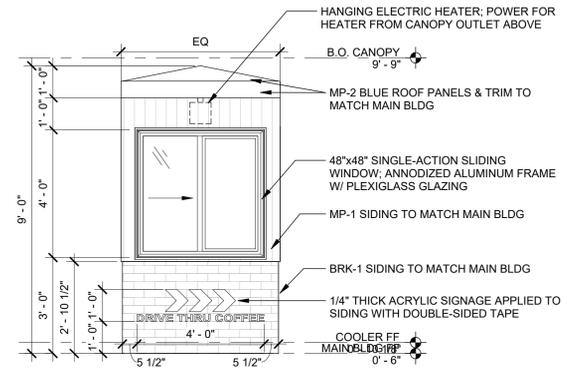
7 **DETAIL @ BASE ATTACHMENT - LANE 1 & 2**
 1 1/2" = 1'-0" TYP OF (4) ATTACHMENTS PER HUT



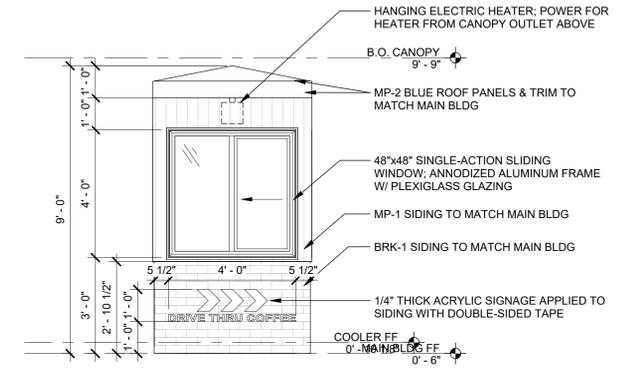
6 **LANE2 HUT ROOF PLAN**
 3/8" = 1'-0"



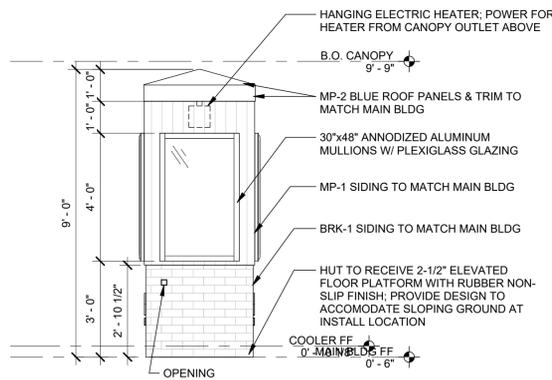
5 **LANE2 HUT FLOOR PLAN**
 3/8" = 1'-0"



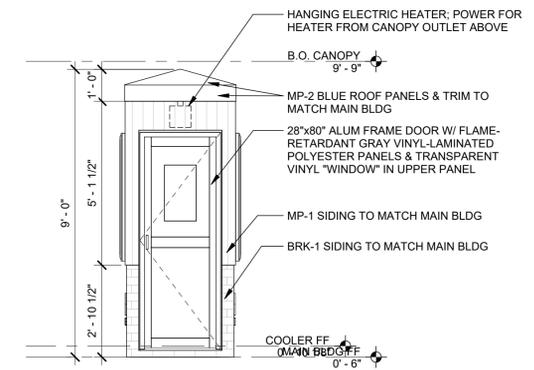
4 **LANE2 HUT ELEVATION - BACK**
 3/8" = 1'-0"



3 **LANE2 HUT ELEVATION - FRONT**
 3/8" = 1'-0"



1 **LANE2 HUT ELEVATION - LEFT**
 3/8" = 1'-0"



