

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 7/29/24 ☐ Initial

Submittal ☐ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita intérprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias kaj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua hwm hom ntawv los sis hwm cov kev pab korn paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 750 University Row Madison, WI 53705

Title: UW Health 750 University Row Expansion

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 9/11/24
☐ New development ☒ Alteration to an existing or previously-approved development
☐ Informational ☐ Initial Approval ☒ Final Approval

3. Project Type

- ☒ Project in an Urban Design District
- ☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- ☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- ☒ Planned Development (PD)
 - ☒ General Development Plan (GDP)
 - ☒ Specific Implementation Plan (SIP)
- ☐ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
- ☐ Modifications of Height, Area, and Setback
- ☐ Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

- ☐ Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name	<u>Paul G. Lenhart</u>	Company	<u>University Row Clinic, LLC</u>
Street address	<u>749 University Row, Suite 101</u>	City/State/Zip	<u>Madison, WI 53705</u>
Telephone	<u>608.260.7007</u>	Email	<u>plenhart@krupconconstruction.com</u>
Project contact person	<u>Jenni Esch rer</u>	Company	<u>EUA</u>
Street address	<u>309 W. Johnson Street, Suite 202</u>	City/State/Zip	<u>Madison/WI/53703</u>
Telephone	<u>608.442.6698</u>	Email	<u>jennie@eua.com</u>
Property owner (if not applicant)	<u>GI Clinic LLC, Attn: Paul G. Lenhart</u>		
Street address	<u>749 University Row, Suite 101</u>	City/State/Zip	<u>Madison/WI/53705</u>
Telephone	<u>608.260.7007</u>	Email	<u>plenhart@krupconconstruction.com</u>

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan
- ☒ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☐ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials☒ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ **Development Plans** (Refer to checklist on Page 4 for plan details)☒ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)☒ **Electronic Submittal**

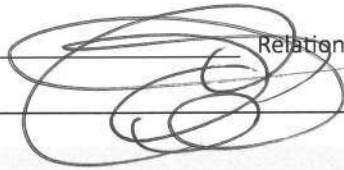
- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDApplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Tim Parks and Jessica Vaughn on 1/4/24, 1/17/24, 1/18/24.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Paul G. LenhartRelationship to property Manager and MemberAuthorizing signature of property owner Date 1/26/24**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (*per §33.24(6) MGO*).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per §33.24(6)(b) MGO*)
- ☐ Comprehensive Design Review: \$500 (*per §31.041(3)(d)(1)(a) MGO*)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (*per §31.041(3)(d)(1)(c) MGO*)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (*per §31.041(3)(d)(2) MGO*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Letter of Intent

Please consider this our formal Letter of Intent for the land use application and to pursue an Amendment to the General Development Plan and Specific Implementation Plan in the Planned Unit Development (PUD-GDP-SIP), previous PUD-GDP-SIP dated January 24, 2012.

Project Name:

UW Health 750 University Row Expansion

Parcel Location:

750 University Row
Madison, WI 53705

Applicant:

University Row Clinic, LLC
749 University Row, Suite 101
Madison, WI 53705
Paul G. Lenhart
608-260-7007
plenhart@kruppconstruction.com

Landowner:

GI Clinic, LLC
749 University Row, Suite 101
Madison, WI 53705
Paul G. Lenhart
608-260-7007
plenhart@kruppconstruction.com

Architect:

Eppstein Uhen Architects
309 W Johnson Street, Suite 202
Madison, WI 53703
Rob Beisenstein, AIA, LEED AP
414-291-8145
robb@eua.com

Civil Engineer:

D'Onofrio, Kottke and Associates
7530 Westward Way
Madison, WI 53717
Dan Day, PE
608-833-7530
dday@donofrio.cc

Landscape Architect:

Ken Saiki Design
1110 S. Park Street
Madison, WI 53715
Rebecca DeBoer
608-251-3600
rdeboer@saiki.design.com

Contractor:

Krupp General Contractors
749 University Row, Suite 101
Madison, WI 53705
Dietmar Bassuner
608-347-2759
Dietmar.bassuner@kruppconstruction.com

Proposed Building Occupant:

UW Health
600 Highland Avenue
Madison, WI 53792-8360
Michael McKay
608-422-8396
mmckay@uwhealth.org

The existing 67,292 SF UW Health, Digestive Health Center (DHC), is a 3-story outpatient clinic building located at 750 University Row. The lowest level of the DHC building includes parking, clinical support spaces, and building support spaces. The main entrance is located on the southeast end of the building, facing south to the surface parking lot, and is accessed from a driveway that runs between the building and the surface parking lot.

The proposed building expansion is comprised of a 189,000 SF, 4-story outpatient clinic. The first-floor clinical space includes Registration, Lab, Pharmacy, Imaging, Café, and Urgent Care. The second through fourth floors include Specialty Care and Primary Care Clinics. The proposed main building entrance will be relocated to face the primary street, University Row. A proposed 4 level, 792-car parking structure located to the south of the building expansion will have one level below grade and will be connected to the building addition with a covered walkway. Thirty-eight (38) surface parking spots will be located for staff and service use on the west side of the building addition. UW Health will be the single occupant of the expanded building and parking structure.

During construction, the temporary surface parking areas located on Lots 2 and 3 will be used for staff and patient parking.

Future development at Lots 2 and 3 will consist of a single 4-story multi-family building with covered and surface parking. The proposed multi-family building contemplates 110 units with a parking ratio of 1:1 parking stall per bedroom.

Site:

The University Crossing development is a total of 14.332 acres (624,302 SF).

Lots 1, 2 & 3 are 8.501 acres (370,324 SF). As part of this project the property boundaries of Lots 1, 2 and 3 will be revised via Certified Survey Map (CSM).

- Lot 1 will increase in size to accommodate the footprint of the building addition.
- Lots 2 and 3 will be combined and will be referred to as Lot 2.

The remaining development encompasses the following areas and will remain as configured:

- Lots 4, 5, 6 & 7 at 3.763 acres (163,924 SF)
- Outlot 1 at 0.374 acres (16,281 SF)
- Public roads at 1.694 acres (73,773 SF)

Comprehensive Plan:

The City of Madison Comprehensive Plan designates this site for Employment (E) and Community Mixed Use (CMU). Portions of the overall site are also designated as a Transit Oriented Design (TOD) overlay. The entire development is in the Spring Harbor Neighborhood Plan.

Existing Zoning:

The GDP site is zoned PD (Planned Development) District, which lies within the Urban Design District (UDD) 6, and within the Transit Oriented District (TOD) Overlay boundary.

To remain consistent with the requirements of UDD 6, the building will meet the following criteria:

- Section 33.24(13)(d)4. a. i.: Exterior building materials on the addition will, where possible, match the existing materials, or will be complementary to them. They will be low maintenance brick, composite metal panel, curtainwall/glass.
- Section 33.24(13)(d)4. a. ii.: Rooftop mechanical units will receive screen walls.
- Section 33.24(13)(d)4. b. i.: The building addition scale, materiality, and proportion of solid-to-glass complements, but does not replicate the existing building. Scale and opening proportions relate to the nearby buildings in the GDP.
- Section 33.24(13)(d)4. b. ii.: Consideration has been given to the scale of the building along the pedestrian/primary street (east) facing side, where the entry zone of the building steps back and is a 2-story height. Area of glazing along the first floor/street level is ample to provide natural light and activate the pedestrian/street scape along the primary street.
- Section 33.24(13)(d)4. b. iii.: The residential neighborhood to the west was taken into consideration when determining structured parking location on site and orientation of the parking public entry/exit points, which will be on the northeast and south facades. Additional trees will be planted to buffer the view from the west. Green roof systems will be incorporated onto the lower roofs, where there is visual exposure for adjacent multi-family and apartment units.
- Section 33.24(13)(d)5. Lighting: Building and parking structure entries, as well as pedestrian paths along the building will be illuminated for life safety and for security.
- Section 33.24(13)(d)6. Landscaping: Selected plant material will provide interest and color throughout each season and will be hardy to the Madison region. Planters and plantings will be used to enhance the pedestrian-friendly path along University Row.
- The area along the main entry of the building will include landscape planters and seating elements to create a safe, walkable, and attractive pedestrian environment along University Row.

Upon completion of the updated CSM for Lot 1, Lot 1 (a portion thereof) will be subject to the City of Madison TOD overlay. As part of our submission, we are requesting an exception to the following requirements:

(7) Site Standards for Buildings.

Applicability. The following standards are applicable to all new principal buildings and major expansions [fifty percent (50%) or more of building floor area] for non-residential uses and buildings with over two residential units. Standards shall apply only to the portion of the building that is new or expanded.

a) Maximum Principal Building Setbacks.

1. At least thirty percent (30%) of primary street-facing building facades shall be setback no more than twenty (20) feet from the primary street. Buildings shall occupy at least thirty percent (30%) of the primary street frontage. Setbacks from private streets shall be measured from interior private access road curb faces or edges of pavement.

The existing building massing is within the 20 foot setback from University Row, but the circumstance of that street is that it slants away at an obtuse angle, relative to University Avenue, approximately 94 degrees. The building addition at 750 University Row has been conceived as perpendicular to the existing building to create pleasing and regular massing, and rational structural bays and intersections. As the street continues to slant away, this results in the new façade being beyond the 20' setback.

See drawing A05.

(8) Site Standards for Automobile Infrastructure.

- a) Applicability. The following standards are applicable to non-residential uses and buildings with over three residential units.
- b) Automobile parking, loading, drives, drive aisles, driveways, vehicle access sales and service windows and drives, gas pumps, gas station canopies, car wash vacuum stalls and electric vehicle charging facilities:
 1. Shall not be allowed between the primary street-facing façades and the primary public or private street.
 2. On a corner lot, shall not be allowed between the primary street facing façades and the primary street and shall not be allowed between the secondary street- facing façades and the secondary street more or less perpendicular to the primary street. On lots with more than one corner, only the corner with the primary and secondary (public or private) streets shall be required to meet this provision.
 3. Shall be setback from the primary and secondary street equal to or greater than the principal building setback.
- d) Parking structures shall integrate active uses along at least fifty percent (50%) of the primary street-facing façade at the first floor.

To provide a safe environment for patients arriving via shared ride, taxicab, transfer van, and ambulances from assisted care facilities, the expansion to 750 University Row will provide a 2-lane, one-way drop-off/pickup area between the building and the public sidewalk/road. This configuration will provide direct access for these patients to the primary front entrance of the building along with ease of front door fire department access. A landscape buffer between the drive and sidewalk will be provided to create a safe separation between pedestrians and moving vehicles.

Patients utilizing the drop-off lanes will either continue to self-park, exit onto University Row, or will temporarily hold for valet service.

Creating an activated zone of fifty percent (50%) or more of the parking structure street-facing façade in this location would require an additional level of above-ground parking to meet the projected parking

need for this development. In addition, an open/transparent first floor will provide a level of visibility and security for patients and staff, which is a priority for the building occupant.

See drawings A04, A05, A14, A15 and A16.

Surrounding Uses:

North:

- Single family residences in the Spring Harbor neighborhood and City of Madison Water Utility, Well No. 14, zoned R1.

South:

- Wisconsin Southern Railroad & Old Middleton Road.
- Multiple zoning properties, zoned NMX, PD, SE & SR-C2.

West:

- Trillium Homes, zoned R4.

East:

- Variety of retail businesses, zoned NMX.

Sustainability:

The project goals for expansion of 750 University Row include sustainable design and the team is exploring the following highlights:

- Exploring renewable energy, including solar.
- Central and accessible: Located within ¼ mile walk to six bus lines (the closest bus stop being approximately 200' from main entrance) and within ½ mile walk to a planned BRT stop.
- The parking garage will provide charging for electric vehicles, ample bike parking for staff and visitors and will be shaded by solar panels.
- The design will incorporate bird collision deterrence concepts, including bird-friendly glazing.
- The design will incorporate vegetated roof areas to aid with stormwater management strategies as well as provide enhanced views.
- Parking will be in a covered structure minimizing rainwater run-off as well as minimizing the use of deicing agents during the winter months.
- The project will incorporate low-emitting and low-carbon materials.

Signage:

Concept signage locations for 750 University Row are indicated on the design drawings. Final signage design will be submitted at a future date.

Schedule:

The anticipated occupancy date of 750 University row is expected to be Q2 2027.

Transportation:**Bike:**

The clinic expansion will include internal bike storage along with showers and lockers to encourage bike use by employees. The existing bike path on the west side of the development will be extended to the building expansion south property line.

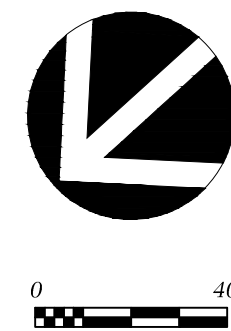
A B-Cycle station is currently located at the intersection of University Avenue and University Row.

Transit:

Located within ¼ mile walk to 6 bus lines (the closest being approximately 200' from main entrance) and within ½ mile walk to a planned BRT stop.

Traffic Study:

A traffic impact analysis has been completed by KL Engineering and was submitted to the City of Madison on February 8, 2023. Per input from Sean Malloy at the January 4, 2024 DAT meeting, the original traffic study done for the previous 2023 submittal for this project will suffice.



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333 East Chicago Street
Milwaukee, WI 53202
(414) 271-5350
www.eua.com



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

PROJECT INFORMATION
750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

KEY PLAN

SHEET INFORMATION

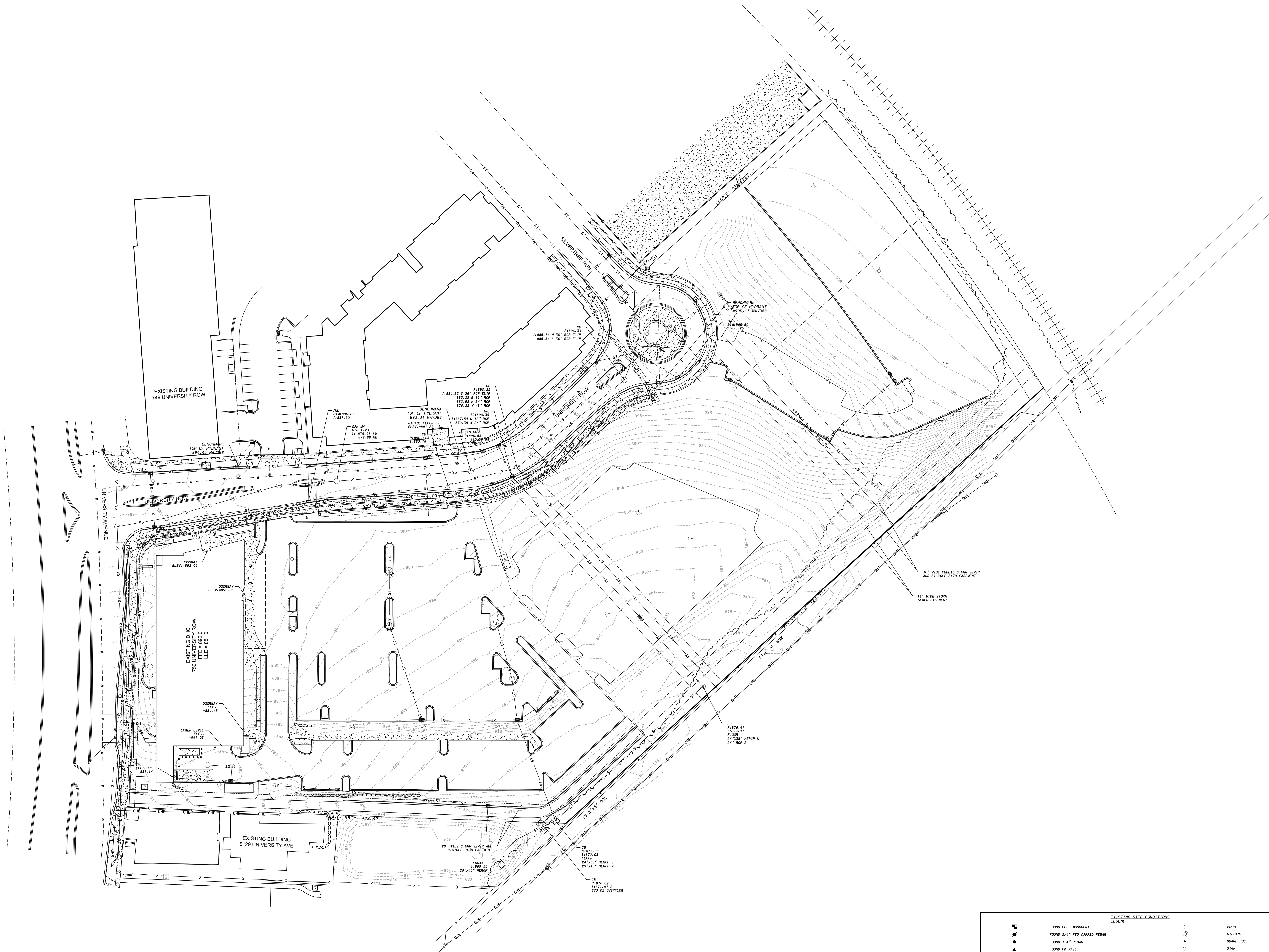
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER	RB
PROJECT NUMBER	422291

EXISTING CONDITIONS
C100

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EXISTING SITE CONDITIONS LEGEND	
	FOUND PILE MONUMENT
	FOUND 3/4" RED CAPPED REBAR
	FOUND 3/4" REBAR
	FOUND PI WEL
	FOUND CHISELED "X" IN CONCRETE
	PLACED 3/4"x16" REBAR (WTH=1.5 LB/SFT)
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	GAS MAIN
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELECOMMUNICATION
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL/VALVE
	MANHOLE
	CATCH BASIN/INLET
	POWER POLE
	POWER POLE W/LOUT
	LIQUID RAIL
	TRAFFIC SIGNAL
	GAS METER
	VALVE
	HYDRANT
	GUARD POST
	STATION
	WIRE GUY
	DECIDUOUS TREE
	BUSH
	CONIFEROUS TREE
	TREE/SHRUB LINE
	FLAGPOLE
	GUARD RAIL
	CONCRETE
	BOLLARD RETAINING WALL
	CONCRETE RETAINING WALL
	FENCE
	CONCRETE CURB AND GUTTER
	EXISTING TIE CONTOUR
	BACK OF WALK SPOT ELEVATION (B + 1)
	"RECORDED AS" INFORMATION



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333 East Chicago Street
Milwaukee, WI 53202
(414) 271-5350
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GENERAL CONTRACTORS


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7530 Westward Way, Madison, WI 53717
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

DATE	DESCRIPTION
07/29/2024	UDC & LAND USE

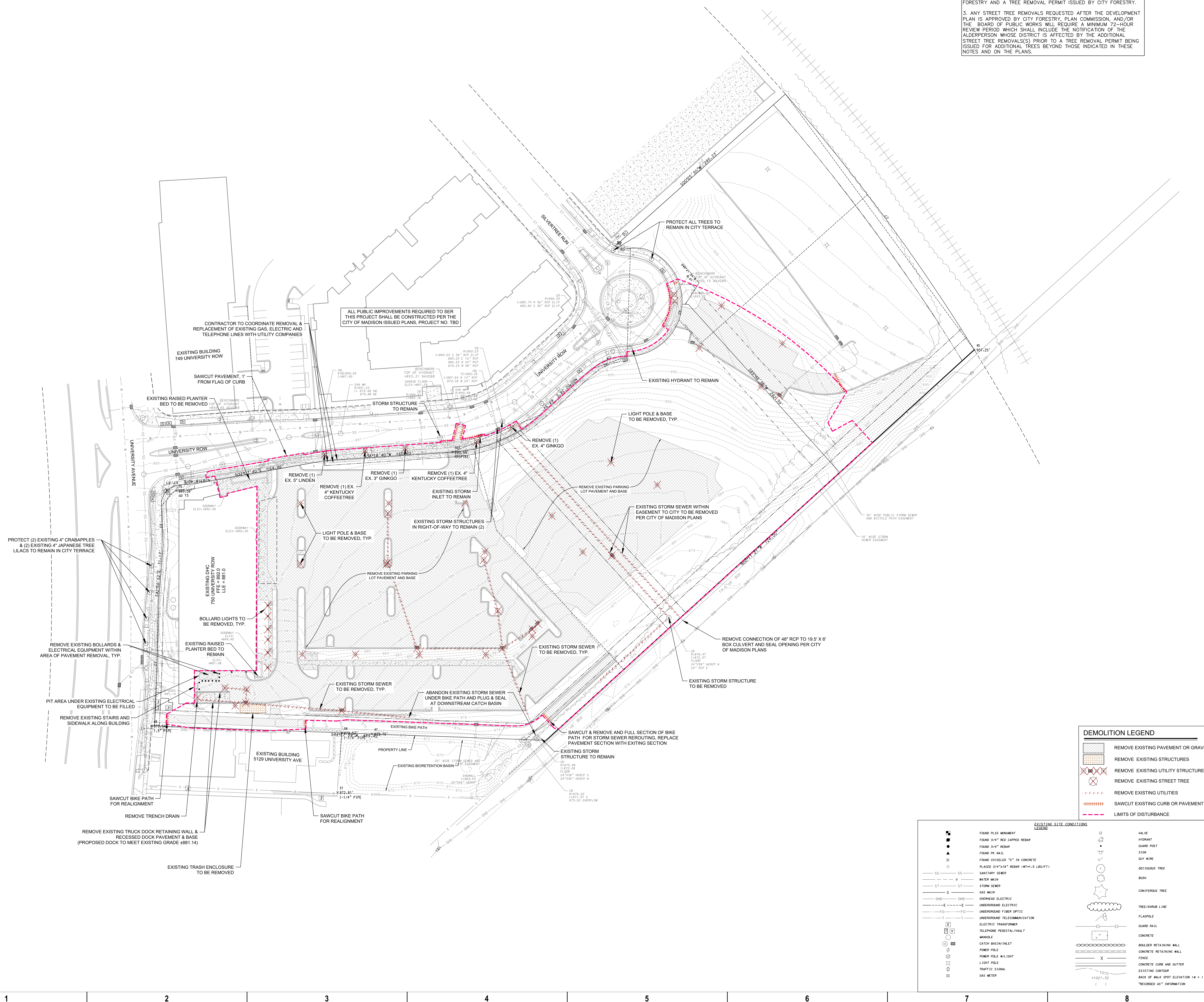
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PROJECT MANAGER	RB
PROJECT NUMBER	42229

C200

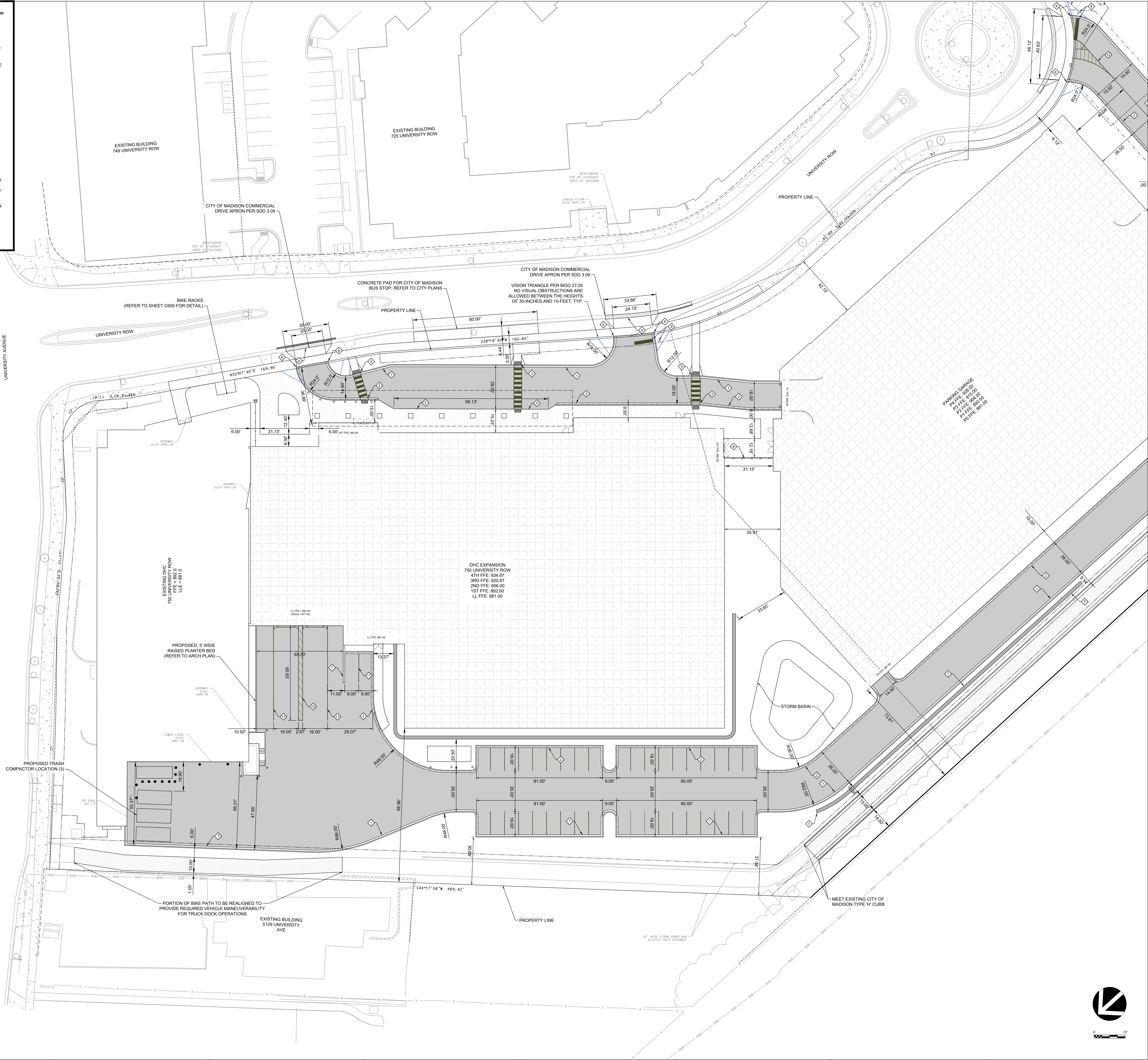
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- SITE PLAN NOTES**
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - PROVIDE CONTROL JOINTS 10'-0" O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 - EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 - EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DIRT/TOPSOIL.
 - EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
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 - UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.
 - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

- PAVEMENT LEGEND**
- ON-SITE ASPHALT PAVEMENT
 - 4" ASPHALT (2.25" BINDER, 1.75" SURFACE)
 - 4" UPPER BASE COURSE, 1-1/4" STONE
 - 6" LOWER BASE COURSE, 3" STONE
 - CONCRETE PAVEMENT
 - 6" CONCRETE W/WIRE MESH REINFORCEMENT
 - 6" CRUSHED AGGREGATE BASE COURSE
 - TENSAR TYPE 1, BIAXIAL GEOGRID
 - CONCRETE SIDEWALK
 - 4" CONCRETE OVER 3" GRANULAR BASE
 - UNIVERSITY ROW PAVEMENT
 - 4.25" (2.25" BINDER, 2" SURFACE, TYPE E-1)
 - 4" UPPER BASE COURSE, GRADATION 2 STONE
 - 6" LOWER BASE COURSE, GRADATION 1 STONE
 - BIKE PATH PAVEMENT
 - 3" ASPHALTIC CONCRETE PAVEMENT, TYPE E-0.3
 - 6" CRUSHED AGGREGATE BASE COURSE
 - DEPRESSED CURB & GUTTER
 - REJECTING PAN CURB & GUTTER
 - ACCEPTING PAN CURB & GUTTER

- KEYNOTES**
- 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - DEPRESSED CURB & GUTTER (NO CURB HEAD)
 - CITY OF MADISON - TYPE 'A' CURB & GUTTER DRIVEWAY SECTION
 - CURBLESS SIDEWALK AT DROPOFF LANE
 - 2' CURB TERMINUS
 - RETAINING WALL - DESIGNED BY OTHERS
 - GUARD RAIL (30" FALL PROTECTION)
 - R1-1 STOP SIGN & 24" STOP BAR
 - RESTRICTED LANE MARKING ARROW PER CITY OF MADISON SDD 6.39
 - 4" WIDE PARKING SPACE STRIPING - TYP.
 - 4" WIDE STRIPING, 2" ON-CENTER, 45-DEGREES



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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/25/2024	UDD & LAND USE

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

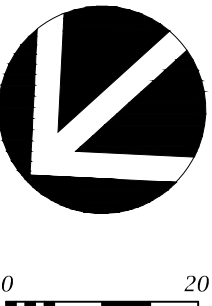
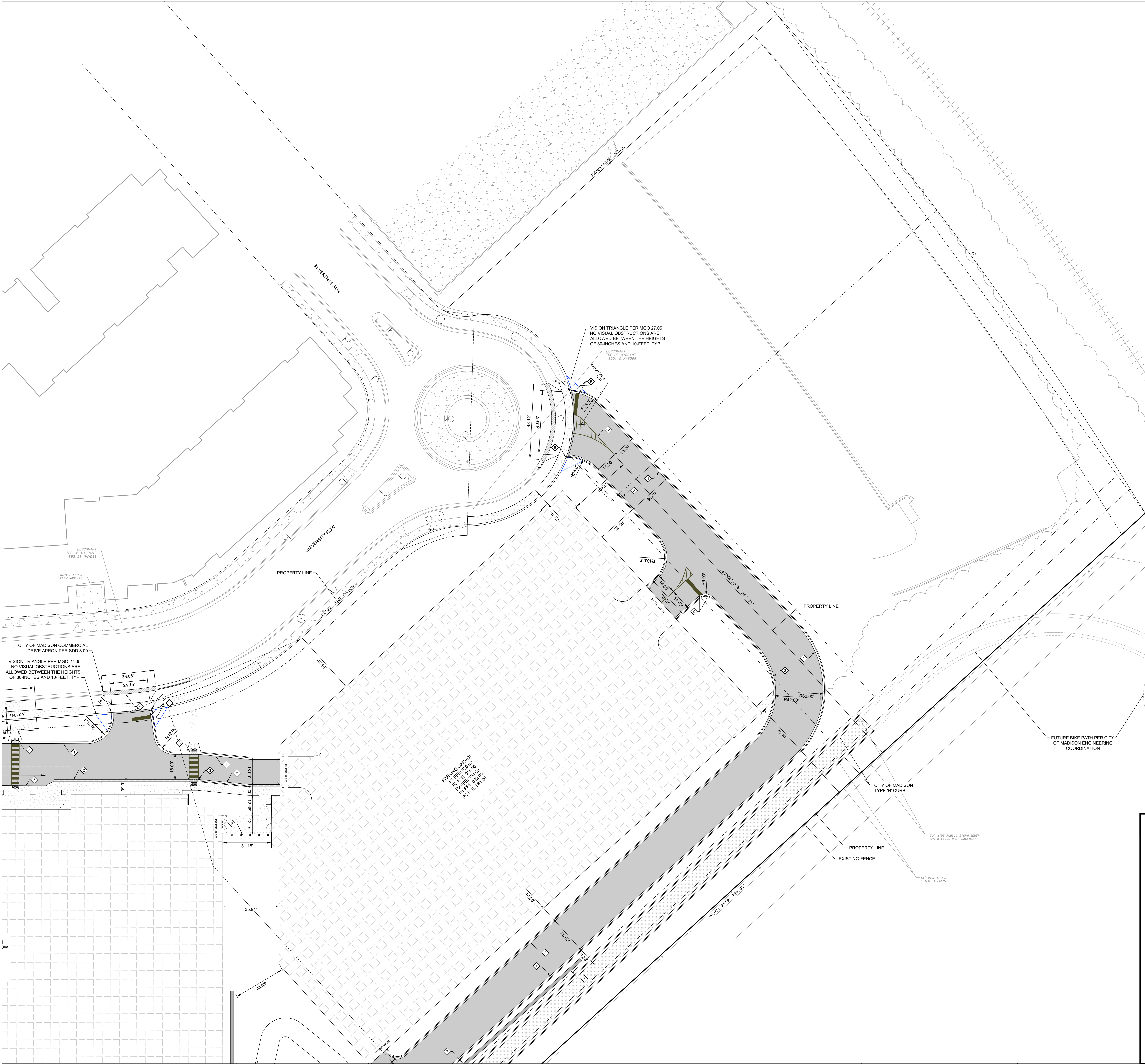
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

SITE PLAN - NORTH

C301

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750 UNIVERSITY ROW EXPANSION

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Madison, WI 53705

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KEY PLAN

PAVEMENT LEGEND	
	ON-SITE ASPHALT PAVEMENT 4" ASPHALT (2.25" BINDER, 1.75" SURFACE) 4" UPPER BASE COURSE, 1-1/4" STONE 6" LOWER BASE COURSE, 3" STONE
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	CONCRETE SIDEWALK 4" CONCRETE OVER 3" GRANULAR BASE
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	4' WIDE PARKING SPACE STRIPING - TYP.
	4' WIDE STRIPING, 2' ON-CENTER, 45-DEGREES

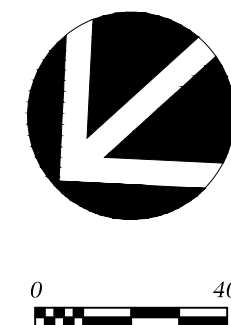
- SITE PLAN NOTES**
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - PROVIDE CONTROL JOINTS 10'+/- O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 - EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 - EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DIRT/TOPSOIL.
 - EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

SITE PLAN - SOUTH
C302



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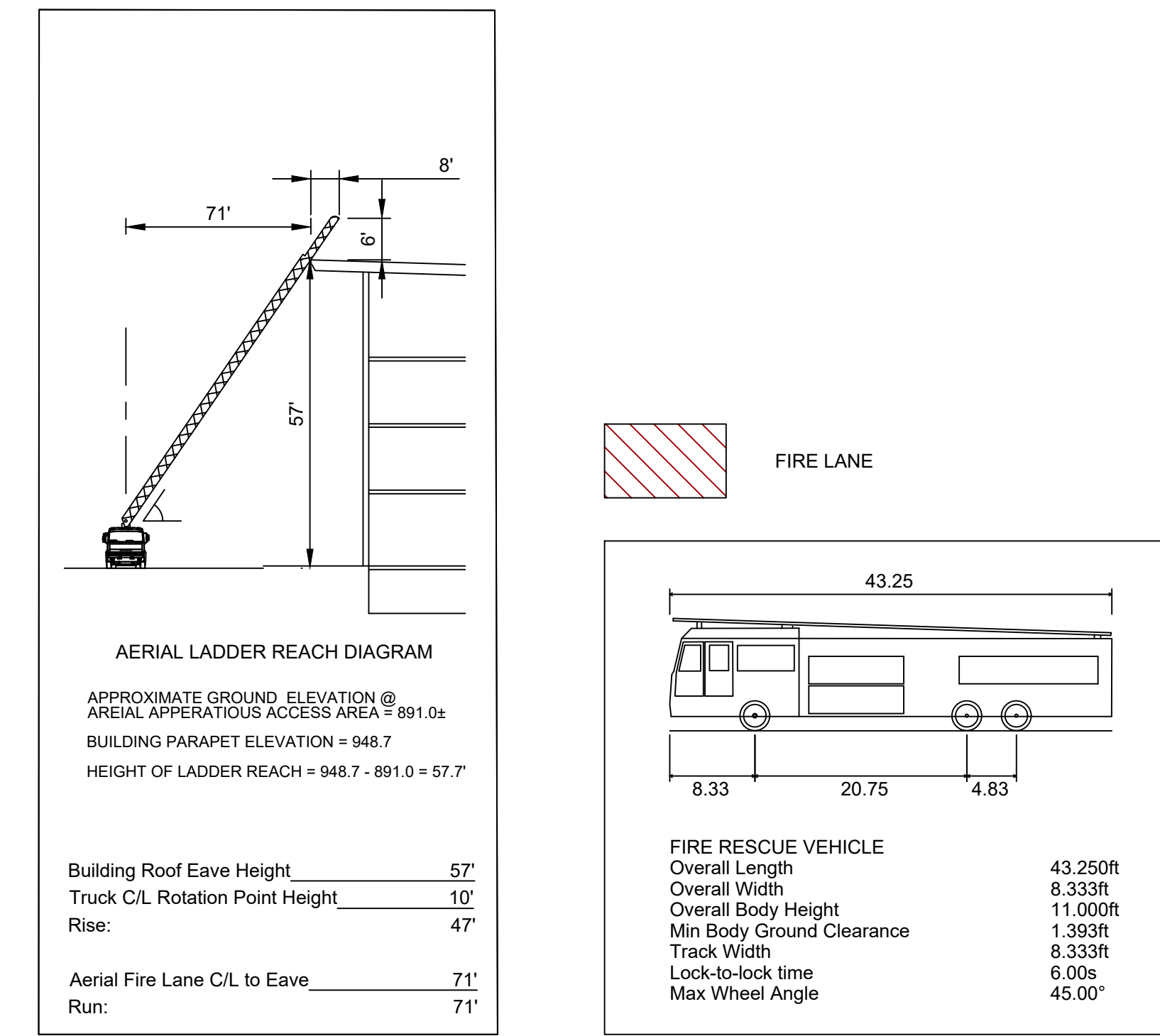
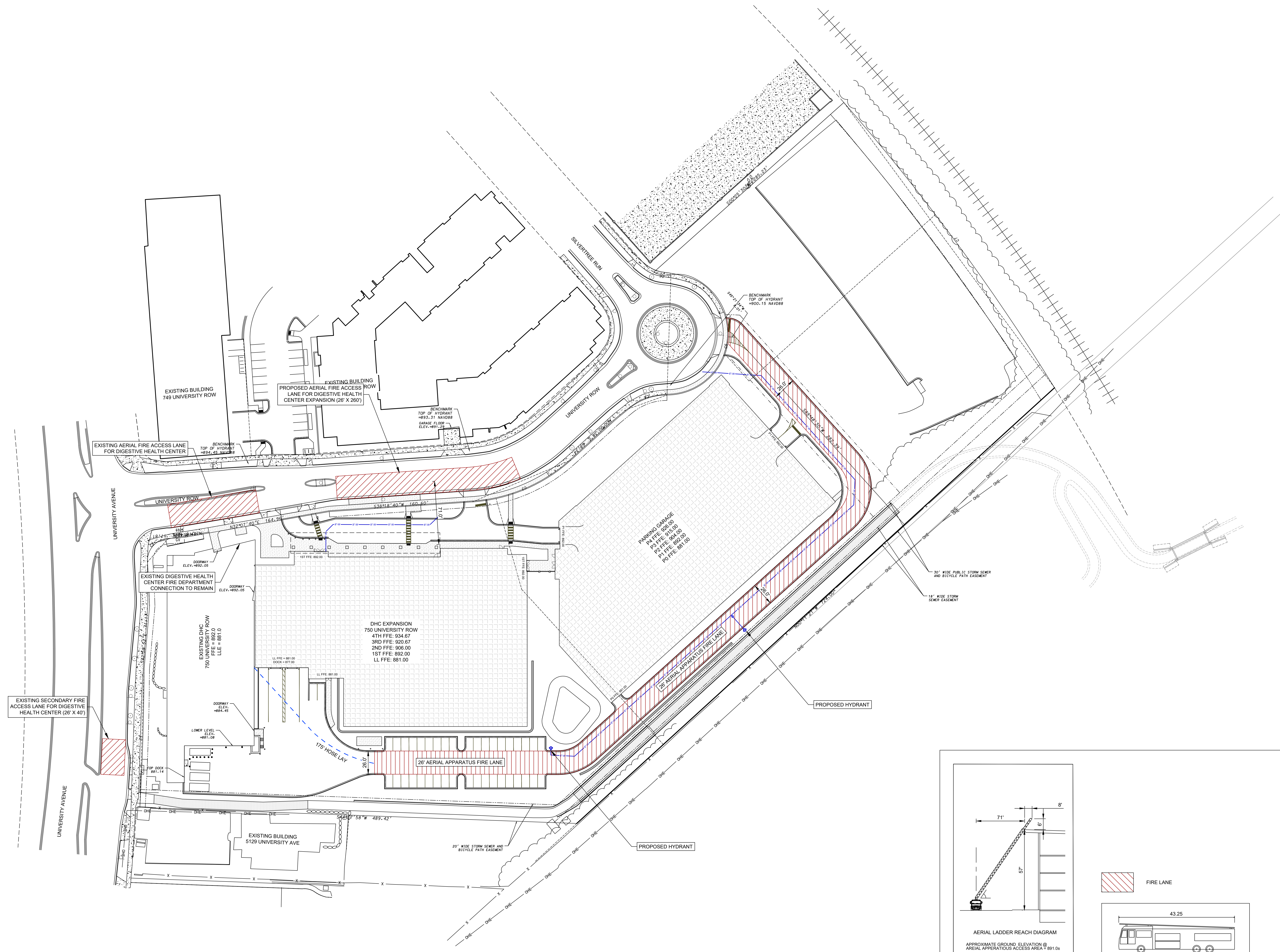
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FIRE ACCESS PLAN

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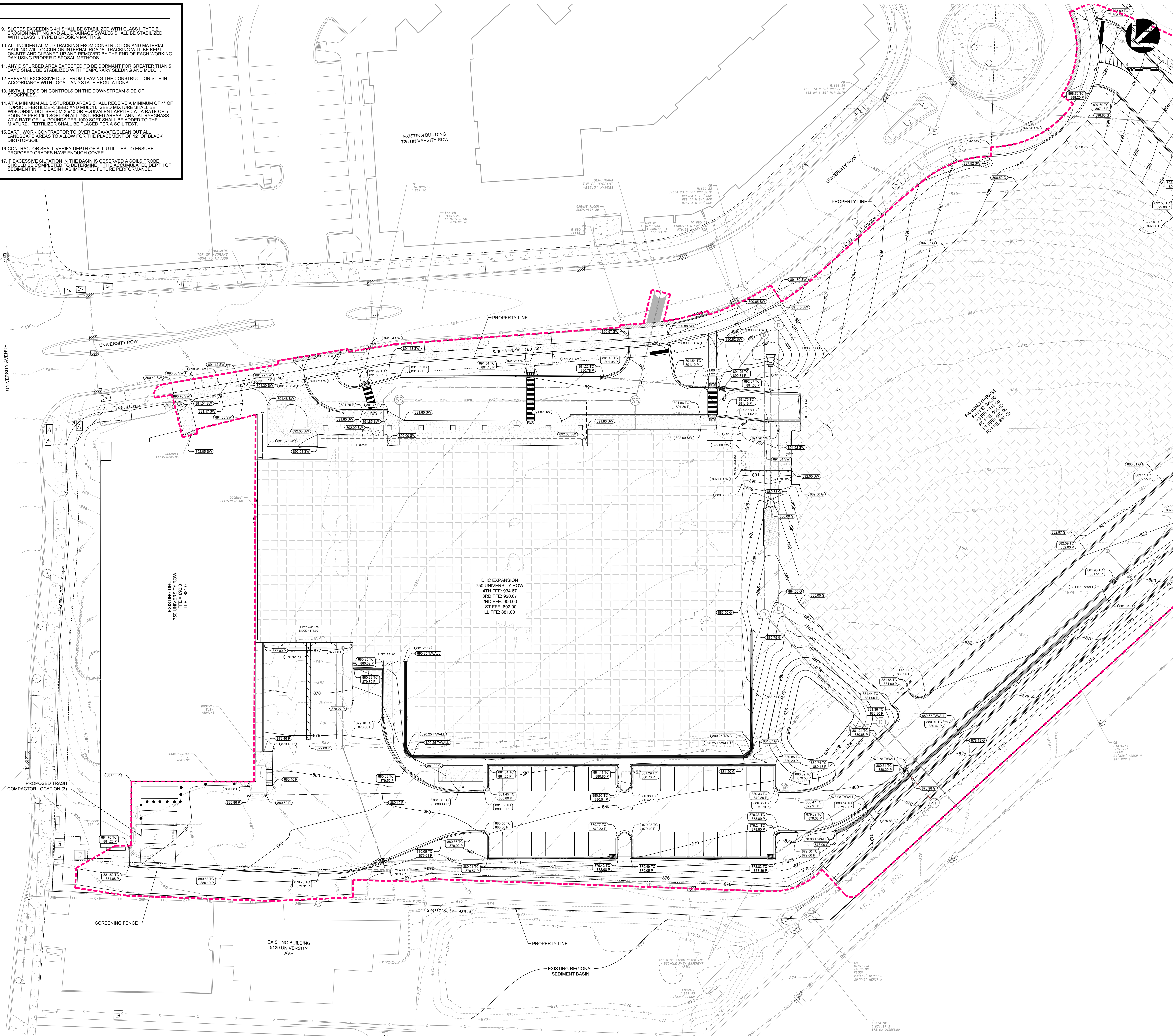
GRADING AND EROSION CONTROL NOTES:

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- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS.
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- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE.
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- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CURB AND GUTTER AREAS OF 2:1 SLOPES AND NO LONGER THAN 30 FEET CAN BE STABILIZED USING CLASS II TYPE-B EROSION MAY OTHERWISE FOLLOW WISDOT FDM 10-S EROSION CONTROL MATRIX.
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GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SPOT GRADE - TOP (BACK) OF CURB
- SPOT GRADE - TOP OF WALL
- SPOT GRADE - FINISH GRADE (PAVEMENT)
- SPOT GRADE - SIDEWALK FINISH GRADE
- SPOT GRADE - GROUND (BOTTOM OF WALL)

LIMITS OF DISTURBANCE
= 258,830 SQ FT
= 5.94 AC



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PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

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ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UOC & LAND USE

