

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Date Received \_\_\_\_\_ ☐ Initial Submittal  
Paid \_\_\_\_\_ ☐ Revised Submittal

**Complete all sections of this application, including the desired meeting date and the action requested.** If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.*

*Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.*

*Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.*

## 1. Project Information

Address (list all addresses on the project site): Madison Yards Block 4 4716 Sheboygan Ave Madison WI, 53715

Title: Madison Yards Block 4 Hotel

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 14, 2024

- ☐ New development ☐ Alteration to an existing or previously-approved development  
☐ Informational ☐ Initial Approval ☒ Final Approval

## 3. Project Type

- ☒ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☒ Planned Development (PD)  
☒ General Development Plan (GDP)  
☒ Specific Implementation Plan (SIP)  
☐ Planned Multi-Use Site or Residential Building Complex

### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Modifications of Height, Area, and Setback  
☐ Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

### Other

- ☐ Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** David Emerich  
**Street address** 4601 Frey Street, Suite 400  
**Telephone** 608-833-4100

**Company** Madison Yards Lodging Associates, LLC  
**City/State/Zip** Madison, WI 53705  
**Email** emerich@raymondteam.com

**Project contact person** Ethan Skeels, AIA  
**Street address** 790 N. Water St, Suite 1700  
**Telephone** 414-290-3778

**Company** Kahler Slater  
**City/State/Zip** Milwaukee, WI 53202  
**Email** eskeels@kahlerslater.com

**Property owner (if not applicant)** Madison Yards Block 6, LLC  
**Street address** 241 N. Broadway, Suite 400  
**Telephone** 414-453-0110

**City/State/Zip** Milwaukee, WI 53202  
**Email** mtheder@summitsmith.com

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.



# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

**5. Required Submittal Materials**☒ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ **Development Plans** (Refer to checklist on Page 4 for plan details)☐ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)☒ **Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCapplications@cityofmadison.com](mailto:UDCapplications@cityofmadison.com). The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

- Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on Various dates April-July 2024.
- The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant David EmerichRelationship to property Under ContractAuthorizing signature of property owner Date 7-15-24**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- ☐ Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## MADISON YARDS BLOCK 6, LLC

July 9, 2024

City of Madison Planning Division  
215 Martin Luther King, Jr. Blvd, Suite 017  
Madison, WI 53701

RE: Madison Yards at Hill Farms, Block 4 PD-SIP Submittal Approval

Dear City of Madison Planning Division:

This letter provides approval (on behalf of Madison Yards Block 6, LLC) for Madison Yards Lodging Associates, LLC c/o Raymond Management Company, Inc. to submit applications to the City of Madison for zoning changes and otherwise for the Madison Yards at Hill Farms, Block 4 PD-SIP project. The project site is located at 4716 Sheboygan Avenue, Lot 4, Madison Yards at Hill Farms. Previous applications for this project were submitted by HKS Holdings, LLC (and/or MKE Acquisitions, LLC). Madison Yards Lodging Associates, LLC will act as developer of the parcel moving forward.

Please feel free to contact either of the individuals signing this letter below with any questions.

Sincerely,



Mark Theder  
Authorized Representative

Madison Yards Block 6, LLC  
c/o Summit Smith Development  
731 N. Jackson St, Suite 505  
Milwaukee, WI 53202  
Office: 414.453.0110  
Cell: 414.379.0761  
E-Mail: [mtheder@summitsmith.com](mailto:mtheder@summitsmith.com)  
Website: [www.summitsmith.com](http://www.summitsmith.com)



Joe Klein, Manager  
MKE Acquisitions, LLC  
172 N. Broadway  
Second Floor  
Milwaukee, WI 53202  
[kleinjos@gmail.com](mailto:kleinjos@gmail.com)

31305485.2

## Lisa Steinhauer

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**From:** Lisa Steinhauer  
**Sent:** Thursday, July 11, 2024 11:25 AM  
**To:** district11@cityofmadison.com  
**Cc:** Dave Emerich  
**Subject:** Madison Yards Hotel  
**Attachments:** 24-0710\_MY BLK 4 - Update.pdf

Hi Alder Tishler,

Thank you for your time on the phone this morning. As mentioned, we hope to receive final SIP approval for our hotel development from the UDC at the upcoming August 14, 2024 meeting. Attached are the DRAFT plans for review at the meeting. We are still making a few tweaks prior to submittal, including showing an electric charging stall in the employee parking lot, as discussed.

This hotel includes 145 keys within 5 stories. The design is similar to previous versions you've seen but is revised to address prior UDC comments.

I look forward to meeting with you on Monday 7/15 at 2:30pm. If you enter the SpringHill Suites parking structure using the eastern entrance (at the bottom of Frey St hill), there are parking spaces available at the entrance to the hotel lobby. I will meet you in the lobby along with my colleague, Dave Emerich, for a tour.

Thank you,

**Lisa Steinhauer**

Real Estate Coordinator

Raymond Management Company | 4601 Frey St. Suite 400 Madison, WI 53705

Direct: (608) 692-8353



Raymond Management Company

<https://www.raymondteam.com>

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# Kahler Slater

Milwaukee  
Madison  
Richmond  
Chicago  
Singapore

July 15, 2024

790 N Water Street, Suite 1700  
Milwaukee, WI 53202  
P 414.272.2000

City of Madison  
Planning Division  
215 Martin Luther King, Jr. Blvd, Suite 017  
Madison, WI 53701

RE: Letter of Intent - Madison Yards at Hill Farms, Block 4 PD-SIP Land Use – UDC Final

This letter, together with plans, application and supplemental materials, constitutes our Land Use Application for Major Amendment to an Approved Planned Development – Specific Implementation Plan (PD-SIP) for the proposed Madison Yards at Hill Farms, Block 4 project.

**Project Location:**

The project site is located at 4716 Sheboygan Ave., Lot 4 Madison Yards at Hill Farms. The site is 1.08 acres.

**Legal Description:**

Lot 4, Madison Yards at Hill Farms, recorded in Volume 61-018B of Plats on page 99, as Document No. 5524360, located in the Northeast Quarter of the Northwest Quarter of Section 20, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more particularly described as follows:

Beginning at the Southeast Corner of Lot 4, aforesaid; thence South 82 degrees 57 minutes 14 seconds West along the South line of Lot 4, aforesaid, a distance of 211.50 feet; thence North 84 degrees 03 minutes 12 seconds West along the South line of Lot 4, aforesaid, 30.71 feet to the West line of Lot 4, aforesaid; thence North 03 degrees 25 minutes 28 seconds West along said line, 196.36 feet to the North line of Lot 4, aforesaid; thence North 86 degrees 34 minutes 32 seconds East along said line, 241.38 feet to the East line of Lot 4, aforesaid; thence South 03 degrees 25 minutes 28 seconds East along said line, 188.00 feet to the Point of Beginning.

Said lot contains 47,117 square feet or 1.082 acres.

Project Team:

Owner/Developer: Madison Yards Lodging Associates, LLC.

Master Planner/Civil Engineer/Landscape Architect: JSD Professional Services, Inc.

Architect: Kahler Slater, Inc.

**Project Description**

The project is a portion of the larger multi-block development known as Madison Yards at Hill Farms. Block 4 is situated along the north side Sheboygan Ave. west of Segoe Rd. In Madison, WI. The project consists of a 145 guestroom Hotel and associate guest amenities.

The hotel building of +/- 102,250 GSF The building occupies the northeast portion of the block with its primary entrance on Hill Farms Pl. A second public entry is located to the south on Sheboygan Ave. the majority of parking is provided on the adjacent Block 1 in the parking structure to the east and is accessed by an internal access drive from Segoe or Gardener. Employee parking is located on a surface parking lot located on the southwest portion of the block and is screened from the right of way. The loading and refuse areas are located to the south and west of the building access from the internal access drive. The primary façade materials for the Hotel are comprised of painted aluminum framed glazing systems with insulated glass, masonry, profiled painted single skin metal panels and painted fiber cement panels.

Existing Land Use

Former Wisconsin DOT Office Building Parking - Vacant

**Zoning Request**

The Madison Yards Planned Development General Development Plan (GDP) was approved and recorded in April 2019. The development team is seeking approval of the Madison Yards at Hill Farms Block 4 Specific Implementation Plan (SIP)

**Zoning/ Project Data:**

Block 4 is part of the Planned Development District – General Development Plan, Madison Yards at Hill Farms Redevelopment, 4802 Sheboygan Ave.

Block 4	Allowable/ required	Proposed
Site Area	1.08 Ac	1.08 Ac
Min/Max Bldg Area	30,000/160,000 GSF	102,250
Office	Max 0 GSF	0 GSF
Retail	Max 15,000 GSF	0 GSF
Hotel	225 Rooms	145 Rooms
Building Stories (min/max)	2 / 8 Stories	5 Stories
Building Height (min/max)	20 / 95 ft	64 ft
Setbacks		
Sheboygan	Min 8'	Min 9'6"
	Max 30'	Max 18'6"
Gardener	Min 5'	Min 5'4"
	Max 15'	Max 12'0"
Hill Farms Place	Min 5'	Min 5'4"
	Max 15'	Max 8'0"
Iron Street	Max 15'	1'4" – 9'6"

Parking for hotel spaces is a minimum of .75 space per unit and a maximum of 1.5 spaces per unit. Additional parking above the maximum may be shared with another use.

The proposed Block 4 development will be provided with a minimum of 96 stalls in the parking structure located on the adjacent block 1 parking structure through a shared parking agreement. 12 surface stalls will be provided for employee parking only.

Loading and trash areas will be provided central to the block screened from Sheboygan Ave and accessed from the Iron Street. A single 10x50' loading bay will be provided.

**Streets, Easements, Utilities and Fire Access.**

Streets within the Madison Yards development are privately held and maintained. Utility easements are in place for existing utility lines and future easements will be finalized and recorded once final plans are approved. Public access easements are in place as required in the final GDP approval.

Fire access for the site was discussed with Bill Sullivan of the Madison Fire Department, including fire lanes, aerial apparatus lanes, and street tree spacing. The approved GDP included a fire access plan for the project.

**TOD Overlay.**

The building is designed with a dual entry configuration with public entries on both Sheboygan Avenue and Hill Farms Place. These entries are connected continuously with guest amenity and lobby space including the guest courtyard amenity. The building façade and courtyard accent screen wall along Sheboygan Ave are located completely within the TOD required 20' maximum setback and comprise 50% of the Sheboygan street frontage compared to the TOD minimum of 30%. Surface parking is located to



the side of the Sheboygan façade activated by the public entry and screened with a significant landscape buffer.

#### ***Urban District Design Standards.***

The majority of parking serving the hotel is located in the adjacent Block 1 parking structure within the Madison Yards development. This parking is supplemented by a small employee only surface lot located along Iron Street to the west. The surface lot is setback 14'-18' feet from the property line and located behind significant landscape screening used to create an attractive corner and pedestrian experience.

A primary building entry is located prominently along Sheboygan Ave with another located along Hill Farms Place. The Sheboygan Ave Entry features a canopy, wood toned accent material and glazing clearly identifying it as a public entry to the Hotel.

The building massing creates significant setback depth and modulation between materials through the strategic planning of the differing guestroom types within the body of the building. Special attention is paid to the corners of the building to create a strong street presence and layering of materials as the building turns the corners. Material changes also are set off by varying parapet heights further delineating the articulation visually.

The building features a 14' first floor height measured from Hill Farms Place to the finished floor of the second level. Guestrooms front Gardner feature significant vegetation between the guestroom windows and the sidewalk. The building's exterior material palette consists of brick, filled and polished burnished masonry, textured metal panel, fiber cement panel and wood toned accents. All materials are of high quality and locations are consistent with table 28E-1 of the Madison Zoning code.

#### ***Urban Design District 6 Standards.***

The public Right-of-way along Sheboygan Ave will feature a public entry to the building and be landscaped appropriately for the use and layout of the site. Off street surface parking is located as far to the west of the public entry as possible and will be landscaped and screened by a mix of plant material. The building design is comprised of high-quality low maintenance materials that have been selected to complement the recently completed adjacent buildings and neighborhood character. Roof top mechanical equipment will feature integrated screening where not shielded from view by parapets. The facades of the building are broken in their height materiality and articulation. Lighting is used to highlight areas of activity at the public entries and guest courtyards. Adequate and appropriate lighting will be provided at the parking, loading and public circulation areas and will complement the remainder of the Madison Yards development and neighborhood. The landscape design will be designed as a comprehensive whole with the adjacent Madison Yards block 6 areas and recently completed projects. All utilities serving the building will be located below grade. Ground mounted utility equipment will be fully screened from view from all public and private streets adjacent to the Hotel parcel.

#### ***UDC Informational Comments***

The project was discussed at the July 26, 2023 Urban Design Commission as an informational presentation. While the feedback was generally positive, items for further exploration and explanation were discussed. First, the number of exterior materials and their apparent lack of contrast. While the design team believes the contrast concern was a result of the digital images special care has been taken to achieve the Hotel flag brand standard exterior color palette utilizing the high quality materials required by the City of Madison urban design standards and goals of the overall Madison Yards development. Soldier courses have been added to window heads at areas of brick facade to provide more texture and detail while maintaining the simplicity of the massing. The physical samples will also better demonstrate the contrast between the brick and fiber cement color. Similarly the dark burnished block is used as a durable base course material on the building and around high traffic areas of the dock and back of house but is intended to be of similar color value to the profiled metal panel to reduce the visual contrast between them so they create a single reading on the exterior as they are utilized to accent the same

massing elements of the building's composition. Following the informational presentation the design team added an accent wall at the corner of Sheboygan and Iron Streets to extend the reading of the Sheboygan façade along the street edge creating a building façade like element between the street and the surface parking area to further satisfy the TOD and UDD 6 requirements. ***This element was not well received during the following presentation and has since been removed.*** A substantial line of planting has been added to the east side of the parking area to create separation to the green space, while a seat wall was suggested the site grading created a condition not conducive to a level hardscape element. ***This landscape has been revised to accommodate snow removal with a focus on landscaping the corners of the east portion of the parking area.*** Seat wall with accent lighting were added to the north of the green and near the south entry. ***This element has since been moved to courtyard proper.*** The Landscape design takes special care to provide a variety of plant materials to create interest on all sides of the building. Lastly, the loading area has been reduced to a single bay allowing for better site circulation and screening of the back of house site areas.

***UDC Initial Comments (Staff report Letter dated October 30, 2023)***

The project team has addressed following comments received via Staff Report dated October 30, 2023.

***3. The UDC finds that the VTAC units as described/designed are acceptable.***

- The project team notes acceptance and will proceed with the VTAC ventilation as shown.

***4. The UDC finds that the proposed surface parking lot as designed and screened is appropriate.***

- The project team notes acceptance and will proceed with the parking and landscape screening as shown.

***5. The screen wall shall be at lower in height and the materiality needs to be modified to be more open/permeable. The wall shall be designed with materials consistent with the building materials, including burnished block and faux wood fins. The wall location shall align with the building in plan view and datum.***

- The project team proposes the removal of the screen wall to create the desired open permeable presence requested. Any required retainage will be thru the use of limited natural boulder outcropping style retainage.

***6. The sun-loving, prairie style plants on the north side of the building shall be replaced with a more shade tolerant selection.***

- The project team has updated the planting plan to address the comment.

***7. On the west elevation, northwest corner, the sea green juniper, should be replaced with something more vertical.***

- The project team has updated the planting plan to address the comment.

***8. Tree plantings located at the screen wall and between the loading area and the public lawn shall be at least a 2.5-inch caliper.***

- The project team has updated the planting plan to address the comment.

***9. Provide details on material transitions between the metal panel and fiber cement. Consideration should be given to incorporating treatments that provide more relief between the fiber cement and metal panel, including providing a wide trim piece around the window surround to break-up the transition.***

- The project team has designed a trim between the window opening and the fiber cement siding to provide a shadow line between the materials.

***10. Lighting shall be revised to be consistent with MGO Section 29.36.***

- The Site Lighting and Photometric has been revised to address the comment.

11. *Revise the west elevation to corporate design details or material textures that break-up/minimize the blank expanses on the elevation.*

- The project team has updated the design incorporating additional guestroom window openings to area of brick at the west elevation.

***Traffic Impact Analysis***

A traffic impact analysis (TIA) from Kimley Horn and a TDM Plan has been previously submitted for the Madison Yards project.

***Exterior Signage***

All signage depicted in this submittal is for illustrative purposes only. The project team will follow the UDC signage review process as the design develops. Signage will be allowed per Chapter 31 of the Madison General Ordinances and will be provided with each SIP.

***Anticipated Schedule***

Construction of Project is scheduled for a spring of 2025 construction start with completion in 2026.

Sincerely,

A handwritten signature in black ink, appearing to read "DAVE EMERICH", is written over a horizontal line.

Dave Emerich  
Raymond Management Company

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# BLOCK 4 HOTEL

MADISON . WISCONSIN

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HOTEL DESIGN CONCEPT  
JULY 2024

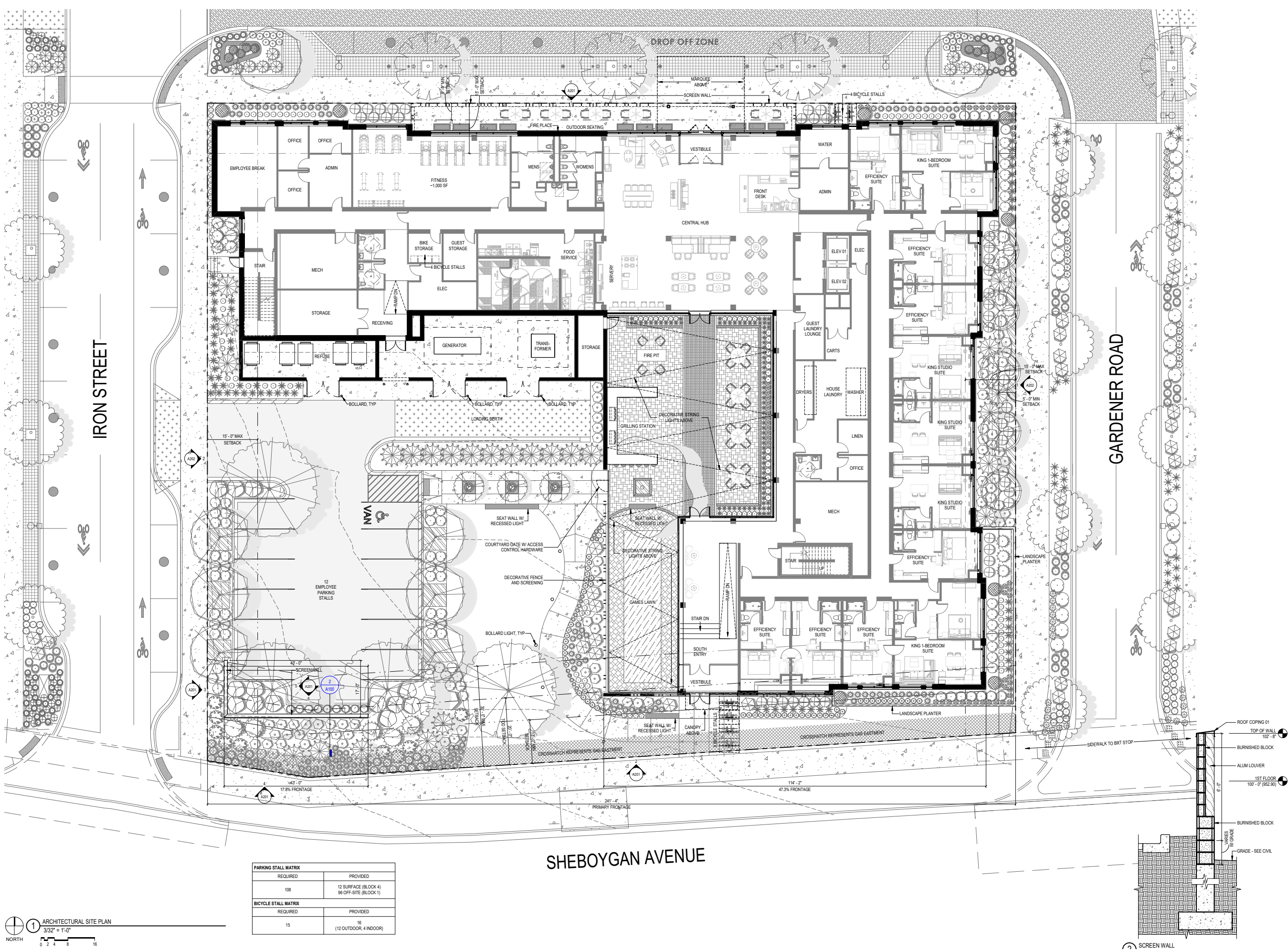
**Kahler Slater**

PREVIOUS SITE PLAN

1 ARCHITECTURAL SITE PLAN  
3/32" = 1'-0"  
NORTH

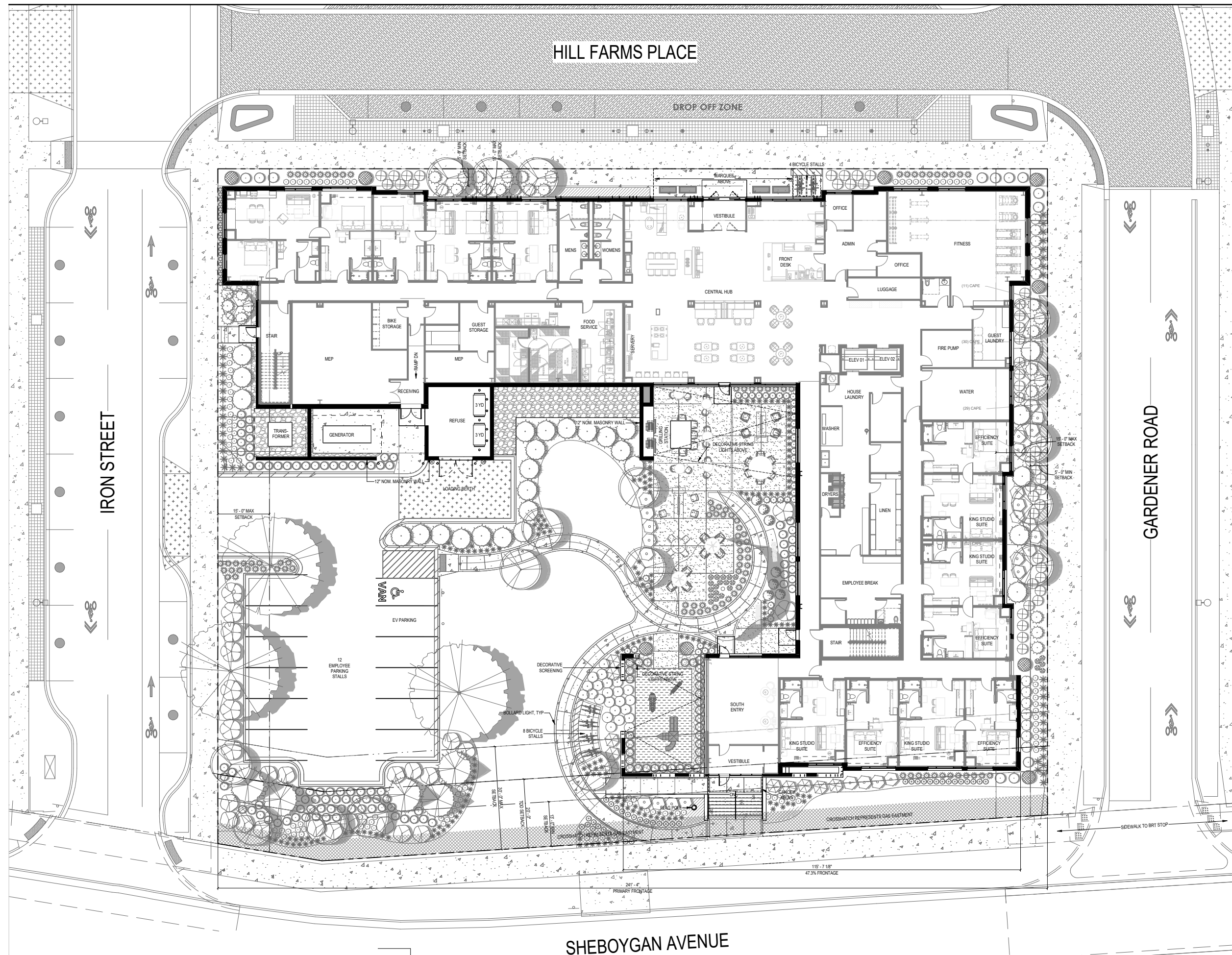
PARKING STALL MATRIX	
REQUIRED	PROVIDED
108	12 SURFACE (BLOCK 4) 96 OFF-SITE (BLOCK 1)
BICYCLE STALL MATRIX	
REQUIRED	PROVIDED
15	16 (12 OUTDOOR, 4 INDOOR)

