

# TIGERS CHILDREN'S HOME - REMODEL

1902 S. STOUGHTON RD. | MADISON, WI 53716

THRIVE  
ARCHITECTS

Architect  
259 South Street, Suite A  
WAUKESHA, WI 53186  
p: 833-380-6180

Project Info. — 24026

Tigers Children's  
Home

Remodel  
1902 S Stoughton Rd  
Madison, WI

Sheet Title

TITLE SHEET AND  
GENERAL NOTES

Drawn by	Checked by
JAJ	JMS

Revisions		
No.	Date	Description
	08.23.2024	Plan Commission

Sheet No.

T1.0

SHEET INDEX

SHEET	DESCRIPTION
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ARCHITECTURAL	
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A2.1	EXTERIOR ELEVATIONS
A6.0	WALL, WINDOW, AND DOOR TYPES

PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR.

PROJECT NOTES

ELECTRICAL NOTES:  
1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.

HVAC NOTES:  
1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.

PLUMBING NOTES:  
1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.

BUILDING CODE SUMMARY

BASED ON THE:

WISCONSIN UNIFORM DWELLING CODE

ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES.

AREA OF ALTERATION:

TOTAL AREA OF ALTERATION: ### S.F.

GENERAL NOTES

1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.

2. ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS. SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.

3. GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.

4. SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.

5. MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.

6. ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.

7. THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.

8. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW, IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.

9. ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

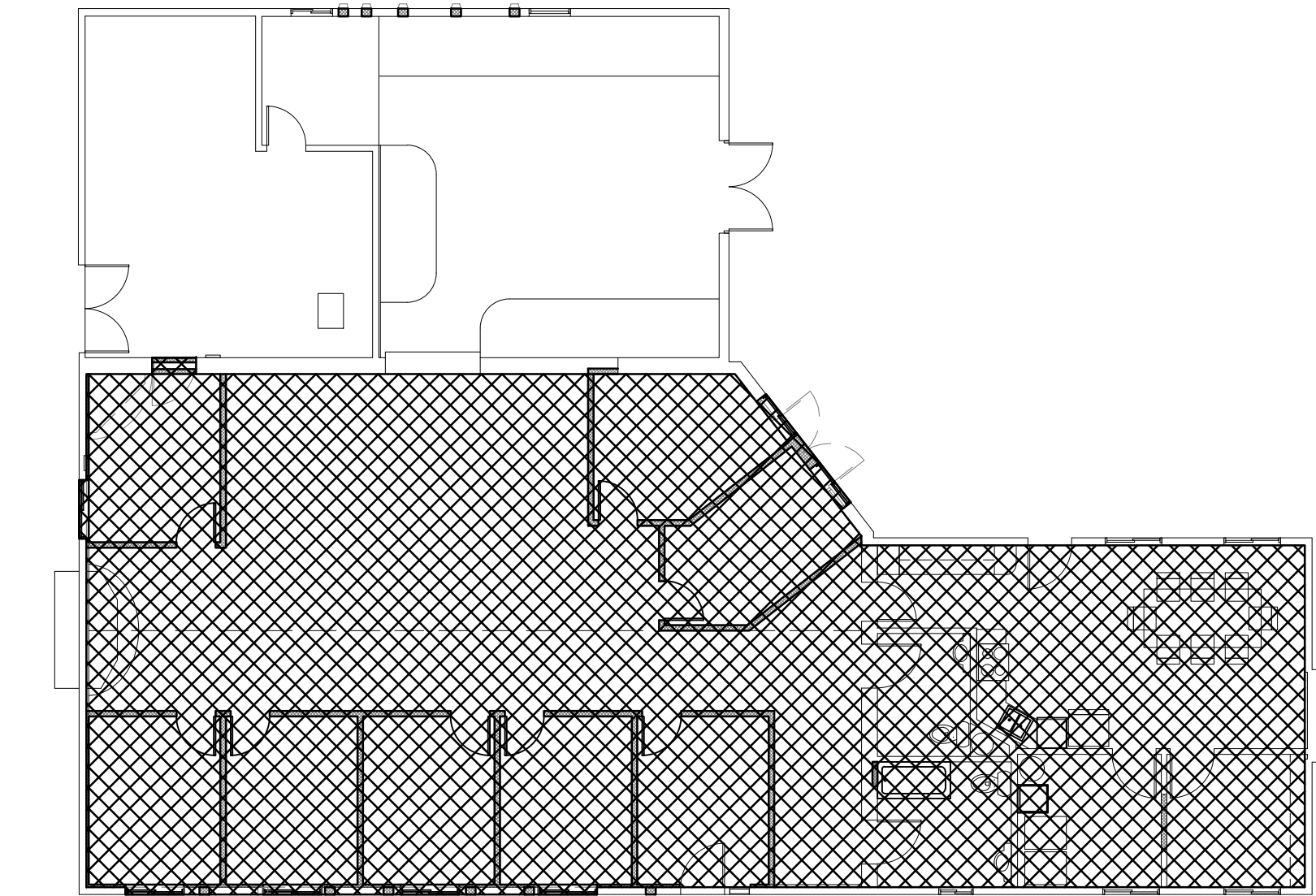
PROJECT CONTACT INFO

OWNER:  
OWNER NAME  
OWNER ADDRESS  
CITY, WI #####  
P: ###-###-####

ARCHITECT:  
THRIVE ARCHITECTS  
259 SOUTH STREET, SUITE A  
WAUKESHA, WI 53186  
P: 833-380-6180  
PROJECT MANAGER: JEFF STOWE

