

BAUER BUILDERS SPORTS COMPLEX

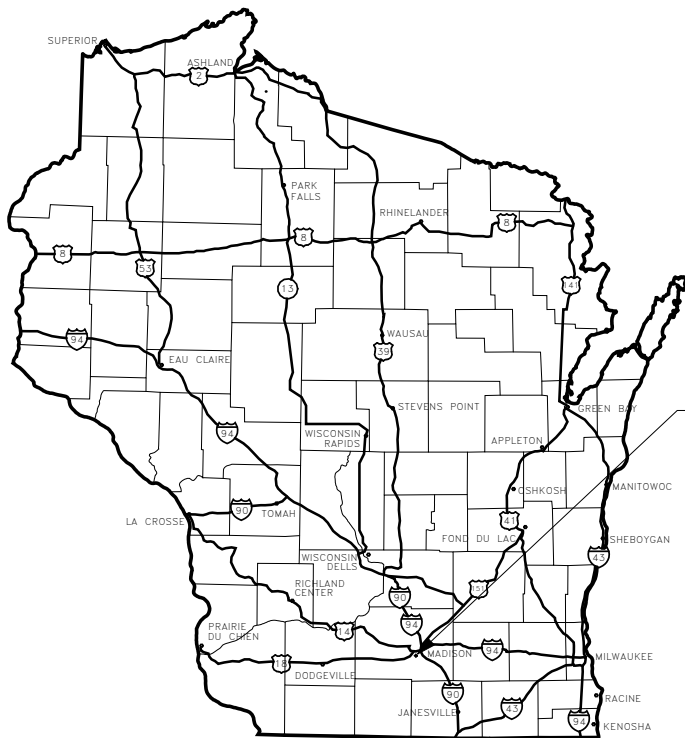
4845 TRADEWINDS PARKWAY,
MADISON, WI



3D VIEW



CITY MAP



STATE MAP

PROJECT/BUILDING DATA	
NEW 1 STORY FUTSAL SPORTING COMPLEX WITH MEZZANINE LEVEL	
FIRST FLOOR AREA	= 25,927 GSF
FIRST FLOOR PATIO AREA	= 280 GSF
MEZZANINE FLOOR AREA	= 3,942 GSF
TOTAL BUILDING AREA	= 29,769 GSF
PARKING COUNTS	
TOTAL PARKING SPACES	= 96
TOTAL ACCESSIBLE PARKING SPACES	= 6

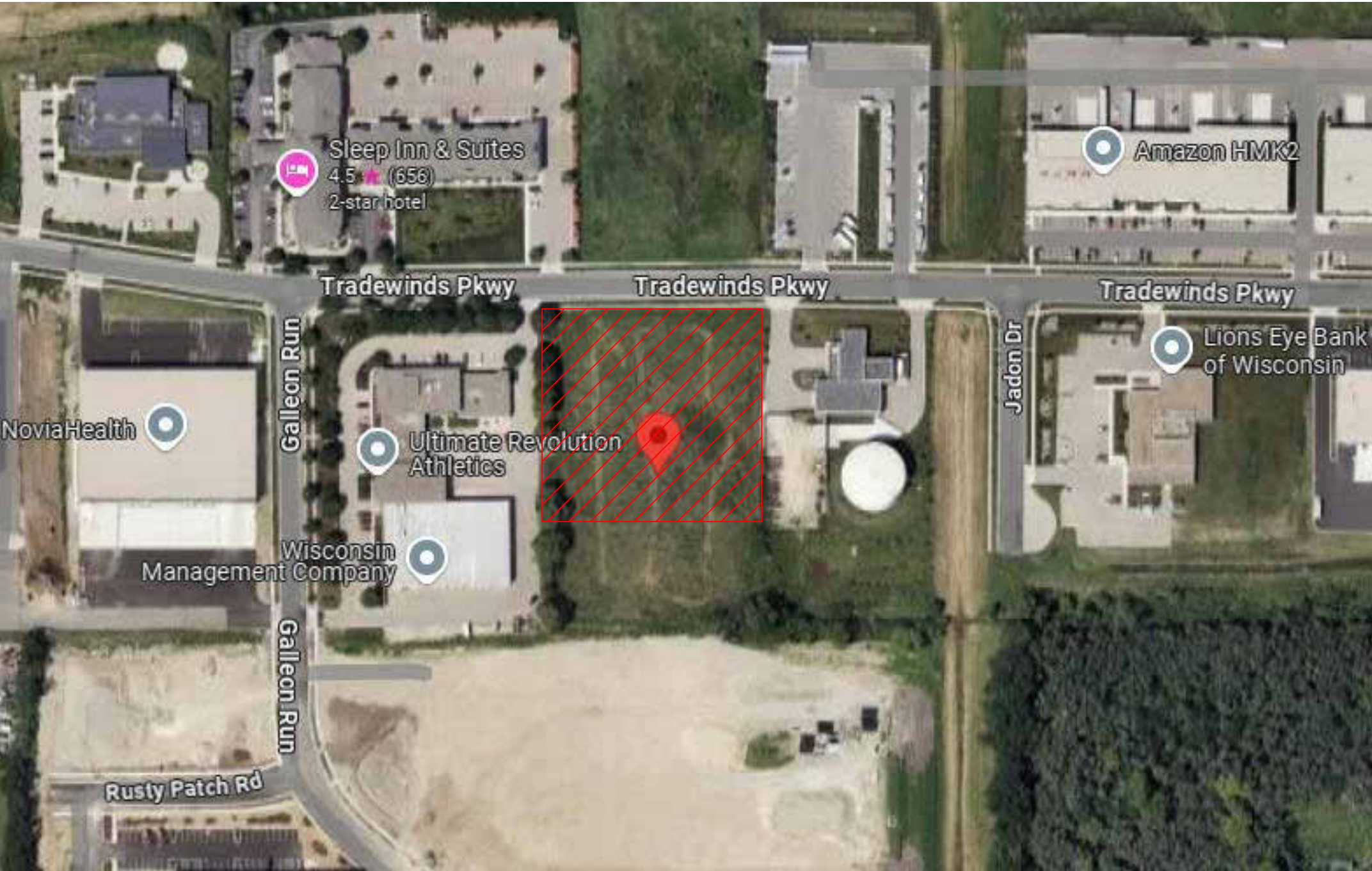
- G1 - COVER SHEET
- G2 - SITE PHOTOS
- G3 - SITE PLAN CONTEX
- C100
- C200
- C300
- LANDSCAPE PLAN
- LIGHTING LAYOUT
- LIGHTING LAYOUT
- AS1.1 - SITE PLAN
- A1 - FIRST FLOOR PLAN
- A2 - MEZZANINE PLAN
- A3a - EXTERIOR ELEVATION
- A3b - EXTERIOR ELEVATION
- A4 - EXTERIOR RENDERINGS
- A5 - EXTERIOR RENDERINGS
- A6 - MATERIAL BOARD
- COVRIT CUTSHEETS
- AS1.1 - COVRIT LOCATIONS
- M103 - ROOF HVAC

Architecture :

General Contractor:

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Bauer Builders
2866 Agriculture Dr, Madison, WI 53718
p: 608.222.8941 bauerbuildersinc.com



