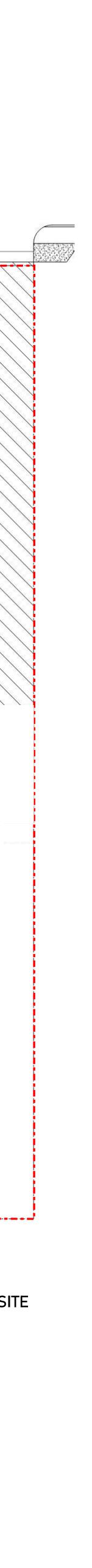
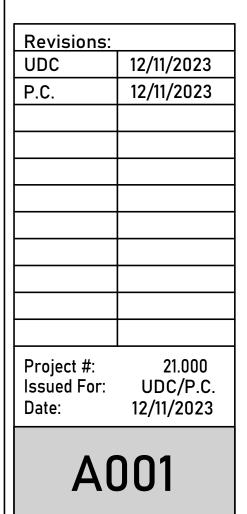


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EXISITNG BUILDING ON SITE

PROPOSED BUILDING ON SITE



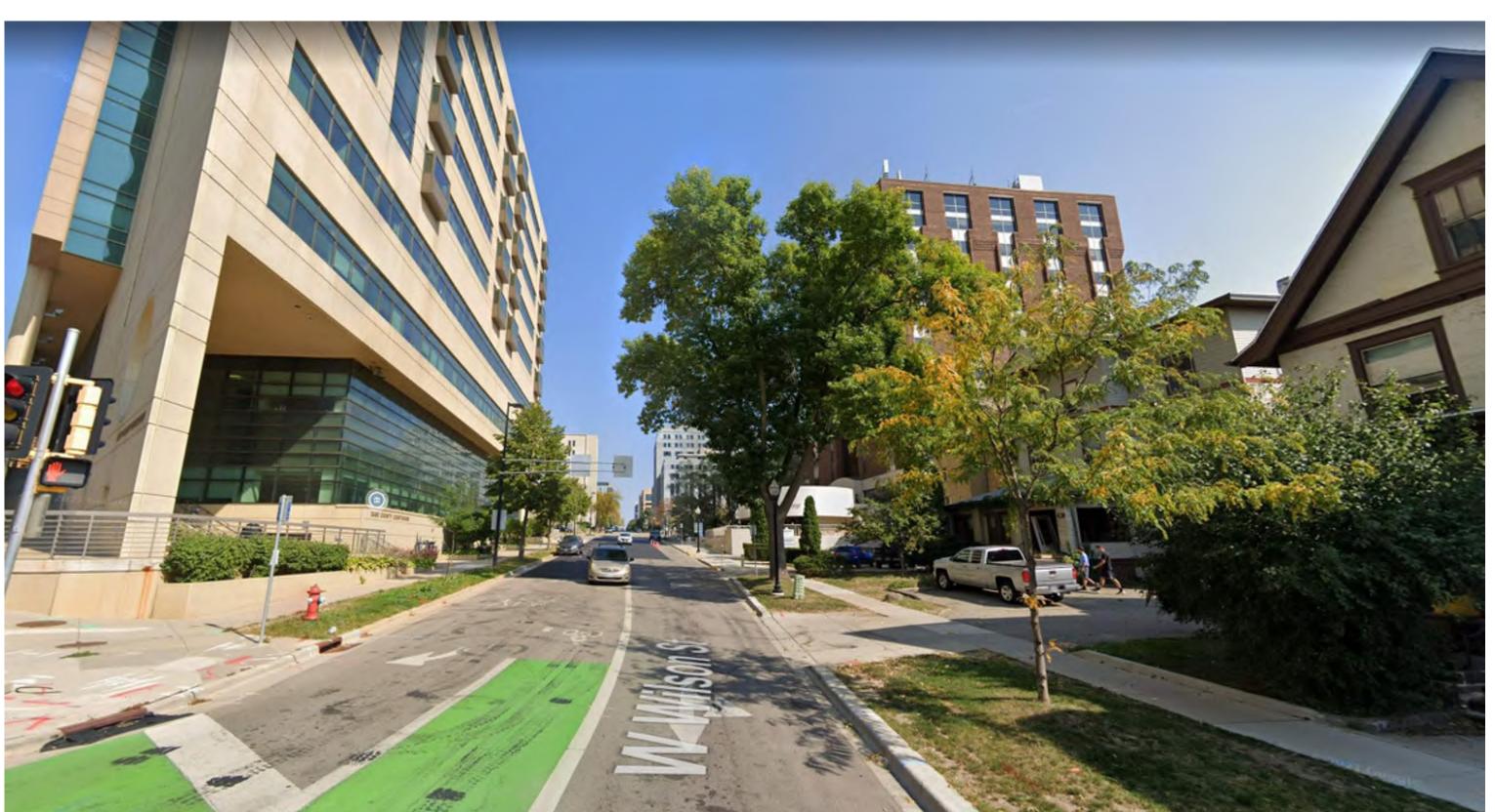




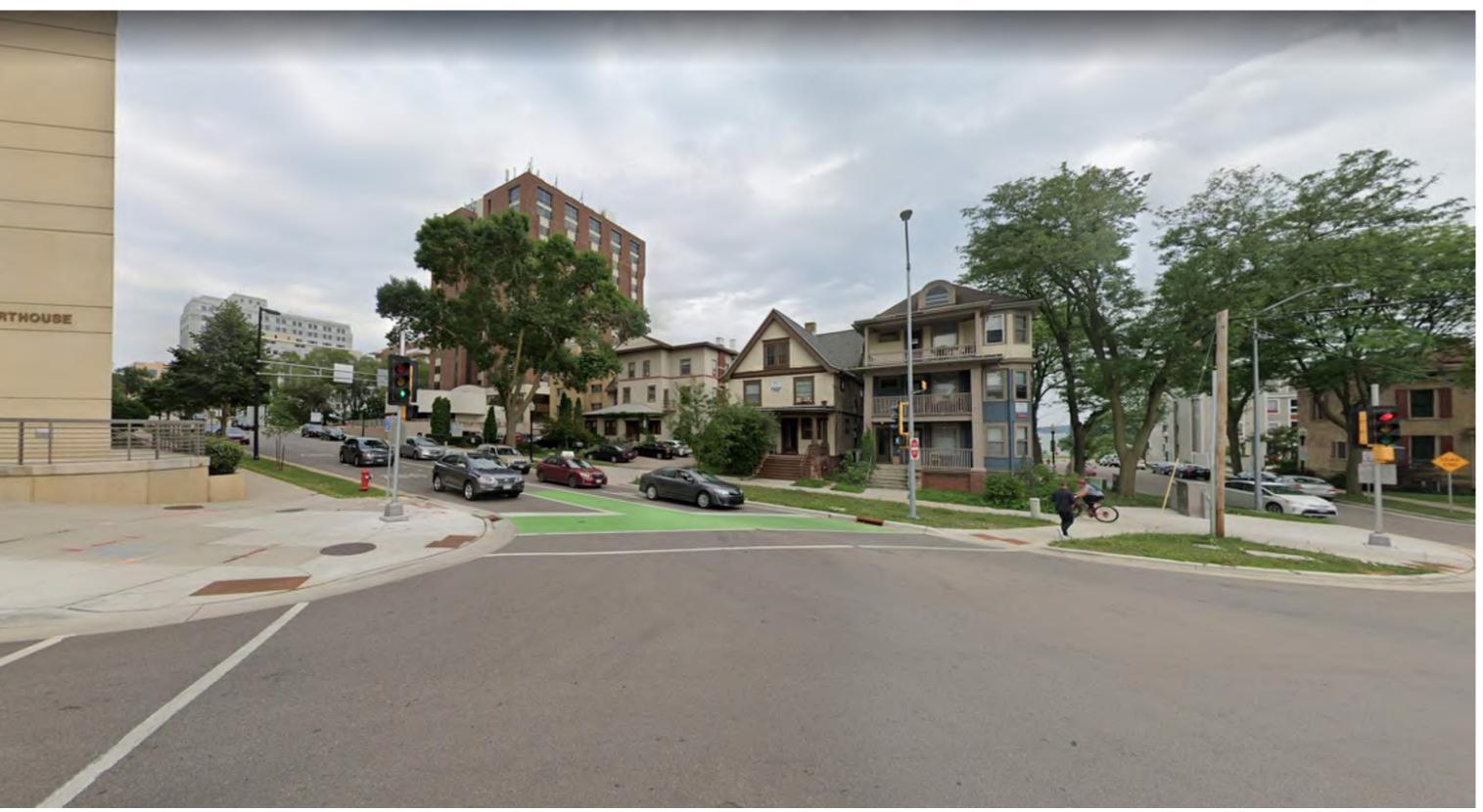