CONTRACTOR:  
CONTRACTOR NAME  
CONTRACTOR ADDRESS  
CITY, WI #####  
P: ###-###-####

ATTN: JEREMY BARTLETT,  
ARCHITECT OF RECORD



AREA OF WORK

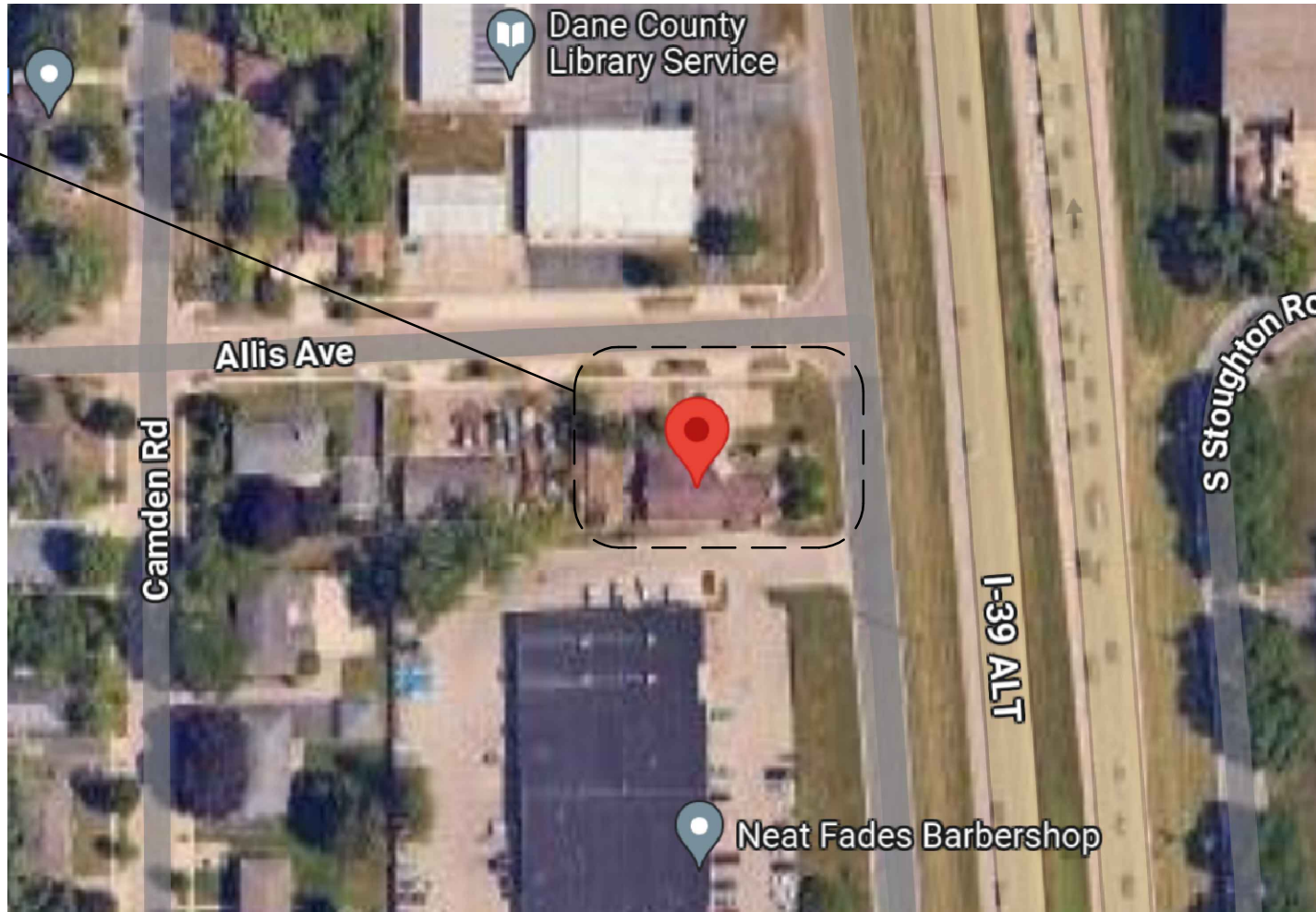
FIRST FLOOR KEY PLAN

SCALE: N.T.S.

2



SITE



VICINITY MAP

SCALE: N.T.S.

1



TYPICAL ABBREVIATIONS

ABV: Above  
ACOUS: Acoustical  
ADDL: Additional  
ADH: Adhesive  
ADJ: Adjustable  
AFF: Above Finish Floor  
AGG: Aggregate  
AHL: Authority Having Jurisdiction  
A/C: Air Conditioning  
ALT: Alternate  
ALUM: Aluminum  
ANC: Anchor, Anchorage  
AB: Anchor Bolt  
ANOD: Anodized  
APX: Approximate  
APT: Apartment  
ARCH: Architect  
(architectural)  
ASPH: Asphalt  
AUTO: Automatic  
AVE: Avenue  
AVR: Average  
AWN: Awning  
BSMT: Basement  
BM: Beam  
BVL: Beveled  
BITUM: Bituminous  
BLK: Block  
BLKG: Blocking  
BLW: Below  
BLVD: Boulevard  
BTW: Between  
BD: Bottom  
BOT: Bottom  
BLDG: Building  
BUR: Built Up Roofing

B/O: By Others  
BO: Bottom Of  
BR: Bedroom  
CAB: Cabinet  
CALC: Calculation  
CD: Cabinet Door  
CG: Corner Guard  
CIP: Cast-In-Place  
(Concrete)  
CL: Centerline  
CO: Clean Out  
CONTR: Contract (or)  
AB: Anchor Bolt  
ANOD: Anodized  
CRPT: Carpet  
CIP: Cast-In-Place  
CLK: Caulking  
CAS: Casement  
CB: Catch Basin  
CLG: Ceiling  
CT: Ceramic Tile  
CIR: Circle  
CLR: Clear  
COL: Column  
CONC: Concrete  
CMU: Concrete Masonry Unit  
CONSTR: CONstruction  
CONT: Continuous  
CJT: Control Joint  
CORR: Corrugated  
CUFT: Cubic Foot  
CYD: Cubic Yard  
DPL: Dampproofing  
DTL: Detail  
DIA: Diameter  
DIM: Dimension

DW: Dishwasher  
DIV: Division  
DR: Door  
DH: Double Hung  
DS: Downspout  
DRWR: Drawer  
DT: Drain Tile  
DWG: Drawing  
D: Nail Size  
EW: Each Way  
E: East  
EL: Elevation  
ELEV: Elevation  
EQP: Equipment  
EXCAV: Excavate  
EXH: Exhaust  
EXIST: Existing  
EXT: Exterior  
FOC: Face of Concrete  
FOF: Face of Finish  
FOM: Face of Masonry  
FOS: Face of Stone  
FOW: Face of Wall  
FBD: Fiberboard  
FCB: Fiber Cement Board  
FGL: Fiberglass  
CJT: Control Joint  
CORR: Corrugated  
FA: Fire Alarm  
FE: Fire Extinguisher  
FPL: Fireplace  
FLSH: Flashing  
FLR: Floor  
FLOR: Fluorescent  
FT: Foot, Feet

FTG: Footing  
FND: Foundation  
FRM: Fram(ed), (ing)  
FBD: Furnished by Others  
FUR: Furred  
GA: Gage, Gauge  
GAL: Gallon  
GL: Glass, Glazing  
GI: Galvanized Iron  
GLBK: Glass Block  
GLB: Glue Laminated Beam  
GT: Grout  
GRD: Grade, Grading  
GWB: Gypsum Wall Board  
HWD: Hardware  
HDR: Header  
HTG: Heating  
HVAC: Heating, Ventilation-Air Conditioning  
HT: Height  
HC: Hollow Core  
HOR: Horizontal  
HB: Hose Bib  
IN: Inch  
INCL: Include  
ID: Inside Diameter  
INS: Insulate  
INT: Interior  
INV: Invert  
JNT: Joint  
JST: Joist  
KD: Kiln Dried  
KIT: Kitchen