NEIGHBORHOOD MAP

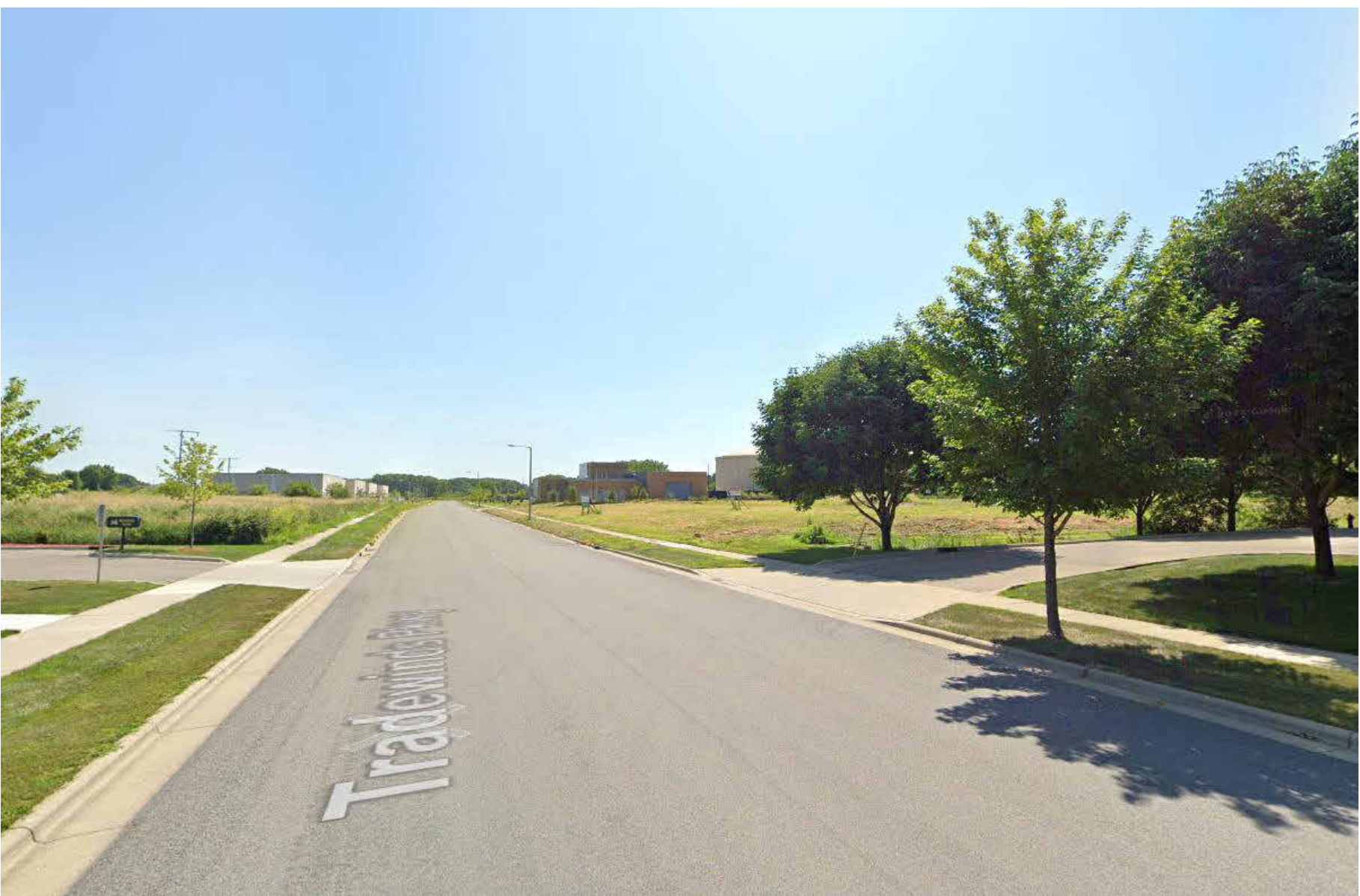
UDC APPROVAL

10/21/2024

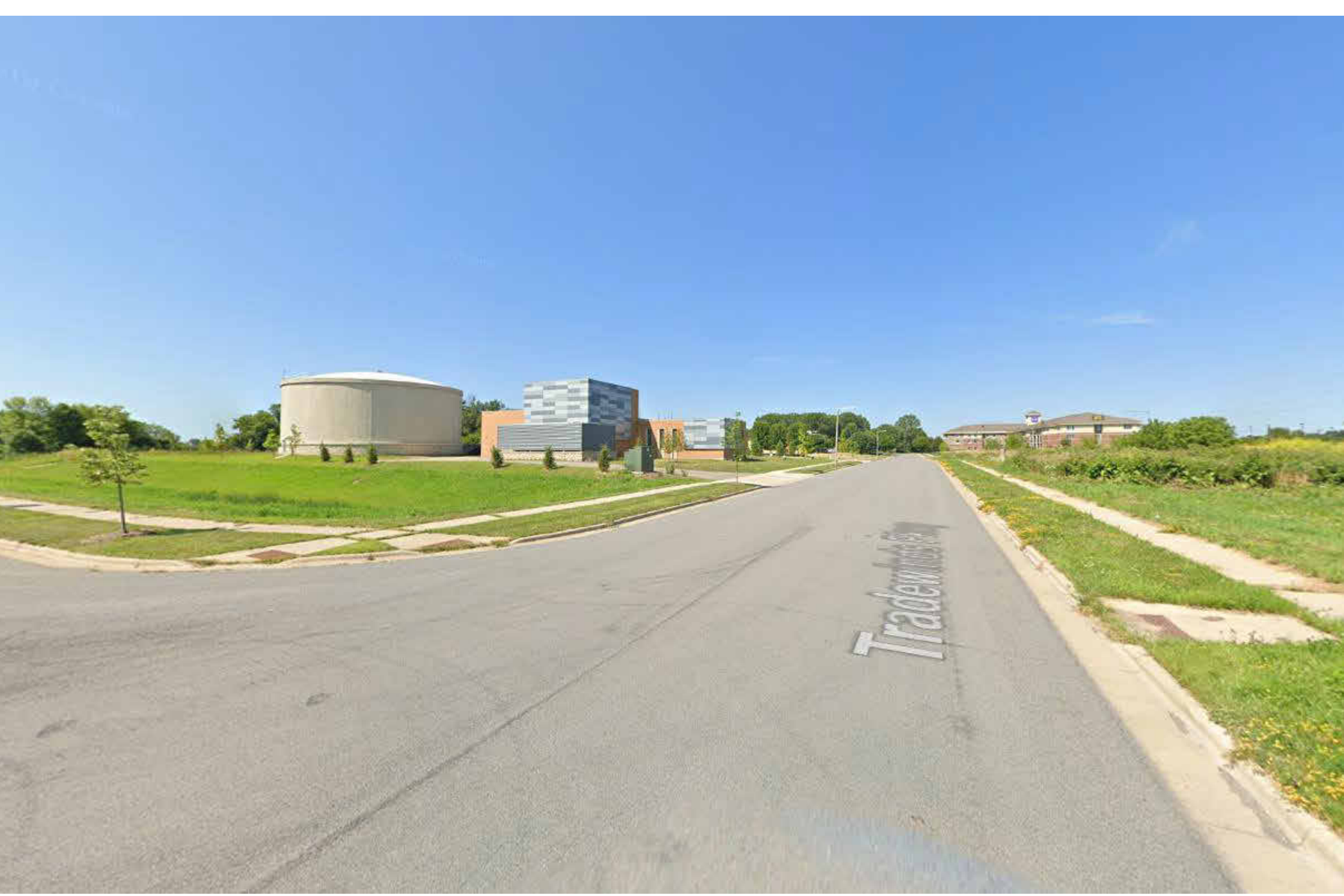
PROJECT # 23078



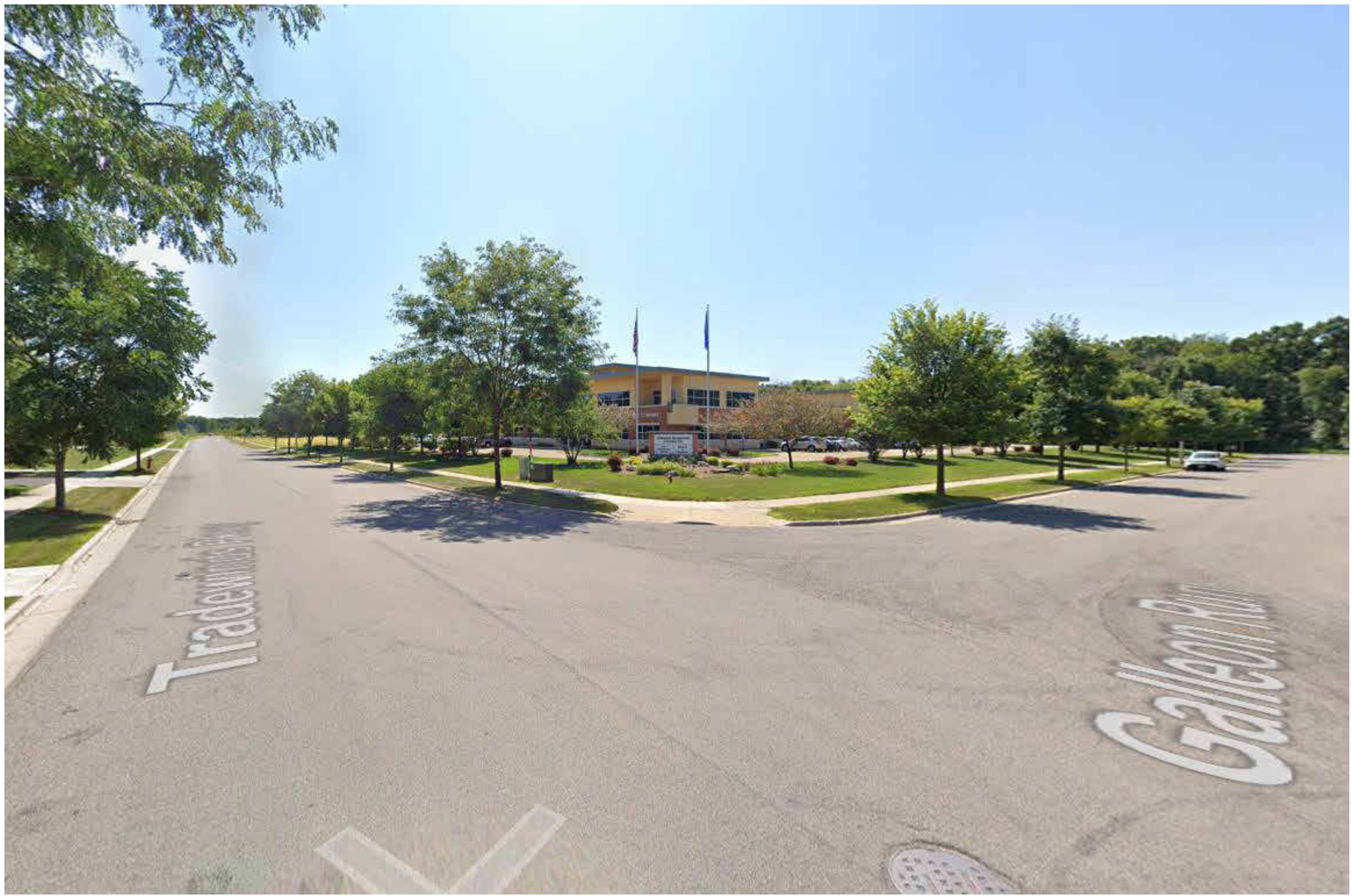
GENERAL VIEW FROM TRADEWINDS PKWY N



VIEW FROM TRADEWINDS PKWY NW



VIEW FROM TRADEWINDS PKWY NE



VIEW FROM GALLEON RUN NW



VIEW FROM GALLEON RUN SW



AERIAL VIEW LOOKING NORTH WEST

**BAUER BUILDERS
SPORTS COMPLEX**
4845 TRADEWINDS PARKWAY,
MADISON, WI

DATE OF ISSUE:	10/21/2024
REVISIONS:	
PROJECT #	23078

SITE PHOTOS



UTILITY BUILDING FROM NW



UTILITY BUILDING FROM NE



MAINSTAY SUITES



WISCONSIN WEIGHTS & MEASURES LAB



HO-CHUNK NATION MADISON OFFICE



SLEEP INN & SUITES



AMAZON HMK2 WAREHOUSE



WISCONSIN MANAGEMENT COMPANY



LIONS EYE BANK OF WI, NON-PROFIT



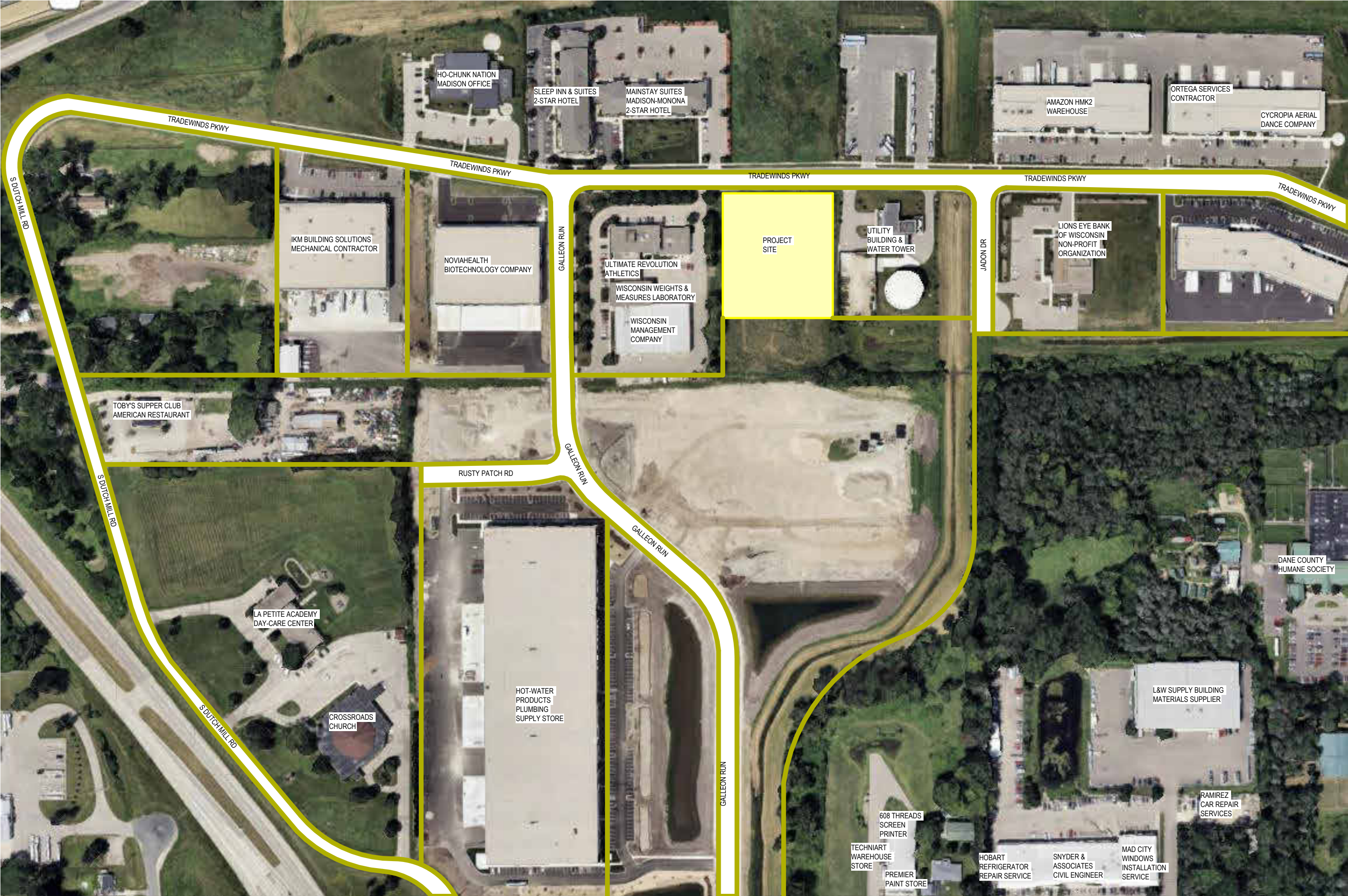
TOBY'S SUPPER CLUB, RESTAURANT



PREMIER PAINT STORE



CROSSROADS CHURCH



DIMENSIONIV

Madison Design Group

architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719

p608.829.4444 f608.829.4445 dimensionivmadison.com

BAUER BUILDERS
SPORTS COMPLEX

4845 TRADEWINDS PARKWAY,
MADISON, WI

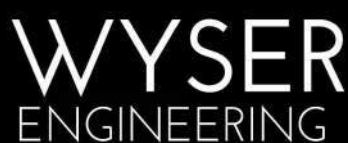
DATE OF ISSUE:	10/21/2024
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SITE PLAN
CONTEXT



FLOOD ELEVATION ON THIS LOT IS APPROXIMATELY 856.9.

PROPOSED PROPERTY BOUNDARY
 EASEMENT
 BUILDING FOOTPRINT
 18" CURB AND GUTTER
 ASPHALT PAVEMENT
 CONCRETE PAVEMENT
 STORMWATER TREATMENT FACILITY



1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JULY 13, 2022. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARK SHALL BE VALIDATED BY LIGHT FORD LAND SURVEY PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE ADDRESS: 4845 TRADEWINDS PARKWAY
SITE ACREAGE (LOT 6 - TRADEWINDS BUSINESS CENTER): 129,536
SQ.FT. (2.97 AC)
USE OF PROPERTY: SPORTS COMPLEX
ZONING: INDUSTRIAL LIMITED (IL)

FRONT YARD: 5-FEET
REAR YARD: 30-FEET
SIDE YARD: 0-FEET

TOTAL NUMBER OF PARKING STALLS: 92
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 4

TOTAL NUMBER OF BIKE STALLS: 22

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 65.475 SQ.FT. (80.475 SQ.FT.)

ROOFTOP: 26,257 SQ.FT.

FUTURE: 15,000 SQ.FT.

MAXIMUM IMPERVIOUS SURFACE: 75% (97,152 SQ.FT.)
 IMPERVIOUS SURFACE AREA ON THE LOT: 65,475 SQ.FT. (80,475 SQ.FT.)
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 50.5% (62.1%)

DISTURBANCE LIMITS: 120,000 SQ. FT.

PARCEL A:

LOT 6 OF TRADEWINDS BUSINESS CENTRE, RECORDED ON JULY 22, 2003
IN VOLUME 58-033B OF PLATS, ON PAGES 179 - 180, AS DOCUMENT NO.
3764226, LOCATED IN PART OF THE NORTHEAST QUARTER OF THE
NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 10
EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 129,536 SQUARE FEET OR 2.97 ACRES.