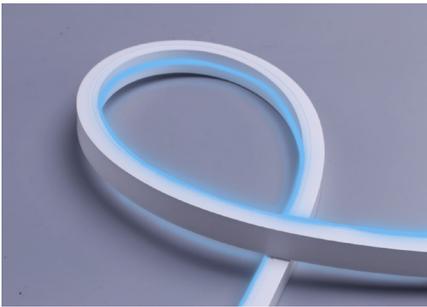
2 **LANE2 HUT ELEVATION - RIGHT**
 3/8" = 1'-0"



ULTRA NEON FLEX

Project: _____ Type: _____

Name: _____ Date: _____



	White	Red	Green	Blue	Amber	Pink
Top Bend	255lm/ft.	28lm/ft.	175lm/ft.	20lm/ft.	118lm/ft.	98lm/ft.
Side Bend	120lm/ft.	14lm/ft.	83lm/ft.	10lm/ft.	57lm/ft.	47lm/ft.

Size	Top Bend: 164' x 0.8" x 0.6" Side Bend: 164' x 0.4" x 0.8"
Watts	White: 4.2W/ft. Red/Green/Blue/Amber/Pink: 3W/ft.
Voltage	AC110-120V
Dimming	TRIAC
Beam Angle	120°
CRI	White: Ra>80
PF	>0.9

CCT	White/Red/Green/Blue/ Amber/Pink
IP Rating	IP65
Materials	Silicone, Copper
LED Qty	Top Bend (TB): 42LED/ft. Side Bend (SB): 40LED/ft.
Cutting Length	900TB: 2in 901SB: 1ft
Lifespan	50,000 Hours

SARIN's Ultra Neon Flex (UNF) is a cutting-edge LED solution designed for both functionality and safety. Its patented driverless design features an on-board constant current driver, allowing for a direct AC power supply without the need for an external driver. The UNF is TRIAC dimmable, offering seamless compatibility with standard dimming systems to create the perfect ambiance. Built to withstand the elements, the UNF boasts an IP65 rating for superior resistance to dust and water, making it ideal for indoor and outdoor use.

OVERVIEW

- Applications:** Indoor/Outdoor IP65
- Efficacy:** 70-90lm/W
- Dimming:** TRIAC
- LED Type:** SMD2835
- Operating Temp:** -4° to 113° F
- Lifespan:** 50,000 hours
- Warranty:** 5 years (Indoors)
3 years (Outdoors)

FEATURES

- Uniform, dot-free and smooth neon light up to 164ft (50m) of run length.
- Driverless design with on-board constant current IC driver and rectifier.
- Direct AC power supply with external driver.
- Thick silicone jacket insures electrical safety by ETL and RoHS standards.
- Environmentally-friendly silicone, bend flexibility, impact resistant and inclement weather resistant
- Advanced silicone extrusion technology



