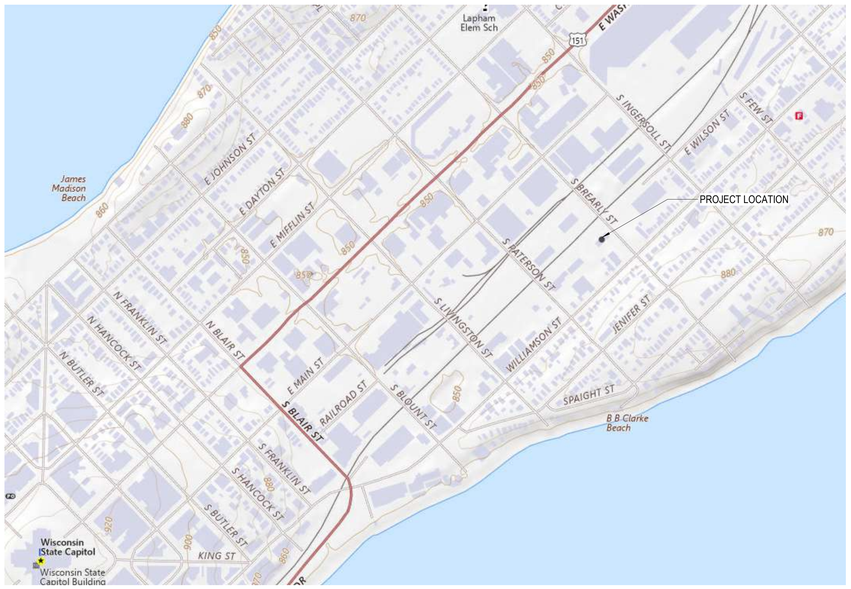
306 SOUTH BREARLY

306 South Brearly St.
Madison, WI 53703



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PLAN COMMISSION SUBMITTAL

10/07/2024 **PROJECT NUMBER: 24155-01**

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GENERAL NOTES:

1. THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL ALSO VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
3. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, DRIVEWAY, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
5. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
6. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
7. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

DEMOLITION NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED BUILDING
- LIMITS OF LOWER LEVEL
- LIMITS OF UPPER LEVEL
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

ABBREVIATIONS

TC – TOP OF CURB
FF – FINISHED FLOOR
FL – FLOW LINE
SW – TOP OF WALK
TW – TOP OF WALL
BW – BOTTOM OF WALL

GRADING LEGEND

- 820 – EXISTING MAJOR CONTOURS
- 818 – EXISTING MINOR CONTOURS
- 820 – PROPOSED MAJOR CONTOURS
- 818 – PROPOSED MINOR CONTOURS
- DITCH CENTERLINE
- SILT FENCE
- DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- 2.92% – PROPOSED SLOPE ARROWS
- 1048.61 – EXISTING SPOT ELEVATIONS
- 1048.61 – PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS I, TYPE A
- EROSION MAT CLASS II, TYPE B
- EROSION MAT CLASS III, TYPE C
- EROSION MAT CLASS II, TYPE A
- TRACKING PAD
- RIP RAP

SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY OF MADISON ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. ALL WORK IN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT XXXXX, CONTRACT XXXX.
9. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DIVISIONS.

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

CITY FORESTRY NOTES:

1. ALL PROPOSED STREET TREE REMOVALS SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
2. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
4. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 – PART 1 STANDARDS FOR PRUNING

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

STMH – STORM MANHOLE
FI – FIELD INLET
CI – CURB INLET
CB – CATCH BASIN
EW – ENDWALL
SMH – SANITARY MANHOLE

UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
11. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
14. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
15. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
16. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
17. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
19. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
21. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
22. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
23. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
24. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAT 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
25. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

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PROJECT INFORMATION

306 SOUTH BREARLY

306 South Brearly St.
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

NOTES & LEGENDS

C001

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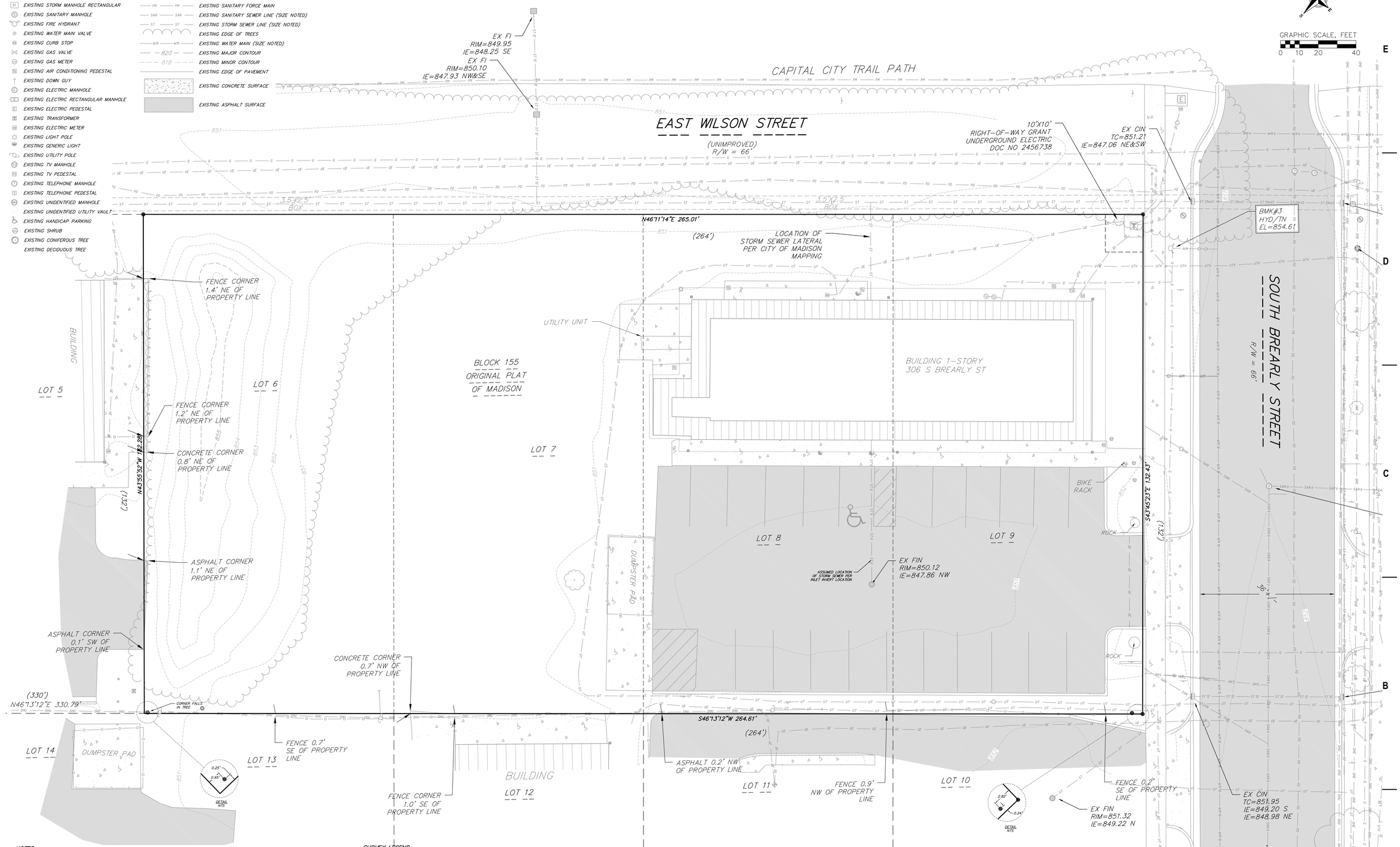
TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE SURFACE
- EXISTING ASPHALT SURFACE



NOTES:

1. This property is subject to a telecommunications easement by court order per Document No. 4965434. The location of this easement cannot be determined. Telecommunications lines and facilities are shown.
2. This survey is based upon field survey work completed on August 20, 2024. Any changes in site conditions after this date are not reflected by this survey.
3. The existing property lines shown on this plan are based upon found monuments, surveys of record and the recorded deeds.
4. This map is referenced to the Wisconsin County Coordinate System–Jefferson Zone, NAD 83 (2011). Elevations are based upon NAVD88 datum.
5. All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket numbers 20243306667, 20243306701 and 20243306739. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others.
6. No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
7. This existing conditions plan was prepared at the request of: SARA Investment Real Estate, 1955 Atwood Avenue, Madison, WI 53704

SURVEY LEGEND

- BENCHMARK
- FOUND 3/4" ø IRON ROD

ABBREVIATIONS

STMH – STORM MANHOLE
FI – FIELD INLET
CI – CURB INLET
CB – CATCH BASIN
EW – ENDWALL
SMH – SANITARY MANHOLE

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

SHEET INFORMATION

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

EXISTING CONDITIONS PLAN

C100

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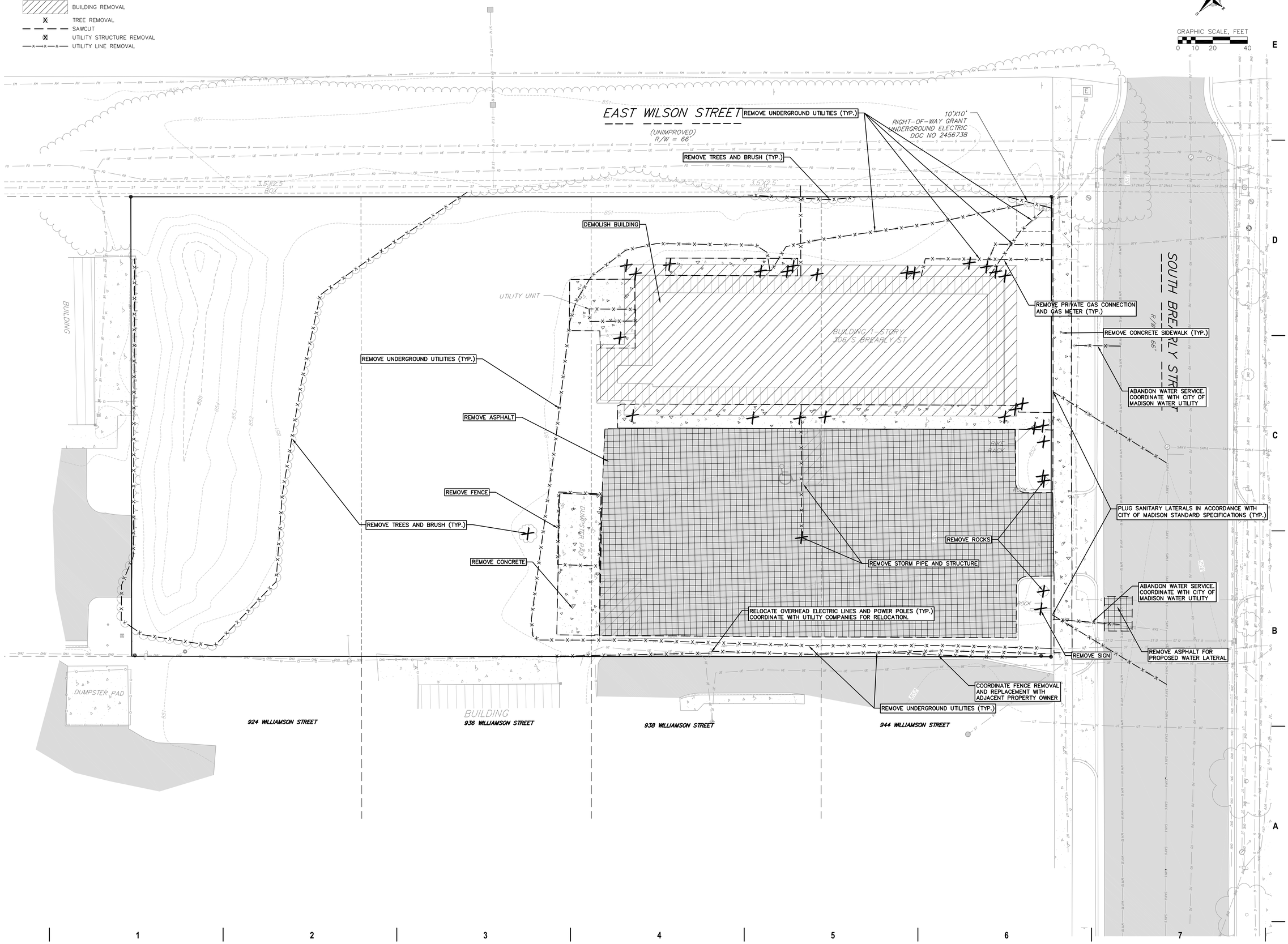
DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL



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DEMOLITION PLAN

C200

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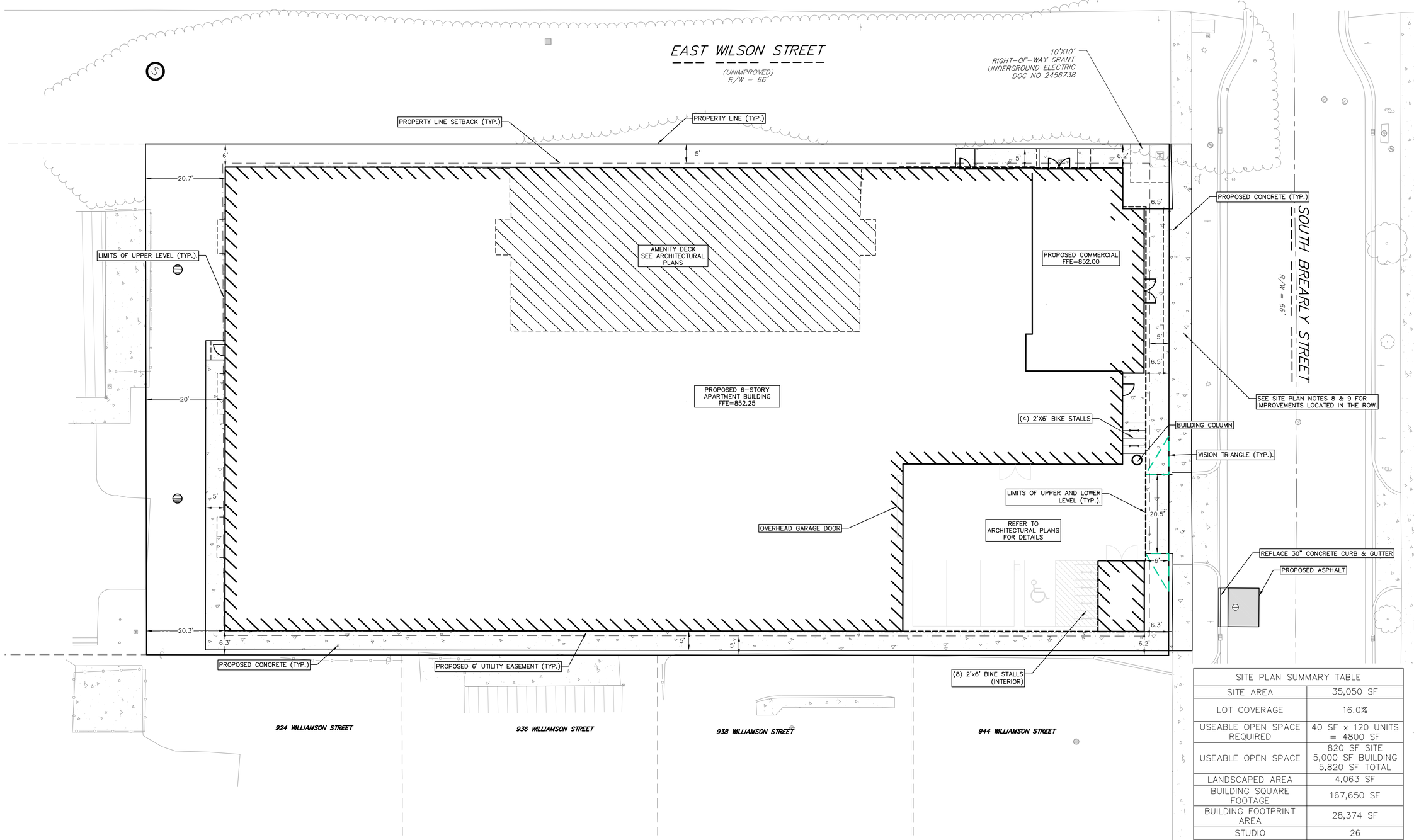