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

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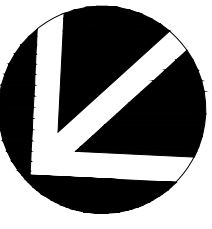
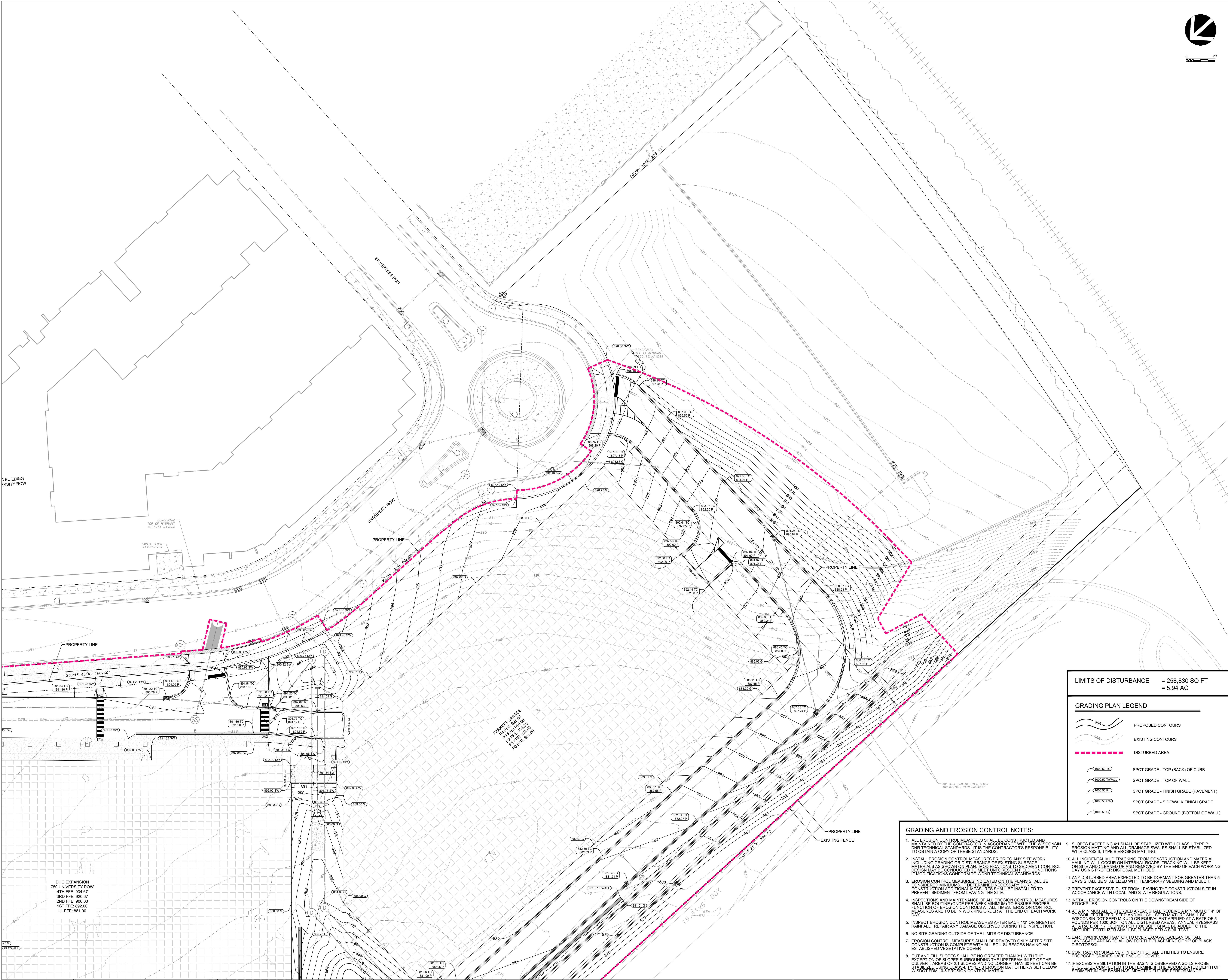
PROJECT MANAGER RB

PROJECT NUMBER 422291

GRADING PLAN - NORTH

C401

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750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

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07/25/2024	UDC & LAND USE

KEY PLAN

LIMITS OF DISTURBANCE = 258,830 SQ FT
= 5.94 AC

GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SPOT GRADE - TOP (BACK) OF CURB
- SPOT GRADE - TOP OF WALL
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GRADING AND EROSION CONTROL NOTES:

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PROJECT MANAGER RB

PROJECT NUMBER 422291

GRADING PLAN - SOUTH

C402

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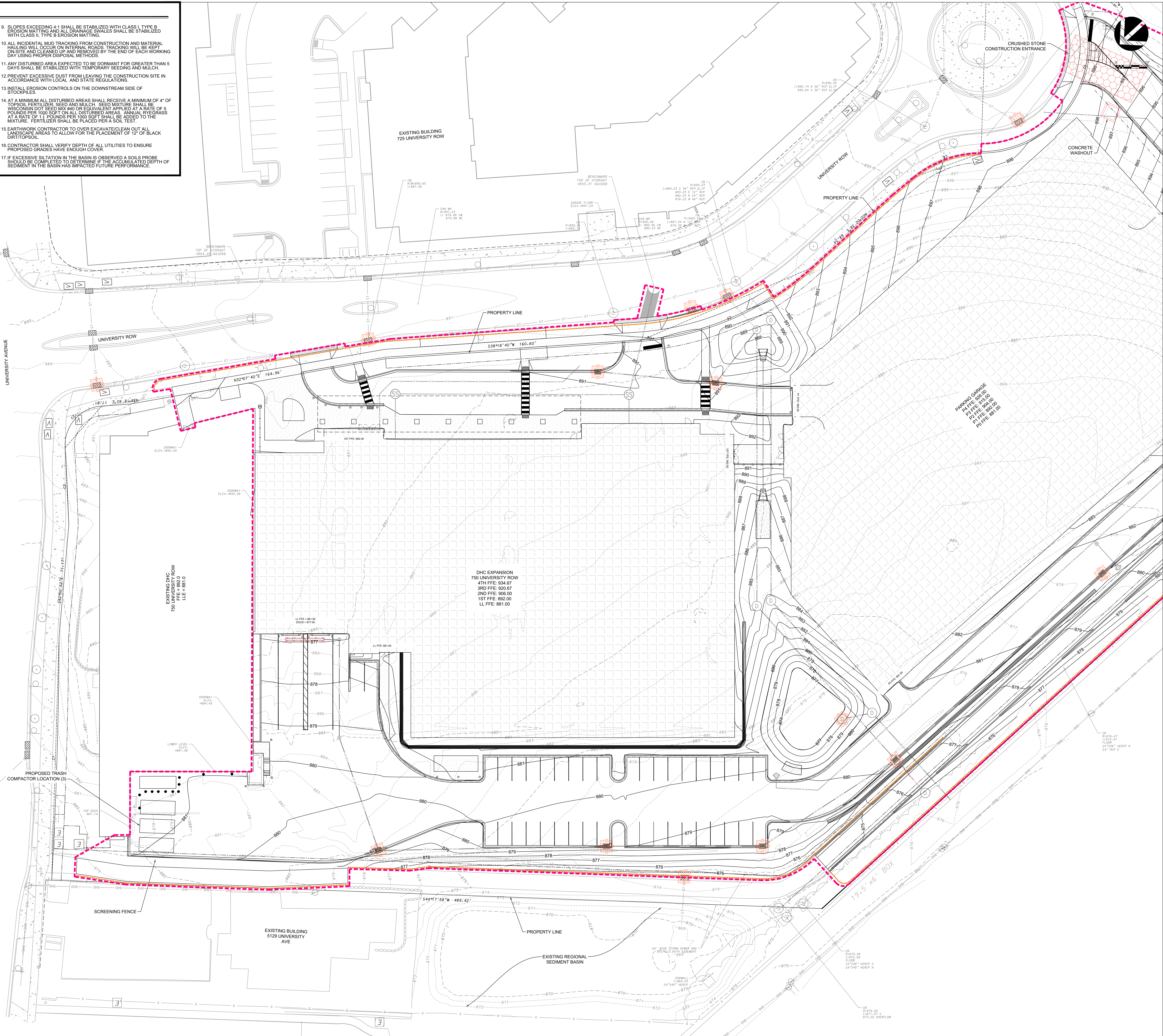
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GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SILT SOCK OR SILT FENCE
- CONSTRUCTION ENTRANCE PER WDNr-1057
- INLET PROTECTION PER WDNr-1060
- TYPE C OR D - INLET PROTECTION

LIMITS OF DISTURBANCE = 258,830 SQ FT
= 5.94 AC



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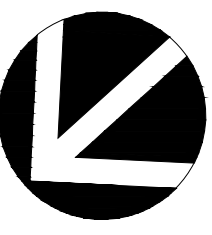
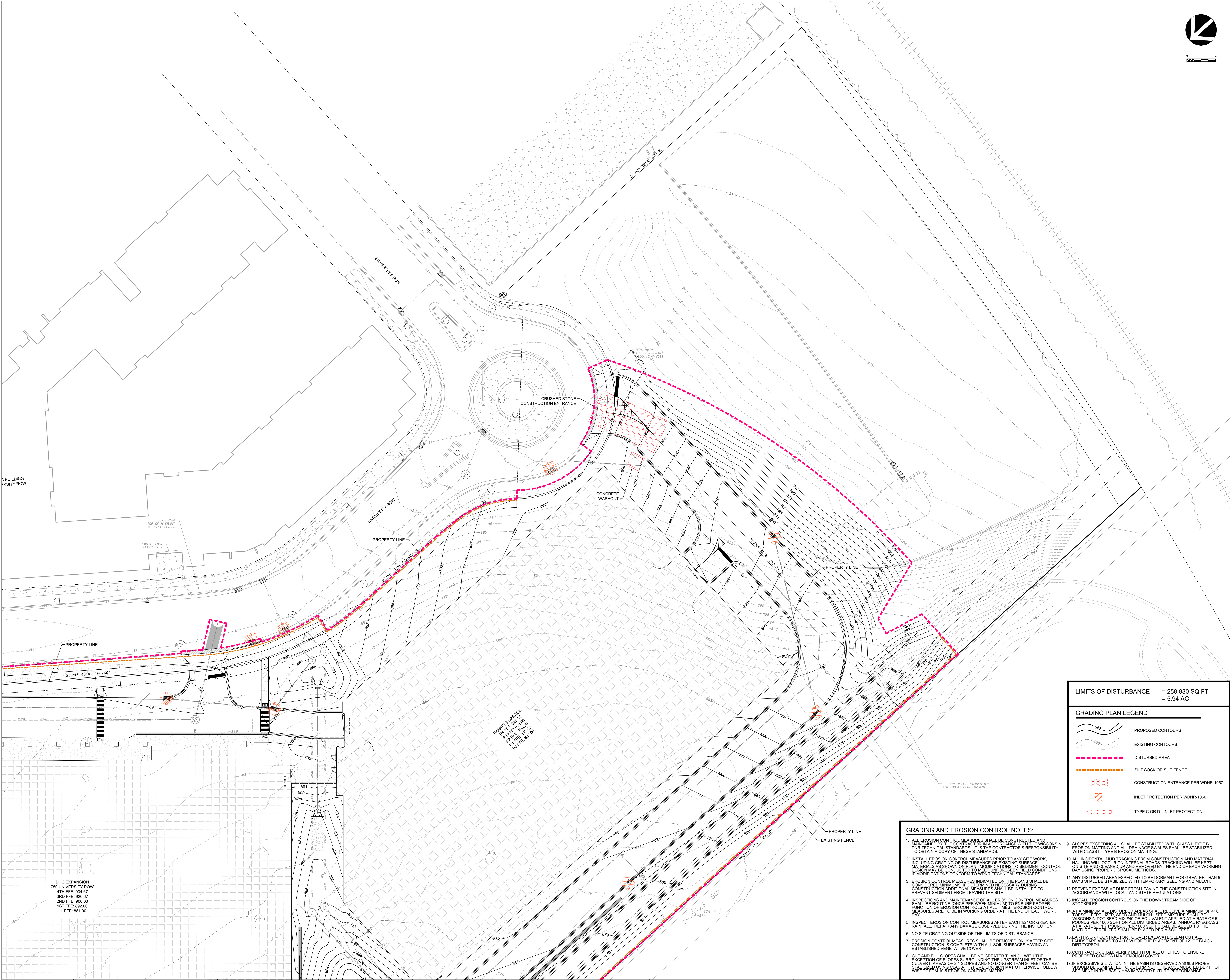
PROJECT MANAGER RB

PROJECT NUMBER 422291

EROSION CONTROL PLAN - NORTH

C403

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0 20'



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PROJECT INFORMATION
**750 UNIVERSITY
ROW EXPANSION**

**750 University Row
Madison, WI 53705**

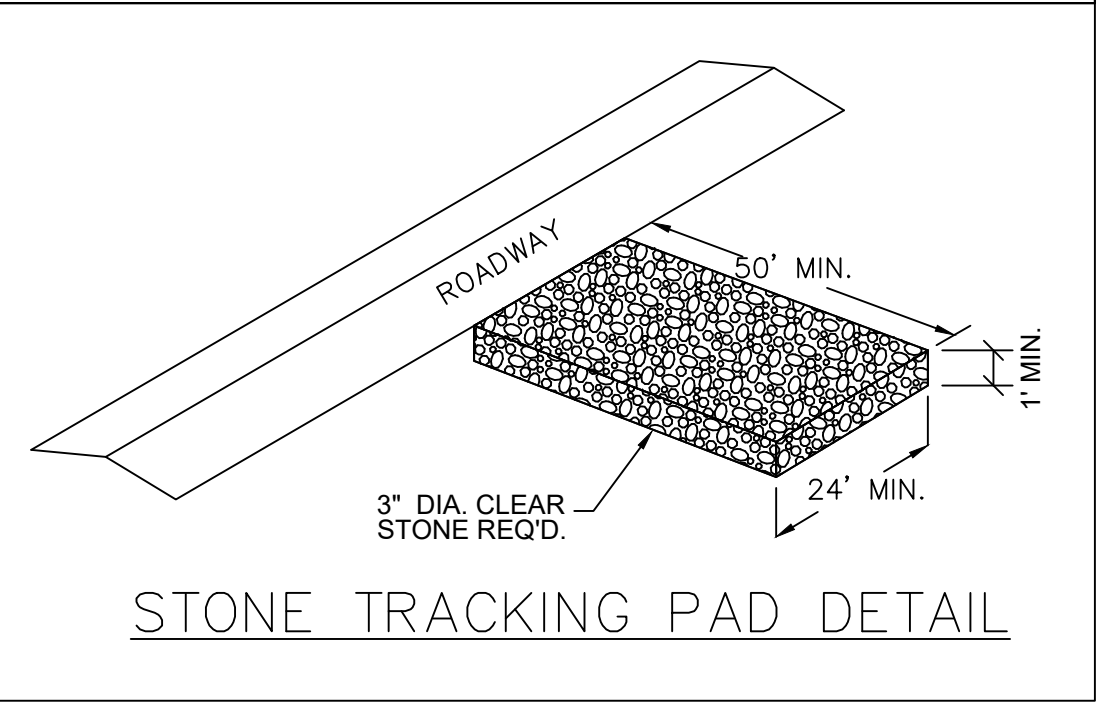
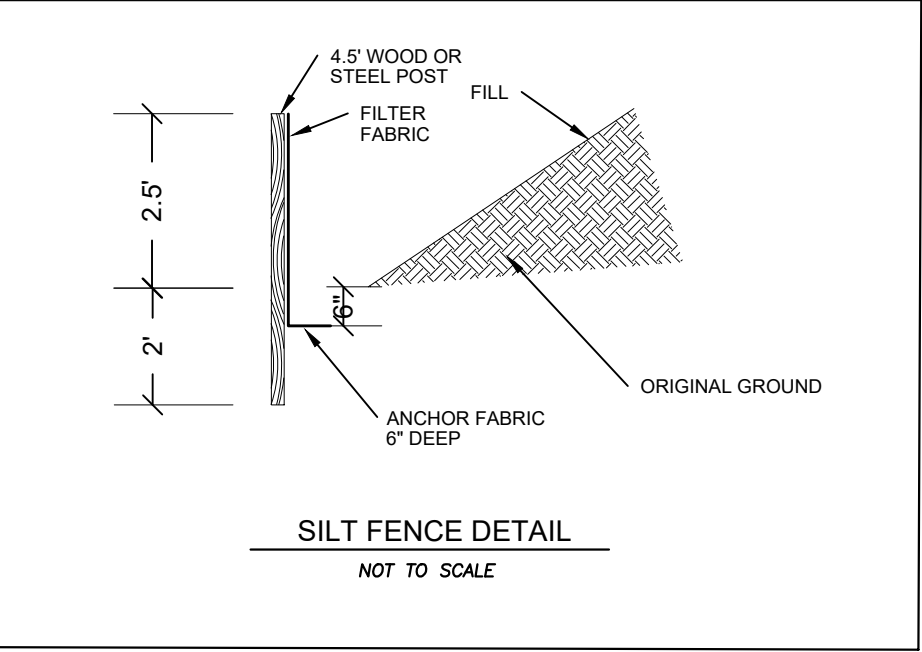
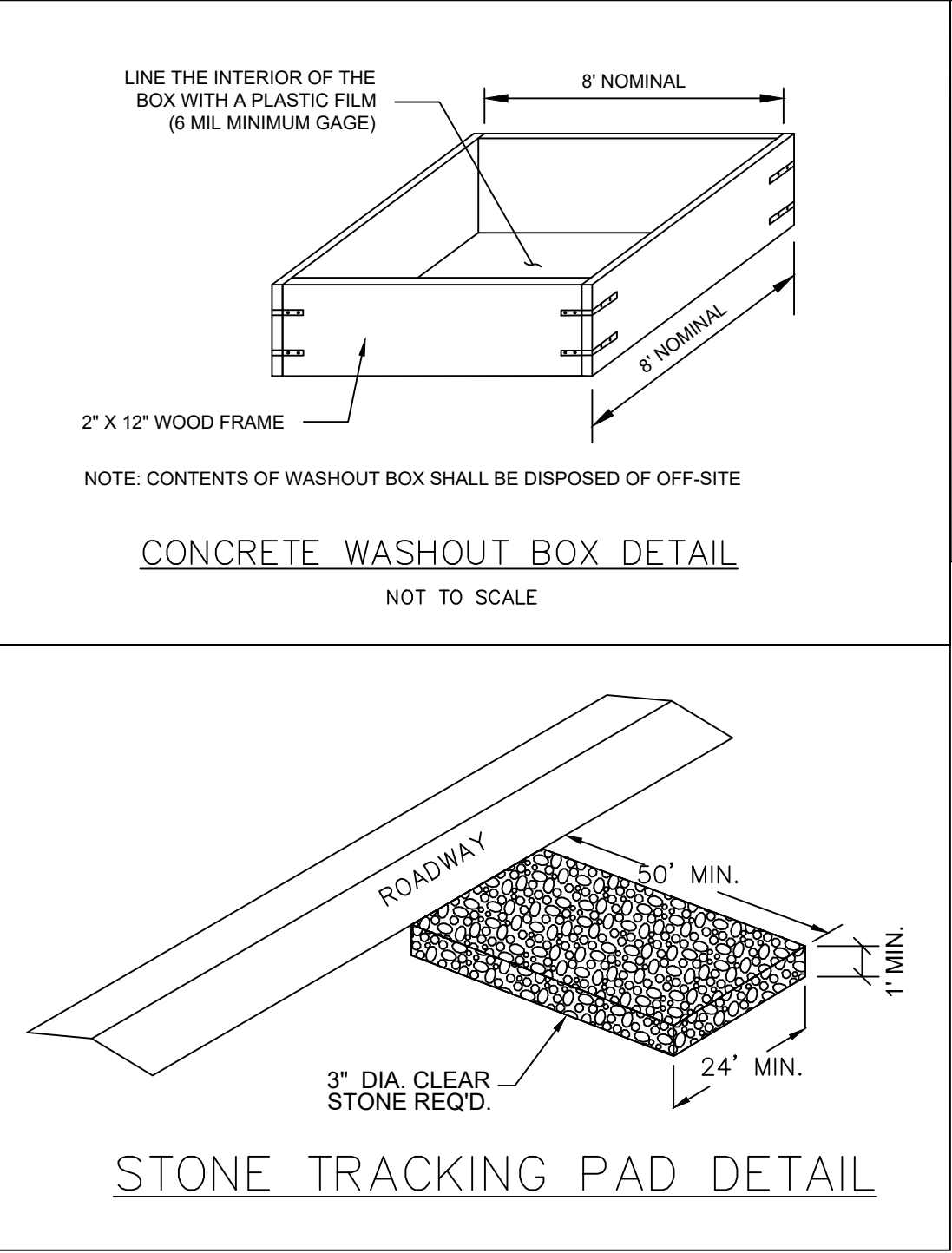
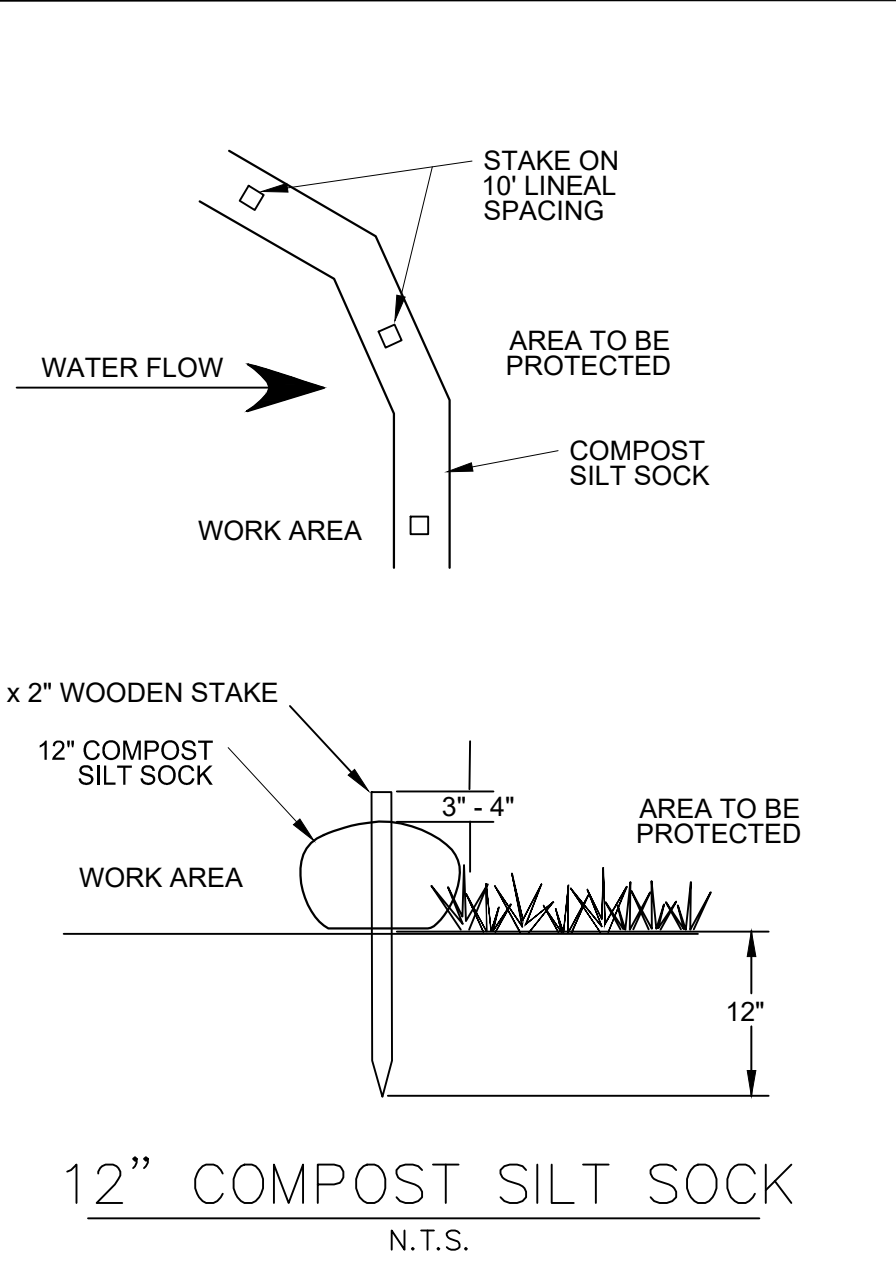
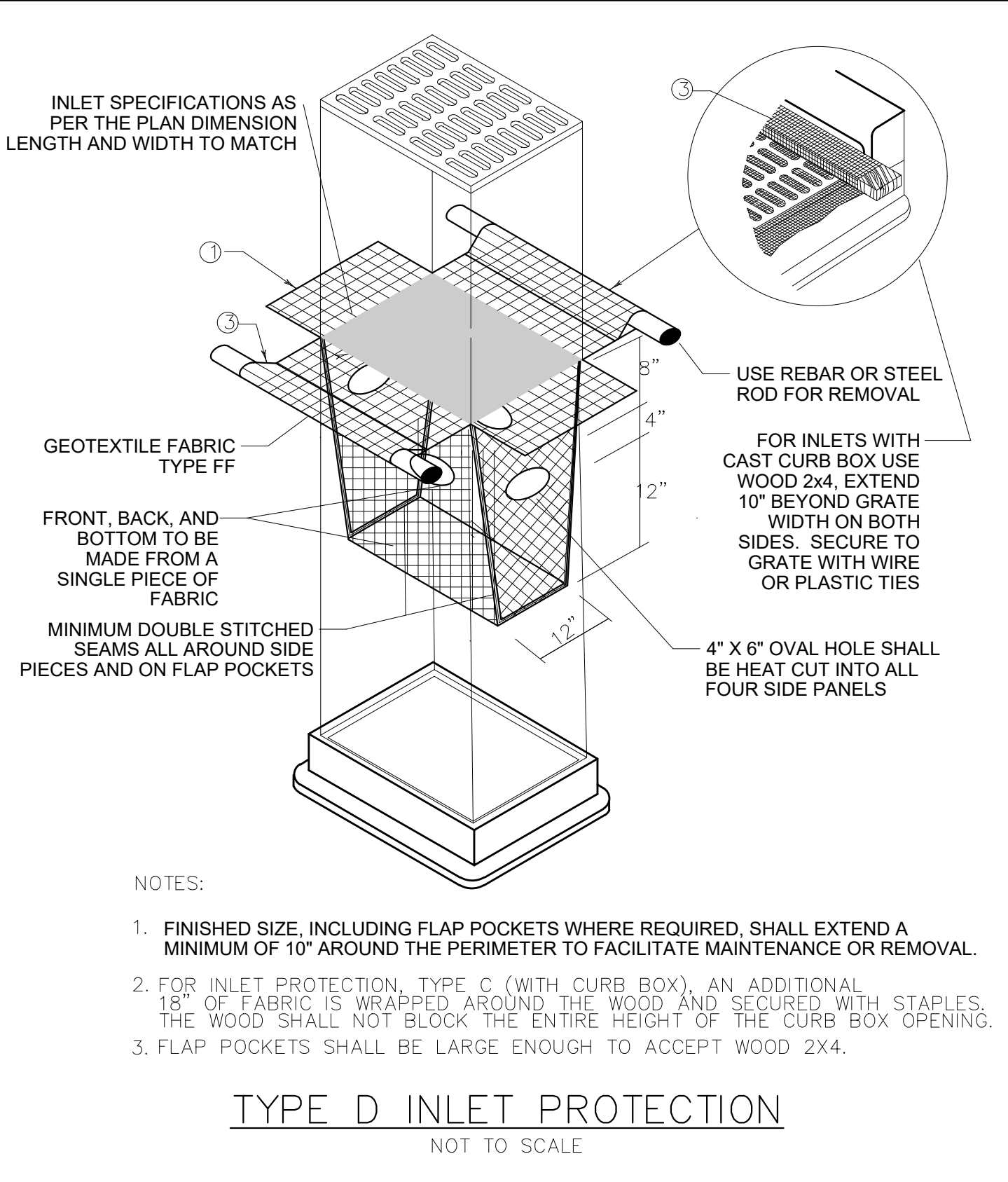
ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

KEY PLAN

SHEET INFORMATION
**PROGRESS DOCUMENTS
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PROJECT MANAGER RB
PROJECT NUMBER 422291

**EROSION CONTROL
PLAN - SOUTH**
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PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