4845 TRADEWINDS PARKWAY
MADISON, WI 53718

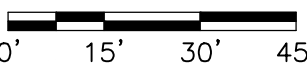
BAUER BUILDERS
SPORTS COMPLEX
CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
SITE PLAN

Revisions:

[illegible]

Graphic
Scale

Wyser
Number

24-1260

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Type

REVIEW

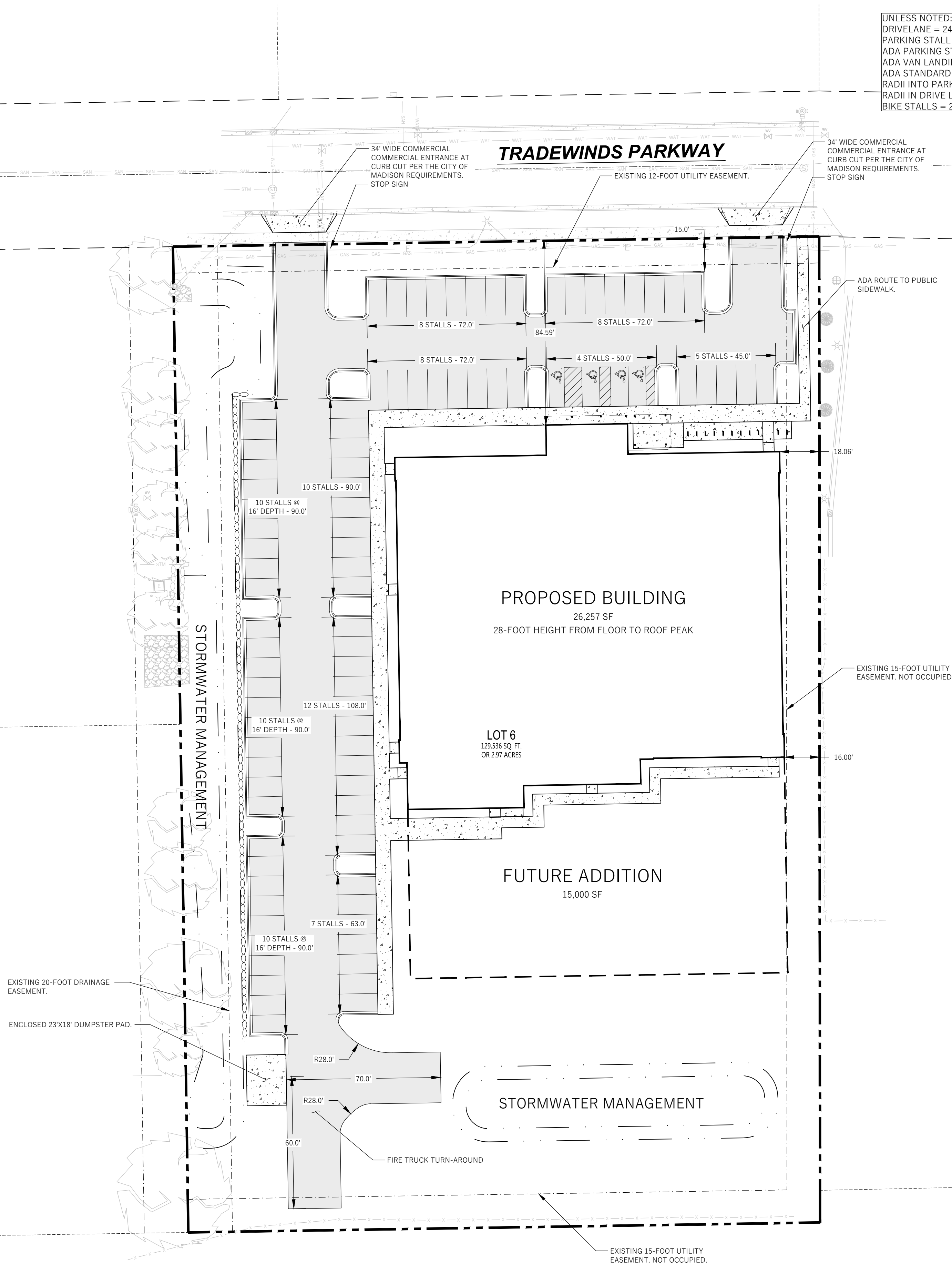
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Issued

10/16/2024

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C100

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DIGGERS HOTLINE

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www.DiggersHotline.com

Graphic Scale	
Wyser Number	24-1260
Set Type	REVIEW
Date Issued	10/16/2024
Sheet Number	C200

PROPERTY BOUNDARY
EASEMENT
BUILDING FOOTPRINT
18" CURB AND GUTTER
ASPHALT PAVEMENT
CONCRETE PAVEMENT
1180
1181
PROPOSED MAJOR COT
PROPOSED MINOR CO
STM
PROPOSED STORM SE
SILT FENCE
INLET PROTECTION
DITCH CHECK
1181.25 EP
SPOT GRADE
DRAINAGE GRADE BRE
DRAINAGE ARROW



1. POST WDRN CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDRN.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDRN HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDRN AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDRN STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACING PAD CONSTRUCTION ENTRANCES (S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDRN TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES (S).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDRN TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SODD LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING AND EROSION CONTROL PER WDRN TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL. IF CUMULATIVE PUMP CAPACITY IS TO 75 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDRN TECHNICAL STANDARD DE-WATERING #1061.
15. CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDRN TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
16. INSTALL AND MAINTAIN SILT FENCING PER WDRN TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
17. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDRN TECHNICAL STANDARD DITCH CHECKS #1062.
18. INSTALL AND MAINTAIN FILLER SOCKS IN ACCORDANCE WITH WDRN TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
19. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
20. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIX MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. AS APPROPRIATE FOR REGION AND SOIL TYPE. FROM NOVEMBER 15 THROUGH PERMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERM).
21. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
22. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
23. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING SUDS PER WDRN TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
24. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GRADABLE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
25. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
26. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDRN TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
27. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDRN TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
28. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
29. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDRN REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDRN'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRPS) PUBLIC DATABASE AT: <http://dnr.wi.gov/botwr/>
30. INSTALL AND MAINTAIN A CONCRETE WASTEWATER BASIN PER EPA 833-F-11-006: <http://www3.epa.gov/mpdes/pubs/cnrcn/wastewatshoul.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LOCATIONS FOR REUSE OF CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.	CONSTRUCTION" (WISDOT 2014)
2. AREAS TO BE SEEDDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL,6. UNLESS OTHERWISE NOTED.	PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.	TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS: a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET. WISDOT PAV. CLASS 1 TYPE B URBAN EROSION CONTROL MAT.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.	
5. MULCH SHALL BE WEEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER SQUARE PER SECTION 607 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE	

OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.

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TRADEWINDS PARKWAY

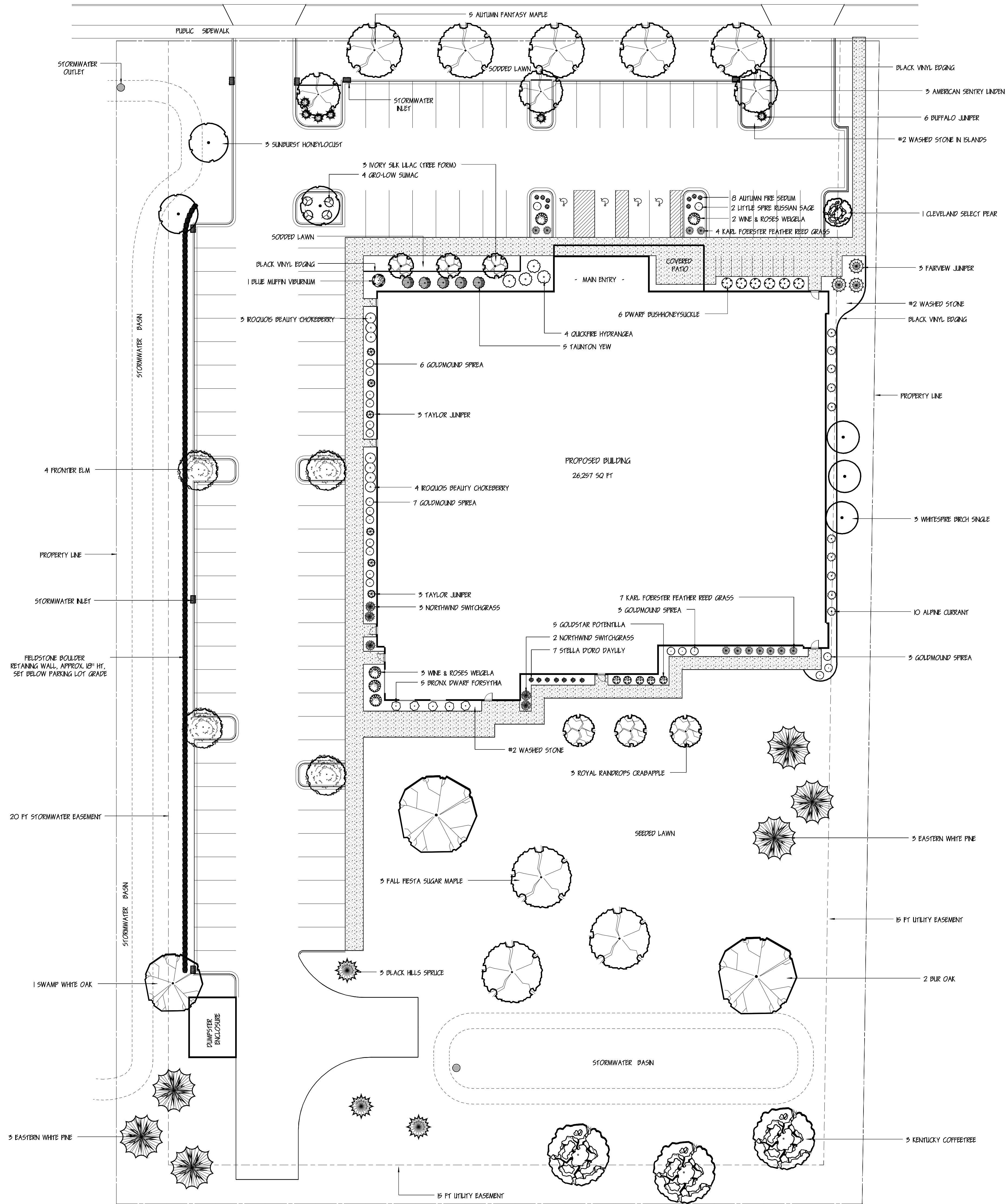
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LOT 6
129,536 SQ. FT.
OR 2.97 ACRES

FFE = 864.00

- BIORETENTION BASIN.
EXPAND AND RECONSTRUCT EXISTING
STORMWATER FACILITY.





Qty	Botanical Name	Common Name	Size/Condition
Trees			
3	Acer saccharum 'Autumn Fantasy'	FALL FIESTA SUGAR MAPLE	25' in DB
5	Acer x Freemannii 'Autumn Fantasy'	AUTUMN FANTASY MAPLE	25' in DB
3	Betula populifolia 'Whitespire'	WHITESPIRE BIRCH SINGLE	25' in DB
3	Gleditsia triacanthos 'Suncoke'	SUNBURST HONEYLOCUST	25' in DB
3	Gymnocladus dioica	KENTUCKY COFFEE TREE	25' in DB
3	Malus transitoria 'Royal Randrops'	ROYAL RANDROPS CRABAPPLE	15' in DB
3	Picea glauca densata	BLACK HILLS SPRUCE	5' ft DB
6	Pinus strobus	EASTERN WHITE PINE	5' ft DB
1	Pinus californiana 'Cleveland Select'	CLEVELAND SELECT PEAR	25' in DB
1	Quercus bicolor	SWAMP WHITE OAK	25' in DB
2	Quercus macrocarpa	BLUE OAK	25' in DB
3	Quercus reticulata 'Ivory Silk'	IVORY SILK LLAC (TREE FORM)	15' in DB
3	Tilia americana 'McSemin'	AMERICAN SENTRY LINDEN	25' in DB
4	Ulmus x 'Frontier'	FRONTIER ELM	25' in DB
Shrubs			
7	Aronia melanocarpa 'Morton'	ROQUOIS BEAUTY CHOKEBERRY	#3 CG
6	Dieris laevis	DWARF BUSH HONEYSUCKLE	#3 CG
5	Forsythia viridissima 'Bronzeleaf'	BRONX DWARF FORSYTHIA	#3 CG
4	Hydrangea paniculata 'Pink'	QUICKFREE HYDRANGEA	#3 CG
3	Juniperus chinensis 'Fairview'	FAIRVIEW JUNIPER	5' ft DB
6	Juniperus sabina 'Buffalo'	BUFFALO JUNIPER	#3 CG
6	Juniperus virginiana 'Taylor'	TAYLOR JUNIPER	5' ft DB
5	Potentilla fruticosa 'Goldstar'	GOLDSTAR POTENTILLA	#3 CG
4	Rhus aromatica 'Gro-Low'	GRO-LOW SUMAC	#3 CG
10	Ribes alpinum	ALPINE CURRANT	#3 CG
19	Spiraea japonica 'Goldmound'	GOLDMOUND SPIREA	#3 CG
5	Taxus x media 'Taunton'	TAUNTON YEW	15' in DB
1	Viburnum dentatum 'Blue Muffin'	BLUE MUFFIN VIBURNUM	#3 CG
5	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	#3 CG
Ornamental Grasses			
11	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	#1 CG
5	Panicum virgatum 'Northwind'	NORTHWIND SWITCHGRASS	#1 CG
Perennials and Annuals			
7	Monarda didyma 'Stella D'Oro'	STELLA D'ORO DAYLILY	#1 CG
2	Perovskia atriplicifolia 'Little Spire'	LITTLE SPIRE RUSSIAN SAGE	#1 CG
Succulents			
8	Sedum x 'Autumn Fire'	AUTUMN FIRE SEDUM	#1 CG