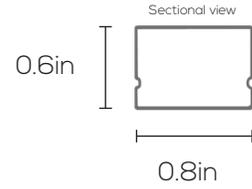


ULTRA NEON FLEX

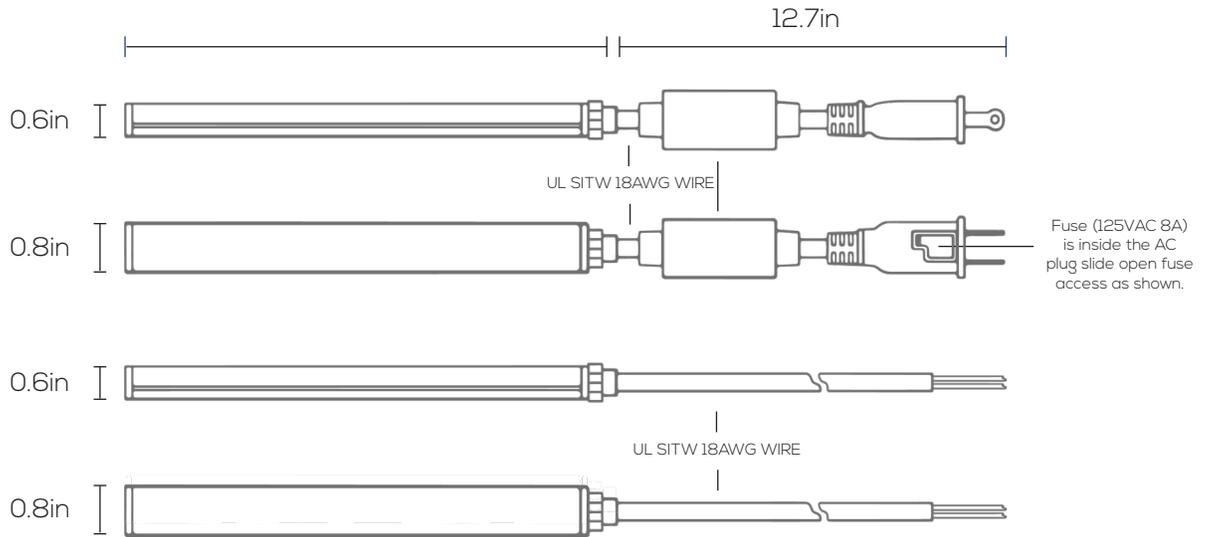
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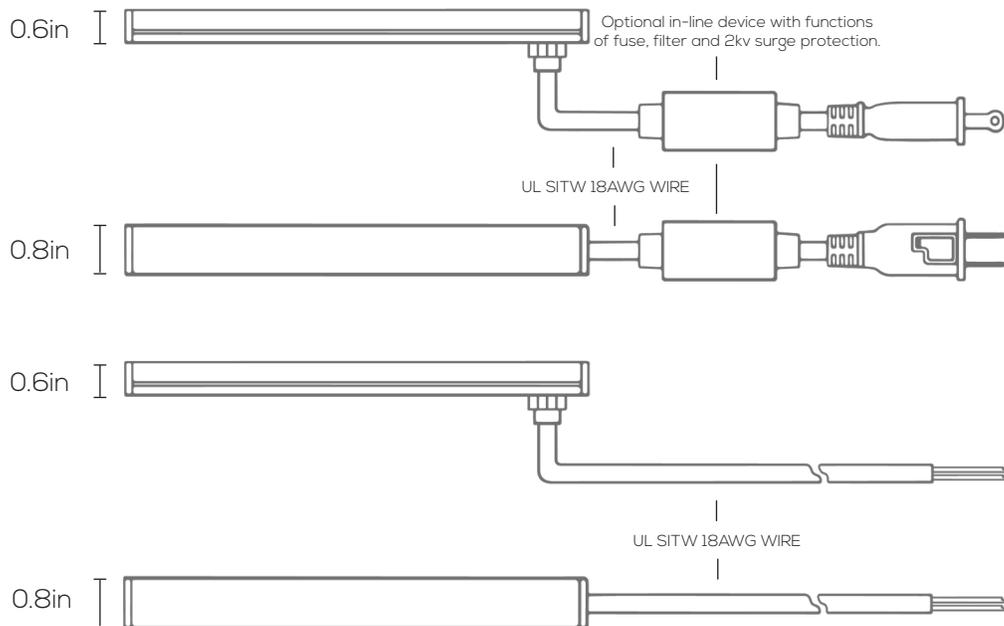
DIMENSIONS: SES-UNF-900TB (Top Bend)