D750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

KEY PLAN

B

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

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A

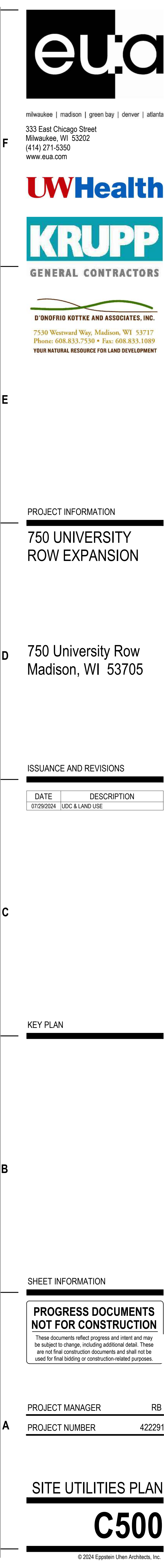
PROJECT MANAGERRB

PROJECT NUMBER422291

EROSION CONTROL
DETAILS

C405

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—

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

Q

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/29/2024	UDC & LAND USE

3

KEY PLAN

3

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

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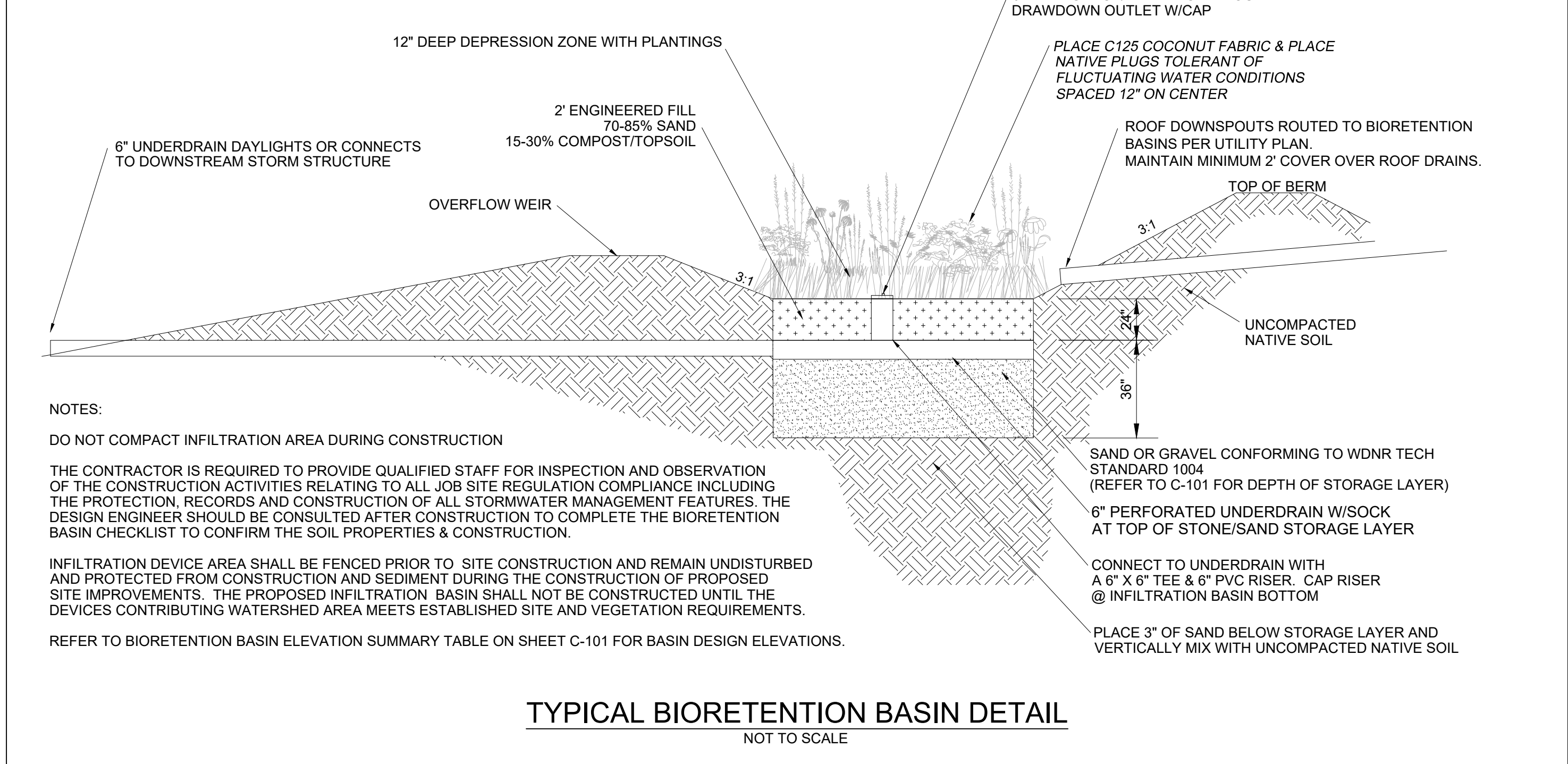
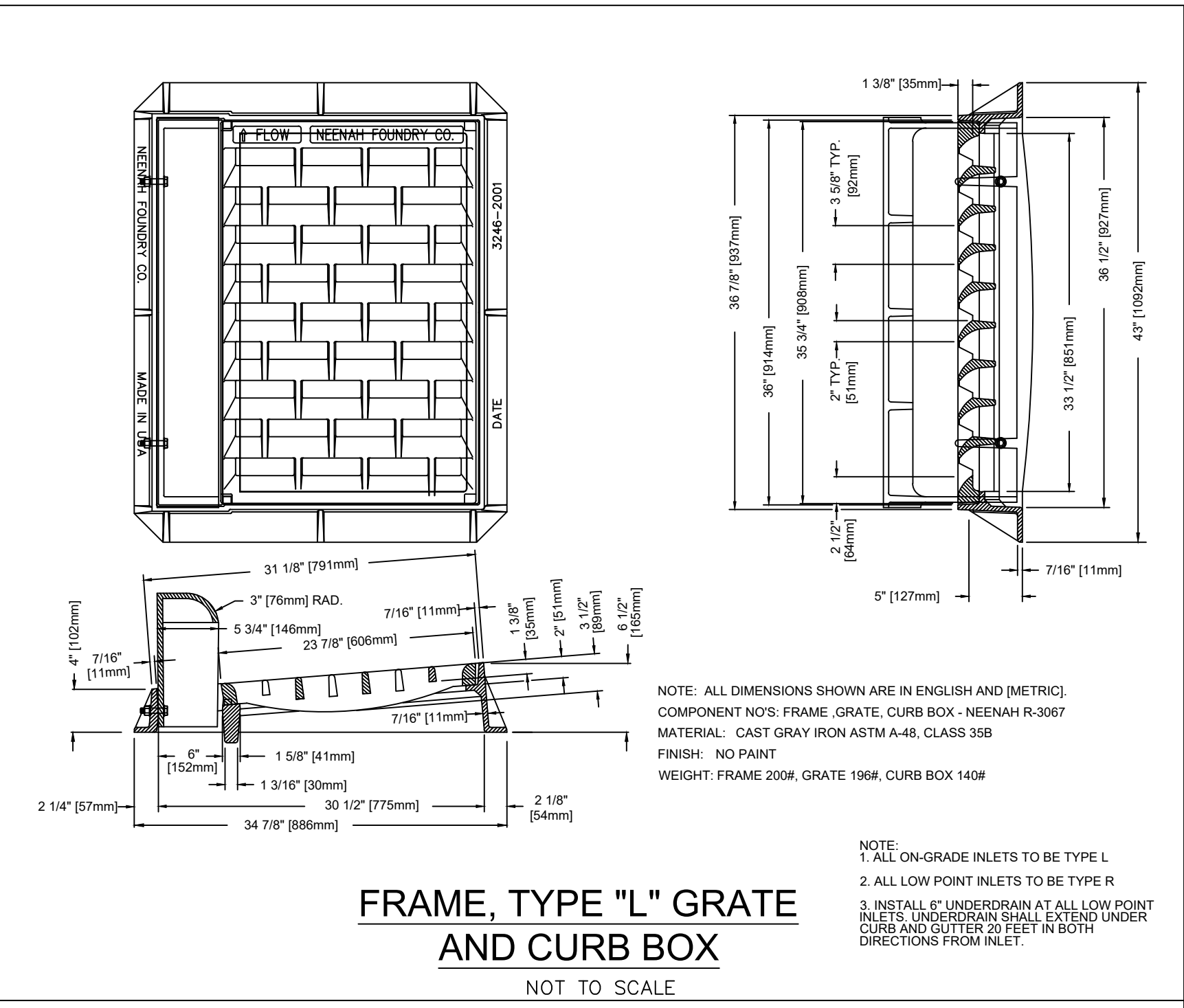
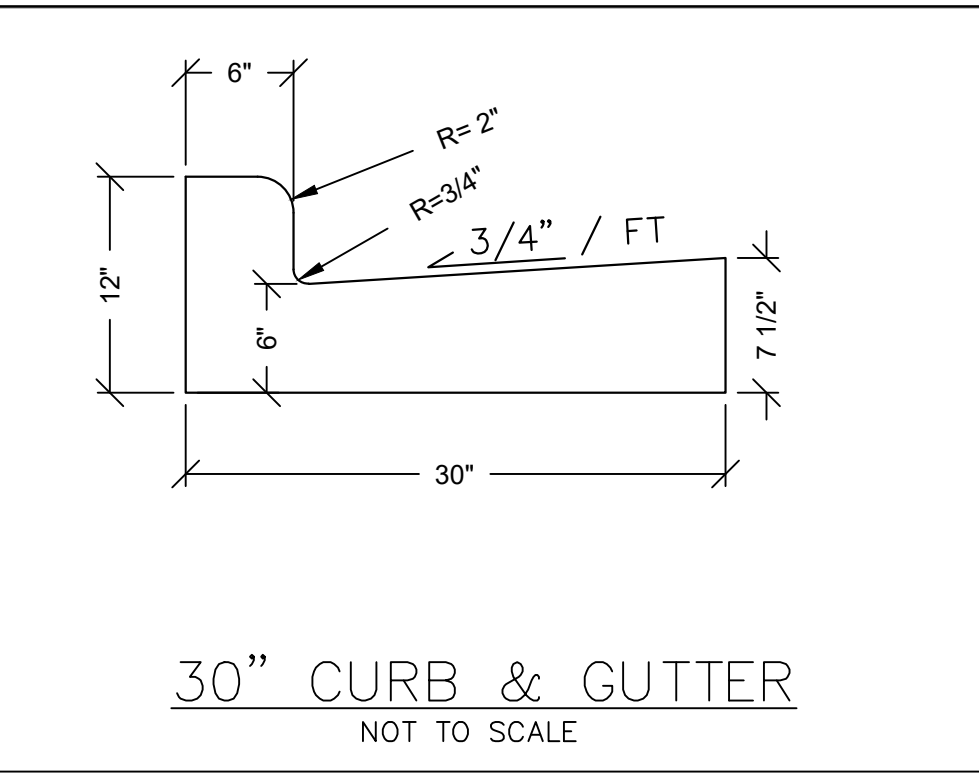
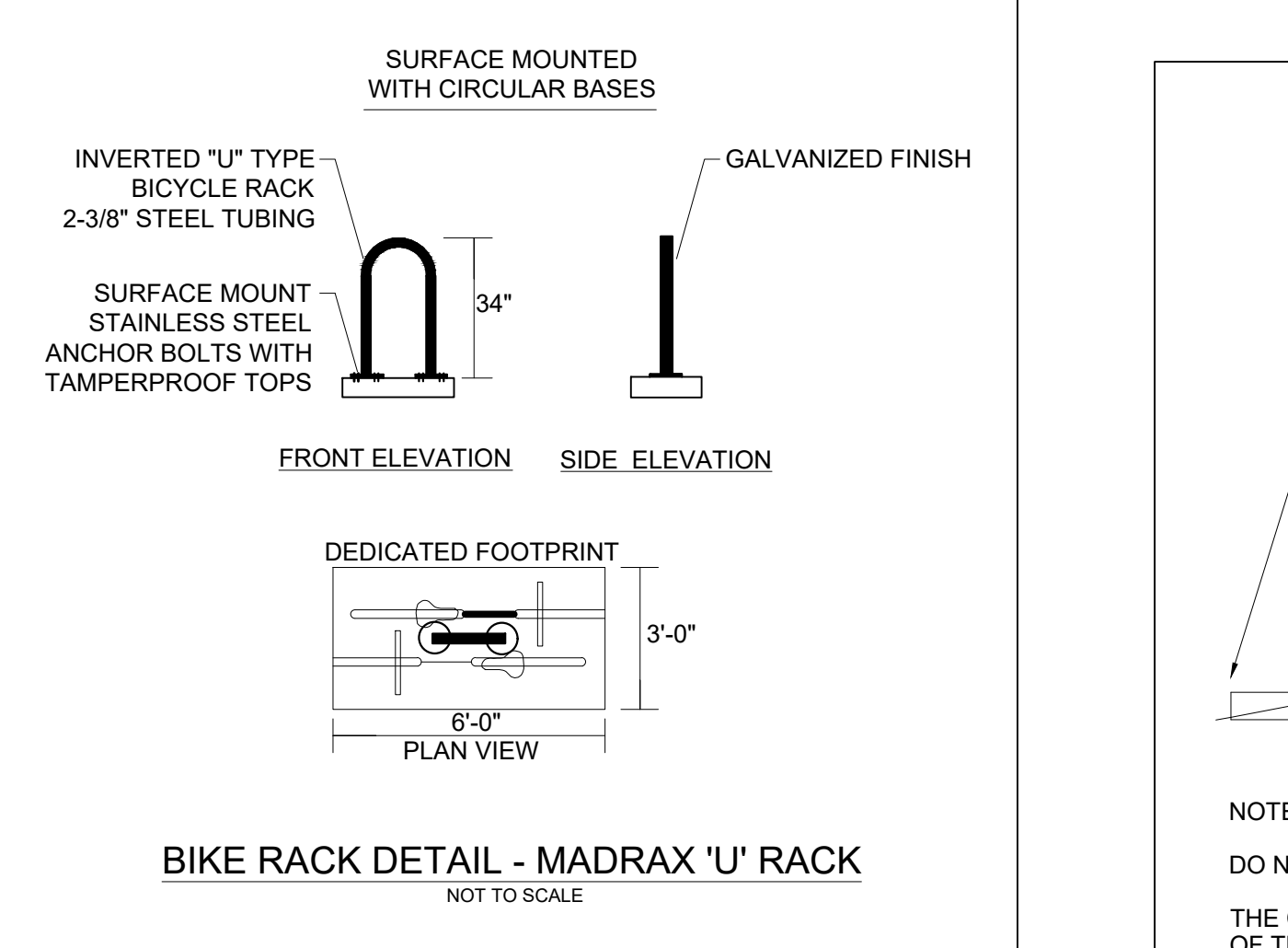
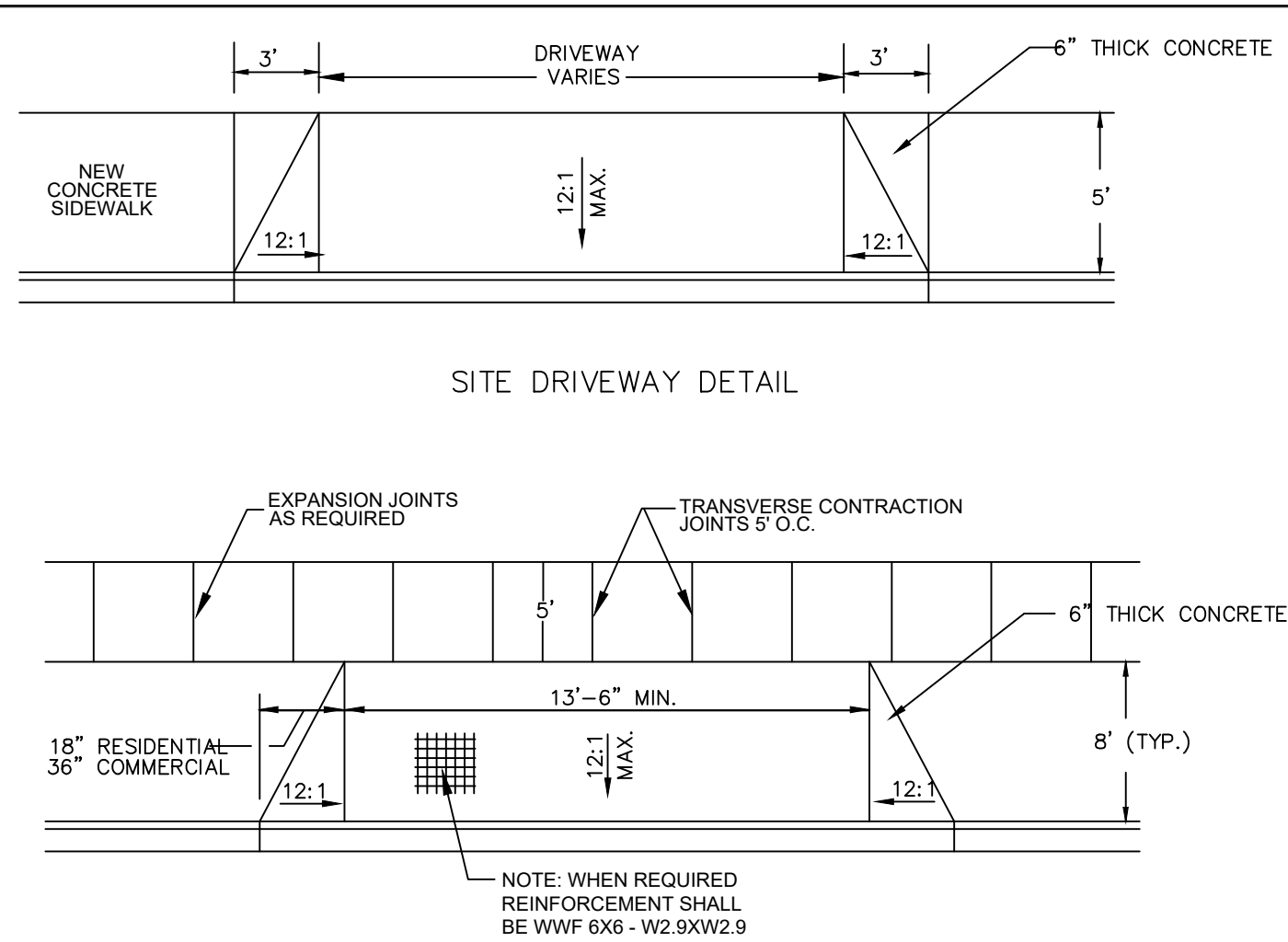
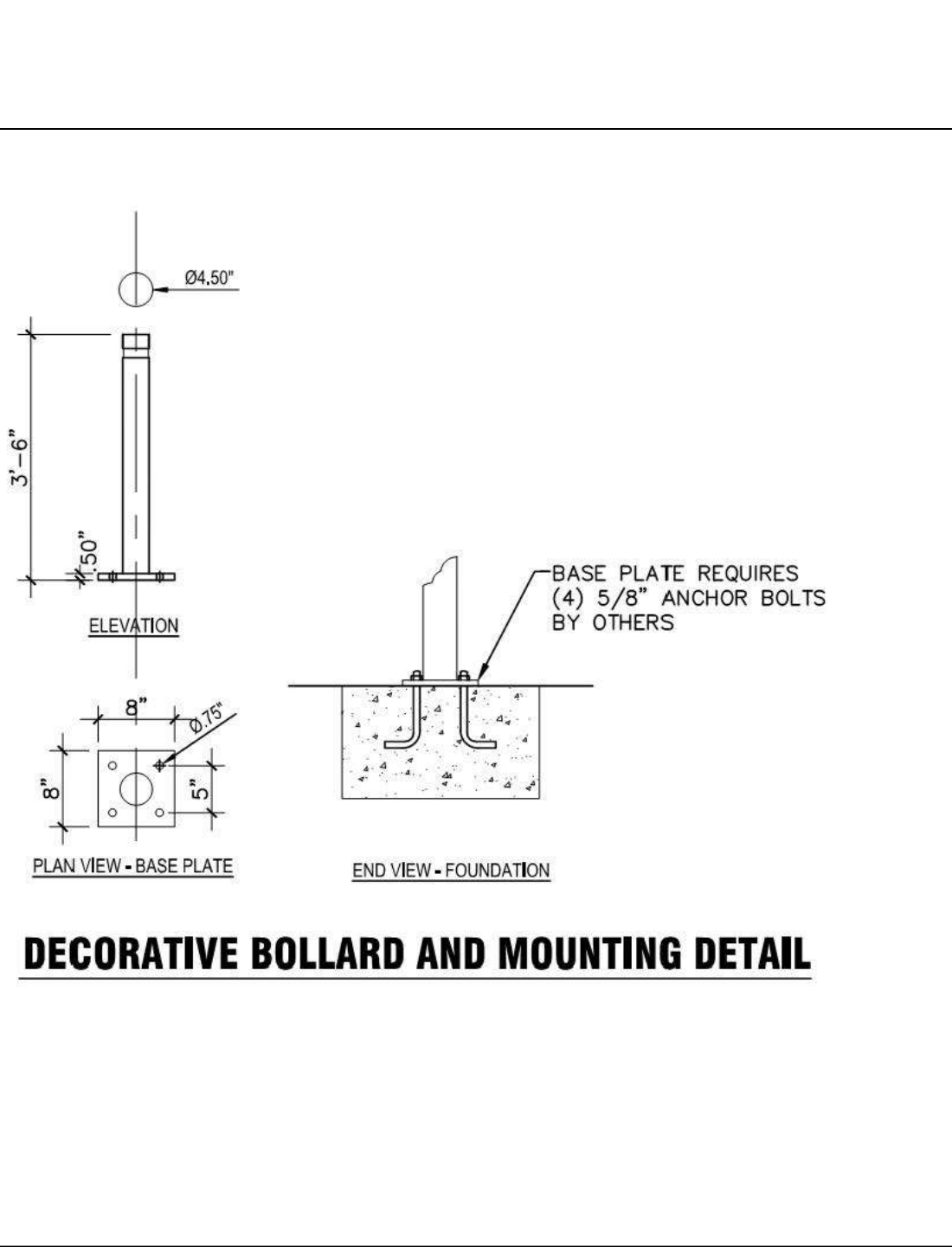
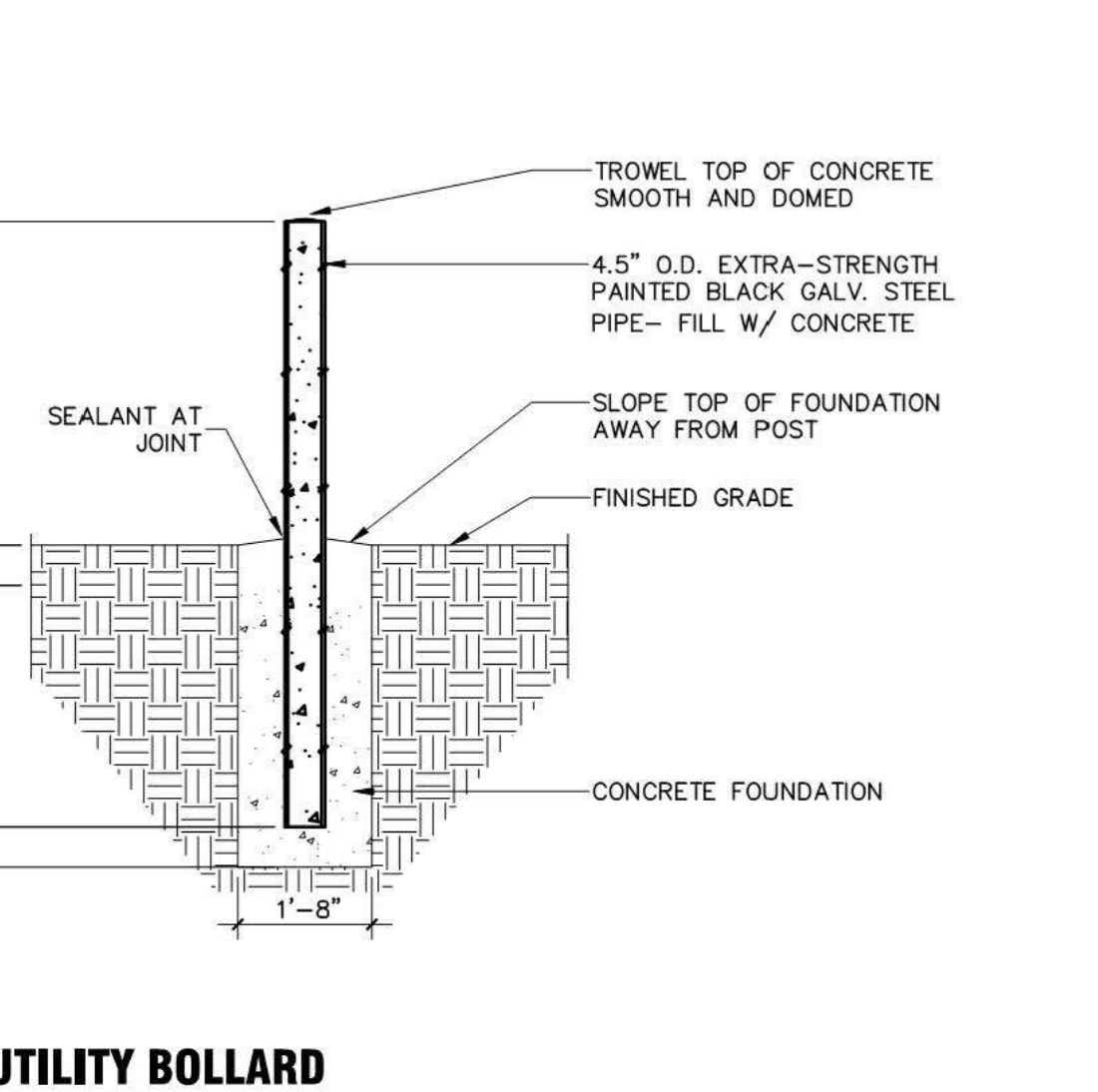
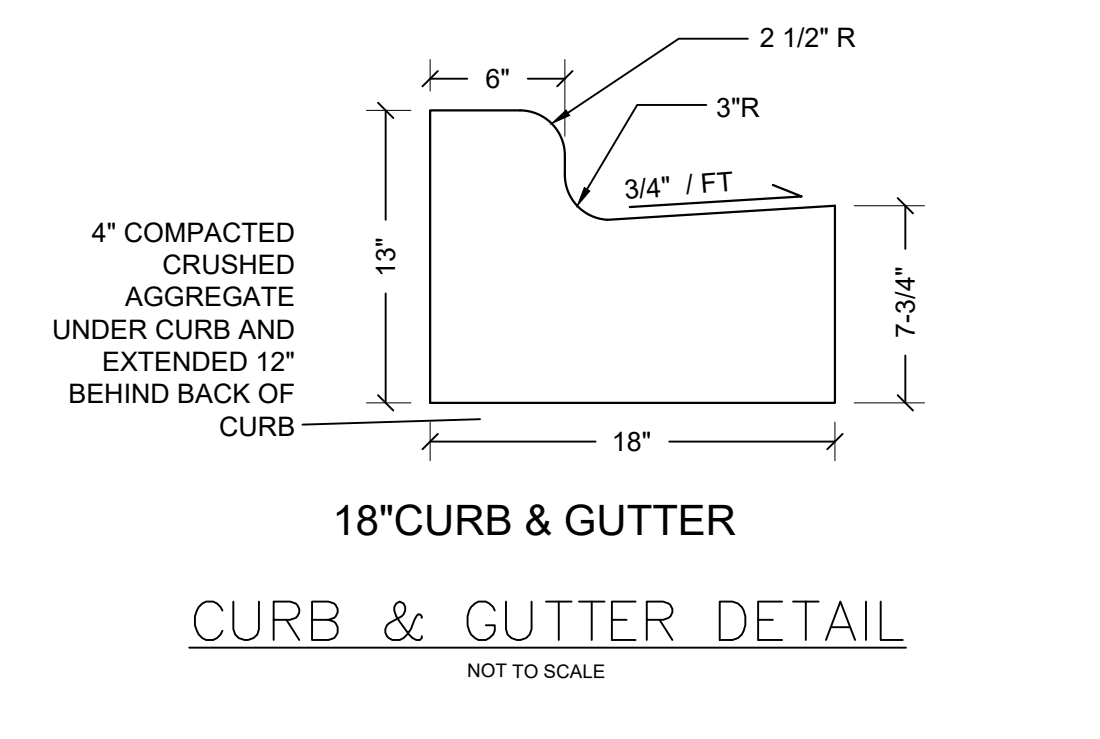
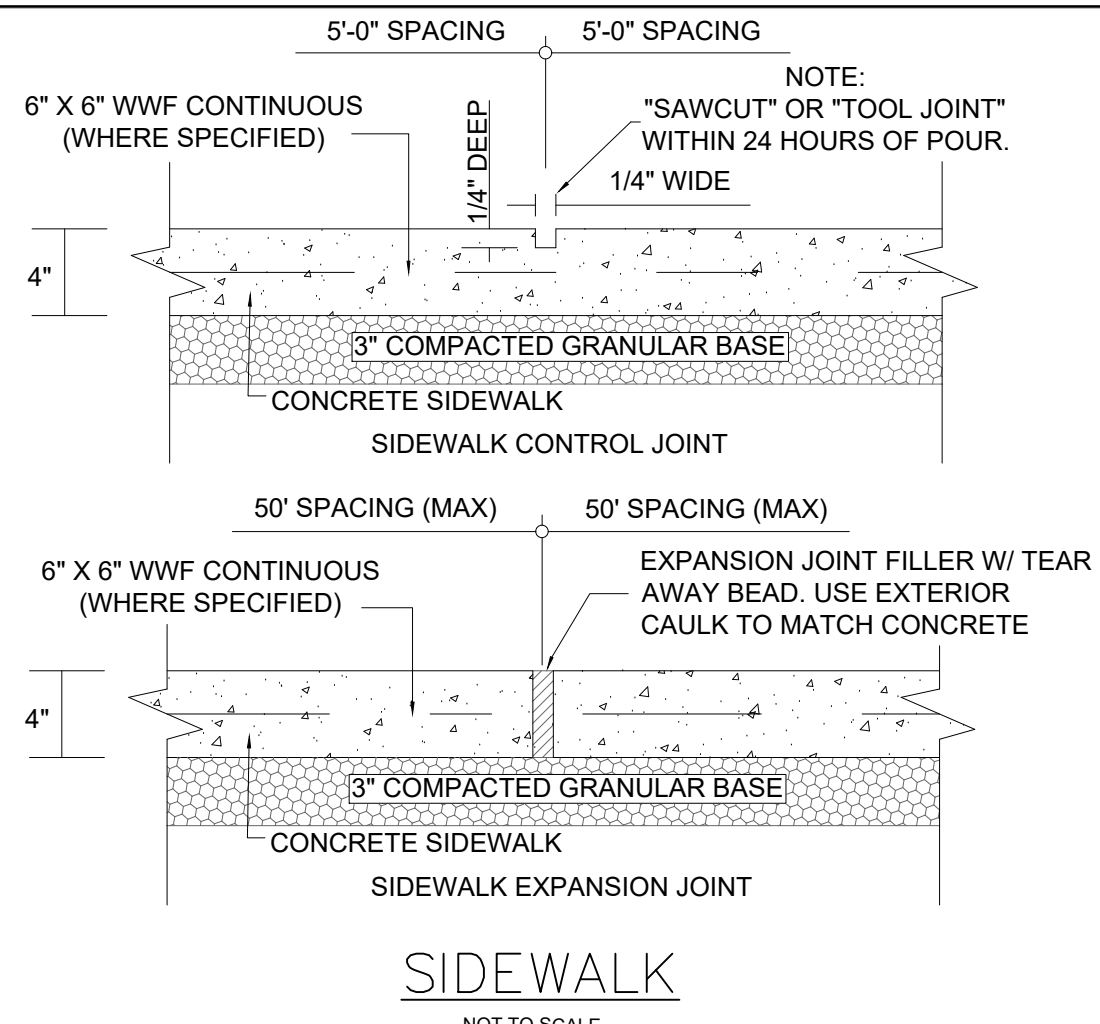
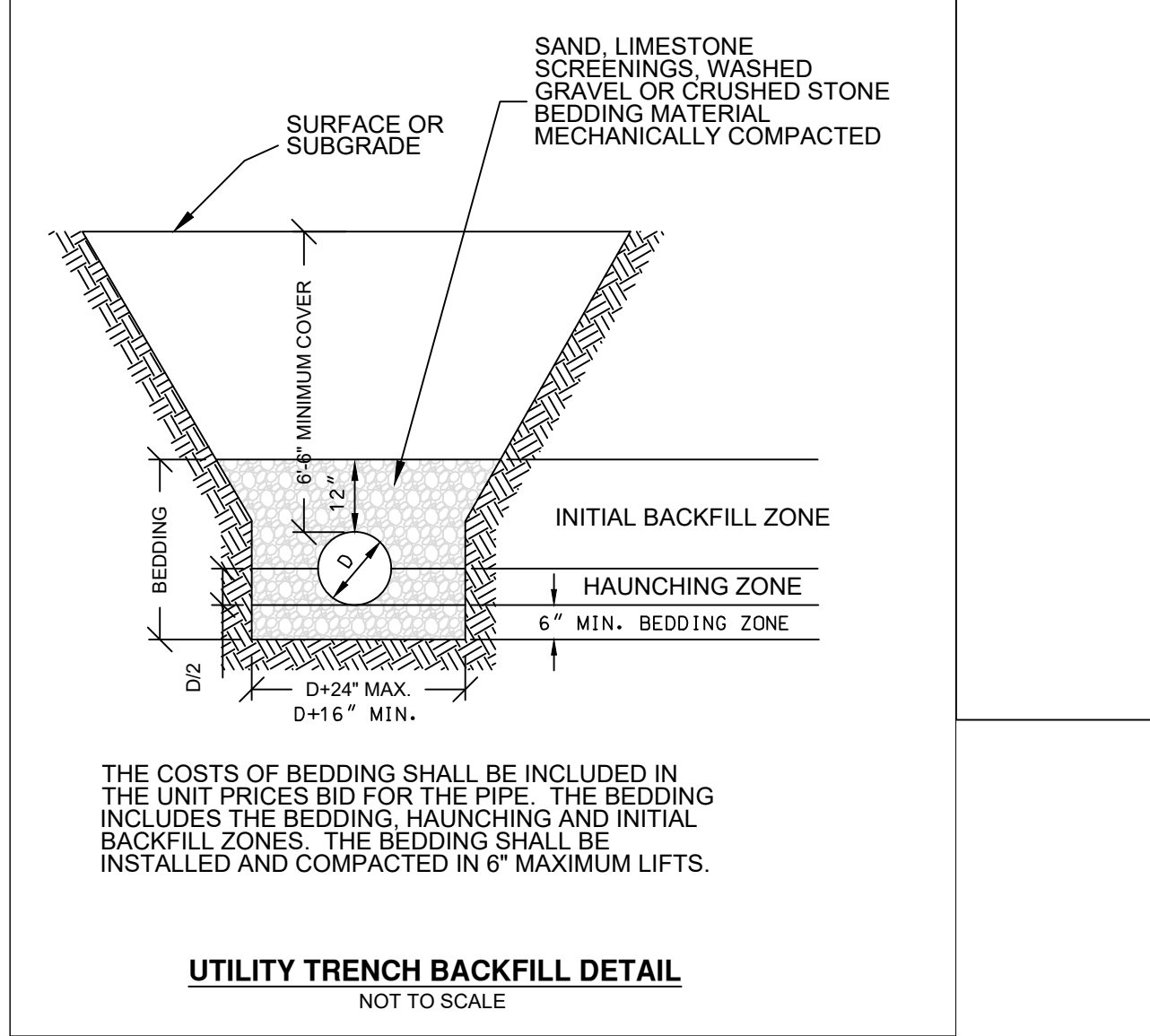
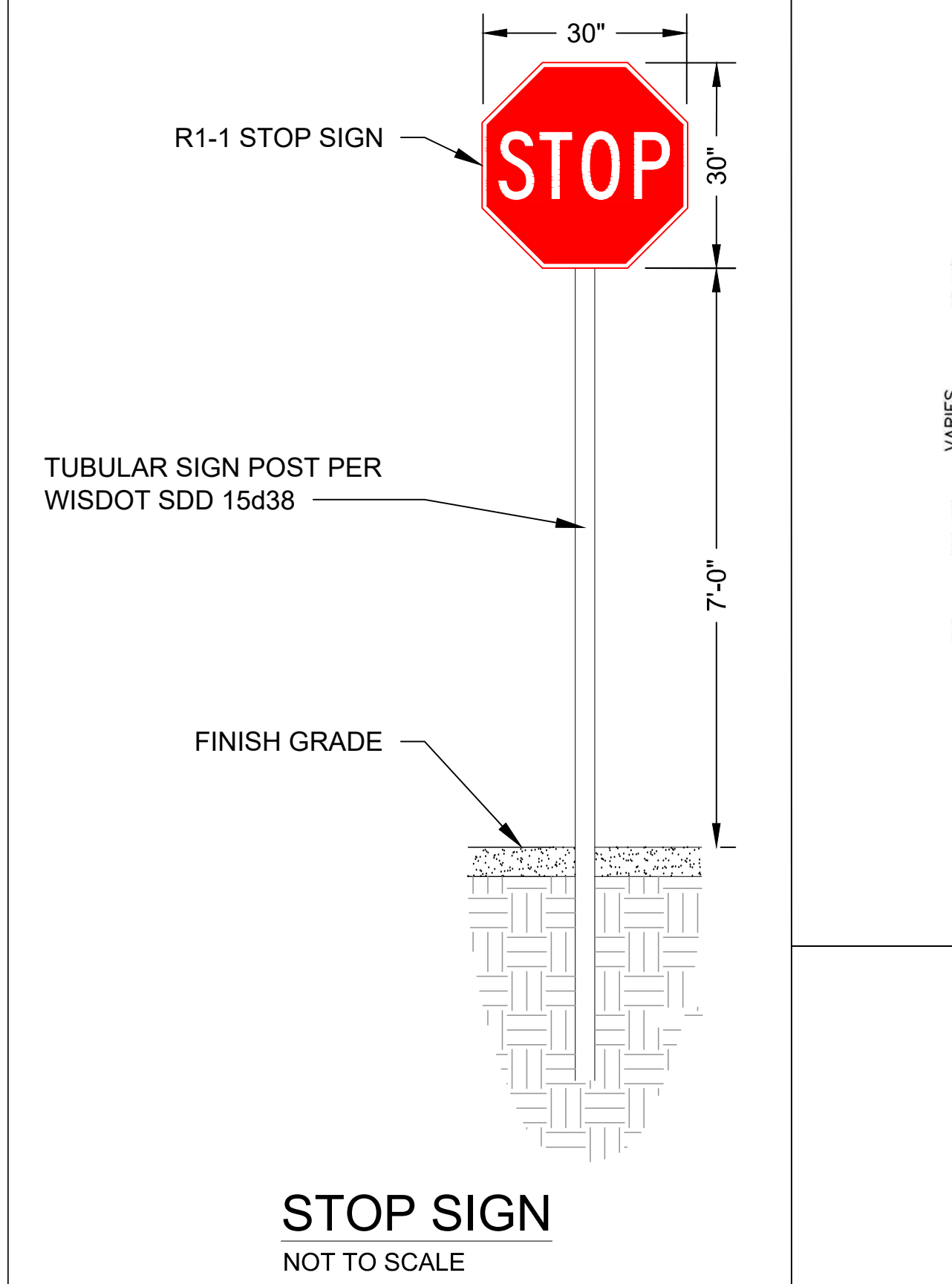
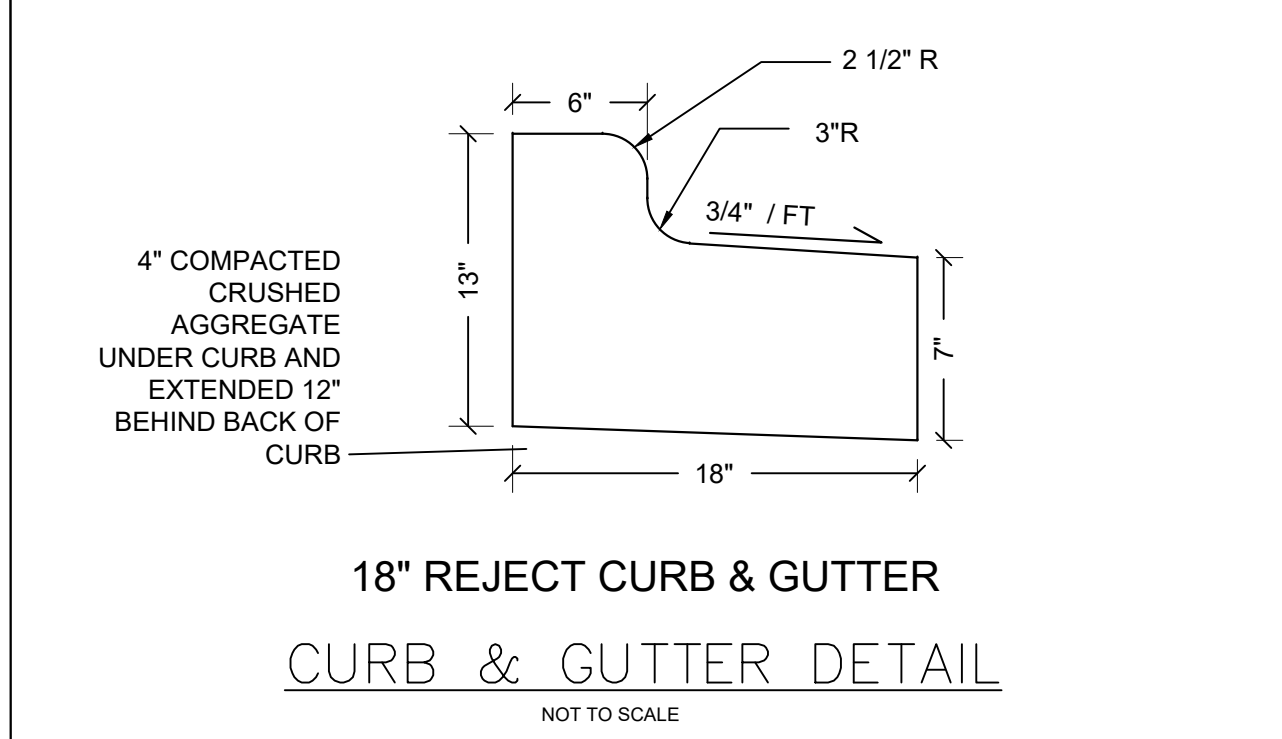
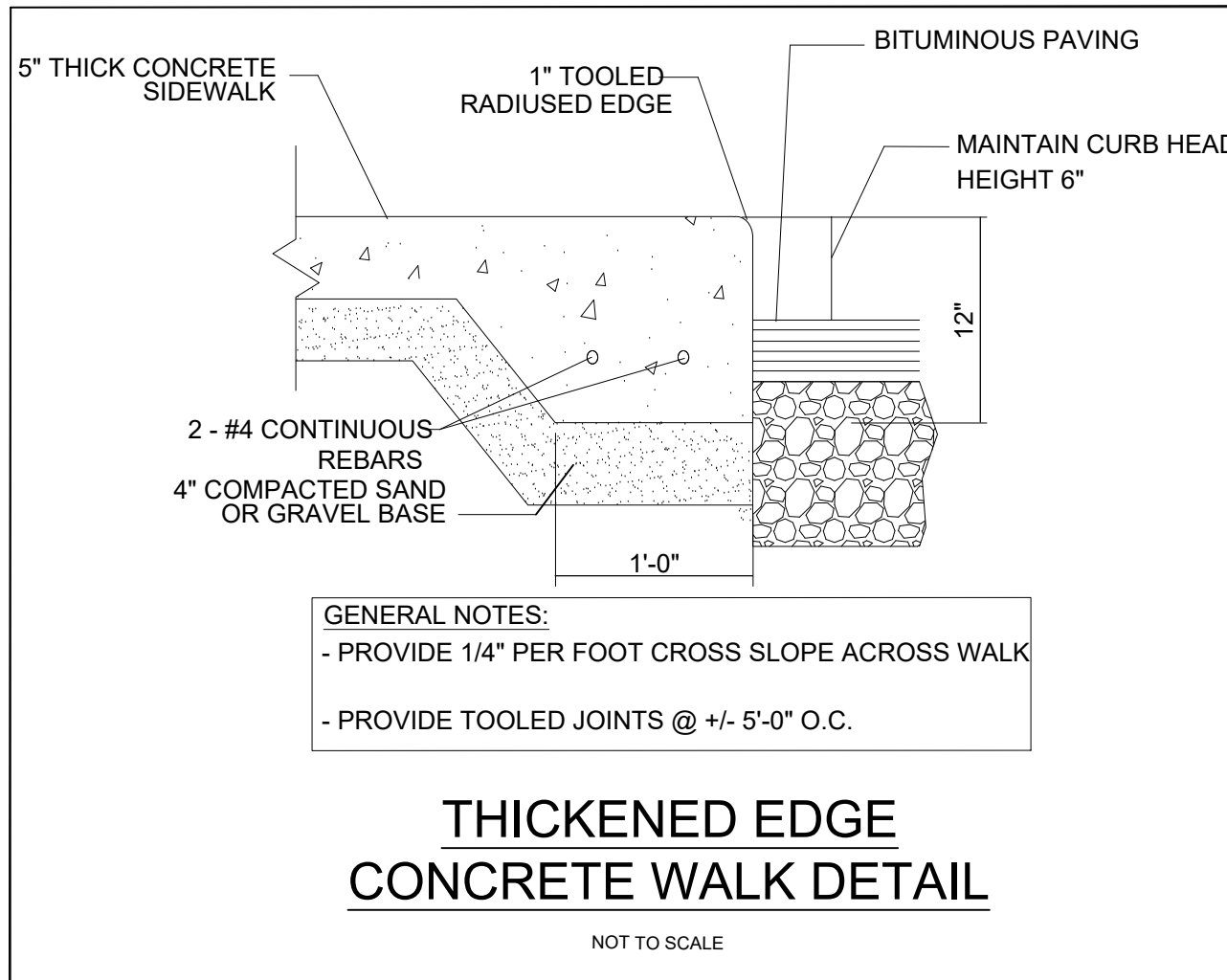
PROJECT MANAGER RB

A

CONSTRUCTION DETAILS

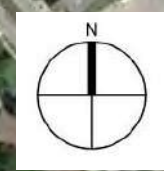
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750 UNIVERSITY ROW EXPANSION



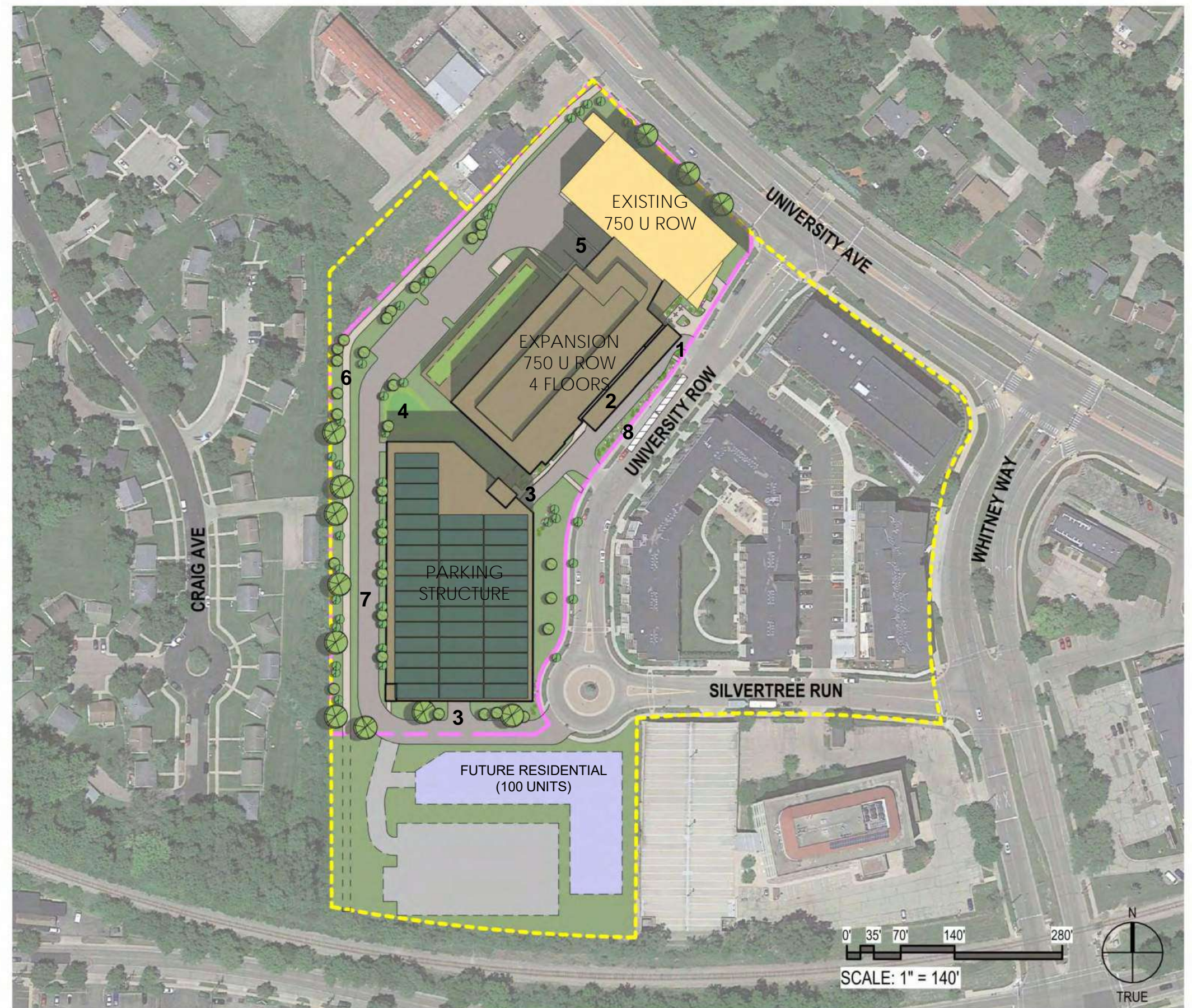












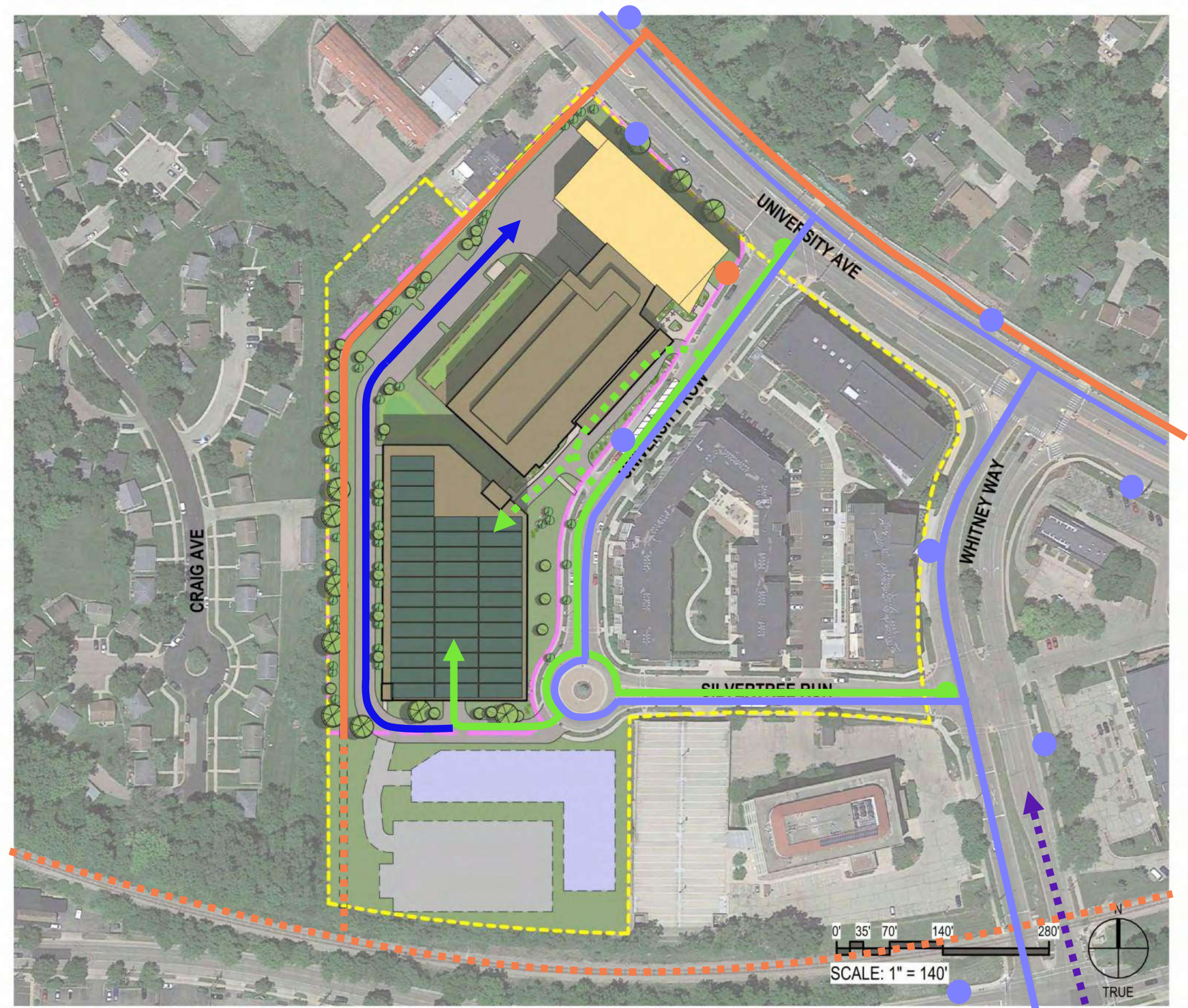
- 1 MAIN ENTRY
- 2 PATIENT DROP OFF / PICK UP
- 3 PARKING ENTRY
- 4 INFILTRATION
- 5 LOADING DOCK
- 6 BIKE PATH
- 7 SERVICE DRIVE
- 8 BUS STOP

PUD BOUNDARY ---

SIP BOUNDARY -.-



-  BUS ROUTES
-  BUS STOPS
-  ROUTE FROM EAU CLAIRE BRT STOP
-  BIKE PATHS
-  B-CYCLE STATION
-  VISITOR / PATIENT VEHICLES
-  VISITOR DROP-OFF
-  STAFF / SERVICE VEHICLES ONLY





Existing façade within 20' setback

Principal building entry

Seeking TOD exception relative to drop-off between primary street and primary façade, due to clinical need and patient safety

Seeking TOD exception relative to primary façade being beyond 20' maximum setback, to accommodate drop-off

Entry from Parking

30' City storm easement between clinic and parking

Seeking TOD exception to parking structure active use requirement



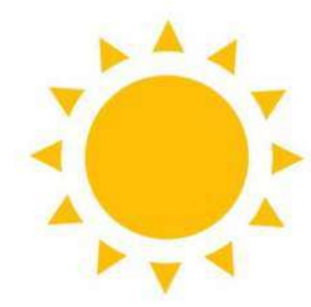








SUSTAINABILITY COMMITMENT



Renewable Solar Energy
Roof solar array anticipated to generate up to 1 million kWh annually



Upgraded Building Envelope with increased R-value and air infiltration control layer



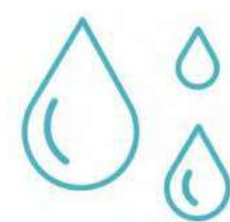
The parking garage will provide charging for electric vehicles, ample bike parking for staff and visitors and will be shaded by solar panels



Green Roofs to reduce Urban Heat Island Effect; Native and Resilient plantings minimize irrigation



Bicycle Infrastructure
Covered bike storage along with showers and lockers to encourage bike use by employees | B Cycle station on site | Extension of Bike Path



Parking will be in a covered structure minimizing rainwater run-off as well as minimizing the use of deicing agents during the winter months



Bird-Friendly Glazing minimizing collisions



Incorporate low-emitting and low-carbon materials



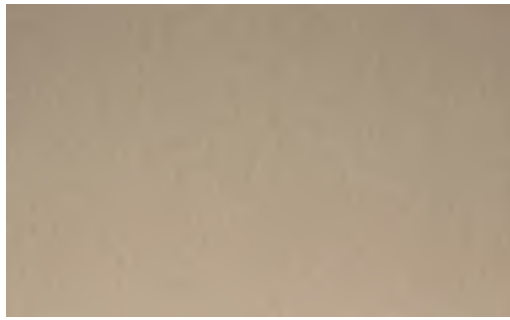
Central and Accessible
Located within ¼ mile walk to six bus lines and within ½ mile walk to a BRT stop | Two bus lines onsite | New bus shelter



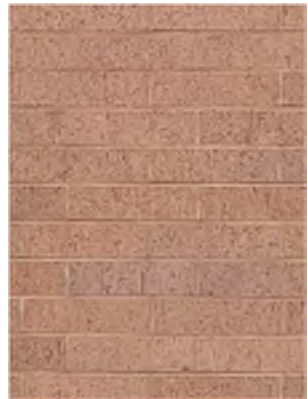
Avoids the energy needed for groundwater pumping by minimizing excavation compared to previous iteration | Less impact to water table



Wood-Look Metal Soffit Panel



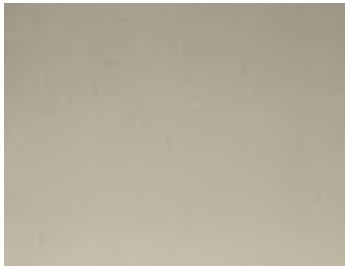
Single Skin Metal Panel with Exposed Fasteners at Screen Wall



Brick
Endicott Coppertone



Calcium Silicate/Glass
Match Existing

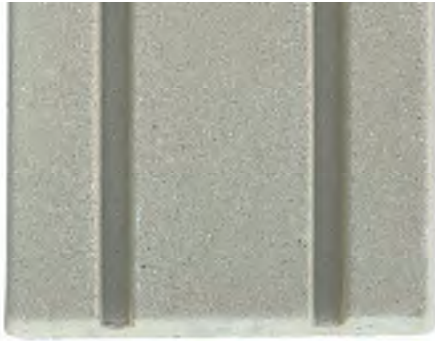


Mullions
Color To Match Existing



Metal Composite Panel &
Metal Infill Panel

750 UNIVERSITY ROW EXPANSION



Acid Etched Precast Concrete
with Ribs



Acid Etched Precast Concrete



Perforated Metal Panel "A"
With Exposed Fasteners



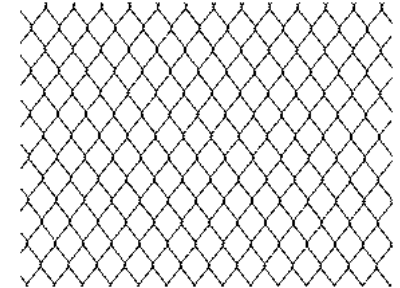
Perforated Metal Panel "B"
With Exposed Fasteners