GRAPHIC SCALE, FEET
0 5 10 20

SITE PLAN SUMMARY TABLE	
SITE AREA	35,050 SF
LOT COVERAGE	16.0%
USEABLE OPEN SPACE REQUIRED	40 SF x 120 UNITS = 4800 SF
USEABLE OPEN SPACE	820 SF SITE 5,000 SF BUILDING 5,820 SF TOTAL
LANDSCAPED AREA	4,063 SF
BUILDING SQUARE FOOTAGE	167,650 SF
BUILDING FOOTPRINT AREA	28,374 SF
STUDIO	26
1-BEDROOM	82
2-BEDROOM	12
DENSITY	149 UNITS/ACRE
UNDER STRUCTURE PARKING STALLS	126
INDOOR BIKE PARKING	120
VISITOR BIKE PARKING	12

SITE ADDRESS: 306 SOUTH BREARLY STREET, MADISON, WI, 53703

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PROJECT INFORMATION

306 SOUTH BREARLY

306 South Brearly St.
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

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PROJECT MANAGER RS
PROJECT NUMBER 24155-01

SITE PLAN

C300

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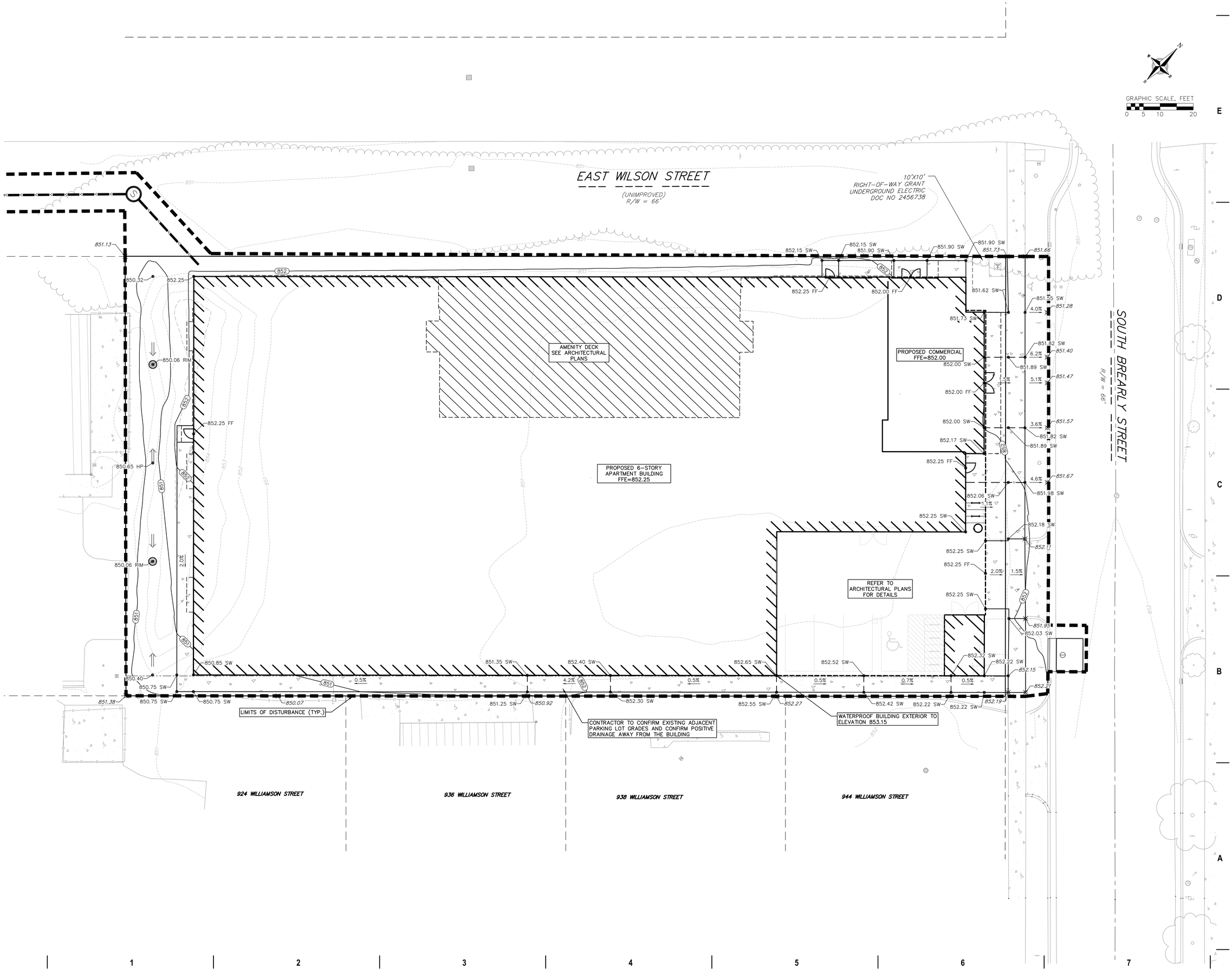

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PROJECT INFORMATION

306 SOUTH
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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

GRADING PLAN

C400

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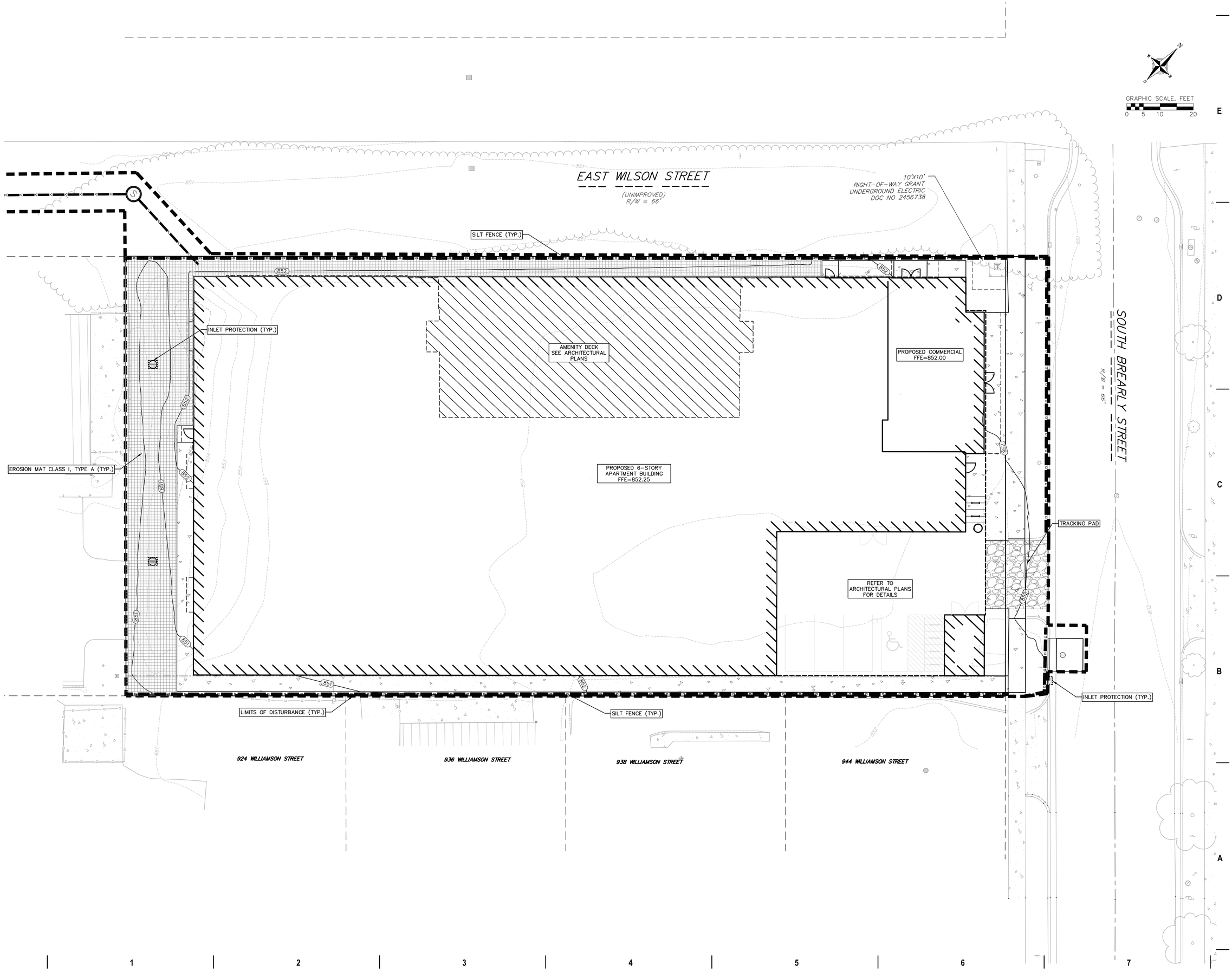

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306 SOUTH
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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

EROSION CONTROL PLAN

C401

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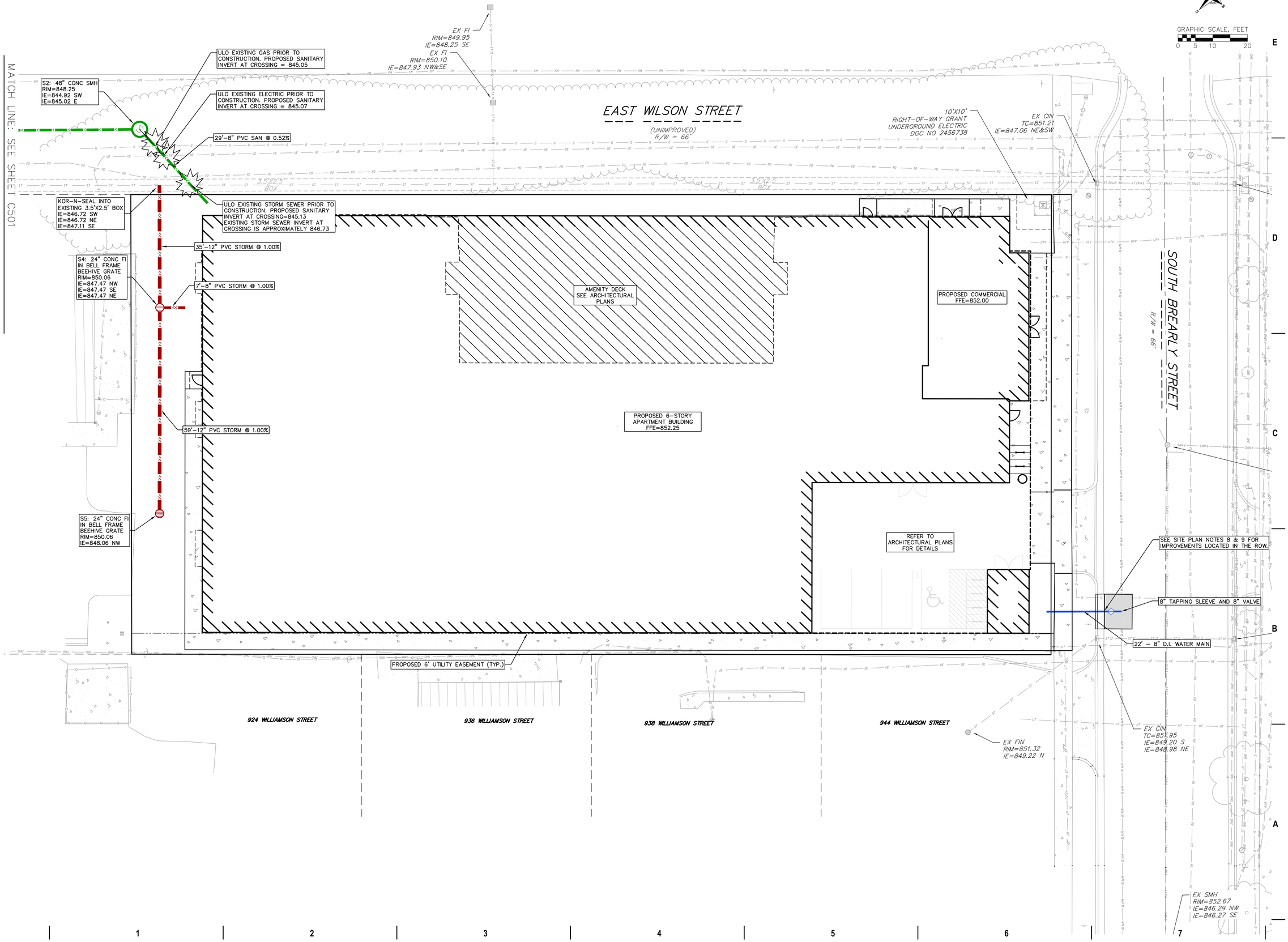