LB: Pound  
LAM: Laminat(ed)  
LAV: Lavatory  
LH: Left Hand  
L: Length  
LOA: Length Overall  
LT: Light  
LF: Lineal Feet  
LL: Live Load  
LV: Laminated Veneer Lumber  
LVR: Louver  
MFR: Manufacturer  
MO: Masonry Opening  
MAX: Maximum  
MAS: Masonry  
MECH: Mechanic(al)  
MC: Medicine Cabinet  
MED: Medium  
MDF: Medium Density Fiberboard  
MDR: Medium Density Overlay  
MBR: Member  
MBM: Membrane  
MTL: Metal  
MWK: Millwork  
MNF: Minimum  
MR: Mirror  
MSC: Miscellaneous  
MOD: Module  
MLD: Moulding  
MLB: Micro Laminated Beam  
NOM: Nominal  
N: North  
NIC: Not in Contract  
NTS: Not To Scale

NO, #: Number  
O: Non-Operable Window  
Section  
OBS: Obscure  
OC: On Center  
OP: Opaque  
OPG: Opening  
OSB: Orientated Strand Board  
OD: Outside Diameter  
PMT: Paint(ed)  
PDB: Particle Board  
PRT: partition  
PVM: Pavement  
PERF: Perforat(ed)  
PLAS: Plaster  
PLAM: Plastic Laminat  
PLT: Plate  
PLYWD: Plywood  
PCC: Precast Concrete  
PCF: Pounds Per Cubic Foot  
PLF: Pounds Per Linear Foot  
PSF: Pounds Per Square Foot  
PSI: Pounds Per Square Inch  
PBF: Prefabricated  
PRF: Preframed  
PT: Pressure Treated  
PL: Property Line  
PH: Toilet Paper Hanger  
QTY: Quantity  
QT: Quarry Tile  
RAD: Radius  
REF: Reference  
RFL: Reflect(ed),(ive),(or)

REFR: Ref  
REG: Register  
RE: Reinforced  
REQD: Required  
RA: Return Air  
REV: Revision  
R: Rise  
RD: Rod  
R&S: Rod and Shelf  
RFR: Roofing  
RM: Room  
RO: Rough Opening  
SCH: Schedule  
SCN: Screen  
SECT: Section  
SGD: Sliding Glass Door  
SHH: Sheathing  
SHF: Shelf  
SH: Shelf, Shelving  
SM: Similar  
SKL: Skylight  
S: South  
SLD: Slider(ing)  
SPEC: Specification  
SQ: Square  
STD: Standard  
PT: Pressure Treated  
STL: Steel  
STR: Structural  
SA: Supply Air  
SC: Solid Core  
SW: Shear Wall  
SS: Stainless Steel  
SYS: System  
TEL: Telephone

TEMP: Tempered  
TK: Tight Knot  
TAG: Tongue and Groove  
T/O: Top of  
TOC: Top of Concrete  
TOW: Top of Wall  
TR: Rise  
T: Tread  
TS: Tubular Steel  
TYP: Typical  
UL: Underwriters Laboratory  
UNF: Unfinished  
UNO: Unless Noted Otherwise  
VB: Vapor Barrier  
VAR: Varnish  
VIF: Verify in Field  
VRN: Veneer  
VERT: Vertical  
VG: Vertical Grain  
VIN: Vinyl Sheet  
WL: Wall  
WC: Water Closet  
WH: Water Heater  
WP: Water Proofing  
WR: Weather Resistant  
WRB: Weather Resistive Barrier  
WWF: Welded Wire Fabric  
WWM: Welded Wire Mesh  
W: West  
W/W: Window  
W/O: Without  
W/: With  
WG: Wood