Power cable fed on tail end



Power cable fed on bottom end



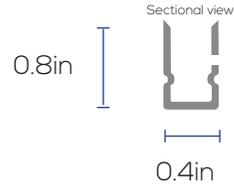


ULTRA NEON FLEX

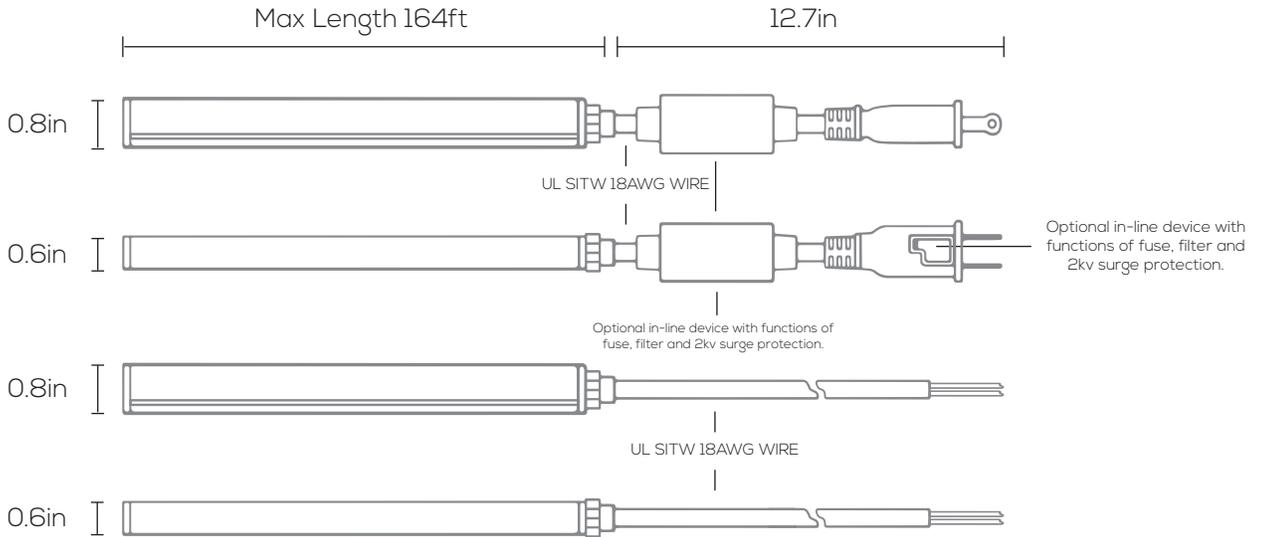
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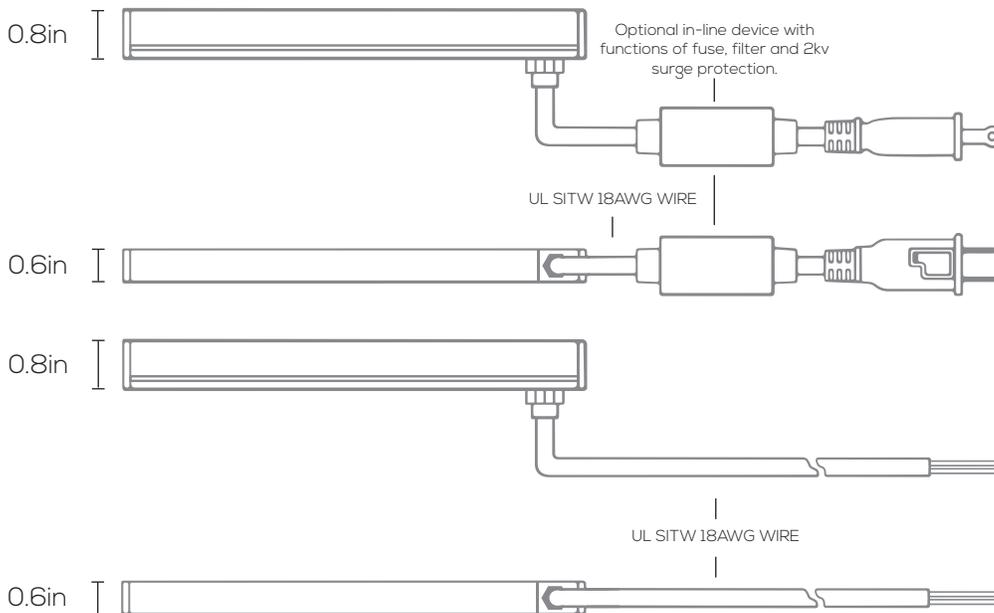
DIMENSIONS: SES-UNF-901SB (Side Bend)