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

UTILITY PLAN

C500

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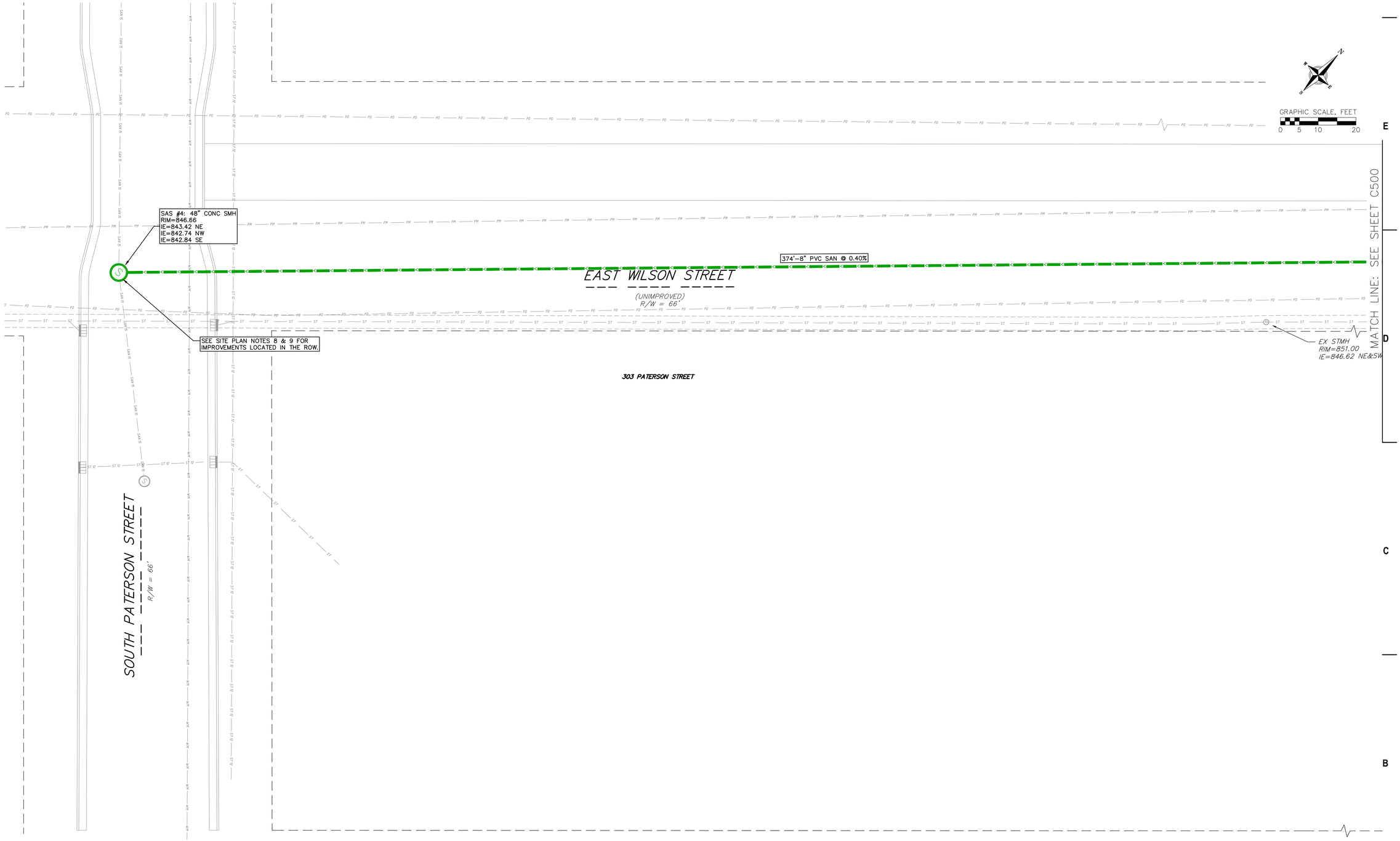

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

OFFSITE SANITARY IMPROVEMENTS

C501

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PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
EVERGREEN TREES				
TH	Thuja occidentalis 'Holmstrup' / Holmstrup Arborvitae	Cont.	5 Gal.	7
DECIDUOUS SHRUBS				
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.	4
Ca2	Ceanothus americanus / New Jersey Tea	Cont.	3 Gal.	9
Ld	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.	2
EVERGREEN SHRUBS				
Bg	Buxus x 'Green Mountain' / Green Mountain Boxwood	Cont.	5 Gal.	6
PERENNIALS SUN				
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.	28
Ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	16

CONCEPT PLANT SCHEDULE

GREEN ROOF PLANTING #1	597 sf
Allium cernuum / Nodding Onion	74
Bouteloua curtipendula / Side Oats Grama	248
Carex bicknellii / Prairie Sedge	248
Carex brevior / Oval Sedge	620
Coreopsis palmata / Stiff Tickseed	99
Echinacea pallida / Pale Purple Coneflower	99
Geum triflorum / Prairie Smoke	74
Liatris aspera / Rough Blazing Star	99
Rudbeckia hirta / Black-eyed Susan	50
Schizachyrium scoparium / Little Bluestem	248
Sporobolus heterolepis / Prairie Dropseed	620

GREEN ROOF PLANTING #2	830 sf
Carex brevior / Oval Sedge	690
Eragrostis spectabilis / Purple Lovegrass	518
Koeleria macrantha / Prairie Junegrass	173
Schizachyrium scoparium / Little Bluestem	345
Sporobolus heterolepis / Prairie Dropseed	1,726

GROUNDCOVER #1	251 sf
Anemone canadensis / Canadian Anemone	15
Carex albicans / White-tinged Sedge	60
Carex pensylvanica / Pennsylvania Sedge	37
Carex rosea / Rosy Sedge	113
Echinacea pallida / Pale Purple Coneflower	19
Liatris aspera / Rough Blazing Star	23
Lupinus perennis / Wild Lupine	15
Sporobolus heterolepis / Prairie Dropseed	94

PLANT MATERIAL NOTES:

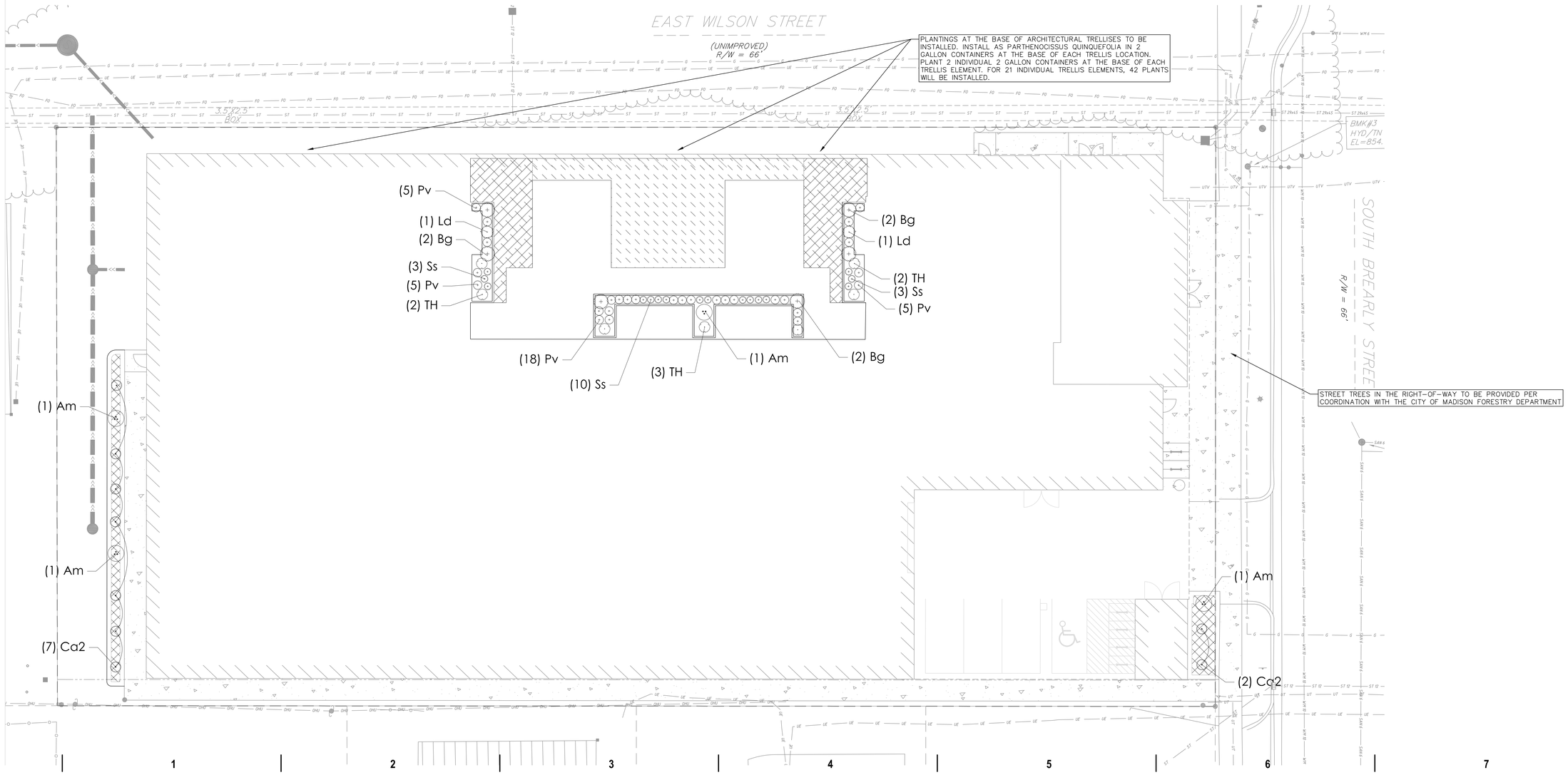
1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
5. EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
3. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
4. LANDSCAPE BEDS AND SEEDED AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 4"x14" OR EQUAL, COLOR BLACK ANODIZED.

SEEDING AND PLUG PLANTING NOTES:

1. ALL UNLABELED DISTURBED AREAS AND AREAS SHOWN AS TURF GRASS TO BE SEEDED WITH 'MADISON PARKS' SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"–6".) PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
2. INSTALL GROUNDCOVERS (GC) AS 2.5" PLUGS OR EQUAL (QUANTITY OF PLANTS SHOWN IN CONCEPT SCHEDULE IS EQUAL TO QUANTITY OF PLUGS). PLUGS TO BE INSTALLED 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES AS SHOWN IN THE CONCEPT PLANT SCHEDULE THROUGHOUT PLANTING. PLUG NUMBERS ARE APPROXIMATE BASED ON AREA, CONTRACTOR TO CONFIRM QUANTITIES. QUANTITIES IN SCHEDULE REPRESENT TOTAL PLUGS PER SPECIES FOR ALL GROUNDCOVER AREAS SHOWN. EACH AREA TO RECEIVE A REPRESENTATIVE FRACTION OF PLUGS BASED ON THE SQUARE FOOTAGE OF EACH RESPECTIVE PLANTING LOCATION SPECIFIED. WHERE SHRUBS/TREES ARE SHOWN WITHIN GROUNDCOVER AREAS, SUBSTITUTE SHRUB/TREE FOR PLUG AND SPACE SURROUNDING PLUGS 12" FROM SHRUB/TREE ROOT MASS. PATTERN ACCORDING. WHERE PLANTINGS ABUT WALKWAYS AND STRUCTURES, MAINTAIN A 12" BORDER OF MULCH CONTAINING NO PLUGS. APPLY 1/2" WATER DAILY FOR 4 WEEKS FOLLOWING INSTALLATION. APPLY AN INITIAL APPLICATION OF PRE-EMERGENT HERBICIDE PER MANUFACTURER'S INSTRUCTIONS AND STATE REGULATIONS, REPEAT APPLICATIONS THROUGHOUT ESTABLISHMENT PERIOD PER MANUFACTURER'S RECOMMENDATIONS. APPLY 3" OF SHREDDED HARDWOOD MULCH AT TIME OF PLANTING.
3. INSTALL GREEN ROOF PLANTINGS AS PLUGS (QUANTITY OF PLANTS SHOWN IN CONCEPT SCHEDULE IS EQUAL TO QUANTITY OF PLUGS). PLUGS TO BE INSTALLED 6" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING A REPRESENTATIVE RATIO OF SPECIES RESPECTIVELY THROUGHOUT PLANTING. APPLY 1" OF WATER DAILY FOR TWO WEEKS FOLLOWING INSTALLATION. AREAS ARE TO BE MAINTAINED AS A LANDSCAPE BED FREE OF WEEDS FOR THREE YEARS.



GRAPHIC SCALE, FEET
0 10 20 40

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PROJECT INFORMATION

306 SOUTH BREARLY

306 South Brearly St.
Madison, WI 53703

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KEY PLAN

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

LANDSCAPE PLAN

L100

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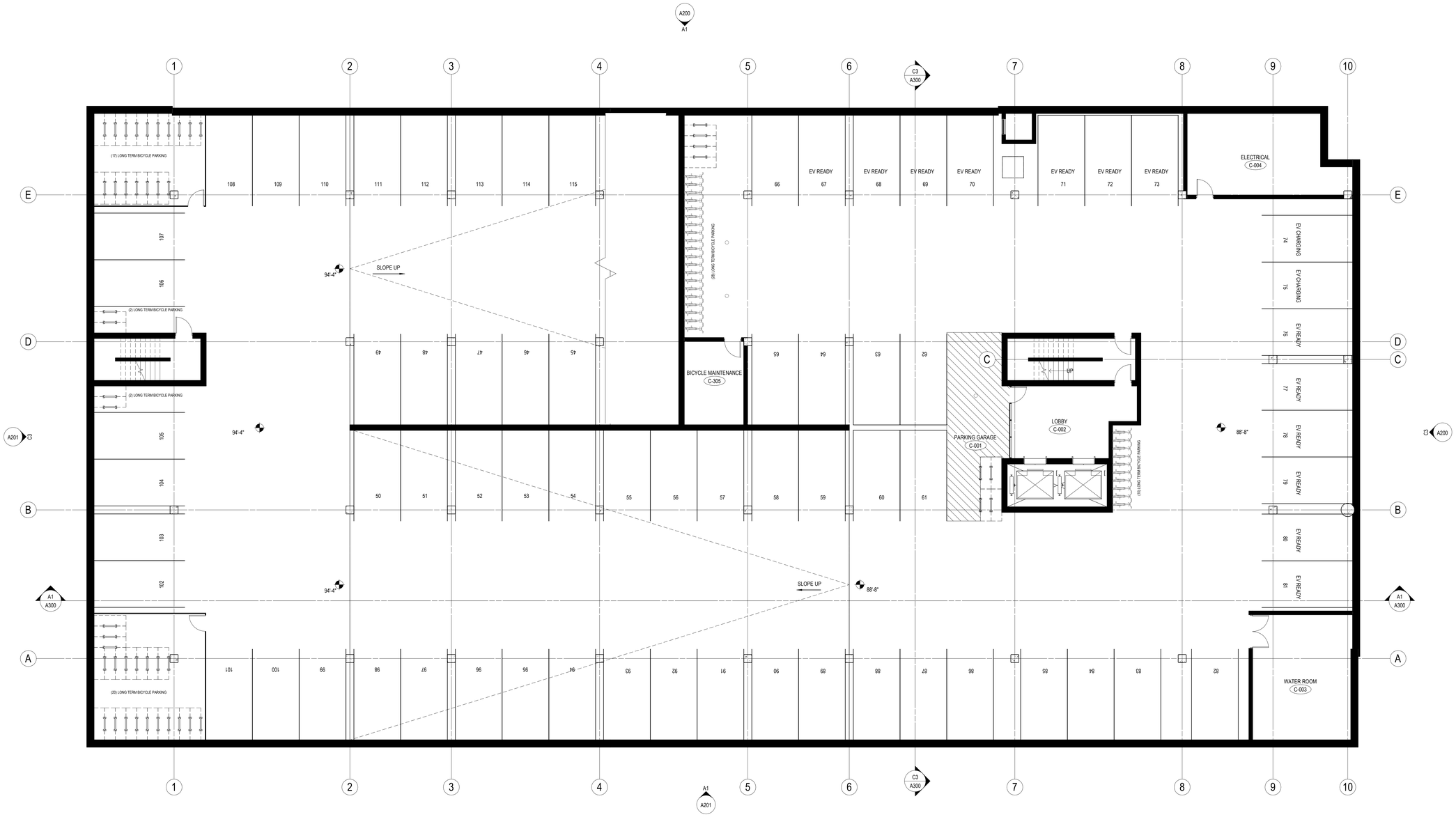