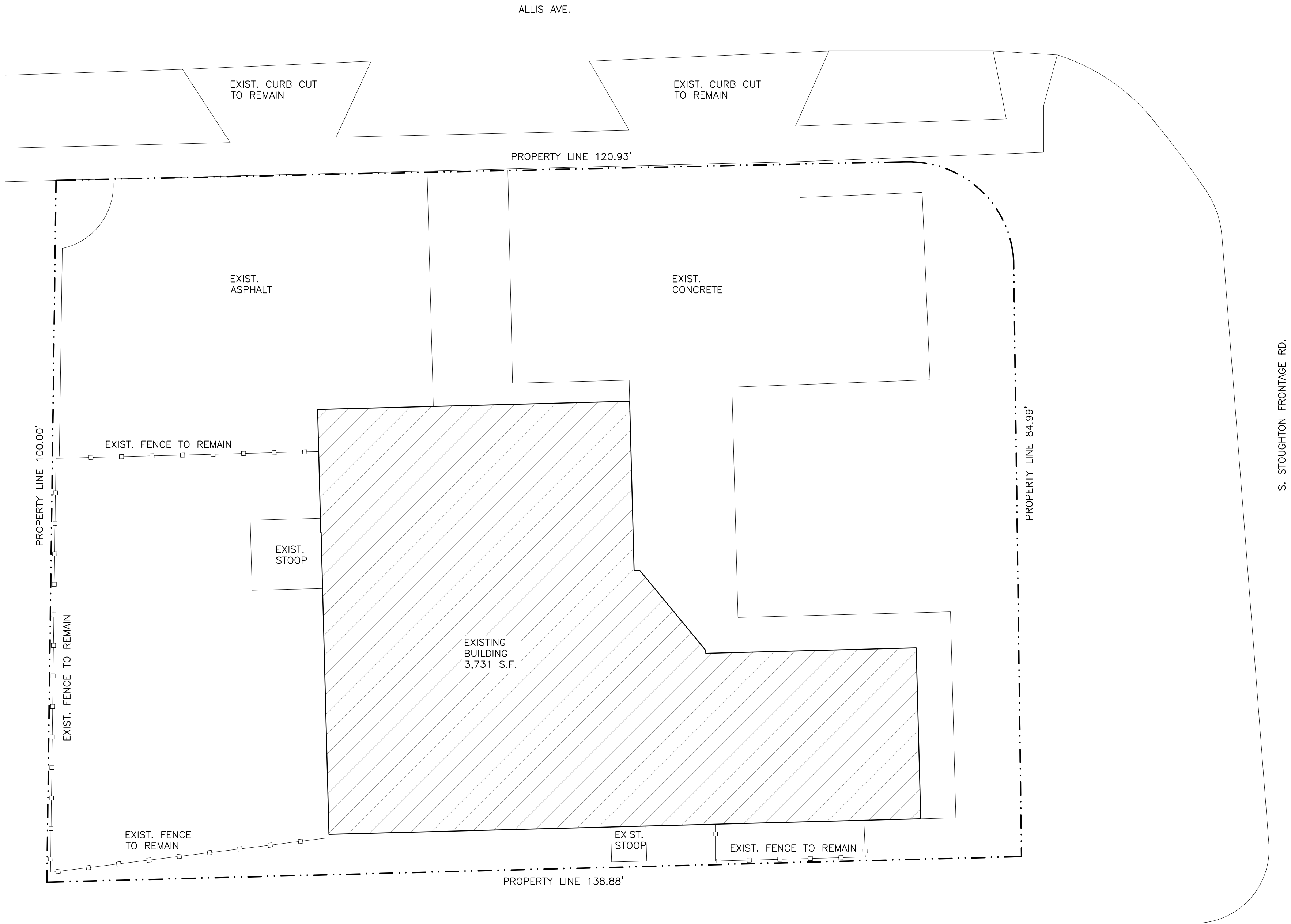
X: Operable Window Section

2024-08-23 PLAN COMMISSION



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JAJ	JMS

Revisions		
No.	Date	Description
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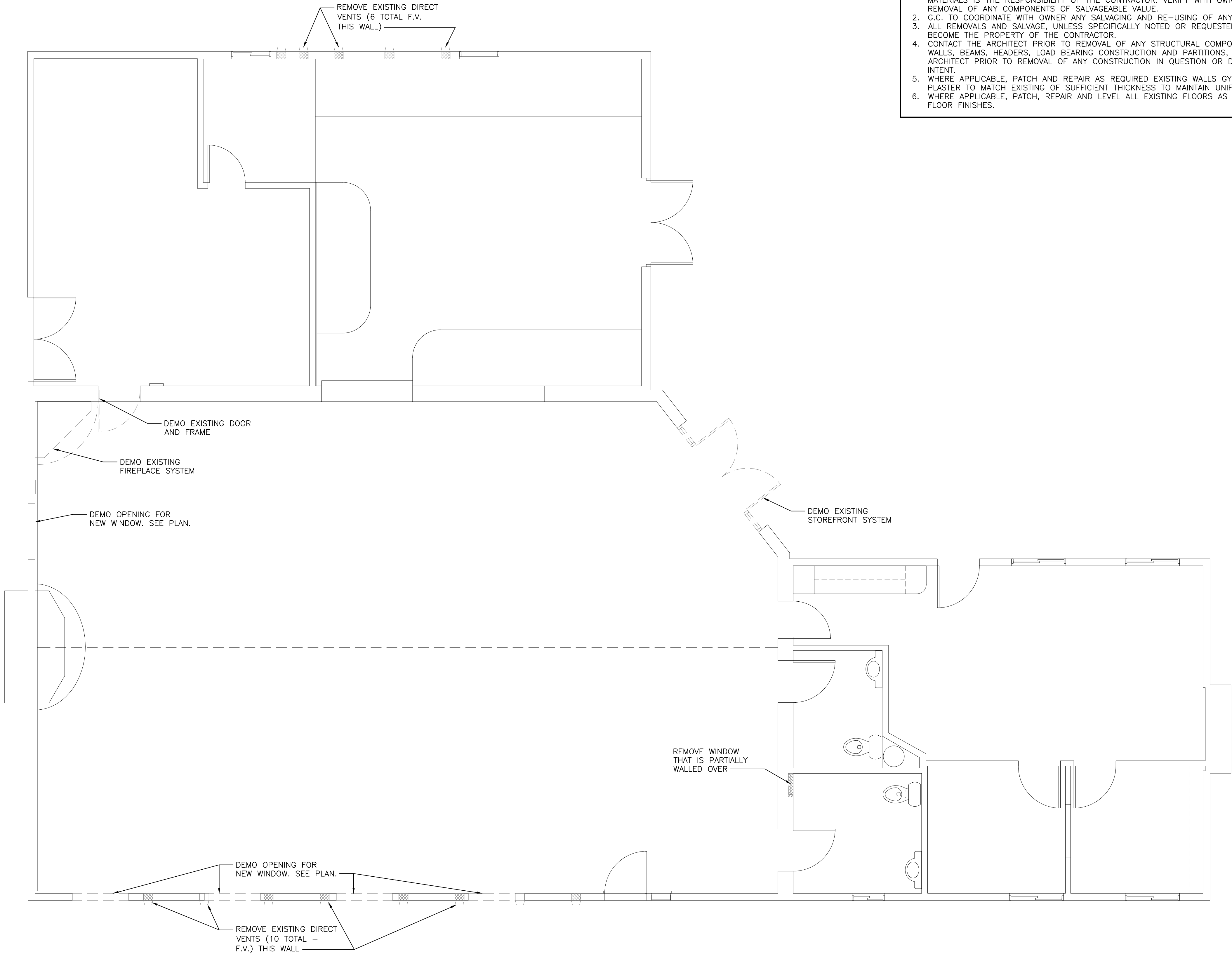
SITE PLAN

SCALE: 1"=10'-0" (22x34)

1



2024-08-23 PLAN COMMISSION



GENERAL DEMOLITION NOTES

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHALL BE INCLUDED AND VERIFIED WITH ARCHITECT IF NOT SPECIFIED ON DRAWINGS. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. G.C. TO COORDINATE WITH OWNER ANY SALVAGING AND RE-USING OF ANY REMOVALS.
3. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
4. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, LOAD BEARING CONSTRUCTION AND PARTITIONS, ETC. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT.
5. WHERE APPLICABLE, PATCH AND REPAIR AS REQUIRED EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS.
6. WHERE APPLICABLE, PATCH, REPAIR AND LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.



Architect

259 South Street, Suite A  
WAUKESHA, WI 53186  
p: 833-380-6180

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Madison, WI

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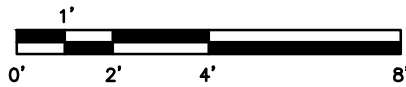
DEMOLITION PLAN