SHEBOYGAN AVENUE





## PROPOSED SITE PLAN

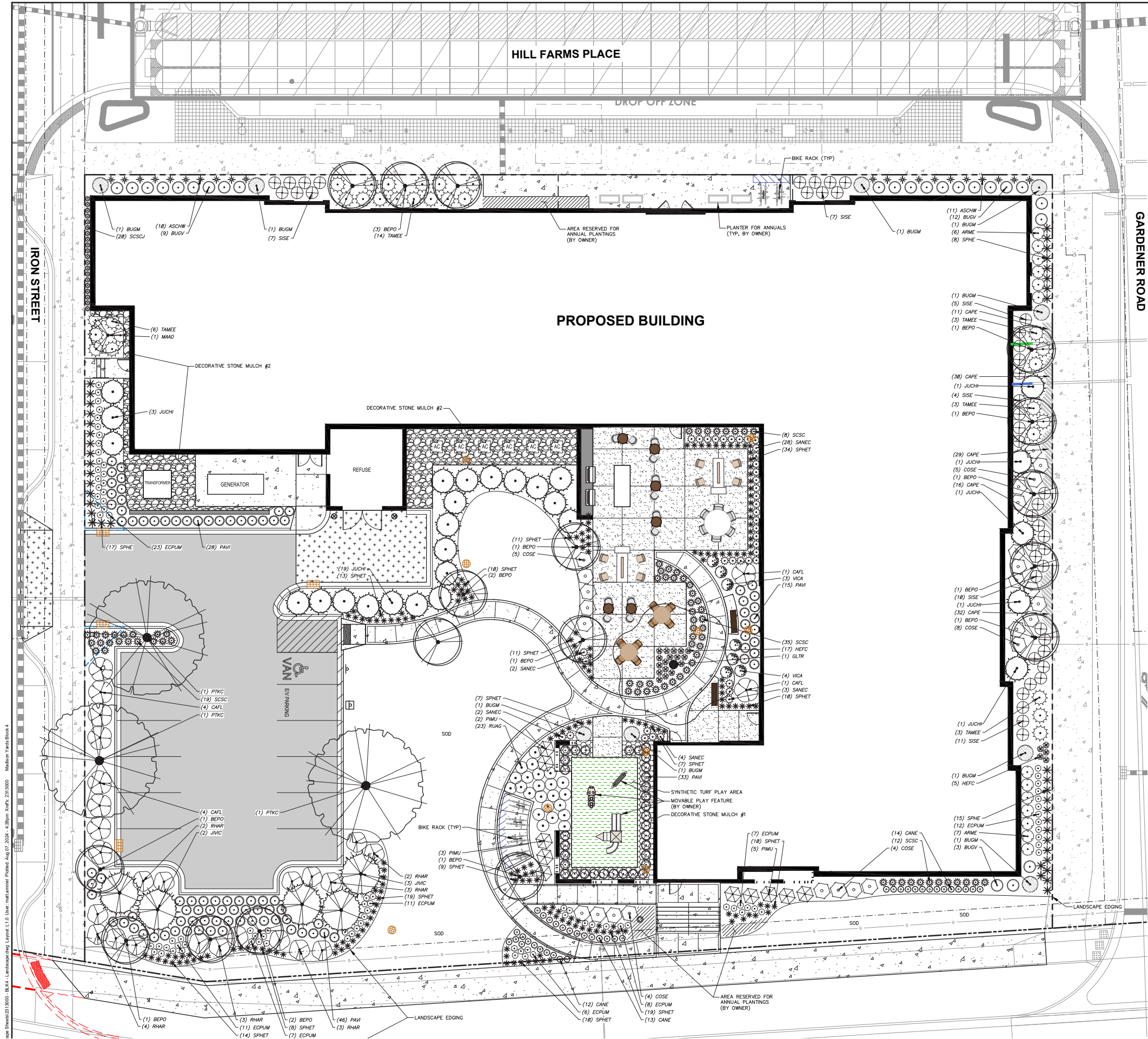








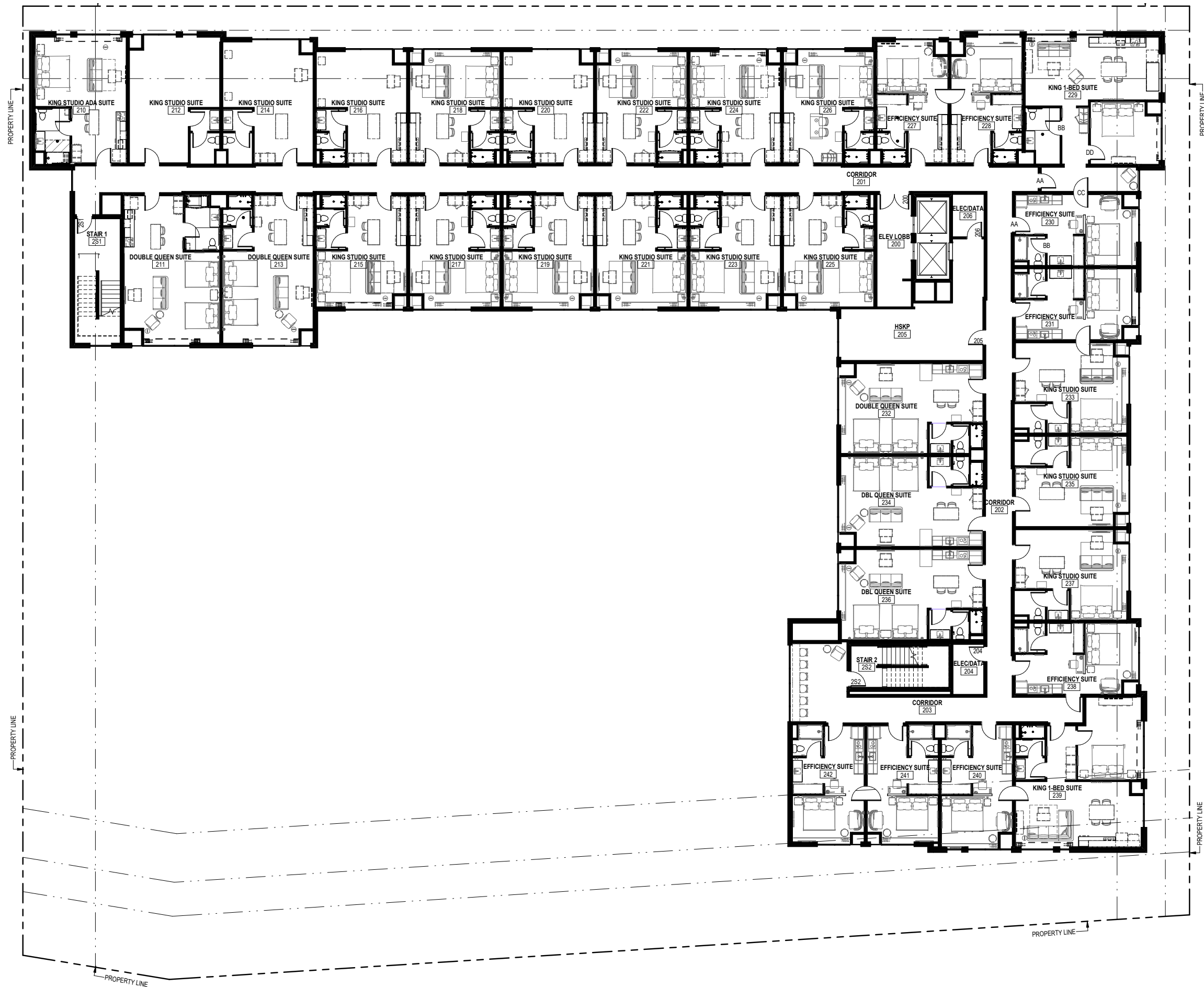
PROPOSED SITE PLAN



PLANT LIST		SEE SHEET L2.0 FOR A COMPREHENSIVE PLANT SCHEDULE
SYMBOL	CODE	BOTANICAL / COMMON NAME
ORNAMENTAL TREES		
	MAD	Malus x 'Adirondack' / Adirondack Crabapple
OVERSTORY DECIDUOUS TREES		
	BEPO	Betula populifolia 'Whitespire' - Single / Whitespire Birch - Single
	GLTR	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust
	PTKC	Gymnocladus dioica 'J.C. McDaniel' TM / Prairie Titan Kentucky Coffeetree
UPRIGHT EVERGREEN SHRUB		
	JUCH	Juniperus chinensis 'Iowa' / Iowa Juniper
	JVIC	Juniperus virginiana 'Canoarti' / Canoarti Eastern Redcedar
DECIDUOUS SHRUBS		
	ARME	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry
	CAFL	Calycanthus floridus 'SMNCAF' / Simply Scentational® Sweetshrub
	COSE	Cornus sericea 'Yarrow' / Arctic Fire® Red Twig Dogwood
	SISE	Diervilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle
	RHAR	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac
	VICA	Viburnum carlesii 'SMVCB' TM / Spice Baby Koreanspice Viburnum
EVERGREEN SHRUBS		
	BUGV	Buxus x 'Green Velvet' / Green Velvet Boxwood
	BUGM	Buxus x 'Green Mountain' / Green Mountain Boxwood
	PIMU	Pinus mugo / Mugo Pine
	TAMEE	Taxus x media 'Everlow' / Everlow Yew
PERENNIALS & GRASSES		
	ASCHW	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
	CANE	Calamagrostis napeta 'Montrose White' / Montrose White Calmint
	ECFUM	Echinacea purpurea 'Magnus Superior' / Magnus Superior Coneflower
	HEFC	Heuchera x 'Fire Chief' / Fire Chief Coral Bells
	PAVI	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
	RUAG	Rudbeckia x 'American Gold Rush' / American Gold Rush Coneflower
	SANEC	Salvia nemorosa 'Caradonna' / Caradonna Meadow Sage
	SCSCJ	Schizachyrium scoparium 'Jazz' / Jazz Little Bluestem
	SCSC	Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem
	SPHE	Sporobolus heterolepis / Prairie Dropseed
	SPHET	Sporobolus heterolepis 'Tara' / Prairie Dropseed
GROUND COVERS		
	CAPE	Carex pensylvanica / Pennsylvania Sedge

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
  - REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
  - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
  - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

- CONTRACTOR NOTES**
- REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION
  - REFER TO SHEET B4-L2.0 FOR COMPREHENSIVE PLANT SCHEDULE.
  - ALL PLANTING BEDS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE NOTED.



ROOM MIX BY FLOOR	
1ST FLOOR MIX	
EFFICIENCY SUITES	7
KING STUDIO SUITES	3
DLB QUEEN STUDIO SUITES	0
KING 1-BEDROOM SUITES	2
TOTAL	12

2ND FLOOR MIX	
EFFICIENCY SUITES	8
KING STUDIO SUITES	18
DLB QUEEN STUDIO SUITES	5
KING 1-BEDROOM SUITES	2
TOTAL	33

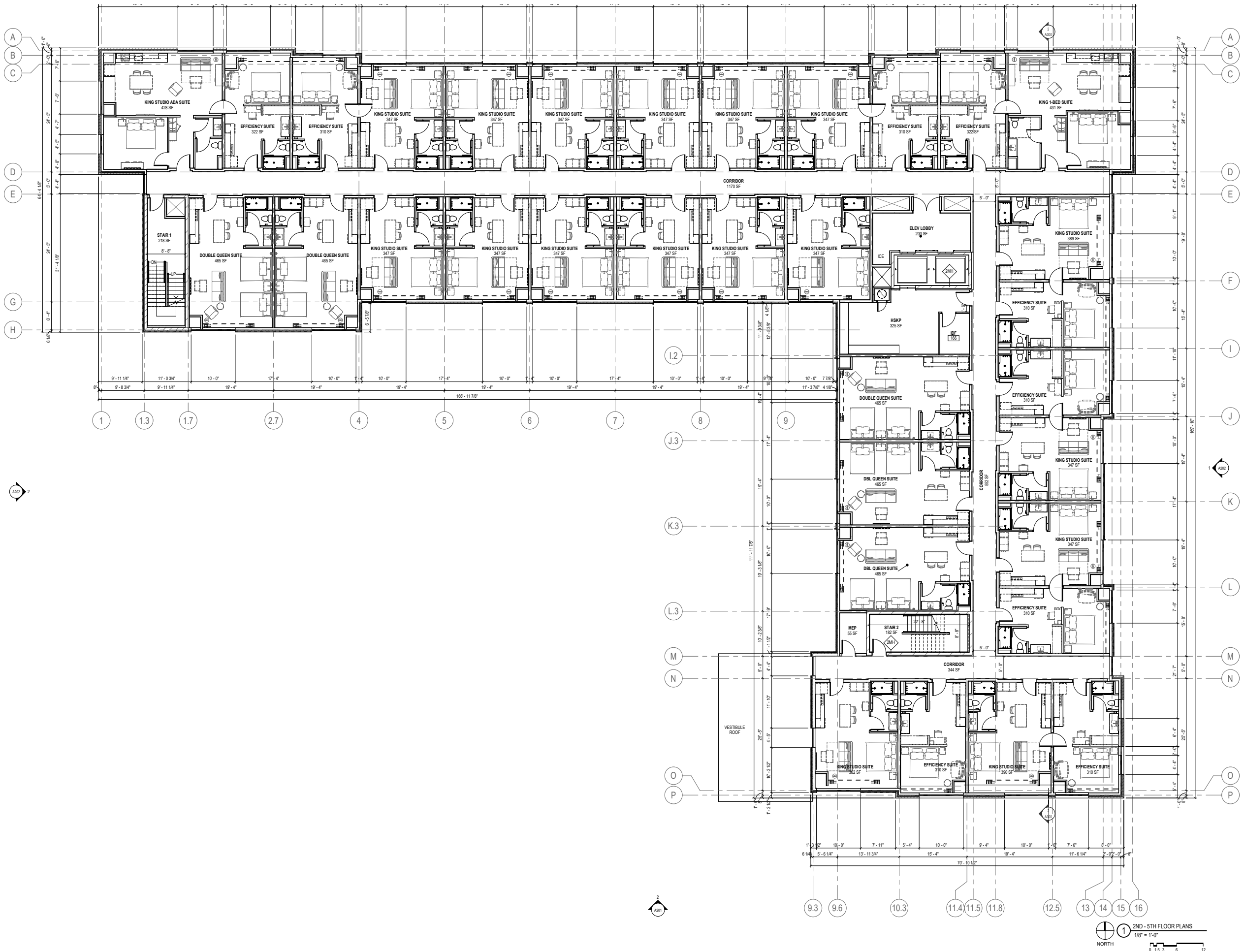
3RD FLOOR MIX	
EFFICIENCY SUITES	8
KING STUDIO SUITES	18
DLB QUEEN STUDIO SUITES	5
KING 1-BEDROOM SUITES	2
TOTAL	33

4TH FLOOR MIX	
EFFICIENCY SUITES	8
KING STUDIO SUITES	18
DLB QUEEN STUDIO SUITES	5
KING 1-BEDROOM SUITES	2
TOTAL	33

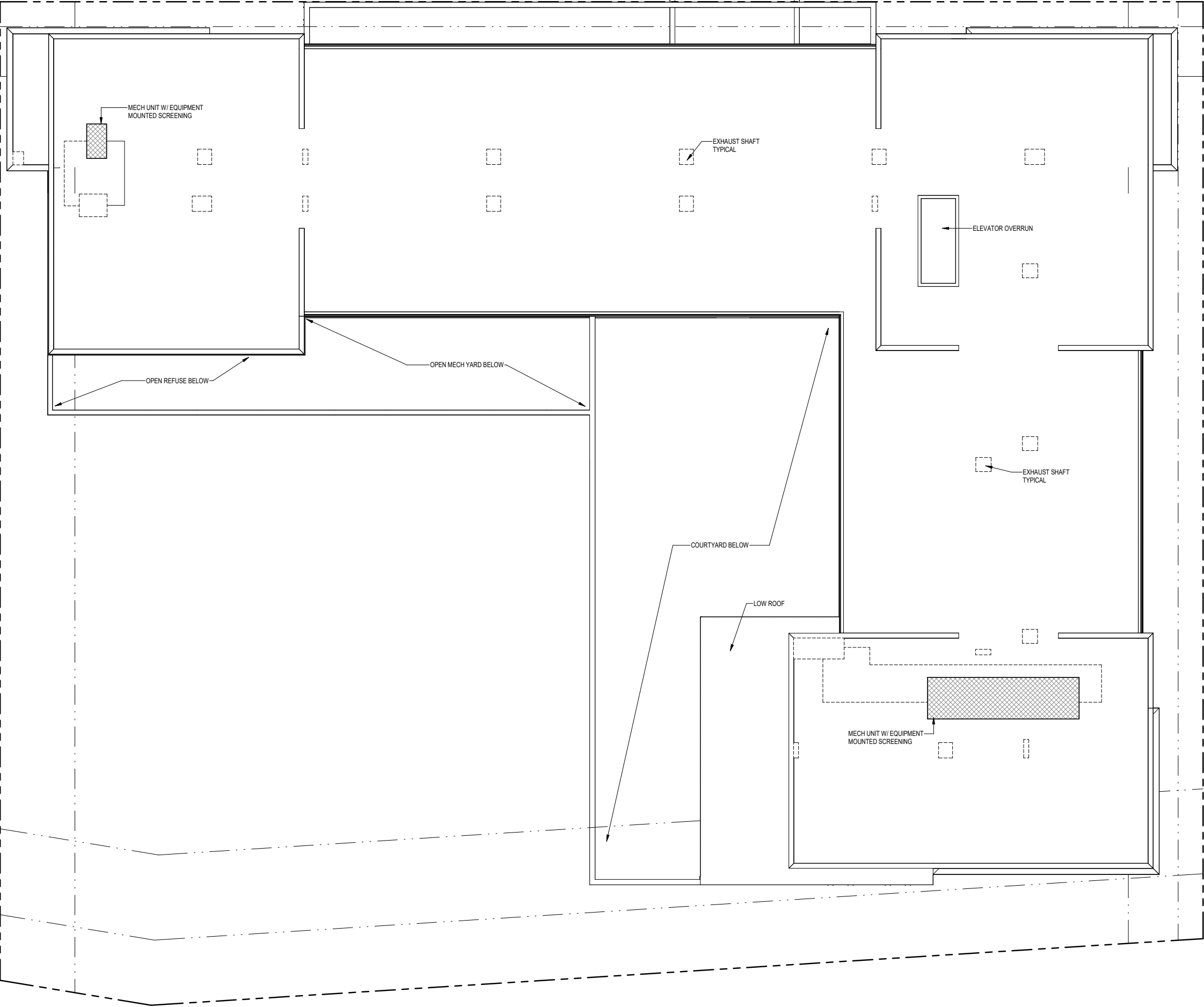
5TH FLOOR MIX	
EFFICIENCY SUITES	8
KING STUDIO SUITES	18
DLB QUEEN STUDIO SUITES	5
KING 1-BEDROOM SUITES	2
TOTAL	33

TOTAL KEY COUNT		
EFFICIENCY SUITES	39 KEYS	27%
KING STUDIO SUITES	75 KEYS	52%
DLB QUEEN STUDIO SUITES	20 KEYS	14%
KING 1-BEDROOM SUITES	10 KEYS	7%
TOTAL	144 KEYS	100%

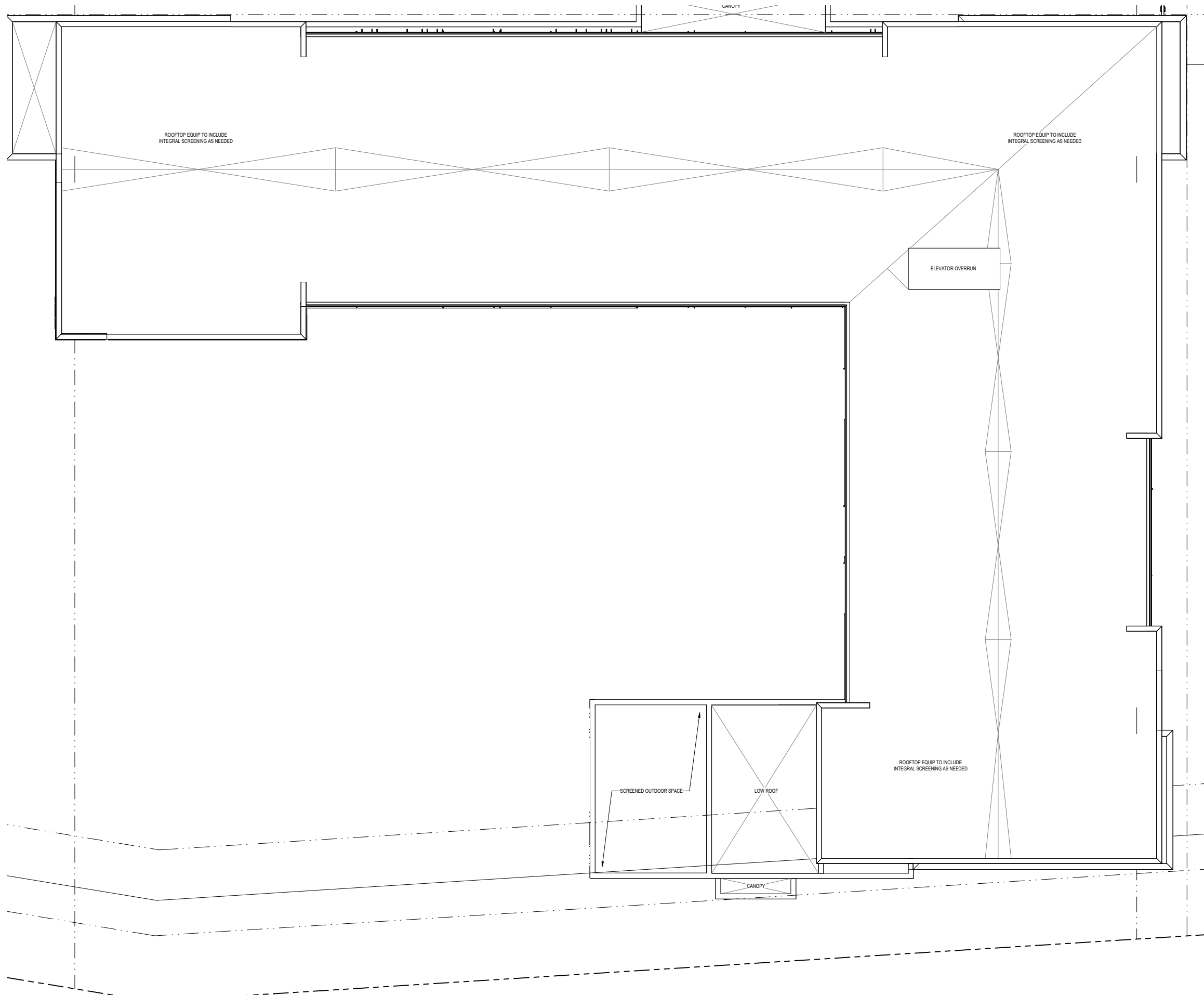




# PROPOSED TYPICAL PLAN



PREVIOUS ROOF PLAN



# PROPOSED ROOF PLAN





MODULAR BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



## PREVIOUS MATERIALS





MODULAR BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



## PROPOSED MATERIALS





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





## PROPOSED PERSPECTIVE





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





## PROPOSED PERSPECTIVE





**PREVIOUS PERSPECTIVE**





**PROPOSED PERSPECTIVE**





**PREVIOUS PERSPECTIVE**





## PROPOSED PERSPECTIVE

















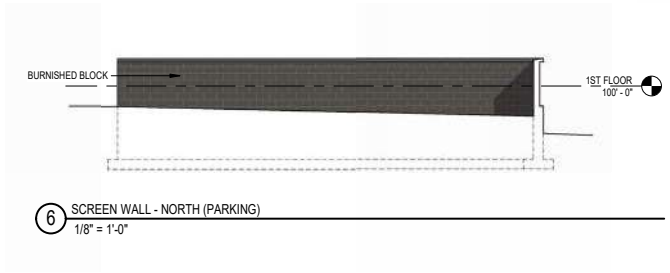
2 SOUTH ELEVATION  
1/8" = 1'-0"