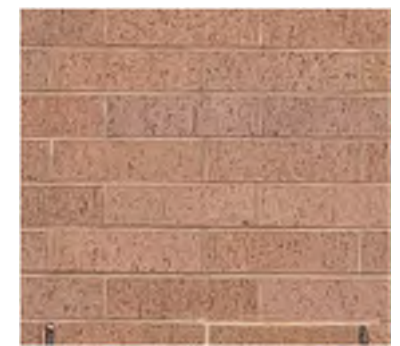
Mullions
Color To Match Existing



Metal Infill Panel

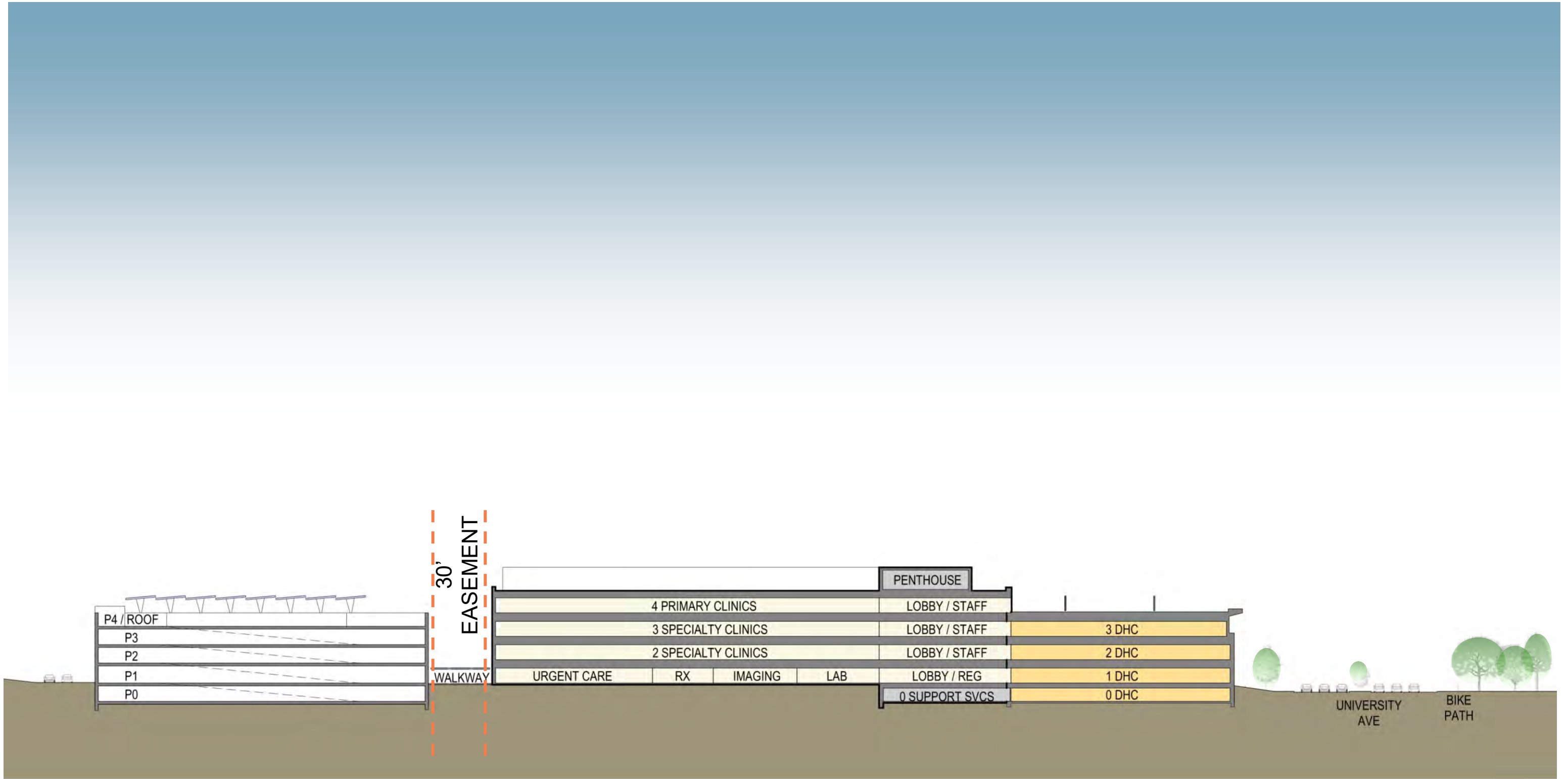


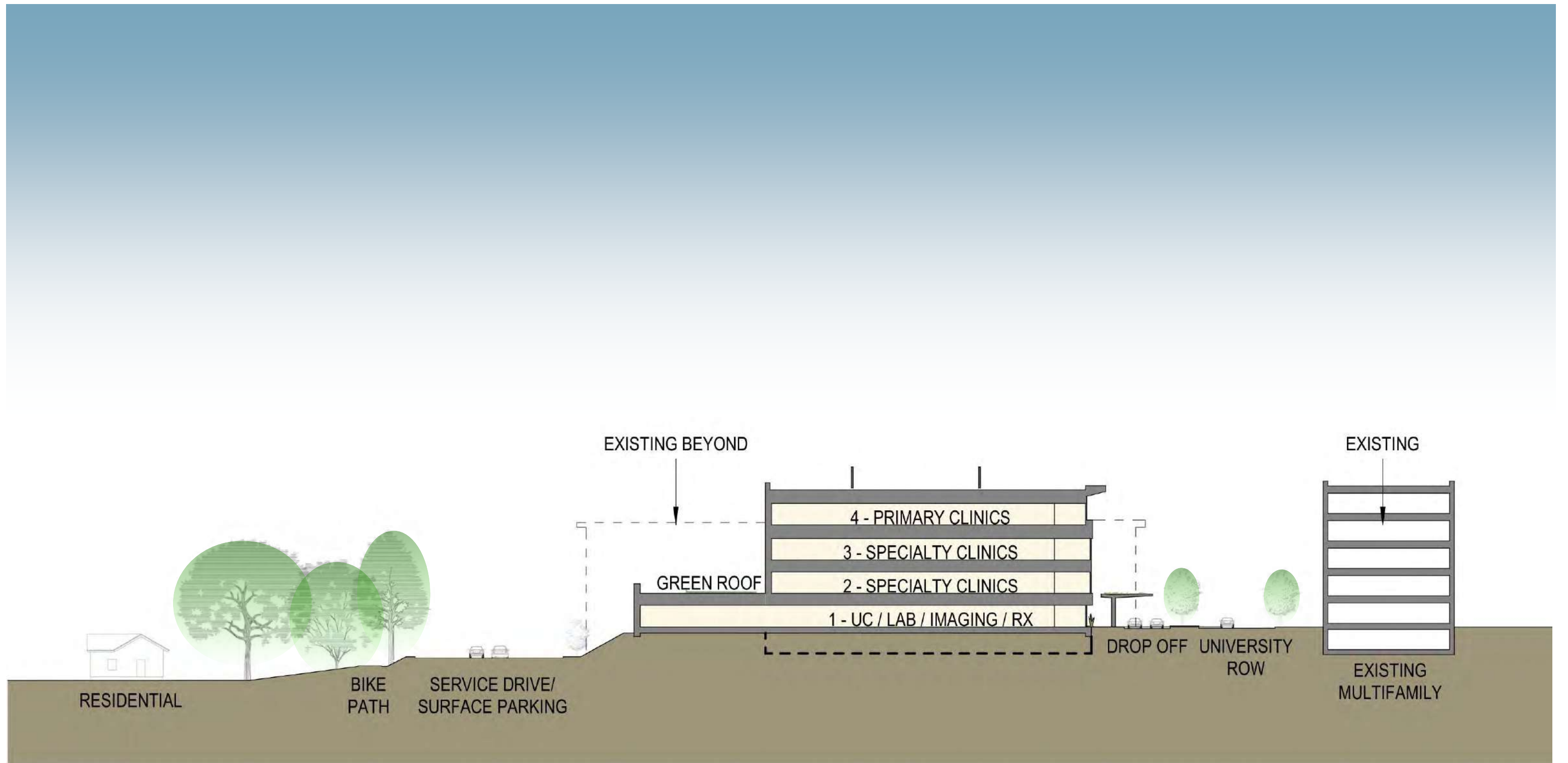
Fence – Black Vinyl Coated

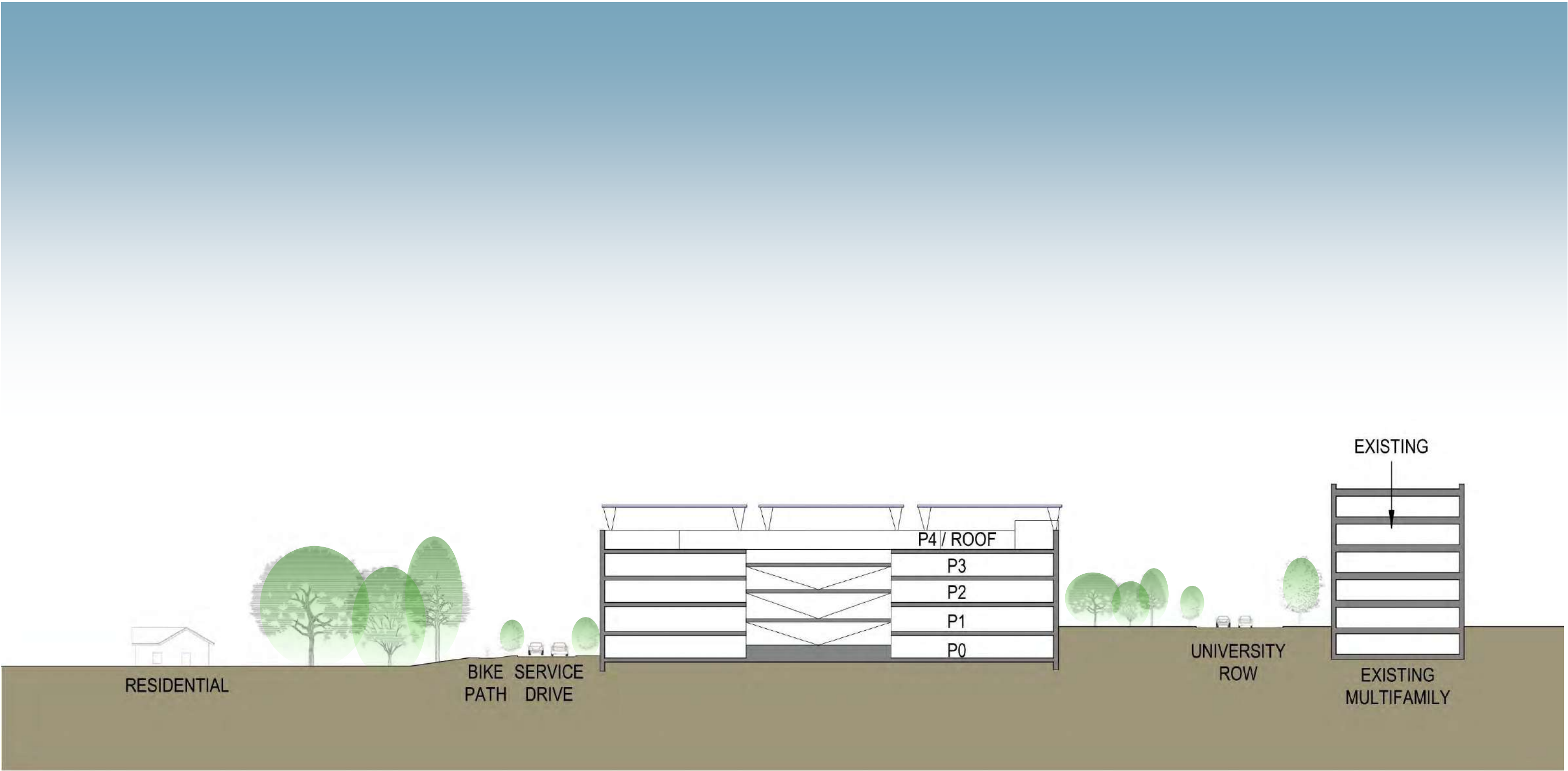


Precast-Thin Brick
Endicott Coppertone

	Use	Height	Building Area		Stalls
Proposed per PUD, GDP, SIP dated 2012.01.24					
Building 1	Clinic	3	67,420	sqft	75
Building 1A	Clinic	4	70,000	sqft	456
Building 2	Clinic	3	80,000	sqft	411
Building 3	Non-profit	3	40,000	sqft	42
Building 4	Office/Retail	3	64,000	sqft	45
Building 5	Hotel	6	84,000	sqft	29
Building 6	Residential	4	135,600	sqft	0
Shared Parking	parking				285
TOTAL Proposed			541,020	sqft	1,343
Current State					
750 University Row	Clinic	3	67,292	sqft	254
725 University Row	Residential	5	144,523	sqft	332
749 University Row	Office/Retail	3	65,110	sqft	32
5125 Silvertree Run	Residential	4	59,330	sqft	30
Surface shared	Parking		0	sqft	54
Future State as Proposed					
750 University Row Expansion	Clinic	4	189,000	sqft	600
Lot 2 and 3 Building	Residential	4	115,000	sqft	140
TOTAL Current + Future			640,255	sqft	1,442
Delta Analysis					
Total Proposed			541,020		1,343
Total Current + Future			640,255		1,442
DELTA			99,235	sqft	99









Existing Glass/Mullion



Existing Brick



Existing Metal



Existing Calcium Silicate



UNIVERSITY CROSSING
5102 SILVERTREE RUN



OFFICES
610 N WHITNEY WAY



OFFICES
749 UNIVERSITY AVENUE



UNIVERSITY ROW APARTMENTS
725 UNIVERSITY ROW



LOT 3
SILVERTREE RUN & UNIVERSITY ROW



HARBOR VIEW APARTMENTS
5265 UNIVERSITY AVENUE



SPRING HARBOR ANIMAL HOSPITAL
5129 UNIVERSITY AVENUE



MIDAS
5201 UNIVERSITY AVENUE





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Madison, WI 53703
(608) 442-5350
www.eua.com

Project Manager
DIRECT PHONE: 414-291-8145
EMAIL ADDRESS: robb@eua.com

Rob Beisenstein
414-291-8145
robb@eua.com



E

PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

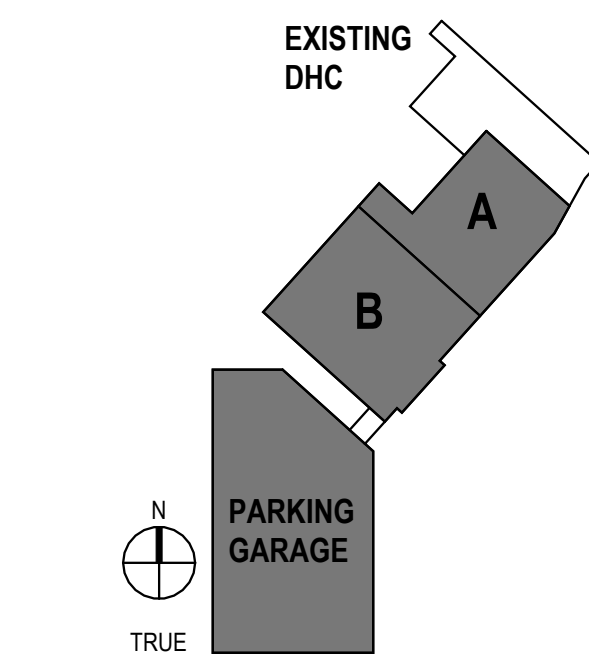
D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C

KEY PLAN



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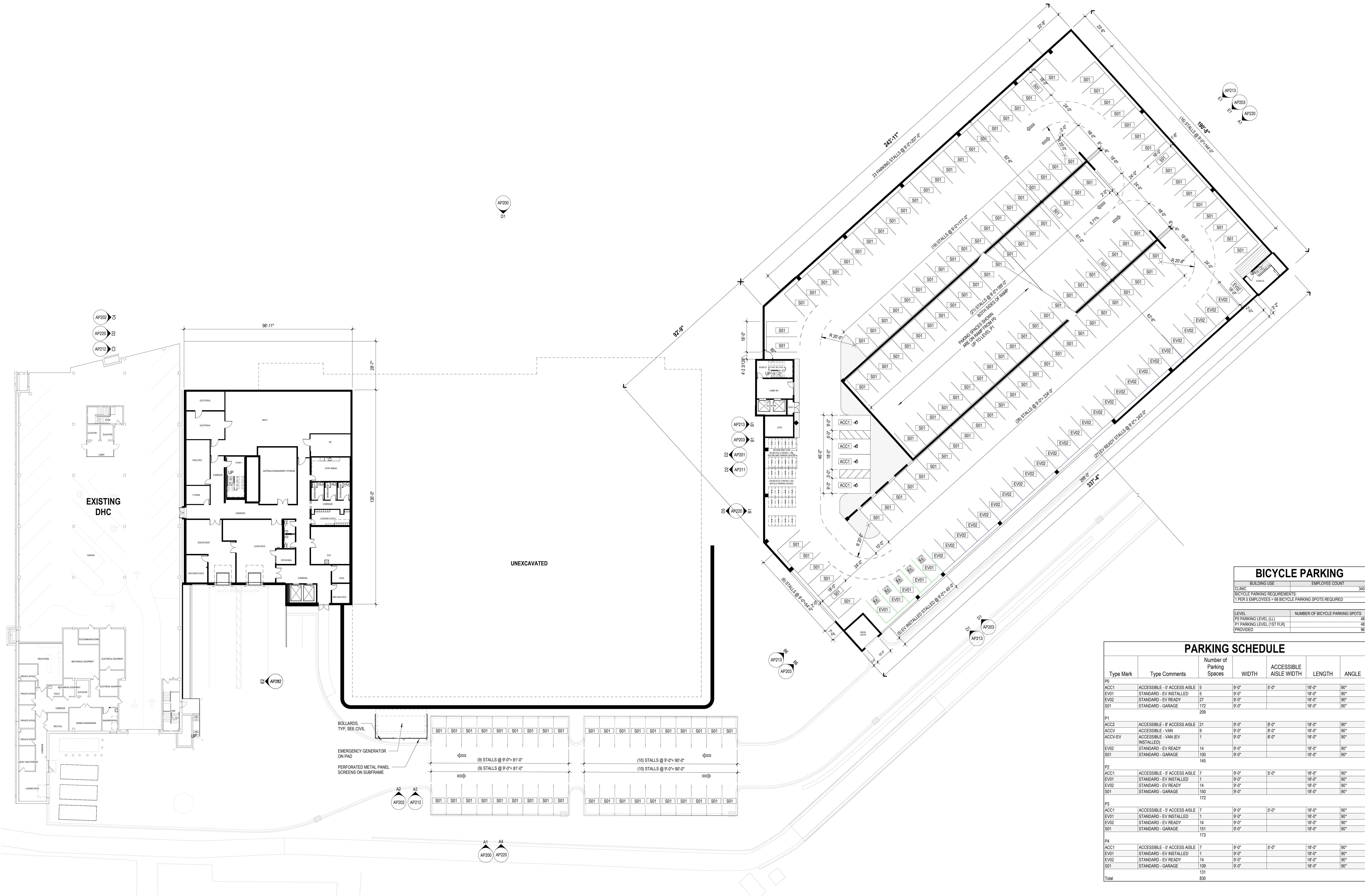
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A PROJECT NUMBER 422291

OVERALL LL FLR
PLAN

AP100

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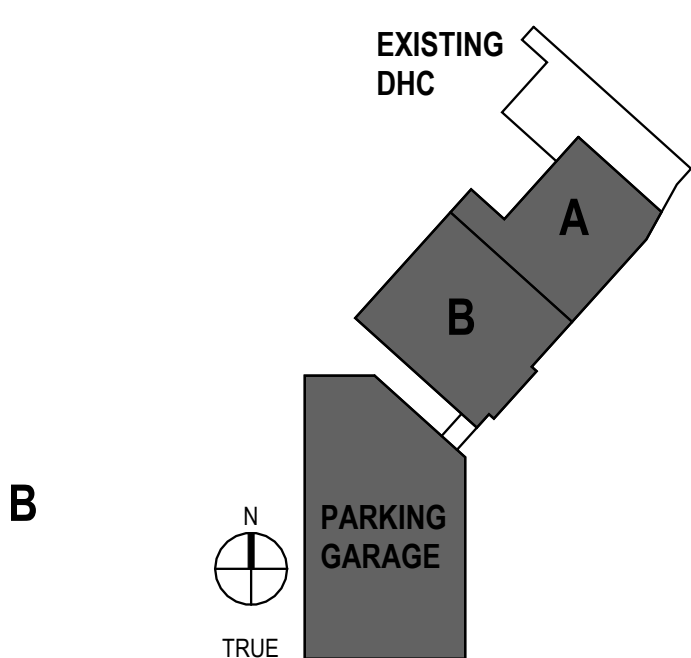
PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

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DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C

KEY PLAN

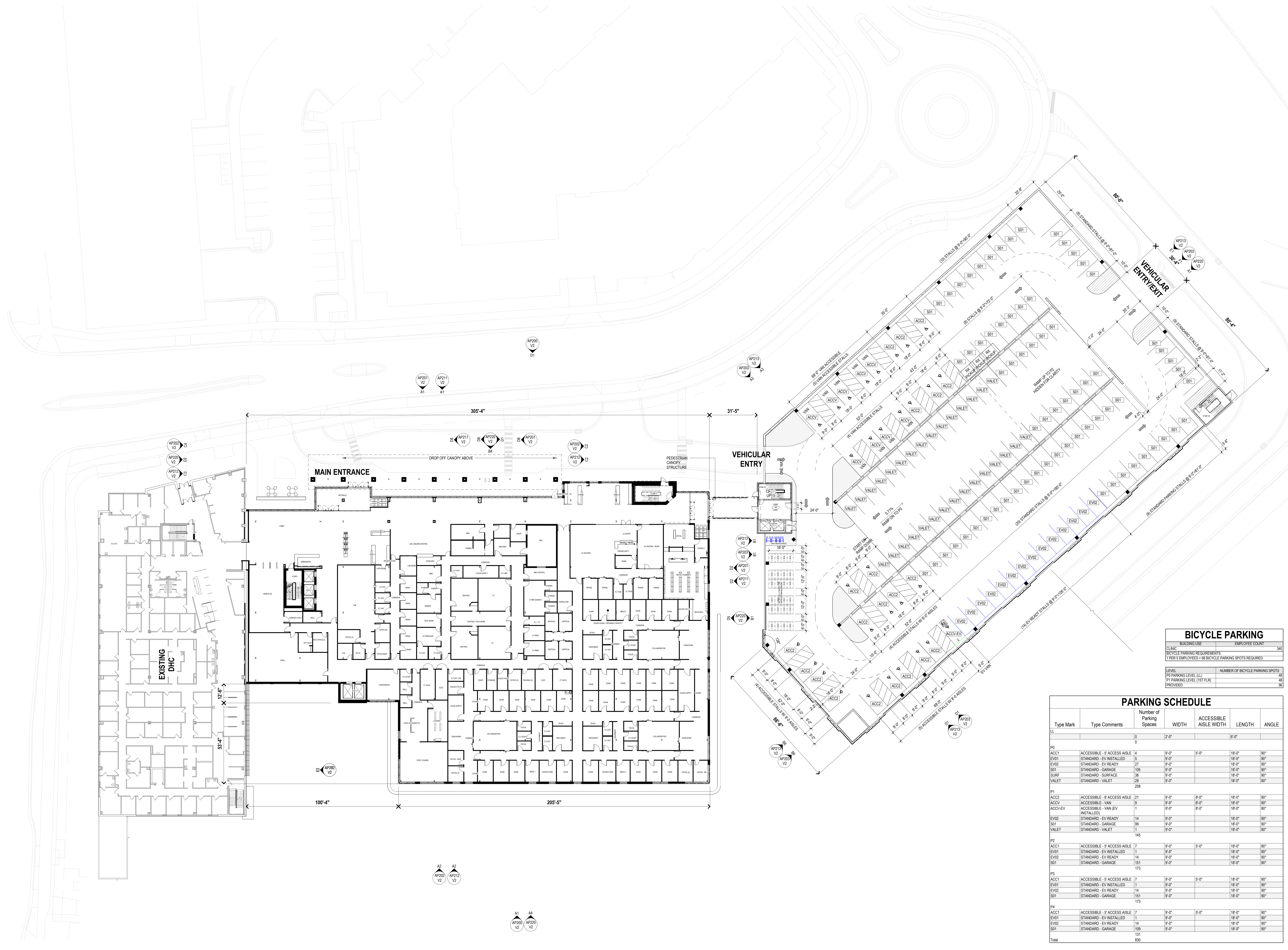


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PROJECT NUMBER 422291

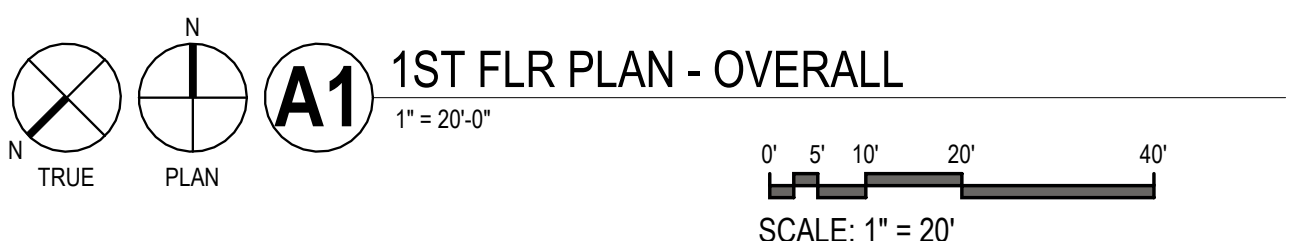
OVERALL 1ST FLR
PLAN

AP101 V2
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BICYCLE PARKING	
BUILDING USE	EMPLOYEE COUNT
CLINIC	340
BICYCLE PARKING REQUIREMENTS	
1 PER 5 EMPLOYEES = 68 BICYCLE PARKING SPOTS REQUIRED	
LEVEL	NUMBER OF BICYCLE PARKING SPOTS
P1 PARKING LEVEL (LL)	48
P1 PARKING LEVEL (1ST FLR)	48
PROVIDED	96

PARKING SCHEDULE						
Type Mark	Type Comments	Number of Parking Spaces	WIDTH	ACCESSIBLE AISLE WIDTH	LENGTH	ANGLE
LL		0	2'-0"		16'-0"	
P0		0				
ACC1	ACCESSIBLE - 5' ACCESS AISLE	4	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	5	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	27	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	105	9'-0"		18'-0"	90°
SURF	STANDARD - SURFACE	38	9'-0"		18'-0"	90°
VALET	STANDARD - VALET	28	9'-0"		18'-0"	90°
		208				
P1						
ACC2	ACCESSIBLE - 8' ACCESS AISLE	21	9'-0"	8'-0"	18'-0"	90°
ACC3	ACCESSIBLE - VAN	9	9'-0"	8'-0"	18'-0"	90°
ACC4	ACCESSIBLE - VAN (EV INSTALLED)	1	9'-0"	8'-0"	18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	99	9'-0"		18'-0"	90°
VALET	STANDARD - VALET	1	9'-0"		18'-0"	90°
		145				
P2						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	7	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	1	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	151	9'-0"		18'-0"	90°
		173				
P3						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	7	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	1	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	151	9'-0"		18'-0"	90°
		173				
P4						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	7	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	1	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	109	9'-0"		18'-0"	90°
		131				
Total		830				





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Madison, WI 53703
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www.eua.com

Project Manager
DIRECT PHONE: 414-291-8145
EMAIL ADDRESS: robb@eua.com

Rob Beisenstein
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robb@eua.com

UWHealth



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PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

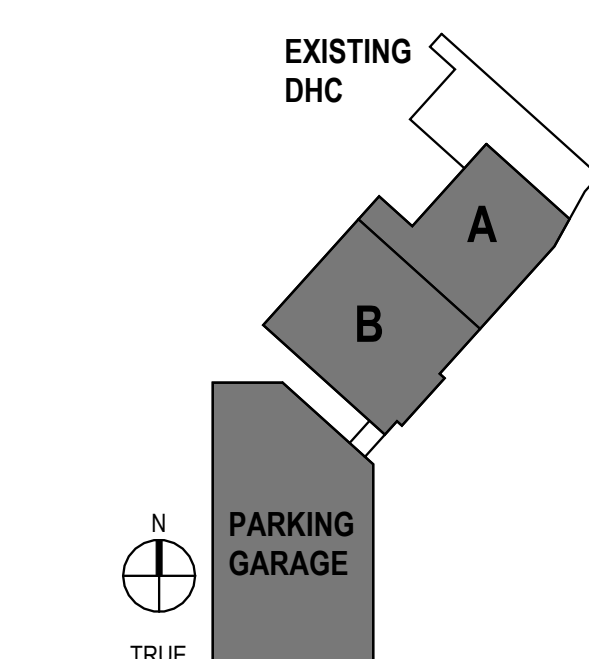
D 750 University Row
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KEY PLAN



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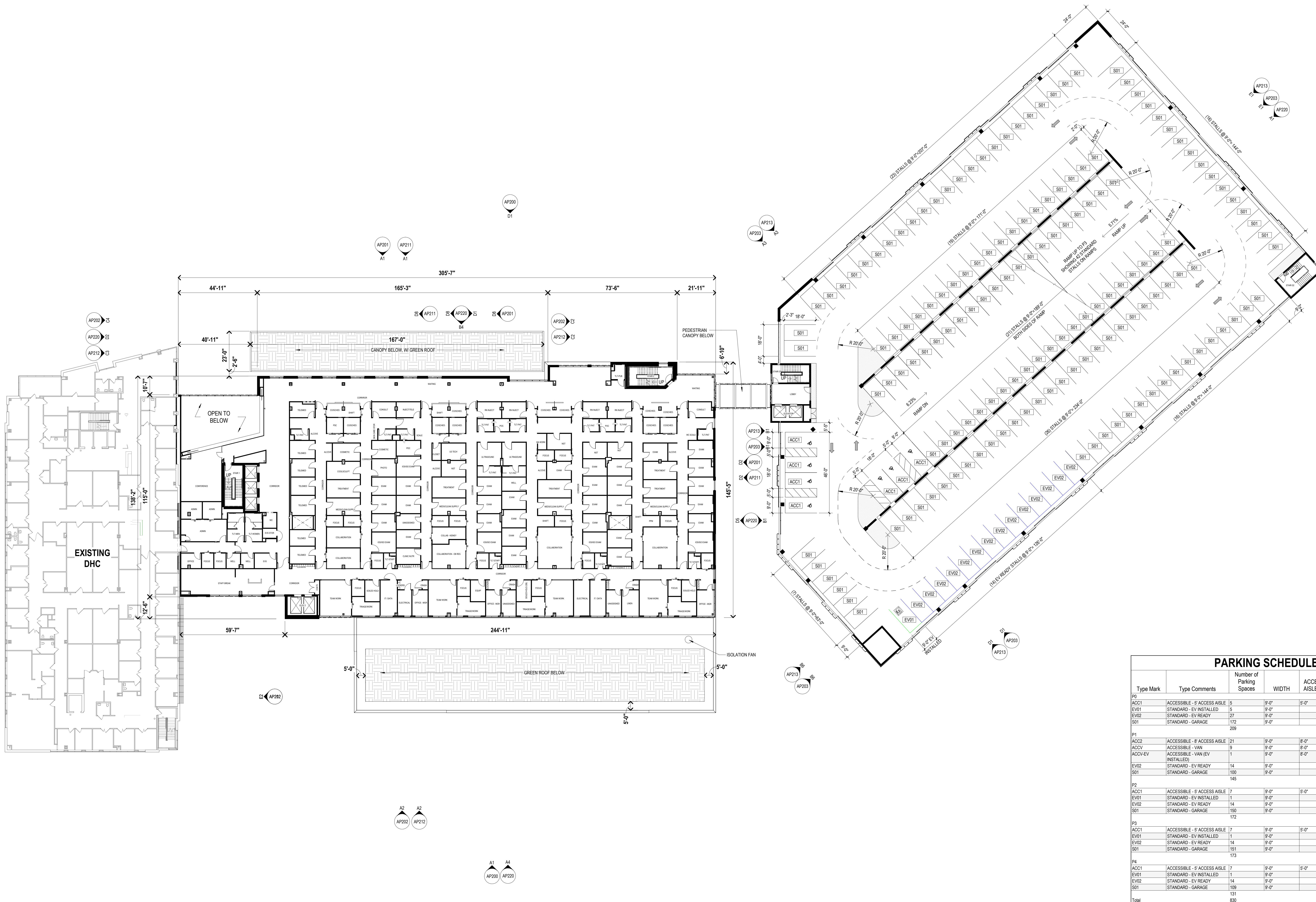
PROJECT MANAGER RB

A PROJECT NUMBER 422291

OVERALL 2ND FLR
PLAN

AP102

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PARKING SCHEDULE						
Type Mark	Type Comments	Number of Parking Spaces	WIDTH	ACCESSIBLE AISLE WIDTH	LENGTH	ANGLE
P0						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	5	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	5	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	27	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	172	9'-0"		18'-0"	90°
		209				
P1						
ACC2	ACCESSIBLE - 8' ACCESS AISLE	21	9'-0"	8'-0"	18'-0"	90°
ACC1	ACCESSIBLE - VAN	9	9'-0"	8'-0"	18'-0"	90°
ACC1-EV	ACCESSIBLE - VAN (EV INSTALLED)	1	9'-0"	8'-0"	18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	100	9'-0"		18'-0"	90°
		145				
P2						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	7	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	1	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	150	9'-0"		18'-0"	90°
		172				
P3						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	7	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	1	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	151	9'-0"		18'-0"	90°
		173				
P4						
ACC1	ACCESSIBLE - 5' ACCESS AISLE	7	9'-0"	5'-0"	18'-0"	90°
EV01	STANDARD - EV INSTALLED	1	9'-0"		18'-0"	90°
EV02	STANDARD - EV READY	14	9'-0"		18'-0"	90°
S01	STANDARD - GARAGE	109	9'-0"		18'-0"	90°
		131				
Total		830				





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EMAIL ADDRESS: robb@eua.com



E

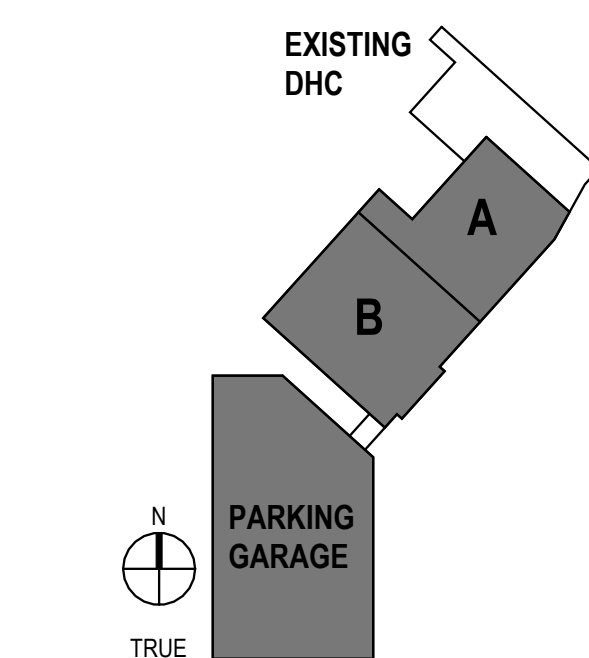
PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C

KEY PLAN



SHEET INFORMATION

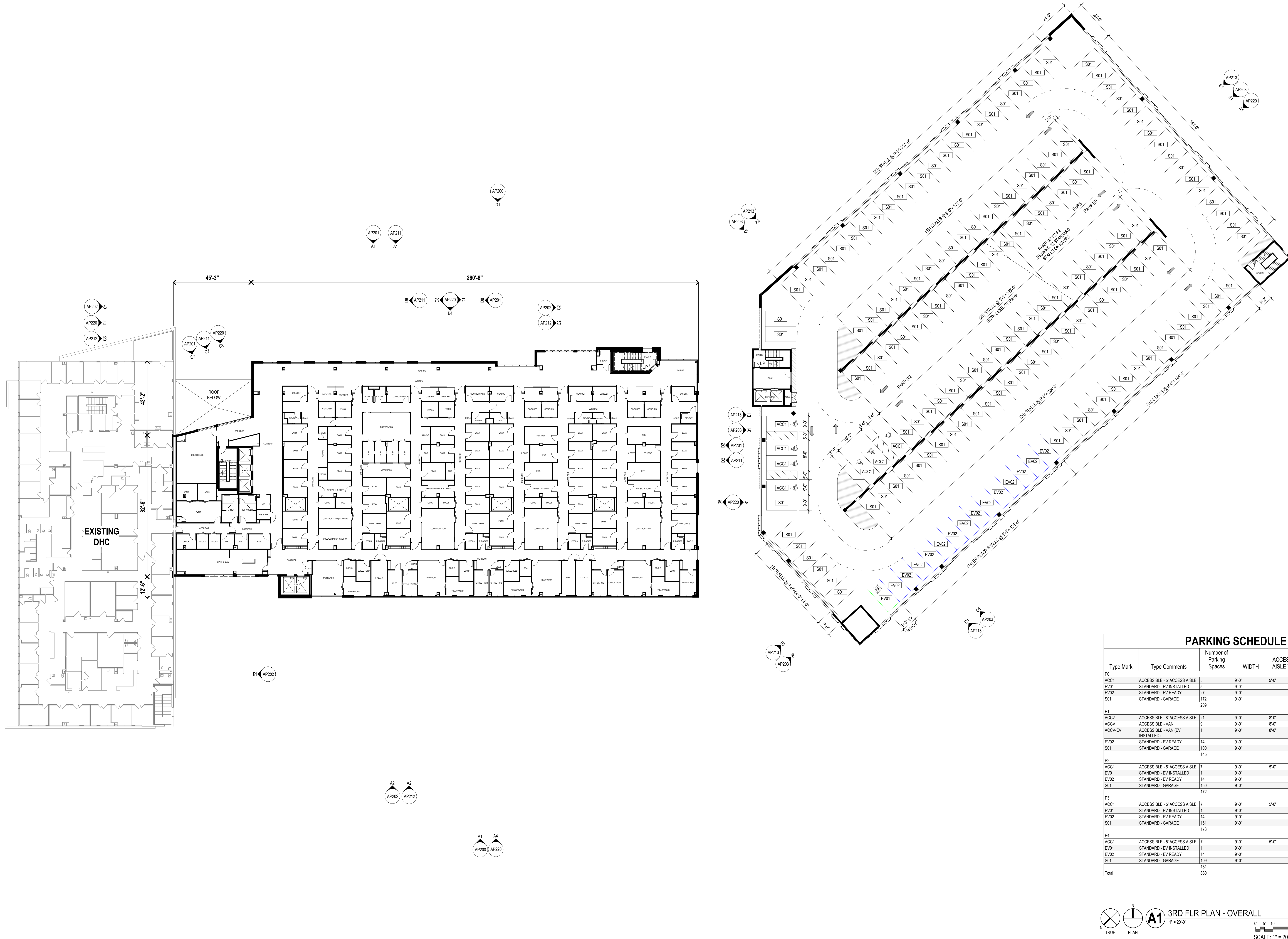
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
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PROJECT MANAGER RB
PROJECT NUMBER 422291

OVERALL 3RD FLR
PLAN

AP103

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D 750 University Row
Madison, WI 53705

DATE	DESCRIPTION
07/29/2024	UDC & LAND USE

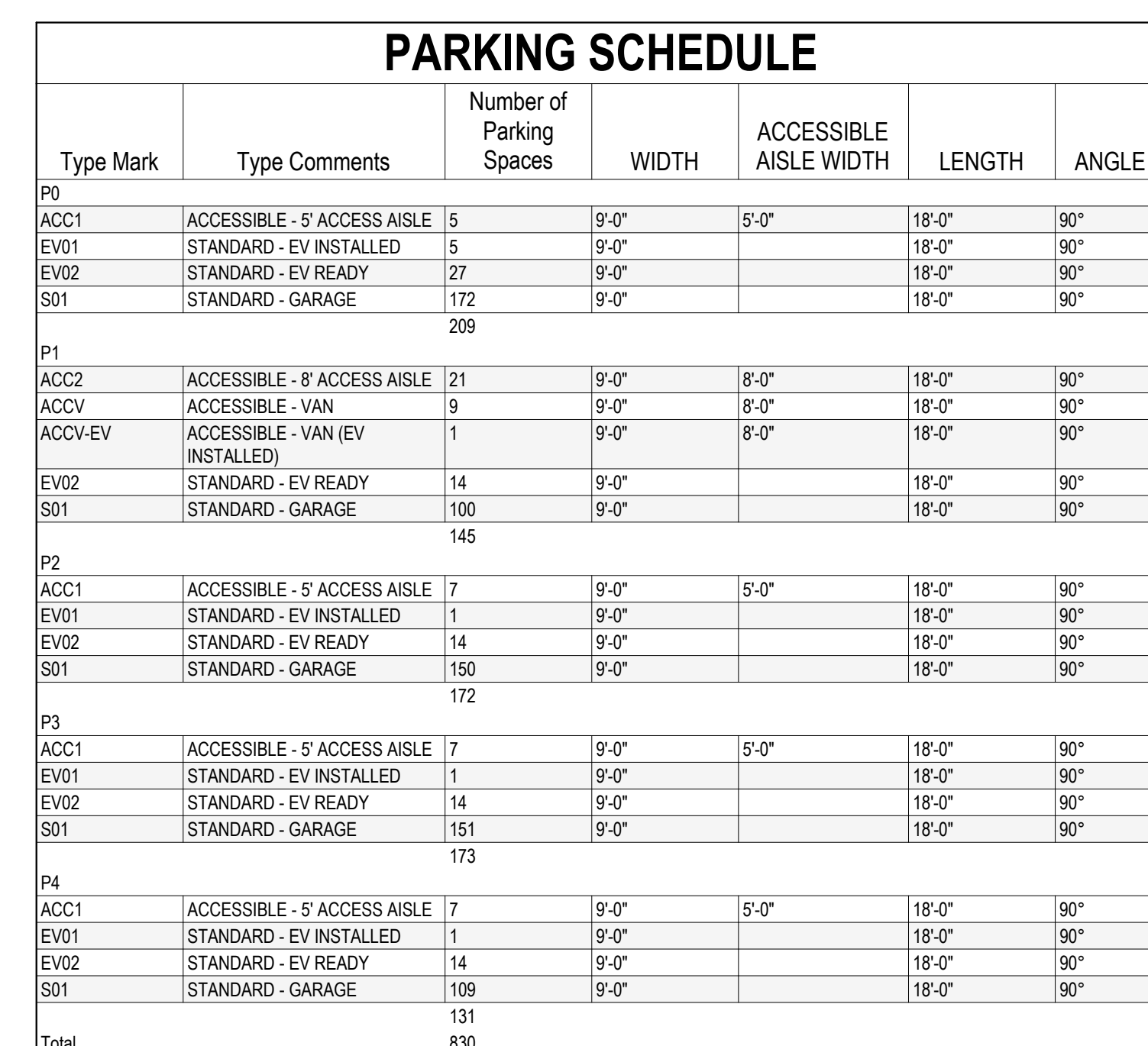
Site plan showing the existing DHC building, proposed additions A and B, and the parking garage. The plan includes a north arrow and a true north indicator.