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D1.0



DEMOLITION PLAN

SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

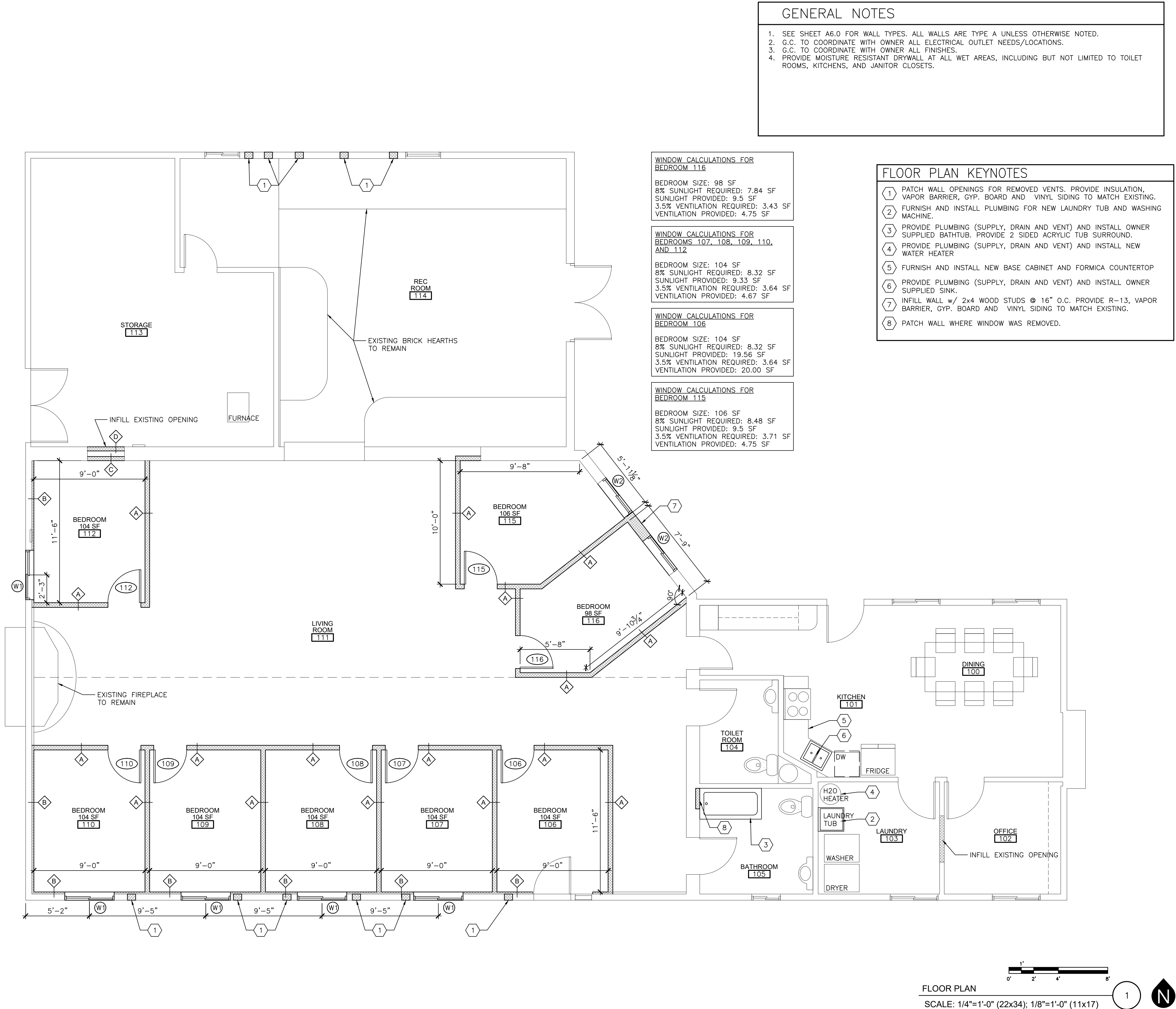
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FLOOR PLAN

SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

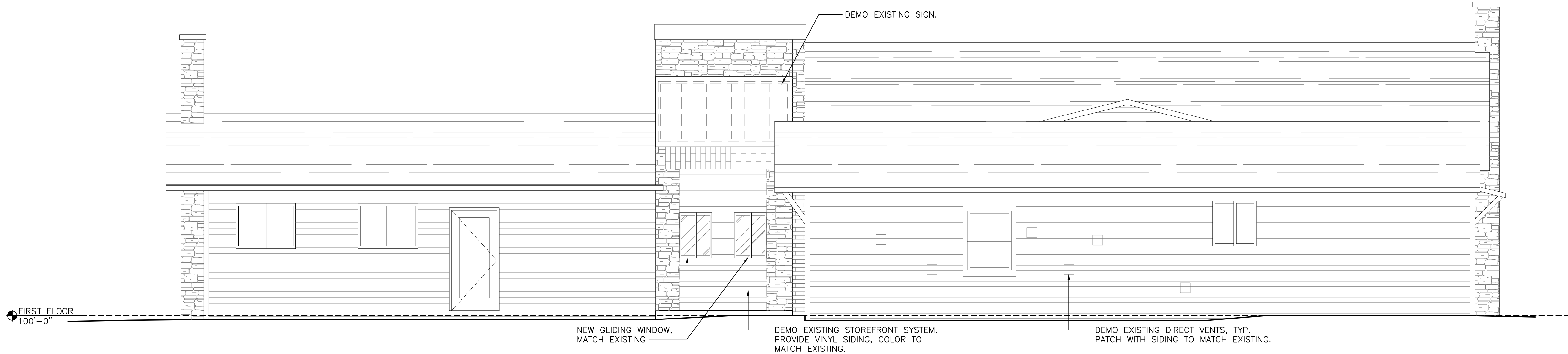
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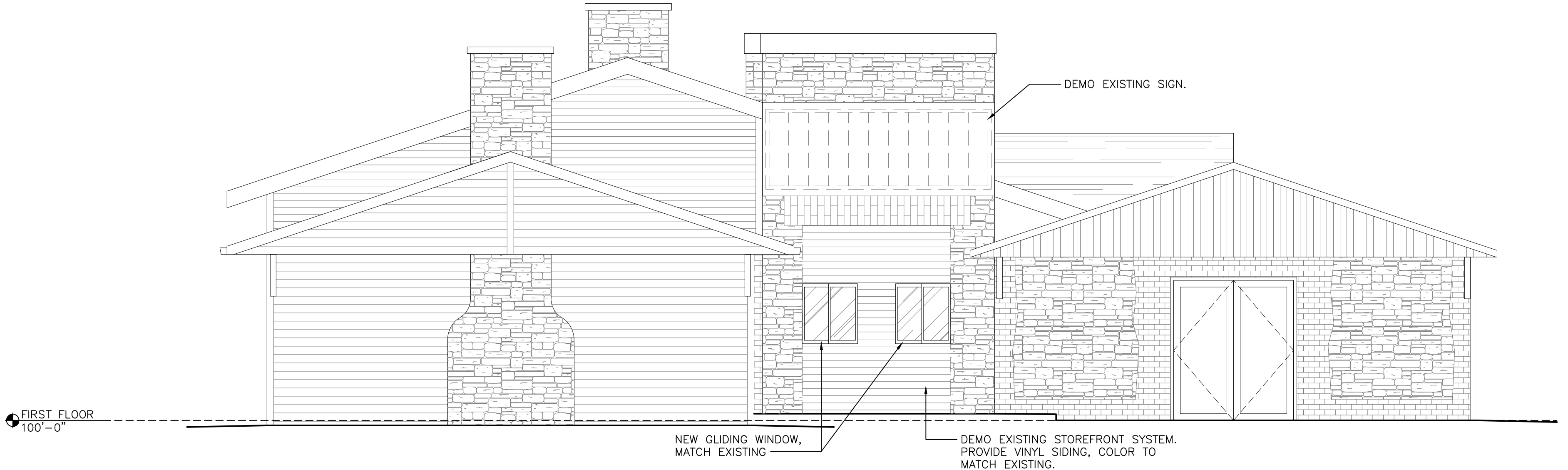
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NORTH EXTERIOR ELEVATION

SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



EAST EXTERIOR ELEVATION

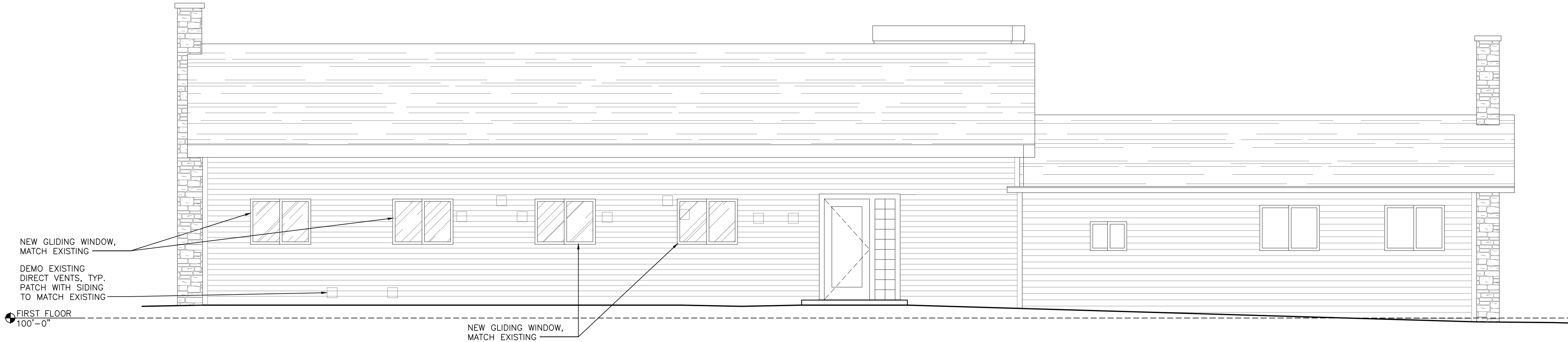
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2024-08-23 PLAN COMMISSION

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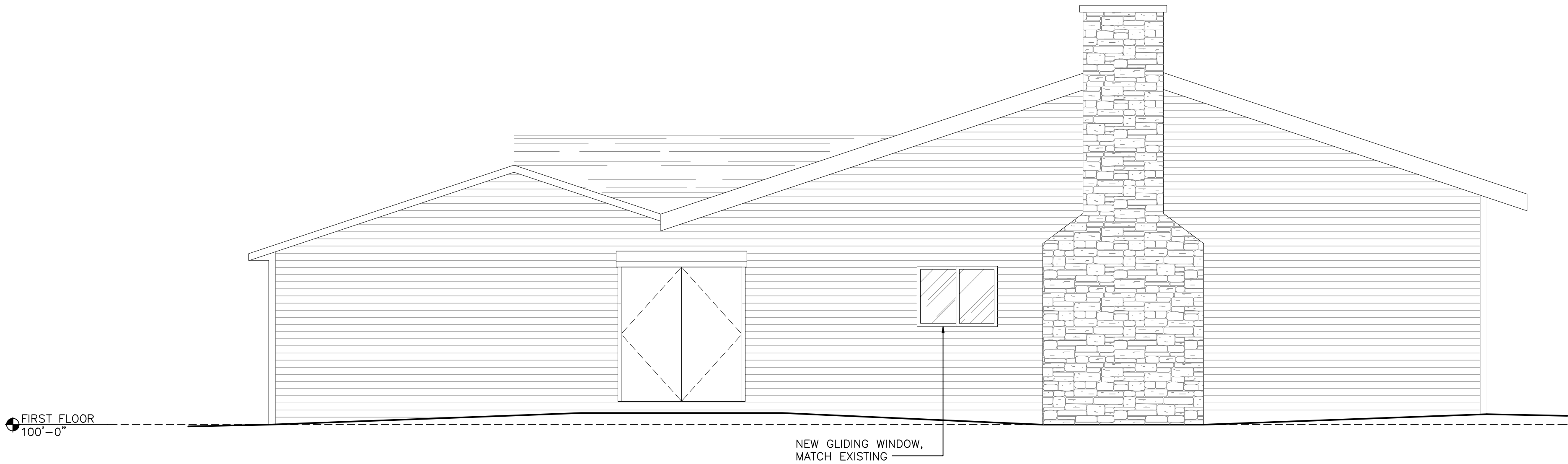
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SOUTH EXTERIOR ELEVATION

SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



WEST EXTERIOR ELEVATION

SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

1

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Architect  
259 South Street, Suite A  
WAUKESHA, WI 53186  
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WALL, WINDOW, AND DOOR TYPES