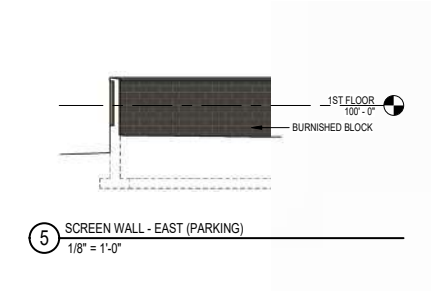
1 NORTH ELEVATION  
1/8" = 1'-0"

# PREVIOUS ELEVATIONS

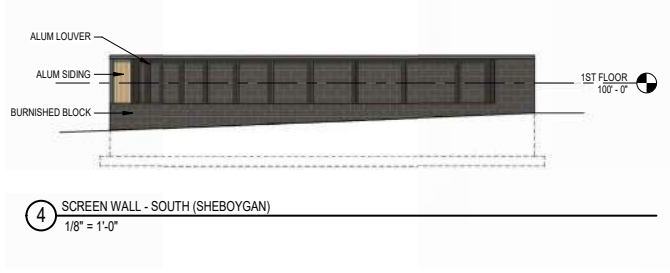




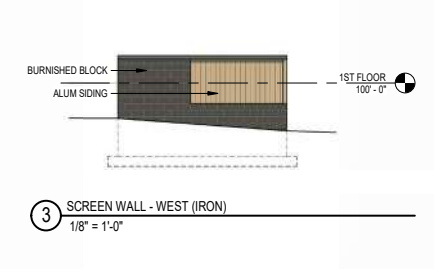
6 SCREEN WALL - NORTH (PARKING)  
1/8" = 1'-0"



5 SCREEN WALL - EAST (PARKING)  
1/8" = 1'-0"



4 SCREEN WALL - SOUTH (SHEBOYGAN)  
1/8" = 1'-0"



3 SCREEN WALL - WEST (IRON)  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATION  
1/8" = 1'-0"

# PREVIOUS ELEVATIONS





# PROPOSED ELEVATIONS



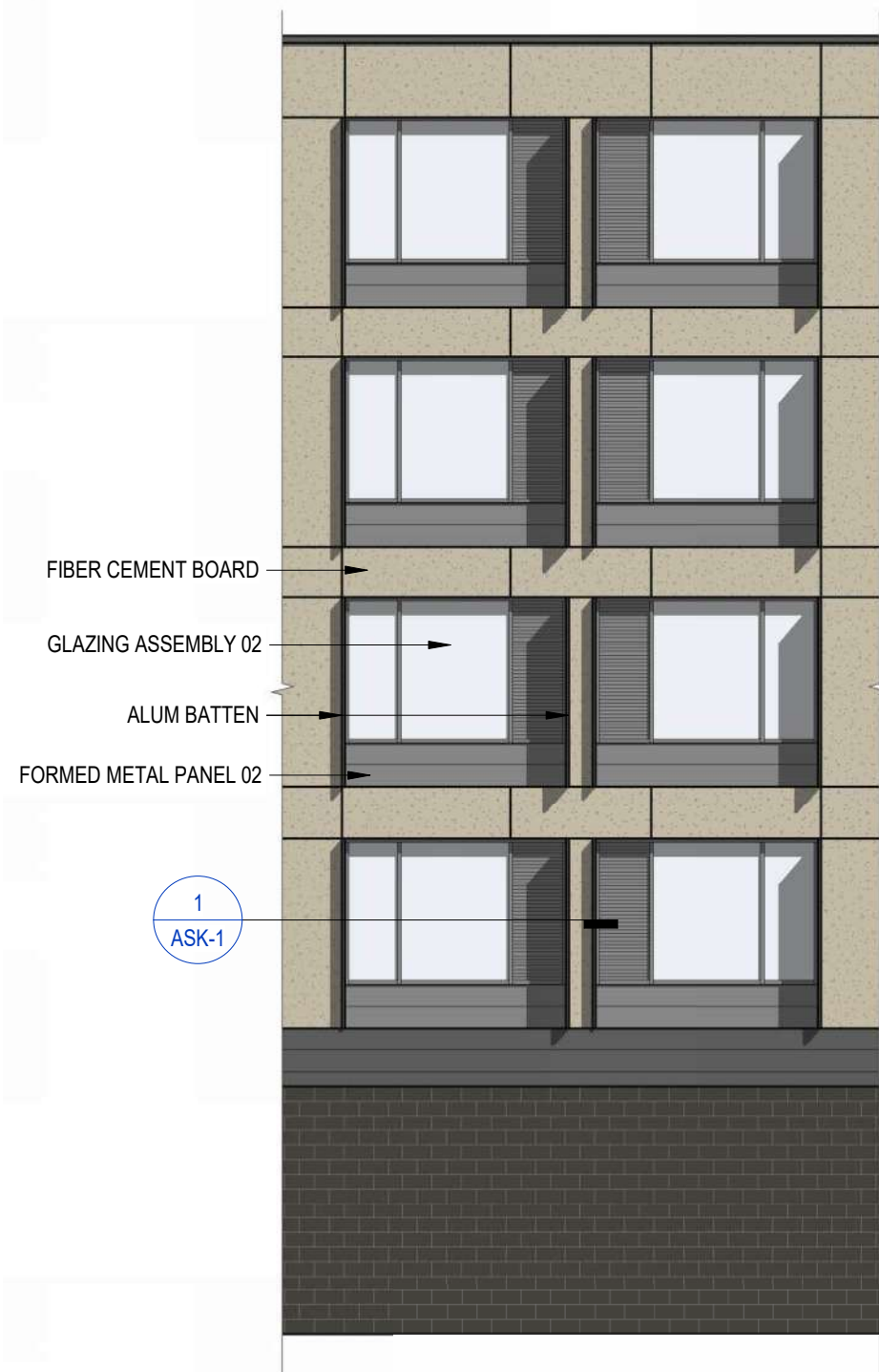


2 WEST ELEVATION  
1/8" = 1'-0"

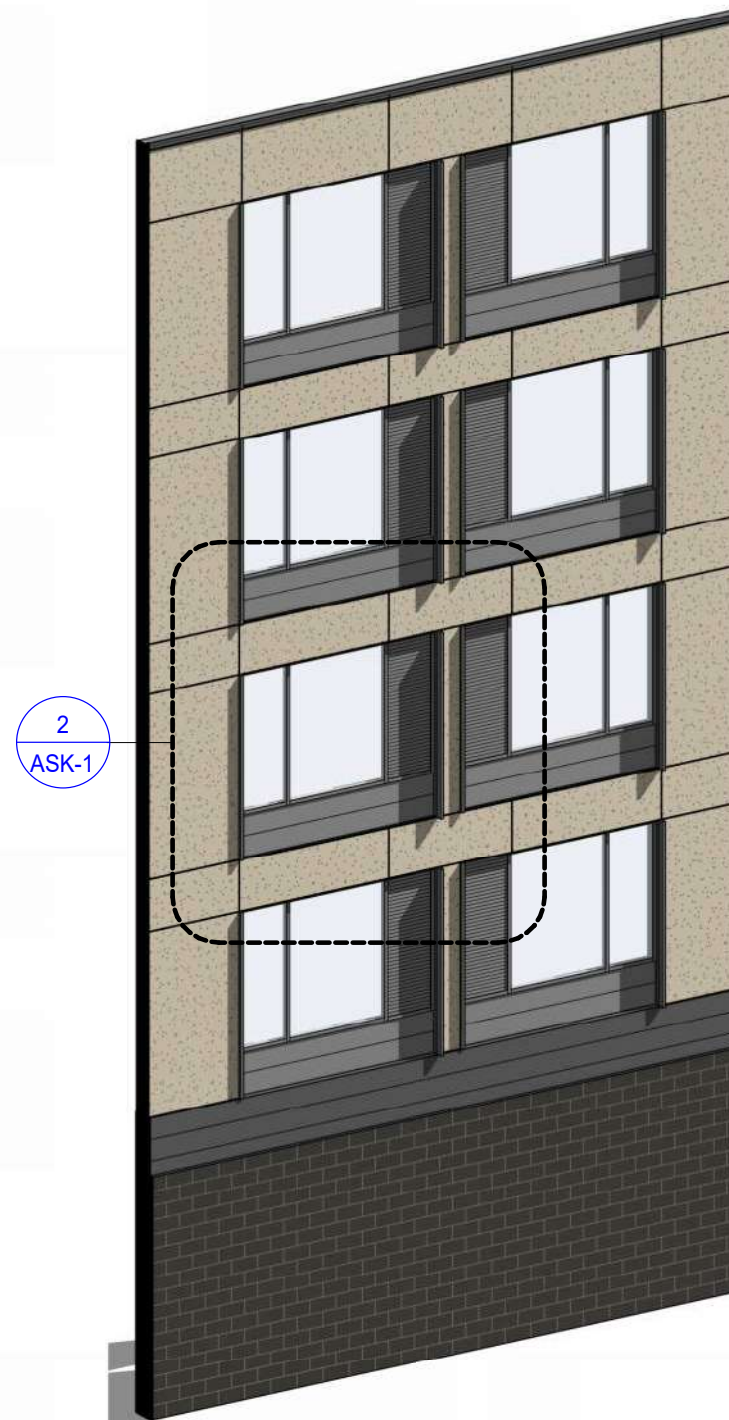


# PROPOSED ELEVATIONS

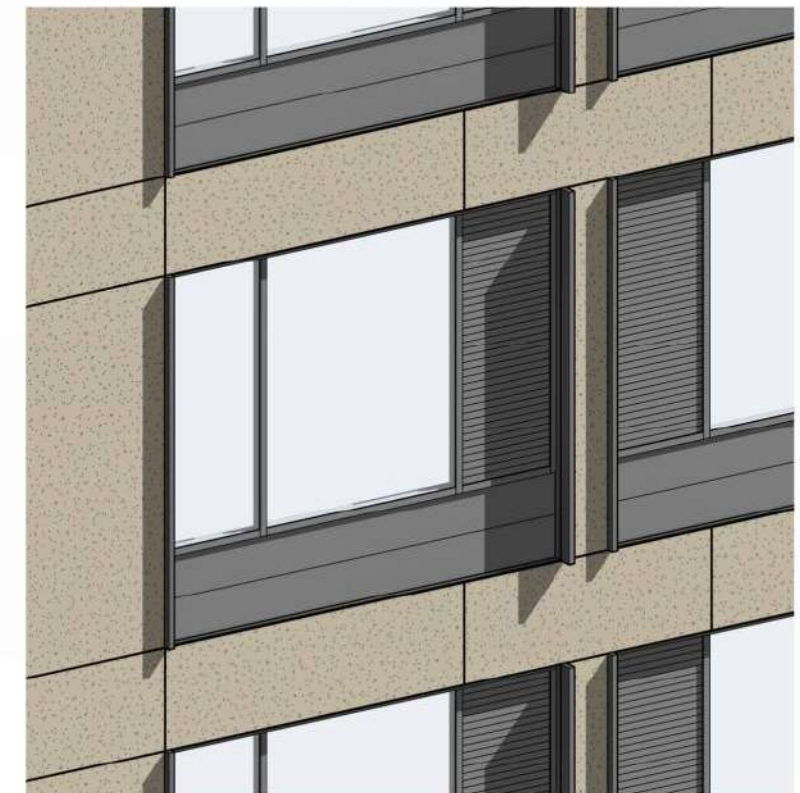




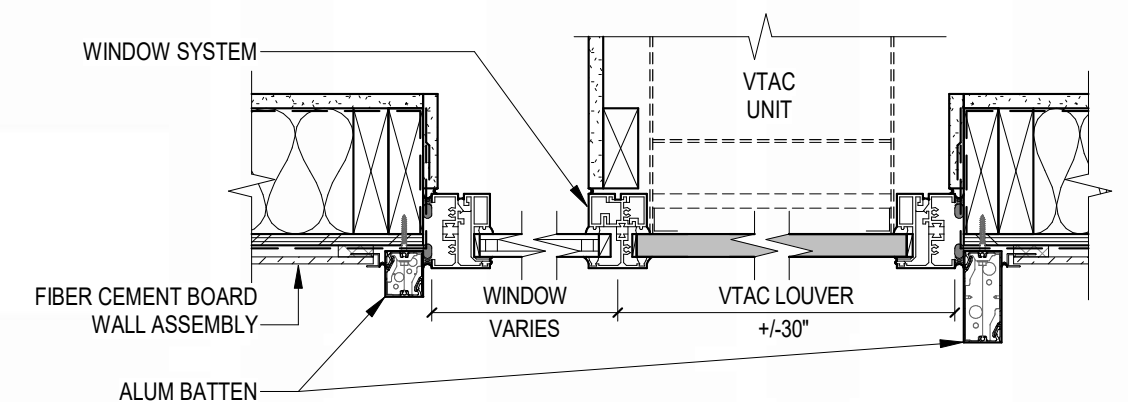
4 BAY ELEVATION - TYPICAL WINDOW



3 AXON - TYPICAL WINDOW BAY



2 AXON - TYPICAL WINDOW



1 PLAN DETAIL - WINDOW JAMB

## TYPICAL WINDOW



**Kahler Slater**

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SIP SUBMITTAL

# MADISON YARDS: BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

KAHLER SLATER PROJECT: 222093.00  
JULY 15, 2024

GENERAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
G000	COVER SHEET

CIVIL SHEET INDEX	
SHEET NUMBER	SHEET NAME
B4-C1.0	BLOCK 4 - NOTES & LEGEND
B4-C2.0	BLOCK 4 - OVERALL SITE PLAN
B4-C2.1	BLOCK 4 - SITE PLAN - ANNOTATED
B4-C2.2	BLOCK 4 - SITE PLAN - DIMENSIONED
B4-C3.0	BLOCK 4 - GRADING & EROSION CONTROL PLAN
B4-C4.0	BLOCK 4 - UTILITY PLAN
B4-C5.0	BLOCK 4 - DETAILS

LANDSCAPE SHEET INDEX	
SHEET NUMBER	SHEET NAME
B4-L1.0	BLOCK 4 LANDSCAPE PLAN
B4-L2.0	BLOCK 4 LANDSCAPE DETAILS & NOTES

ARCHITECTURAL SHEET INDEX	
SHEET NUMBER	SHEET NAME
A111	1ST FLOOR PLAN
A112	2ND - 5TH FLOOR PLANS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS



NOT FOR  
CONSTRUCTION

Revisions

SIP SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. 222093.00 RAYMOND  
MANAGEMENT  
COMPANY

Sheet Title  
COVER SHEET

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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603  
Telephone 312.789.4516

Sheet No.  
G000



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
  - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC INC. DATED FEBRUARY 27, 2018 (REPORT C17549).
  - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - 1.3. SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
  - 2.1. CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - 2.2. WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - 2.3. GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - 2.4. CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - 2.5. BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - 2.6. SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - 2.7. ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

3. CONCRETE PAVING SPECIFICATIONS
  - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
  - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
  - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
  - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

CONSTRUCTION SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT SOCK AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR RECONSTRUCTED IMMEDIATELY UPON INSPECTION.
6. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK. THE USE OF 3" CLEAR STONE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
8. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
9. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNCOVERED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
10. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DETAILED TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WORK TECHNICAL STANDARDS 1052 AND 1053.
13. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
14. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
15. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDMR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR REQUIREMENTS.
16. STABILIZATION PRACTICES:
  - 17.1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
    - 17.2. THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
    - 17.3. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (IE, THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT NEED TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
    - 17.4. STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
      - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
      - TEMPORARY SEEDING, MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
      - HYDRO-MULCHING WITH A TACKIFIER
      - GEOTEXTILE EROSION MATTING
      - SODDING

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING: SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PEROVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK.
  - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. ALL WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS –
  - PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
  - INLETS – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS" OR APPROVED EQUAL WITH A 1'-6" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE MINIMAH 6'-30" WITH TYPE R GRATE, OR EQUAL.
  - BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE AS SHOWN ON SHEET C4.0.
  - FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
13. WATER MAIN SPECIFICATIONS –
  - PIPE – DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON G.D. AND INTEGRAL ELASTOMERIC BELL AND SPOUT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382-3Q(11)(h).
  - VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
  - HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
  - BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
  - BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
14. SANITARY SEWER SPECIFICATIONS –
  - PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
  - BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
  - BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
  - MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE AS SHOWN ON SHEET C4.0.
15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

CITY FORESTRY NOTES

1. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
2. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm).
3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
4. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERCTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL BE THE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 – PART 1 STANDARDS FOR PRUNING.
7. ADDITIONAL STREET TREES ARE NEEDED FOR THIS PROJECT. TREE PLANTING SPECIFICATIONS CAN BE FOUND IN SECTION 209 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/CW/SPECS.CFM](https://www.cityofmadison.com/business/cw/specs.cfm)) – ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT OF WAY SHALL BE DETERMINED BY CITY FORESTRY. A LANDSCAPE PLAN AND STREET TREE PLANTING PLAN SHALL BE SUBMITTED IN PDF FORMAT TO CITY FORESTRY FOR APPROVAL OF PLANTING LOCATIONS WITHIN THE RIGHT OF WAY AND TREE SPECIES. ALL AVAILABLE STREET TREE PLANTING LOCATIONS SHALL BE PLANTED WITHIN THE PROJECT BOUNDARIES.
8. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

CITY TRAFFIC ENGINEERING NOTES

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- BUILDING SETBACK LINE
- PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- STORMWATER MANAGEMENT AREA
- RETAINING WALL
- RAILING
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BIKE RACK
- SANCT EXISTING PAVEMENT
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- SILT LOG
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- SPOT ELEVATION
  - EP – EDGE OF PAVEMENT
  - FG – FINISH GRADE
  - ED – EDGE OF CONCRETE
  - B/C – BACK OF CURB
  - MATCH – MATCH EXISTING GRADE
  - HP – HIGH POINT
  - SW – SIDEWALK
- FRAMED INLET PROTECTION

Revisions

SIP SUBMITTAL

SCOPE DOCUMENTS

Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

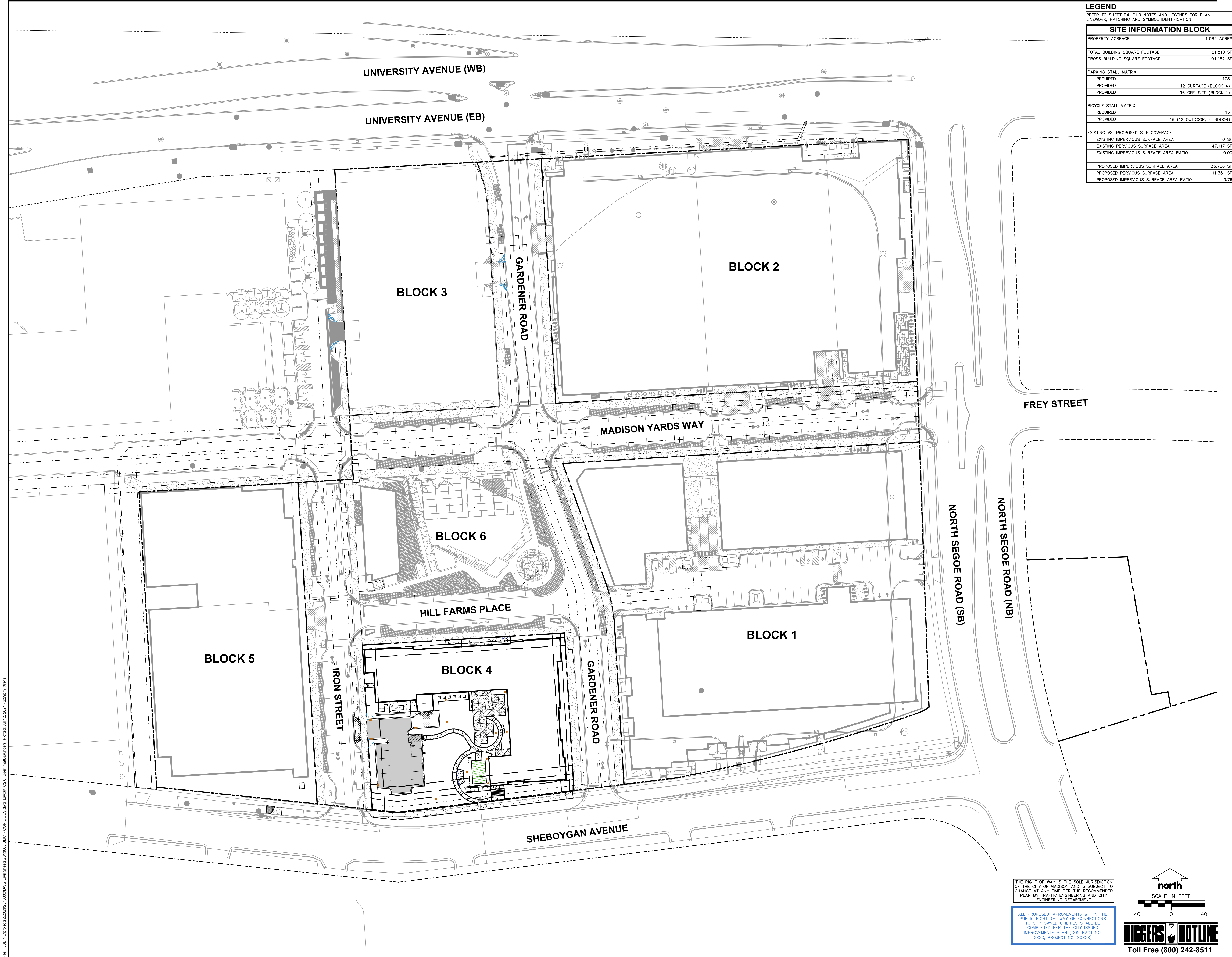
BLOCK 4 AT MADISON YARDS

Project No. HKS HOLDINGS  
222093.00  
Sheet Title  
BLOCK 4 - NOTES & LEGEND

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LEGEND	
REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION	
SITE INFORMATION BLOCK	
PROPERTY ACREAGE	1.082 ACRES
TOTAL BUILDING SQUARE FOOTAGE	21,810 SF
GROSS BUILDING SQUARE FOOTAGE	104,162 SF
PARKING STALL MATRIX	
REQUIRED	108
PROVIDED	12 SURFACE (BLOCK 4)
PROVIDED	96 OFF-SITE (BLOCK 1)
BICYCLE STALL MATRIX	
REQUIRED	15
PROVIDED	16 (12 OUTDOOR, 4 INDOOR)
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
EXISTING PERVIOUS SURFACE AREA	47,117 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
PROPOSED IMPERVIOUS SURFACE AREA	35,768 SF
PROPOSED PERVIOUS SURFACE AREA	11,351 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.76

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Revisions

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SCOPE DOCUMENTS  
Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

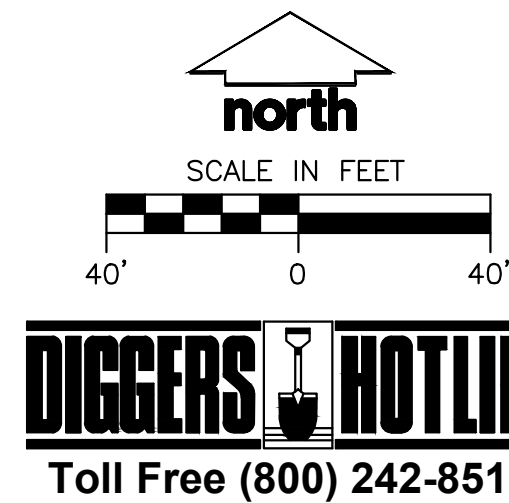
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222093.00

Sheet Title  
BLOCK 4 - OVERALL SITE  
PLAN

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Telephone 312.789.4516  
Sheet No.