TRUE PLAN

A1 LL FLR PLAN

1/8" = 1'-0" | A100

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PROJECT INFORMATION

306 SOUTH BREARLY

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PROJECT NUMBER	24155-01

LL FLR PLAN

A100

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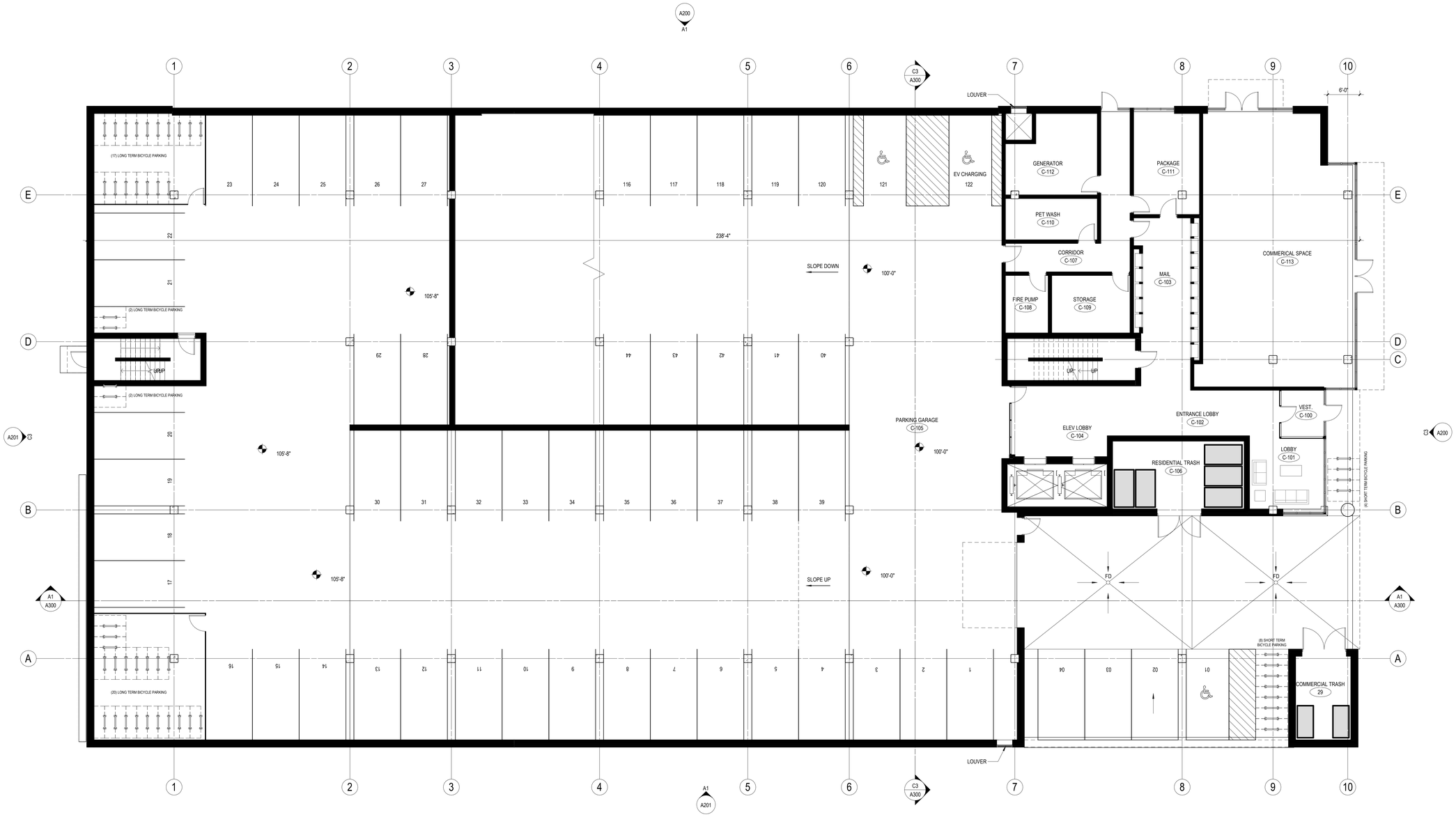

TRUE N | PLAN N

A1 1ST FLR PLAN
1/8" = 1'-0" | A101

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306 SOUTH
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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

1ST FLR PLAN

A101

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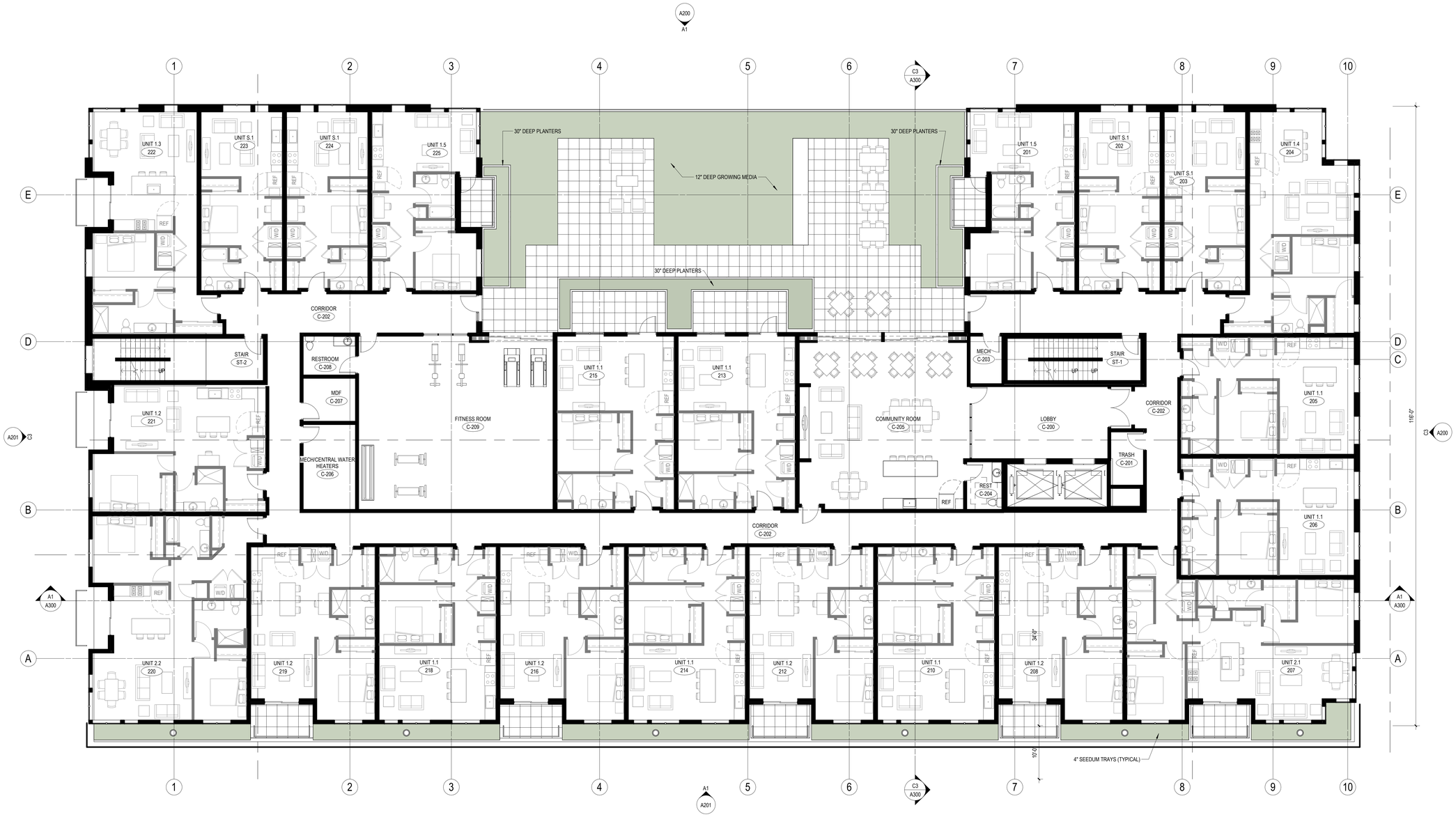
UNIT MATRIX				
UNIT TYPE	STUDIO	1BR	2BR	
Unit Proposed %	22%	68%	10%	
	Units/Floor			Total/Floor
1ST Floor	0	0	0	0
2ND Floor	4	16	2	22
3RD Floor	5	18	2	25
4TH Floor	5	18	2	25
5TH Floor	6	15	3	24
6th Floor	6	15	3	24
Proposed Units	26	82	12	**120**
Number of Beds	26	82	24	**132**



TRUE N | PLAN N

A1 2ND FLR PLAN
1/8" = 1'-0" | A102

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PROJECT MANAGER	RS
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2ND FLR PLAN

A102

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UNIT MATRIX				
UNIT TYPE	STUDIO	1BR	2BR	
Unit Proposed %	22%	68%	10%	
	Units/Floor			Total/Floor
1ST Floor	0	0	0	0
2ND Floor	4	16	2	22
3RD Floor	5	18	2	25
4TH Floor	5	18	2	25
5TH Floor	6	15	3	24
6th Floor	6	15	3	24
Proposed Units	26	82	12	**120**
Number of Beds	26	82	24	**132**

A1 3RD FLR PLAN
1/8" = 1'-0" | A103

TRUE PLAN

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PROJECT MANAGER	RS
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3RD FLR PLAN

A103

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UNIT MATRIX				
UNIT TYPE	STUDIO	1BR	2BR	
Unit Proposed %	22%	68%	10%	
	Units/Floor			Total/Floor
1ST Floor	0	0	0	0
2ND Floor	4	16	2	22
3RD Floor	5	18	2	25
4TH Floor	5	18	2	25
5TH Floor	6	15	3	24
6th Floor	6	15	3	24
Proposed Units	26	82	12	**120**
Number of Beds	26	82	24	**132**

TRUE N PLAN N

A1 4TH FLR PLAN
1/8" = 1'-0" | A104

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PROJECT MANAGER	RS
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4TH FLR PLAN

A104

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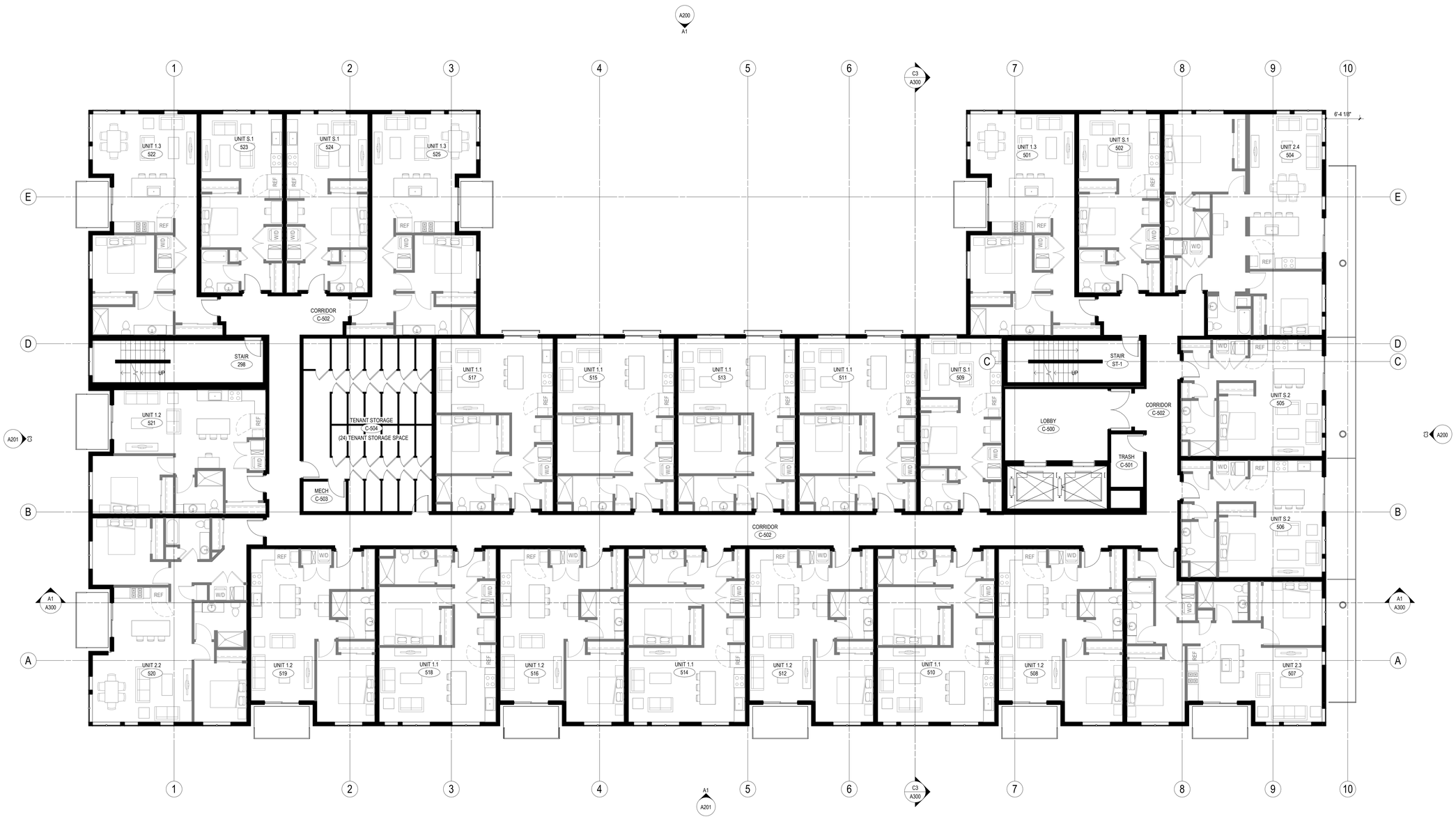
UNIT MATRIX				
UNIT TYPE	STUDIO	1BR	2BR	
Unit Proposed %	22%	68%	10%	
	Units/Floor			Total/Floor
1ST Floor	0	0	0	0
2ND Floor	4	16	2	22
3RD Floor	5	18	2	25
4TH Floor	5	18	2	25
5TH Floor	6	15	3	24
6th Floor	6	15	3	24
Proposed Units	26	82	12	**120**
Number of Beds	26	82	24	**132**