CITY OF MADISON LANDSCAPING REQUIREMENTS

Total developed square footage	103,379
Required landscape units (Total/300 sq ft)	345
Required landscape points (Units X Spts)	1725

LANDSCAPE POINTS CALCULATION

PLANT TYPE (MINIMUM SIZE)	NEW/ PROPOSED		
	POINT VALUE	QUANTITY	POINTS ACHIEVED
Overstory deciduous trees (25" caliper)	35	27	945
Evergreen trees (5' tall)	35	9	315
Ornamental trees (15" caliper)	15	7	105
Upright evergreen shrub (3-4' tall)	10	9	90
Shrub, deciduous	3	66	198
Shrub, evergreen	4	11	44
Ornamental grasses/perennials	2	33	66
TOTAL			1763

SCALE: 1 IN = 20 FT
0 5 10 20 40
SCALE IN FEET

DESIGN BY:

HERMAN
LANDSCAPE SERVICE, INC

6606 SEYBOLD ROAD
MADISON, WI 53744 PH: 608/288-9400

DATE:
9/16/2024
REVISED:
10/17/24

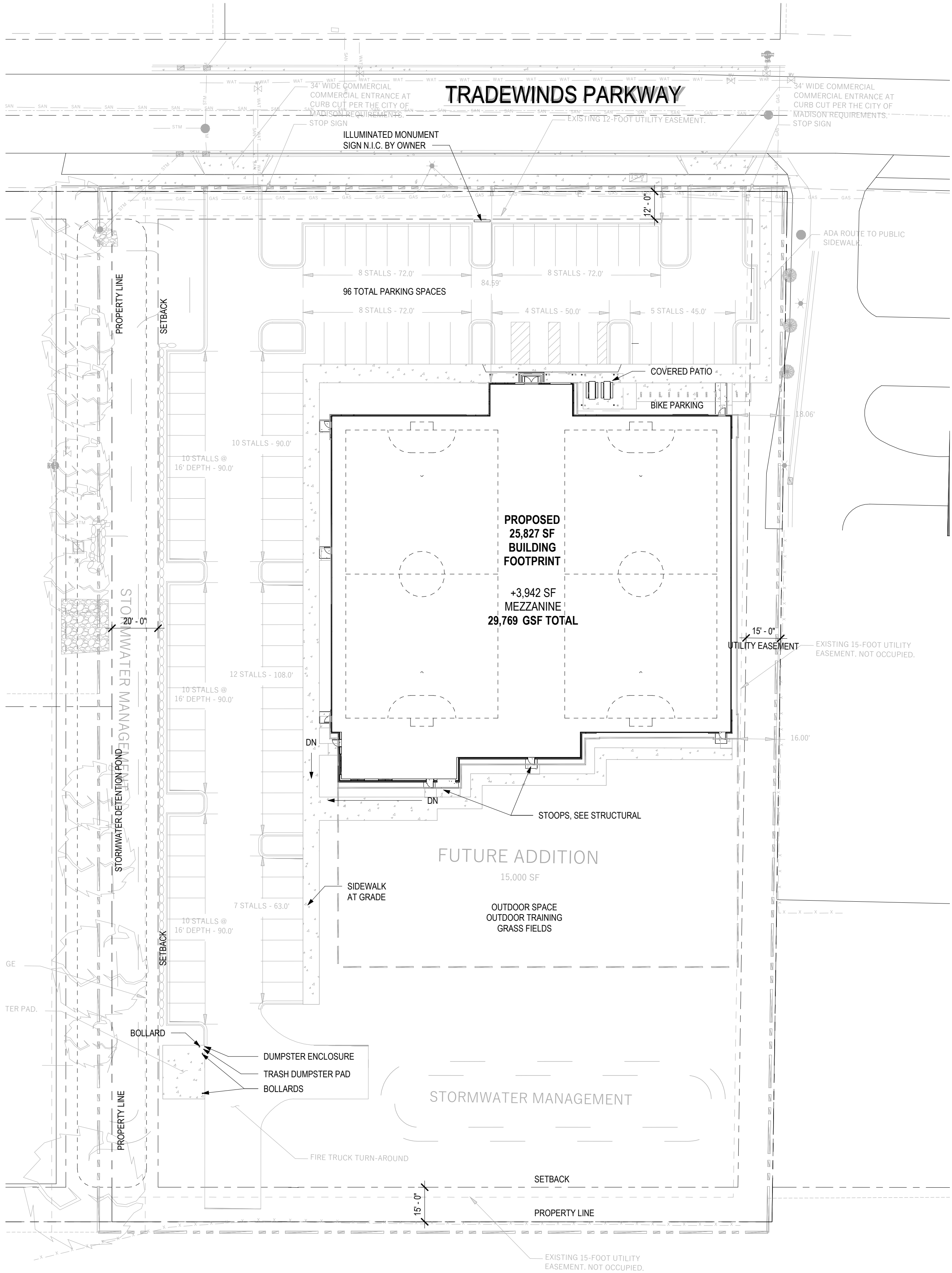


The lighting analysis, including the lighting layout, is a preliminary design. It is based on the information provided by the client and is subject to change. The lighting layout is a preliminary design and is not intended for construction. The lighting layout is a preliminary design and is not intended for construction. The lighting layout is a preliminary design and is not intended for construction.

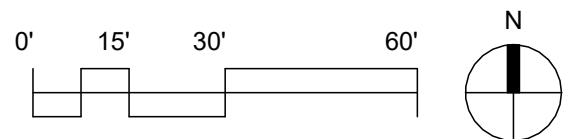
Prepared For: E&S Electric Mike Elchost	Job Name: Bauer Sports Parking Lighting Layout Version B		Scale: as noted	
	Date: 10/17/2024		Filename: Bauer Sports Parking Rev1.AGI	
BAY Electrical Solutions		Drawn By: Andrew Kuehn		File Name: C:\Users\Inside Sales\Documents\Andrew\AGI\2024\October\Bauer Sports Parking Rev1.AGI

10/21/2024 9:45:14 AM Autodesk Docs/23078 - Bauer Builders Sports Complex/23078 - Bauer Builders Sports Complex - Building.v4

FOR ALL SITE IMPROVEMENTS, SEE CIVIL



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"



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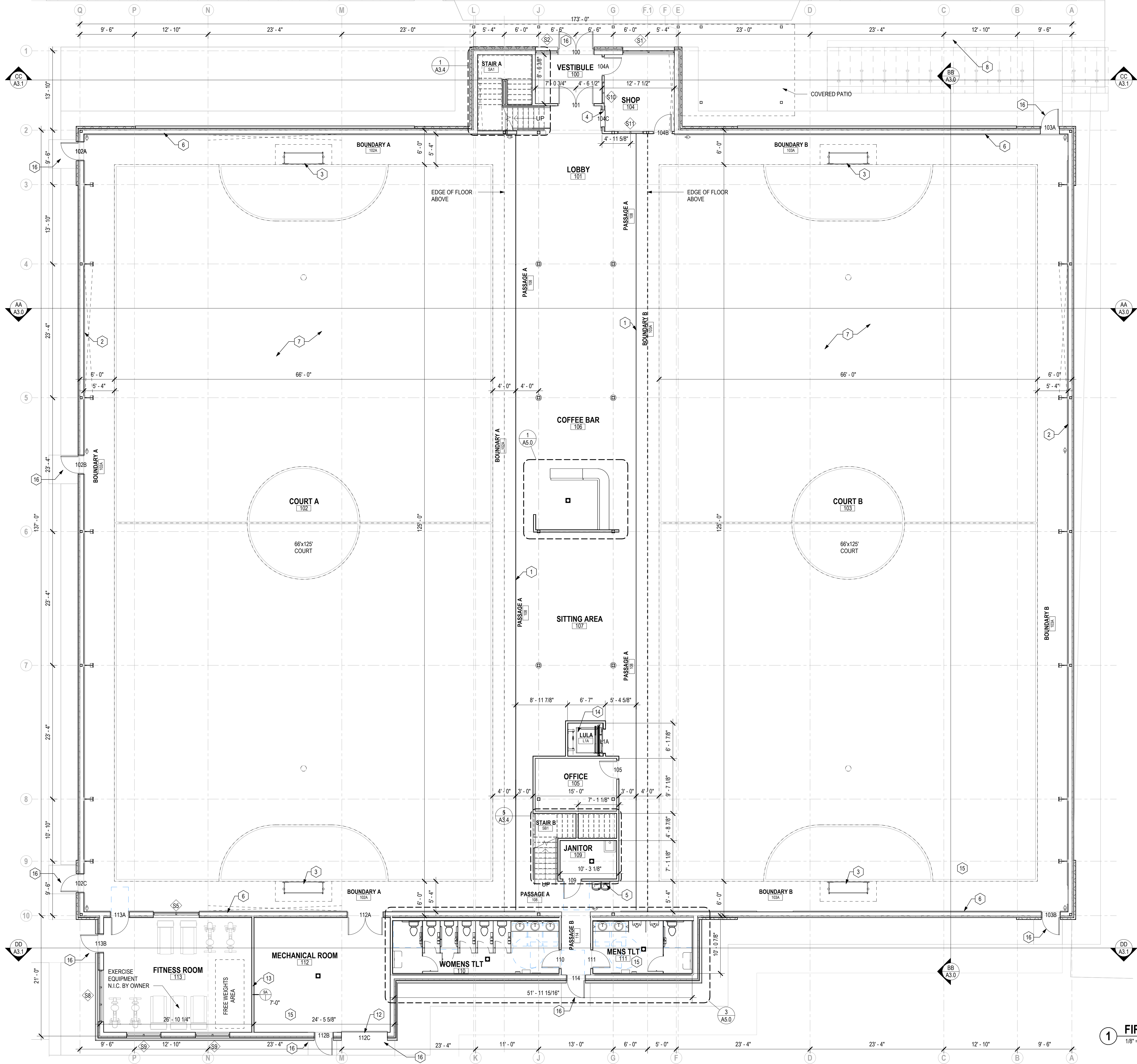
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PROJECT # 23078

SITE PLAN

AS1.1



FLOOR PLAN GENERAL NOTES

- PROVIDE VERTICAL CONTROL JOINTS (C/S) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
- GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
- GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- PROVIDE VINYL CARPET EDGE AT TRANSITIONS FROM CARPET TO DISSIMILAR FLOOR MATERIALS, UNLESS NOTED OTHERWISE (U.N.O.).
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
- VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- CONFIRM ALL SPORTS COURT PAINT STRIPING WITH OWNER.