THE RIGHT OF WAY IS THE SOLE JURISDICTION  
OF THE CITY OF MADISON AND IS SUBJECT TO  
CHANGE AT ANY TIME PER THE RECOMMENDED  
PLAN BY TRAFFIC ENGINEERING AND CITY  
ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE  
PUBLIC RIGHT-OF-WAY OR CONNECTIONS  
TO CITY OWNED UTILITIES SHALL BE  
COMPLETED PER THE CITY ISSUED  
IMPROVEMENTS PLAN (CONTRACT NO.  
XXXX, PROJECT NO. XXXXX)



B4-C2.0



LEGEND

REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

SITE INFORMATION BLOCK	
PROPERTY ACREAGE	1.082 ACRES
TOTAL BUILDING SQUARE FOOTAGE	21,810 SF
GROSS BUILDING SQUARE FOOTAGE	104,162 SF
PARKING STALL MATRIX	
REQUIRED	108
PROVIDED	12 SURFACE (BLOCK 4)
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EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
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EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
PROPOSED IMPERVIOUS SURFACE AREA	35,766 SF
PROPOSED PERVIOUS SURFACE AREA	11,351 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.76

NOTES

1. CONCRETE, SIDEWALK, PICTURE FRAME CONTROL JOINTS WITH BROOM FINISH
2. 18" CURB AND GUTTER (STANDARD)
3. 18" CURB AND GUTTER (REJECT)
4. FLUSH THICKENED EDGE SIDEWALK
5. ADA ACCESSIBLE RAMP (NLINE)
6. WARNING DETECTOR
7. ASPHALT PAVEMENT
8. REINFORCED CONCRETE PAVEMENT
9. BIKE RACK (REFER TO DETAIL)
10. ADA PARKING SIGN
11. FREESTANDING MASONRY SCREEN WALL (REFER TO ARCHITECTURAL)
12. MG&E TRANSFORMER PAD AND TERMINATION CABINET (CONTRACTOR SHALL COORDINATE AND CONFIRM FINAL PLACEMENT WITH MG&E PRIOR TO BIDDING AND INSTALLATION).
13. GENERATOR PAD (PAD SPECIFICATIONS TO BE DESIGNED BY OTHERS).
14. PAVEMENT STRIPING (4" WIDE), TYP
15. ADA STALL PAVEMENT STRIPING, TYP
16. TYPE R1-1 STOP SIGN
17. CONCRETE STOOP, STAIRCASE, AND RAILING (REFER TO ARCHITECTURAL)
18. 2'-0" BICYCLE OVERHANG
19. ADA PARKING SYMBOL
20. TREE GRATE (REFER TO LANDSCAPE)
21. COMMERCIAL ENTRANCE
22. CONCRETE SIDEWALK, INTEGRAL CHARCOAL COLOR, SAW CUT CONTROL JOINTS, LIGHT BROOM FINISH
23. MOVEABLE PLANTER (SPECIFICATION TO BE DETERMINED)
24. TABLES AND CHAIRS (SPECIFICATION TO BE DETERMINED)
25. NATURAL GAS FIRE FEATURE (SPECIFICATION TO BE DETERMINED)
26. MOVABLE PLAY FEATURE (BY OWNER)
27. CONCRETE BOLLARD W/ STEEL PIPE
28. 6" BENCH (SPECIFICATION TO BE DETERMINED)
29. ADA RAMP W/ HANDRAIL (SPECIFICATION TO BE DETERMINED)
30. FLAGPOLE (BY OWNER)
31. SYNTHETIC TURF
32. NATURAL GAS GRILL (REFER TO ARCHITECTURAL)
33. ISLAND (REFER TO ARCHITECTURAL)
34. "NO PARKING EXCEPT FOR ELECTRIC VEHICLES" SIGN

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Revisions

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SCOPE DOCUMENTS

Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

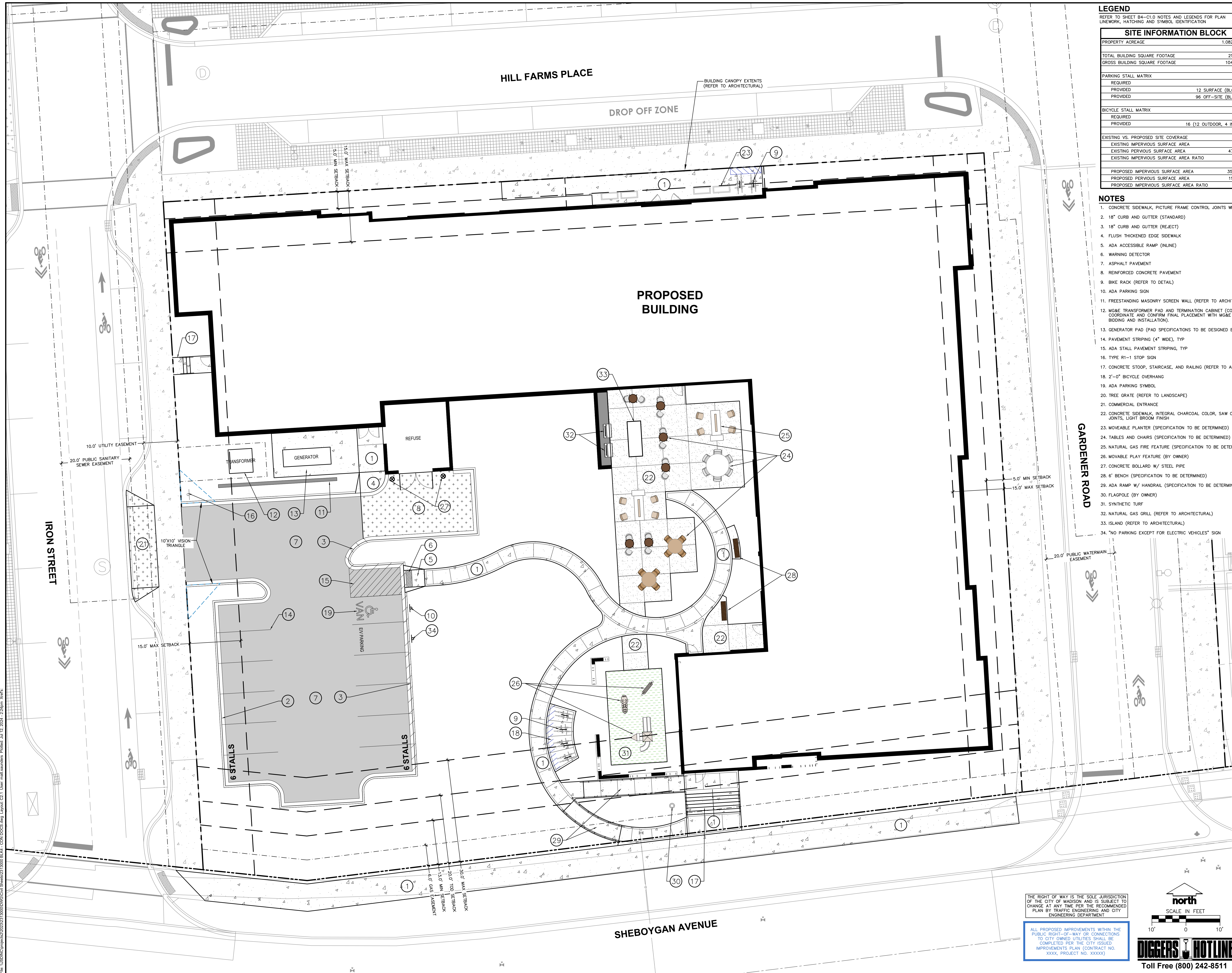
BLOCK 4 AT MADISON YARDS

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222093.00

Sheet Title  
**BLOCK 4 - SITE PLAN -  
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Sheet No.

B4-C2.1



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LEGEND

REFER TO SHEET B4-C10 NOTES AND LEGENDS FOR PLAN  
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

Revisions

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SCOPE DOCUMENTS

Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

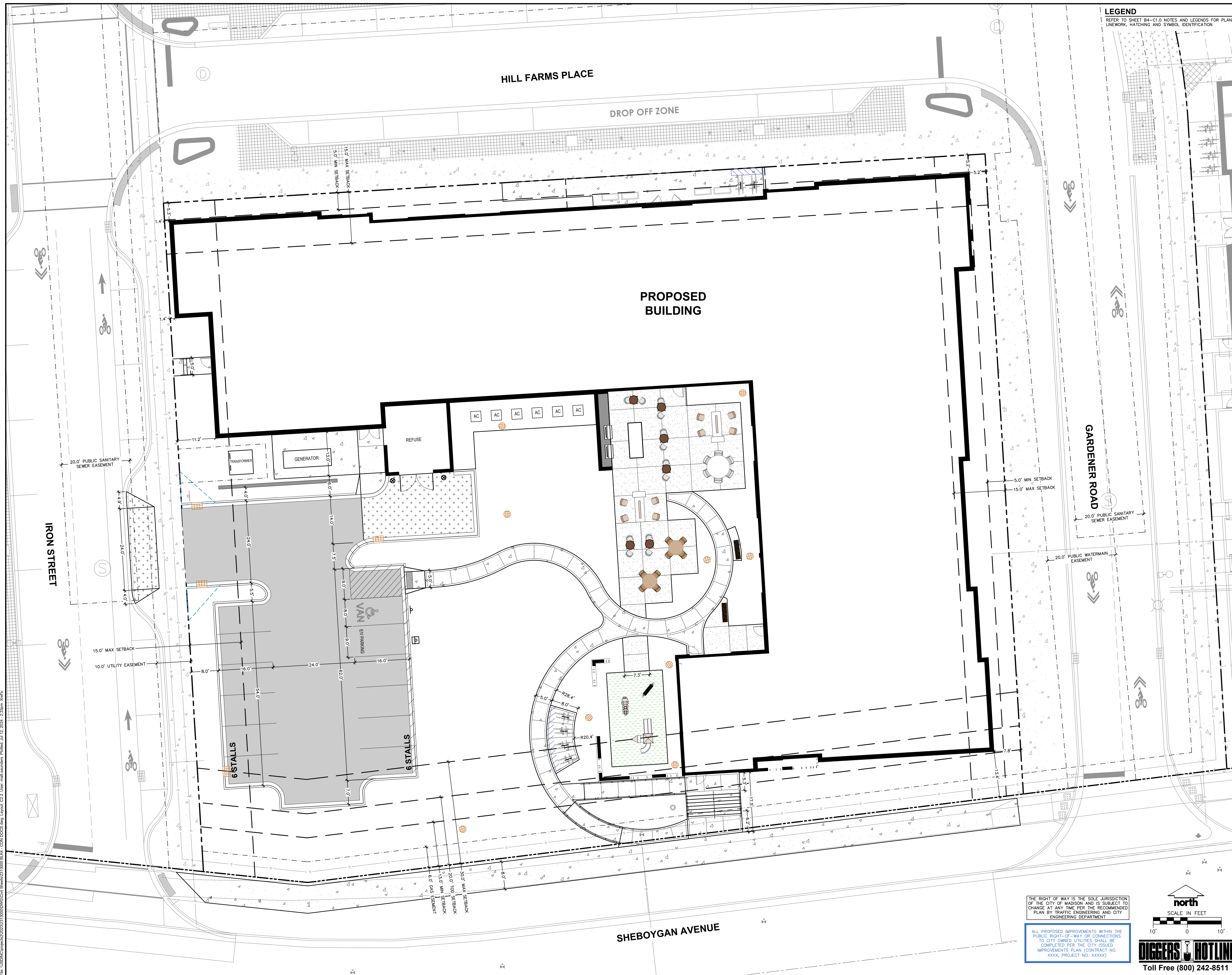
BLOCK 4 AT MADISON YARDS

Project No. HKS HOLDINGS  
222093.00

Sheet Title  
**BLOCK 4 - SITE PLAN -  
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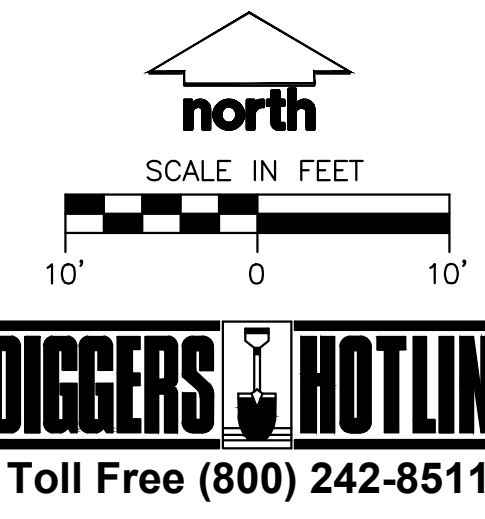
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B4-C2.2

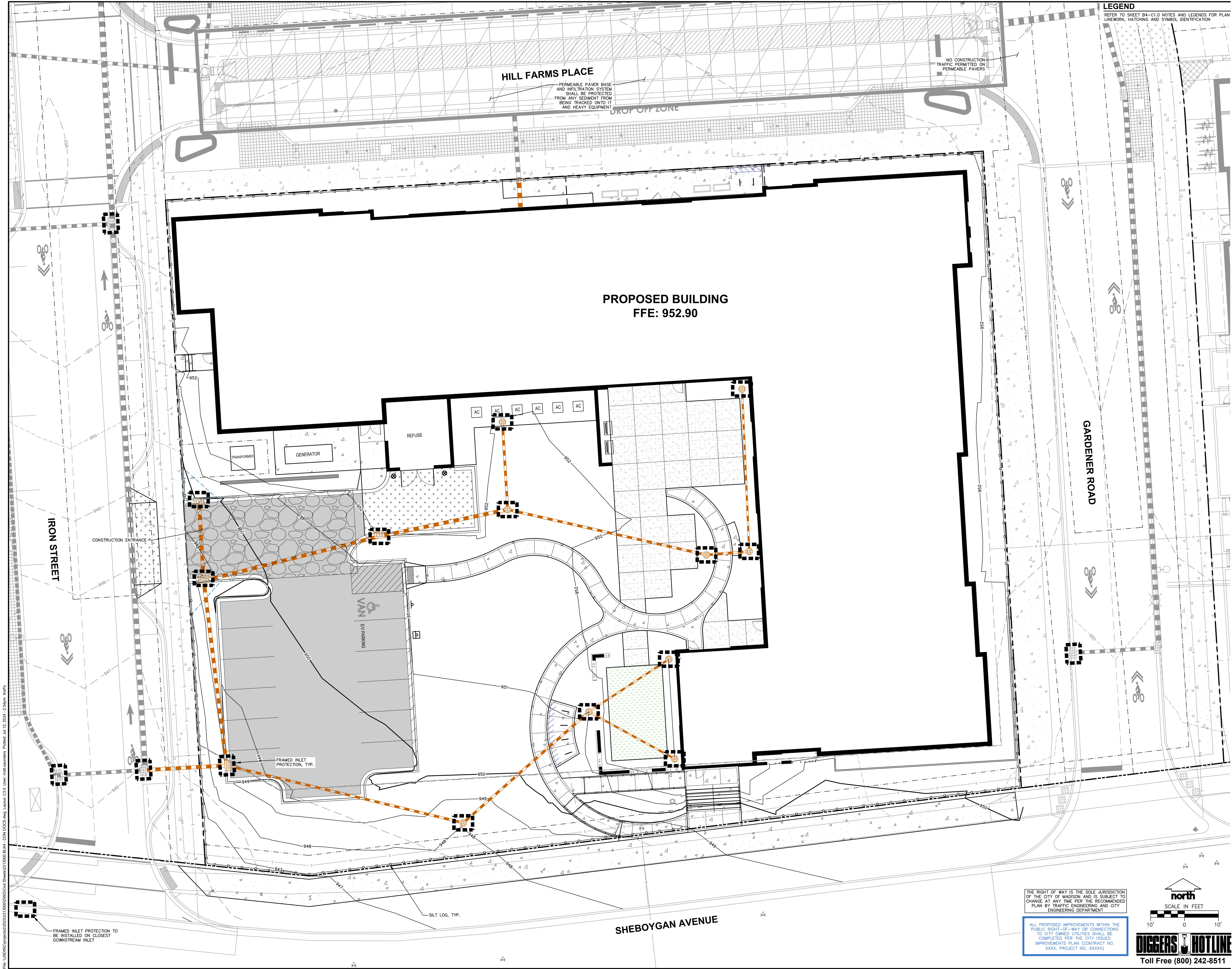


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PLAN BY TRAFFIC ENGINEERING AND CITY  
ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE  
PUBLIC RIGHT-OF-WAY OR CONNECTIONS  
TO CITY OWNED UTILITIES SHALL BE  
COMPLETED PER THE CITY ISSUED  
IMPROVEMENTS PLAN (CONTRACT NO.  
XXXX, PROJECT NO. XXXXX)







**LEGEND**  
REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN  
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

**Kahler Slater**

**JSD**  
jsdinc.com

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Revisions

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SCOPE DOCUMENTS

Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. HKS HOLDINGS  
222093.00

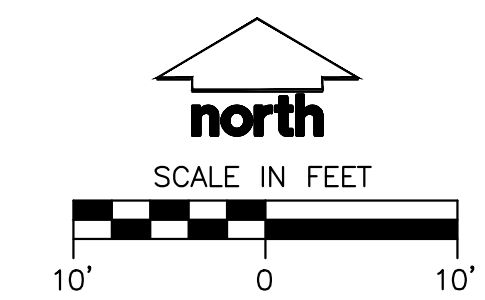
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**BLOCK 4 - GRADING &  
EROSION CONTROL PLAN**

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**B4-C3.0**

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**BLOCK 4 - UTILITY PLAN**

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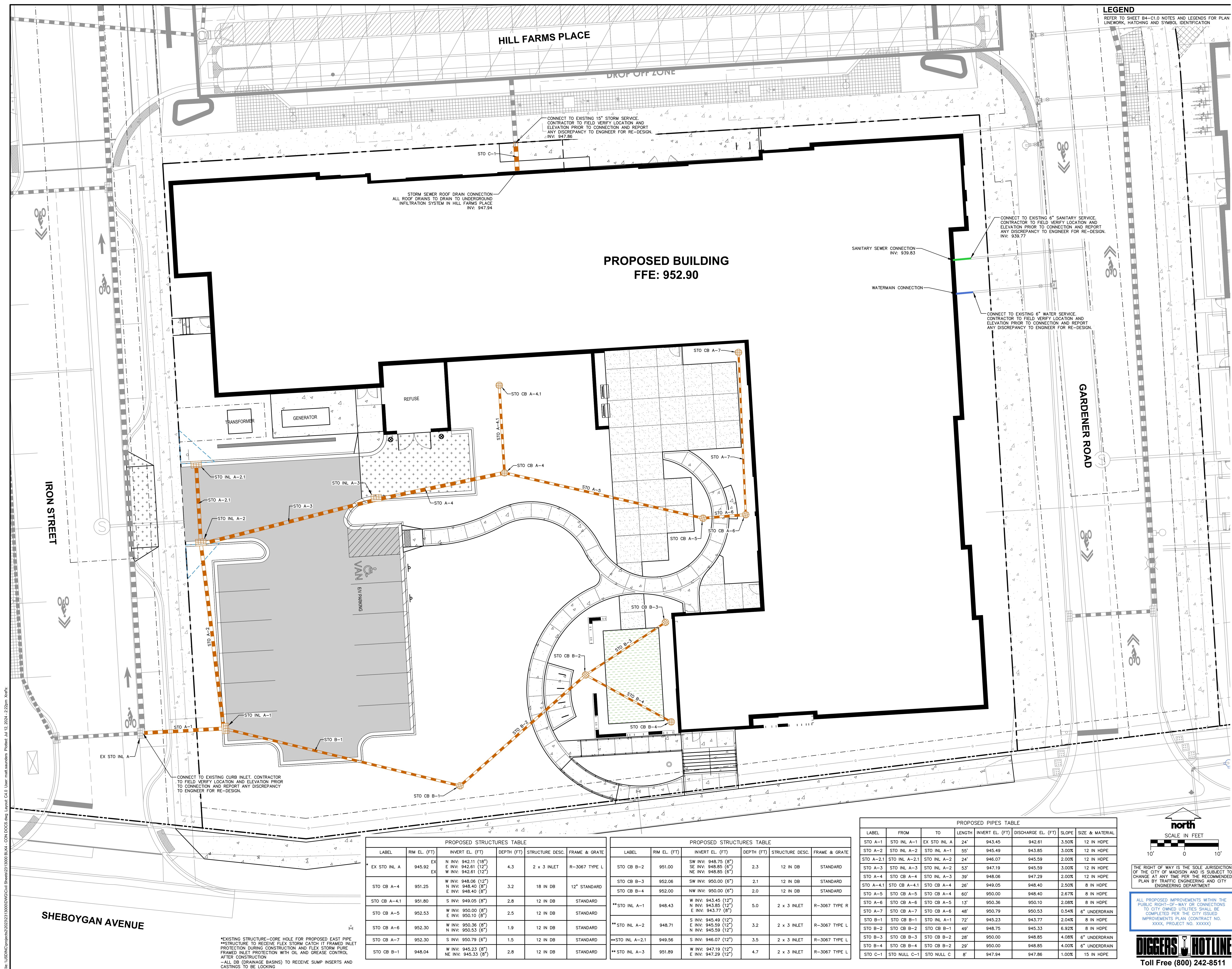
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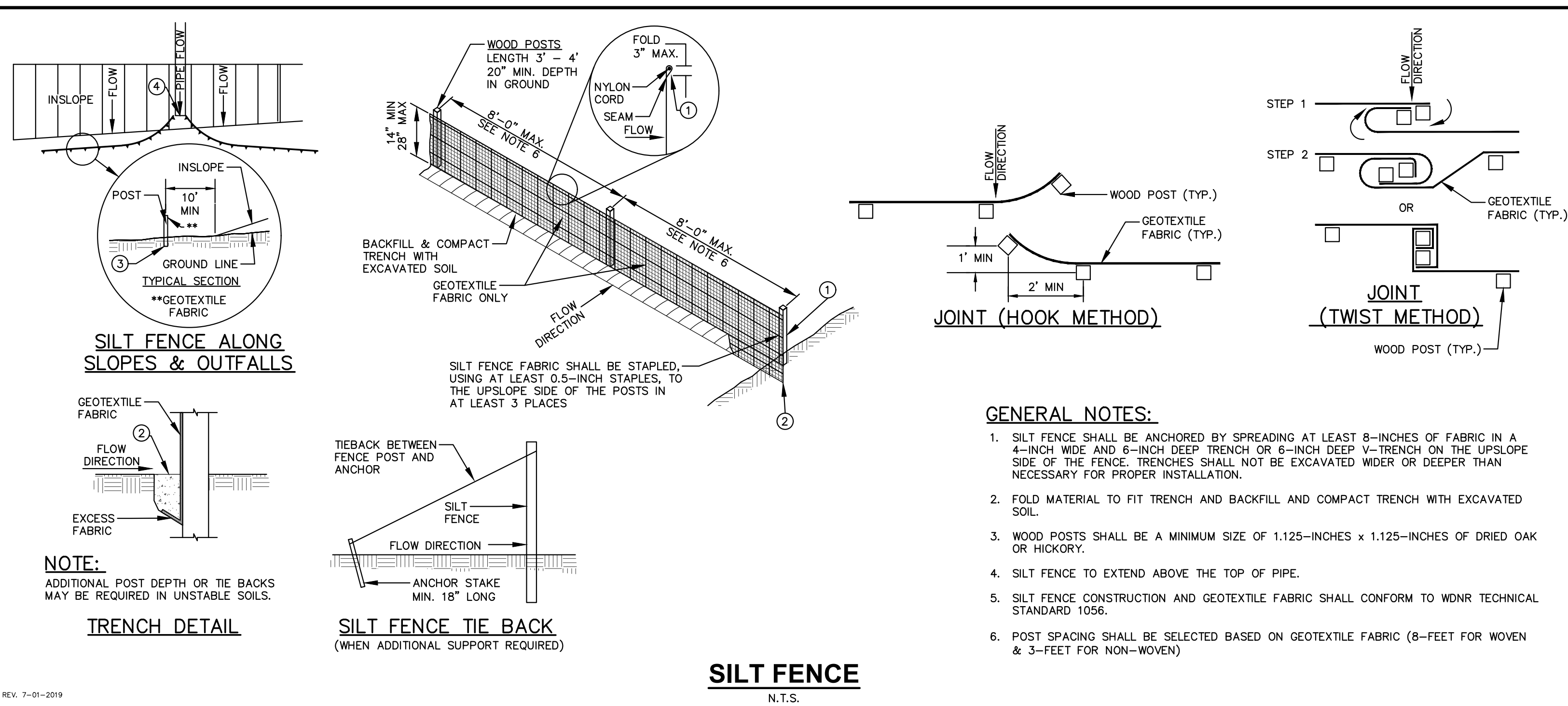
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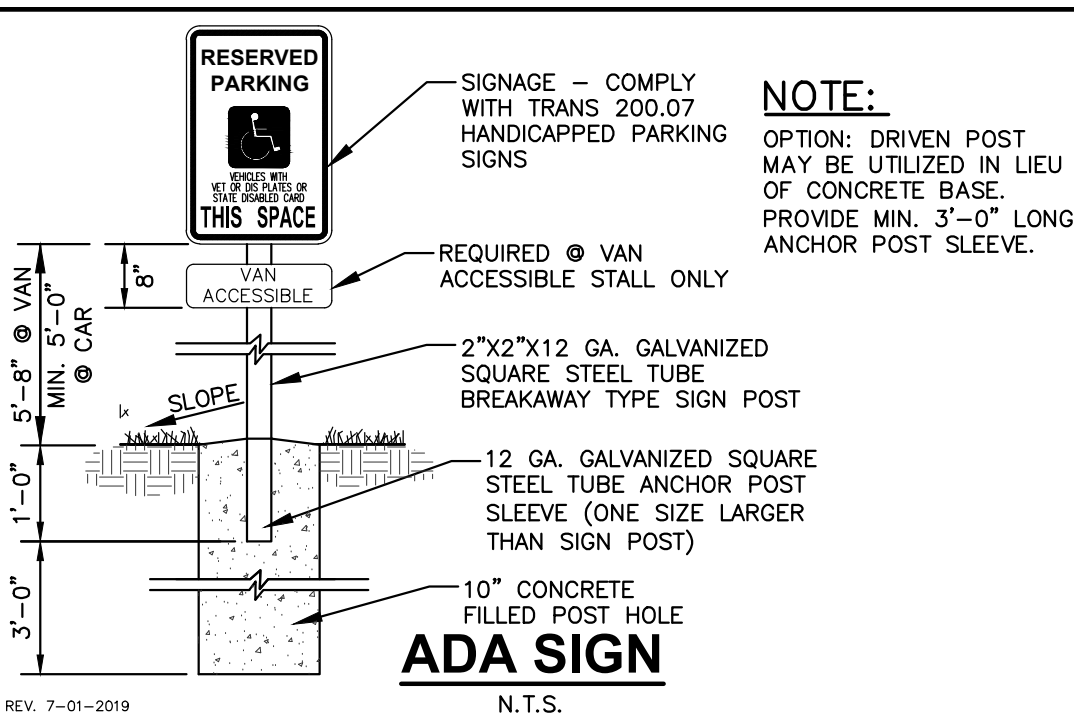
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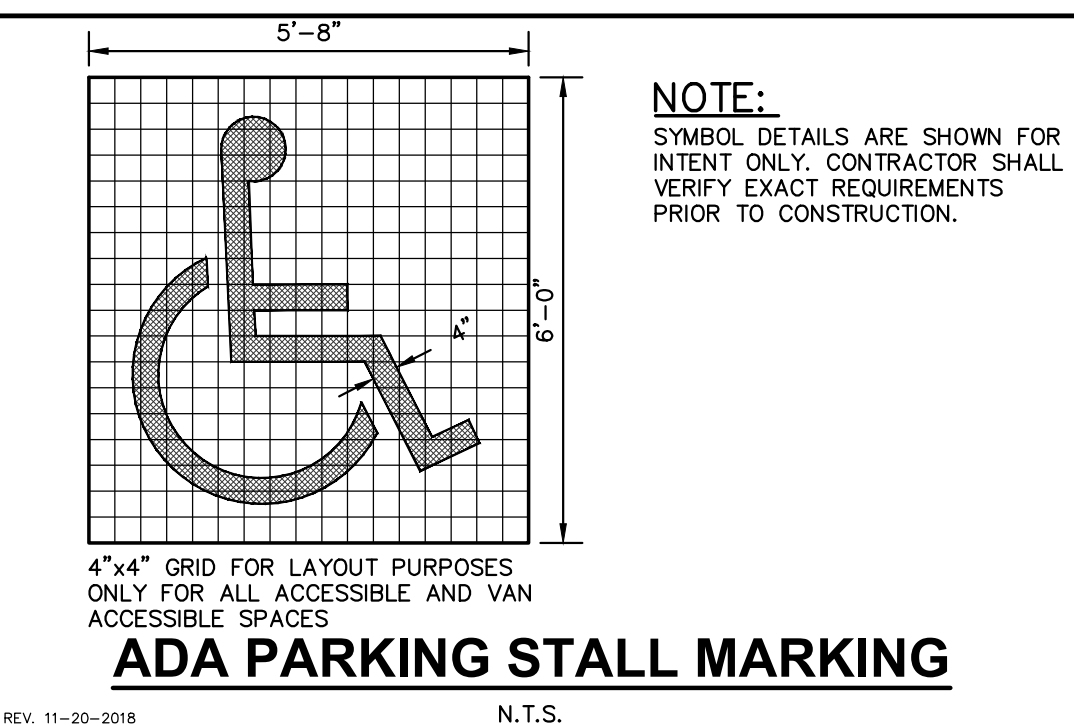