TRUE N PLAN N

A1 5TH FLR PLAN
1/8" = 1'-0" | A105

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5TH FLR PLAN

A105

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UNIT MATRIX				
UNIT TYPE	STUDIO	1BR	2BR	
Unit Proposed %	22%	68%	10%	
	Units/Floor			Total/Floor
1ST Floor	0	0	0	0
2ND Floor	4	16	2	22
3RD Floor	5	18	2	25
4TH Floor	5	18	2	25
5TH Floor	6	15	3	24
6th Floor	6	15	3	24
Proposed Units	26	82	12	**120**
Number of Beds	26	82	24	**132**

TRUE N PLAN N

A1 6TH FLR PLAN
1/8" = 1'-0" | A106

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6TH FLR PLAN

A106

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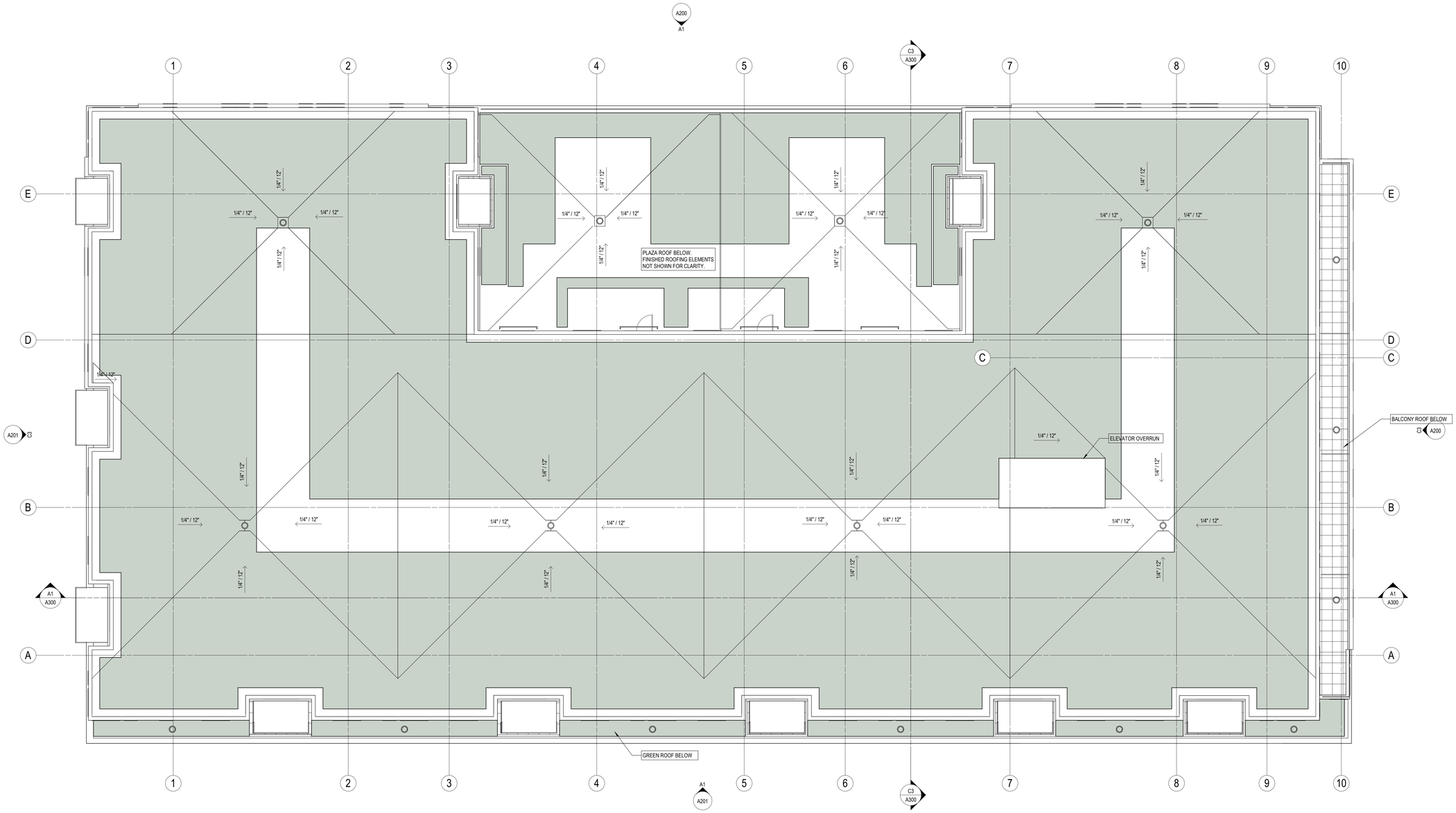

TRUE N | PLAN N

A1 ROOF PLAN
1/8" = 1'-0" | A107

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ROOF PLAN

A107

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C3 EAST
1/8" = 1'-0" | A200

A1 NORTH
1/8" = 1'-0" | A200

1 2 3 4 5 6 7

E D C B A

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EXTERIOR ELEVATIONS

A200

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C3 WEST
1/8" = 1'-0" | A201

A1 SOUTH
1/8" = 1'-0" | A201

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EXTERIOR ELEVATIONS

A201

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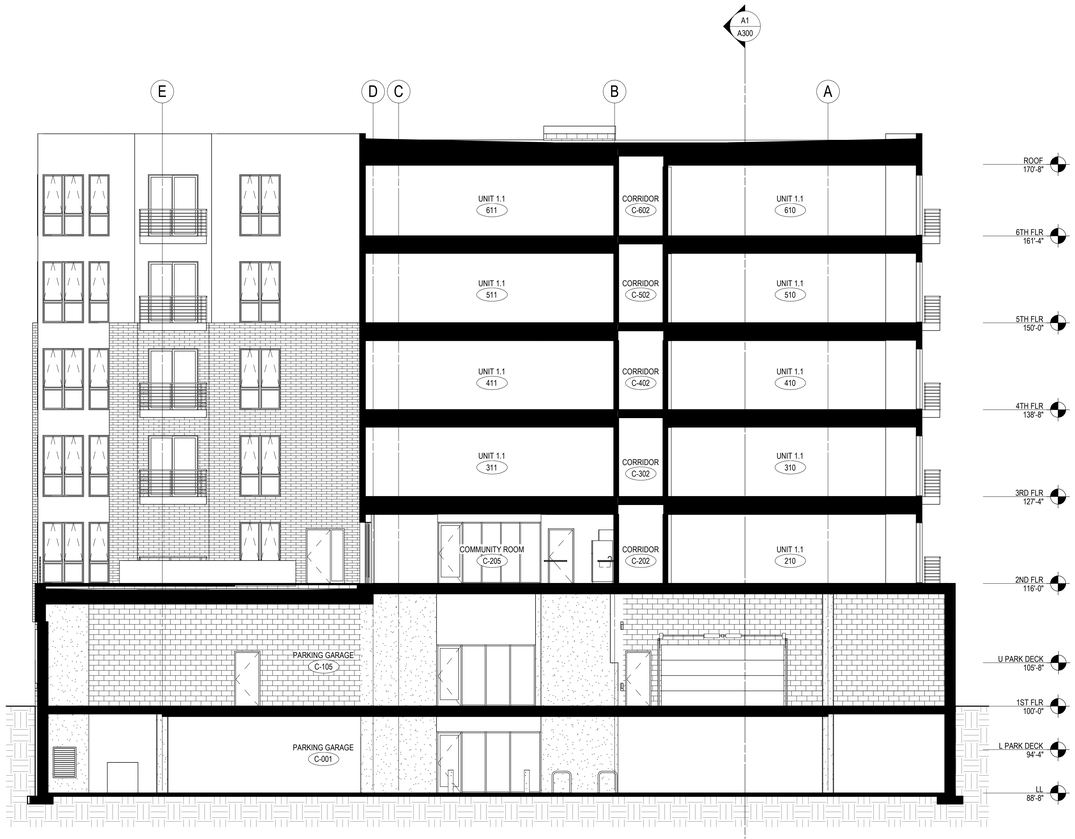
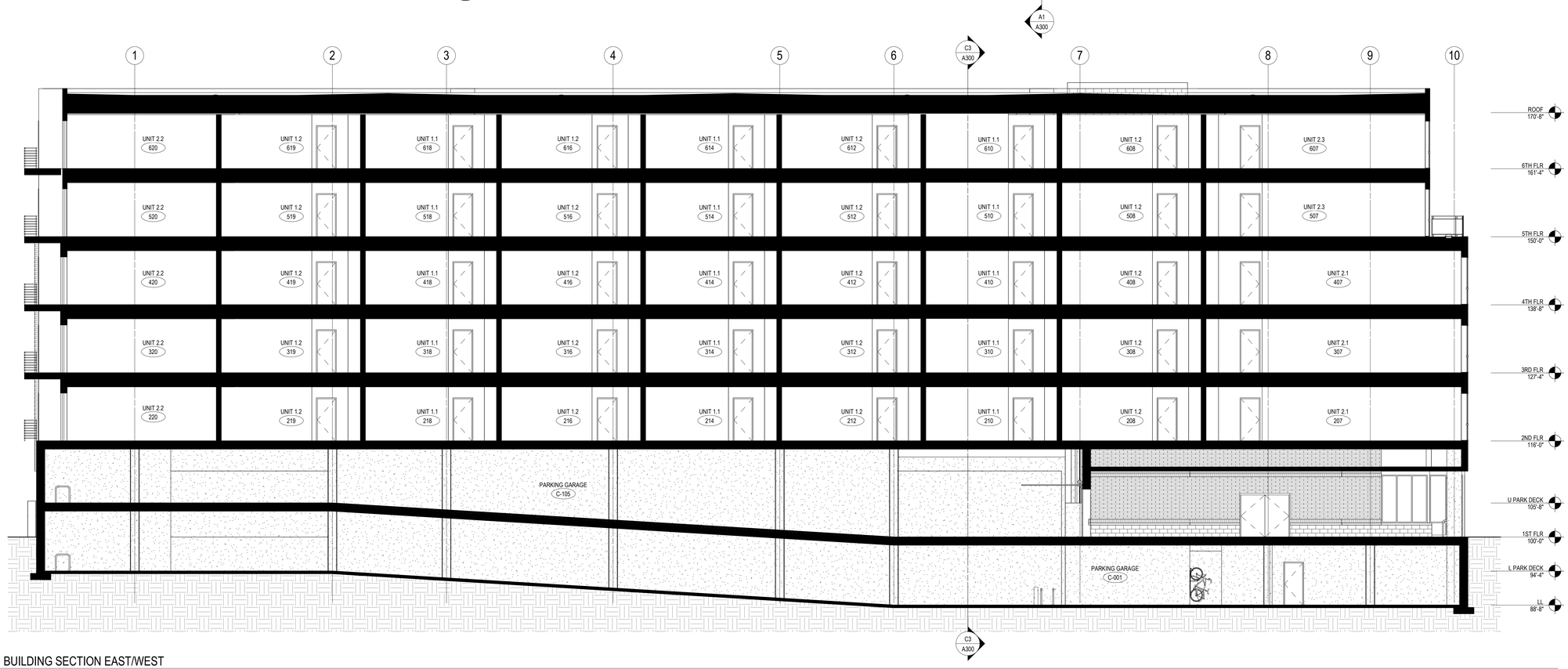


C3 BUILDING SECTION NORTH/SOUTH
1/8" = 1'-0" | A300



A1 BUILDING SECTION EAST/WEST
1/8" = 1'-0" | A300

KEYNOTES PER SHEET

eua
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PROJECT INFORMATION

306 SOUTH BREARLY

306 South Brearly St.
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

BUILDING SECTIONS

A300

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PROJECT INFORMATION

306 SOUTH
BREARLY

306 South Brearly St.
Madison, WI 53703

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

3D RENDERINGS

A900

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PROJECT INFORMATION

306 SOUTH
BREARLY

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Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

3D RENDERINGS

A901

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PROJECT INFORMATION

306 SOUTH
BREARLY

306 South Brearly St.
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

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PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

3D RENDERINGS

A902

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SOUTH CORNER

EAST CORNER

WEST CORNER

NORTH CORNER

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PROJECT INFORMATION

306 SOUTH
BREARLY

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Madison, WI 53703

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10/07/2024	PLAN COMMISSION SUBMITTAL