Power cable fed on tail end



Power cable fed on bottom end





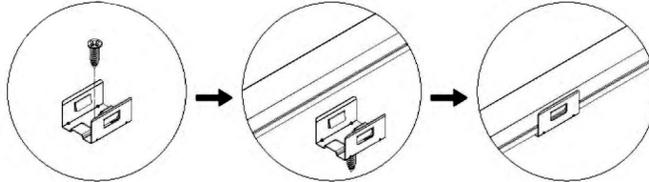
ULTRA NEON FLEX

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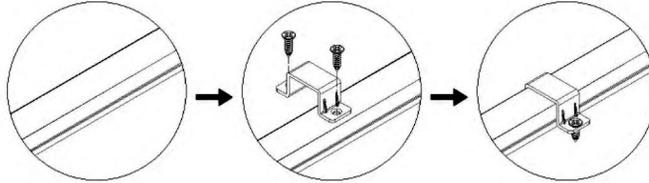
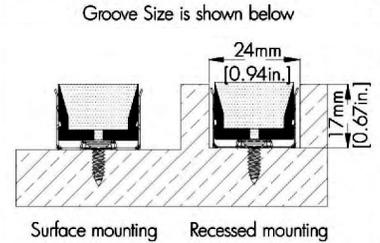
Name: _____ Date: _____

INSTALLATION: SES-UNF-900XD

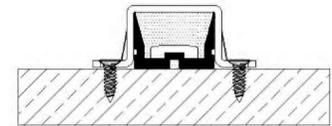
- Open fuse cover, slide open fuse access cover on top of attachment plug towards blades.
- Remove Fuse carefully, push the fuse from the other side, take it out and replace for a new one with 8 Amps/ 125V only.
- Close fuse cover, slide back in the access fuse cover on top of attachment plug towards cable.



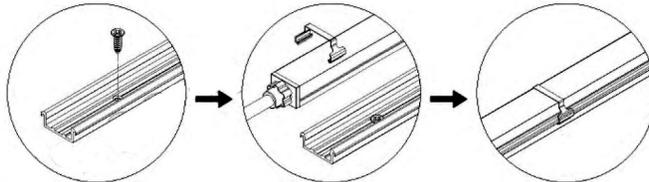
Option 1: Fixed by bracket + screw



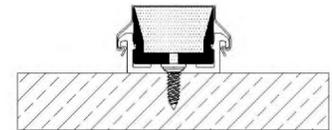
Option 2: Fixed by clip + screw



Surface mounting



Option 3: Fixed by aluminum channel + clip (outdoor exclusive)