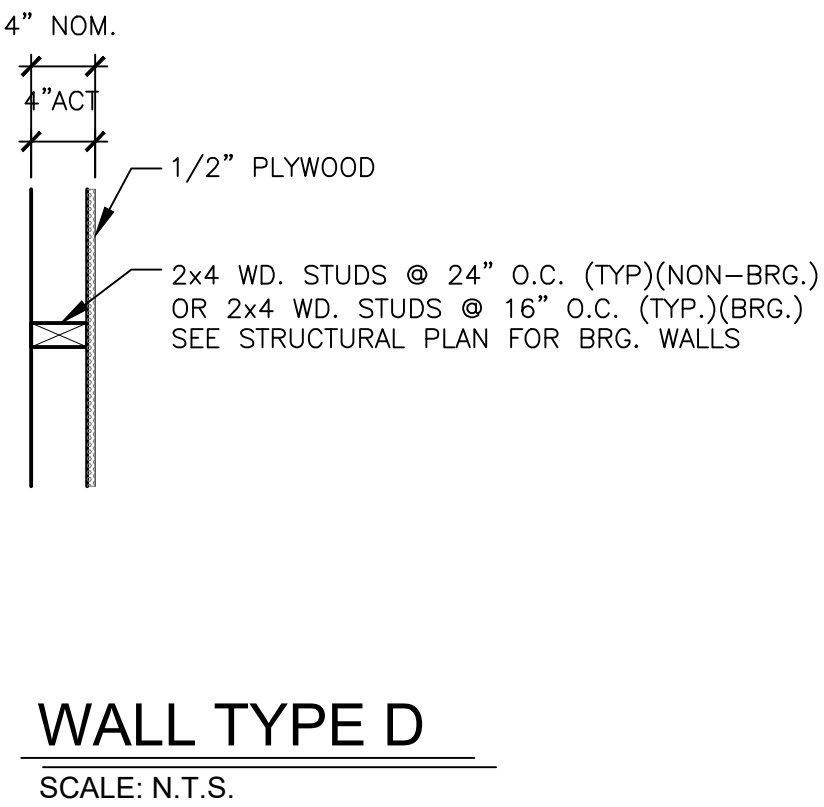
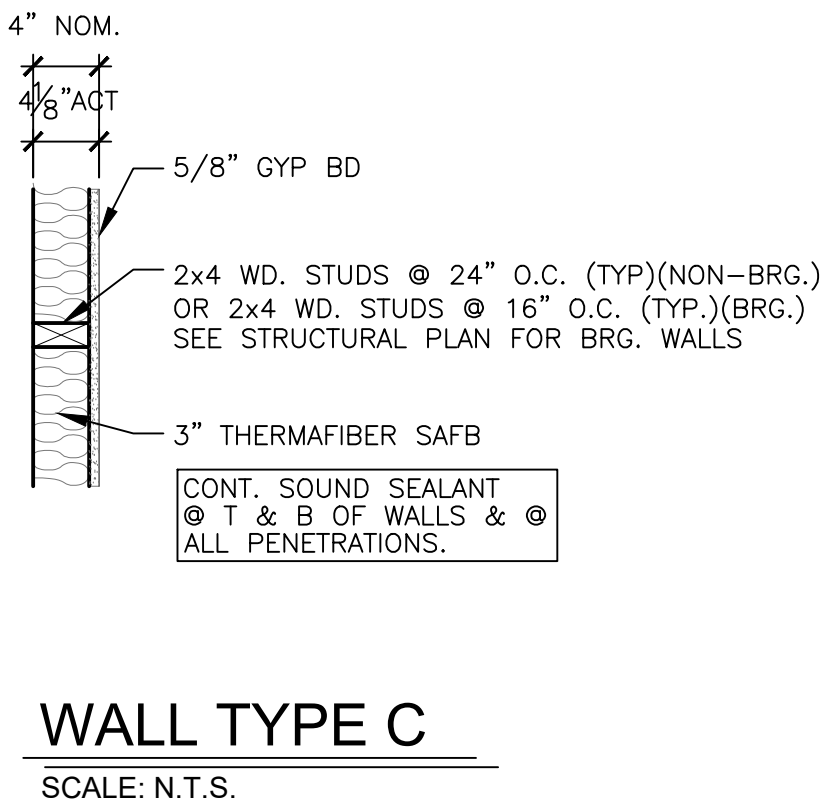
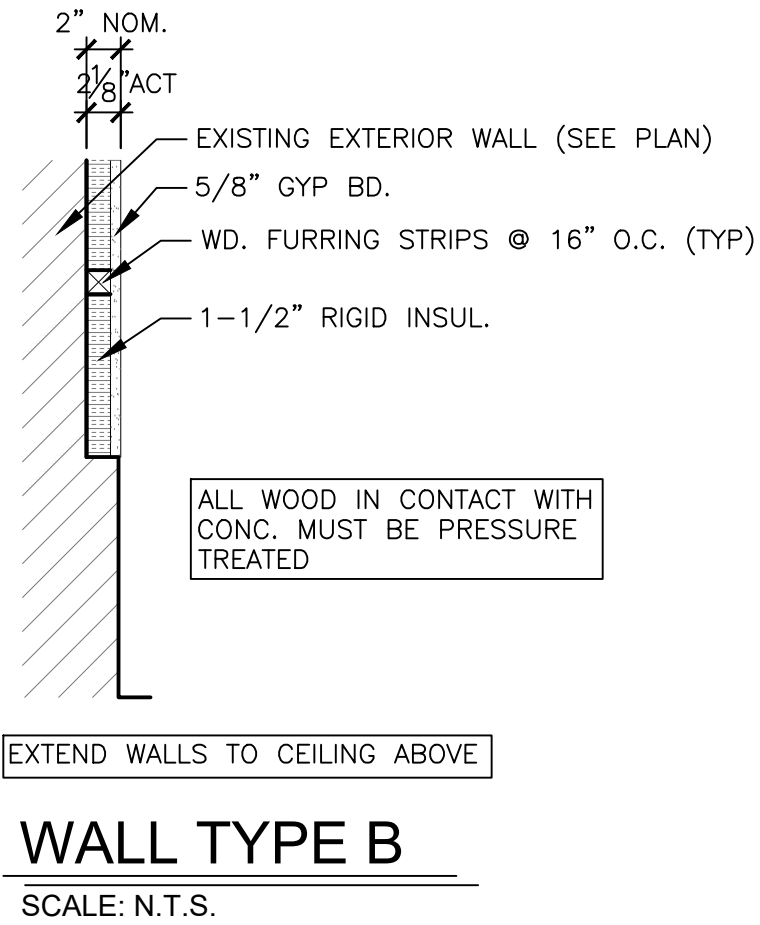
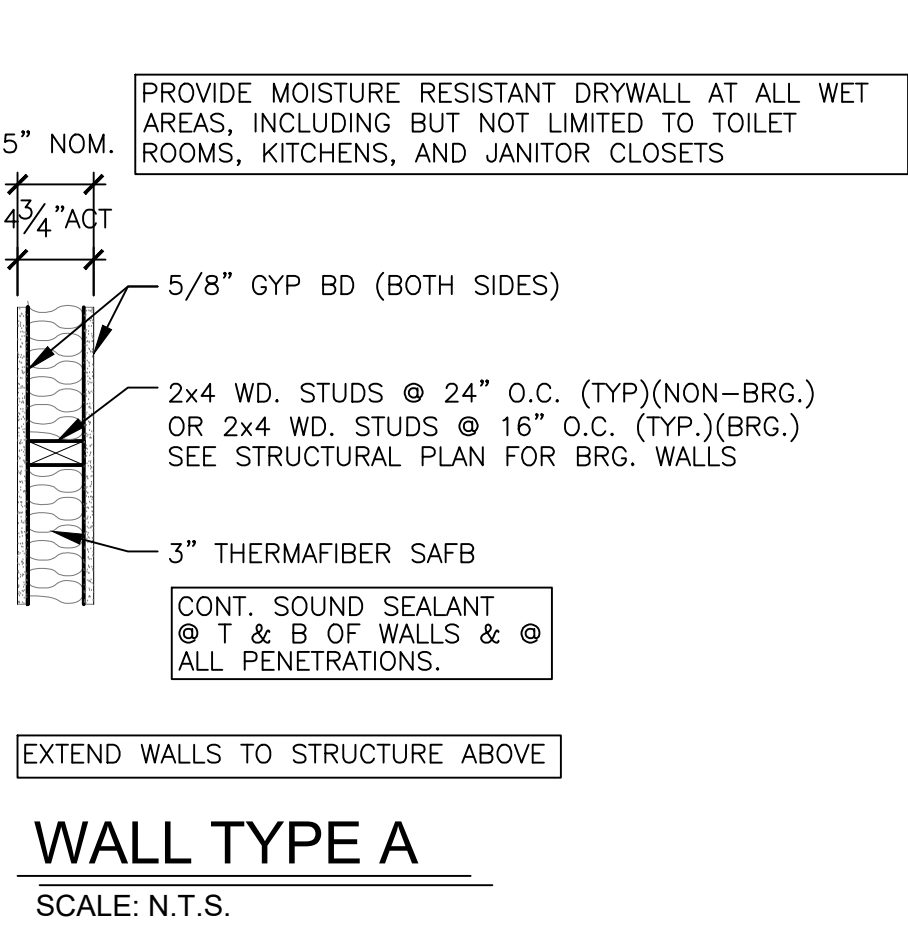
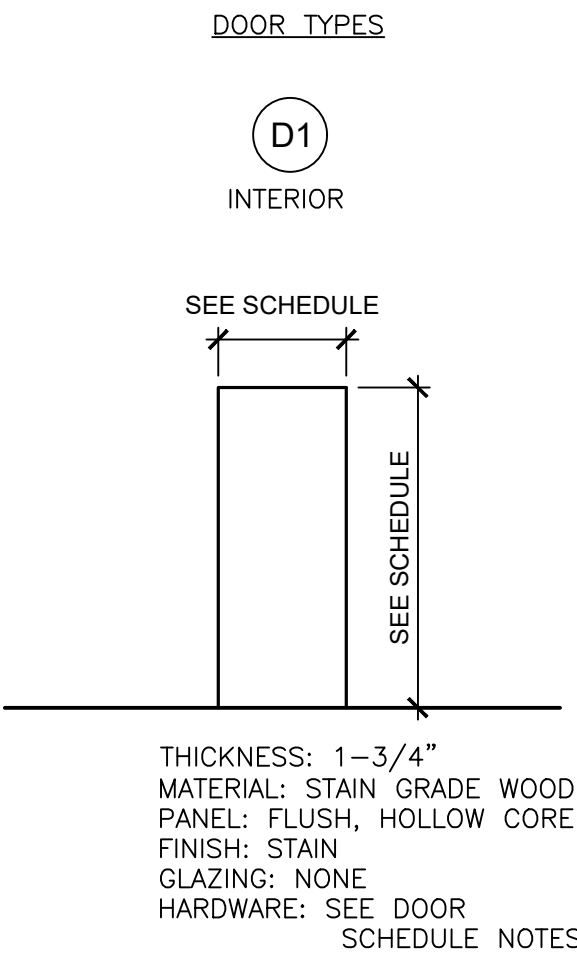
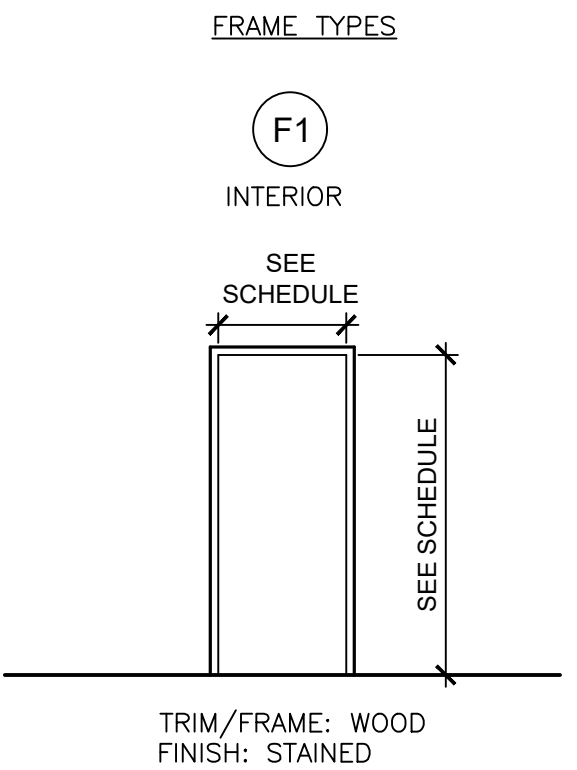
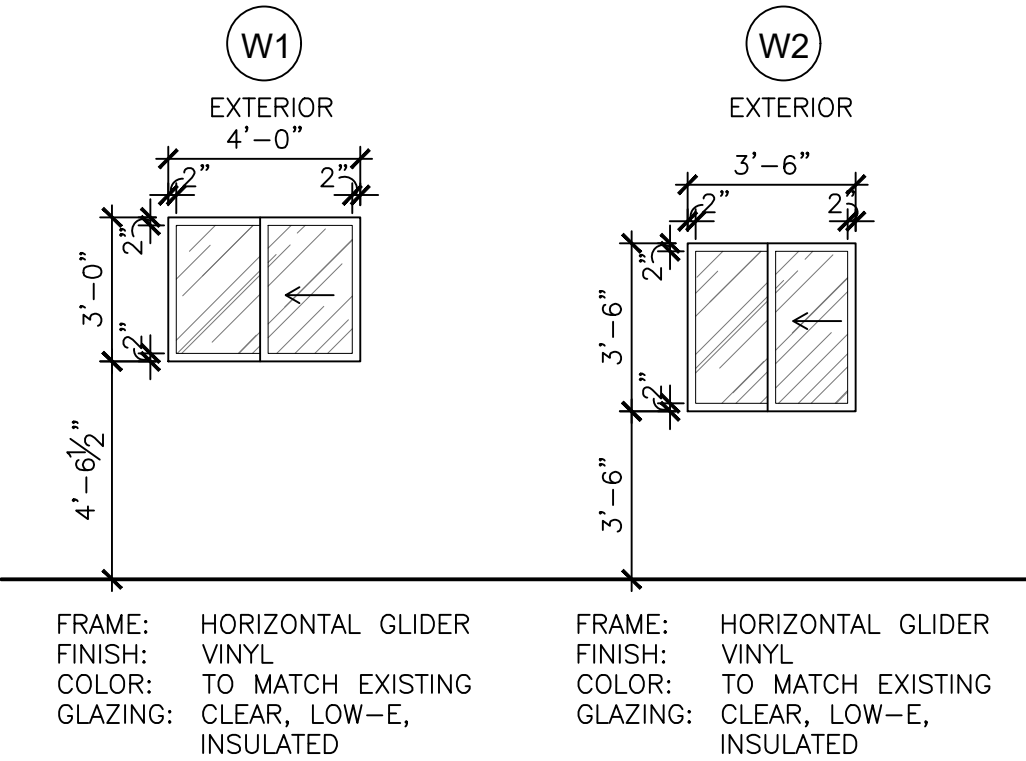
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A6.0