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PROJECT MANAGER RS

PROJECT NUMBER 24155-01

EXISTING BUILDING
EXTERIOR PHOTOS

A910

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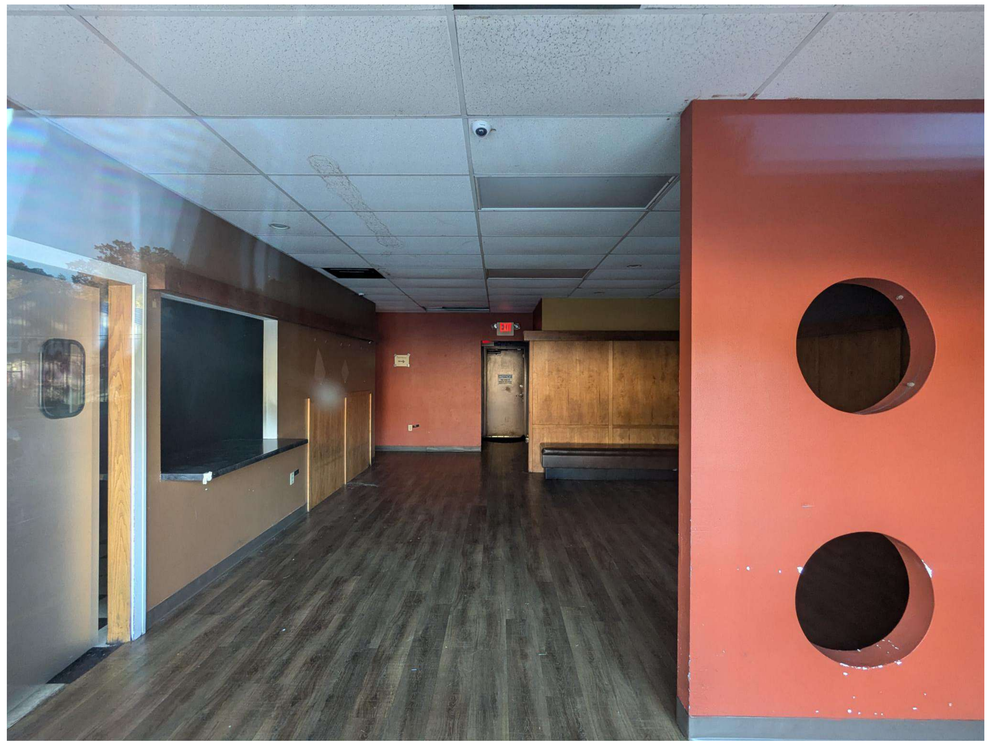
1 2 3 4 5 6 7

TENANT SPACE 3



TENANT SPACE 2

TENANT SPACE 1

TENANT SPACE LOCATIONS

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PROJECT INFORMATION

306 SOUTH
BREARLY

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Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

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PROJECT MANAGER RS

PROJECT NUMBER 24155-01

EXISTING BUILDING
INTERIOR PHOTOS

A911

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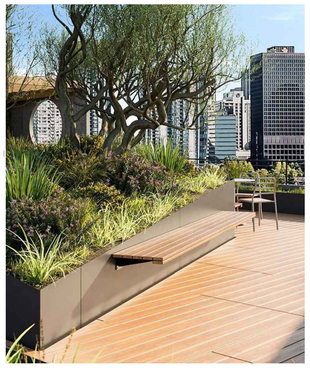
1 2 3 4 5 6 7

E D C B A

PLANTERS



METAL MESH GREEN SCREEN

FIBER CEMENT SIDING - 2

VINTAGEWOOD
Cedar

FIBER CEMENT SIDING - 1

VINTAGEWOOD
Spruce

FIBERGLASS WINDOWS & PATIO DOORS

MASONRY

Arctic White

Size Pictured:
2-1/4 Norman Face Brick

METAL SOFFIT (FIRST FLOOR CANOPY)

Emperor 4 x 4 x 16

Super Emperor 4 x 8 x 16

METAL STOREFRONT (FIRST FLOOR RETAIL)

METAL RAILINGS (TYPICAL - BLACK)

GLASS RAILINGS (EAST ELEVATION)

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PROJECT INFORMATION

306 SOUTH
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PROJECT MANAGER RS
PROJECT NUMBER 24155-01

MATERIAL BOARD

A920

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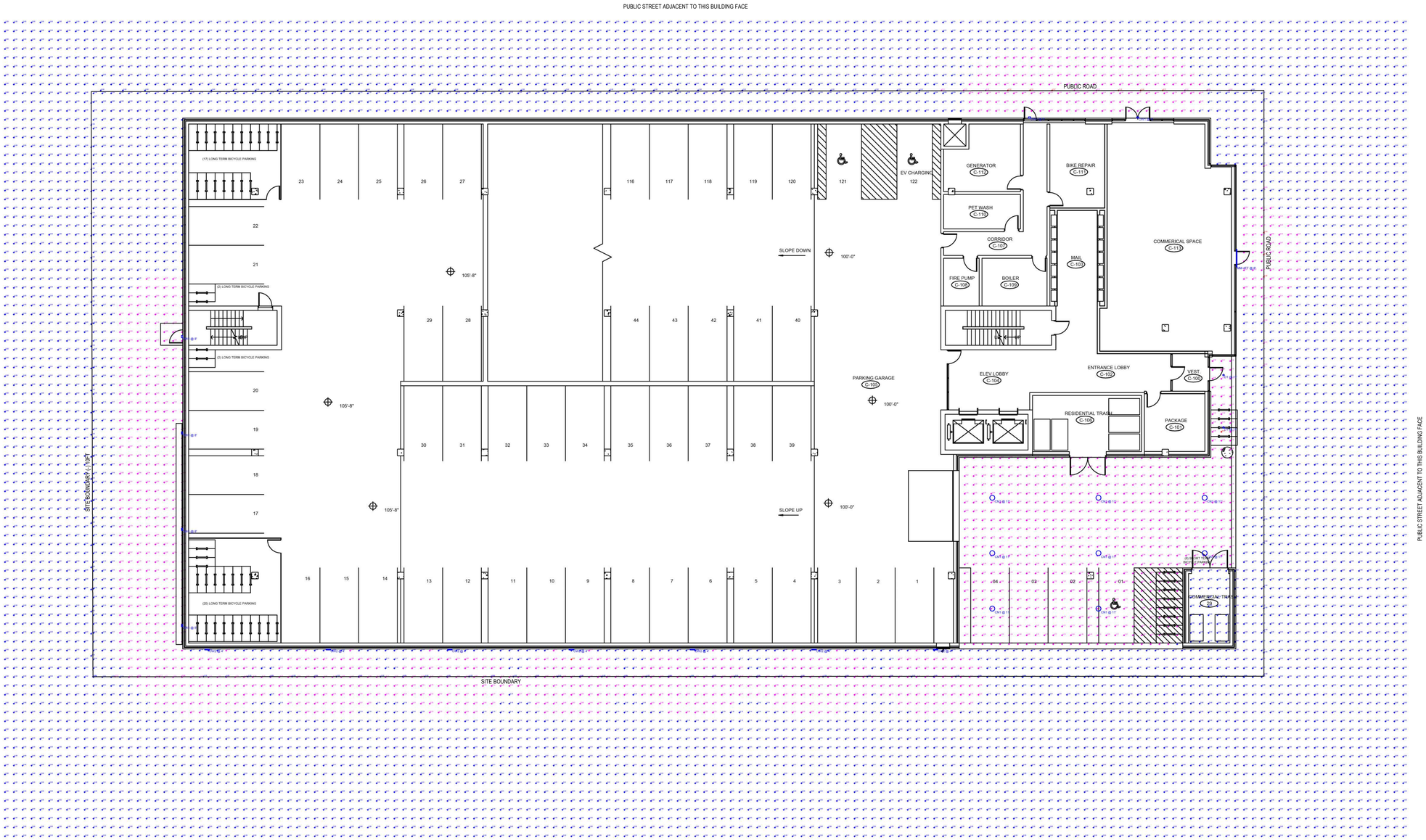

Schedule						
Label	QTY	Manufacturer	Catalog	Lamp Output	LLF	Input Power
CN1	8	Lithonia Lighting	VCPG LED P1 XXK T5W MVOLT	3681	0.9	26.57
D1	2	Lithonia Lighting	LDN4 ALO1 (750LM) SWW1 AR LSS 80CRI	888	0.9	8.95
MM-4FT	1	EXTANT LIGHTING, LLC	HTG-1W-MM-TD-DT-4FT-DLL-MEOBW-XX-VU-D-XX	3745	0.9	37.84
OW1	6	Lithonia Lighting	WDGE1 LED P0 XXK 80CRI VW	694	0.9	6.7947
OW2	7	Hydrel	HSL13 12LONG L LED XXK MVOLT	383	0.9	10.6

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Under Canopy_At Grade	+	5.50 fc	8.48 fc	1.50 fc	5.7:1	3.7:1
Boundary_At 4FT Above Grade	+	0.08 fc	2.51 fc	0.00 fc	N/A	N/A

A1 SITE PHOTOMETRIC PLAN - 1ST FLR
12" = 1'-0" | ES100

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PROJECT INFORMATION

306 SOUTH BREARLY

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Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

WISCONSIN MATTHEW P. MAREK E-38348 MADISON WI PROFESSIONAL ENGINEER
10-4-24

SHEET INFORMATION

PROJECT MANAGER RS
PROJECT NUMBER 24155-01

SITE LIGHTING PHOTOMETRIC PLAN - 1ST FLR

ES100

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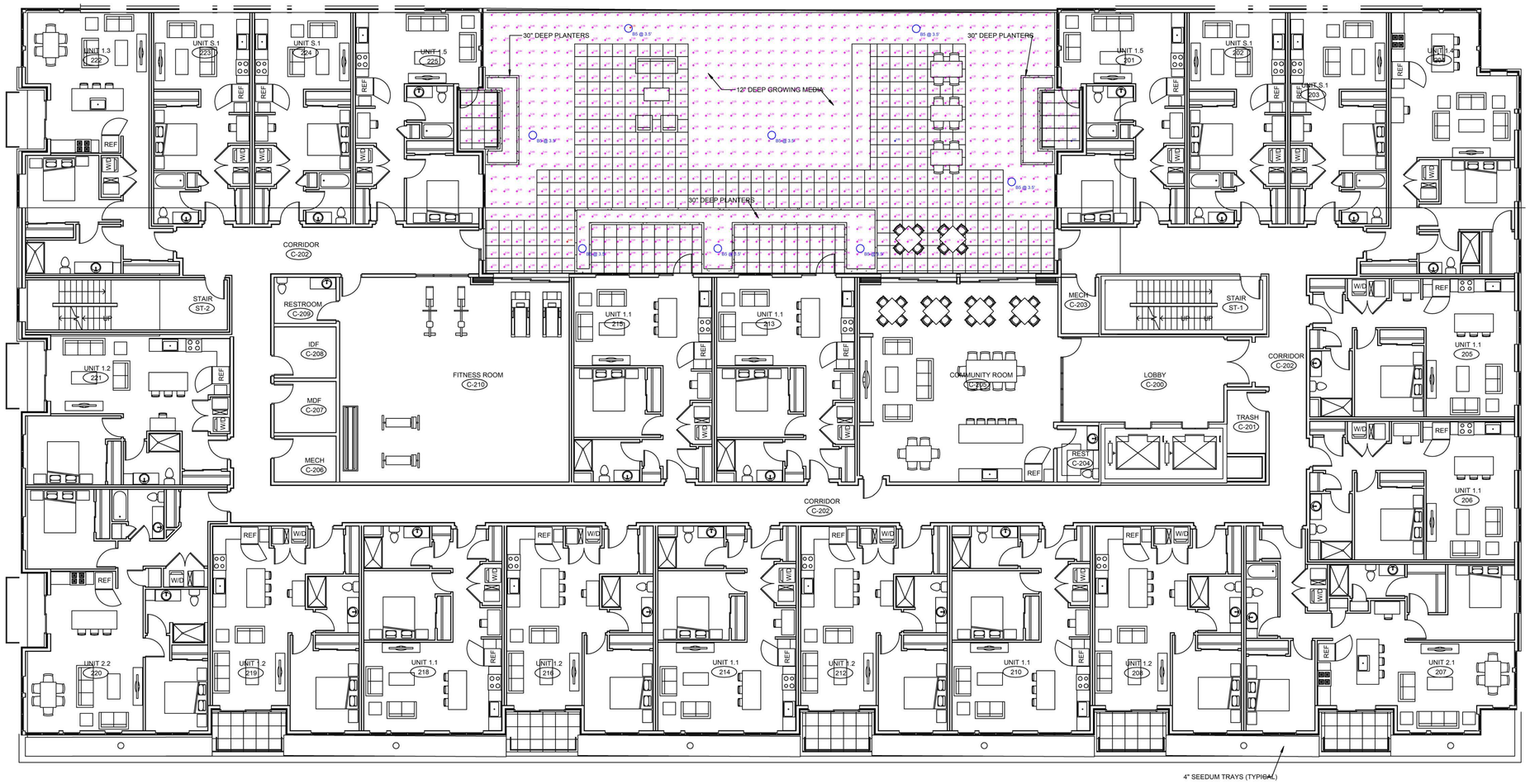

Schedule

Label	QTY	Manufacturer	Catalog	Lamp Output	LLF	Input Power
B5	8	U.S. ARCHITECTURAL LIGHTING	PACB-PLED-VSQ-W-20LED-175mA-XXK	82	0.9	11.7

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Paved Area_At Grade	+	1.98 fc	6.08 fc	0.50 fc	12.2:1	4.0:1

A1 SITE PHOTOMETRIC PLAN - 2ND FLR
1/2" = 1'-0" | ES101

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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

SHEET INFORMATION

WISCONSIN MATTHEW P. MAREK E-38348 MADISON WI PROFESSIONAL ENGINEER 10-4-24

PROJECT MANAGER RS
PROJECT NUMBER 24155-01

SITE LIGHTING PHOTOMETRIC PLAN - 2ND FLR

ES101

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SOLID STATE LIGHTING

Pacifica - BOLLARD

CONTEMPORARY ROUND FORM BOLLARD

PROJECT NAME: B5

PROJECT TYPE:

Optical Housing
Contemporary, double shut poptop site bollard. All housing components are cast from marine grade aluminum alloy A356. Cast in place, silicone gasketed internal heatsink provides direct mounting of the LED modules and thermal control for long life and efficiency. Bollard Top is removable for LED Module access. Bollard head is removable for electrical and driver access. All hardware is stainless steel.

Shaft & Base
Bollard Shaft is heavy wall extruded 6063-T6 aluminum alloy. Base is heavy cast aluminum. All hardware is stainless steel and tamper resistant. Standard shaft height provides a 83.5" overall height, consult factory for custom heights.

Anchor Bolts
Four 3/4" x 17" galvanized anchor bolts with couplings, leveling nuts, washers, template, and stainless bolts.

PLED™ Optics
Entities LED is one annoyed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics provide optimum light output and distribution. Each LED has its own optic for optimum distributions, a microreflector inside the refractor re-directs the house side emitter output towards the street side, maximizing usable light. Optional house side shields are available for "dark sky" applications. Refer to photometric data for performance details. Each LED refractor is sealed to the PCB (even on emitter pins) and refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard roadway distributions. Panels are field replaceable and field rotatable in 90° increments. Replacement panels are provided above each panel for fast field replacement. All future optical options will provide a "drill" no upright optical package and is one dark sky friendly.

LED Emitters
The thermal management is designed to maintain LED operating temperature below 90 °C and below the manufacturers thermal max of 130 °C for long life, high lumen maintenance and color stability. High Power White LEDs are driven between 350mA and 870mA for a maximum output of 2.5 Watts nominal. LED are available in standard Warm White (2700K & 3000K), Neutral White (4000K), or Cool White (5000K). All Bollard LED's have a minimum of 70,000 hours to L70 life at the drive current options. Lumen Maintenance of 0K of 100,000 hours (TM-21 calculated at for fast Time).