Surface mounting

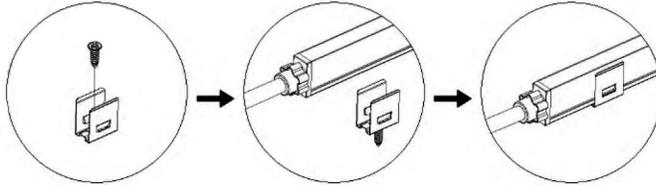


ULTRA NEON FLEX

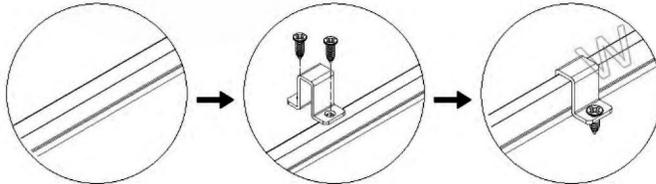
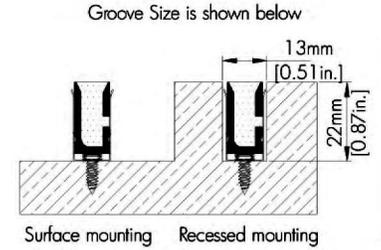
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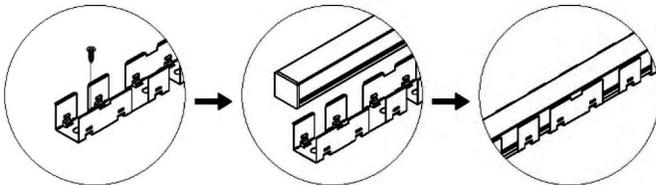
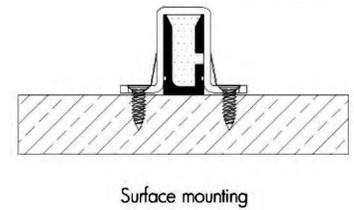
INSTALLATION: SES-UNF-901XD



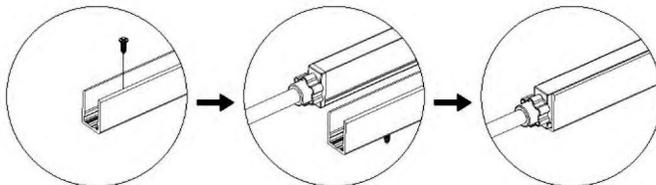
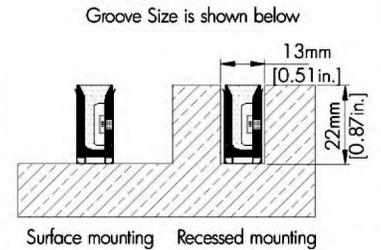
Option 1: Fixed by bracket + screw



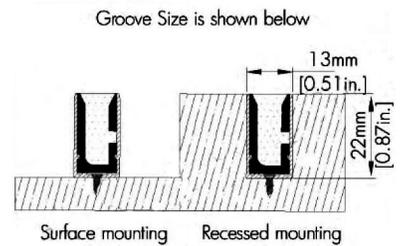
Option 2: Fixed by clip + screw



Option 3: Fixed by bendable bracket.



Option 4: Fixed by aluminum channel + screw



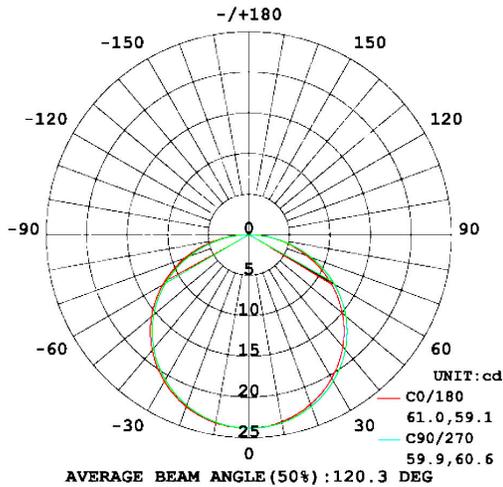


ULTRA NEON FLEX

Project: _____ Type: _____

Name: _____ Date: _____

PHOTOMETRICS:



Flux out: 57.49 lm

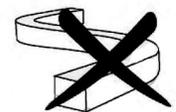
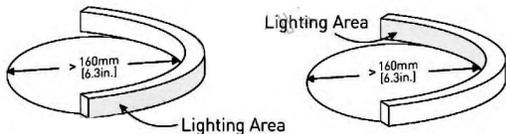
Height	Beam, Emax	Angle: 120.11deg	Diameter:
1m	5.623, 23.83lx		347.17cm
2m	1.406, 5.959lx		694.34cm
3m	0.6248, 2.648lx		1041.51cm
4m	0.3524, 1.490lx		1388.68cm
5m	0.2249, 0.9534lx		1735.86cm
6m	0.1562, 0.6521lx		2083.03cm
7m	0.1148, 0.4864lx		2430.20cm
8m	0.0879, 0.3724lx		2777.37cm
9m	0.0694, 0.2943lx		3124.54cm
10m	0.0562, 0.2383lx		3471.71cm

Note: The Curves indicate the illuminated area and the average illumination when the luminaire is at different distance.