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

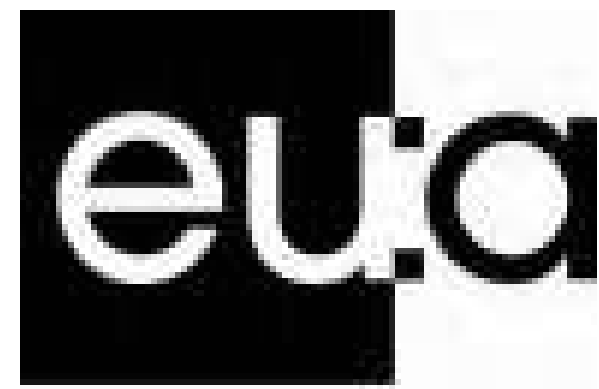
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	PROJECT MANAGER	I
A	PROJECT NUMBER	4222

AP104



A1 4TH FLR PLAN - OVERALL
1" = 20'-0"
0' 4' 8' 16' :
SCALE: 1/16" = 1'-0"



introduction | introduction | general info | services | contact

309 West Johnson Street, Suite 202
Madison, WI 53703
(608) 442-5350
www.eua.com

Project Manager: Rob Beisenstein
DIRECT PHONE: 414-291-5145
EMAIL ADDRESS: robbe@eua.com



E

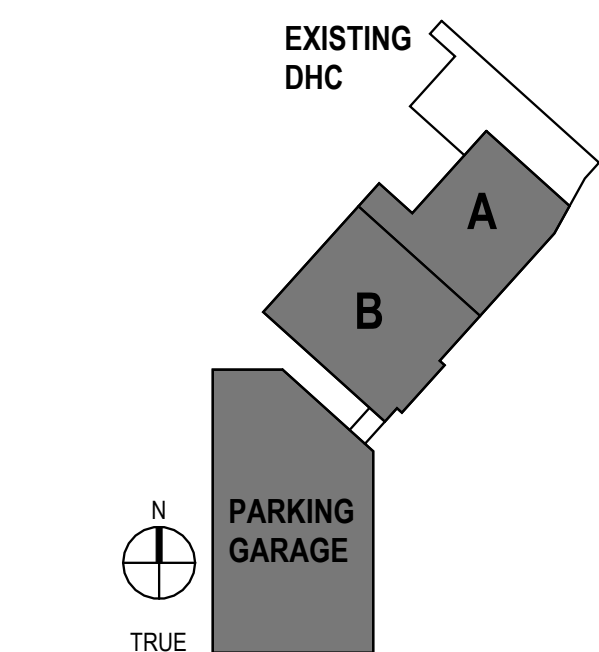
PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UDC & L&D USE

C

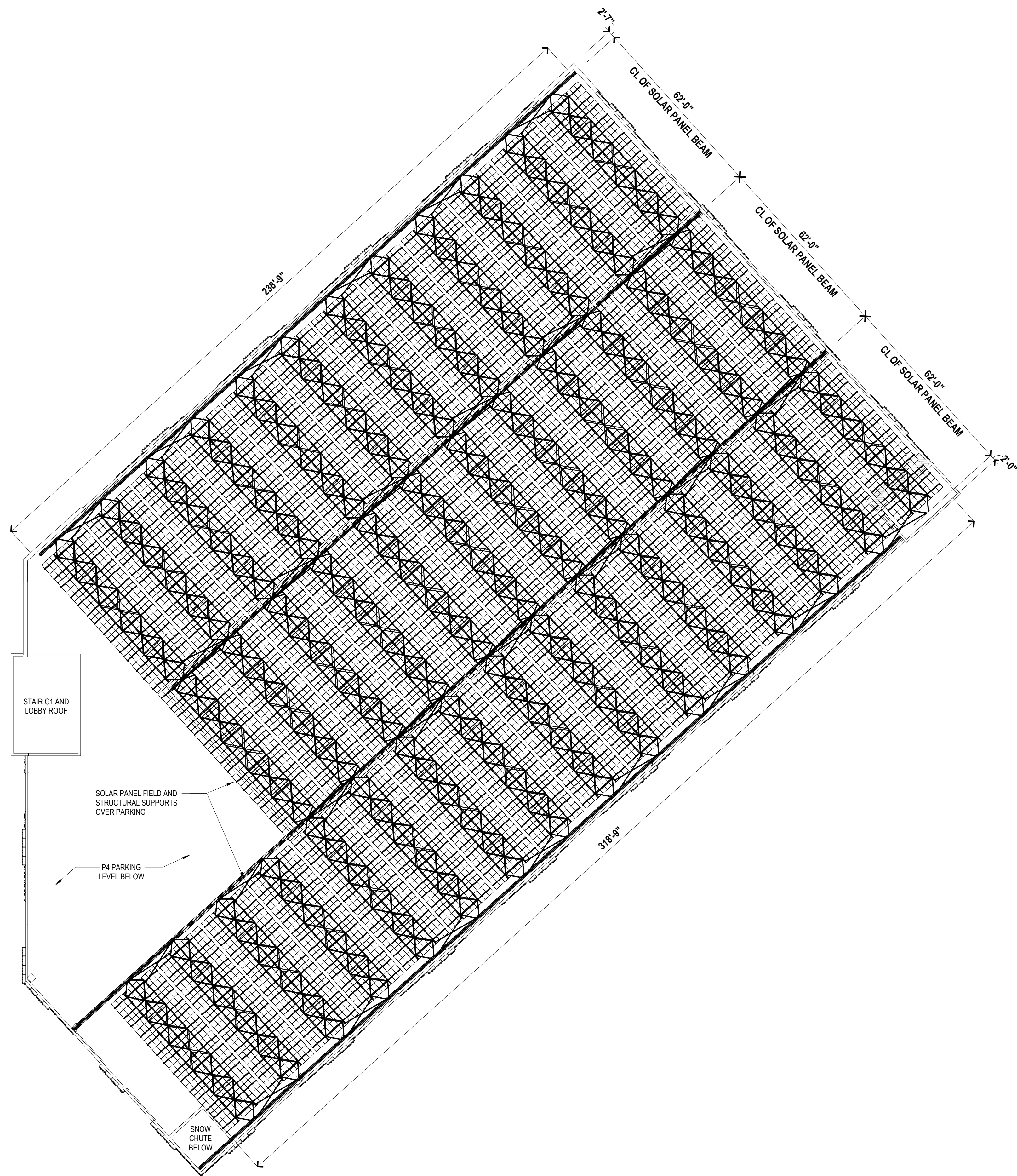
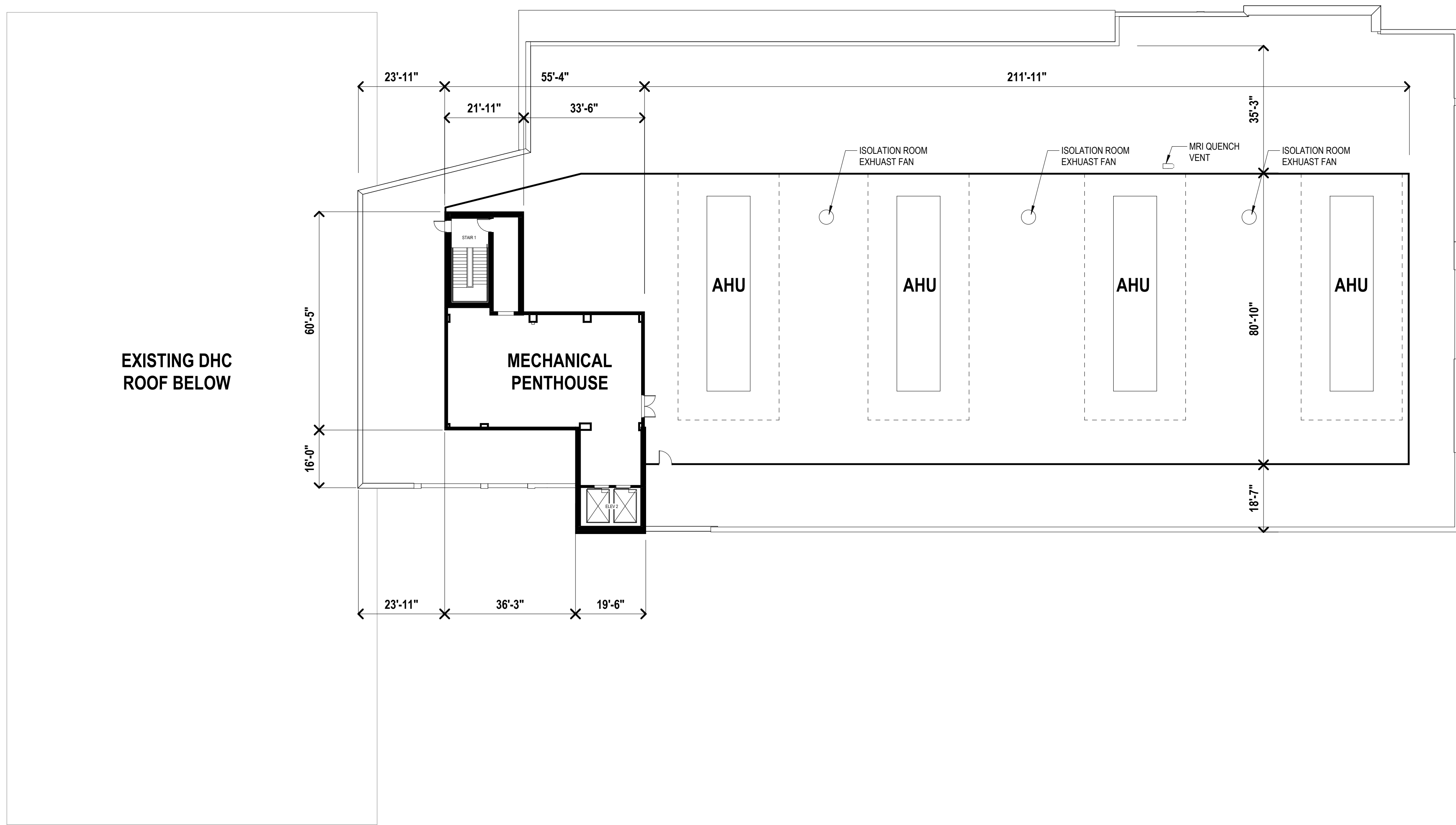
KEY PLAN



SHEET INFORMATION
**PROGRESS DOCUMENTS
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PROJECT MANAGER: RB
PROJECT NUMBER: 422291

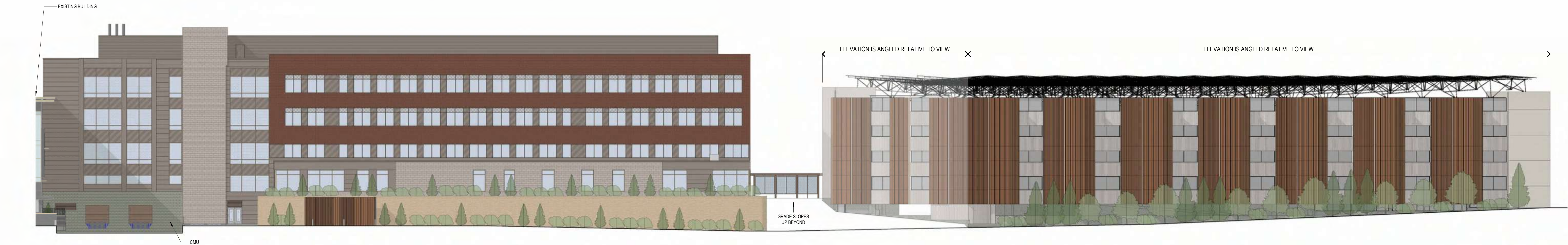
OVERALL ROOF PLAN
AP105
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A1 ROOF PLAN - OVERALL
1" = 20'-0"
SCALE: 1/16" = 1'-0"



D1 SOUTHEAST ELEVATION - OVERALL
1/16" = 1'-0"



A1 NORTHWEST ELEVATION - OVERALL
1/16" = 1'-0"

EXTERIOR GLAZING LEGEND

	IG-1 : CLEAR
	IG-2 : CLEAR W/ BIRD GLASS FRIT
	IG-3 : SPANDREL (0% EXTERIOR REFLECTANCE)
	IP-1 : ALUMINUM-INSULATION COMPOSITE INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

	CALCIUM SILICATE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
	SINGLE SKIN METAL PANEL

SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION



F



E

PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

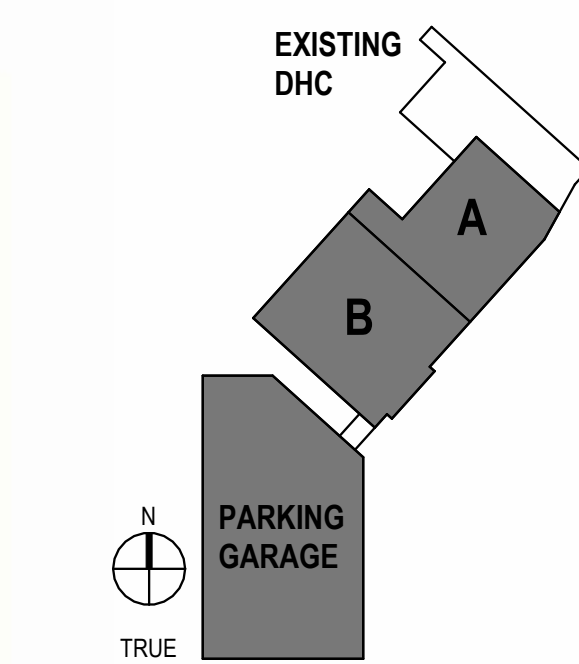
D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C

KEY PLAN



B

SHEET INFORMATION

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PROJECT MANAGER RB
PROJECT NUMBER 422291

UDC ELEVATIONS -
OVERALL

AP200 V2

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EXTERIOR GLAZING LEGEND

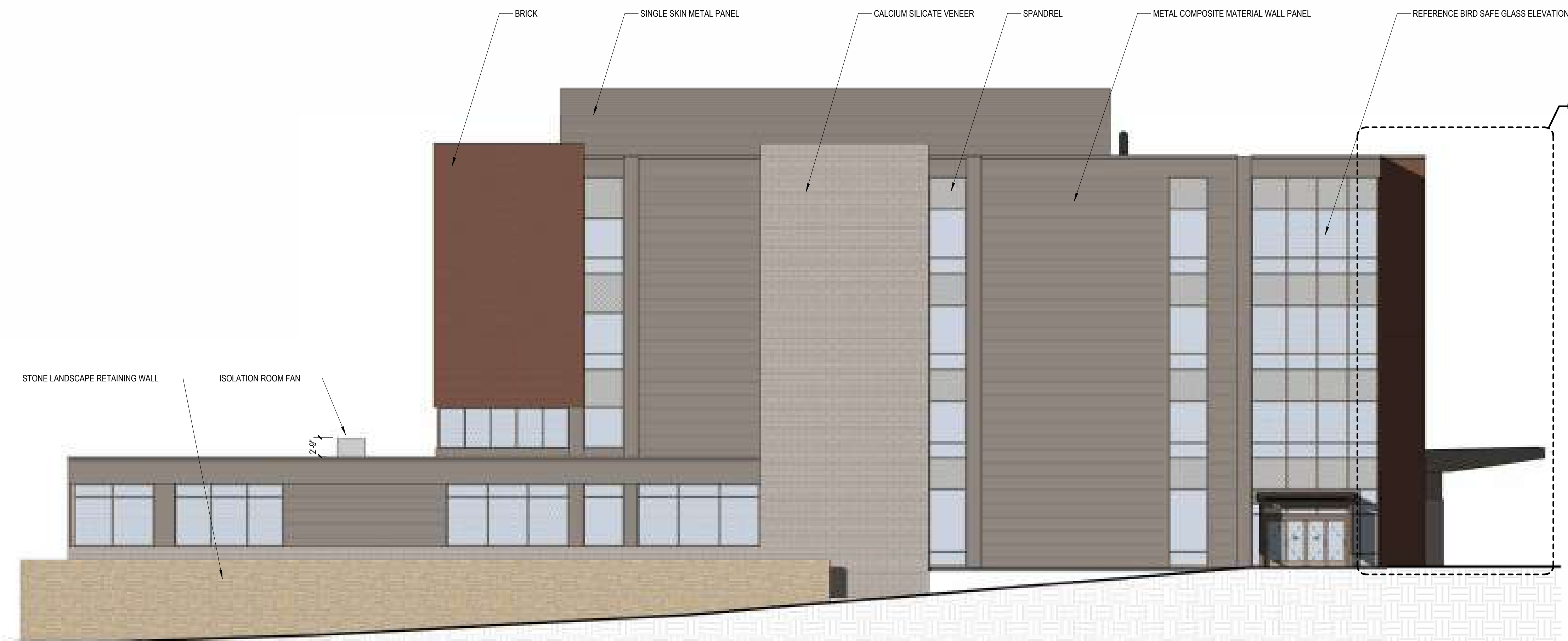
	IG-1 : CLEAR
	IG-2 : CLEAR W/ BIRD GLASS FRIT
	IG-3 : SPANDREL (8% EXTERIOR REFLECTANCE)
	IP-1 : ALUMINUM-INSULATION COMPOSITE INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

	CALCIUM SILICATE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
	SINGLE SKIN METAL PANEL

SEE SHEET A400 FOR EXTERIOR ASSEMBLY INFORMATION

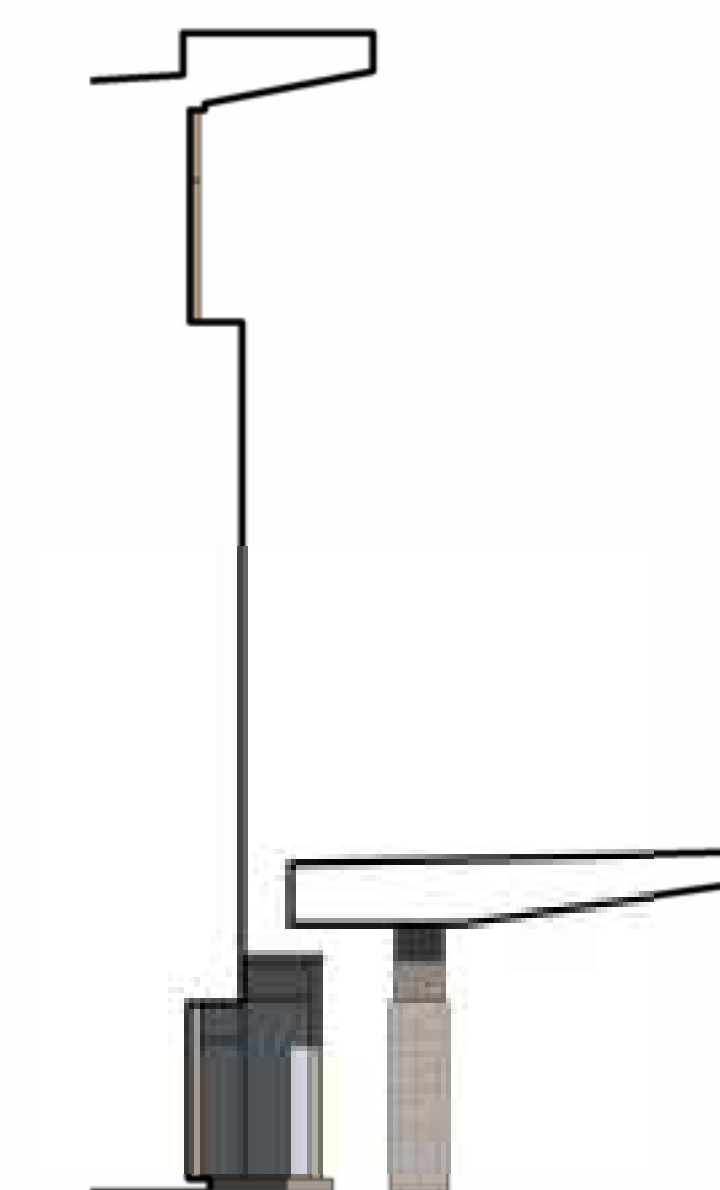


D2 SOUTH ELEVATION
1" = 10'-0"

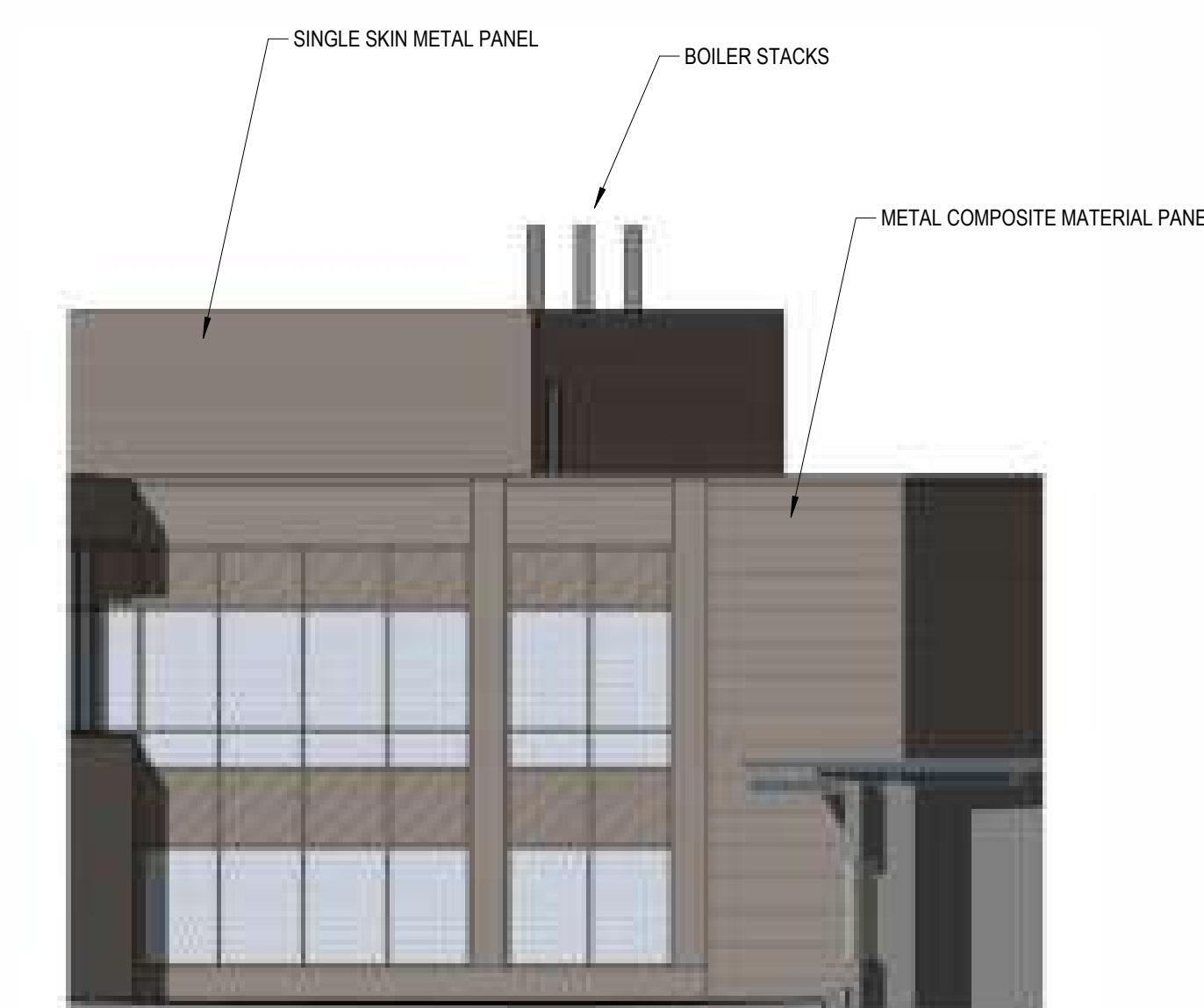


C2 CONNECTOR AXON - PARKING
1" = 10'-0"

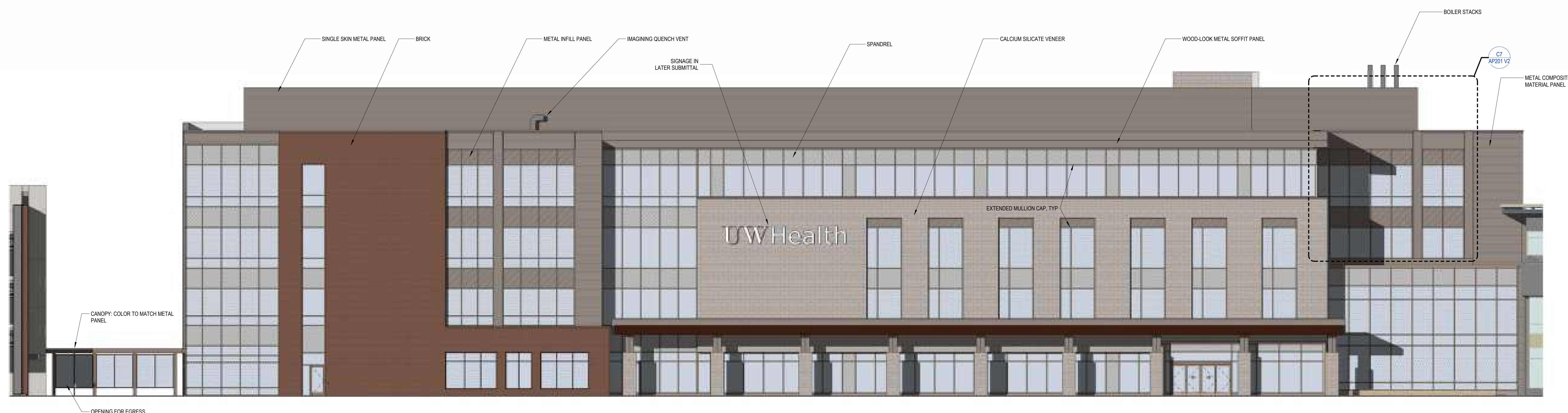
C4 CONNECTOR AXON - CLINIC
1" = 10'-0"



D8 PARTIAL SOUTH ELEVATION - VESTIBULE
1" = 10'-0"



C7 SOUTHEAST ELEVATION
1" = 10'-0"



A1 SOUTHEAST ELEVATION
1" = 10'-0"



F



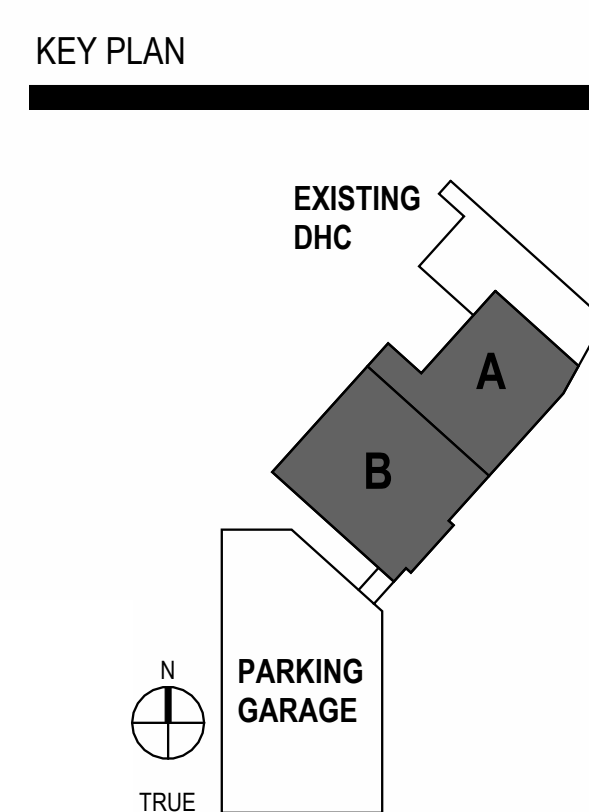
E

PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C



B

SHEET INFORMATION
**PROGRESS DOCUMENTS
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PROJECT MANAGER RB
PROJECT NUMBER 422291

UDC ELEVATIONS
AP201 V2

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1

2

3

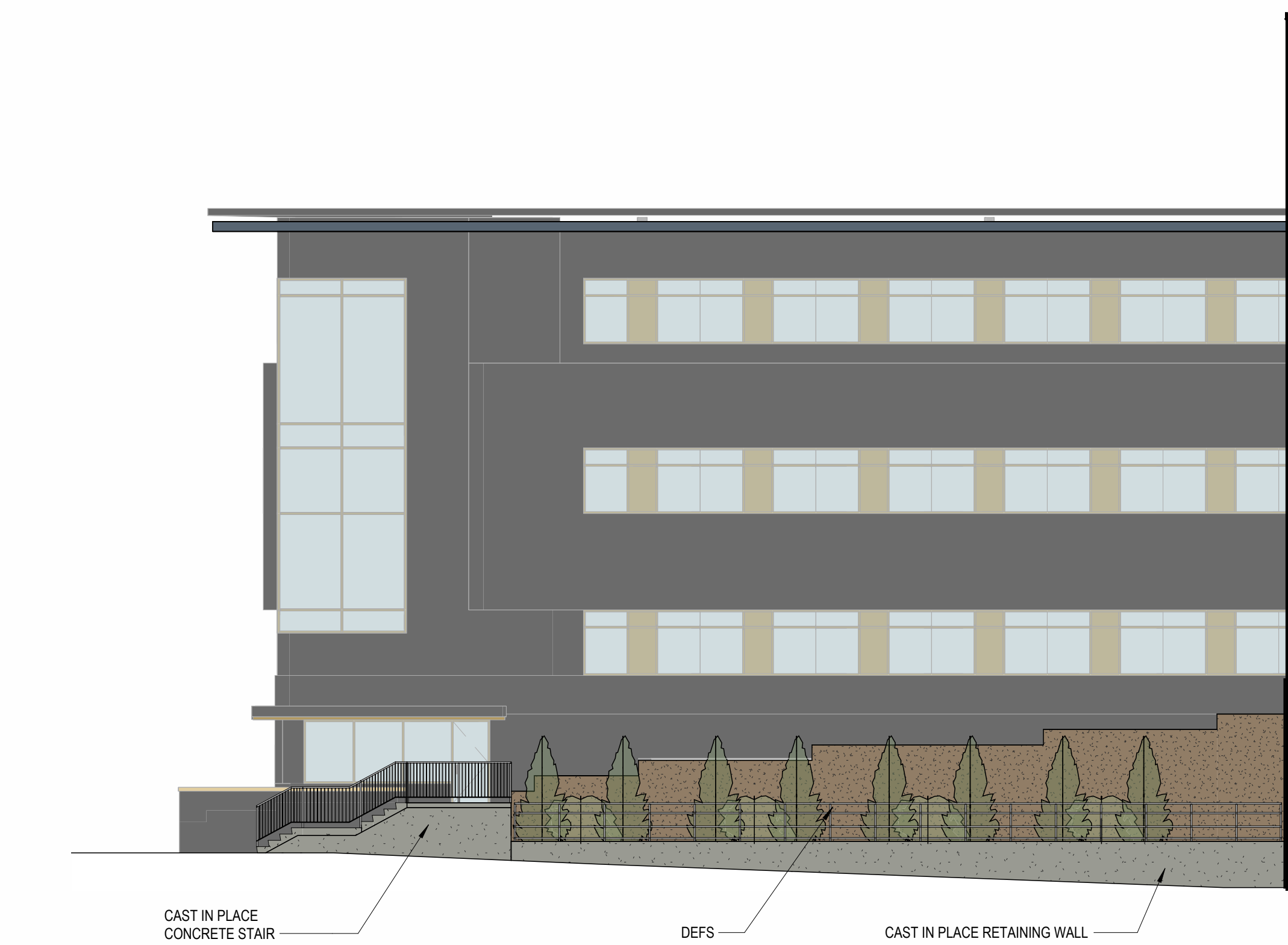
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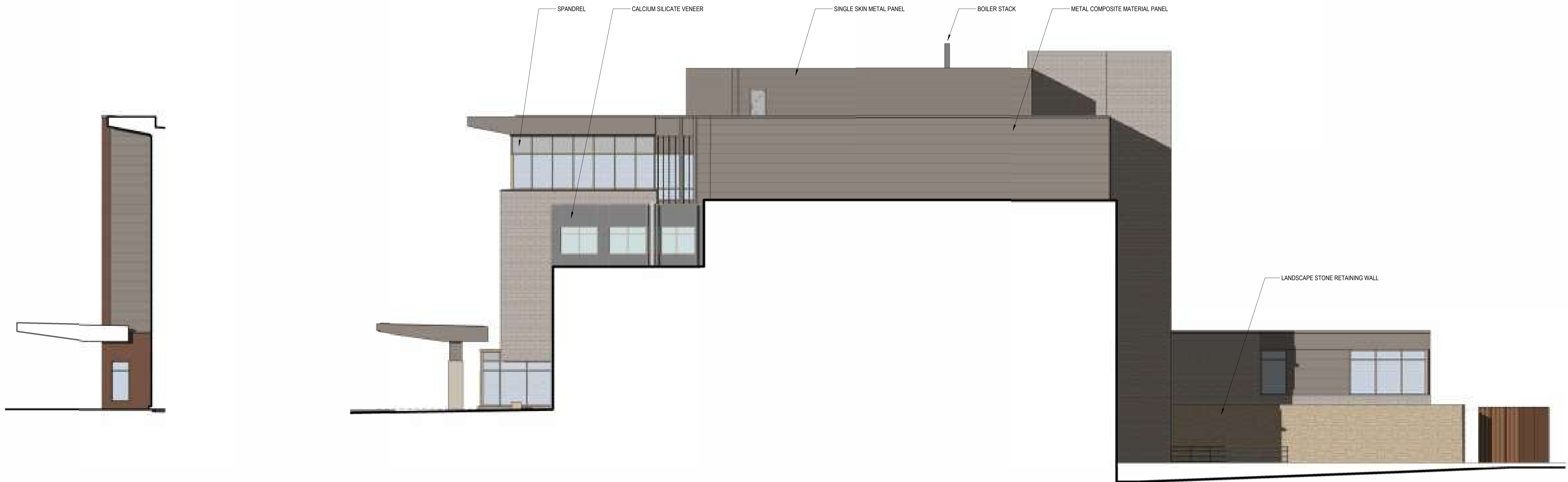
6

7

8



E2 SOUTH ELEVATION - EXISTING
1" = 10'-0"



C2 NORTH ELEVATION - PARTIAL
1" = 10'-0"

C4 NORTH ELEVATION
1" = 10'-0"



A2 NORTHWEST ELEVATION
1" = 10'-0"

EXTERIOR GLAZING LEGEND

	IG-1 : CLEAR
	IG-2 : CLEAR W/ BIRD GLASS FRIT
	IG-3 : SPANDREL (0% EXTERIOR REFLECTANCE)
	IP-1 : ALUMINUM-INSULATION COMPOSITE INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

	CALCIUM SILICATE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
	SINGLE SKIN METAL PANEL

SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION



PROJECT INFORMATION

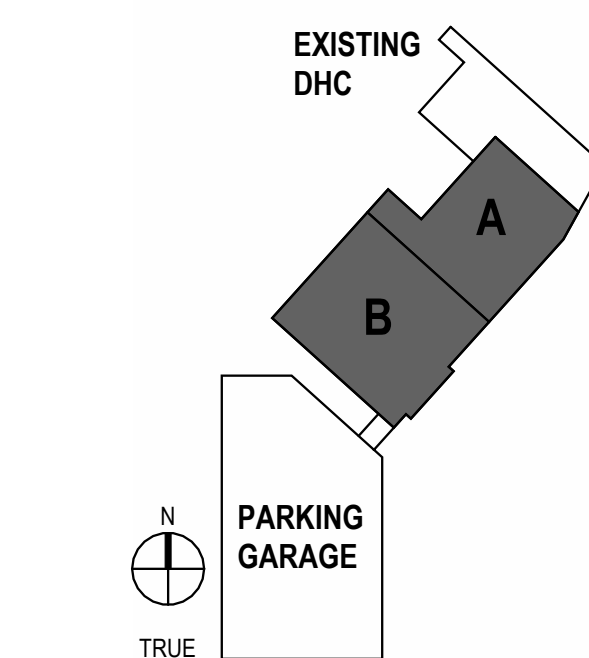
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

KEY PLAN



SHEET INFORMATION

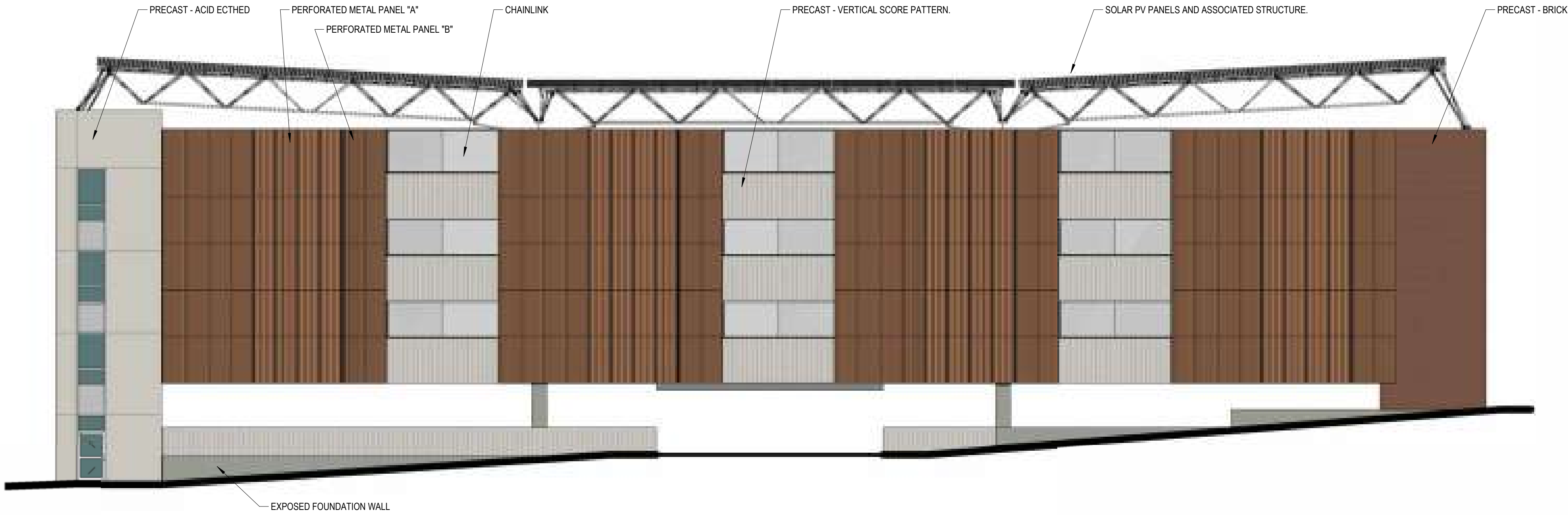
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

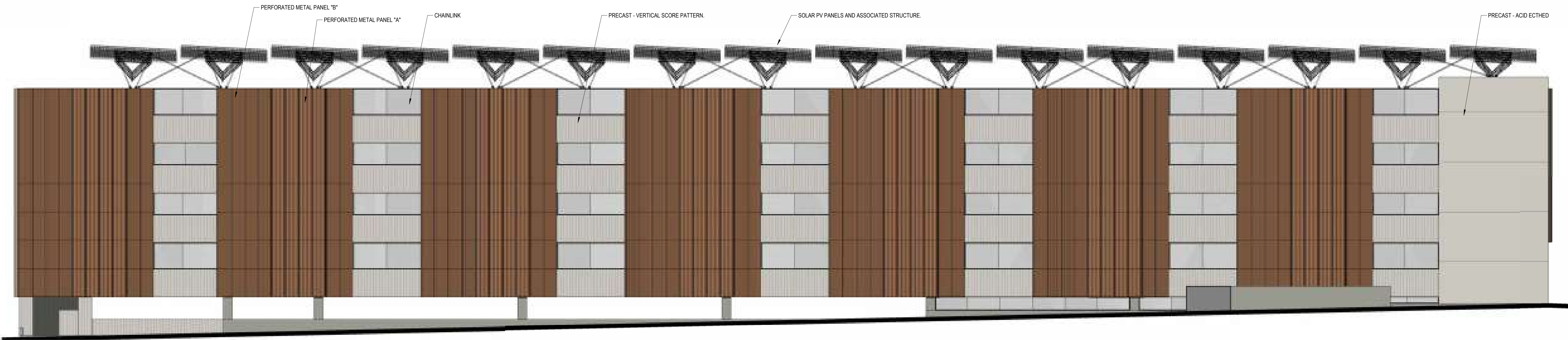
UDC ELEVATIONS

AP202 V2

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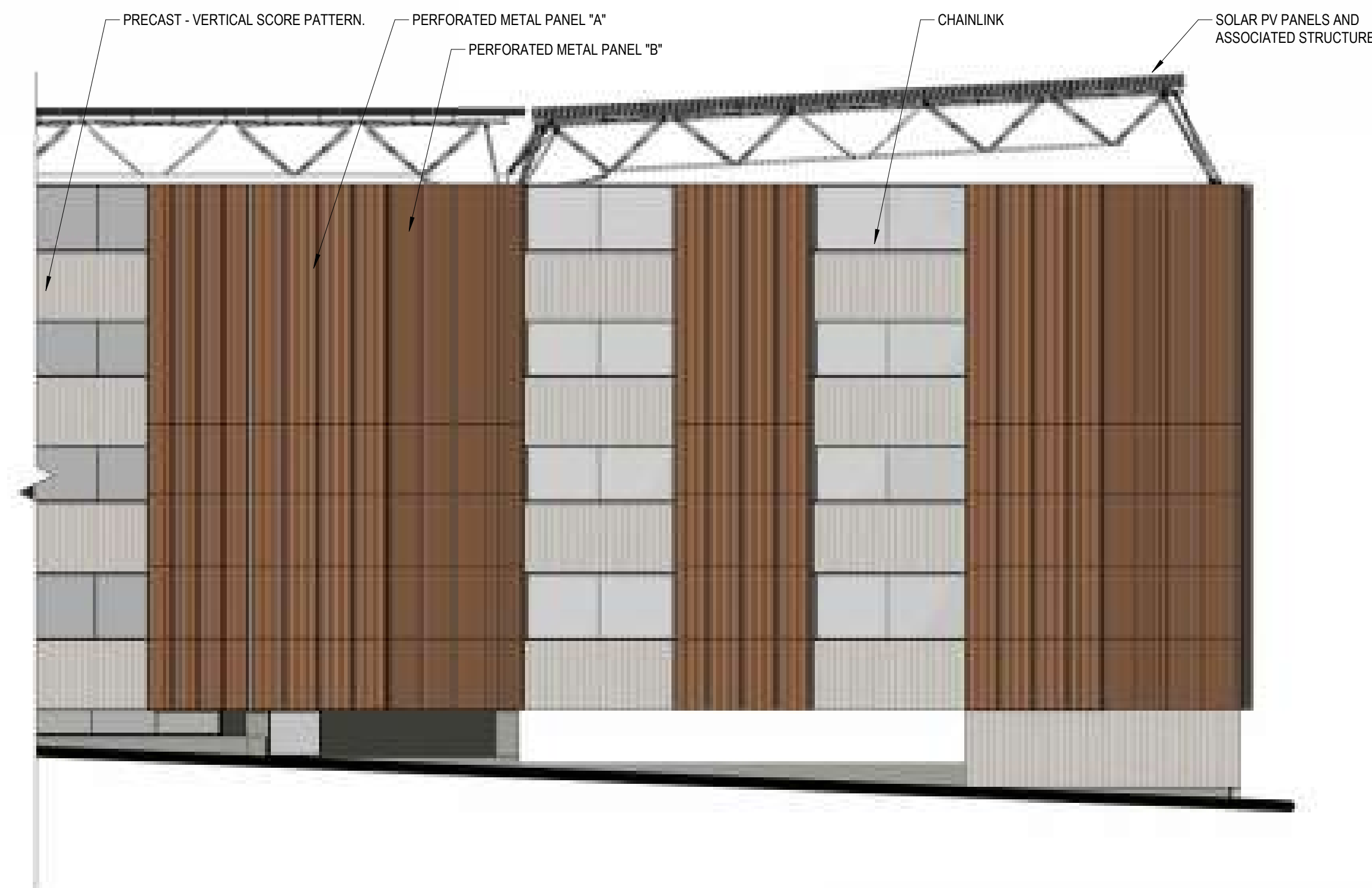
E1 PARKING SOUTH ELEVATION
1" = 10'-0"



D1 PARKING WEST ELEVATION
1" = 10'-0"



B1 PARKING NORTHEAST ELEVATION
1" = 10'-0"



B6 PARKING NORTH ELEVATION
1" = 10'-0"



A3 PARKING EAST ELEVATION
1" = 10'-0"

EXTERIOR GLAZING LEGEND

	IG-1: CLEAR
	IG-2: CLEAR W/ BIRD GLASS FRIT
	IG-3: SPANDREL (0% EXTERIOR REFLECTANCE)
	IP-1: ALUMINUM-INSULATION COMPOSITE INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

	CALCIUM SILICATE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
	SINGLE SKIN METAL PANEL

SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION



F



E

PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

D

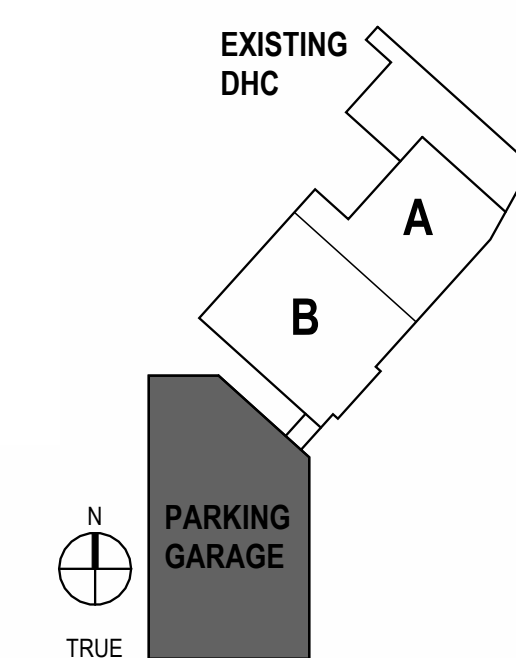
750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C

KEY PLAN



B

SHEET INFORMATION

**PROGRESS DOCUMENTS
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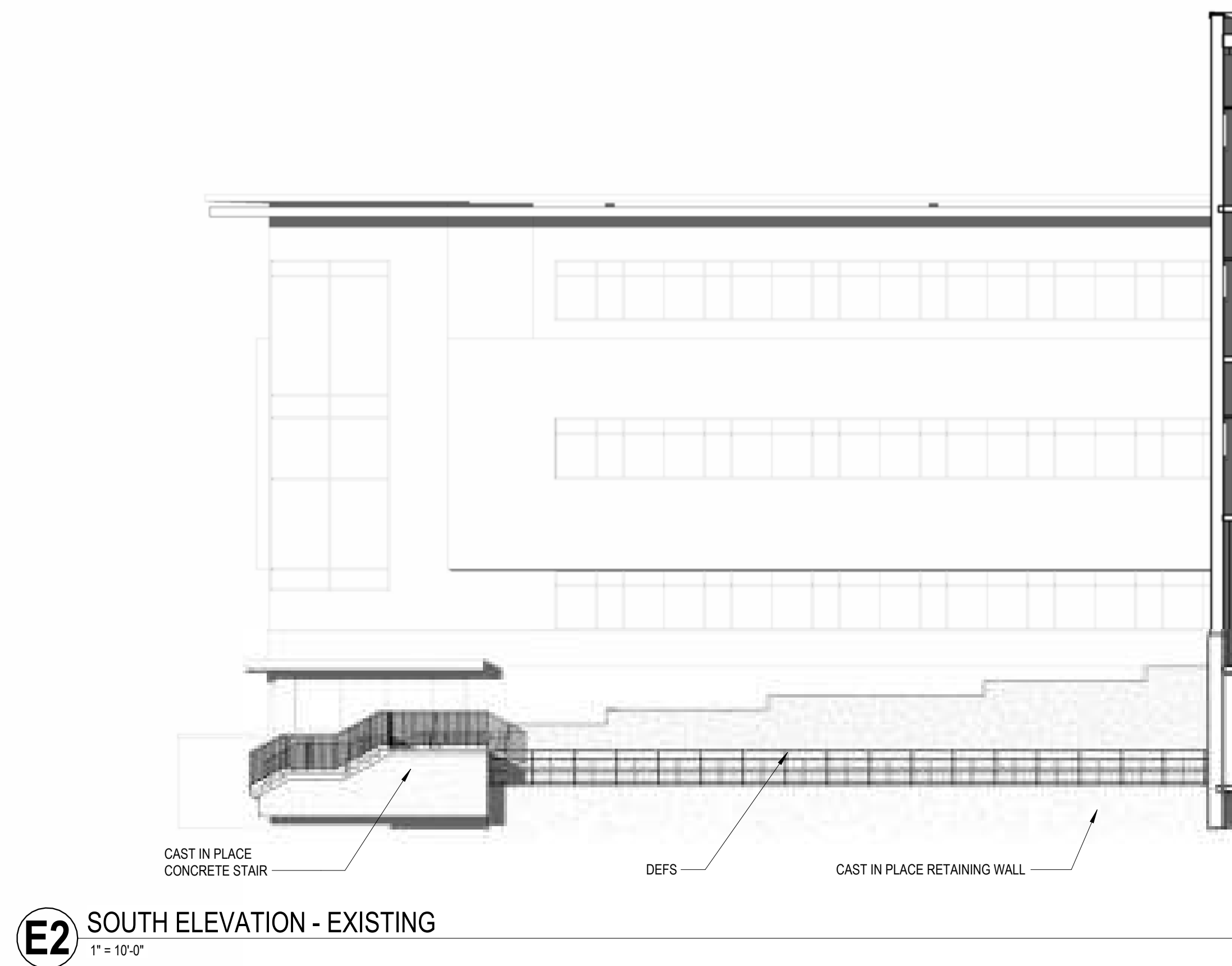
PROJECT MANAGER	RB
PROJECT NUMBER	422291