FLOOR PLAN KEYNOTES

- SPORTS NETTING ATTACHED TO UNDERSIDE OF MEZZANINE. (N.I.C. BY OWNER)
- SPORTS WALL BUMPERS AT ALL COURT EXTERIOR WALLS TYP.
- GOAL NET AND SPORTS EQUIPMENT N.I.C. BY OWNER, TYP.
- TRANSACTION OPENING, COILING SHUTTER.
- DRINKING FOUNTAIN WITH BOTTLE FILLER.
- WALL MOUNTED LED SCOREBOARD N.I.C. BY OWNER. ELECTRICAL BY EC.
- HARDWOOD SPORTS FLOORING, RECESSED IN CONCRETE SLAB.
- (11) BIKE RACK DERO HOOP OR EQUAL
- FLOOR MOUNT RAILING, WELDED TO FLOOR EDGE WITH MESH INFILL AND SLOPED WOOD TOP.
- SOLID SURFACE COUNTERTOP.
- WALL MOUNTED TV LOCATION.
- GARAGE DOOR WITH AUTO OPENER.
- 7'-0" HIGH DIVIDER WALL
- LULA PIT - SEE STRUCTURAL. VERIFY PIT DEPTH
- SLAB-ON-GRADE - SEE STRUCTURAL
- STOOPS - SEE STRUCTURAL
- WINDOW COVERINGS, N.I.C. BY OWNER

BAUER BUILDERS SPORTS COMPLEX

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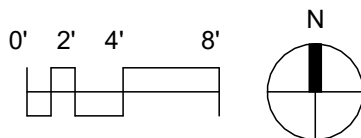
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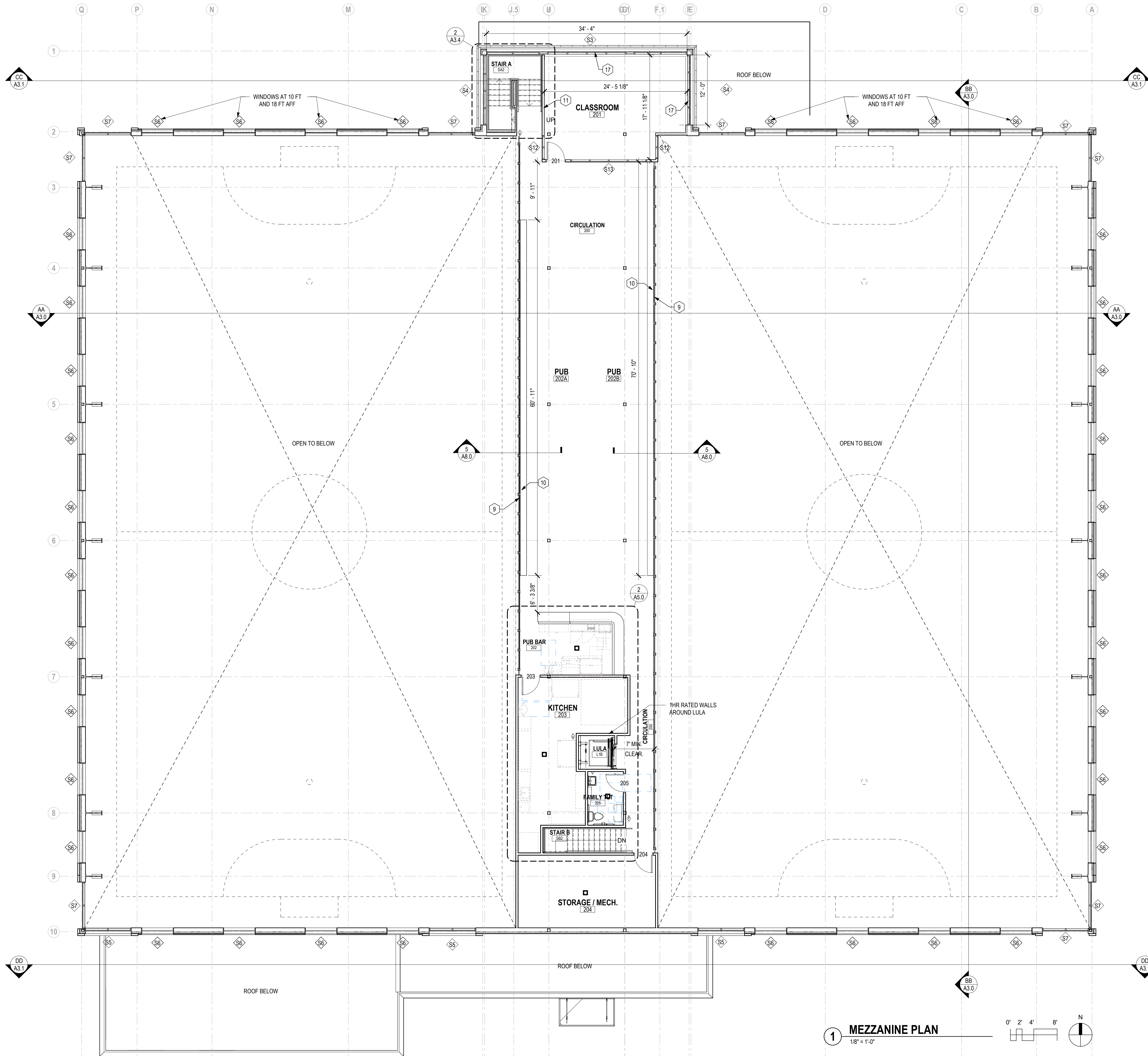
FIRST FLOOR PLAN

1 FIRST FLOOR PLAN
1/8" = 1'-0"



A1

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FLOOR PLAN GENERAL NOTES

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- WINDOW COVERINGS, N.I.C. BY OWNER

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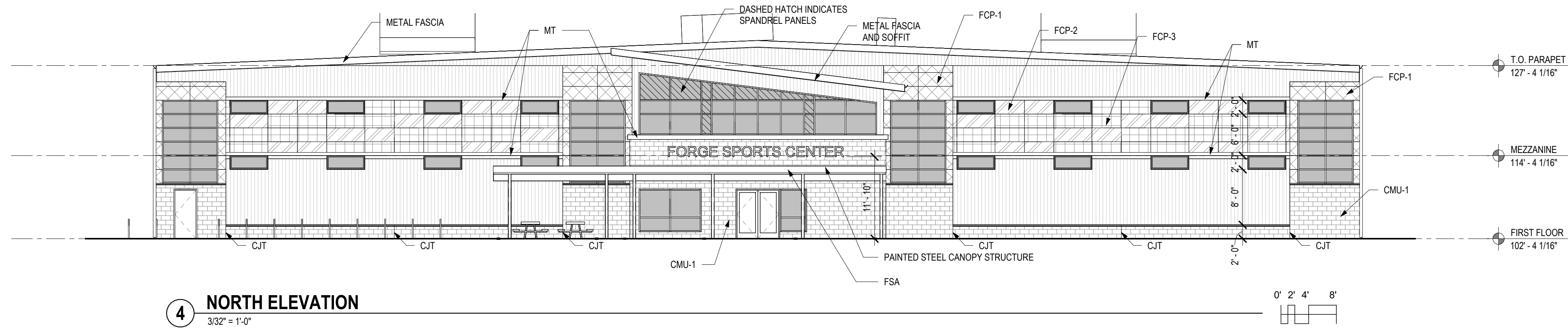
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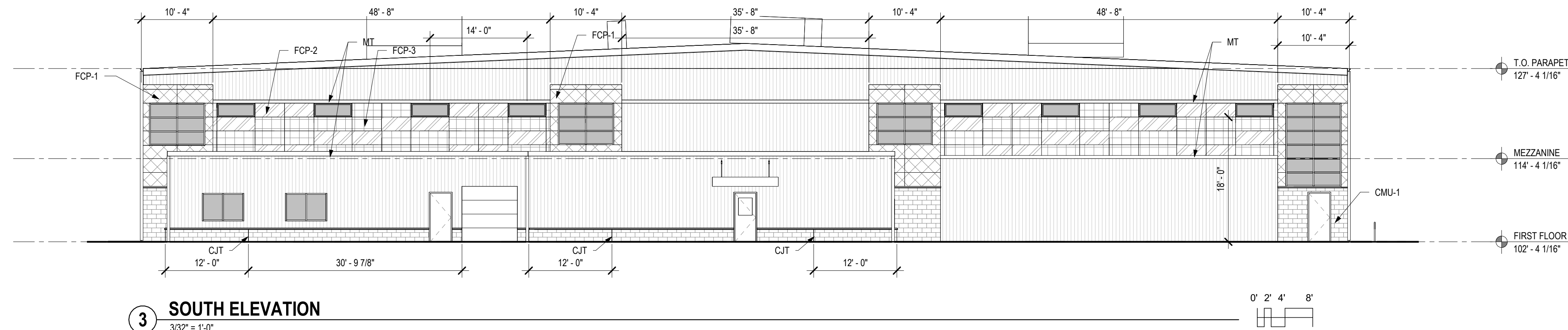
MEZZANINE PLAN

A2

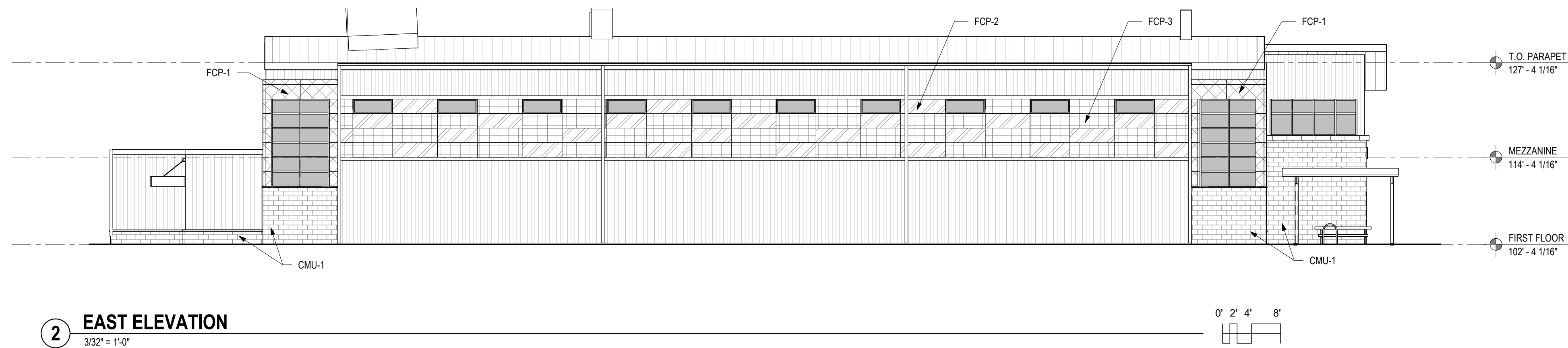
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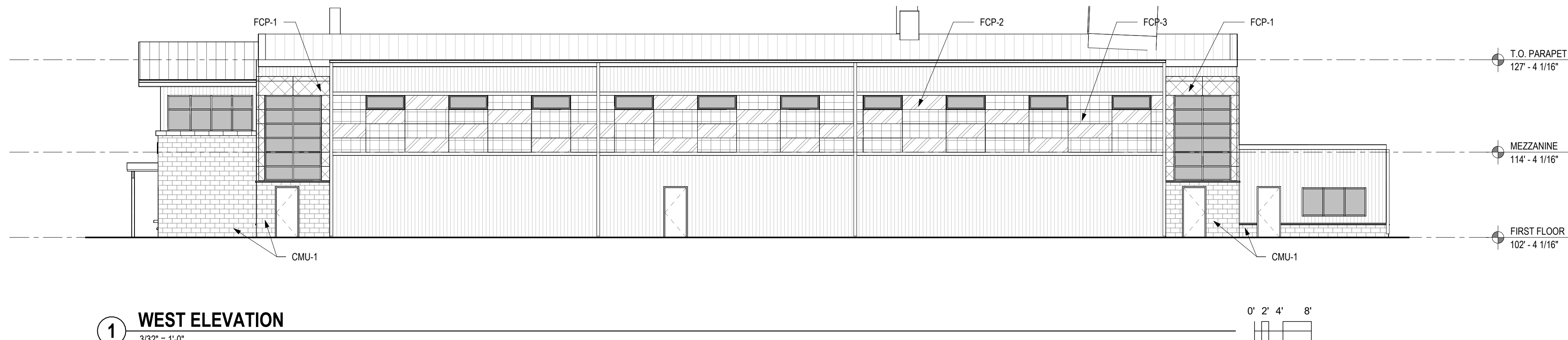
4 NORTH ELEVATION
3/32" = 1'-0"



3 SOUTH ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"



1 WEST ELEVATION
3/32" = 1'-0"

ELEVATION LEGEND & NOTES		
MASONRY	COLOR	MORTAR
CMU-1	SPLIT-FACE CMU	
CNC	CONCRETE	
CJ	CONTROL JOINT	
SIDING & TRIM		
FCP-1	FIBER CEMENT PANEL	COLOR
FCP-2	FIBER CEMENT PANEL	SW 6684 BRITTLEBUSH
FCP-3	FIBER CEMENT PANEL	SW 6965 HYPER BLUE
MT	METAL TRIM	SW 6858 DYNAMIC BLUE
FSA	METAL FASCIA	WHITE
SFT	METAL SOFFIT	SW 6684 BRITTLEBUSH
		SW 6524 COMMODORE
PRE-FINISHED METAL		
CPG	COPING	WHITE
SCR	SCUPPER	COLOR
CANOPY ACCESSORIES		
CSY	CABLE STAY	COLOR
		CLEAR ANODIZED
STOREFRONT		
ANODIZED ALUMINUM		COLOR
		CLEAR ANNOIDIZED
OTHER		
PEMB		COLOR
EXTERIOR BEAM & COLUMNS		SW 6524 COMMODORE
BIKE RACKS		LIGHT GRAY
		SW 6684 BRITTLEBUSH
GENERAL NOTES		
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B. AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.		
C. REFER TO WINDOW TYPE SHEET A6.2 FOR MORE WINDOW INFORMATION.		
D. REFER TO SHEET A8.0 FOR ARCHITECTURAL WALL PANEL DETAIL.		
E. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		