DOOR SCHEDULE								
DOOR NUMBER	ROOM NAME	NO. OF PANELS	SIZE		DOOR TYPE	FRAME TYPE	FIRE RATING	REMARKS
			WIDTH	HEIGHT				
106	BEDROOM	1	2'-8"	6'-8"	D1	F1		
107	BEDROOM	1	2'-8"	6'-8"	D1	F1		
108	BEDROOM	1	2'-8"	6'-8"	D1	F1		
109	BEDROOM	1	2'-8"	6'-8"	D1	F1		
110	BEDROOM	1	2'-8"	6'-8"	D1	F1		
112	BEDROOM	1	2'-8"	6'-8"	D1	F1		
115	BEDROOM	1	2'-8"	6'-8"	D1	F1		
116	BEDROOM	1	2'-8"	6'-8"	D1	F1		
NOTES: 1. DOOR HARDWARE IS NOT SPECIFIED; HARDWARE COORDINATION MEETING WITH OWNER, DOOR SUPPLIER AND G.C. IS REQUIRED. 2. G.C. TO SUPPLY ALL DOOR HARDWARE REQUIRED BY CODE. 3. DOOR HARDWARE SHALL COMPLY WITH ICC/ANSI A117.1 SEC 404.2.6 — HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE HARDWARE SHALL BE PLACED AT LEAST 34 INCHES, BUT NOT MORE THAN 48 INCHES ABOVE THE FLOOR SURFACE.								



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