A

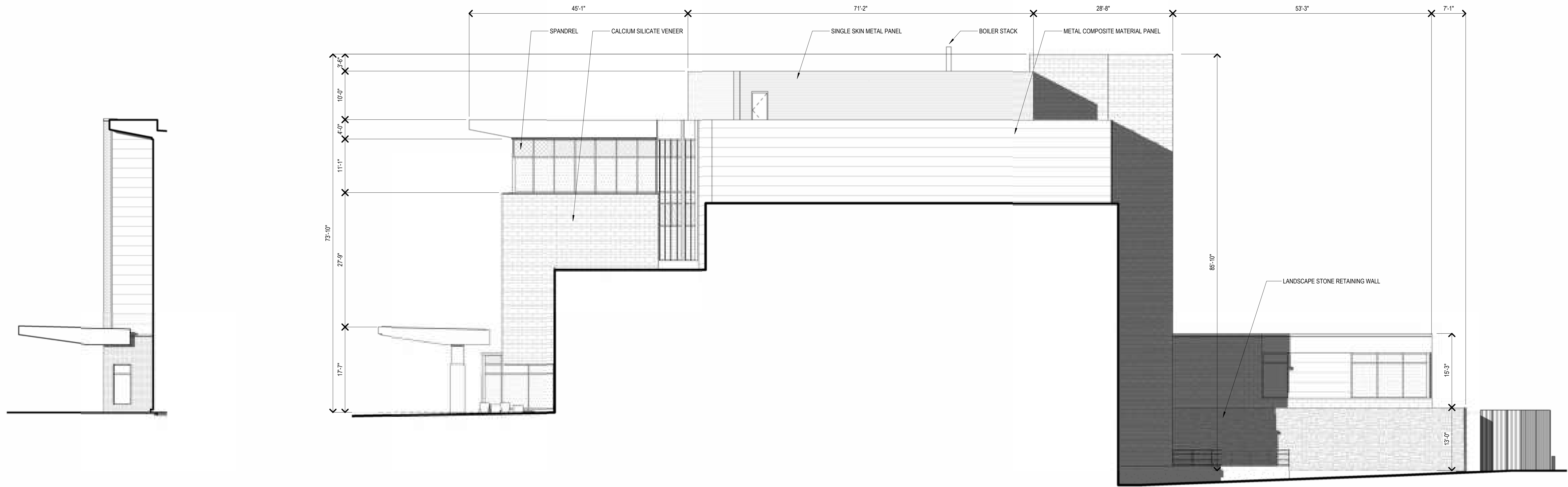
UDC ELEVATIONS

AP203 V2

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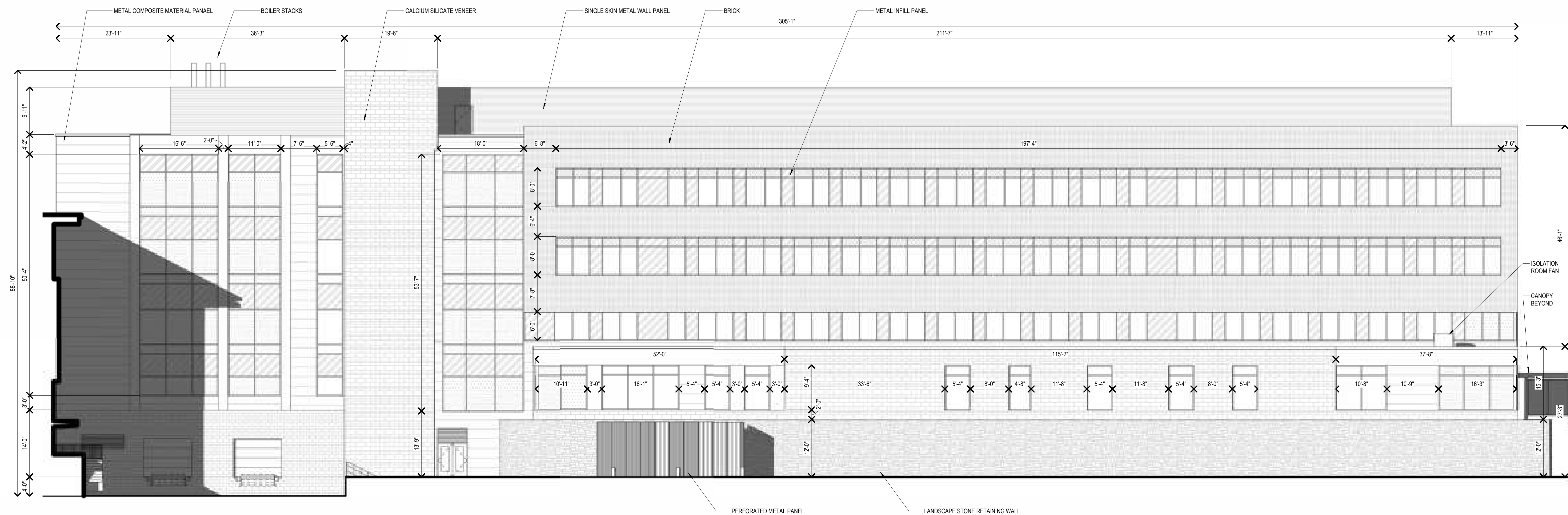


E2 SOUTH ELEVATION - EXISTING
1" = 10'-0"



C2 NORTH ELEVATION - PARTIAL
1" = 10'-0"

C3 NORTH ELEVATION
1" = 10'-0"



A2 NORTHWEST ELEVATION
1" = 10'-0"

EXTERIOR GLAZING LEGEND	
	IG-1 : CLEAR
	IG-2 : CLEAR W/ BIRD GLASS FRIT
	IG-3 : SPANDREL (8% EXTERIOR REFLECTANCE)
	IP-1 : ALUMINUM-INSULATION COMPOSITE INFILL PANEL
SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	

EXTERIOR MATERIAL LEGEND	
	CALCIUM SILICATE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
	SINGLE SKIN METAL PANEL
SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION	



F



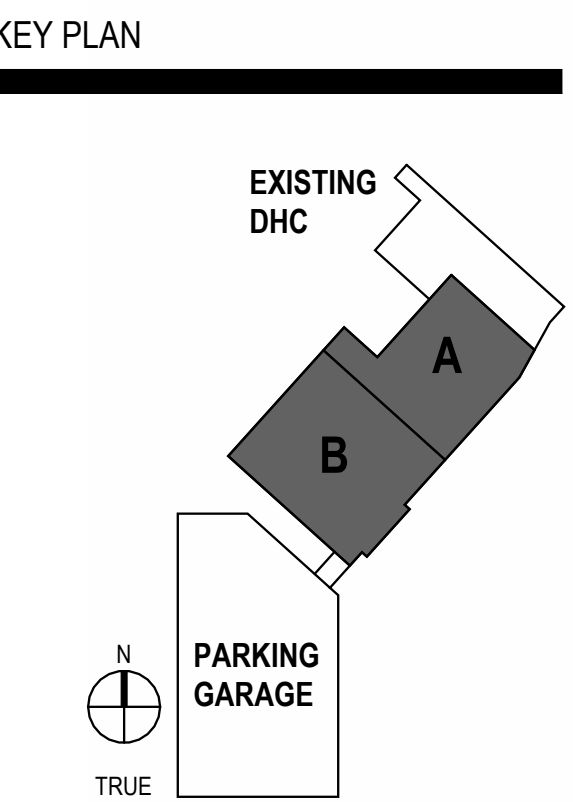
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PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
07/25/2024	UDC & LAND USE

C



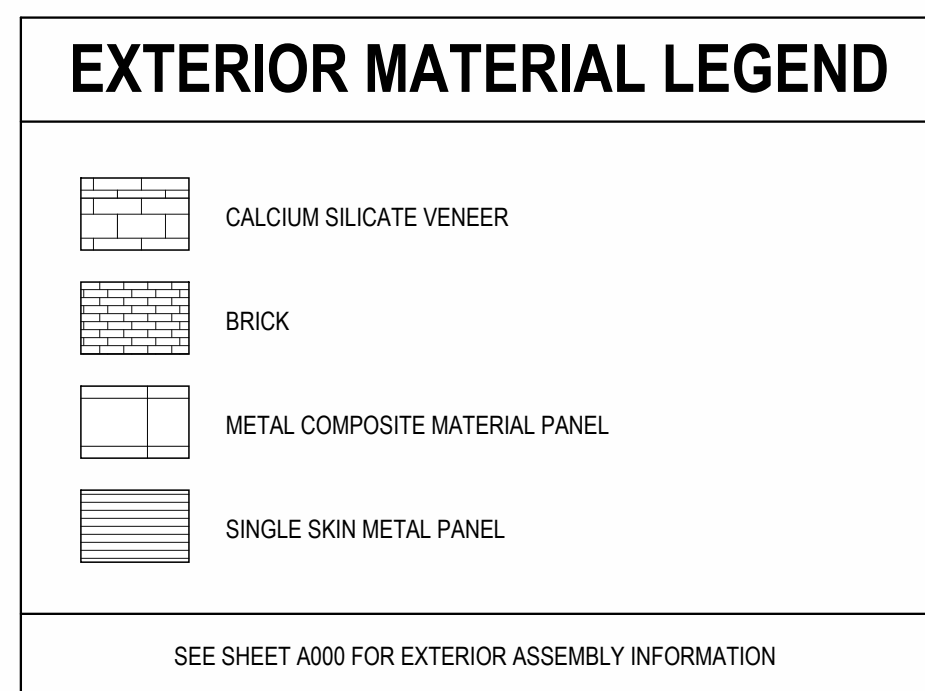
B

SHEET INFORMATION
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PROJECT MANAGER RB
PROJECT NUMBER 422291

A

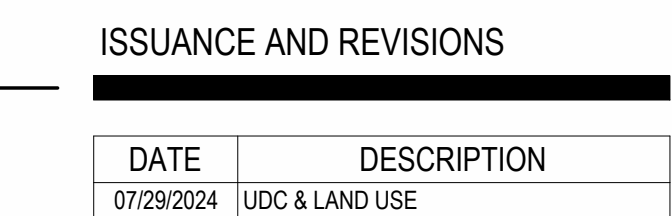
UDC ELEVATIONS
AP212 V2
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III



750 University Row
Madison, WI 53705



3



SHEET INFORMATION

PROJECT MANAGER	RB
PROJECT NUMBER	422291

UDC ELEVATIONS

AP213 V2

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BIRD-SAFE GLAZING LEGEND	
	BIRD-SAFE DOT PATTERN AREA
	BIRD-SAFE SHADED AREA
	GLASS AREA LESS THAN 50SF
	GLASS, UNTREATED

EXTERIOR GLAZING LEGEND	
	IG-1: CLEAR
	IG-2: CLEAR W/ BIRD GLASS FRIT
	IG-3: SPANDREL (0% EXTERIOR REFLECTANCE)
	IP-1: ALUMINUM-INSULATION COMPOSITE INFILL PANEL
SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	

EXTERIOR MATERIAL LEGEND	
	CALCIUM SILICATE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
	SINGLE SKIN METAL PANEL
SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION	

OVERALL AREA

GLASS AREA - NORTH FACADE	
Type	Area
BIRD-SAFE DOT	489.1 SF
LESS THAN 50SF	70.44 SF
TOTAL SF	539.53 SF

GLASS GREATER THAN 50SF - N FACADE		
TYPE	AREA	PERCENTAGE
BIRD-SAFE DOT	489.1 SF	100.00%
TOTAL	489.1 SF	100.00%

TOTAL FACADE SF: 4,927SF
TOTAL GLAZING SF: 540SF
PERCENT GLAZING: 11%

D1
AP220 V2

B3
AP220 V2

GLASS AREA - SOUTH FACADE	
TYPE	AREA
BIRD-SAFE DOT	1,314.15 SF
BIRD-SAFE SHADE	51.69 SF
LESS THAN 50SF	454.28 SF
UNTREATED	117.16 SF
TOTAL SF	1,937.28 SF

GLASS GREATER THAN 50SF - S FACADE		
TYPE	AREA	PERCENTAGE
BIRD-SAFE DOT	1,314.15 SF	88.61%
BIRD-SAFE SHADE	51.69 SF	3.49%
UNTREATED	117.16 SF	7.90%
TOTAL	1,483 SF	100.00%

TOTAL FACADE SF: 9,688SF
TOTAL GLAZING SF: 1,938SF
PERCENT GLAZING: 20%

9,611SF

D8
AP220 V2

177SF

D1 NORTH ELEVATION
1/16" = 1'-0"

D2 NORTH ELEVATION - BIRD-SAFE GLASS
1/16" = 1'-0"

D5 SOUTH ELEVATION - BIRD-SAFE GLASS
1/16" = 1'-0"

D8 SOUTH ELEVATION - BIRD-SAFE GLASS
1/16" = 1'-0"

GLASS AREA - PARKING NORTH FACADE	
Type	Area
BIRD-SAFE DOT	222.89 SF
BIRD-SAFE SHADE	104.83 SF
LESS THAN 50SF	101.21 SF
TOTAL SF	428.93 SF

TOTAL FACADE SF: 6,553SF
TOTAL GLAZING SF: 429SF
PERCENT GLAZING: 07%

6,553SF

1,457SF

B3 SOUTHEAST ELEVATION
1/16" = 1'-0"

GLASS AREA - SOUTHEAST FACADE	
Type	Area
BIRD-SAFE DOT	3,507.53 SF
BIRD-SAFE SHADE	2,486.15 SF
LESS THAN 50SF	330.13 SF
UNTREATED	1,030.94 SF
TOTAL SF	7,354.75 SF

TOTAL FACADE SF: 18,406SF
TOTAL GLAZING SF: 7,355SF
PERCENT GLAZING: 40%

GLASS GREATER THAN 50SF - SE FACADE		
TYPE	AREA	PERCENTAGE
BIRD-SAFE DOT	3,507.53 SF	49.93%
BIRD-SAFE SHADE	2,486.15 SF	35.39%
UNTREATED	1,030.94 SF	14.68%
TOTAL	7,024.62 SF	100.00%

B3
AP220 V2

B1 PARKING NORTH ELEVATION - BIRD-SAFE GLASS
1/16" = 1'-0"

B4 SOUTHEAST ELEVATION - BIRD GLASS
1/16" = 1'-0"

GLASS AREA - NORTHWEST FACADE	
Type	Area
BIRD-SAFE DOT	1,511.16 SF
LESS THAN 50SF	2,730.28 SF
UNTREATED	231.28 SF
TOTAL SF	4,472.74 SF

TOTAL FACADE SF: 18,537SF
TOTAL GLAZING SF: 4,473SF
PERCENT GLAZING: 24%

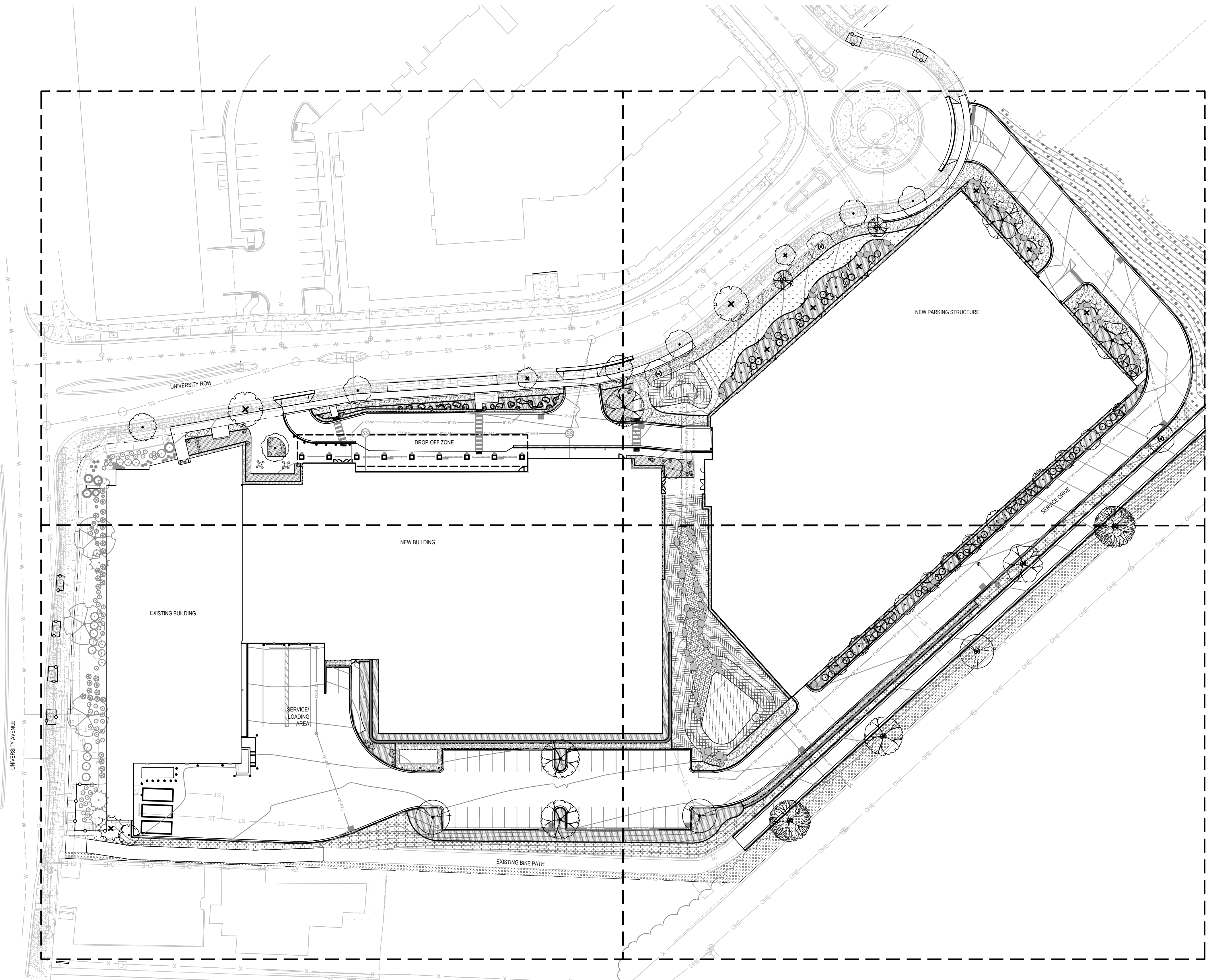
GLASS GREATER THAN 50SF - NW FACADE		
TYPE	AREA	PERCENTAGE
BIRD-SAFE DOT	1,511.16 SF	86.73%
UNTREATED	231.28 SF	13.27%
TOTAL	1,742.46 SF	100.00%

18,537SF

ALL GLASS ON THIS FACADE IS LESS THAN 50SF.

A1 PARKING SOUTH ELEVATION - BIRD-SAFE GLASS
1/16" = 1'-0"

A4 NORTHWEST ELEVATION - BIRD GLASS
1/16" = 1'-0"



LEGEND

- PROPERTY BOUNDARY
- TREE PROTECTION FENCING
- NO-MOW FESCUE TURF SEED
- BLUEGRASS LAWN SOD
- BLUEGRASS LAWN SEED
- PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH
- STONE MULCH SURFACING AND STONE MULCH MAINTENANCE EDGE, SEE DETAIL 11/L500
- STONE COBBLES, SEE DETAIL 7/L500
- BIORETENTION MIX 'A'- SIDE SLOPES
- BIORETENTION MIX 'B'- BOTTOM OF BASIN
- BIORETENTION MIX 'C'- SEDGE MIX
- NO-MOW FESCUE SEED MIX WITH INTEGRATED PERENNIAL FORB SEED MIX

PRECAST CONCRETE TABLE AND CHAIRS SET BY WALSAU TILE. COLOR AND FINISH SHALL BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD FULL COLOR AND FINISH RANGE.

FGP BENCH BY LANDSCAPE FORMS. COLOR AND FINISH SHALL BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD FULL COLOR AND FINISH RANGE.

DECORATIVE LIMESTONE SLAB OUTCROPPINGS, SEE DETAIL 8/L500

ROUNDED FIELDSTONE, ACCENT BOULDER, SEE DETAIL 7/L500

STACKED LIMESTONE OUTCROPPINGS, SEE DETAIL 13/L500

LIMESTONE STEPPERS, SEE DETAIL 14/L500

3" DEPTH SHREDDED HARDWOOD BARK MULCH NEW BED

4" DIAMETER 3" DEPTH SHREDDED HARDWOOD BARK MULCH RING AT BASE OF TREE

PLANTING BED EDGE, SEE DETAILS 9/L500 AND 10/L500

PEDESTRIAN LIGHT POLES AND BOLLARDS, SEE EXTERIOR LIGHTING PLANS

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	QTY
GROUND COVERS				
	BIORETENTION MIX 'A'- SIDE SLOPES			
	2,289 sf			
	Ac	Anemone canadensis / Canadian Anemone	2 1/2" Plug	215
	Ae	Aster erioideus / Heath Aster	2 1/2" Plug	215
	Ac	Carex oenosa / Longhair Sedge	2 1/2" Plug	215
	Ep	Echinacea pallida / Pale Purple Coneflower	2 1/2" Plug	238
	Ev	Elymus virginicus / Virginia Wild Rye	2 1/2" Plug	215
	Ep2	Eupatorium perfoliatum / Common Boneset	2 1/2" Plug	215
	Lx2	Liatris spicata / Blazing Star	2 1/2" Plug	215
	Pv	Pentstemon digitalis / Beardtongue	2 1/2" Plug	215
	Rh	Rudbeckia hirta / Black-eyed Susan	2 1/2" Plug	215
	Sh	Sporobolus heterolepis / Prairie Droopseed	2 1/2" Plug	215
	Vh	Verbena hastata / Blue Vervain	2 1/2" Plug	215
	BIORETENTION MIX 'B'- BOTTOM OF BASIN			
	1,500 sf			
	Ai	Asclepias incarnata / Swamp Milkweed	2 1/2" Plug	156
	Ch	Carex hystericina / Porcupine Sedge	2 1/2" Plug	156
	Cm	Carex muskingumensis / Palm Sedge	2 1/2" Plug	156
	Cv	Carex vulpinoidea / Fox Sedge	2 1/2" Plug	156
	Ep3	Eupatorium perfoliatum / Common Boneset	2 1/2" Plug	156
	Is	Iris virginica strewn / Shreve's Iris	2 1/2" Plug	156
	Ls3	Liatris spicata / Blazing Star	2 1/2" Plug	156
	Ls4	Lobelia siphilica / Great Lobelia	2 1/2" Plug	156
	Mb	Monarda fistulosa / Bergamot	2 1/2" Plug	156
	Vh2	Verbena hastata / Blue Vervain	2 1/2" Plug	156
	BIORETENTION MIX 'C'- SEDGE MIX			
	4,358 sf			
	Ac2	Aquilegia canadensis / Eastern Columbine	flat	362
	Ca	Carex albicans / White-tinged Sedge	flat	589
	Ca	Carex elatior / Bluestead Sedge	flat	589
	Co3	Carex pensylvanica / Pennsylvania Sedge	flat	589
	Co2	Carex sparganii / Spargang's Sedge	flat	589
	Fi2	Festuca commutata / Chewings Fescue	flat	544
	Fi3	Festuca rubra / Red Fescue	flat	544
	Gb	Geranium macranthum 'Bevan's Variety' / Bevan's Variety Bigroot Geranium	flat	362
	Tc	Tiarella cordifolia / Foamflower	flat	362

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
EVERGREEN TREES						
	JS2	Juniperus chinensis 'Spartan' / Spartan Juniper	B & B	6' HT. (MIN.)	Single, straight leader	19
	PGD	Picea glauca 'Densata' / Black Hills Spruce	B & B	6' HT. (MIN.)	Single, straight leader	9
	PG2	Picea pungens 'Glaucal' / Blue Colorado Spruce	B & B	6' HT. (MIN.)	Single, straight leader	7
	PS2	Picea pungens glauca 'Hoopsii' / Hoopsii Blue Spruce	B & B	6' HT. (MIN.)	Single, straight leader	3
	TO	Thuja occidentalis North Pole / American Arborvitae	B & B	6' HT. (MIN.)	Single, straight leader	17

ORNAMENTAL TREES

	ALC	Amelanchier laevis 'Cumulus' / Cumulus Allegheny Serviceberry	B & B	2.5' Cal	6' H (MIN.)	1
	AFJ	Acer freemanii 'Jeffersred' TM / Autumn Blaze Maple	B & B	2.5' Cal	6' H (MIN.)	3
	AM	Acer miyabei 'Morton' / State Street™ Miyabe Maple	B & B	2.5' Cal	6' H (MIN.)	3
	AM2	Acer miyabei 'Morton' / State Street™ Miyabe Maple	B & B	2' Cal	Single, Straight Leader, Inspection by City Forestry Required	1
	AA	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5' Cal	6' H (MIN.)	7
	CJ2	Carpinus caroliniana 'J.N. Strain' / J.N. Strain American Hornbeam	B & B	2' Cal	6' H (MIN.)	6
	CO	Celtis occidentalis / Common Hackberry	B & B	2' Cal	Single, Straight Leader, Inspection by City Forestry Required	2
	GTS	Gleditsia tricanthos 'Skyline' / Skyline Honey Locust	B & B	2.5' Cal	6' H (MIN.)	4
	GD2	Gleditsia tricanthos 'nervis' 'Draves' / Street Keeper® Honey Locust	B & B	2' Cal	Single, Straight Leader, Inspection by City Forestry Required	3
	OV	Ostrya virginiana / American Hophornbeam	B & B	2' Cal	6' H (MIN.)	4
	OV2	Ostrya virginiana / American Hophornbeam	B & B	2' Cal	Single, Straight Leader, Inspection by City Forestry Required	2
	TA	Tilia americana 'Kronm' / Sweet Street™ American Linden	B & B	2' Cal	Single, Straight Leader, Inspection by City Forestry Required	2
	UAP	Ulmus americana 'Princeton' / American Elm	B & B	2.5' Cal	6' H (MIN.)	2

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	NOTES	QTY
DECIDUOUS SHRUBS						
	Aib	Aronia melanocarpa 'Iniquos Beauty' TM / Black Chokeberry	3 gal	18" HT (MIN.)		23
	Al	Aronia melanocarpa 'UCONNAM165' / Low Scape Mount® Black Chokeberry	3 gal	12" HT (MIN.)		84
	Cs	Calycanthus floridus / Sweetshrub	3 gal	18" HT (MIN.)		2
	Cac	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	3 gal	18" HT, MIN.		37
	Ctt	Cotoneaster adpressus 'Tom Thumb' / Early Cotoneaster	3 gal	12" HT (MIN.)		27
	Dlc	Diervilla lonicera 'Copper' / Copper Low Bush Honeysuckle	3 gal	18" HT (MIN.)		3
	Hv	Hamamelis virginiana / Common Witch Hazel	5 gal	4' HT. (MIN.)		2
	Haa	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	18" HT (MIN.)		9
	Hd	Hydrangea arborescens 'Dardoni' / White Dome™ Hydrangea	3 gal	18" HT (MIN.)		6
	Hi	Hydrangea arborescens 'NCHAS' / Invincibelle® Wee White Hydrangea	3 gal	12" HT (MIN.)		11
	Iv	Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry	3 gal	18" HT. (MIN.)		1
	Ir	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	3 gal	12" HT (MIN.)		4
	Rgl	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	12" HT (MIN.)		57

EVERGREEN SHRUBS

	Jp	Juniperus procumbens 'Nana' / Dwarf Japanese Garden Juniper	3 gal	6" HT (MIN.)		22
	Jc	Juniperus sabin 'Monna' / Calgary Carpet® Juniper	3 gal	6" HT (MIN.)		45
	Mc	Microbiota decussata 'Condrew' / Drew's Blue Siberian Carpet Cypress	3 gal	6" HT (MIN.)		12
	Pc	Pinus mugo 'Compact' / Dwarf Mugo Pine	5 gal	18" HT (MIN.)		10
	Tet	Taxus x media 'Tautoni' / Tauton Yew	3 gal	18" HT (MIN.)		24

HERBACEOUS PERENNIALS

	asb	Allium tanguticum 'Summer Beauty' / Summer Beauty Globe Lily	1 gal	12" HT (MIN.)		136
	baa	Baptisia australis / Blue False Indigo	1 gal	12" HT (MIN.)		10
	snc	Salvia nemorosa 'Caradonna' / Caradonna Perennial Salvia	1 gal	12" HT (MIN.)		21
	Ss	Sedum spectabile 'Neon' / Neon Stonewort	1 gal	6" HT (MIN.)		40
	Sj	Sedum spurium 'John Creech' / John Creech Two Row Stonewort	1 gal	12" HT (MIN.)		20
ORNAMENTAL GRASSES						
	bba	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama Grass	1 gal	12" HT (MIN.)		8
	co2	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	1 gal	12" HT (MIN.)		38
	phm	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	1 gal	18" HT (MIN.)		58
	prw	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal	18" HT (MIN.)		92
	stb	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem	1 gal	12" HT (MIN.)		27
	sa	Sesleria autumnalis / Autumn Moor Grass	1 gal	12" HT (MIN.)		70
	sht	Sporobolus heterolepis 'Tara' / Prairie Droopseed	1 gal	12" HT (MIN.)		38

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 - (1) 5" LINDEN
 - (2) 4" KENTUCKY COFFEETREES
 - (1) 3" GINKGO
 - (1) 4" GINKGO
 - (1) 3" KENTUCKY COFFEETREE
 - (2) 4" HACKBERRYCONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF THE TREE AND FOR ALL COORDINATION AND PERMITTING WITH CITY FORESTRY STAFF.
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750 University Row Expansion
Madison, WI

07-29-2024

Planned Development (PD) Zoning

Developed Lots	SF	Acres	Landscape Points Subtotal
Total Developed Area (Lot - Building Area)	310,495	7.13	
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)			5175
Landscape Points Required			5175

Development Frontage - University Avenue		LF	Overstory Trees Required *		Shrubs Required
Total LF of Street Frontage					
Between Parking/Building & Street		310		10	52
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved	
Overstory Deciduous Tree	35	1	3	140	
Tall Evergreen Tree	35	1	2	105	
Ornamental Tree	15	0	5	75	
Upright Evergreen Shrub	10	0	0	0	
Shrub, deciduous	3	4	55	177	
Shrub, evergreen	4	0	42	168	
Ornamental Grass/Perennial	2	0	0	0	
Development Frontage Points Total				665	

Development Frontage - University Row		LF		Overstory Trees Required		Shrubs Required	
Total LF of Street Frontage		624		27		137	
Between Parking/Building & Street							
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved			
Overstory Deciduous Tree	35	0	0	0			
Tall Evergreen Tree	35	20	0	700			
Ornamental Tree	15	1	0	15			
Upright Evergreen Shrub	10	0	0	0			
Shrub, deciduous	3	88	12	294			
Shrub, evergreen	4	38	2	150			
Ornamental Grass/Perennial	2	392	10	804			
Development Frontage Points Total				2288			

General Site, Foundation, Screening

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Existing Overstory Deciduous Tree (caliper " at DBH)	14	0	0	0
Overstory Deciduous Tree	35	19	0	665
Tall Evergreen Tree	35	34	0	1190
Ornamental Tree	15	0	0	0
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	177	0	531
Shrub, evergreen	4	75	0	300
Ornamental Grass/Perennial	2	191	0	382
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0	0
Foundation Plantings Total				3068
TOTAL LANDSCAPE POINTS				6021

LANDSCAPE PLAN OVERVIEW

SCALE: 1" = 40' - 0" ON 36" x 48" SHEET



milwaukee | madison | green bay | denver | atlanta

F



E



1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

D

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
07/29/2024	LOGIC & LAND USE

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17. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING, OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
18. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300-PART 1 STANDARDS FOR PRUNING.

LEGEND

PROPERTY BOUNDARY

TREE PROTECTION FENCING

NO-MOW FESCUE TURF SEED

BLUEGRASS LAWN SOD

BLUEGRASS LAWN SEED

PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH

STONE MULCH SURFACING AND STONE MULCH MAINTENANCE EDGE, SEE DETAIL 11/L500

STONE COBBLES, SEE DETAIL 7/L500

BIORETENTION MIX 'A': SIDE SLOPES

BIORETENTION MIX 'B': BOTTOM OF BASIN

NO-MOW FESCUE SEED MIX WITH INTEGRATED PERENNIAL FORB SEED MIX

PRECAST CONCRETE TABLE AND CHAIRS SET BY WAUSAU TILE. COLOR AND FINISH SHALL BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD FULL COLOR AND FINISH RANGE.

FGP BENCH BY LANDSCAPE FORMS. COLOR AND FINISH SHALL BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD FULL COLOR AND FINISH RANGE

DECORATIVE LIMESTONE SLAB OUTCROPPINGS, SEE DETAIL 8/L500

ROUNDED FIELDSTONE ACCENT BOULDER, SEE DETAIL 7/L500

STACKED LIMESTONE OUTCROPPINGS, SEE DETAIL 13/L500

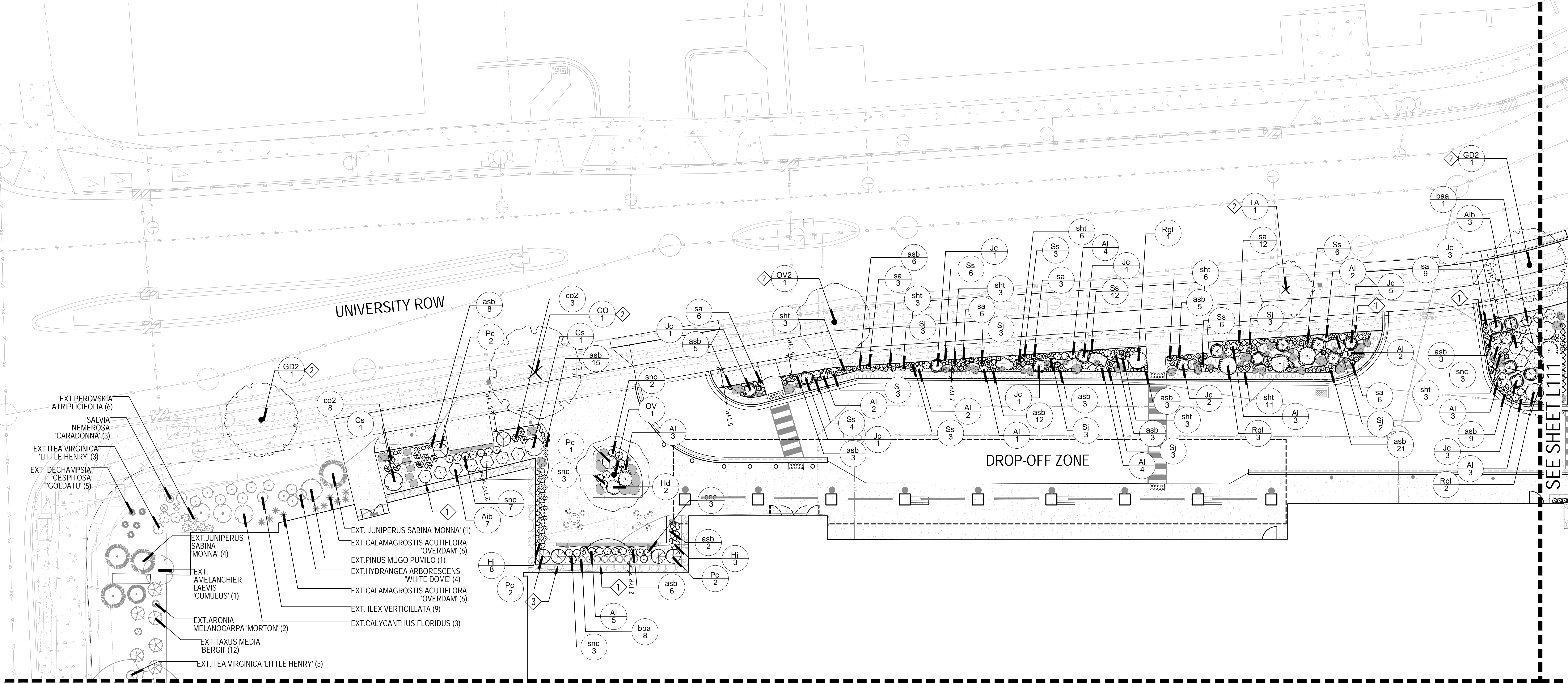
LIMESTONE STEPPERS, SEE DETAIL 14/L500

3" DEPTH SHREDDED HARDWOOD BARK MULCH NEW BED

4" DIAMETER 3" DEPTH SHREDDED HARDWOOD BARK MULCH RING AT BASE OF TREE

PLANTING BED EDGE, SEE DETAILS 9/L500 AND 10/L500

PEDESTRIAN LIGHT POLES AND BOLLARDS, SEE EXTERIOR LIGHTING PLANS



1 LANDSCAPE PLAN ENLARGEMENT

SEE SHEET L112

SEE SHEET L111

eua

milwaukee | madison | green bay | denver | atlanta

F

UWHealth

KRUPP

GENERAL CONTRACTORS

E

saiki

DESIGN

1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

D

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
01/29/2024	UIC & LAND USE

WISCONSIN
Abbie Molten
LA-673
Madison
Wisconsin
LANDSCAPE ARCHITECT
Holly Walker
7/29/2024

C

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER

RB

A

PROJECT NUMBER

422291

LANDSCAPE PLAN ENLARGEMENT

LA110

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15. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, THE CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO HAVE ALL UTILITIES MARKED AND SUBSEQUENTLY CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

16. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF 472 HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING, OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300-PART 1 STANDARDS FOR PRUNING.

LEGEND

- PROPERTY BOUNDARY
- TREE PROTECTION FENCING
- NO-MOW FESCUE TURF SEED
- BLUEGRASS LAWN SOD
- BLUEGRASS LAWN SEED
- PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH
- STONE MULCH SURFACING AND STONE MULCH MAINTENANCE EDGE, SEE DETAIL 11/L500
- STONE COBBLES, SEE DETAIL 7/L500

- BIORETENTION MIX 'A'- SIDE SLOPES
- BIORETENTION MIX 'B'- BOTTOM OF BASIN
- NO-MOW FESCUE SEED MIX WITH INTEGRATED PERENNIAL FORB SEED MIX
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- ROUNDED FIELDSTONE ACCENT BOULDER, SEE DETAIL 7/L500
- STACKED LIMESTONE OUTCROPPINGS, SEE DETAIL 13/L500
- LIMESTONE STEPPERS, SEE DETAIL 14/L500
- 3" DEPTH SHREDDED HARDWOOD BARK MULCH NEW BED
- 4" DIAMETER 3" DEPTH SHREDDED HARDWOOD BARK MULCH RING AT BASE OF TREE
- PLANTING BED EDGE, SEE DETAILS 9/L500 AND 10/L500
- PEDESTRIAN LIGHT POLES AND BOLLARDS, SEE EXTERIOR LIGHTING PLANS


UNIVERSITY ROW

NEW PARKING STRUCTURE

SERVICE DRIVE

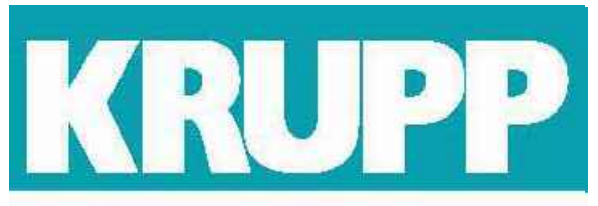

1 LANDSCAPE PLAN ENLARGEMENT
SCALE: 1" = 10' - 0" ON 36" x 48" SHEET

SEE SHEET L113




milwaukee | madison | green bay | denver | atlanta

F



GENERAL CONTRACTORS



1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600


PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

D 750 University Row
Madison, WI 53705

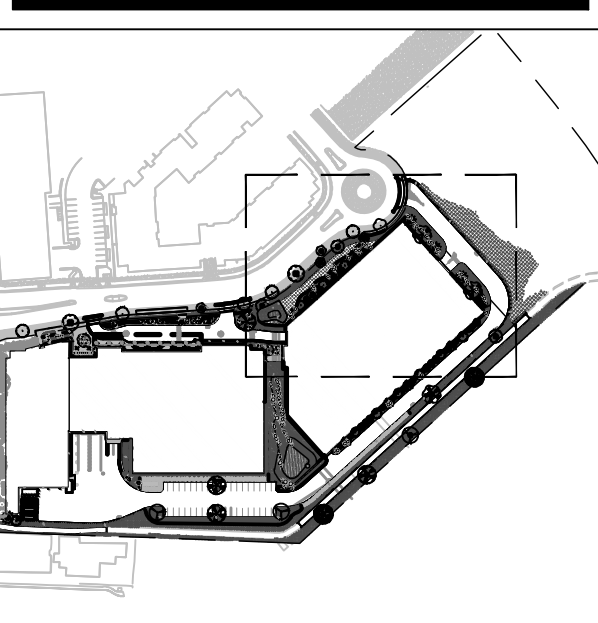
ISSUANCE AND REVISIONS

DATE	DESCRIPTION
01/29/2024	JDC & LAND USE



Abbie Mollen
LA-673
Madison
Wisconsin
7/29/2024

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

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PROJECT MANAGER RB

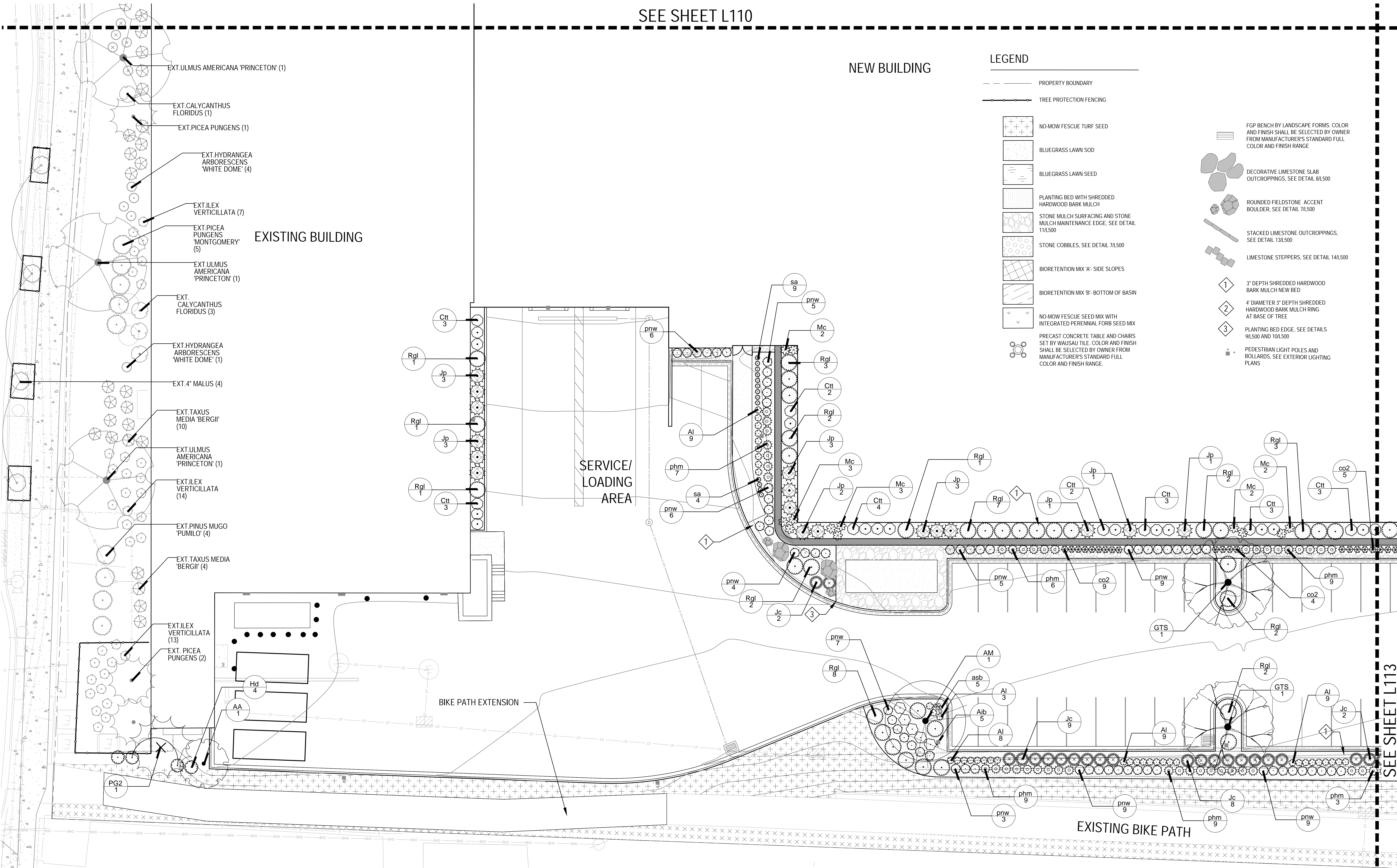
PROJECT NUMBER 422291

A

LANDSCAPE PLAN
ENLARGEMENT

LA111

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NOTES

- FIELD VERIFY SURVEY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE PROJECT REPRESENTATIVE.
- CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING WORK.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING WORK. ANY DAMAGE CAUSED TO UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- PROTECT ALL BENCHMARKS.
- PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES, AND OTHER IMPROVEMENTS (TO REMAIN) FROM CONSTRUCTION ACTIVITIES. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO EXISTING CONDITIONS AT COMPLETION OF WORK UNLESS SHOWN OTHERWISE ON PLANS.
- PROVIDE INFILTRATION TESTING PRIOR TO PLACEMENT OF ENGINEERED SOIL FOR EACH BIOINFILTRATION AREA.
- VERIFY THAT SPECIFIED TOPSOIL PLANTING MIXTURE, AND ENGINEERED SOIL DEPTHS ARE PRESENT PRIOR TO PLANTING PER SECTION 32.91.13 "SOIL PREPARATION. NOTIFY PROJECT REPRESENTATIVE OF ANY NON-CONFORMING CONDITIONS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATE SIZE PER CITY OF MADISON STANDARDS.
- ALL EXISTING LAWN AREAS WITHIN AND ADJACENT TO THE PROJECT SITE THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, UTILITY TRENCHING, ACCESS, OR MATERIALS STORAGE SHALL BE REPAIRED WITH SEED PER SECTION 32.92.00, "TURF AND GRASSES".
- THIS PROJECT PROPOSES THE REMOVAL OF EIGHT (8) EXISTING TREES IN THE UNIVERSITY ROW TERRACE. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608)266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR THE FOLLOW TREE REMOVALS DUE TO CRANE/STAGING CONFLICT AND MAJOR STORM UTILITY RELOCATION ALONG THE UNIVERSITY ROW RIGHT-OF-WAY:
 - (1) 5" LINDEN
 - (2) 4" KENTUCKY COFFEETREES
 - (1) 3" GINKGO
 - (1) 4" GINKGO
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- SECTION 107.13(C) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
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SEE SHEET L110

NEW BUILDING

LEGEND

- PROPERTY BOUNDARY
- TREE PROTECTION FENCING
- NO-MOW FESCUE TURF SEED
- BLUEGRASS LAWN SOD
- BLUEGRASS LAWN SEED
- PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH
- STONE MULCH SURFACING AND STONE MULCH MAINTENANCE EDGE, SEE DETAIL 11/L500
- STONE COBBLES, SEE DETAIL 7/L500
- BIORETENTION MIX 'A': SIDE SLOPES
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- LIMESTONE STEPPERS, SEE DETAIL 14/L500
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- PLANTING BED EDGE, SEE DETAILS 9/L500 AND 10/L500
- PEDESTRIAN LIGHT POLES AND BOLLARDS, SEE EXTERIOR LIGHTING PLANS