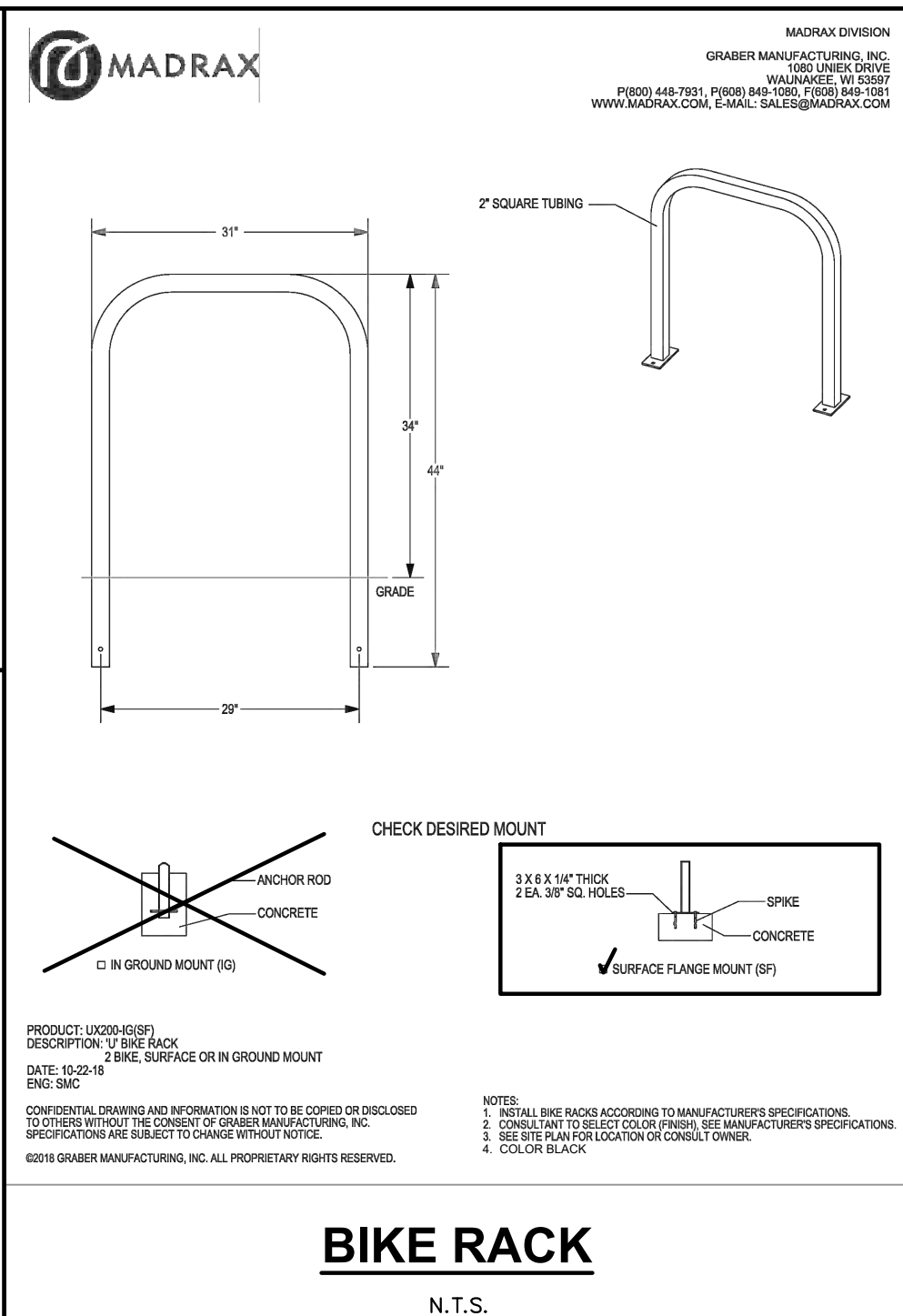
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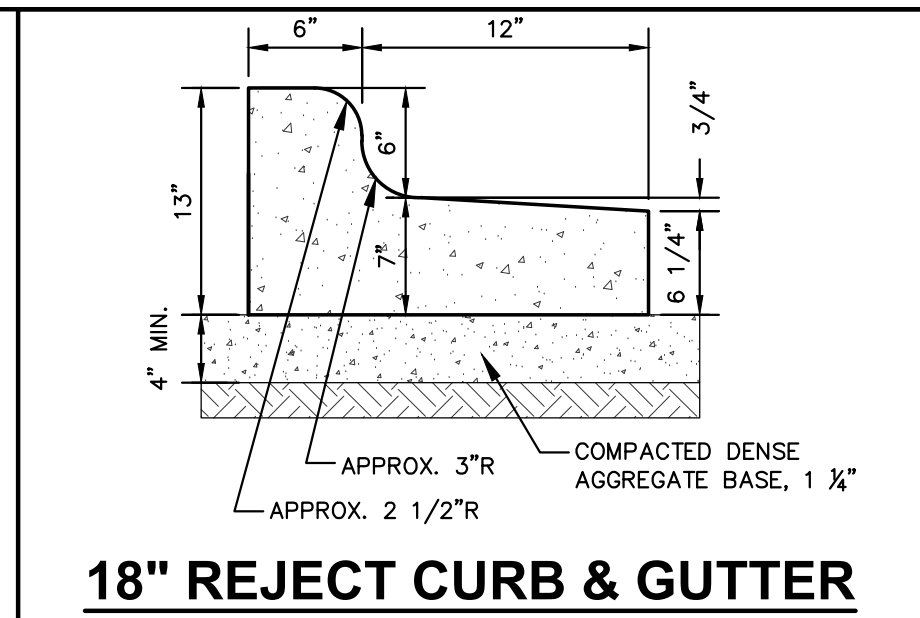
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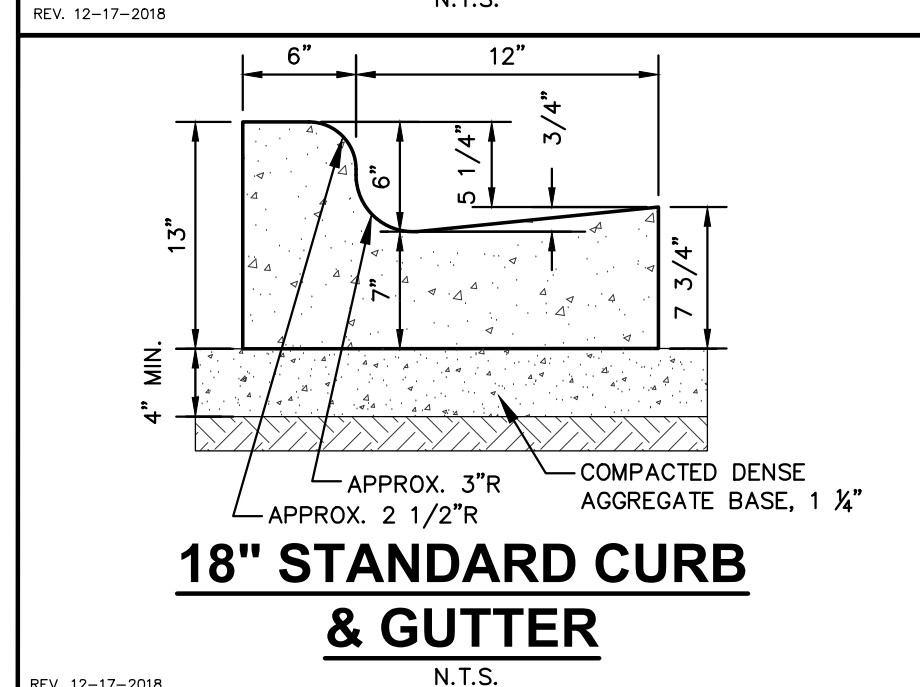
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REV. 11-20-2018

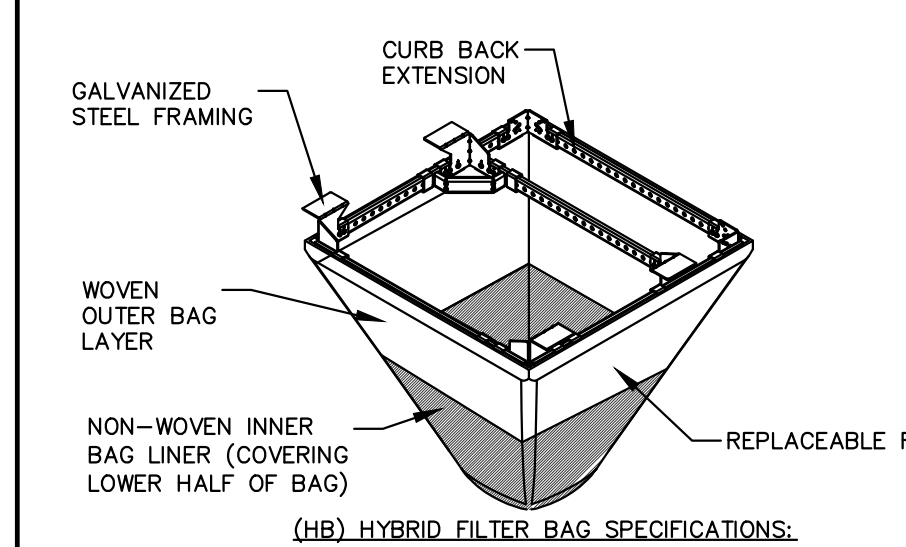


REV. 12-17-2018



REV. 12-17-2018

## FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS

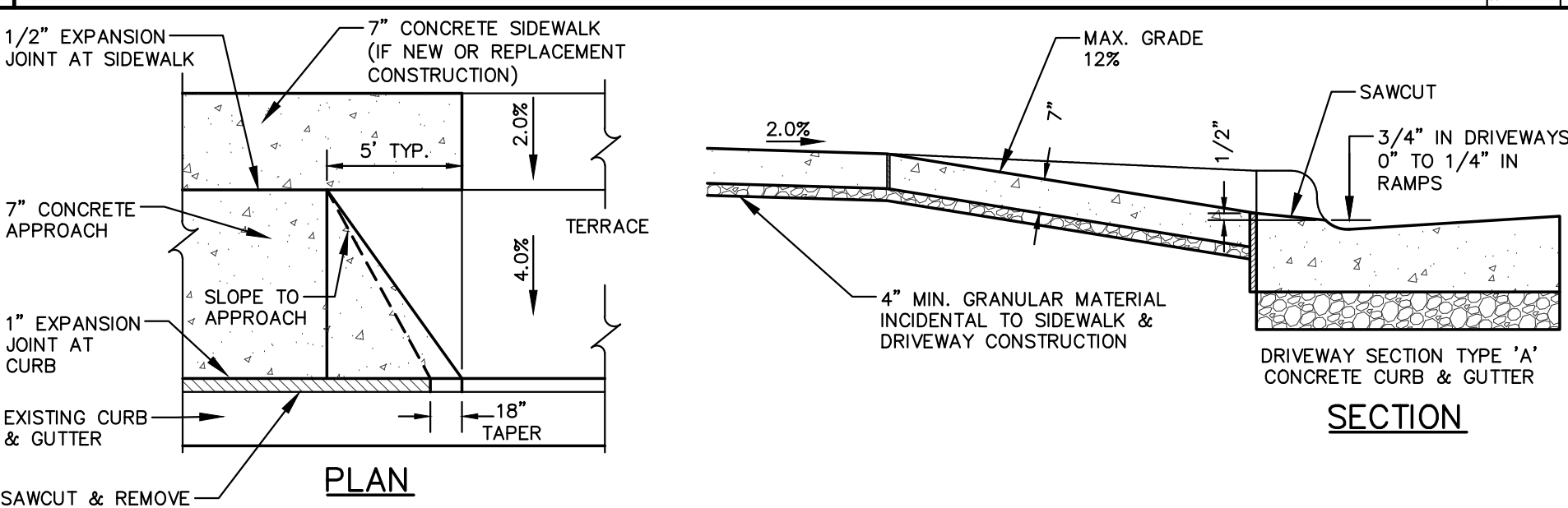


CATCH-IT INLET FILTER (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS) HB (Hybrid Bypass)	ADS PIN	
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62L/CBEXTHB
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62L/CB3624HB
3030	Square Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7	2.2	62M/CB2316HB
3067-C	Square Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62L/CB3624HB
R-2501	Round (RD)	~26	~24	2.3	0.8	5.2	62M/RD25HB
R-1772/2500	Round (RD)	22.25 x 23.5	20.5 x 21	1.5	0.6	4.8	62M/RD22HB

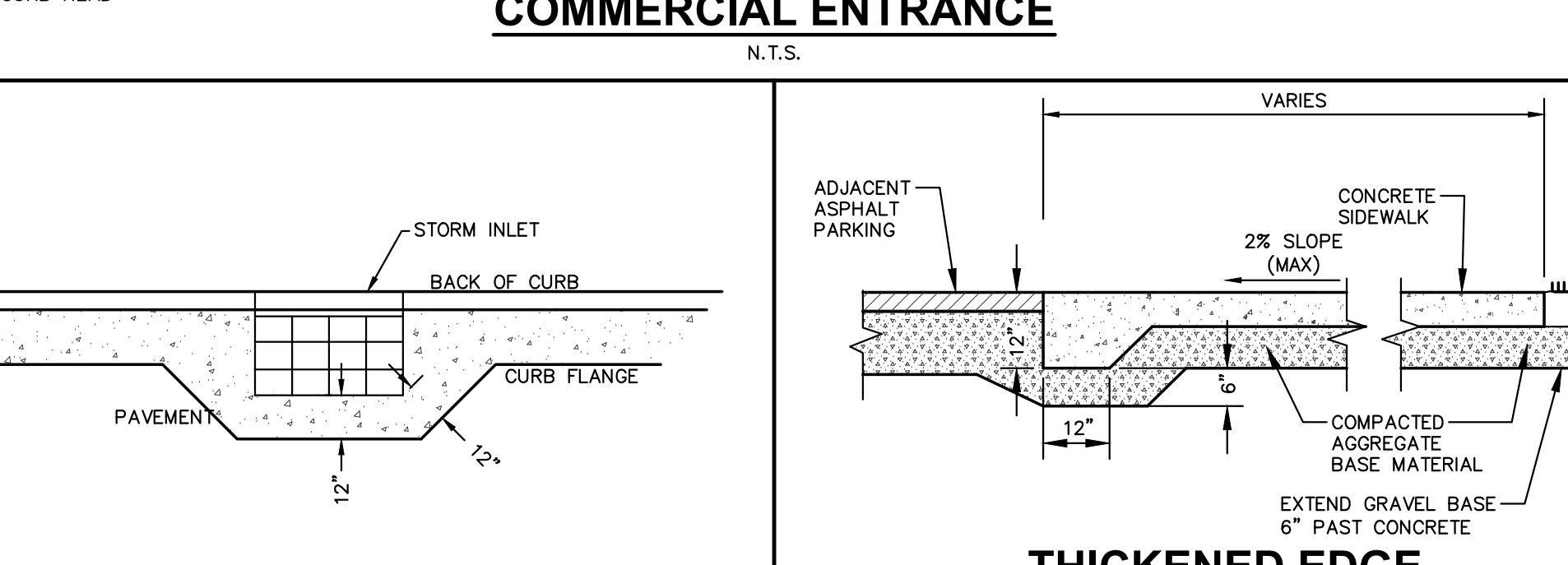
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## FRAMED INLET PROTECTION