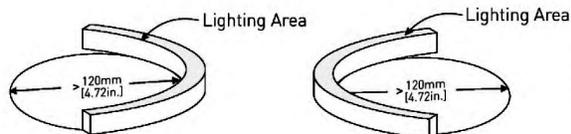
NOTICE:

1. Do not install the luminaire when connected to power source. Make sure the wiring is correctly plugged in before use.
2. IP65 version is rated for indoor and outdoor applications.
3. Do not install it where there is excessive heat (ex. close proximity to fireplace, etc.)
4. Avoid scrape, twist and/or irregular-bend during installation, it might cause a non repairable issue.
5. To protect your eyes, do not store the luminaire for a long time while it's illuminated
6. Minimum bending diameter is 6.3in for Top Bend 900TB and 4.72in for Side Bend 901SB, (Too small bending diameter will break the luminaire).
7. Minimum twist angle, is 360° per 39.4in.
8. Luminaire linked in over long length will lead to overload problems.
9. Only certified electricians can install, dismantle and repair.
10. Bend and twist diagram is shown as below.

UNF-900TB



UNF-901SB





Catalog Number
Notes
Type

Contractor Select™

6RLD

6" LED Retrofit Trim Modules

With Juno® RLD Series™ LED Retrofit 6RLD 6-inch trim modules, upgrading your existing 6-inch recessed fixture is inexpensive and nearly as simple as replacing an incandescent lamp. The 6RLD LED retrofit outputs up to 700 or 1000 lumens of high-quality light, providing energy savings of as much as 85%. Modules feature a white aluminum baffle with a built-in flange. A deeply regressed diffusing lens conceals the LEDs from direct view and provides uniform aperture luminance. Trims are ENERGY STAR® certified and can be used to comply with Title 24, JA8 high efficacy light source requirements, Wet location listed (Indoor covered ceilings only) and include a 5-year limited warranty.



FEATURES:

- Rated for use in IC or non-IC housings, including IC23 LEDT24 and IC23R LEDT24
- 2700K or 3000K color temperatures, 90+ CRI
- Dimmable to 5% with many incandescent, magnetic low voltage or electronic low voltage box dimmers



Catalog Number	UPC	Description	Replaces Up To	Lumens	Input Watts	CCT	CRI	Voltage	Finish	Dimming Protocol	Pallet qty.
6RLD G4 07LM 27K 90CRI 120 FRPC WWH M6	194994892953	6" RLD Series™ Downlight LED Retrofit Trim	65W Incandescent	700	8W	2700K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 07LM 30K 90CRI 120 FRPC WWH M6	194994892991	6" RLD Series™ Downlight LED Retrofit Trim	65W Incandescent	700	8W	3000K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 10LM 27K 90CRI 120 FRPC WWH M6	194994893011	6" RLD Series™ Downlight LED Retrofit Trim	75W Incandescent	1000	12W	2700K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 10LM 30K 90CRI 120 FRPC WWH M6	194994893035	6" RLD Series™ Downlight LED Retrofit Trim	75W Incandescent	1000	12W	3000K	90	120V	White	Forward & Reverse Phase Cut	264



Specifications

LED RETROFIT DOWNLIGHT TRIM:

Cast aluminum trim with white baffle and flange • All-in-one design where LED light engine mounts directly to trim for ease of installation into existing 6" recessed housings with medium base sockets • Provided with torsion springs.

LED LIGHT ENGINE:

LEDs are mounted directly to cast aluminum housing providing superior thermal management to ensure long life • 2700K and 3000K LED color temperature • 90 CRI minimum • Accommodates 120 volts AC at 60Hz • Dimmable with most standard incandescent, magnetic low voltage and electronic low voltage dimmers • For a list of compatible dimmers, see [JUNORETROBASICS-DIM](#).