True Amber LED's TRA-True Amber LED's emit light in the amber spectral range with a dominant wavelength of 588±6nm. True Amber has negligible blue light and is suitable for wildlife.

LED Driver
Constant current electronics with a power factor of > 90 and a minimum operating temperature of -40°C. The LED driver is rated for 50,000 hours of operation. Wire leads facilitate wiring between the driver and optical array. Drivers accept line input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (5 - 10V dimmable driver is standard). Driver has a minimum of 2KV internal surge protection. Luminaire supplied with a separable 20KV surge protector for field installation.

Finish
Polyester powder coat incorporates four step iron phosphate process to preheat metal surface for maximum adhesion. Top coat is baked of 400°F for maximum hardness and exterior durability.

U.L. Listed for Wet Location

2023087

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U.S. ARCHITECTURAL DIVISION

PACB SERIES - PLED

PRODUCT CONFIGURATIONS

EPA & WEIGHT

ORDERING INFORMATION

Spec/Order Example: PACB(R)D(N)1/20LED-350mA/5KT/Bud/DF/V

Luminaire	Optics	# of LEDs	LED	Voltage	Finish	Options
PACB	PLED-F1 (Medium Type) PLED-F2 (Wide Type) PLED-F3 (Type III) PLED-F4 (Type IV) PLED-F5 (Type V) PLED-F6 (Type VI)	20LED	LEDs: 530mA, 700mA, 350mA Color Temp: CCT: 27K (2700K), 30K (3000K), 40K (4000K), 50K (5000K), TRA (True Amber) NOTES: 1) Consult factory for other CCT, CRI, & Drive Current options	120V (Standard), 347 347V, 480 480V	Black RAL-9005-T, White RAL-9003-T, Gray RAL-7004-T, Dark Bronze RAL-8019-T, Bronze RAL-8017-T, Green RAL-6005-T, Premium Finishes: Rust, White RAL-9003-T, Gray RAL-7004-T, Bronze RAL-8017-T, For smooth finish add suffix "S" to standard finish (Example: RAL-9005-TS) Consult factory for custom colors	CA Internal House Side Shield (not an option for Type V Optic) HS-PLED Half House Side Shield (Available: F4,F5,F6) HS-PLED RLSM Photo Cell + Voltage (Available: 120,347,480) PCuV Single Fuse (Available: 120,347,480) SFuV Double Fuse (Available: 480) DFuV

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U.S. ARCHITECTURAL DIVISION

PACB SERIES - PLED

PHOTOMETRIC DATA GUIDE - LUMEN TABLES (PACB-PLED)

PACB-PLED

LED Count	Drive Current	Watts	Optic Type	27K (2700K - TRC70)			30K (3000K - TRC70)			40K (4000K - TRC70)			50K (5000K - TRC70)			Amber Temp	TRA (TRUAmber)		
				LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING		LUMENS	LPW	BUG RATING
20	175	11.2	F	1326	118	B1-U0-G1	1407	125	B1-U0-G1	1567	151	B1-U0-G1	1838	137	B1-U0-G1	3K	636	71	B0-U0-G0
			FW	1326	118	B1-U0-G1	1407	125	B1-U0-G1	1567	151	B1-U0-G1	1838	137	B1-U0-G1		1326	118	B1-U0-G1
			FAW	1305	117	B1-U0-G1	1727	154	B1-U0-G1	1795	164	B1-U0-G1	1971	146	B1-U0-G1		647	73	B0-U0-G0
			W-W	1326	117	B0-U0-G1	1405	127	B0-U0-G1	1573	143	B0-U0-G1	1737	149	B1-U0-G1		802	67	B0-U0-G1
			V	1642	148	B1-U0-G1	1714	156	B1-U0-G1	1785	163	B1-U0-G1	1964	154	B1-U0-G1		645	71	B0-U0-G0
			VLVT	1496	128	B0-U0-G1	1561	135	B0-U0-G1	1626	139	B1-U0-G1	1491	145	B1-U0-G1		585	65	B0-U0-G1
			VLWW	1326	118	B1-U0-G1	1407	125	B1-U0-G1	1567	151	B1-U0-G1	1838	137	B1-U0-G1		636	71	B0-U0-G0
			VWAW	1403	140	B1-U0-G1	1757	150	B1-U0-G1	1845	164	B1-U0-G1	1963	164	B1-U0-G1	N/A	609	73	B1-U0-G0
			ASY	1342	141	B1-U0-G1	1714	157	B1-U0-G1	1784	163	B2-U0-G1	1897	159	B2-U0-G1		642	71	B1-U0-G1
			V-HS	1740	150	B0-U0-G0	1250	156	B0-U0-G0	1293	171	B0-U0-G0	1349	173	B0-U0-G0		800	82	B0-U0-G0
			ASYHS	1211	159	B0-U0-G0	1350	178	B0-U0-G0	1314	172	B0-U0-G0	1366	177	B0-U0-G0		673	53	B0-U0-G0
			W-W-HS	1334	150	B0-U0-G0	1356	157	B0-U0-G0	1349	172	B0-U0-G0	1390	178	B0-U0-G0		671	50	B0-U0-G0
			V-W-HS	1178	151	B0-U0-G1	1229	155	B0-U0-G1	1260	166	B0-U0-G1	1332	174	B0-U0-G1		661	51	B0-U0-G1
			ASYW-HS	1178	150	B0-U0-G1	1229	156	B0-U0-G1	1260	166	B0-U0-G1	1332	174	B0-U0-G1		661	51	B0-U0-G1
			TVVFHS	1175	150	B0-U0-G1	1228	156	B0-U0-G1	1277	169	B0-U0-G1	1328	174	B0-U0-G1		660	51	B0-U0-G1
20	350	23.6	F	2232	134	B1-U0-G1	2368	142	B1-U0-G1	2638	145	B1-U0-G1	3093	151	B1-U0-G1		1096	90	B0-U0-G0
			FW	2173	134	B1-U0-G1	2311	142	B1-U0-G1	2497	148	B1-U0-G1	2947	150	B1-U0-G1		1104	81	B0-U0-G0
			FAW	2207	136	B1-U0-G1	2446	143	B1-U0-G1	2686	148	B1-U0-G1	3435	134	B1-U0-G1		1115	87	B0-U0-G0
			W-W	2232	134	B1-U0-G1	2368	142	B1-U0-G1	2638	145	B1-U0-G1	3093	151	B1-U0-G1		1096	90	B0-U0-G0
			V	2763	150	B1-U0-G1	2880	157	B1-U0-G1	2931	167	B1-U0-G1	3299	150	B1-U0-G1		1122	87	B0-U0-G0
			VLVT	2899	133	B1-U0-G1	3025	139	B1-U0-G1	3101	139	B1-U0-G1	3277	139	B1-U0-G1		1098	90	B0-U0-G0
			VLWW	2207	141	B0-U0-G0	2472	157	B0-U0-G0	3014	155	B2-U0-G0	3793	139	B2-U0-G0		1157	64	B1-U0-G0
			VWAW	3282	138	B2-U0-G1	3404	144	B2-U0-G1	3546	150	B2-U0-G1	3688	156	B2-U0-G1	18.2	1139	62	B1-U0-G0
			VNLVT	2434	135	B2-U0-G1	2532	141	B2-U0-G1	2667	147	B2-U0-G1	2690	152	B2-U0-G1		1138	67	B1-U0-G1
			V-HS	2308	98	B0-U0-G1	2409	102	B0-U0-G1	2608	106	B0-U0-G1	2698	110	B0-U0-G1		900	48	B0-U0-G0
			ASYHS	2308	98	B0-U0-G1	2409	102	B0-U0-G1	2608	106	B0-U0-G1	2698	110	B0-U0-G1		900	48	B0-U0-G0
			W-W-HS	2202	99	B0-U0-G1	2400	108	B0-U0-G1	2530	107	B0-U0-G1	2636	112	B0-U0-G1		871	45	B0-U0-G0
			V-W-HS	2202	97	B0-U0-G1	2202	101	B0-U0-G1	2481	105	B0-U0-G1	2580	109	B0-U0-G1		794	48	B0-U0-G1
			TVVHS	2009	102	B0-U0-G1	2013	106	B0-U0-G1	2410	111	B0-U0-G1	2732	115	B0-U0-G1		908	46	B0-U0-G1
			ASYTVW	2077	96	B0-U0-G1	2096	101	B0-U0-G1	2475	105	B0-U0-G1	2574	109	B0-U0-G1		792	44	B0-U0-G1

IES file downloads for this product can be found at www.usdg.com/downloads/dac.html

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U.S. ARCHITECTURAL DIVISION

VCPG LED
Parking Garage

Specifications
Diameter: 19"
Height: 3.75" (with wire guard)
Weight (max. with no options): 18 lbs.

A = Capable options indicated by this color background.

Ordering Information

EXAMPLE: VCPG LED V4 P4 40K 70CRI T5M MVOLT SRM DNAXD

VCPG LED Series	LED Light Engine	Package	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting
VCPG LED	V1 1 Engine V4 4 Engine Engine	P1 P2 P3 P4 P5 P7 (with 90 only)	30K 3000K 40K 4000K 50K 5000K	70CRI 80CRI	T1M Type 1, medium T2M Type 2, medium T3M Type 3, medium T4M Type 4, medium T5M Type 5, wide T5W Type 5, wide T5VS Type 5, very wide T6M Type 6, medium T6W Type 6, wide	480VOLT 347 347 480	Shipped included: P4 Pendant mount (cast 2" ø rigid arm length nipple) SRM Surface mount (2" ø rigid arm length nipple) ARM Arm mount (use VCAMA accessory to mount to a wall) Shipped separately: YK Yoke (hardware mount)

Options		Shipped separately
Shipped installed: DMG 0-10V dimming wires pulled out of fixture for control hookup. DCR Dusk to Dawn photocell, 120-277V. SPL3 Surge protection device, 3 kV. PER5 Surge protection device, 5 kV. PER7 Surge protection device, 7 kV. HS Hand-wired socket. SF Single fuse (120, 277, 347V). DF Double fuse (208, 240, 480V). SPCWBP 1000 Cage Pole. L810lm 30w (810 lumens). L1021 72w (1021 lumens). L1850 108w (1850 lumens). SHIELD Glare shield. **Shipped separately:** WG Wire guard. BDS Bird Shroud. HS House Side Shield. BSW Bird Spikes.	**Standalone Sensors/Controls[1]:** NCSENSOR Motion sensor for 8-15' mounting height. Not to be used with other motion sensors. NCSENSOR-FP Motion sensor for 8-15' mounting height, pre-programmed to 70 and 37% light output. PIR9PCSV Motion sensor power for 9-15' mounting height, pre-programmed to 70 and 37% light output. **Networked Sensors/Controls[1]:** NCSENSOR-FTH 0-10V 1-10 dimming output motion sensor for 8-15' mounting height. NCSENSOR-FTHP 0-10V 1-10 dimming output motion sensor for 8-15' mounting height, pre-programmed to 70 and 37% light output. NCSENSOR-FTHPW 0-10V 1-10 dimming output motion sensor for 8-15' mounting height.[2]	**NEMA control:** DWHXD White DNAXD Bronze/ Dark Bronze DDBXD Black Dark bronze Black	**Packaging:** Standard: Individually packaged in a cardboard box. Bulk: Packaged in 10pcs per bulkpack in a carton. Q Unit pack only

Notes
1. Not available in PT package or with HS option.
2. Delay vertical height adjustment. This angle adjustment. Use NCSENSOR-FTHPW to change the factory settings or use a remote control.
3. LPC1 not available with dim-to-off functionality.
4. LPC2 available with dim-to-off option: request.
5. Not available with T5W, T5VS.
6. DMAC and DTAM only valid up to 277 volts.
7. DMAC & DTAM only available with PY4 packages.
8. DMAC options not available with standalone or networked sensors/controls.
9. BDS is only available with PM and PY4 mounting options.
10. Not to be used in tight AIR Normal Power Sensing (NPS) device in the group.

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VCPG LED
Rev. 08/07/24

COMMERCIAL OUTDOOR

Ordering Information Cont.

Accessories

VCPGBUD DWHXD U	Bird Shroud for PM (specify finish)	VCPGWLU	Wire guard
VCPGBUD DDBXD U	Bird Shroud for PY (specify finish)	SQ1U	Quick mount pendant swivel kit, square
VCPGSBRS DWHXD U	Bird Shroud for PM with Up Light (specify finish)	SLR1U	Quick mount pendant swivel kit, round
VCPGSBRS DDBXD U	Bird Shroud for PY with Up Light (specify finish)	VCPGSBRSU U	Bird Spike (specify finish)
VCPGSBRS U	Surface mount kit, with Up Light	VCPGBSBRSU U	Bird Bird wall bracket (specify finish)
VCPGSURM U	Surface mount kit, with Up Light	VCPGHS U	House side shield
VCPGCLSB	Safety cable "LSB"		

Performance Data

Lumen Output Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configuration not shown here.