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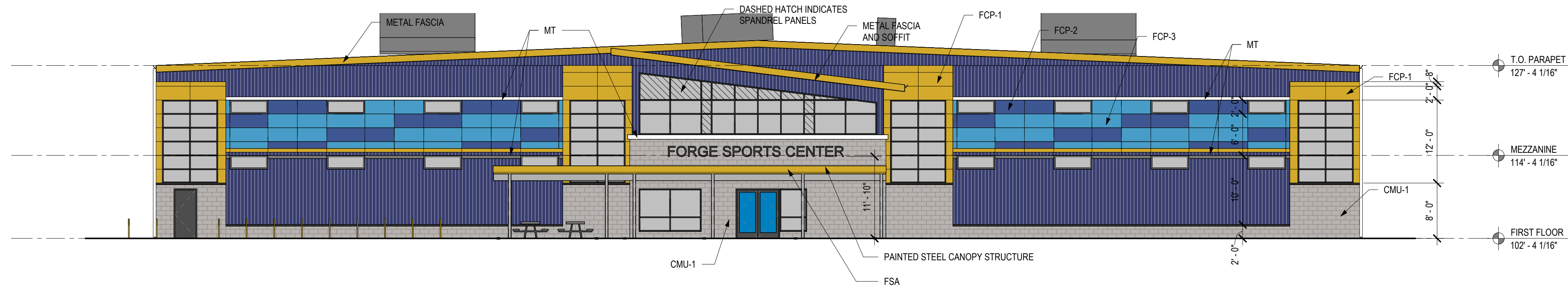
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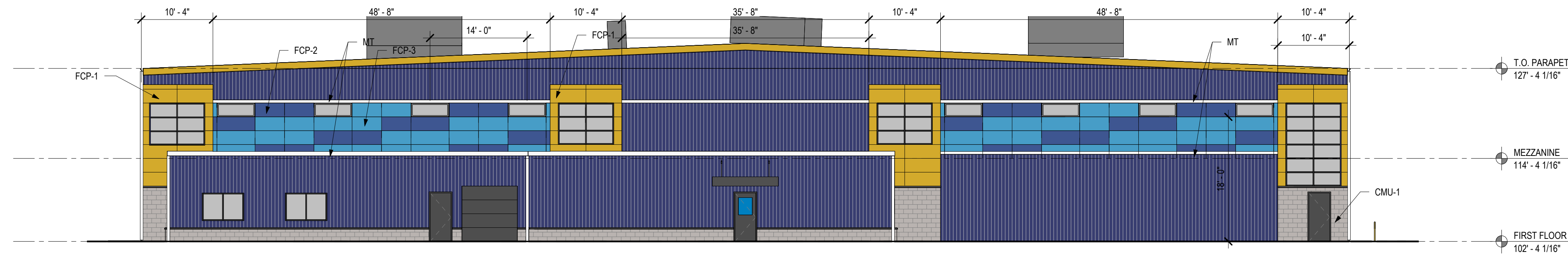
PROJECT # 23078

EXTERIOR ELEVATIONS (BW)

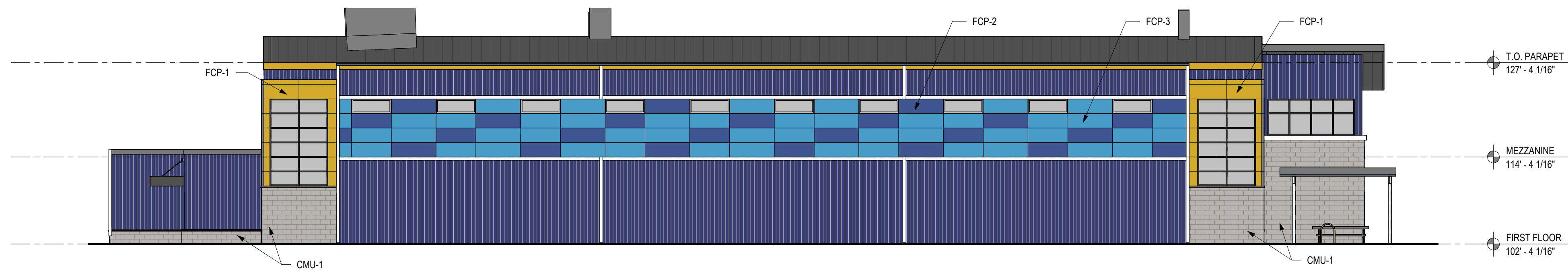
A3.a



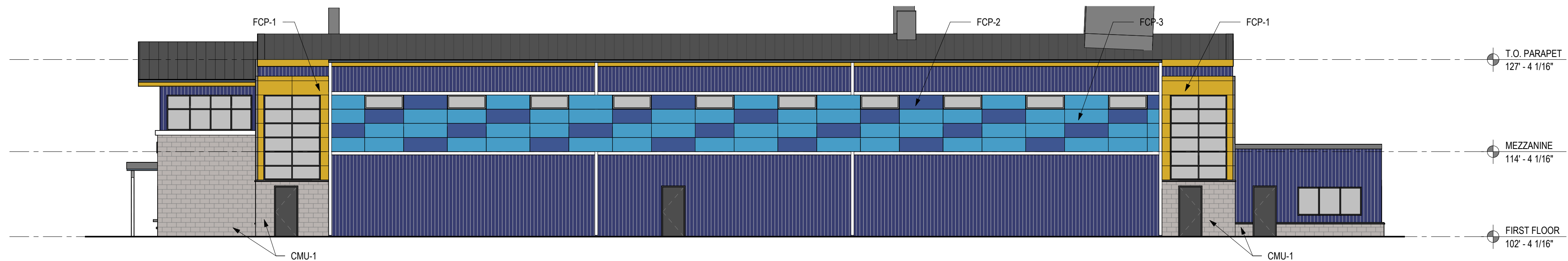
4 NORTH ELEVATION COLOR
3/32" = 1'-0"



3 SOUTH ELEVATION COLOR
3/32" = 1'-0"



2 EAST ELEVATION COLOR
3/32" = 1'-0"



1 WEST ELEVATION COLOR
3/32" = 1'-0"

ELEVATION LEGEND & NOTES		
MASONRY	COLOR	MORTAR
CMU-1	SPLIT-FACE CMU	
CNC	CONCRETE	
CJ	CONTROL JOINT	
SIDING & TRIM		
FCP-1	FIBER CEMENT PANEL	COLOR
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FCP-3	FIBER CEMENT PANEL	SW 6965 HYPER BLUE
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		SW 6524 COMMODORE
PRE-FINISHED METAL	MANUFACTURER (COATED METALS GROUP)	
CPG	COPING	WHITE
SCR	SCUPPER	COLOR
CANOPY ACCESSORIES	COLOR	
CSY	CABLE STAY	CLEAR ANODIZED
STOREFRONT	COLOR	
ANODIZED ALUMINUM	CLEAR ANNOIDIZED	
OTHER	COLOR	
PEMB	SW 6524 COMMODORE	
EXTERIOR BEAM & COLUMNS	LIGHT GRAY	
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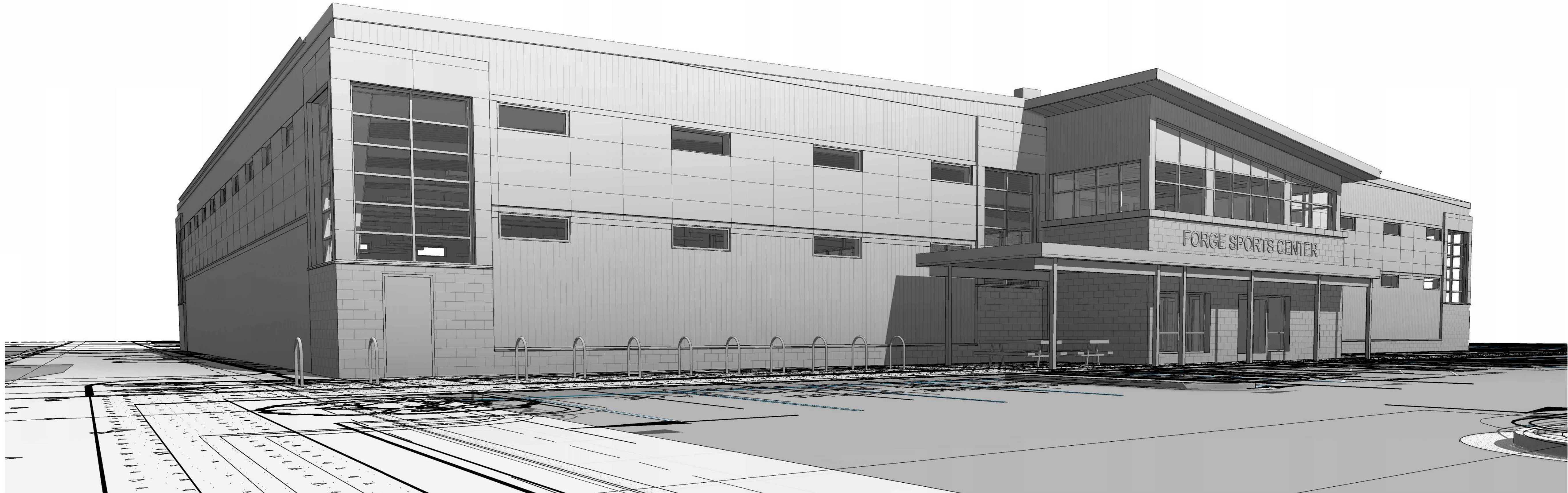
EXTERIOR
ELEVATIONS
(COLOR)

A3.b

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BAUER BUILDERS
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2 EXTERIOR PERSPECTIVE 2 Copy 1



1 EXTERIOR PERSPECTIVE 1 Copy 1

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EXTERIOR
RENDERING

3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. IF ANY VARIATION EXISTS BETWEEN 3D
VIEWS AND ARCHITECTURAL DRAWINGS, 3D VIEWS SHALL NOT APPLY.

A4

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SPORTS COMPLEX**

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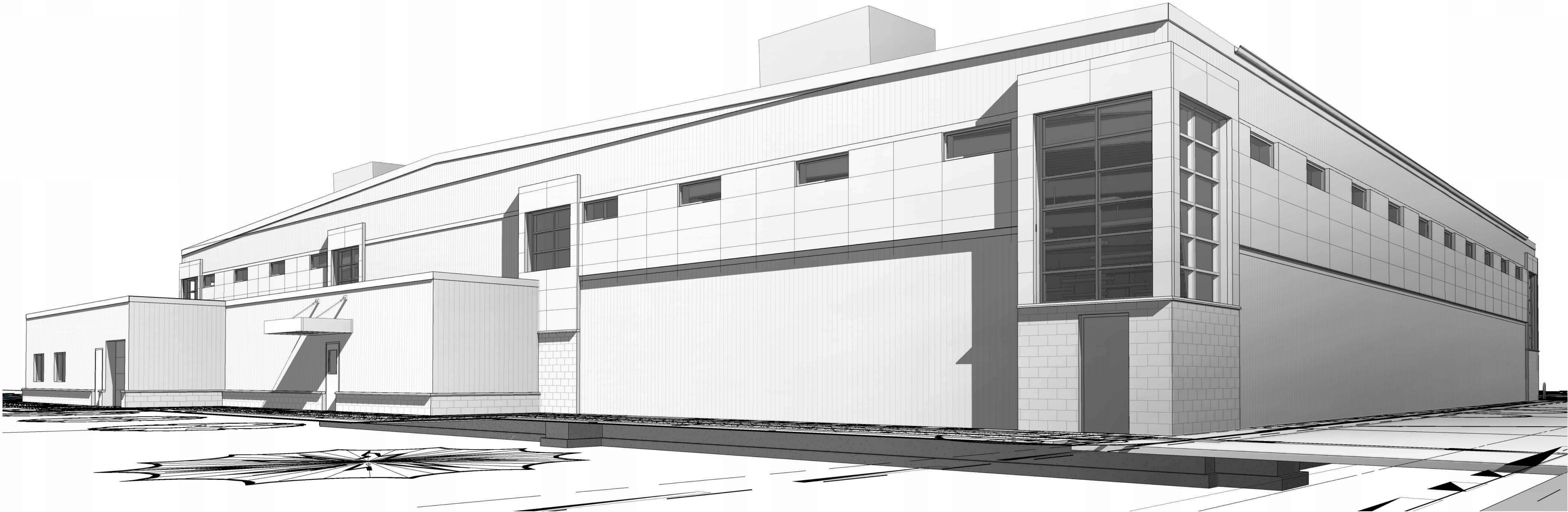
PROJECT # 23078

**EXTERIOR
RENDERING**

A5

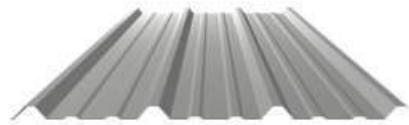


2 EXTERIOR PERSPECTIVE 4 Copy 1



1 EXTERIOR PERSPECTIVE 3 Copy 1

**3D VIEWS ARE FOR ILLUSTRATION PURPOSES ONLY. IF ANY VARIATION EXISTS BETWEEN 3D
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R-Panel

The R-Panel provides an even-shadowed appearance and are reinforced between the ribs for added strength. This panel offers a 36" width coverage with major ribs on 12" centers. It is available in 24 & 26 gauge.