ELECTRICAL CONNECTIONS:

Trim features quick connect plug installed as standard for installation into IC23 LEDT24 and IC23R LEDT24 housings with mating connector • Trim ships with a medium base socket adapter whip for installation into 6" incandescent housings with medium base sockets.

TRIM:

Cast aluminum baffle trim with white finish • Diffusing lens conceals the LEDs from direct view and provides uniform aperture luminance.

LIFE:

Rated for 50,000 hours at 70% lumen maintenance.

LABELS:

ENERGY STAR® Certified • Can be used to comply with 2019 Title 24, Part 6, JA8 high efficacy LED light source requirements • UL and cUL classified for use with most standard UL listed 6" recessed incandescent housings and Juno IC23 LEDT24 and IC23R LEDT24; see below for specific compatibility requirements • Damp location • Suitable for wet locations (indoor covered ceilings).

TESTING:

All reports are based on published industry procedures; field performance may differ from laboratory performance.

COMPATIBLE HOUSINGS:

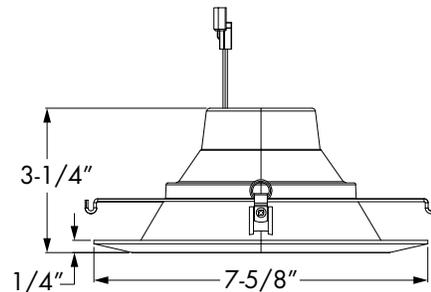
The 6RLD retrofit module is compatible with most 6" recessed housings measuring at least 4" high with an inside diameter between 5-3/4" and 7". Removal of the housing socket plate or socket mounting bracket may be required in order for the trim to fit properly.

WARRANTY:

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Dimensions





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WALLPACKS

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WLPU2A

LED ADJUSTABLE CUTOFF WALLPACK has a die-cast aluminum housing with excellent heat dissipation, anti-glare PC lens with even light distribution, and anti-leakage silicone gaskets. It is equipped with a removable hinge door for quick and easy installation and wiring. With 6kV surge protection, it is designed to operate on 120-277V circuits with a 0-10V dimmable driver. 0-90° adjustable head and cut-off design for controllable illumination.

COLOR SELECTABLE. You can choose either a 3000K warm white, 4000K cool white or 5000K daylight color temperature.

INSTALLATION. The fixture can be mounted to a junction box or directly to a wall. Perfect commercial or industrial solution for outdoor building facades, patios, porches, driveways, walkways, decks, parking garages, and many other applications. It is also Wet Locations rated.

W Available Power
12-50W

K Color temperature
3CCT

AVAILABLE FINISHES: Black

Die-cast aluminum housing with excellent heat dissipation

Surge protection against voltage and current surges

Adjustable cutoff design 0-90°

3 color temperature options

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ASD-WLP02A-30DAC-PC-BK

Finish	Black
Voltage	120-277
Power	30
Luminous Flux	3750 / 4058 / 3772
Dimming	Y
Color Temperature	3000 / 4000 / 5000

ASD-WLP02A-50DAC-PC-BK

Finish	Black
Voltage	120-277
Power	50
Luminous Flux	6250 / 7047 / 6644
Dimming	Y
Color Temperature	3000 / 4000 / 5000

ASD-WLP02A-12DAC-PC-BK

Finish	Black
Voltage	120-277
Power	12
Luminous Flux	1500 / 1686 / 1574
Dimming	Y
Color Temperature	3000 / 4000 / 5000

Address

ASD Lighting Corp
 1780 Hughes Landing BLVD, Suite
 350
 The Woodlands, TX 77380
 Monday – Friday
 TX office 8AM – 5PM CST,
 MA office 8AM – 5PM EST

Contacts

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