Distribution Type	Electrical Input	Lumens	Lumens/Watt	Lumens	Lumens/Watt	Lumens	Lumens/Watt	Lumens	Lumens/Watt
P1	27W	T1M	3,341	125	3,675	137	3,825	142	3,976	148
		T2M	3,628	136	3,770	140	3,836	143	3,917	147
		T3M	3,745	139	3,887	144	3,947	146	3,988	148
		T4M	3,864	143	3,928	146	3,974	147	4,009	149
		T5M	3,877	144	3,931	146	3,977	147	4,014	149
		T5W	3,877	144	4,009	149	4,076	151	4,094	152
		T5VS	4,026	136	4,143	140	4,558	145	3,987	147
		T6M	3,741	139	4,105	152	4,072	151	4,168	154
		T6W	4,127	138	4,127	154	4,174	138	4,191	155
		LR6	4,402	152	4,394	152	4,411	153	4,417	153
P2	54W	T1M	5,898	114	5,952	117	6,187	142	6,206	115
		T2M	6,876	135	6,855	135	6,872	134	6,723	136
		T3M	5,822	114	5,978	118	6,283	115	6,304	116
		T4M	6,933	136	6,933	136	6,933	136	6,933	136
		T5M	6,933	136	6,933	136	6,933	136	6,933	136
		T5W	7,201	131	7,273	133	7,274	146	7,349	142
		T5VS	7,478	131	7,456	136	7,558	141	8,005	144
		T6M	7,416	132	7,397	135	7,398	140	8,023	141
		T6W	7,148	137	7,236	141	7,249	142	7,737	137
		LR6	7,238	129	7,418	132	7,373	137	7,634	139
P3	80W	T1M	8,280	104	8,280	104	8,280	104	8,280	104
		T2M	10,340	131	10,313	130	10,070	134	11,141	136
		T3M	10,230	124	10,473	128	10,087	131	11,060	133
		T4M	8,815	120	10,899	123	10,896	128	10,665	130
		LR6	9,978	121	10,226	124	10,629	129	10,790	131
P4	108W	T1M	12,878	120	12,741	117	12,774	117	13,437	120
		T2M	13,015	121	13,338	124	13,342	124	14,086	131
		T3M	13,257	122	13,257	122	13,257	122	13,279	122
		T4M	13,451	116	13,744	119	13,768	123	13,485	125
		T5M	13,451	116	13,744	119	13,768	123	13,485	125
		T5W	15,305	131	15,887	138	16,211	140	16,776	143
		T5VS	15,448	126	16,047	130	16,411	135	16,457	137
		T6M	15,448	126	15,855	129	16,294	134	16,828	136

Up-light Lumen Output

Up-light Option	Lumens	Lumens
UPL1	6,3W	5W
UPL2	8,5W	7W

Lumen Multiplier for BOCRI

CCT	Multiplier
30K	0.926
35K	0.945
40K	0.967
50K	0.983

Lumen Ambient Temperature (LAT) Multiplier
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0° C	1.03
10° C	1.02
20° C	1.01
25° C	1.00
30° C	0.99
40° C	0.98

Projected LED Lumen Maintenance
Data references the anticipated performance projections for the platform, based on 25°C ambient, based on 10,000 hours of LM-80 testing (interpolated in accordance with TM-21-11).
To calculate L87, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.97	0.94

Electrical Load

System Watts	Current (A) 120	208	240	277	347	480
P1	27W	0.27	0.15	0.12	0.10	0.08
P2	54W	0.48	0.16	0.19	0.13	0.10	0.08
P3	80W	0.67	0.37	0.34	0.26	0.15	0.08
P4	108W	0.88	0.50	0.24	0.31	0.16	0.12
P5	82W	0.68	0.40	0.35	0.29	0.21	0.18
P6	108W	0.91	0.53	0.46	0.39	0.32	0.23
P7	129W	1.10	0.59	0.51	0.44	0.37	0.27

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VCPG LED
Rev. 08/07/24

COMMERCIAL OUTDOOR

LITHONIA LIGHTING®

Catalog Number:
Notes:
Type: D1

LDN4 STATIC WHITE

4" Opera and Walltwash LED Non-IC New Construction Downlight

FEATURES & SPECIFICATIONS

POWER ERA — Typical application contain corridor, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting plate frame; galvanized steel junction box with factory-installed, quick-connect terminals; tool-less access to electronics.
Vertically adjustable mounting bracket with commercial bar hanger provide 3 1/8" total adjustment. Two combination 1/2" 3/4" and further 1/2" knockouts for straight through conduit runs. Capacity: (6) #14, 4 wat; (5) 1.0AWG conductors; rated for 90°C.
Accommodates 12" x 24" joist spacing.
AMBIENT — Luminaire is designed for 25°C (standard); high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.
Max ceiling thickness is 1 1/2".
OPTICS — LEDs are binned to 2-step MacAdam Ellipse; 80 CRI minimum. 90 CRI optional.
LED light source concealed with diffusing optical lens.
Luminaire is designed to be installed in 1" or 2" ceiling or soffit.
Glare-free ambient reflection is achieved, even specular, or matte diffuse finishes. Also available in white and black painted reflectors.
A+ EXPOSED LUMINAIRE — This trim is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out of the box control compatibility with simple commissioning and no need for on-site color tuning. Luminaire is factory-tested to ensure color consistency and to meet the Acuity Brands' specifications for chromatic consistency — including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates. To learn more about A+ standards, visit www.acuitybrands.com/aplus and www.acuitybrands.com/ecolor.
VOA — Shipped as a baseline unit with a set-up of equal to or less than ceiling per CIE 1199 Decorative Guide to Interior Lighting. (CIE TN3).
ELECTRICAL — Made with high-efficiency, low-loss, 10% dimming drivers mounted to junction box. 10% or 1% minimum dimming level available.
LIFE — Rated for 50,000 hours (25 additional low-voltage wires to be pulled.
LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours.
LISTINGS — Certified to UL and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product. Drivers are ROHS compliant.
GOVERNMENT PROCUREMENT — BAA - Product with the BAA option qualifies as a domestic end product under the Buy American Act and meets the requirements of the Buy American Act.
BABA - Product with the BABA option qualifies as manufactured in the United States under OOT Buy America regulations.
BAA + BABA - Acuity Brands Buy America Product with the BAA option also qualifies as produced in the United States under FAR Part 25 and meets the requirements of the Buy American Act.
Please refer to www.acuitybrands.com/buy-america for additional information.
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions
Note: Actual performance may differ as a result of normal manufacturing tolerances and variable factors such as voltage and ambient temperature and color maintenance. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

PERFORMANCE DATA

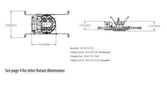
LDN4

Nominal	Lumens	Wattage	Lm/W
500	523.6	5.76	91.1
750	787.1	8.6	91.5
1000	1045	10.58	98.8
1500	1512	17.5	86.4
2000	2006	22.12	90.7
2500	2551	26.3	97.0
3000	3007	33.1	91.0
4000	4212	43	98.0

Notes
Tested in accordance with IESNA LM-79-08.
Tested to current IES and NEMA standards under stabilized laboratory conditions.
Based on LDM-WE-LED, 350 ROCK

DIMENSIONS

LDN4 500-2000 Lumens


Ceiling Cutout
Ceiling Plate
Junction Box
Bracket
Bracket Extension
Hanger Bar
Adjustable Bracket Extension
Conduit Knockout
Conduit Knockout
Conduit Knockout

WDGE1 LED
Architectural Wall Sconce

Catalog Number
Notes
Type OW1

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight (without options) 9 lbs

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.
WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

design select Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details.

WDGE LED Family Overview

Luminaire	Optics	Standard CRI, 4°C	Cold CRI, -20°C	Sensor	Zero minimum Lumens (4000K, 80 CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	P8			P8	1,200	2,000	—	—	—	—
WDGE2 LED	Visual Comfort	10W	10W	Standalone / w/ight	—	1,200	2,000	3,000	4,300	6,000	—
WDGE3 LED	Precision Refractive	10W	10W	Standalone / w/ight	P00	1,200	2,000	3,200	4,200	—	—
WDGE4 LED	Precision Refractive	15W	10W	Standalone / w/ight	8,000	7,200	8,500	10,000	12,000	—	—
WDGE4 LED	Precision Refractive			Standalone / w/ight	—	12,000	16,000	18,000	20,000	22,000	25,000

Ordering information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P8 P1 P2	27K 2700K 30K 3000K 40K 4000K 50K 5000K 50K 5000K	80CRI 90CRI	VF Visual comfort Forward Throw VW Visual comfort wide	MVOLT 347*	**Shipped included** SRM Surface mounting bracket ICW Indoor Cartridge Ready Window (for lamping instructions, only) **Shipped separately** AWS Different Architectural wall spacer * PBBW Surface-mounted back box (top, left, right conduit entry) (Use when there is no junction box available)*

Option	Finish
EMRG Emergency battery backup (Certified in CA Title 20 MAEDBE) (NBL, PT, Xwf)* (Integrated, Battery Specific) PE Dual switching (photo cell), 2 drivers and 2 light engines, see page 3 for details* DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (P00PH). Total of entry points. DS2E Dual Switching (2 Driver, 2 Light Engines) CCE Coastal Construction*	Finish DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DSBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.
WDGEWG DDBXD WDGE Wall-Architectural Wall Sconce (specify finish)
WDGEPBBW DDBXD WDGE surface-mounted back box (specify finish)

NOTES
1 DSX not available in 90CRI.
2 347V not available with D4WH, DSL, DSLE or PE.
3 Not available with PE, DS2E, DSLE or DSLE2.
4 For P8BBW and AWS with CCE options, require an IRVA.
5 D4WH not available with PE or DSL.
6 DSL not available with PE.
7 DSL is not available with PE.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	Lumens Watt	Item Data	CCT	CRI	25°C (77°F) Ambient				40°C (104°F) Ambient				-20°C (-4°F) Ambient			
					Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	VF	30K	80	0	0	0	0	0	726	103	0	0	0	719	102	0	0	0
		VW			0	0	0	0	0	735	105	0	0	0	728	104	0	0	0
P1	12W	VF	1,120	112	0	0	0	0	1,143	116	0	0	0	1,194	119	0	0	0	1,227
		VW	1,122	112	0	0	0	0	1,143	116	0	0	0	1,196	120	0	0	0	1,229
P2	17W	VF	1,856	109	1	0	0	0	1,872	123	1	0	0	1,921	128	1	0	0	1,970
		VW	1,869	126	1	0	0	0	1,874	125	1	0	0	1,929	128	1	0	0	1,982

Performance Package	Lumens Watt	25°C (77°F)				40°C (104°F)				-20°C (-4°F)			
		Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW
P0	7W	0.060	0.055	0.035	0.026	—	—	—	—	—	—	—	—
	9W	—	—	—	—	—	—	—	—	—	—	—	0.026
P1	10W	0.082	0.041	0.041	0.030	—	—	—	—	—	—	—	—
	12W	—	—	—	—	—	—	—	—	—	—	—	0.046
P2	15W	0.112	0.081	0.072	0.064	—	—	—	—	—	—	—	—
	18W	—	—	—	—	—	—	—	—	—	—	—	0.056

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P0	7W	0.060	0.035	0.030	0.026	—
	9W	—	—	—	—	0.026
P1	10W	0.082	0.041	0.041	0.038	—
	12W	—	—	—	—	0.046
P2	15W	0.112	0.081	0.072	0.064	—
	18W	—	—	—	—	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.895
40K	0.895
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Series	25°C (77°F)	Lumens
D4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures in fixtures installed in open locations.

Ambient	Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
21°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

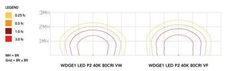
Projected LED Lumen Maintenance

Projected lumen maintenance values are based on extrapolation of LM-80 test data, in accordance with IESNA TM-21-11, and are calculated for a 25°C ambient. Data is collected from 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).
To calculate, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage.
Tested in accordance with IESNA LM-79 and LM-80 standards.



WDGE1 LED P2 40K 80CRI VW WDGE1 LED P2 40K 80CRI VF

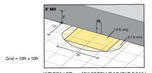
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.



WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent of each other. The failure of any individual component does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Dual Switching Light Engine (DSLE) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with one driver and two light engines. These work completely independent of each other. The failure of either light engine does not cause the whole luminaire to go dark.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

HYDREL

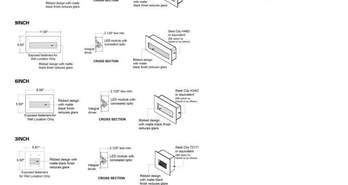
OW2

HSL13
Static White and Static Color Step Light 13

HIGHLIGHTS

- Integral Driver
- Long throw distribution
- Standard 0-10V dimming option
- Die-cast housing with solid aluminum, brass, or stainless steel faceplate
- Wet location listed
- Back Box provided by Hydrel or by others
- Suitable for concrete pour if BB option is chosen or Steel City back box is used

DIMENSIONS



LUMEN PACKAGES

Distribution	Delivered Lumens	Input Watts	Lumens/ Watt
3INCH	87	3	29
6INCH	174	6	29
9INCH	299	9	37
12INCH	386	11	37

Performance data based upon 3W LED WCR

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ORDERING INFORMATION

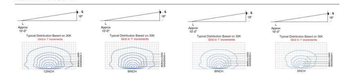
EXAMPLE: HSL13 3INCH LED 27K MVOLT L MINS BRB

Series*	Length*	Source*	Color Temperature*		Voltage*	Distribution*
HSL13 Step Light 13	3INCH 3" Nominal Length 6INCH 6" Nominal Length 9INCH 9" Nominal Length 12INCH 12" Nominal Length	LED	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K AMBLW Amber Limited Wavelength 590nm BLU Blue GRN Green RED Red CYN Cyan ROO Red Orange		MVOLT Multi-Volt 120V thru 277V	L Long Throw

Connecting Optional	OPTION	Finish*
MINS Mounting Stem	BB Back Box Note: Include BB if you need a back box otherwise back box is by others. Note: Suitable for concrete pour if BB option is chosen or Steel City back box is used	BRB Brushed Brass BBP Brushed Brass Paint BRSS Brushed Stainless Steel LBPB Light Bronze Paint Smooth PNB Polished Brass PSS Polished Stainless Steel SGB Semi Gloss Black SGW Semi Gloss White CF Custom Finish RAL7021 Ral Plant Finishes Note: RAL7021 for pricing only, replace with applicable RAL call out when ready to order. See the SALES GUIDE for available options. It is recommended that Hydrel products only use textured paint.

Notes: * is a required field

PERFORMANCE DATA



Expected Life: Static White LED: L70 @ 60,000 hours
Static Color LED: L70 @ 60,000 hours

Lumen Multiplier Table for CCT

CCT	Multiplier
27K	0.963
30K	1.000
35K	1.037
40K	1.133
50K	1.208
AMBLW	0.208
BLU	0.208
GRN	0.706
RED	0.707
CYN	0.707
ROO	0.344

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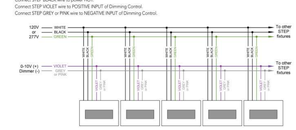
WIRING

Read all instructions before installation. Do not make live connections!

NON-DIMMING INSTALLATIONS (For non-dimming, cap off the grey and purple wires seperately)
Connect STEP WHITE wire to power NEUTRAL.
Connect STEP BLACK wire to power HOT.
Connect STEP GREEN wire to power GROUND.

DIMMING INSTALLATIONS
The integral dimming driver is designed to the 0-10V IEC dimming specification 60929 and is compatible with common 0-10V dimmers and dimming systems.
Do NOT connect line voltage to dimming input wires.
Connect STEP WHITE wire to power NEUTRAL.
Connect STEP BLACK wire to power HOT.
Connect STEP VIOLET wire to POSITIVE INPUT of Dimming Control.
Connect STEP GREY or PINK wire to NEGATIVE INPUT of Dimming Control.



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SARA INVESTMENT REAL ESTATE

PROJECT INFORMATION

306 SOUTH BREARLY

306 South Brearly St.
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10/07/2024	PLAN COMMISSION SUBMITTAL

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	RS
PROJECT NUMBER	24155-01

LIGHTING DETAILS

ES103

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