[R-Panel Specifications](#)

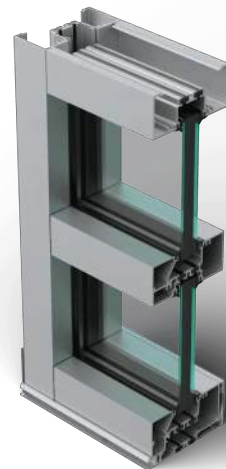
A-Panel

The A-Panel provides an excellent choice for decorative wall designs with an attractive shadow pattern and semi-concealed fasteners. These panels offer 36" of coverage with ribs on 12" centers. The A-Panel is made of 26 gauge steel, with 24 gauge available by special order. [A-Panel Specifications](#)

Standing Seam II & Standing Seam 360

The American Buildings Standing Seam II & Standing Seam 360 roof systems are designed to float on a system of sliding clips that prevent damage from thermal expansion and contraction. This standing seam design eliminates 80% of through-fasteners found in other systems, offering greater weathertightness. These panel systems provide 24" width coverage with 3" high ribs. Standing Seam 360 panels are joined by an electric seaming machine, developing a full 360° rolled seam – preferred by many architects and specifiers.

[Standing Seam II Specifications](#) [Standing Seam 360 Specifications](#)



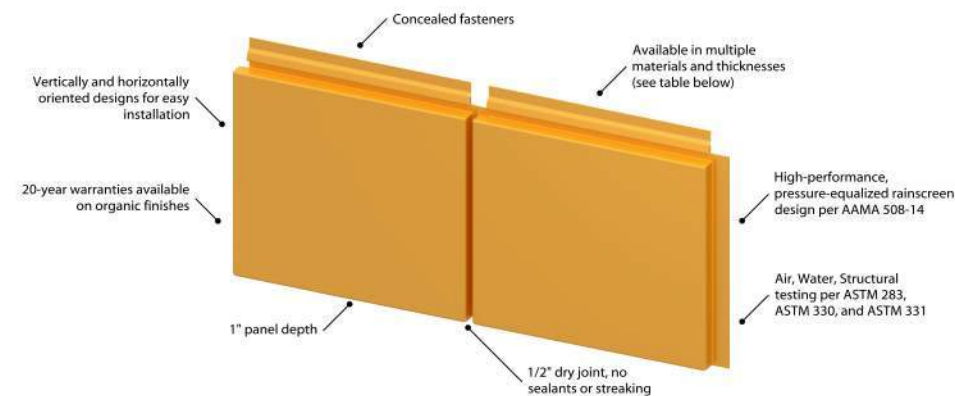
STOREFRONT - KAWNEER 541UT
BLACK #29



PEMB CUSTOM COLOR



SW6524 COMMODORE



MCELROY METAL - ARCHITECTURAL WALL PANELS - CUSTOM COLORS



CAST STONE - LIGHT
GUNPOWDER
STOREFRONT SILLS

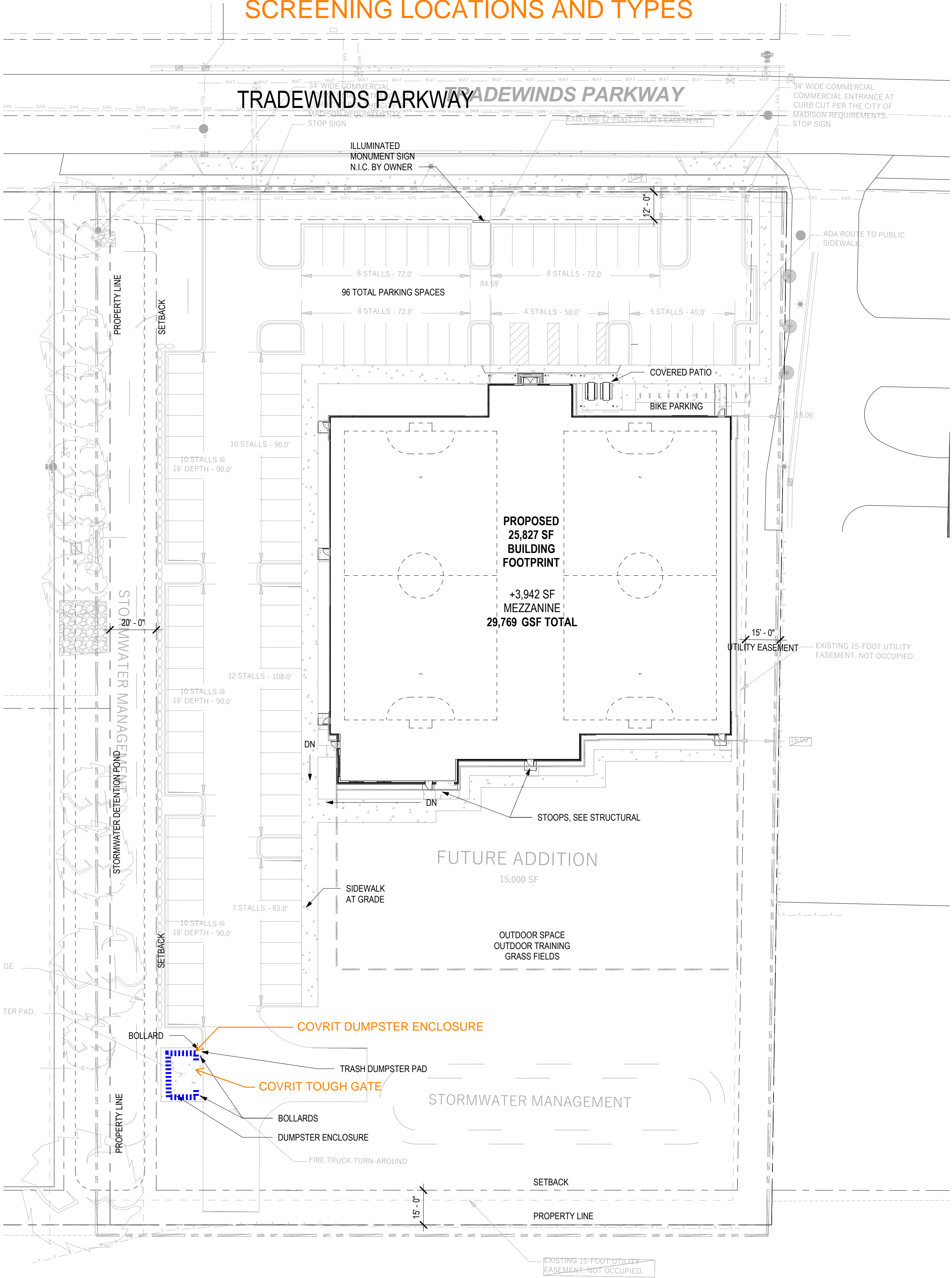


SPLIT-FACE CMU NATURAL -
COUNTY MATERIALS
CORPORATION

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TRASH ENCLOSURES, GATES,
SCREENING LOCATIONS AND TYPES



1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

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SITE PLAN

AS1.1

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covrit®

SCREENING SYSTEMS



CityScapes®
ARCHITECTURAL INNOVATIONS



Pepper Construction HQ
Dublin, OH

COVRIT®

COVER ALL YOUR BASES

For any enclosure needs, Covrit® has your back, front, and sides. Covrit walls, gates, and dumpster enclosures redefine any space and are the go-to solution for hiding, protecting, or partitioning anything on your property.



HIGH-QUALITY CONSTRUCTION

Professional grade extruded aluminum frames with powder-coated finishes

TAILORED DIMENSIONS

Crafting Distinctive Spaces with Both Standard and Customized Designs

STREAMLINED INSTALLATION

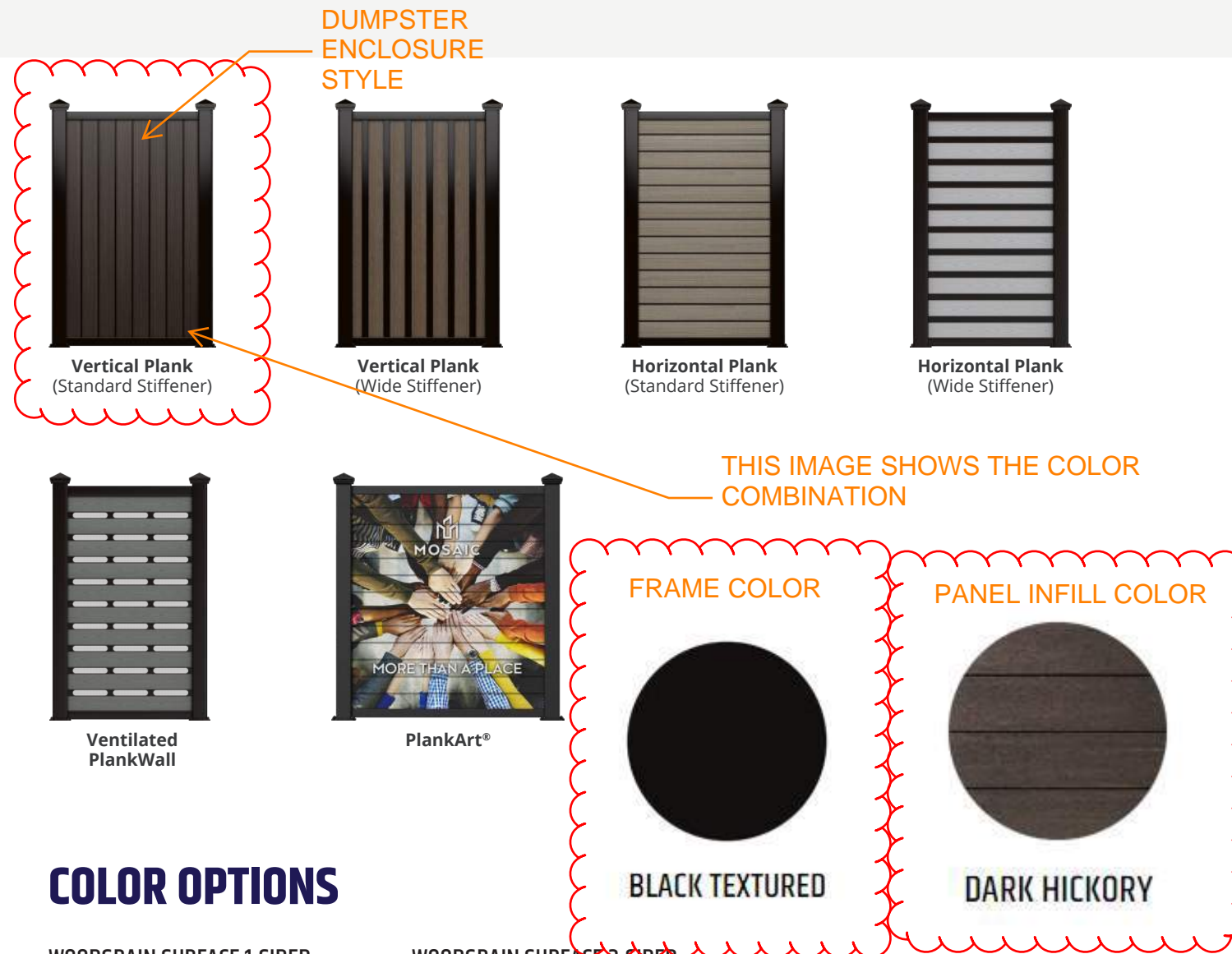
Directly mounting to concrete slabs without the need for footings

TOUGHGATE™ INTEGRATION

ToughGate™ doors & gates used on every Covrit® enclosure

ENGINEERED WOOD INFILLS

- Frames are 6063 T6 extruded aluminum
- Woodgrain surface planks are 1" thick 100% cellular PVC or composite LLDPE
- 1/2" or 2 1/2" Extruded Aluminum Stiffeners
- Sherwin Williams 4000 Series Powder-Coated Components
- Optional digitally printed graphics with UV resistant Nazdar ink



COLOR OPTIONS

WOODGRAIN SURFACE 1-SIDED

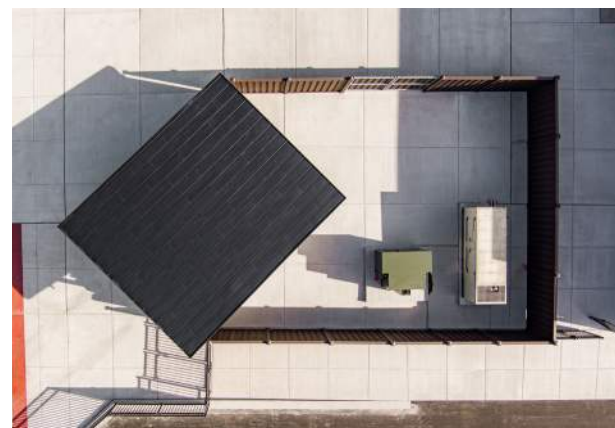


WOODGRAIN SURFACE 2-SIDED



ROOFTOP SOLUTIONS

Covrit® Roof Tops are engineered to excel in any weather. Its innovative design seamlessly allows rain, snow, and wind to pass through, ensuring the integrity of your rooftop and access to your dumpster enclosures. Crafted from robust ABS and extruded aluminum, it withstands the harshest weather elements while maintaining its visual allure.