SERVICE/LOADING AREA

BIKE PATH EXTENSION

EXISTING BIKE PATH



milwaukee | madison | green bay | danner | atlanta

F

UWHealth

KRUPP
GENERAL CONTRACTORS

saiki
DESIGN

1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600

PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

D

750 University Row
Madison, WI 53705

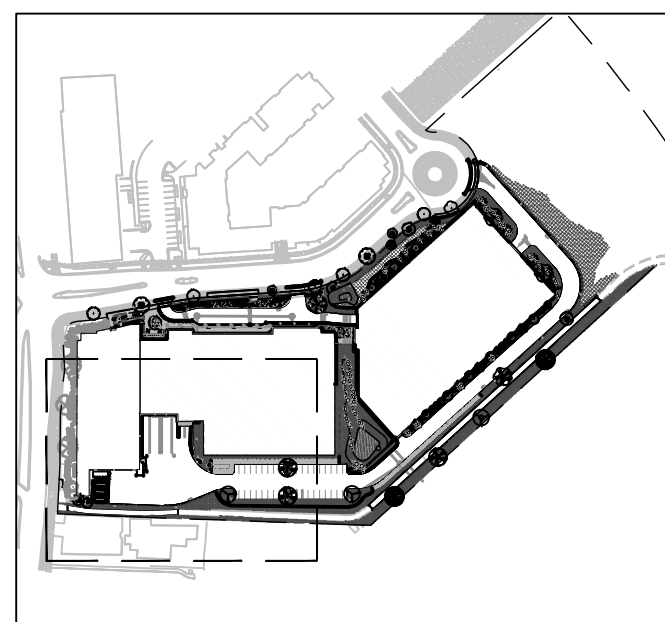
ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/29/2024	LDIC & LAND USE



C

KEY PLAN



B

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

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PROJECT MANAGER RB
PROJECT NUMBER 422291

LANDSCAPE PLAN
ENLARGEMENT

LA112

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1 LANDSCAPE PLAN ENLARGEMENT
SCALE: 1" = 10' - 0" ON 36" x 48" SHEET

1

2

3

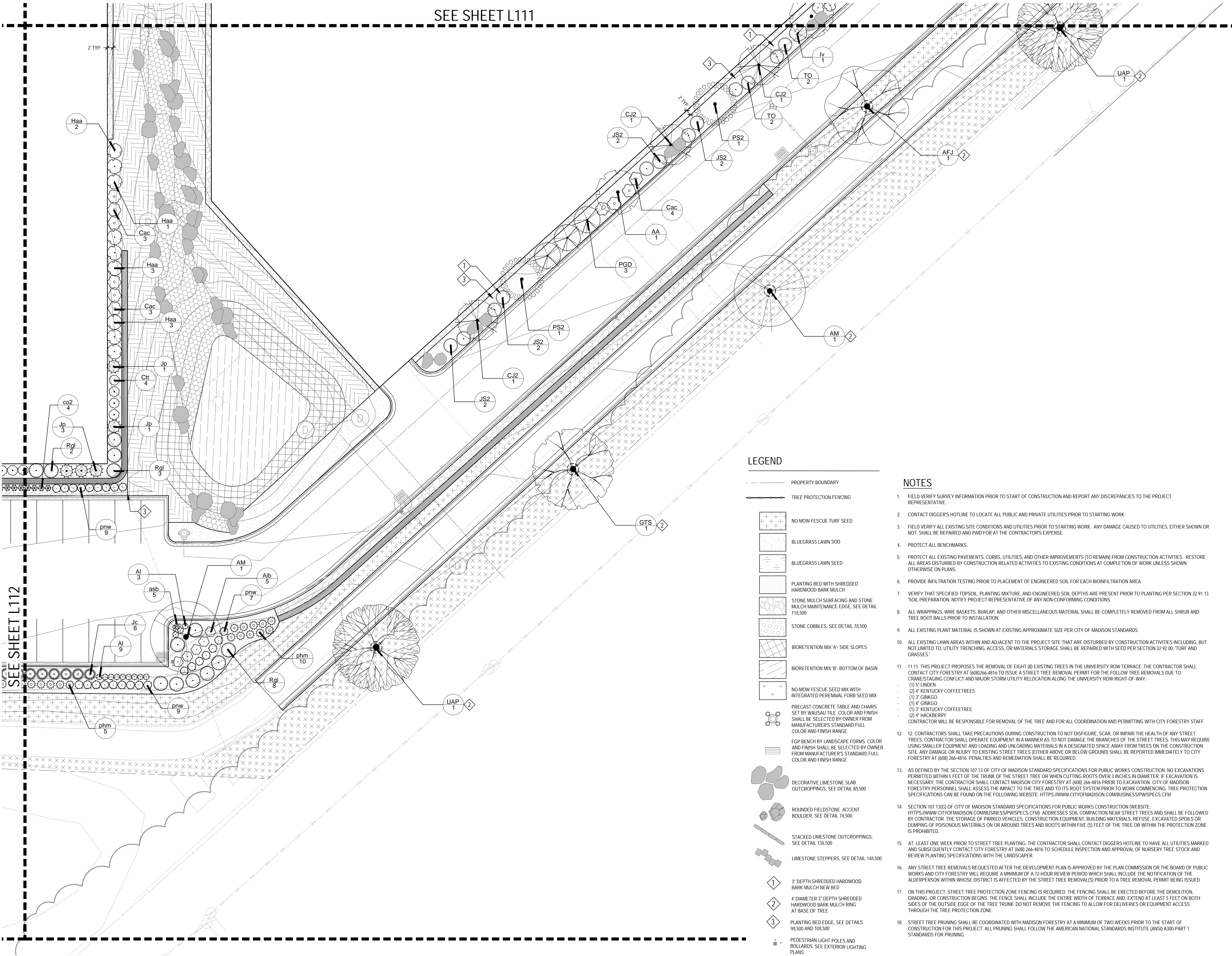
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6

7

8



1 LANDSCAPE PLAN ENLARGEMENT
SCALE: 1" = 10'-0" ON 36" x 48" SHEET

SEE SHEET L111

SEE SHEET L112

LEGEND

- PROPERTY BOUNDARY
- TREE PROTECTION FENCING
- NO-MOW FESCUE TURF SEED
- BLUEGRASS LAWN SOD
- BLUEGRASS LAWN SEED
- PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH
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NOTES

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F

1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600

E

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

D

750 University Row
Madison, WI 53705

C

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
02/29/2024	UBC & LAND USE

B

KEY PLAN

A

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

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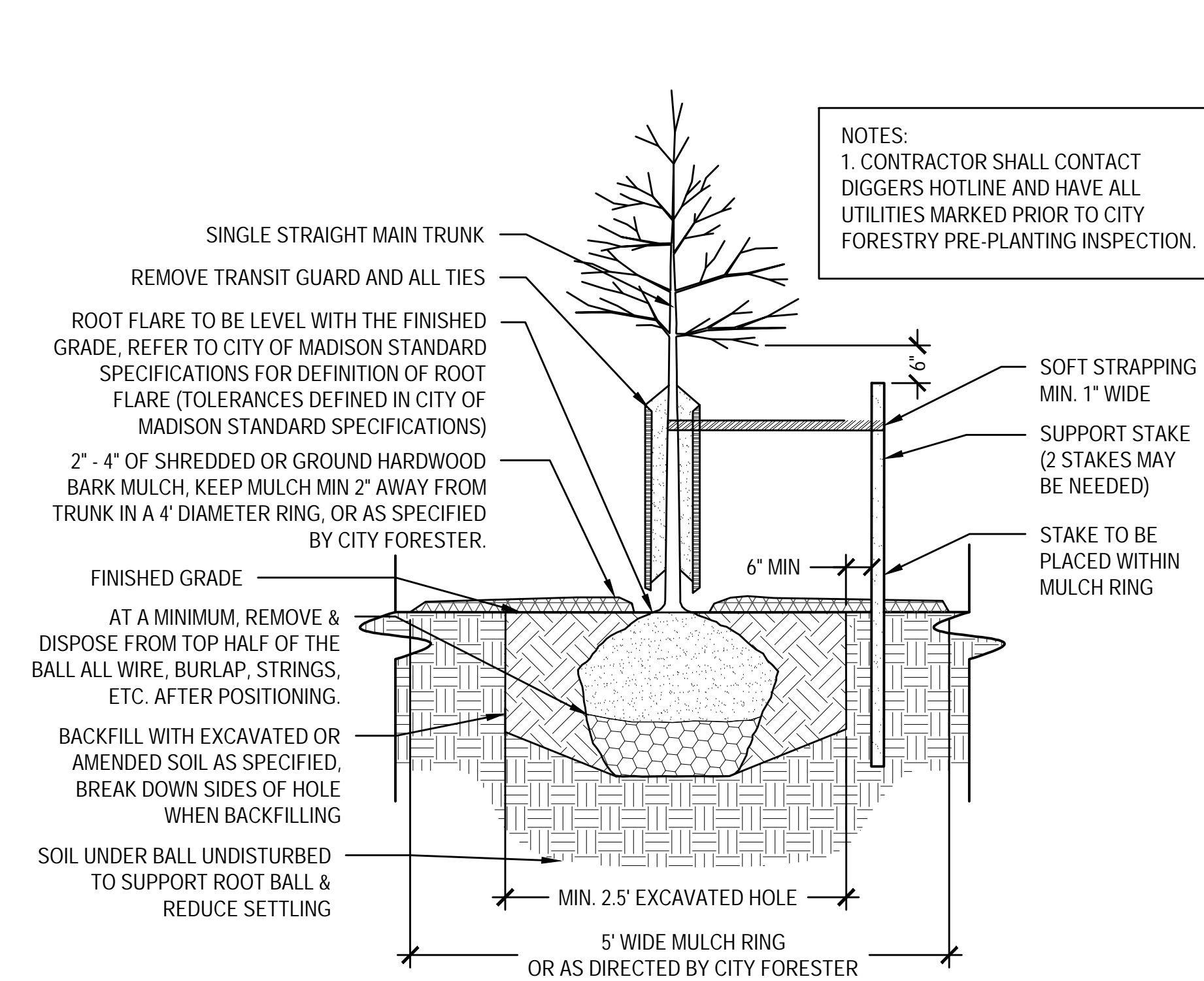
PROJECT MANAGER RB

PROJECT NUMBER 422291

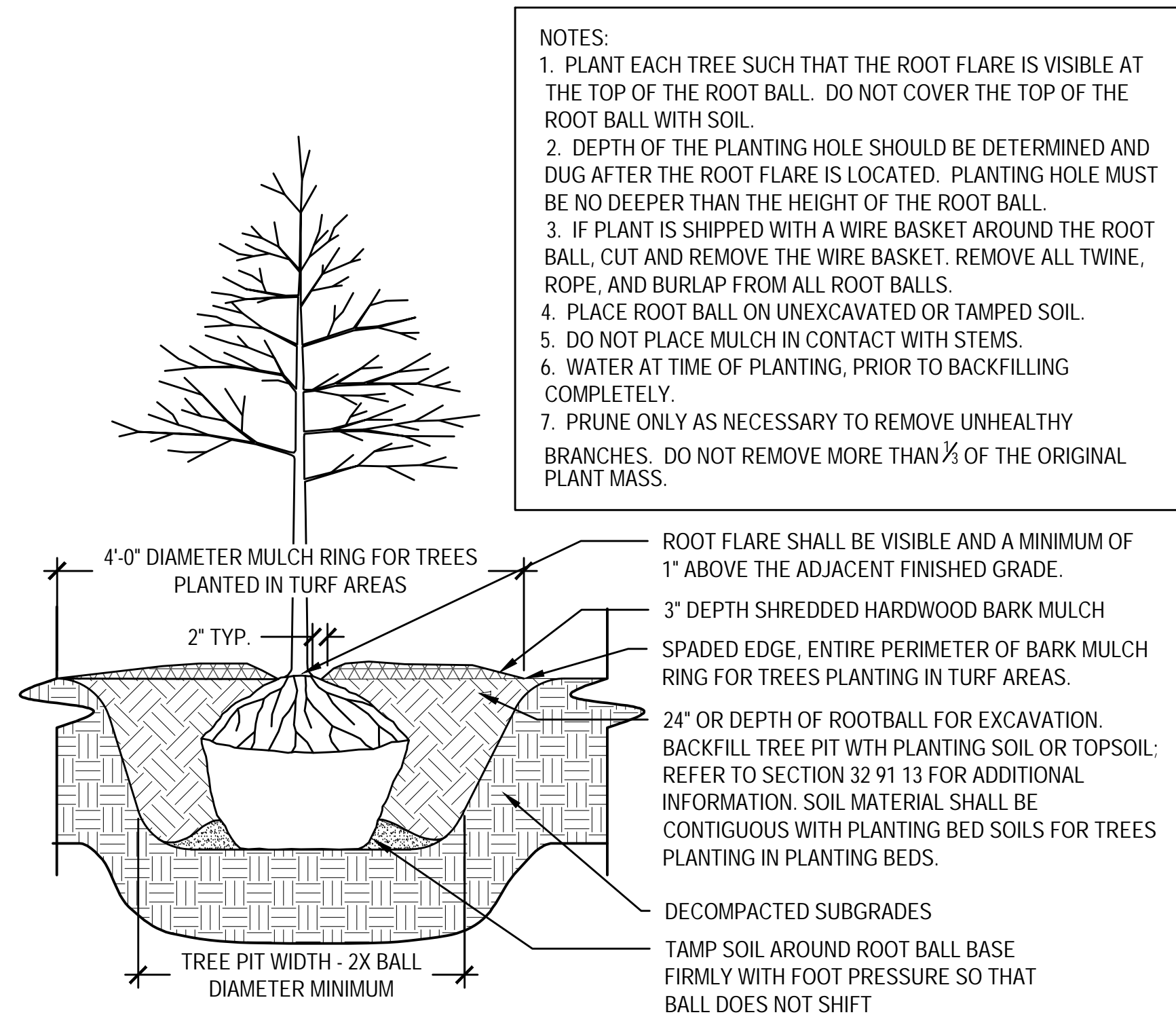
LANDSCAPE PLAN
ENLARGEMENT

LA113

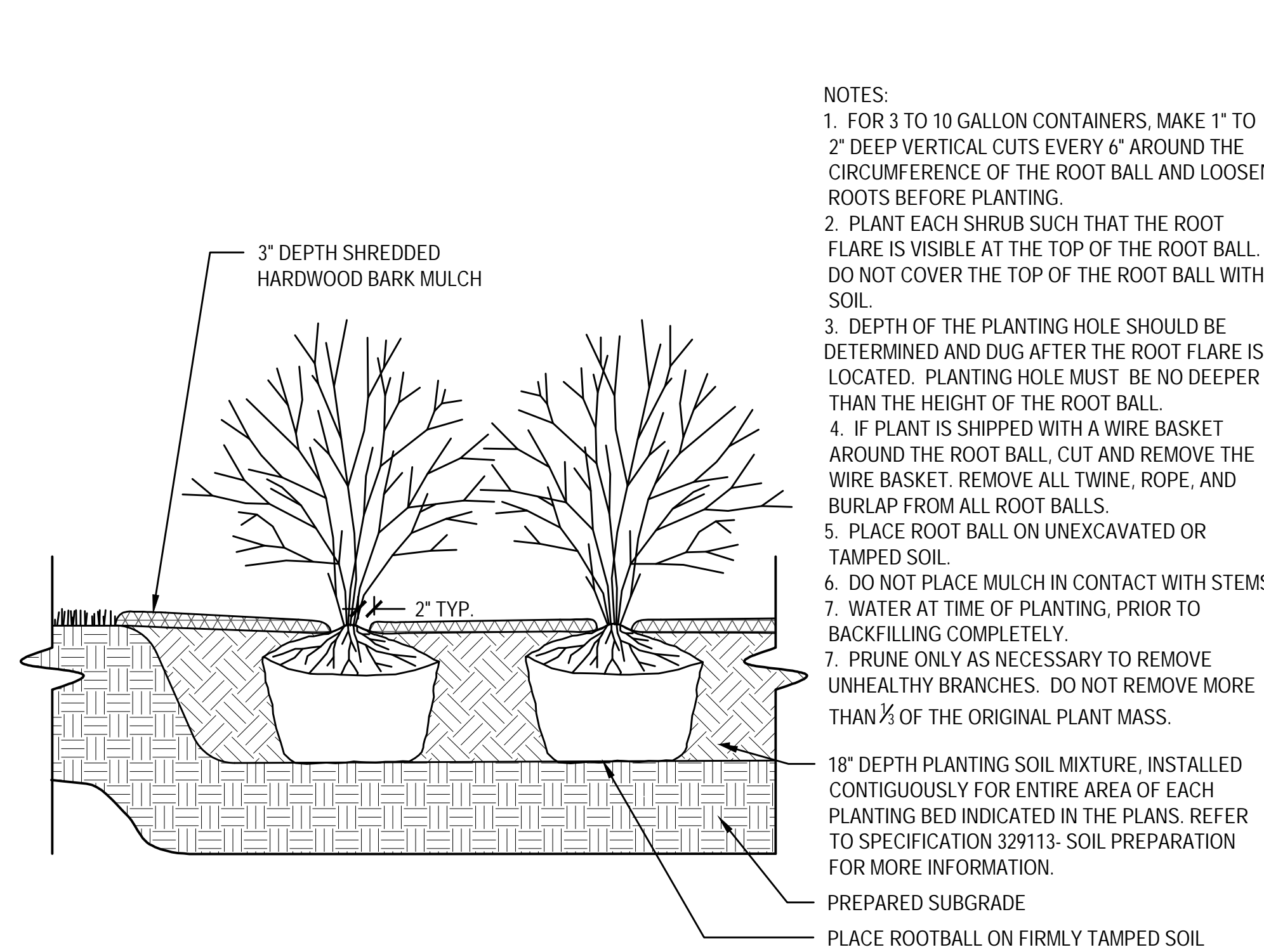
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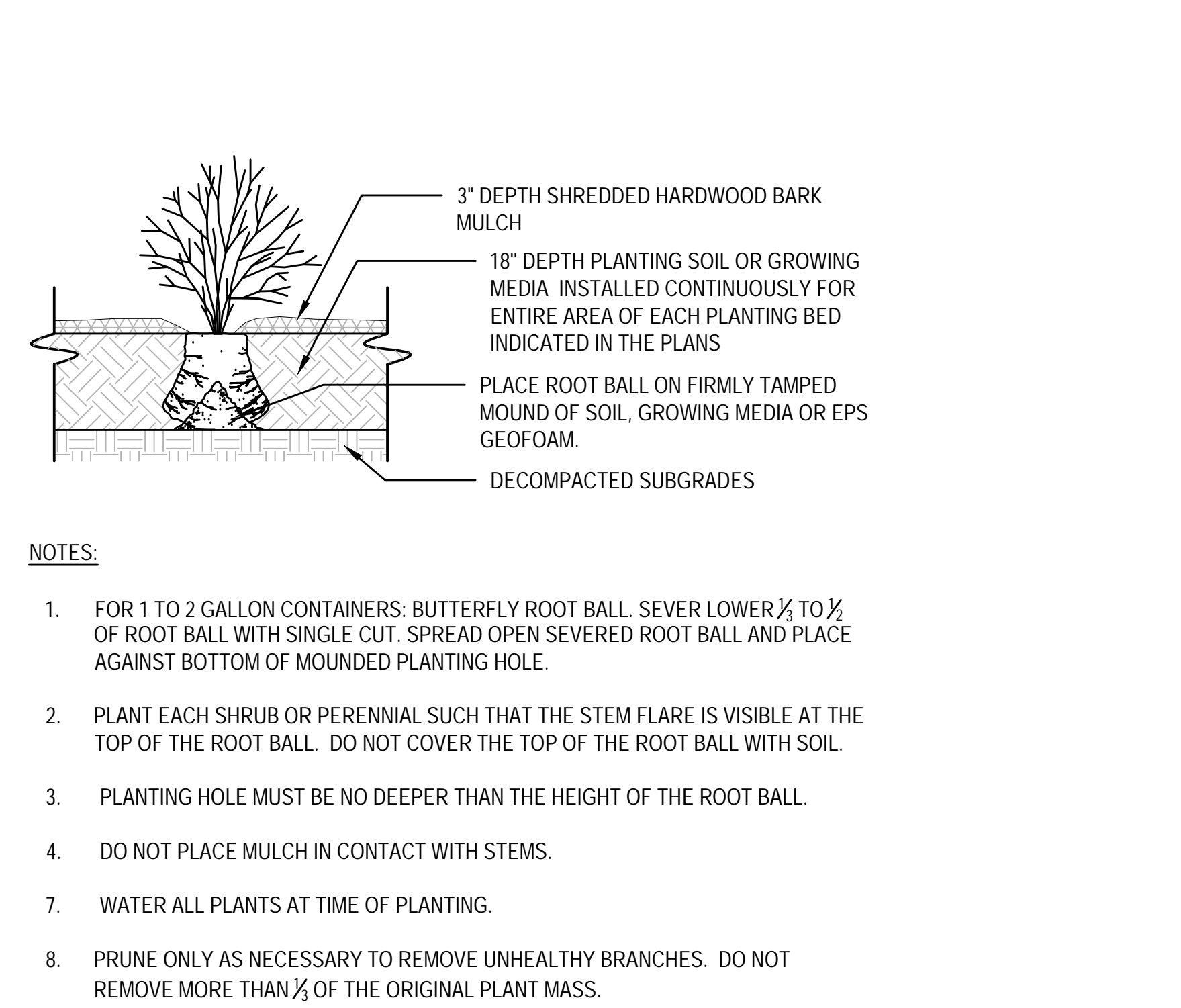
1 BALLED BURLAP TREE PLANTING, CITY TERRACE
SCALE: NTS



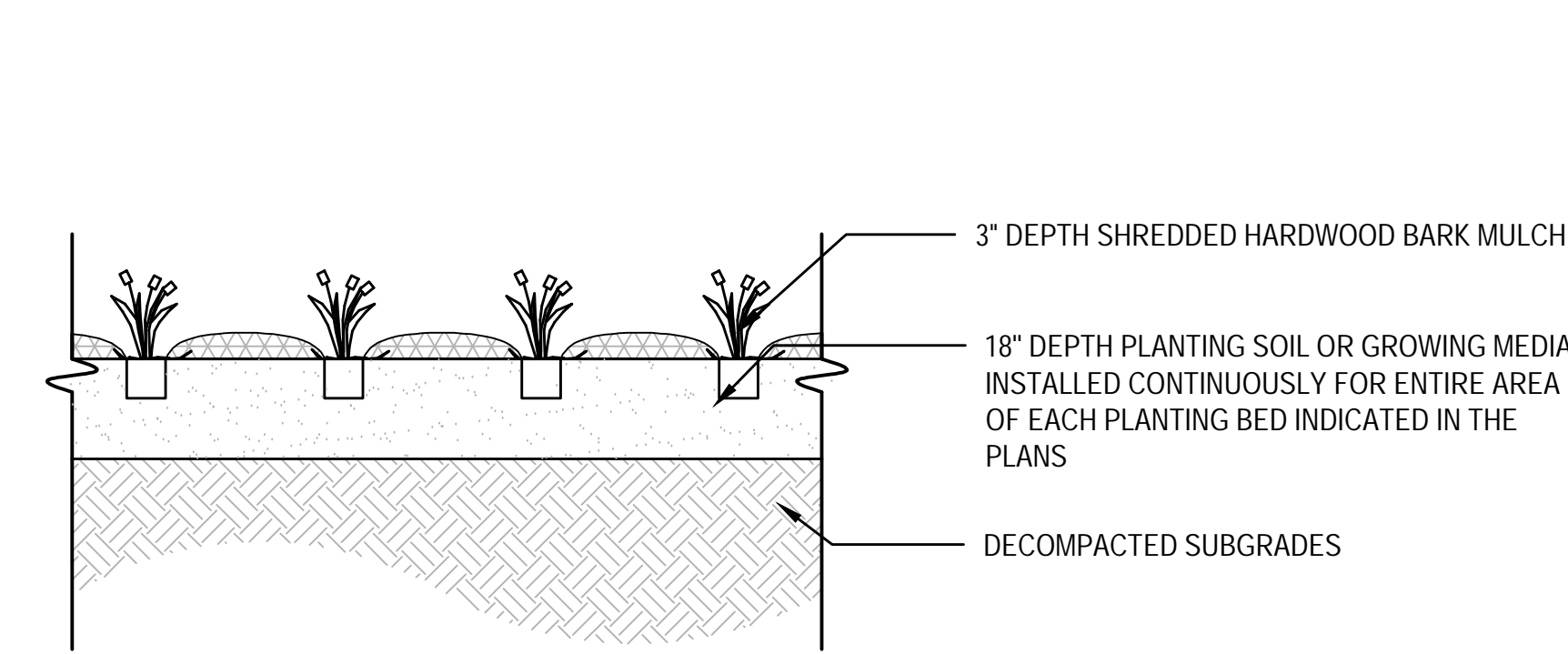
2 TYPICAL BALL AND BURLAP TREE PLANTING, GENERAL
SCALE: NTS



3 TYPICAL LARGE CONTAINER PLANTING
SCALE: NTS

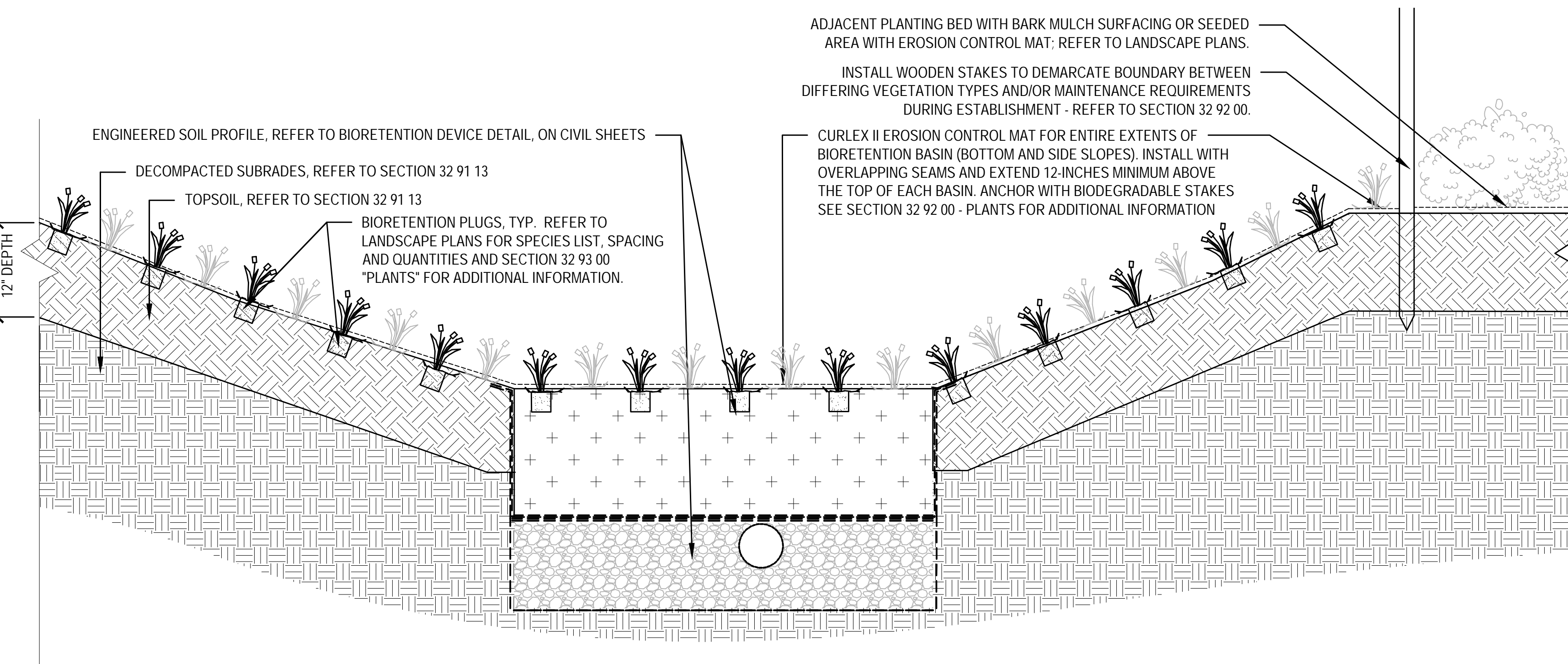


4 TYPICAL MEDIUM CONTAINER PLANTING
SCALE: NTS

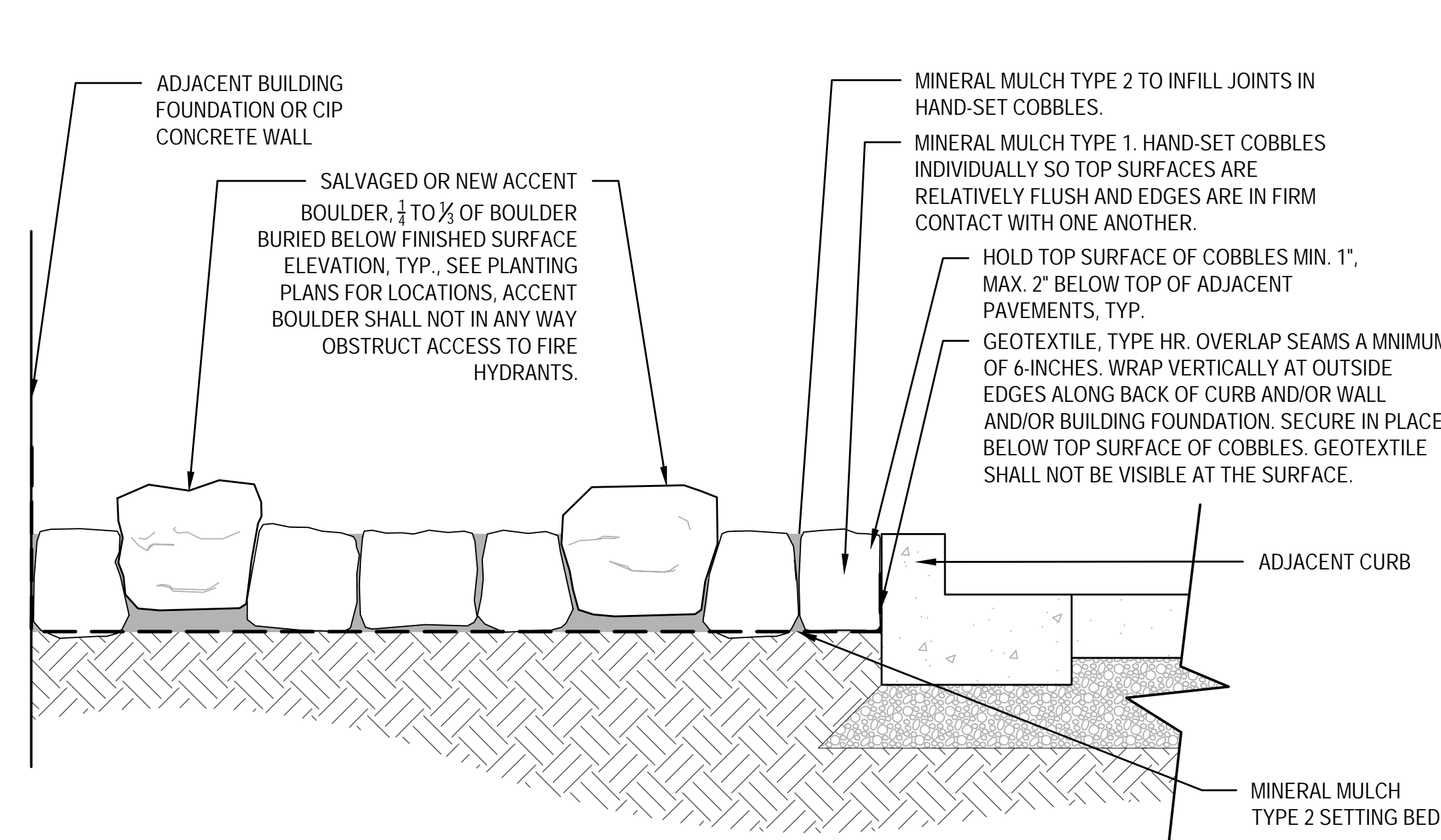


- NOTES:
- FOR QUART CONTAINERS: GENTLY HAND-LOOSEN ROOTS AT THE OUTSIDE OF THE ROOTBALL AND STRAIGHTEN ROOTS THAT HAVE BEGUN TO ENIRCLE THE ROOTBALL. PLACE PREPARED ROOTBALL IN FIRM CONTACT WITH THE BOTTOM OF THE PLANTING HOLE, MAKING SURE THAT THE PLANT CROWN IS $\frac{3}{4}$ ABOVE ADJACENT FINISHED GRADES.
 - PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE STEM FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 - DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 - WATER ALL PLANTS AT TIME OF PLANTING.
 - PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY TOP GROWTH. DO NOT REMOVE MORE THAN $\frac{1}{2}$ OF THE ORIGINAL PLANT MASS.

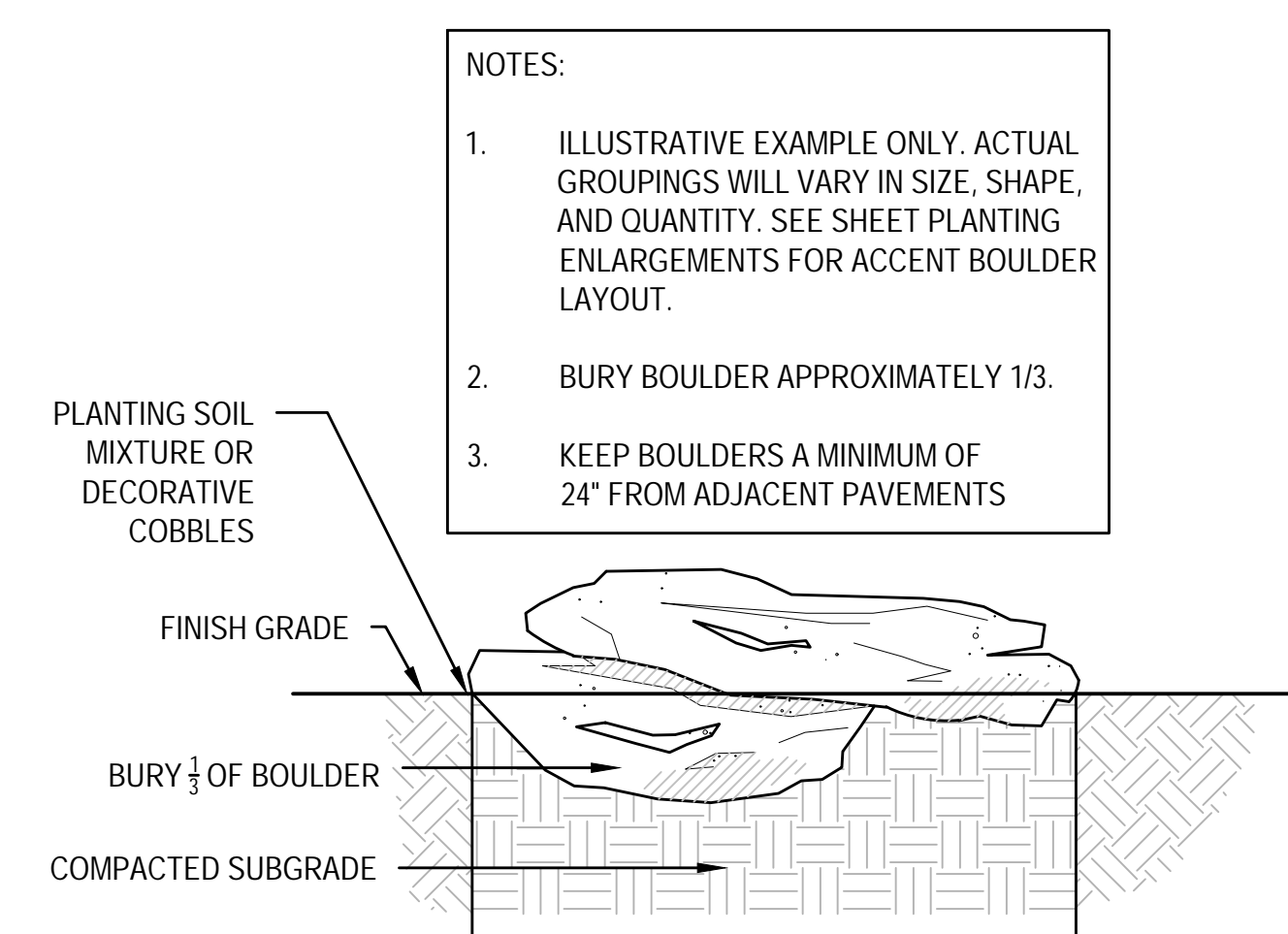
5 TYPICAL PERENNIAL PLANTING
SCALE: NTS



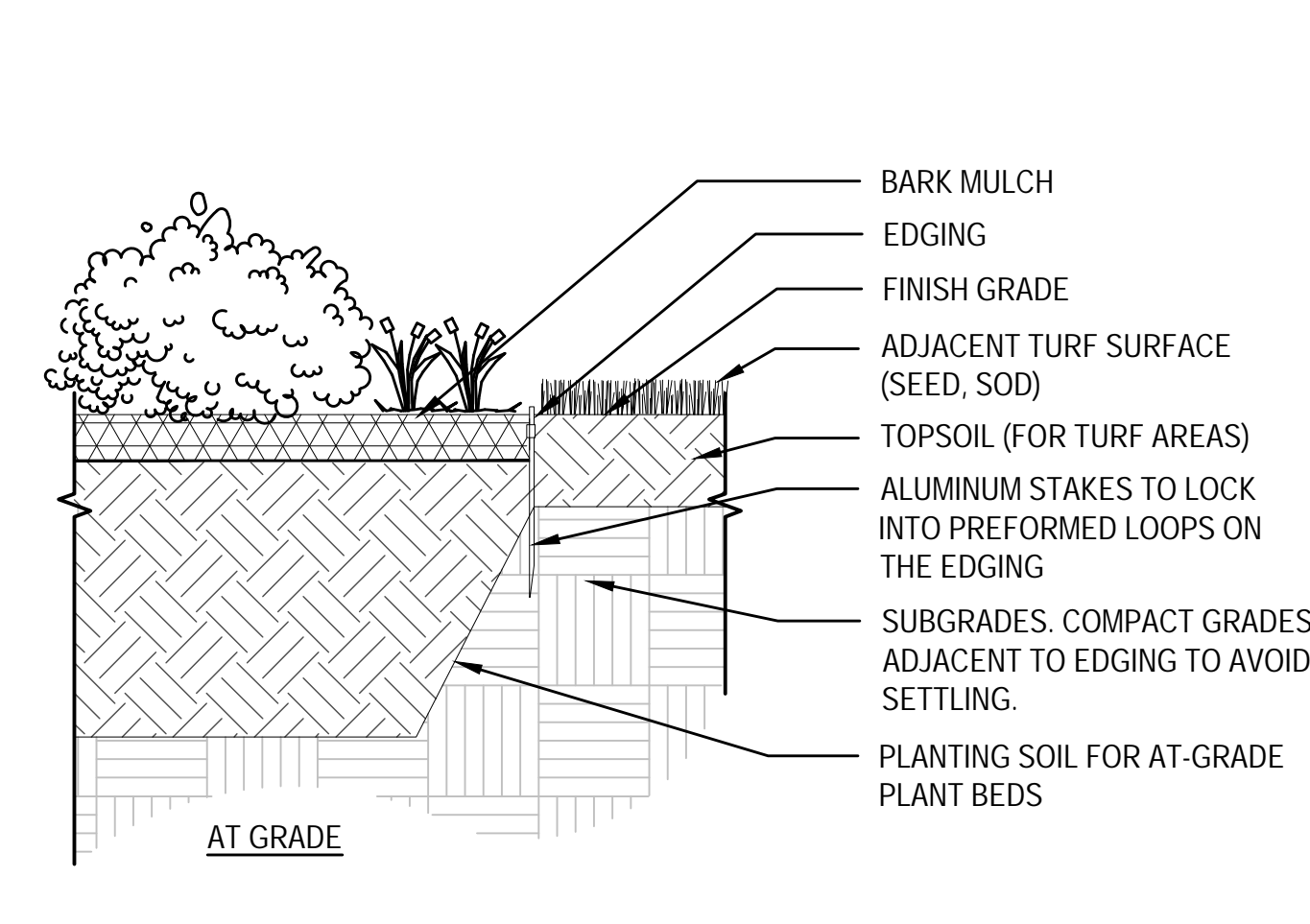
6 BIORETENTION PLANTING
SCALE: NTS



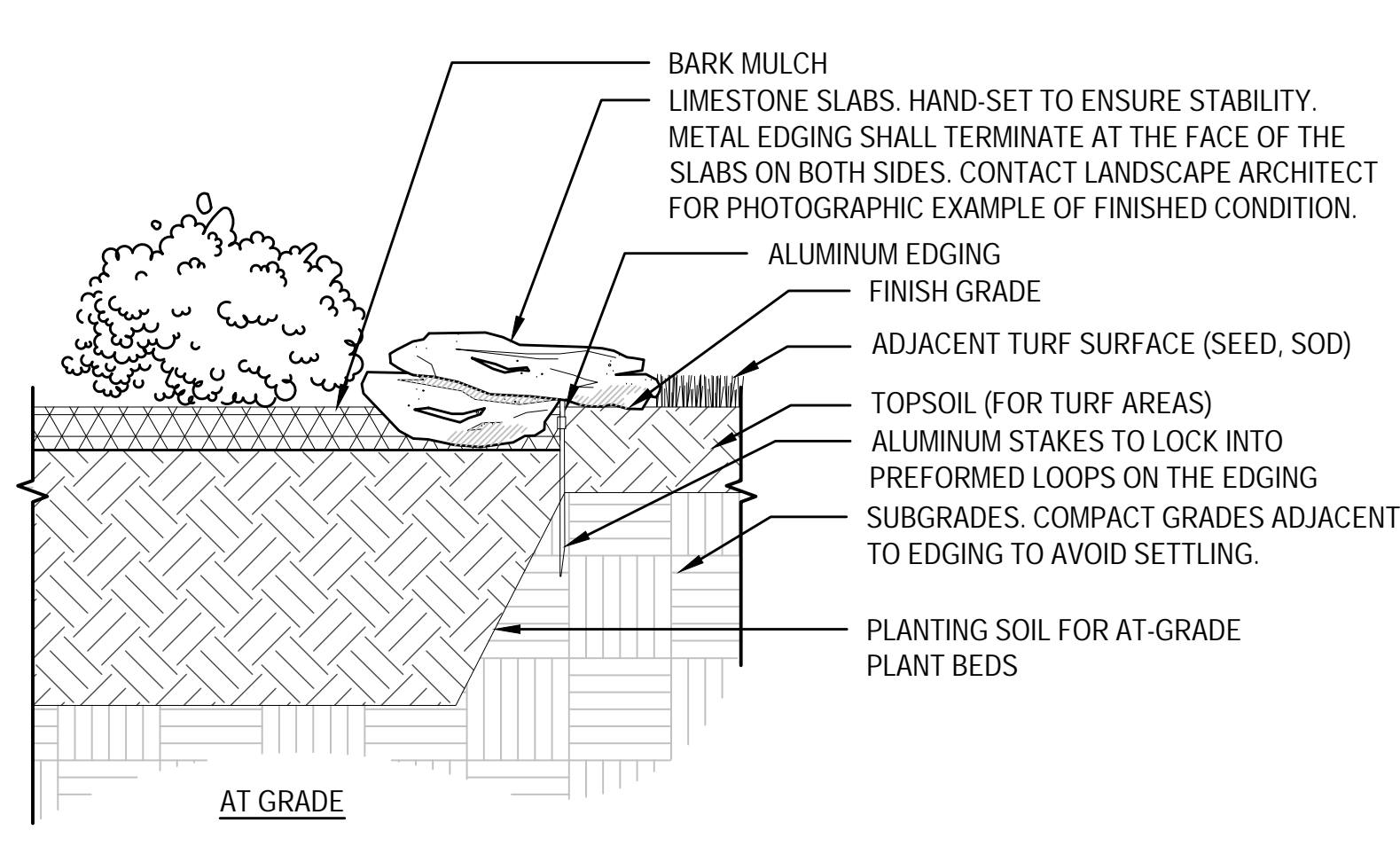
7 HAND-SET COBBLE WITH ACCENT BOULDERS
SCALE: NTS



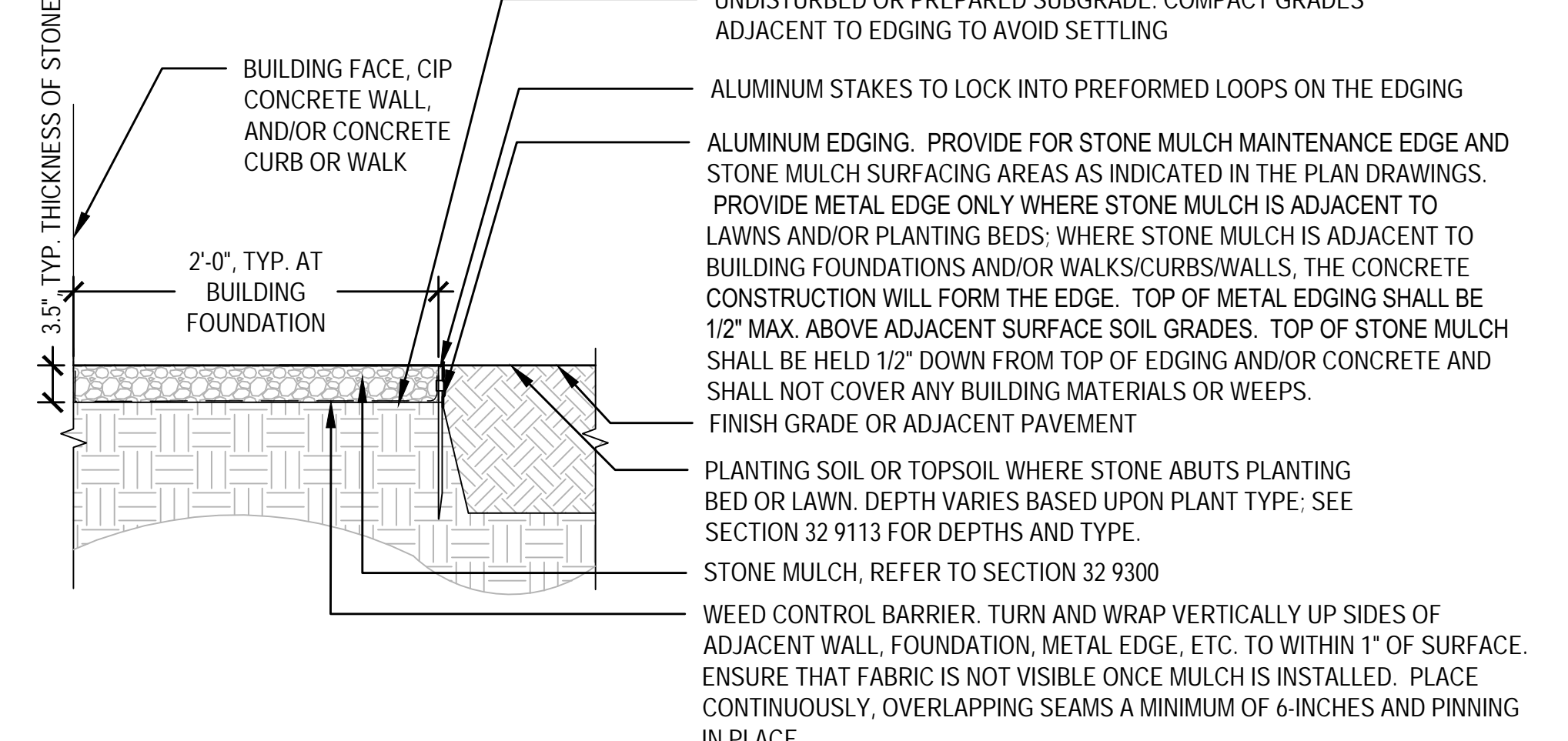
8 DECORATIVE LIMESTONE SLAB OUTCROPPING
SCALE: NTS