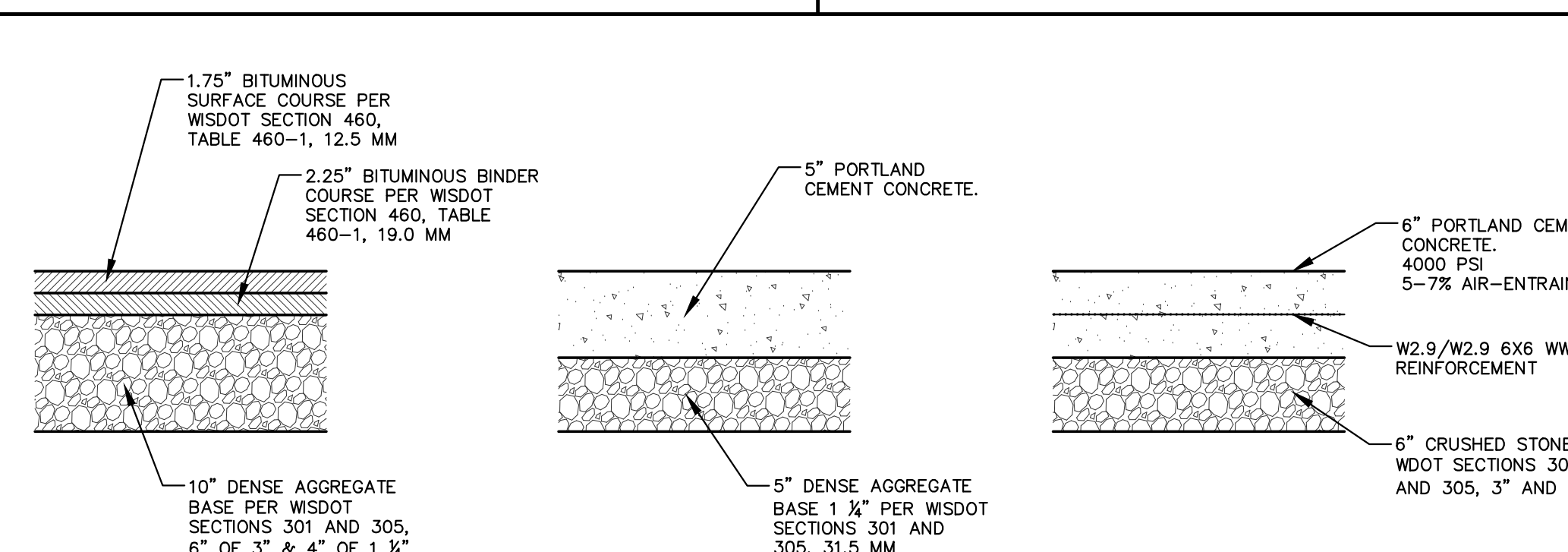
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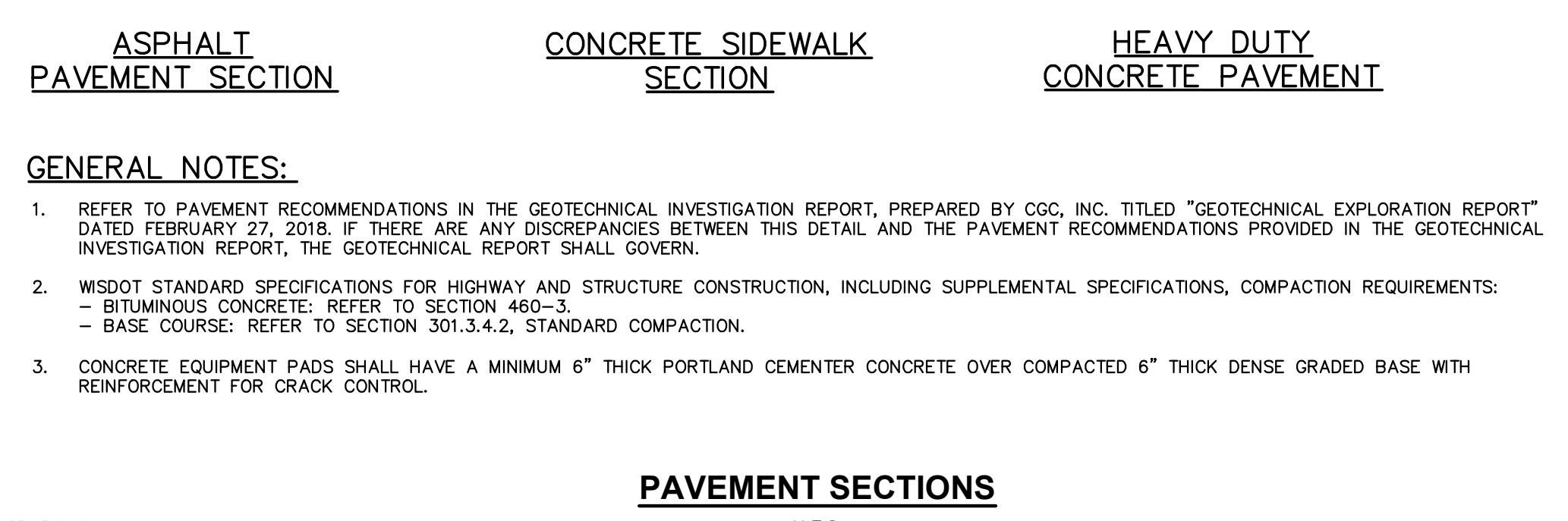
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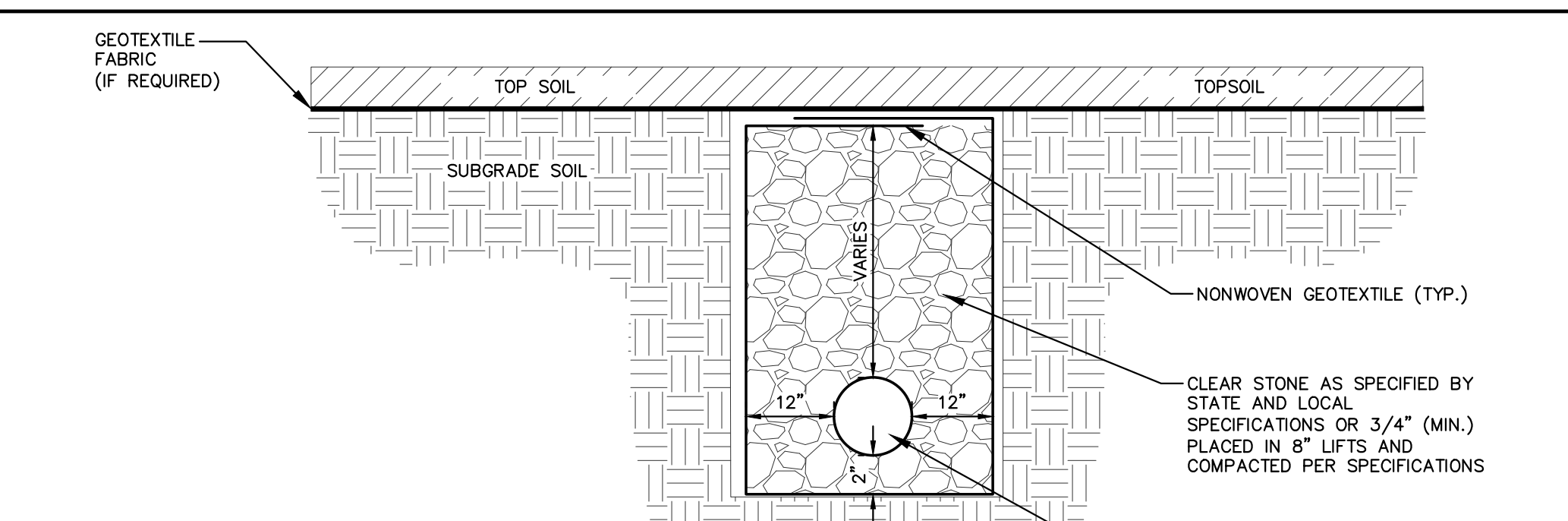
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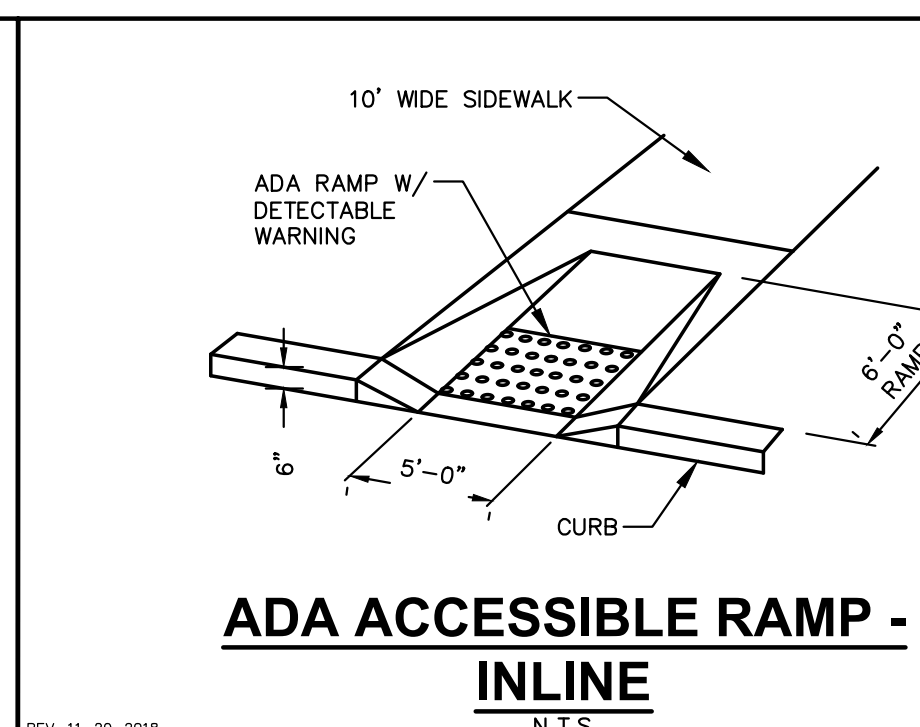
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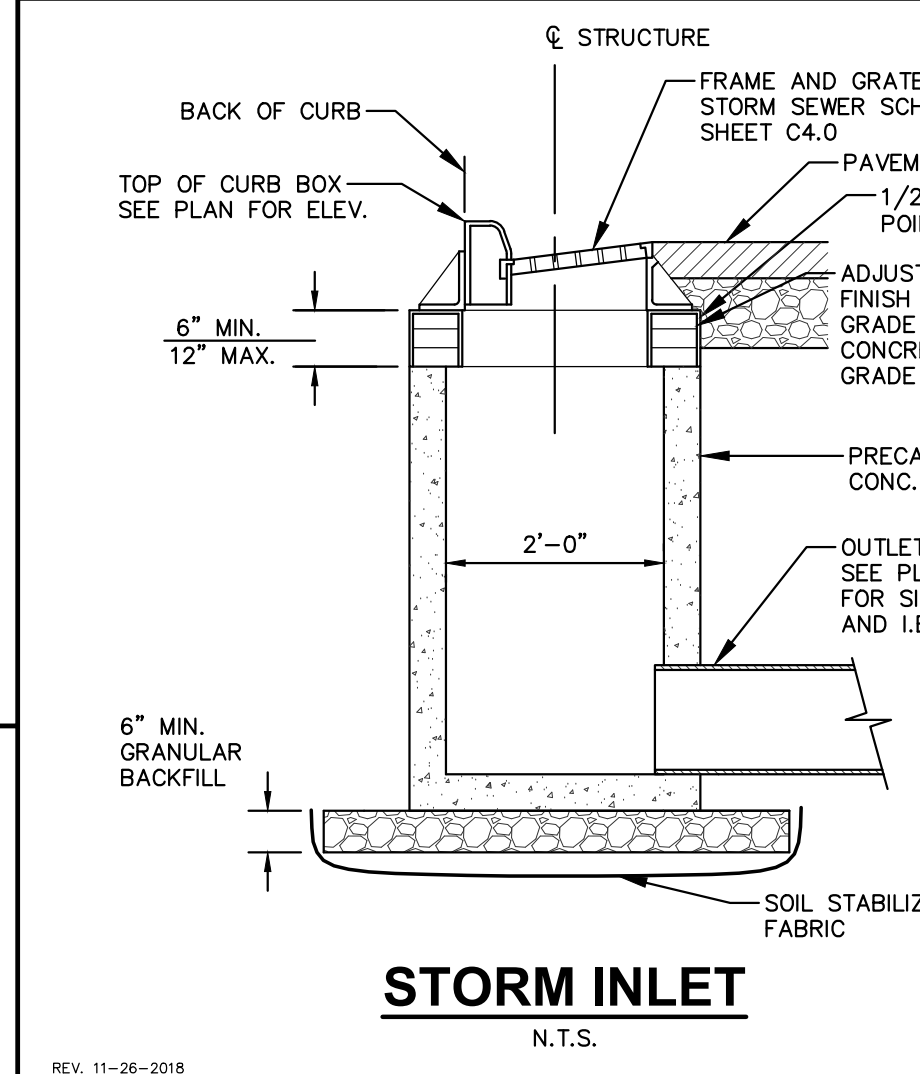
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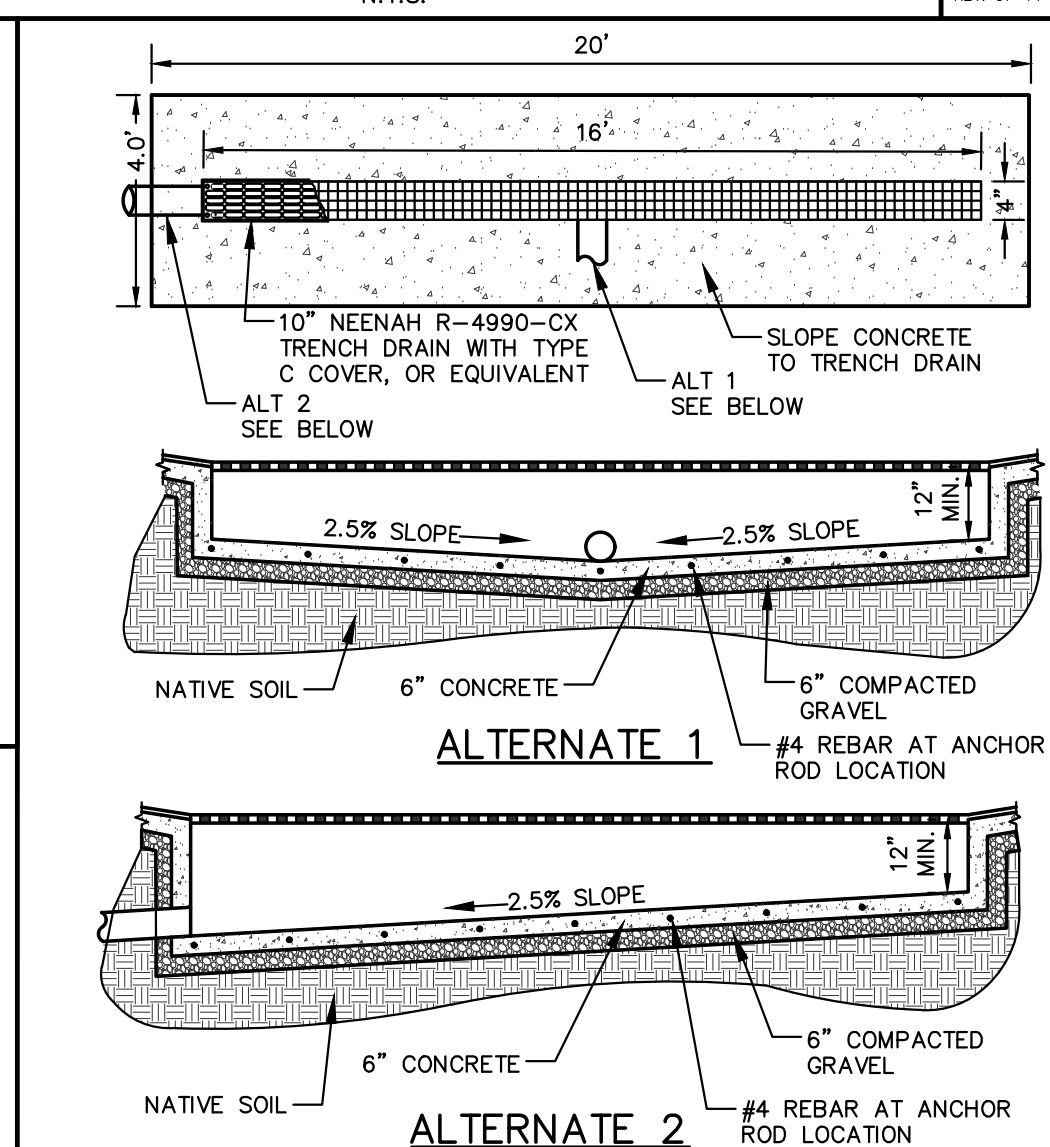
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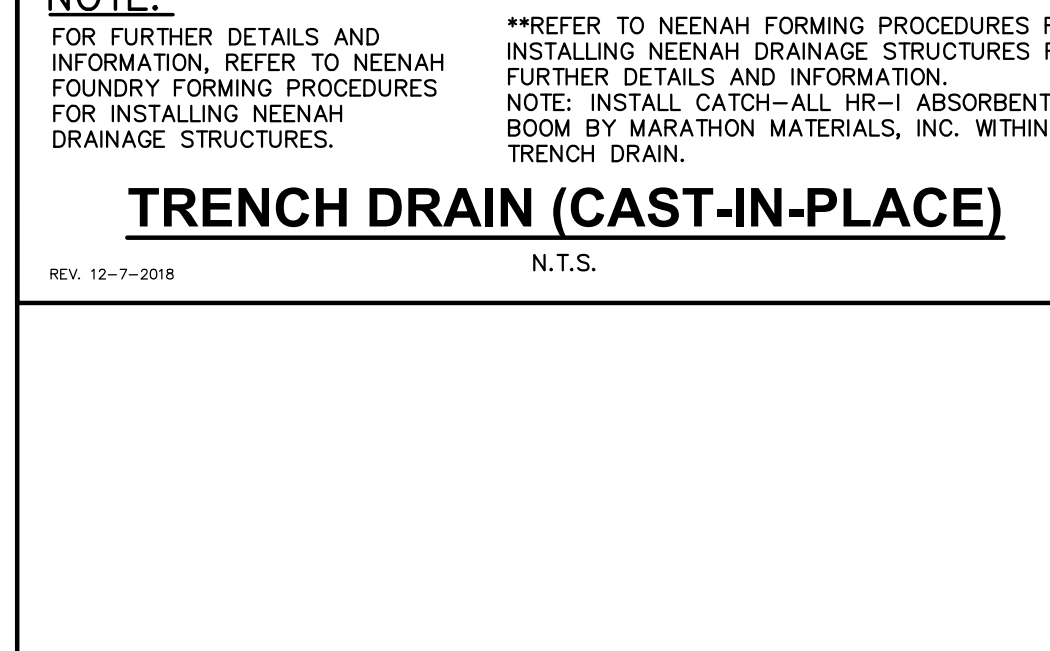
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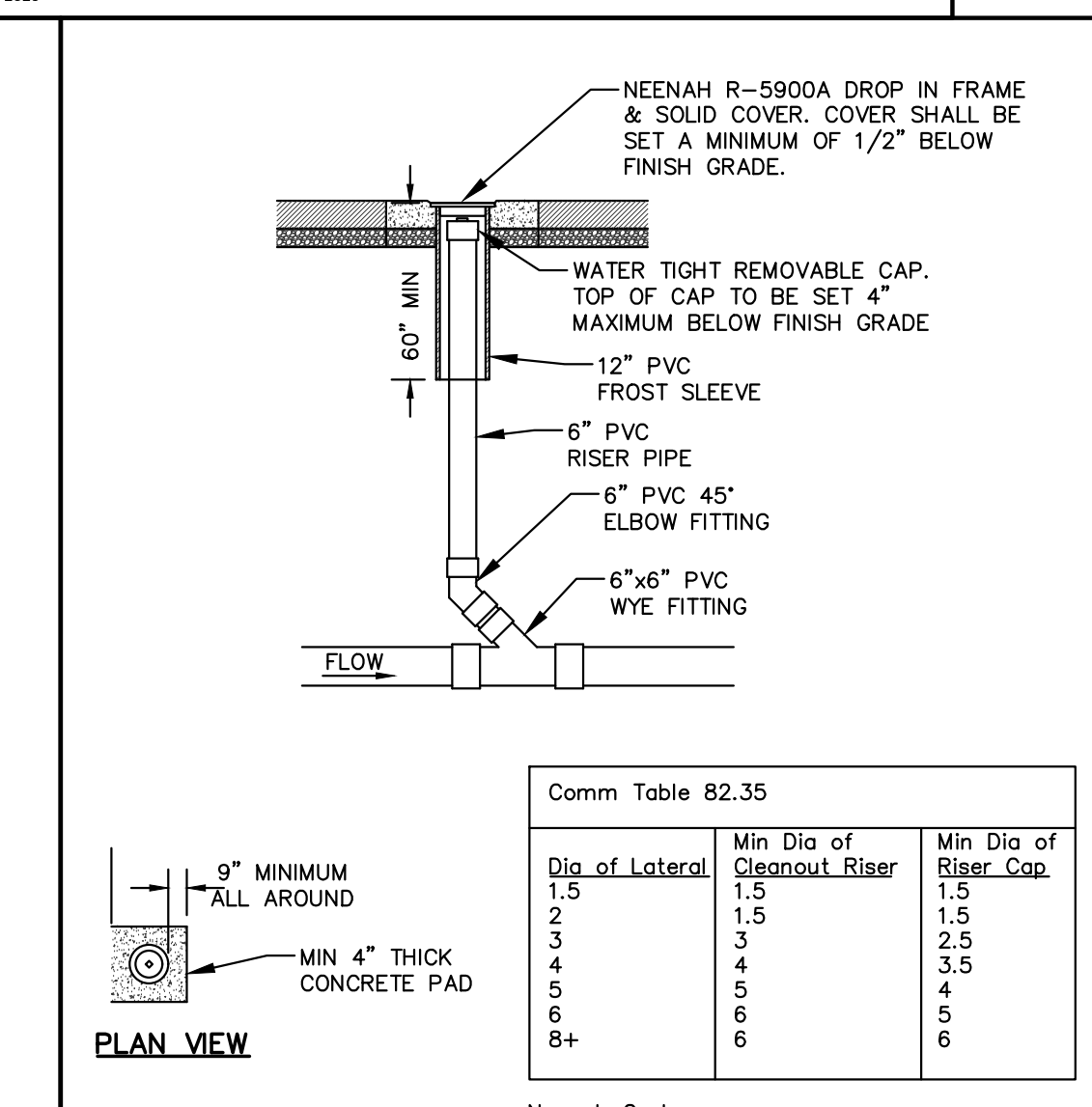
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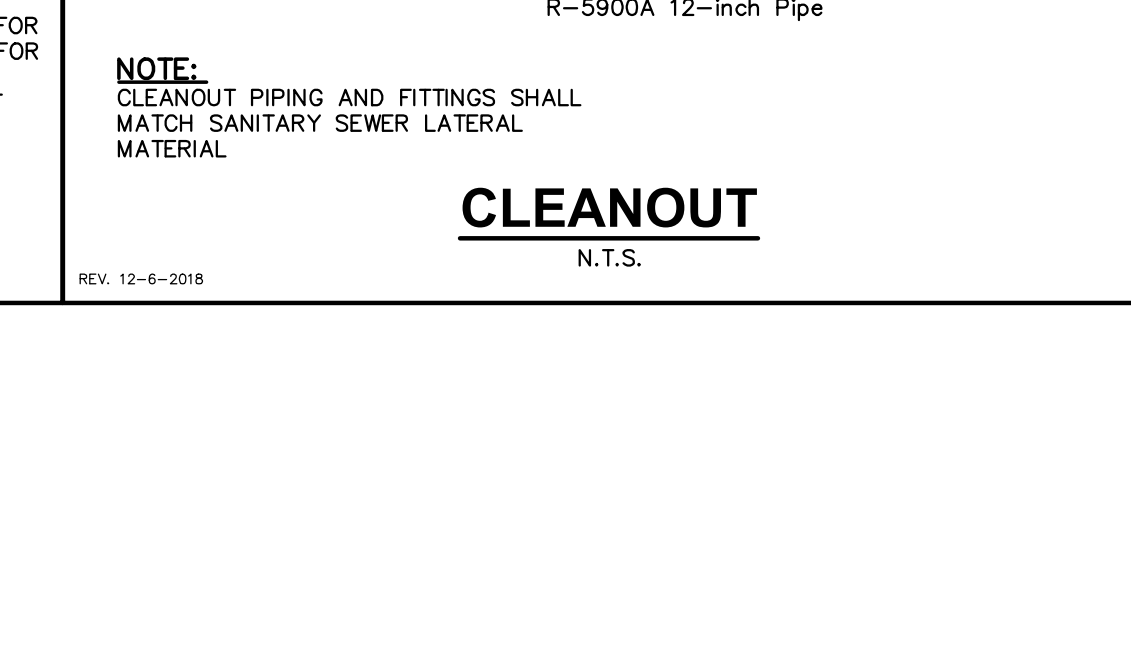
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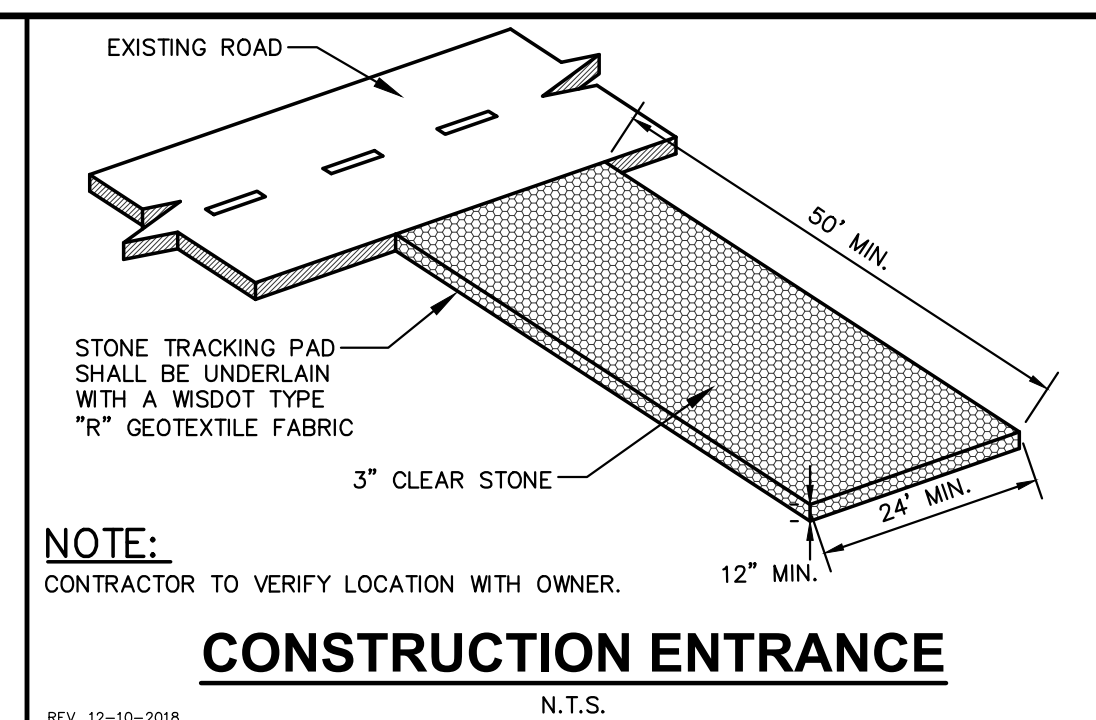
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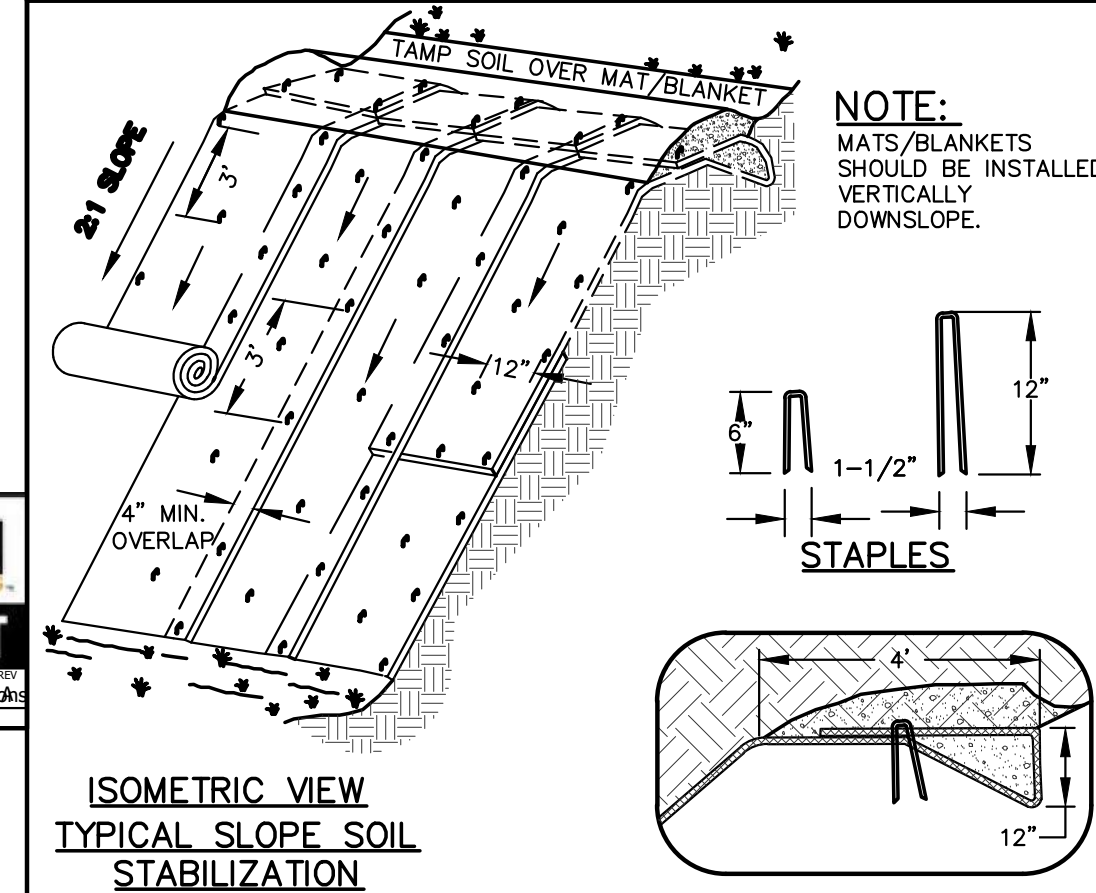
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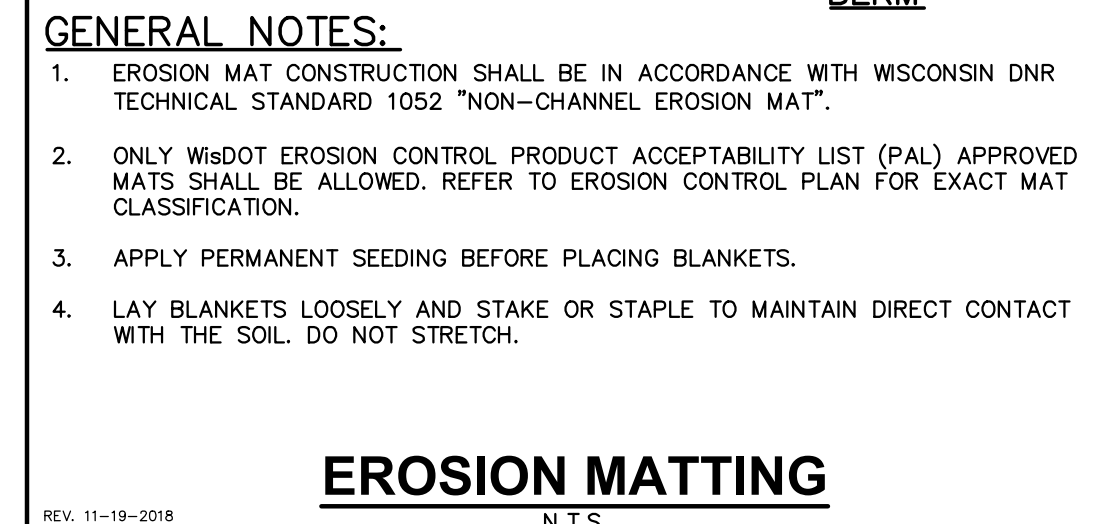
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REV. 12-10-2018