Westbrook School
Glenview, IL

ELEGANT. DURABLE. DISTINCTIVE.

ToughGate™ by CityScapes® offers expertly crafted gates and doors built to your specifications, budget and job site demands. We use only professional grade materials for years of maintenance free operation.

For stunning good looks, amazing longevity, and extraordinary first impressions, choose ToughGate™.

- MAINTENANCE FREE MATERIALS
- SHIPPED PRE-ASSEMBLED FOR FAST INSTALLATION
- WIDE VARIETY OF DESIGN OPTIONS



ToughGate™

ToughGate's™ innovative design makes field assembly fast and easy. All of our gates are shipped pre-assembled directly to your project site, accompanied by all required installation hardware. Our complete installation guides provide a clearly-defined process from start to finish.

Gates are available in heights of up to 14 ft* and widths of up to 20 ft** to accommodate almost any opening dimension.

* Maximum height determined by infill material and style selected.

** Contact a CityScapes® representative for details on our newest MegaGate options. Certain Height x Width limitations apply.



DOOR HANDLES

All ToughGate™ and Covrit® handles and hardware are powder coated and color-matched to the coordinating gate frame for superior aesthetics.



Bridge



Modern



Classic

MODERN LATCH

Our color matched, lockable latches are designed for years of maintenance free use.



Modern

CUSTOM DESIGNS

Don't see a style or color that fits our plan? No problem. We can color match many of our gate options or allow you to create a fully custom design. Print your image directly onto the gate or laser cut an intricate design into your gate. Have another idea? Let us know. We love a challenge.

PVC PLANK INFILL SERIES



Madison



Mission



Redondo



Augusta



Muir Woods



Sequoia



Ventilated Plankwall



PlankArt™

1-INCH PVC PLANK INFILL COLOR OPTIONS

Textured Woodgrain Surface On One Side Only



Brownstone



Kona



Slate Gray



Coastline



English Walnut



Dark Hickory



Weathered Teak



French White Oak

Textured Woodgrain Surface On Both Sides



Ashwood



Cedar



Sequoia



Slate

ENGINEERED WOOD INFILL SERIES SPECS

- Woodgrain surface 2 sided planks are 1" thick 100% cellular PVC
- Woodgrain surface 1 sided planks are 1" thick composite LLDPE

MILLED PVC INFILL SERIES



Potomac (PVC)



Flagstaff (PVC)

ALL GATES
- DUMPSTER ENCLOSURE GATES

ACRYLICAP® ABS INFILL SERIES SPECS

- Acrylicap® uses a thermoformed .187 acrylic-capped ABS for UV protection

METAL INFILL SERIES



7.2 Rib



Planar



Perforated



Perforated 7.2 Rib



Bahama Shutter



True Louver



Custom Graphic

METAL SERIES SPECS

- Structural material thickness varies depending on infill choice
- Typical 7.2 Rib Metal Panels - .040", .050" Precoated aluminum
- Typical Perforated Metal Panels - .063" Aluminum, 1/8" holes, 1/4" staggered centers, 23% open area

For current color availability for metal wall styles, contact a CityScapes® representative.

SLAT WALL INFILL SERIES



4-Inch Slat Wall (Mission Style)



4-Inch Slat Wall (Madison Style)



6-Inch Slat Wall (Mission Style)



6-Inch Slat Wall (Madison Style)

SLAT SERIES SPECS

- Powder coated aluminum slats
- 1"x 4" - .080" Wall thickness
- 1"x 6" - .100" Wall thickness
- 6063 T6 Aluminum
- 4000 Series powder coated

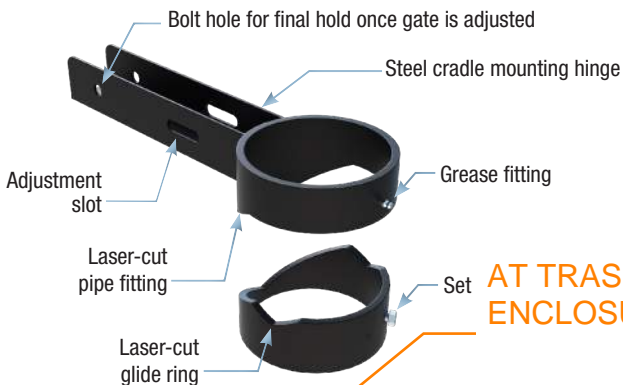
For current color availability for slat wall styles, contact a CityScapes® representative.

CRADLE HINGE OPTIONS - New and Retrofitted Installations

Choose from our fully adjustable hinge options. We recommend installation using our hold-open pipe hinge which offers a convenient and enhanced safety feature to “hold open” your gate; reducing injuries as well as damage to your property. Alternative hinge options to retrofit to your existing post or wall are shown below.

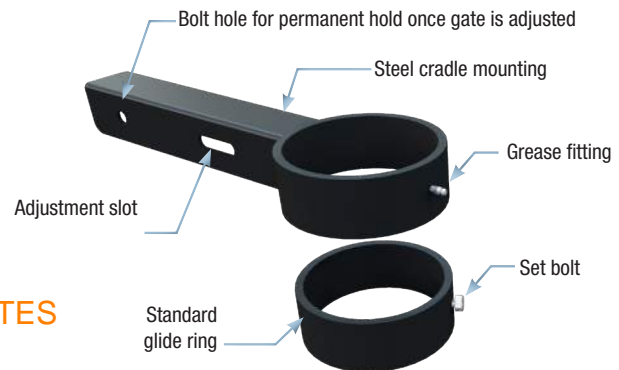
HOLD-OPEN PIPE HINGE

- Pre-welded steel construction
- Laser-cut rings nest and work together to provide a 100° hold-open gate position. Gate will automatically close prior to 100°.
- Adjustment slot in cradle to help level door on pipe.
- Grease fitting included
- Powder coated to match frame



ADJUSTABLE PIPE HINGE

- Pre-welded steel construction
- Adjustment slot in cradle to help level door on pipe.
- Grease fittings included
- Powder coated to match frame



BARREL HINGE

(retrofit for square post or wall mount)

- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)

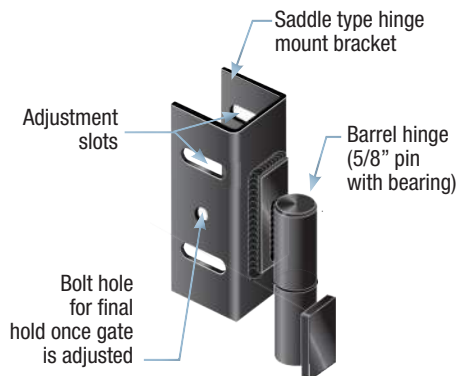
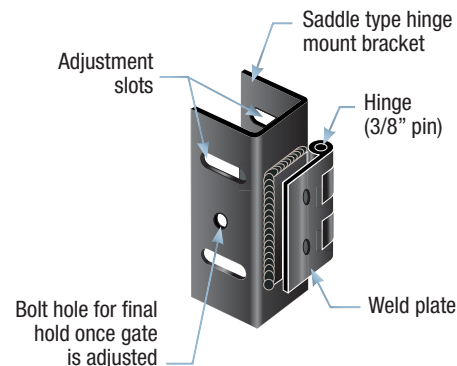


PLATE HINGE

(retrofit for square post or wall mount)

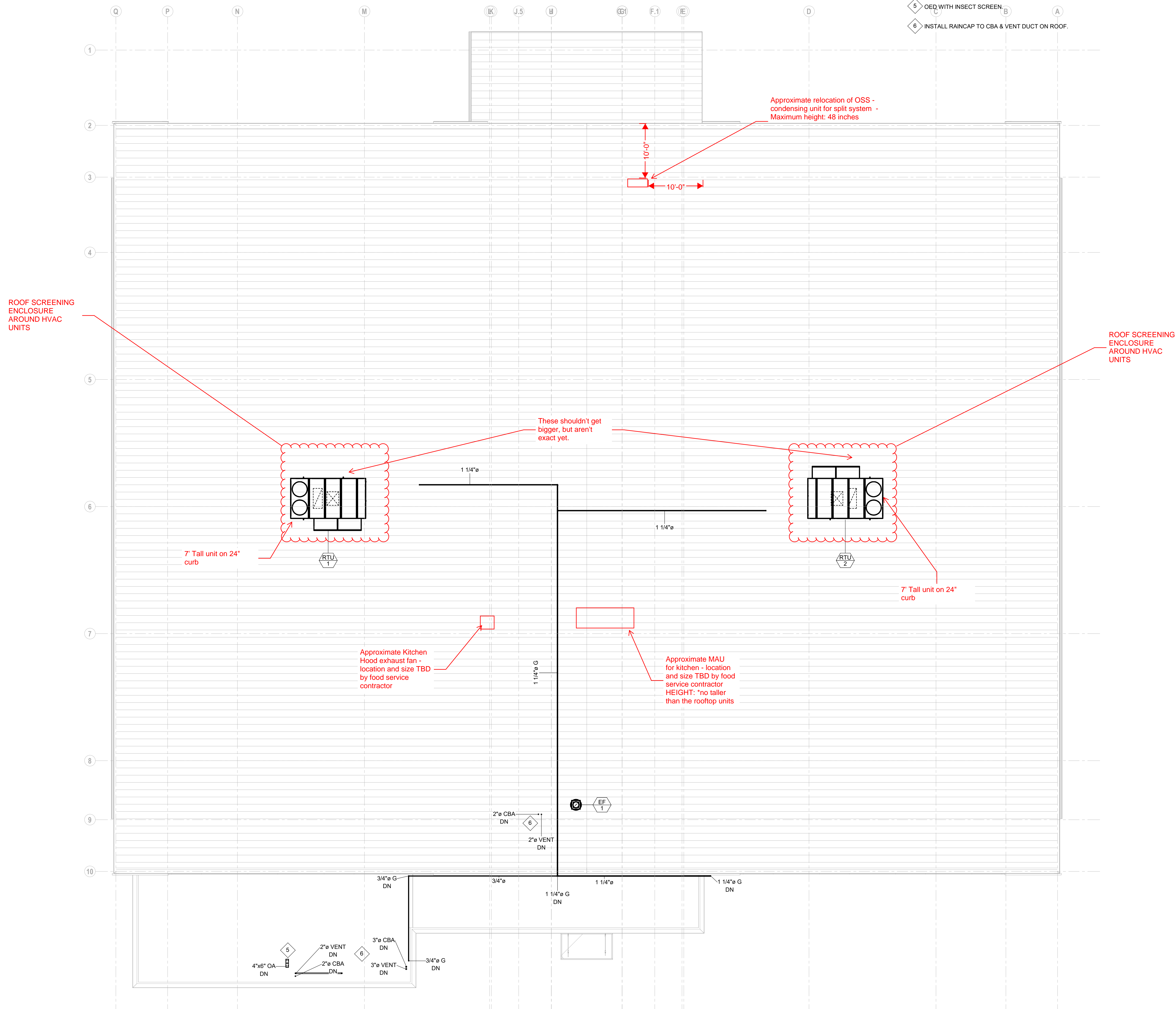
- Set bolts in post included for setting gate height off grade.
- Pre-welded steel gate frame saddle to barrel hinge. Barrel hinge leaf side requires field welding to structure or can be made to bolt onto structure after engineering review.
- Powder coated to match gate frame
- Steel or Aluminum construction available (Material used is determined by weight)



PRELIMINARY

- KEY NOTES**

 - 1 34" DOOR UNDERCUT BY G.C.
 - 2 INSTALL RETURN GRILLE 2' AFF.
 - 3 ROUTE CONDENSATE TO NEAREST HUB DRAIN. COORDINATE WITH P.C.
 - 4 INSTALL OA WITH BACKDRAFT & BALANCING DAMPER. TERMINATE WITH WEATHERHOOD (SIDEWALL) OR GOOSENECK (ROOF).
 - 5 OED WITH INSECT SCREEN.
 - 6 INSTALL RAINCAP TO CBA & VENT DUCT ON ROOF.



1 Roof
1/8" = 1'-0"



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Deforest, WI 53532
Phone: (608)249-0481 Fax: (608)249-7380

APPROVAL SEAL

Project Number
2430133

BAUER BUILDERS
SPORTS COMPLEX

Root HVAC

[illegible]

Date	Issue Date
Drawn By	Author
Checked By	Checker

M103

Scale	As indicated
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