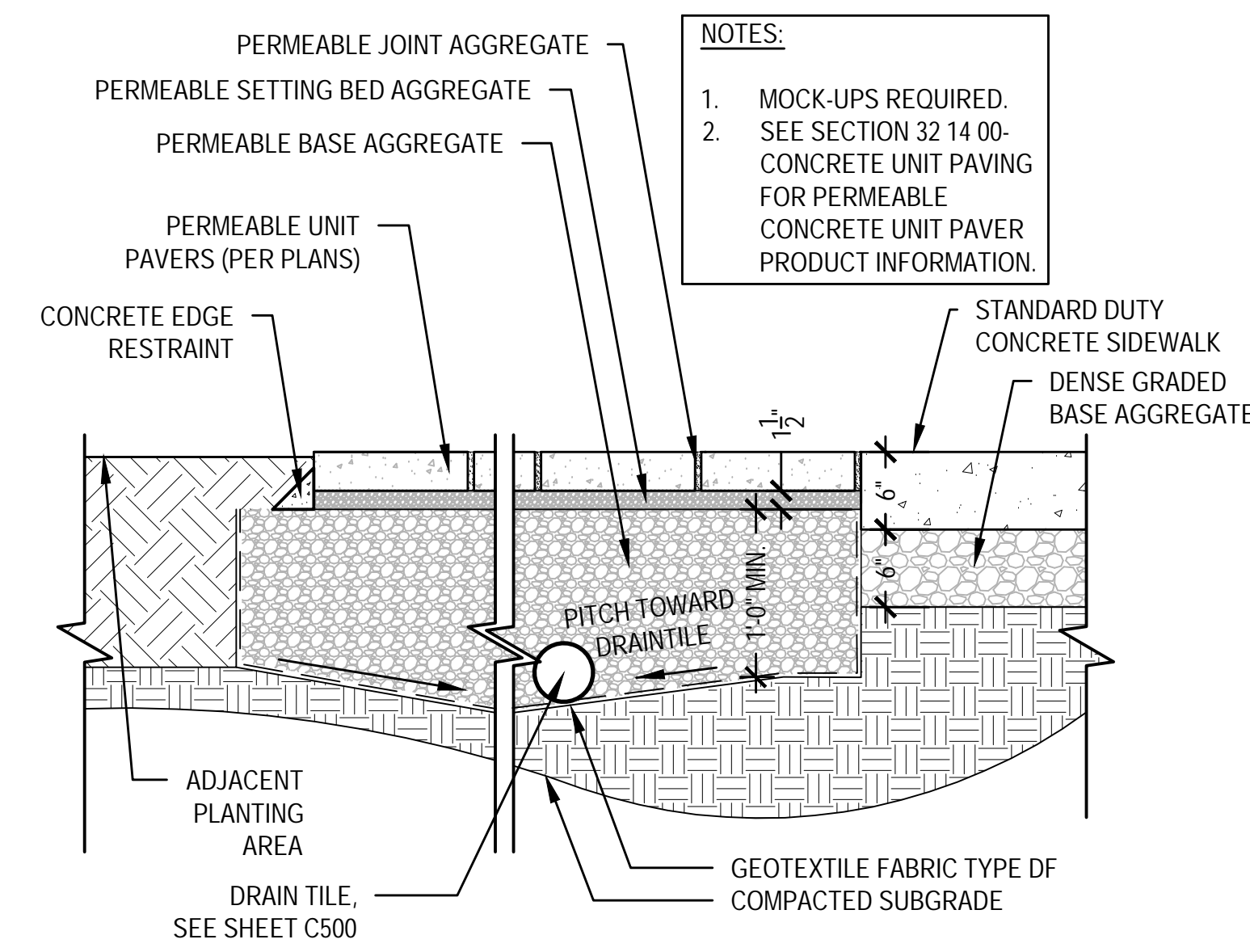
9 TYPICAL PLANTING BED EDGE
SCALE: NTS



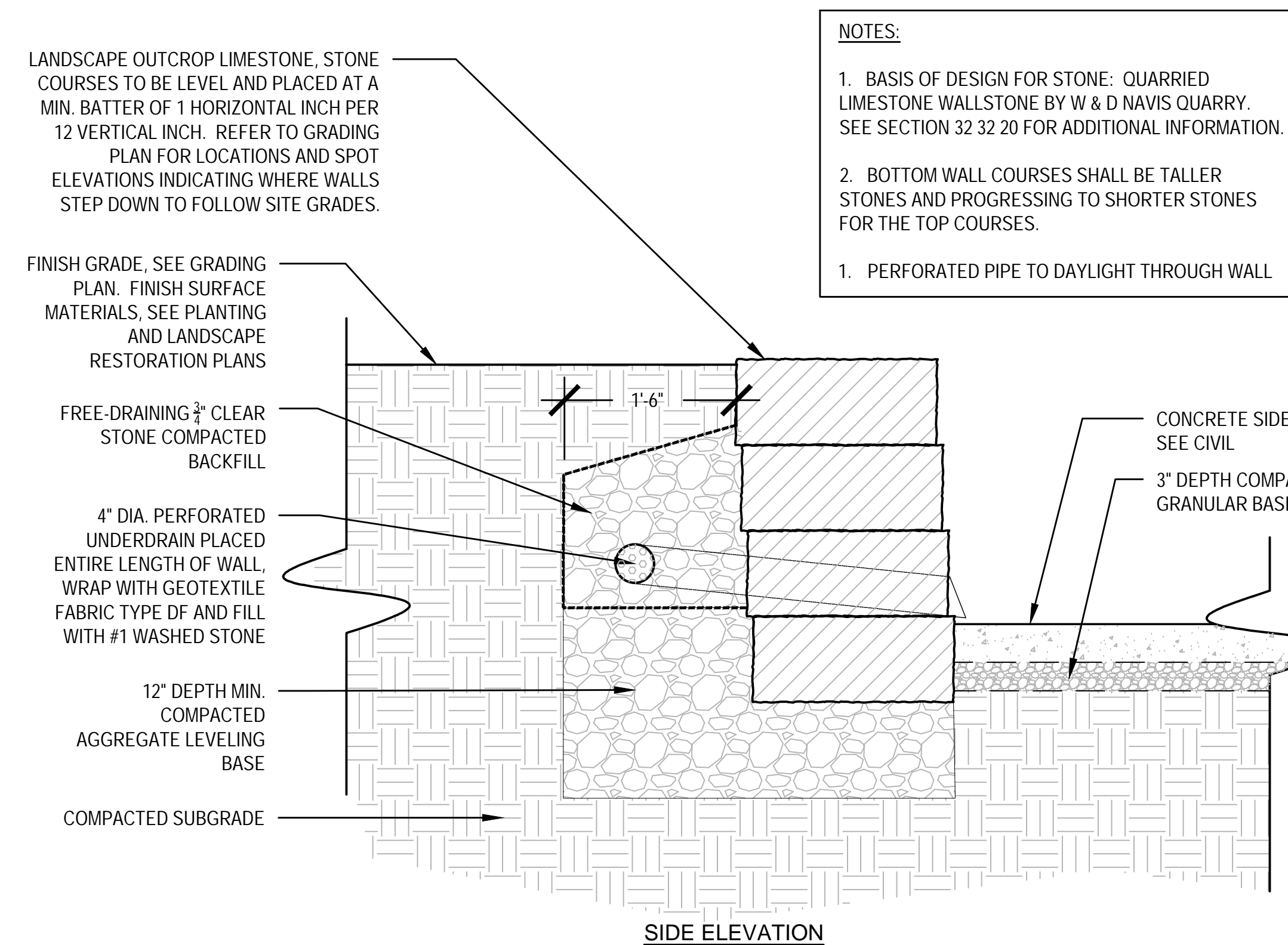
10 PLANTING BED EDGE WITH INTEGRATED LIMESTONE OUTCROPPING
SCALE: NTS



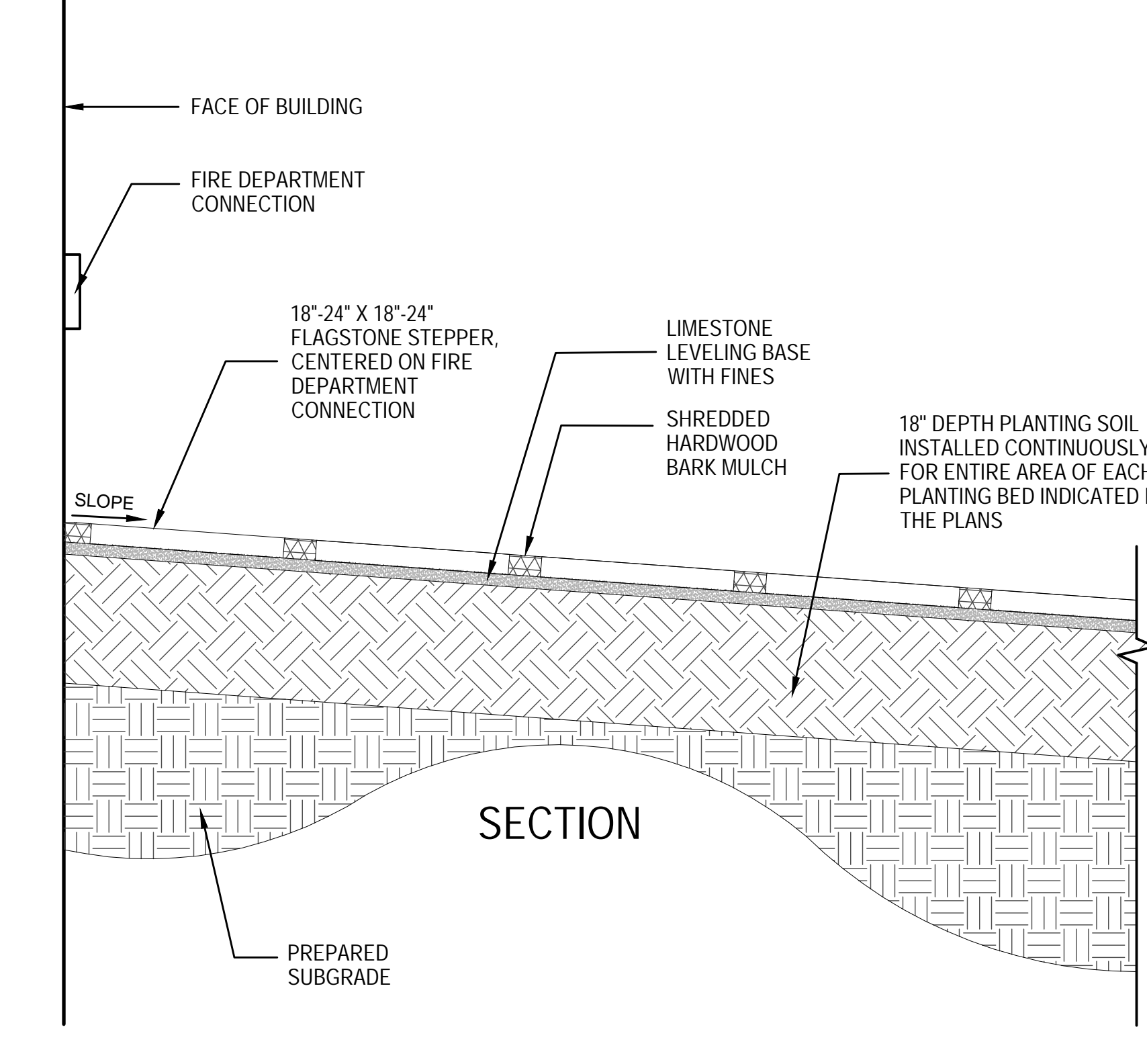
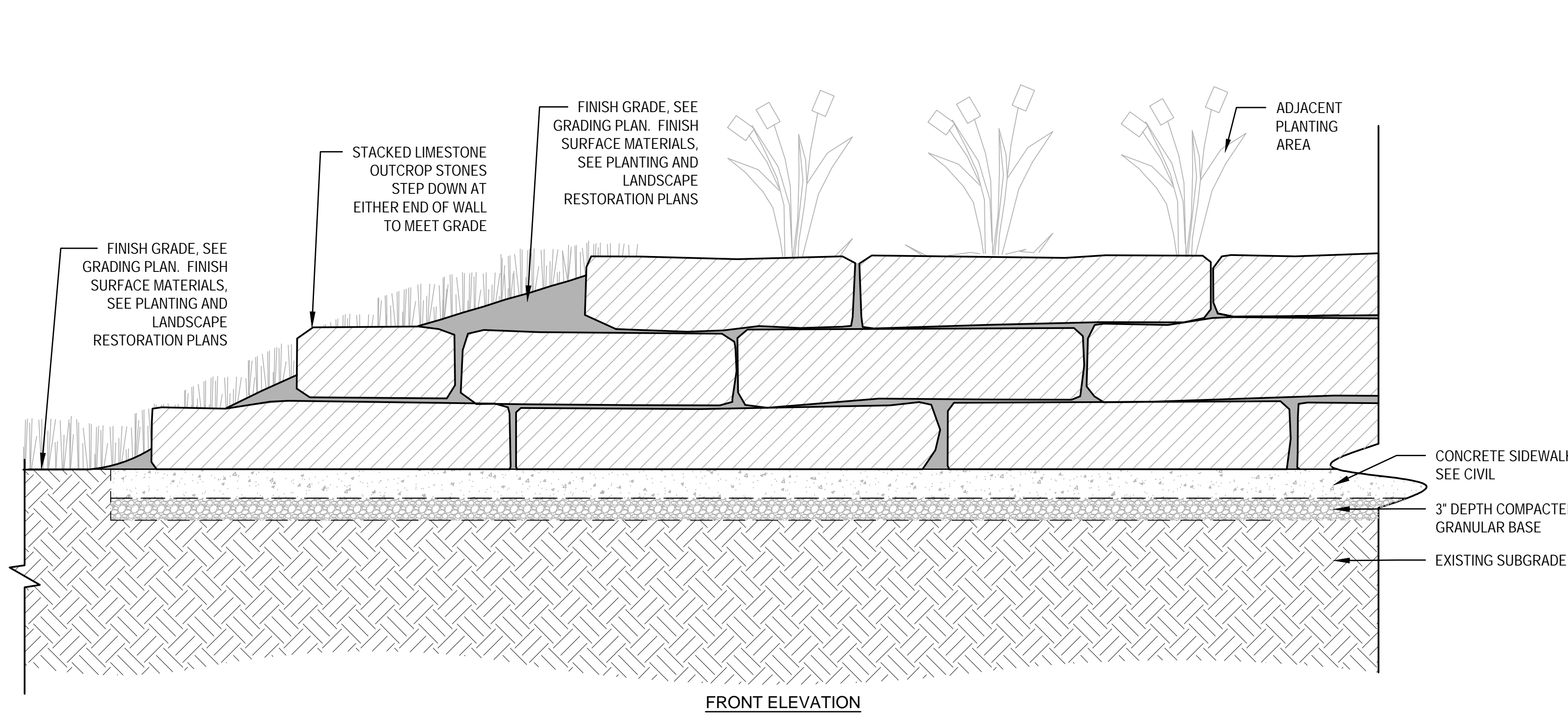
11 STONE MULCH SURFACING AND STONE MULCH MAINTENANCE EDGE
SCALE: NTS



12 PERMEABLE UNIT PAVERS
SCALE: NTS



13 STACKED LIMESTONE OUTCROPPINGS
SCALE: NTS



14 FLAGSTONE STEPPERS
SCALE: NTS

750 University Row
Madison, WI 53705

DATE	DESCRIPTION
07/17/2024	SITE LIGHTING

3

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

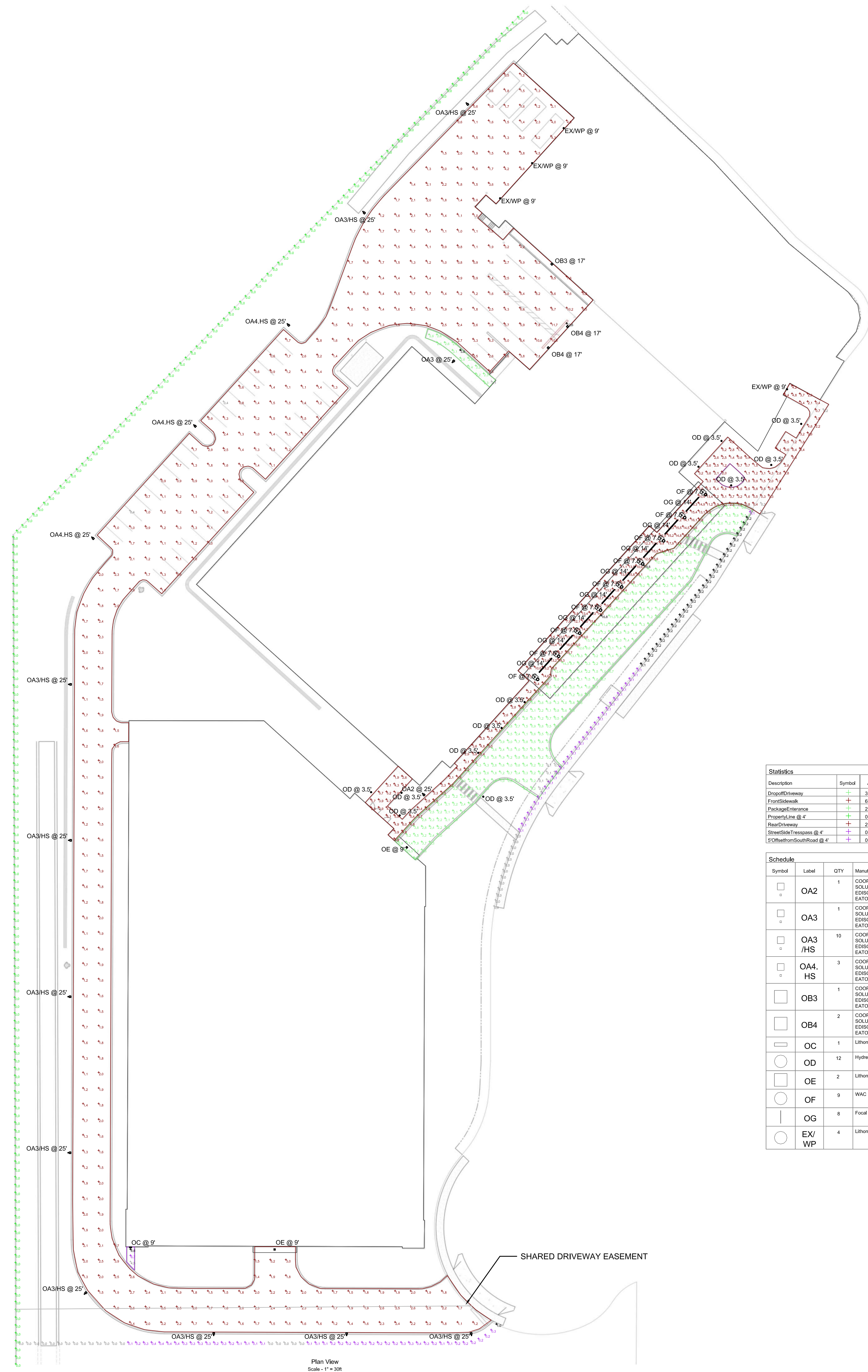
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER	RB
PROJECT NUMBER	422291













SHEET TITLE

EL100

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drop/DnEntry	+	3.3 fc	16.8 fc	0.1 fc	168.0 i	33.0 i
FrontSideMax	+	6.6 fc	19.8 fc	0.2 fc	99.0 i	34.0 i
Package/Entrance	+	2.6 fc	3.6 fc	2.1 fc	1.7 i	1.2 i
PropertyLine @ 4'	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Rear/DnEntry	+	2.1 fc	12.6 fc	0.4 fc	31.5 i	5.3 i
StreetSide/Entrance @ 4'	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
550ftOff/onSouth/Road @ 4'	+	0.2 fc	1.0 fc	0.0 fc	N/A	N/A

Schedule	Label	QTY	Manufacturer	Catalog	Description	Lamp Output (lm)	Input Power (W)
	OA02	1	COOPER LIGHTING SOLUTIONS (INGRAVER FORMERLY EATON)	TLM-E06-LED-E11-70-8000	TALON MEDIUM LED LINE LUMINAIRE (8) LIGHTBARS WITH AQUELED OPTICS - TYPE 2	123	150.5
	OA03	1	COOPER LIGHTING SOLUTIONS (INGRAVER FORMERLY EATON)	TLM-E06-LED-E11-80-8000	TALON MEDIUM LED LINE LUMINAIRE (8) LIGHTBARS WITH AQUELED OPTICS - TYPE 3 3W SPILL LIGHT CONTROL	122	150
	OA3 /HS	10	COOPER LIGHTING SOLUTIONS (INGRAVER FORMERLY EATON)	TLM-E06-LED-E11-80-8000	TALON MEDIUM LED LINE LUMINAIRE (8) LIGHTBARS WITH AQUELED OPTICS - TYPE 3W SPILL LIGHT CONTROL AND HOUSE SIDE SHELD	70	150.5
	OA4, HS	3	COOPER LIGHTING SOLUTIONS (INGRAVER FORMERLY EATON)	TLM-E06-LED-E11-80-4-HES-8000	TALON MEDIUM LED LINE LUMINAIRE (8) LIGHTBARS WITH AQUELED OPTICS - TYPE 8W SPILL LIGHT CONTROL AND HOUSE SIDE SHELD	82	150.5
	OB03	1	COOPER LIGHTING SOLUTIONS (INGRAVER FORMERLY EATON)	TLM-E06-LED-E11-80-8000	TALON MEDIUM LED LINE LUMINAIRE (8) LIGHTBARS WITH AQUELED OPTICS - TYPE 3W SPILL LIGHT CONTROL	122	150.5
	OB04	2	COOPER LIGHTING SOLUTIONS (INGRAVER FORMERLY EATON)	TLM-E06-LED-E11-80-4-HES-8000	TALON MEDIUM LED LINE LUMINAIRE (8) LIGHTBARS WITH AQUELED OPTICS - TYPE 4 W SPILL LIGHT CONTROL	119	150.5
	OC	1	Lithonia Lighting	WPX1 LED P2 40K WALK	WPX1 LED walkway 300mm 4000K color warm 22-27° beam	2913	24.32
	OD	12	Hyflex	3100 RC008 90° SYM 3000	IP54 X 3W LED BOLLARD DIFFUSED LENS	1004	63.79
	OE	2	WAC Lighting	CNY LED 9X1 50K 90LM	CNY LED Linear P4x100mm	4686	35
	OF	9	WAC Lighting	W5W-Y1122	LED 1x4 "mini"	1200	18.692
	OG	8	Focus Plant, LLC	FSM4ML-F1-1000-F-360-3-CAVON-H-ET	See 4 LED Wacolora Drywall/Tile/Seamless Ceiling	3998	96.0001
	EX/ WP	4	Lithonia Lighting	OLW-31	Outdoor LED Walkway with Type 4 optics	3073	48.2

[illegible]

TECHNICAL DRAWING

FRONT VIEW: Shows a hemispherical luminaire with a diameter of $\phi 16.14" (\phi 410mm)$. A dimension line indicates a height of $100mm$ from the base to the top of the hemisphere.

SIDE VIEW: Shows the luminaire's profile with a total width of $23.14" (588mm)$. The mounting arm has a length of $40" (1016mm)$. The luminaire body has a height of $100mm$. A hatched area indicates the internal LED array.

CERTIFICATION DATA

- ULCUL Listed
- UL9711 E880 Compliant
- PH I E26/E27
- 30° Beam Angle
- UL E1601

ENERGY DATA

- Dimmable LED Driver
- >10 Power Factor
- CEC Title 24 Energy Efficient Calculation
- 20.27W/ft² @ 8' SPL, 100/200/300 FC
- 6000K Color Temperature
- 40°C Ambient Temperature Rating

DPA

- Minimum Projected Area (Sq. Ft.)
- 1.1 Sq. Ft. / lum.

SHIPPING DATA

- Approximate Net Weight
- 4.5 lbs. (2.045 kg)

TUN TAO MEDICAL

POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBARS)

Number of LightBards		EWS		EWS		EWS		EWS	
		20W	30W	40W	50W	60W	70W	80W	90W
		Total Watt Output							
Power (W)		400	600	800	1000	1200	1400	1600	1800
Current (12V DC)		3.33	5.00	6.67	8.33	10.00	11.67	13.33	15.00
Current (24V DC)		1.67	2.50	3.33	4.17	5.00	5.83	6.67	7.50
Current (36V DC)		0.89	1.39	1.85	2.31	2.78	3.25	3.70	4.17
Current (48V DC)		0.56	0.83	1.11	1.39	1.67	1.94	2.22	2.50
Current (60V DC)		0.33	0.50	0.67	0.83	1.00	1.17	1.33	1.50
Current (72V DC)		0.28	0.42	0.56	0.70	0.83	0.97	1.11	1.25
Current (84V DC)		0.24	0.36	0.48	0.60	0.71	0.83	0.97	1.09
Current (96V DC)		0.21	0.31	0.41	0.52	0.63	0.74	0.83	0.94
Current (108V DC)		0.19	0.28	0.37	0.46	0.56	0.65	0.74	0.83
Current (120V DC)		0.17	0.25	0.33	0.42	0.50	0.58	0.67	0.75
Current (132V DC)		0.15	0.23	0.30	0.38	0.46	0.54	0.62	0.70
Current (144V DC)		0.14	0.21	0.28	0.35	0.42	0.50	0.58	0.66
Current (156V DC)		0.13	0.19	0.26	0.33	0.39	0.46	0.53	0.60
Current (168V DC)		0.12	0.18	0.24	0.30	0.36	0.42	0.48	0.54
Current (180V DC)		0.11	0.17	0.22	0.28	0.33	0.39	0.44	0.50
Current (192V DC)		0.10	0.16	0.21	0.26	0.31	0.36	0.41	0.46
Current (204V DC)		0.09	0.15	0.20	0.25	0.30	0.35	0.40	0.45
Current (216V DC)		0.09	0.14	0.19	0.24	0.29	0.34	0.39	0.44
Current (228V DC)		0.08	0.13	0.18	0.23	0.28	0.33	0.38	0.43
Current (240V DC)		0.08	0.12	0.17	0.22	0.27	0.32	0.37	0.42
Current (252V DC)		0.07	0.11	0.16	0.21	0.26	0.31	0.36	0.41
Current (264V DC)		0.07	0.11	0.15	0.20	0.25	0.30	0.35	0.40
Current (276V DC)		0.06	0.10	0.14	0.19	0.24	0.29	0.34	0.39
Current (288V DC)		0.06	0.10	0.14	0.18	0.23	0.28	0.33	0.38
Current (300V DC)		0.06	0.09	0.13	0.17	0.22	0.27	0.32	0.37
Current (312V DC)		0.06	0.09	0.13	0.17	0.21	0.26	0.31	0.36
Current (324V DC)		0.05	0.08	0.12	0.16	0.20	0.25	0.30	0.35
Current (336V DC)		0.05	0.08	0.12	0.16	0.20	0.24	0.29	0.34
Current (348V DC)		0.05	0.08	0.11	0.15	0.19	0.23	0.28	0.33
Current (360V DC)		0.05	0.07	0.11	0.15	0.19	0.23	0.27	0.32
Current (372V DC)		0.04	0.07	0.10	0.14	0.18	0.22	0.26	0.31
Current (384V DC)		0.04	0.07	0.10	0.14	0.17	0.21	0.25	0.30
Current (396V DC)		0.04	0.06	0.09	0.13	0.17	0.21	0.25	0.30
Current (408V DC)		0.04	0.06	0.09	0.12	0.16	0.20	0.24	0.29
Current (420V DC)		0.03	0.05	0.08	0.11	0.15	0.19	0.23	0.27
Current (432V DC)		0.03	0.05	0.08	0.11	0.14	0.18	0.22	0.26
Current (444V DC)		0.03	0.04	0.07	0.10	0.13	0.17	0.21	0.25
Current (456V DC)		0.03	0.04	0.07	0.10	0.13	0.16	0.20	0.24
Current (468V DC)		0.03	0.04	0.06	0.09	0.12	0.16	0.20	0.24
Current (480V DC)		0.02	0.03	0.06	0.09	0.12	0.15	0.19	0.23
Current (492V DC)		0.02	0.03	0.05	0.08	0.11	0.14	0.18	0.22
Current (504V DC)		0.02	0.03	0.05	0.08	0.11	0.14	0.17	0.21
Current (516V DC)		0.02	0.03	0.05	0.07	0.10	0.13	0.17	0.21
Current (528V DC)		0.02	0.03	0.04	0.07	0.10	0.13	0.16	0.20
Current (540V DC)		0.02	0.03	0.04	0.06	0.09	0.12	0.15	0.19
Current (552V DC)		0.02	0.02	0.04	0.06	0.08	0.11	0.14	0.18
Current (564V DC)		0.02	0.02	0.04	0.06	0.08	0.11	0.14	0.17
Current (576V DC)		0.02	0.02	0.03	0.05	0.07	0.10	0.13	0.17
Current (588V DC)		0.02	0.02	0.03	0.05	0.07	0.10	0.13	0.16
Current (600V DC)		0.02	0.02	0.03	0.04	0.06	0.09	0.12	0.16
Current (612V DC)		0.02	0.02	0.03	0.04	0.06	0.08	0.11	0.15
Current (624V DC)		0.02	0.02	0.03	0.04	0.05	0.08	0.11	0.14
Current (636V DC)		0.02	0.02	0.03	0.04	0.05	0.07	0.10	0.14
Current (648V DC)		0.02	0.02	0.03	0.04	0.05	0.07	0.10	0.13
Current (660V DC)		0.02	0.02	0.03	0.04	0.05	0.07	0.10	0.13
Current (672V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.09	0.12
Current (684V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.09	0.12
Current (696V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (708V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (720V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (732V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (744V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (756V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (768V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (780V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (792V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (804V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (816V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (828V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (840V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (852V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (864V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (876V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (888V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (900V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (912V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (924V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (936V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (948V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (960V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (972V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (984V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (996V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1008V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1020V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1032V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1044V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1056V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1068V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1080V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1092V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1104V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1116V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1128V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1140V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1152V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1164V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1176V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1188V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1200V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1212V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1224V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1236V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1248V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1260V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1272V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1284V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1296V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1308V DC)		0.02	0.02	0.03	0.04	0.05	0.06	0.08	0.11
Current (1320V DC)		0.02	0.02						

LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours	50,000 Hours	60,000 Hours	100,000 Hours	Theoretical (70 Proof)
20°C	> 90%	> 97%	> 98%	> 99%	> 95.00%
40°C	> 96%	> 97%	> 98%	> 98%	> 95.00%
50°C	> 97%	> 98%	> 98%	> 99%	> 95.00%

For Each One Year

Ambient Temperature	Lumen Multiplier
20°C	1.00
40°C	1.01
50°C	1.00
60°C	0.99

COOPER Lighting Solutions TD5000-10EN
May 22, 2024 6:34 PM

[illegible][illegible]

COOPER Lighting Solutions
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.cooperlighting.com

Specifications and
dimensions subject to
change without notice.

TD500010EN
May 22, 2024 6:34 PM

[illegible][illegible]

POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBARS)								T.M. DATA (MODELED)	
Number of Lightbars		E10	E20	E30	E40	E60	E80	LEDs	
Beam Spread		90° x 180° Beam Spread							
Power (Watts)	20W	320W	720W	970W	1270W	1270W	1270W	1270W	
Power @ 100% LED	0.22	0.34	0.63	0.82	1.07	1.07	1.07	1.06	
Power @ 50% LED	0.11	0.17	0.32	0.41	0.54	0.54	0.54	0.53	
Power @ 25% LED	0.06	0.09	0.16	0.21	0.27	0.27	0.27	0.27	
Power @ 10% LED	0.02	0.03	0.06	0.08	0.11	0.11	0.11	0.11	
Power @ 5% LED	0.01	0.02	0.03	0.04	0.05	0.05	0.05	0.05	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
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Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
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Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10% LED	0.00	0.01	0.02	0.03	0.04	0.04	0.04	0.04	
Power @ 5% LED	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	
Power @ 100% LED	0.06	0.15	0.30	0.40	0.51	0.51	0.51	0.51	
Power @ 50% LED	0.03	0.08	0.15	0.20	0.26	0.26	0.26	0.26	
Power @ 25% LED	0.01	0.04	0.08	0.10	0.13	0.13	0.13	0.13	
Power @ 10									

LUMEN MAINTENANCE

Ambient Temperature	15,000 Hours	50,000 Hours	100,000 Hours	150,000 Hours	Thermal Lifetime (Hours)
0°C	>95%	>95%	>95%	>95%	>450,000
40°C	>94%	>93%	>91%	>89%	>425,000
80°C	>87%	>85%	>82%	>80%	>400,000

*For ECU, 100k hrs min

LUMEN MILE/TPR

Ambient Temperature	Lumen Mile/TPR
10°C	1.01
40°C	1.01
80°C	1.00
120°C	0.99

Lumen Maintenance (%)

Hours (Thousands)

0°C 40°C 80°C 120°C

COOPE Lighting Solutions TDS00010EN
May 22, 2024 6:04 PM

[illegible][illegible]

Cooper Lighting Solutions
 1121 Highway 74 South
 Peachtree City, GA 30089
 P: 770-480-4800
www.cooperlighting.com

Specifications and
 dimensions subject to
 change without notice.

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 May 22, 2024 4:04 PM

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DETAILED DESCRIPTION:

- Side View (Left):** Shows a hemispherical dome with a diameter of 16-1/4" (414mm). The height from the base to the top of the dome is 10-1/2" (267mm).
- Side View (Right):** Shows a cross-section of the roof profile. The total width is 25-1/8" (640mm). The height from the base to the top of the dome is 10-1/2" (267mm). The profile has a 1/2" (13mm) thick base and a 1/2" (13mm) thick top layer.
- End View (Right):** Shows a cross-section of the roof profile. The total width is 25-1/8" (640mm). The height from the base to the top of the dome is 10-1/2" (267mm). The profile has a 1/2" (13mm) thick base and a 1/2" (13mm) thick top layer.

NEW AND LUMENS BY BAR COUNT (21 LED LIGHTBAR)								TIA TECH. INC. (USA)
Number of LightBARS		601	602	603	604	605	606	607
1000 Lumens					1000 Watts			
1	Power (Watts)	25W	50W	75W	87W	100W	120W	150W
2	Current @ 100V AC	0.22	0.44	0.65	0.80	0.95	1.07	1.25
3	Current @ 127V AC	0.18	0.36	0.54	0.65	0.76	0.86	1.00
4	Power (Watts)	15W	30W	45W	60W	80W	100W	120W
5	Current @ 100V AC	0.14	0.28	0.42	0.56	0.75	0.93	1.10
6	Current @ 127V AC	0.10	0.19	0.29	0.38	0.52	0.65	0.78
7	Current @ 400V AC	0.06	0.15	0.25	0.32	0.42	0.50	0.60
8	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
9	Power (Watts)	30W	60W	90W	112.5W	125W	150W	180W
10	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
11	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
12	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
13	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
14	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
15	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
16	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
17	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
18	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
19	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
20	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
21	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
22	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
23	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
24	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
25	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
26	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
27	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
28	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
29	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
30	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
31	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
32	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
33	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
34	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
35	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
36	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
37	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
38	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
39	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
40	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
41	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
42	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
43	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
44	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
45	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
46	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
47	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
48	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
49	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
50	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
51	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
52	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
53	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
54	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
55	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
56	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
57	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
58	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
59	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
60	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
61	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
62	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
63	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
64	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
65	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
66	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
67	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
68	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
69	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
70	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
71	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
72	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
73	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
74	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
75	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
76	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
77	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
78	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
79	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
80	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
81	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
82	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
83	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
84	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
85	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
86	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
87	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
88	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
89	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
90	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
91	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
92	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
93	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
94	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
95	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
96	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
97	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
98	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000
99	Power (Watts)	3,000	6,000	9,000	11,250	12,500	15,000	18,000
100	Lumens	3,000	6,000	9,000	11,250	12,500	15,000	18,000

MINIMUM MAINTENANCE

Ambient Temperature	24,000 lumens	30,000 lumens	36,000 lumens	40,000 lumens	Theoretical L70 (hours)	Ambient Temperature	Lumen Multiplier
80°C	> 90%	> 90%	> 90%	> 90%	> 400,000	10°C	1.00
40°C	> 90%	> 90%	> 90%	> 90%	> 445,000	15°C	1.61
0°C	> 85%	> 95%	> 95%	> 95%	> 490,000	20°C	1.59
						40°C	0.92
						50°C	0.86

COOPER Lighting Solutions TD500010EN
May 22, 2024 6:34 PM

[illegible][illegible]

 Cooper Lighting Solutions
 1121 Highway 74 South
 Peachtree City, GA 30259
 P: 770-486-6000
www.cooperlighting.com

Specifications and
 dimensions subject to
 change without notice.

TD500010EN
 May 22, 2024 6:34 PM

DESCRIPTION		McGraw-Hill Edison	
<p>Improving motion control LED lighting technology, the Talm Lumeo™ is the first LED lighting fixture to combine the benefits of LED lighting technology with the benefits of motion control technology. The Talm Lumeo™ is a compact, rugged, and energy-efficient lighting fixture that is designed for use in a wide range of applications, including industrial, commercial, and residential. The Talm Lumeo™ is a compact, rugged, and energy-efficient lighting fixture that is designed for use in a wide range of applications, including industrial, commercial, and residential.</p>		<p>Coloring # TLM-056-012-014-RGBW-0204-010</p> <p>Project DIGESTIVE HEALTH CENTER</p> <p>Comments</p> <p>Approved by</p>	
<p>SPECIFICATION FEATURES</p> <p>Construction</p> <p>Die-cast aluminum body, die-cast aluminum construction with integral aluminum housing. The Talm Lumeo™ is a compact, rugged, and energy-efficient lighting fixture that is designed for use in a wide range of applications, including industrial, commercial, and residential.</p> <p>Optics</p> <p>Die-cast aluminum body, die-cast aluminum construction with integral aluminum housing. The Talm Lumeo™ is a compact, rugged, and energy-efficient lighting fixture that is designed for use in a wide range of applications, including industrial, commercial, and residential.</p>		<p>TM LUM MEDIUM LED</p> <p>LED</p> <p>1 - 6 Light/6Watt</p> <p>Solid State LED</p> <p>ARCHITECTURAL AREA LUMINAIRE</p>	

DIMENSIONS

16-16 1/2 (414mm)

200mm

2x 16 (80mm)

200mm

COOFEE 20000

CERTIFICATION DATA

UL94V-0, UL94V-0

100% TUV SUD Compliance

EMC: IEC61010

20-Wattless Patent

ISO 9001

ENERGY DATA

Optimal LED Chip

- 40 Power Factor
- <2% Total Harmonic Distortion
- 120-277VAC 50/60Hz, 347VDC-1000VDC
- 600000hrs
- 40°C Ambient Temperature
- 40°C Ambient Temperature Roaming

EPA

Wattless Projected Area: (Sq. Ft.)

10' x 10' = 100 sq. ft.

SHIPPING DATA

Approximate Net Weight:

21 lbs. (10.000kg)

COOFEE 20000

100000162N

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[illegible]

ENVIRONMENTAL MAINTENANCE

Ambient temperature	25,000 hours	50,000 hours	60,000 hours	100,000 hours	Theoretical LTZ (hours)
10°C	>90%	>95%	>96%	>97%	>99,000
15°C	>90%	>95%	>96%	>97%	>95,000
20°C	>85%	>90%	>91%	>92%	>85,000
25°C	>75%	>80%	>82%	>83%	>60,000

Time To Fail

LUMEN MULTIPLIER

Ambient temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
20°C	1.00
25°C	0.99
30°C	0.98

COOPÉ 2 Lighting Solutions TD5000-10EN May 22, 2024 6:34 PM

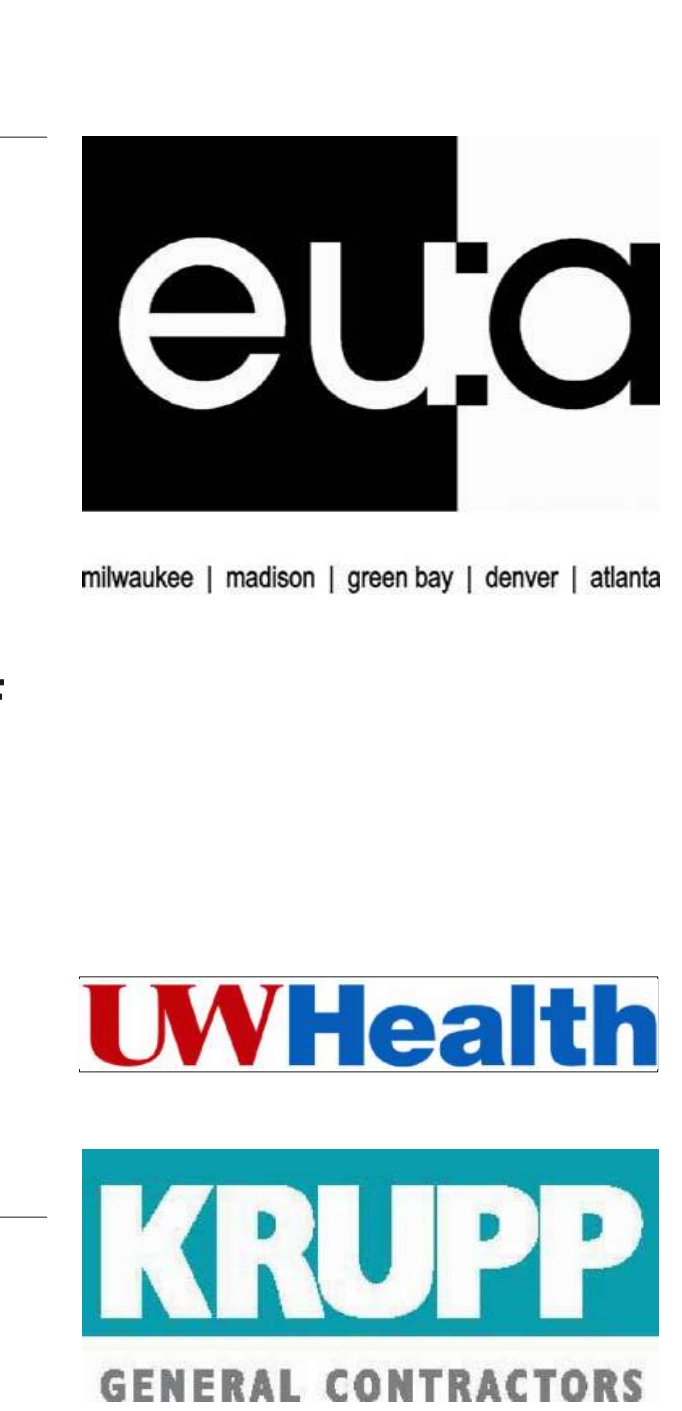
PERFORMANCE INFORMATION				TLM PLATFORM MEDICAL	
See Appendix 1: TLM454-04-01-07506 Part Number: TLM454-04-01-07506					
Power Source	Number of Variables (1)	Logic Test	Voltage	Distribution	Adaptor
12VDC	12	12VDC	12VDC	12VDC	12VDC
5VDC	5	5VDC	5VDC	5VDC	5VDC
24VDC	24	24VDC	24VDC	24VDC	24VDC
12VDC	12	12VDC	12VDC	12VDC	12VDC
5VDC	5	5VDC	5VDC	5VDC	5VDC
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24VDC	24	24VDC	24VDC	24VDC	24VDC
12VDC	12	12VDC	12VDC	12VDC	12VDC
5VDC	5	5VDC	5VDC	5VDC	5VDC

[illegible]

 Cooper Lighting Solutions
 1121 Highway 74 South
 Peachtree City, GA 30209
 P: 770-688-6800
www.cooperlighting.com

Specifications and
 dimensions subject to
 change without notice.

TD500019EN
 May 22, 2024 6:34 PM



PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER

PROJECT NUMBER 42229

SHEET TITLE

EL101

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