REV. 11-19-2018



REV. 12-07-2018

Revisions

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MADISON YARDS:  
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

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222093.00

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BLOCK 4 - DETAILS

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B4-C5.0



PLANT LIST

SEE SHEET L2.0 FOR A COMPREHENSIVE PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
ORNAIMENTAL TREES		
MAAD		Malus x 'Adirondack' / Adirondack Crabapple
OVERSTORY DECIDUOUS TREES		
BEPO		Betula populifolia 'Whitespire' -- Single / Whitespire Birch -- Single
GLTR		Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust
PTKC		Gymnocladus dioica 'J.C. McDaniel' TM / Prairie Titan Kentucky Coffeetree
UPRIGHT EVERGREEN SHRUB		
JUCHI		Juniperus chinensis 'Iowa' / Iowa Juniper
JVIC		Juniperus virginiana 'Conaerti' / Conaerti Eastern Redcedar
DECIDUOUS SHRUBS		
ARME		Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry
CAFL		Calycanthus floridus 'SMNCAF' / Simply Scentational® Sweetshrub
COSE		Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood
SISE		Diervilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle
RHAR		Rhus aromatica 'Oro-Low' / Oro-Low Fragrant Sumac
VICA		Viburnum carlesii 'SMVCB' TM / Spice Baby Koreanspice Viburnum
EVERGREEN SHRUBS		
BUGV		Buxus x 'Green Velvet' / Green Velvet Boxwood
BUGM		Buxus x 'Green Mountain' / Green Mountain Boxwood
PIMU		Pinus mugo / Mugo Pine
TAMEE		Taxus x media 'Everlow' / Everlow Yew
PERENNIALS & GRASSES		
ASCHW		Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe
DANE		Calamintha nepeta 'Monrose White' / Monrose White Catmint
ECPLM		Echinacea purpurea 'Magnus Superior' / Magnus Superior Coneflower
HEFC		Heuchera x 'Fire Chief' / Fire Chief Coral Bells
PAVI		Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass
RUAG		Rudbeckia x 'American Gold Rush' / American Gold Rush Coneflower
SANEC		Salvia nemorosa 'Caradonna' / Caradonna Meadow Sage
SCSCJ		Schizachyrium scoparium 'Jazz' / Jazz Little Bluestem
SCSC		Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem
SPHE		Sporobolus heterolepis / Prairie Dropseed
SPHET		Sporobolus heterolepis 'Tara' / Prairie Dropseed
GROUND COVERS		
CAPE		Carex pensylvanica / Pennsylvania Sedge

GENERAL NOTES

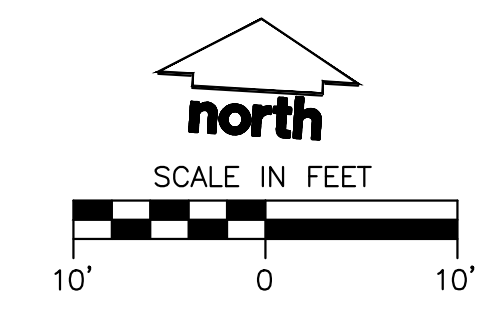
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

CONTRACTOR NOTES

- REFER TO SHEET B4-C1.0 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION.
- REFER TO SHEET B4-L2.0 FOR COMPREHENSIVE PLANT SCHEDULE.
- ALL PLANTING BEDS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE NOTED.

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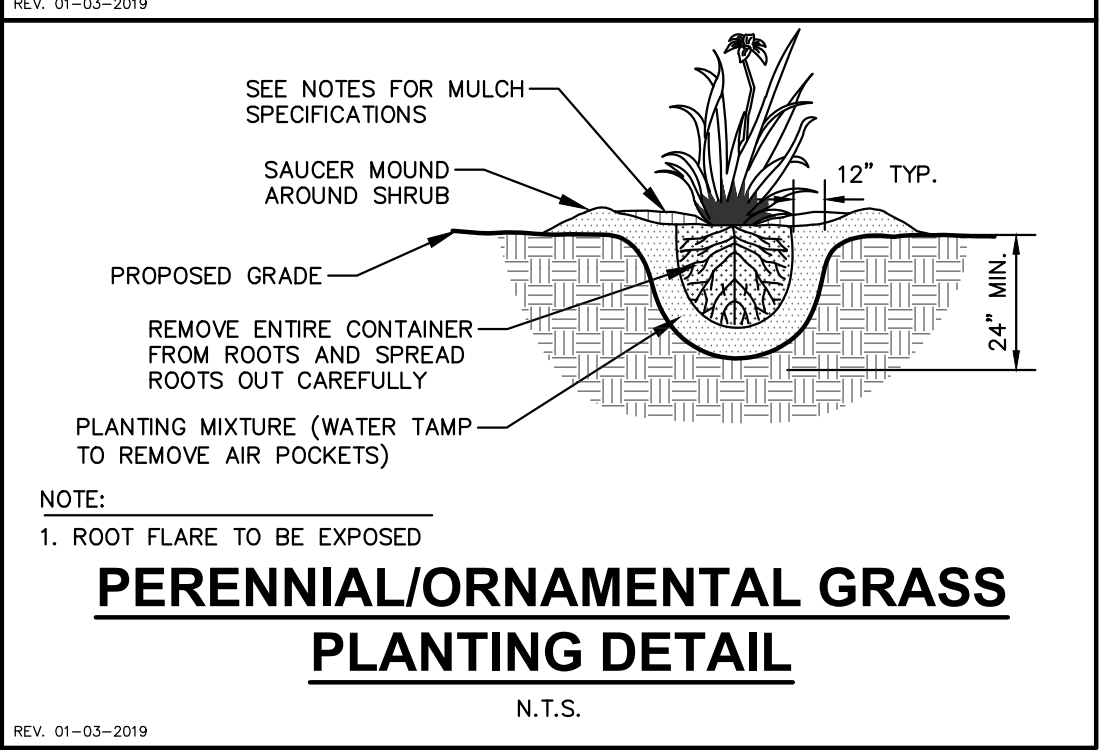
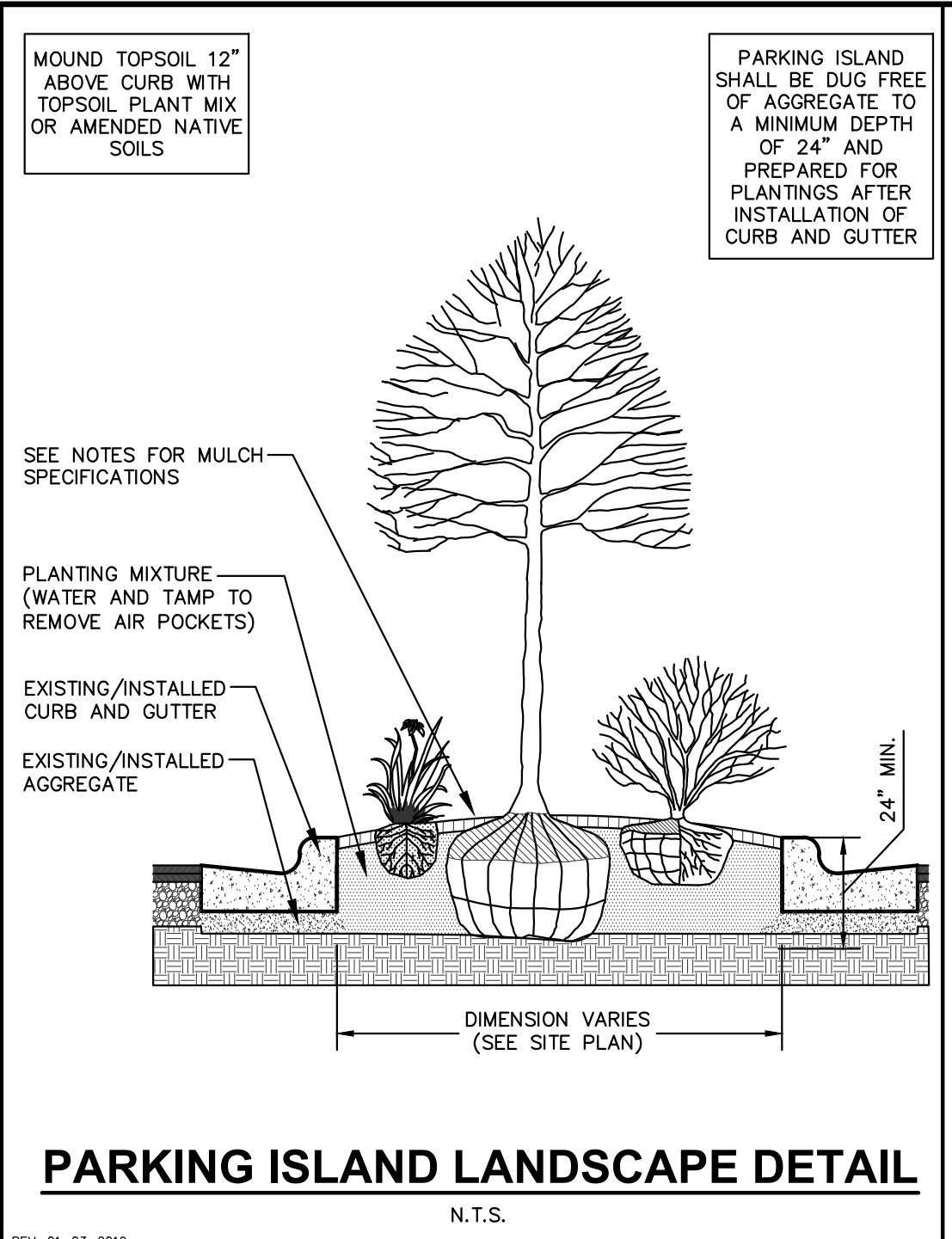
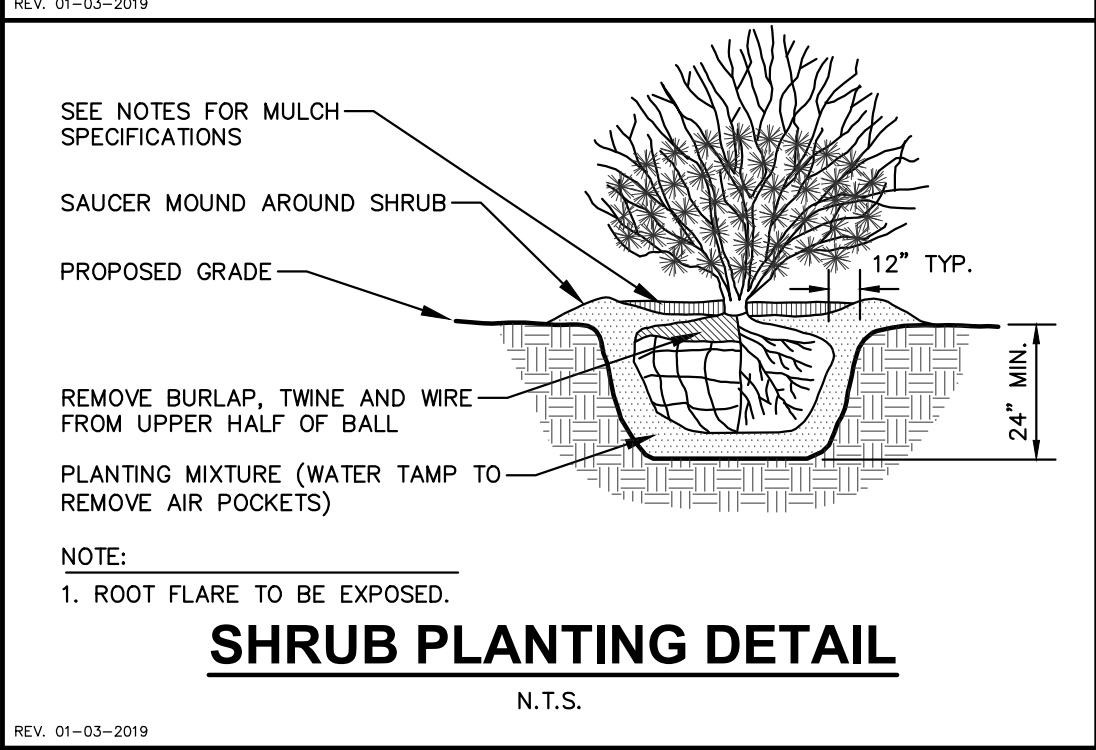
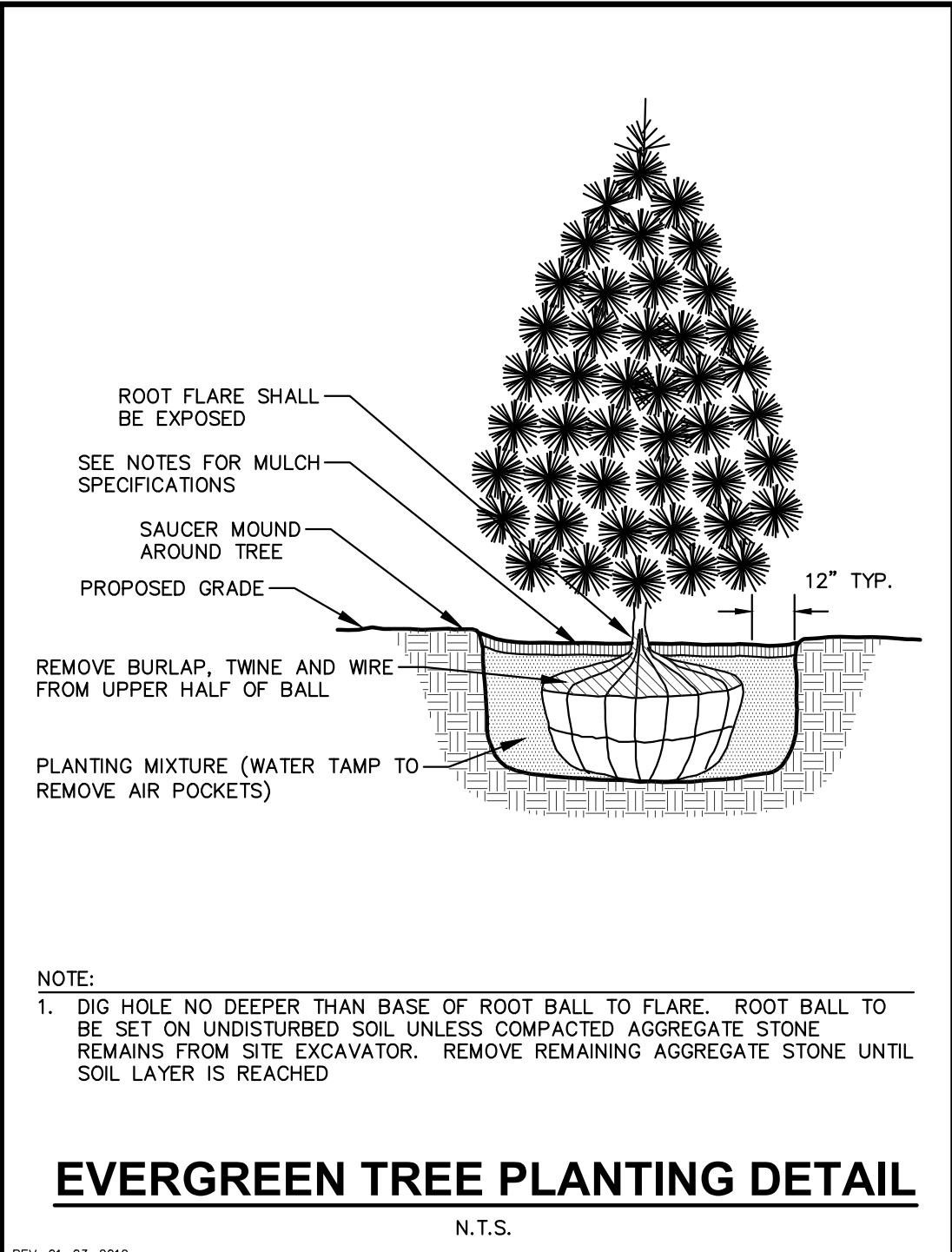
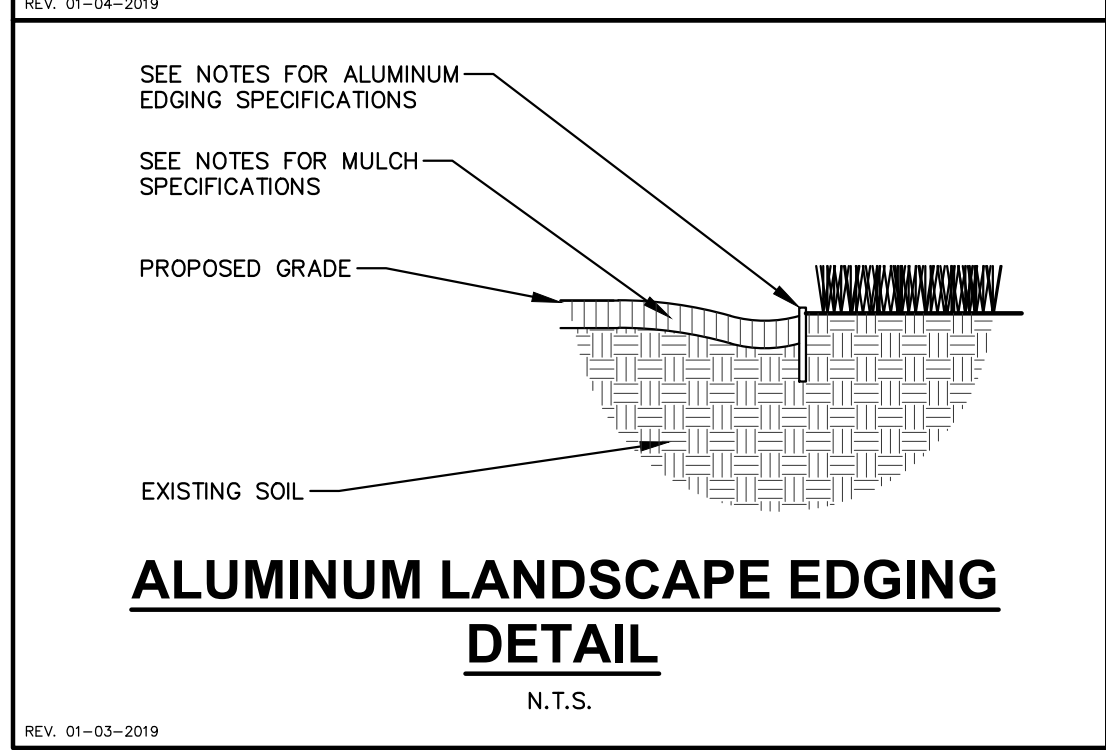
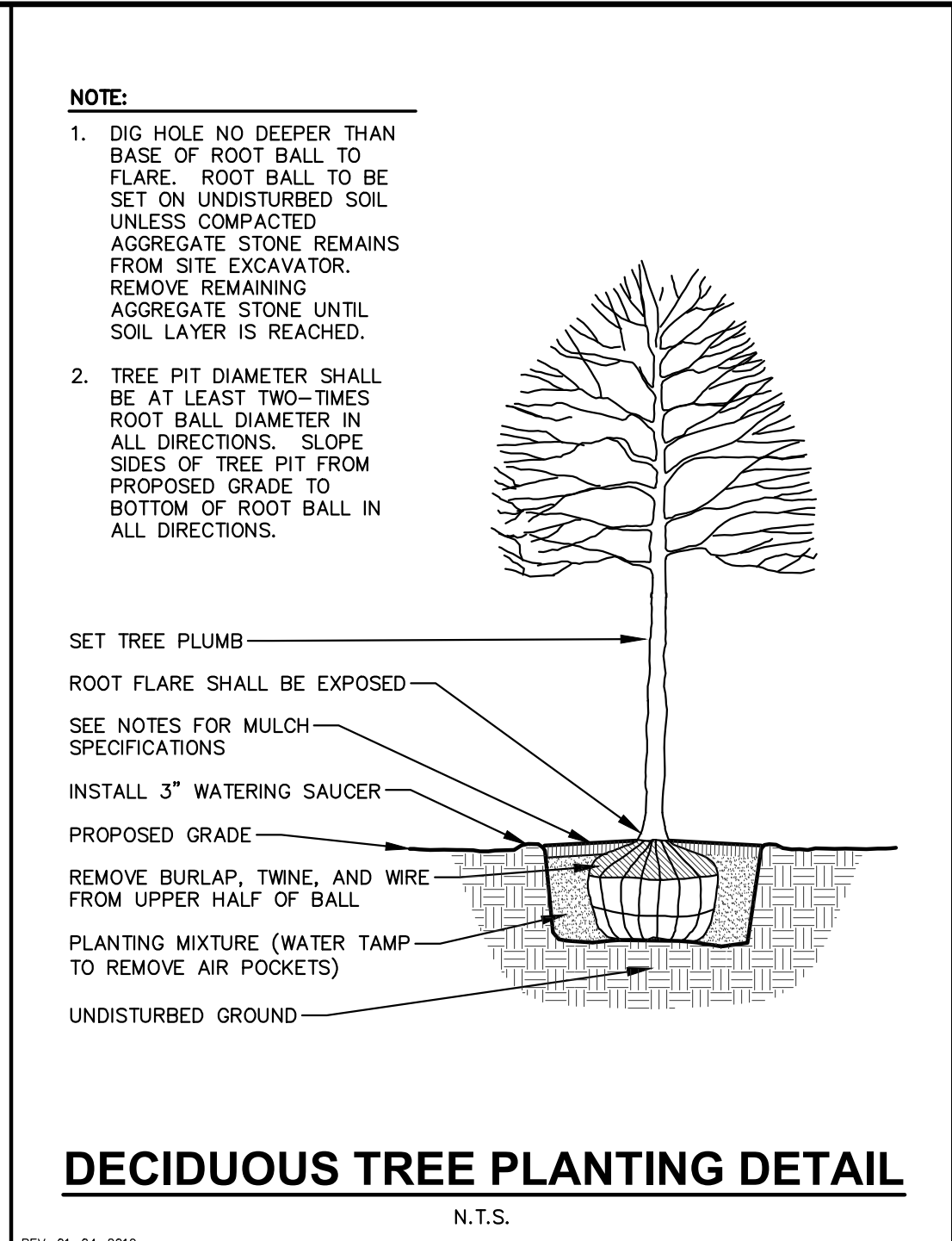
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## GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADE, SECURE AREA, PROTECTING THE ROOT SYSTEMS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. CONTRACTOR SHALL ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND 700.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY. SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG DURING THE MOST RECENT FAVORABLE HARVEST SEASON. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND PARKING TREES AND PARKING PLANTS SHALL BE PLANTED AT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, AND ALSO, PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 1/4" IN DIAMETER AND BRUISES OR SOARS ON BARK, TRIM THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PLANT IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED ON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

## CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

## LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District:

(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: **11,030 SQUARE FEET**

Total landscape points required: **202 POINTS**

(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres:

Total square footage of developed area:

Five (5) acres =

First five (5) developed acres =

Remainder of developed area =

Total landscape points required:

(C) For the industrial - Limited (IL) and industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area:

Total square footage of developed area:

Total landscape points required:

## TABULATION OF LANDSCAPE CREDITS AND POINTS

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	0	0	21	735
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5' CAL MIN.	15	0	0	3	15
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	32	320
SHRUB, DECIDUOUS	#3 CONT., MIN. 12" 24"	3	0	0	117	351
SHRUB, EVERGREEN	#3 CONT., MIN. 12" 24"	4	0	0	60	240
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8" 18"	2	0	0	674	1348
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	14 POINTS / CAL. (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA, CANNOT CUMULATE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL			0	0	3,009	
TOTAL NUMBER OF POINTS PROVIDED				3,009		

## LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD, ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .20 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - DECORATIVE STONE MULCH #1: ALL AREAS LABELED ON PLAN SHALL RECEIVE 3/4" TRAP STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. DECORATIVE STONE MULCH AREAS SHALL RECEIVE BLACK VISQUEEN.
- MATERIALS - DECORATIVE STONE MULCH #2: ALL AREAS LABELED ON PLAN SHALL RECEIVE 1.5" TRAP STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. DECORATIVE STONE MULCH AREAS SHALL RECEIVE BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
- MATERIALS - (ALTERNATE 1): TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

### IRRIGATION (SEE SPECS):

BASE BID - DRIP IRRIGATION PROVIDED IN ALL PLANT BED AREAS SURROUNDING BUILDING

ALTERNATE BID - POP-UP IRRIGATION FOR ALL PERIMETER PLANTING BEDS AND TURFGRASS AREAS

### LANDSCAPING:

LANDSCAPING TO BE INSTALLED AFTER COMPLETION OF THE BUILDING

INSTALLATION OF LANDSCAPING NOT TO AFFECT OPERATIONS OF THE BUILDING

### TREE WATERING PROGRAM:

BASE BID - WATERING OF ALL TREES ON A REGULAR WEEKLY BASIS. CONTRACTOR TO KEEP A LOG OR JOURNAL OF A RECORD OF DATES AND QUANTITIES OF SUPPLEMENTAL WATERING EFFORTS

ALTERNATE BID 1\* - INSTALLATION OF ONE (1) WATERING BAG PER TREE. DOCUMENTATION OF WEEKLY WATERING PROGRAM REQUIRED

\*SEE LANDSCAPE MATERIALS NOTES FOR PRODUCTS

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Drawing Date  
JULY 15, 2024

MADISON YARDS:  
BLOCK 4 HOTEL

BLOCK 4 AT MADISON YARDS

Project No. HKS HOLDINGS  
222093.00

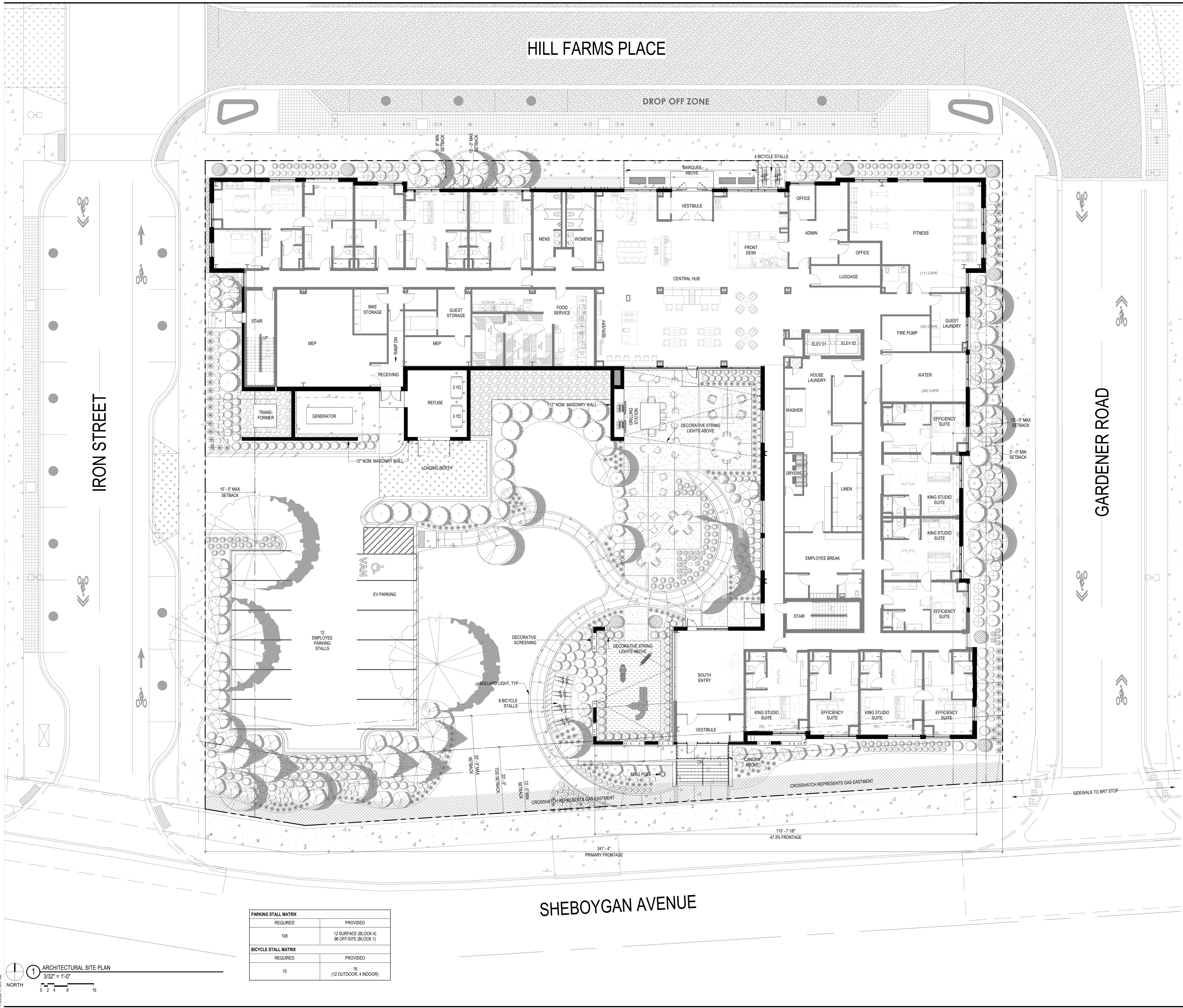
Sheet Title  
**BLOCK 4  
LANDSCAPE DETAILS &  
NOTES**

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BLOCK 4 HOTEL

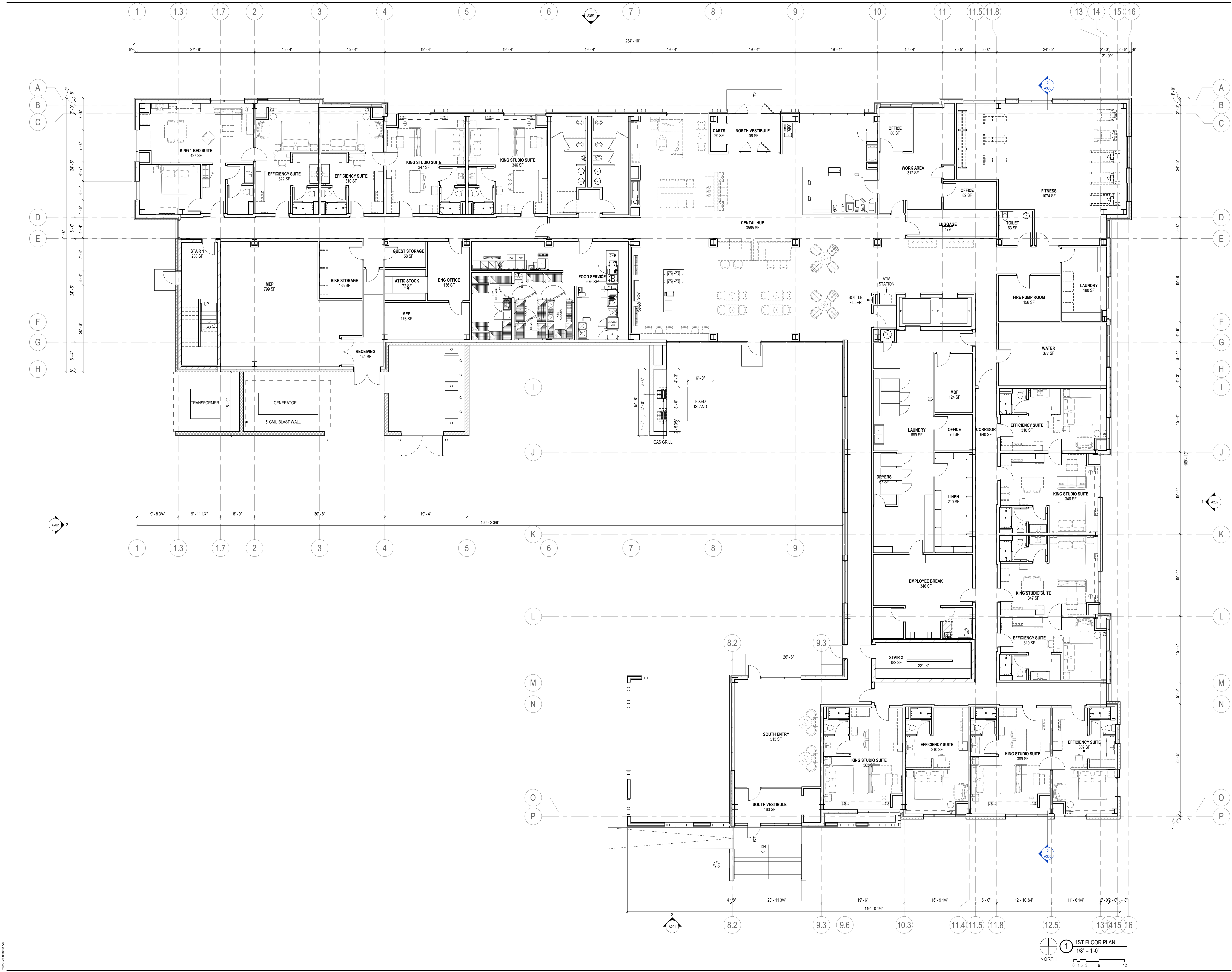
BLOCK 4 AT MADISON YARDS

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Sheet Title  
ARCHITECTURAL SITE  
PLAN





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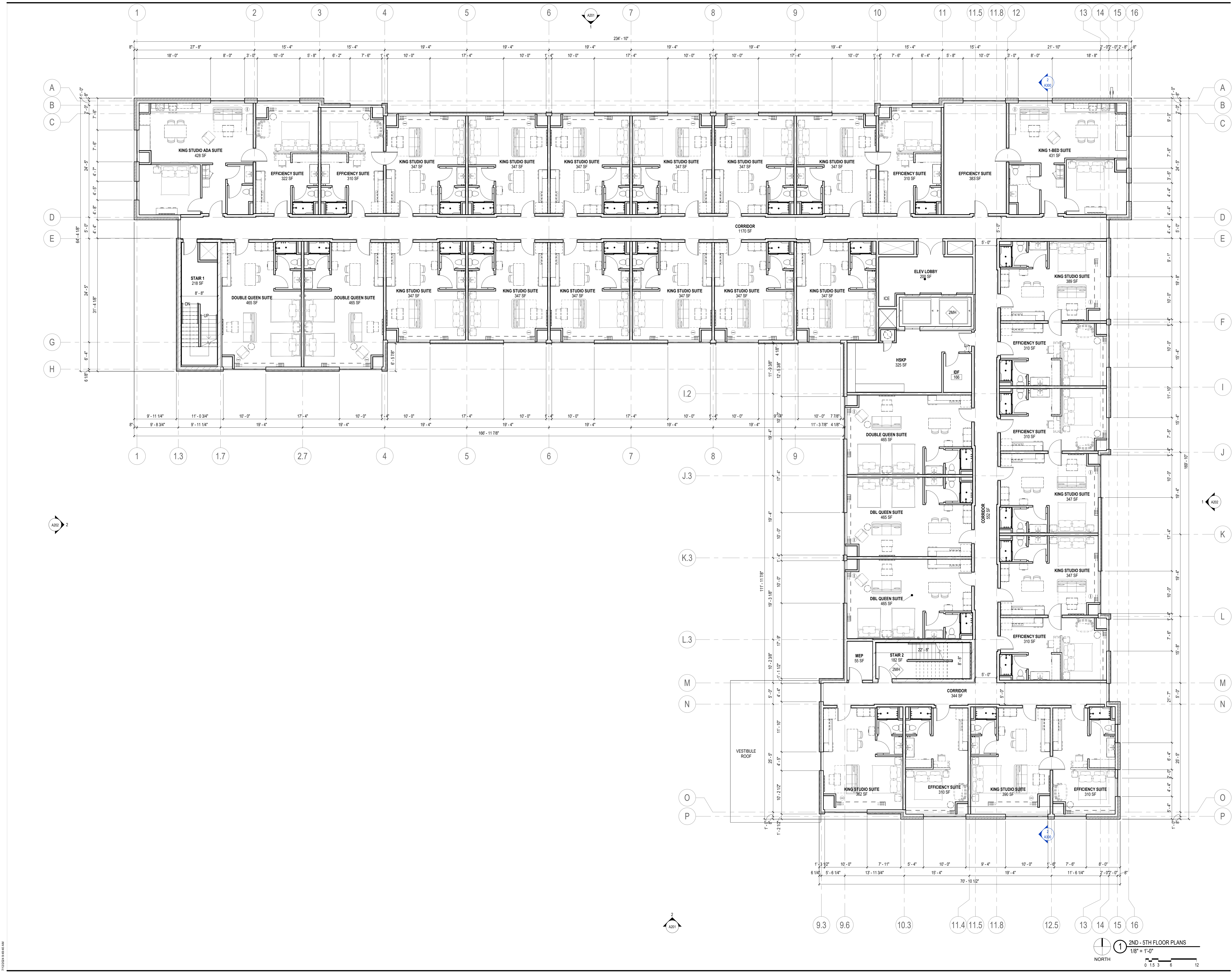
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1ST FLOOR PLAN

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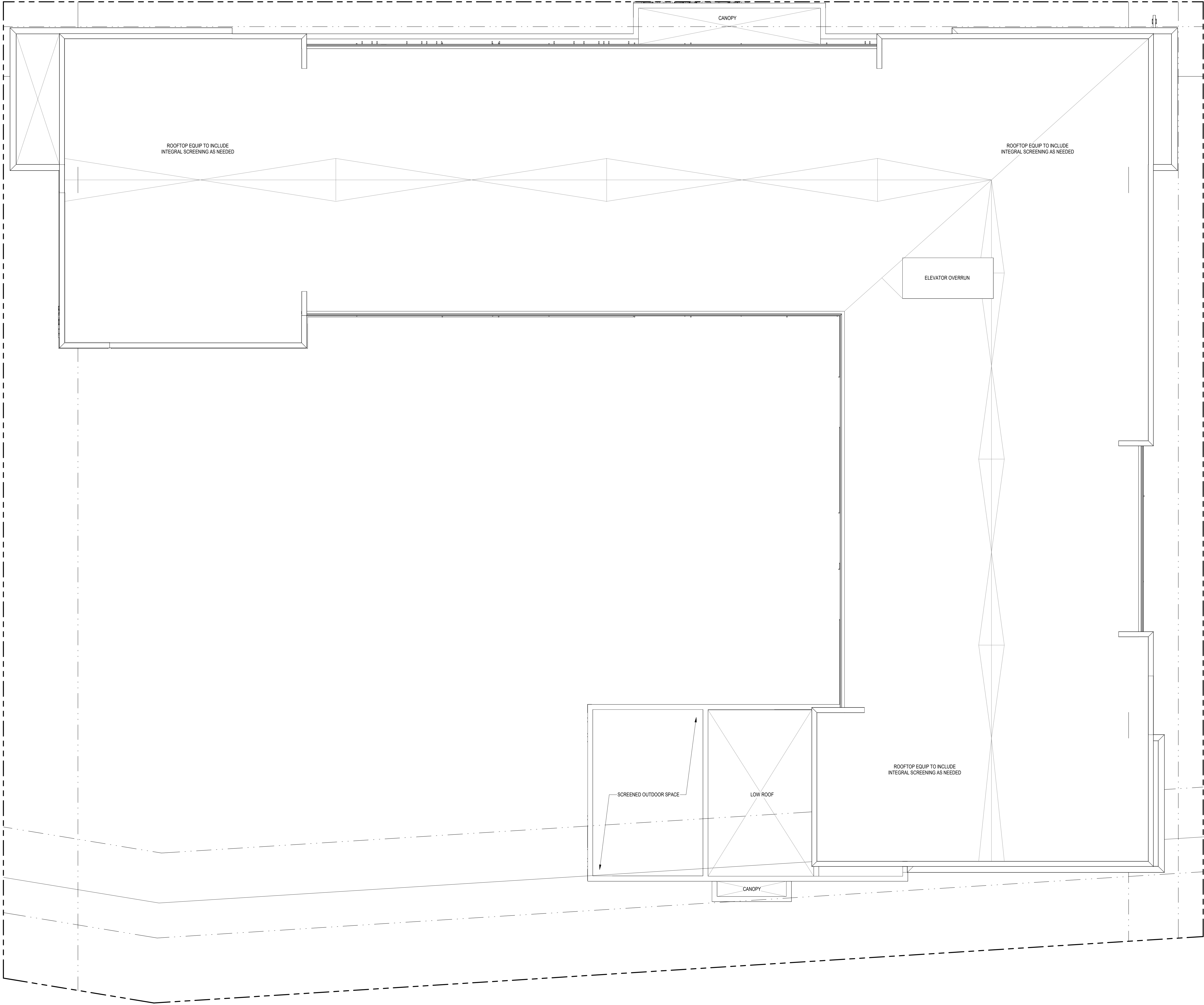
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Sheet Title  
2ND - 5TH FLOOR PLANS

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ROOF PLAN

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2 SOUTH ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

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BLOCK 4 HOTEL

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EXTERIOR ELEVATIONS

EXTERIOR ELEVATION GENERAL NOTES

- ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
- WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
- CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.
- PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE VENEERS.

BRICK - DARK GRAY



BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT



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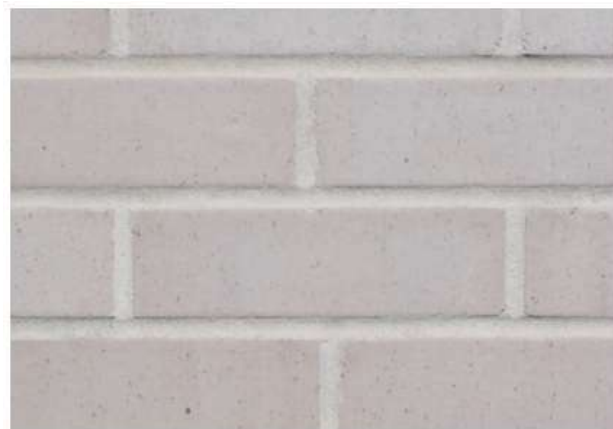
EXTERIOR ELEVATION GENERAL NOTES

1. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
2. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
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4. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE VENEERS.

BRICK - DARK GRAY



BRICK - LIGHT GRAY



TEXTURED METAL PANEL



FIBER CEMENT BOARD - TAN



WOOD LOOK ACCENT