139 West Wilson Madison, Wisconsir

Location Map





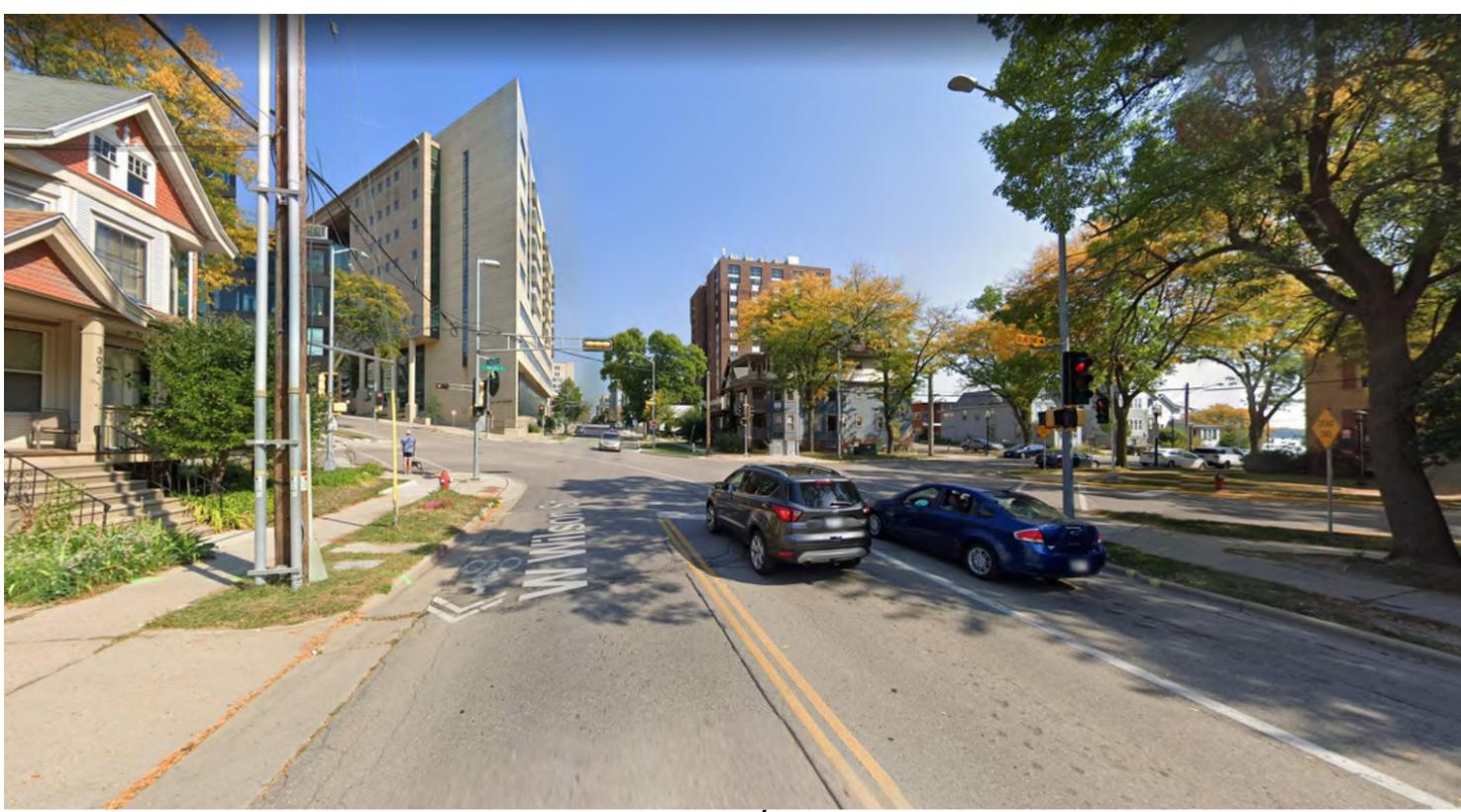
view NE down Wilson east of Hamilton/Henry intersection

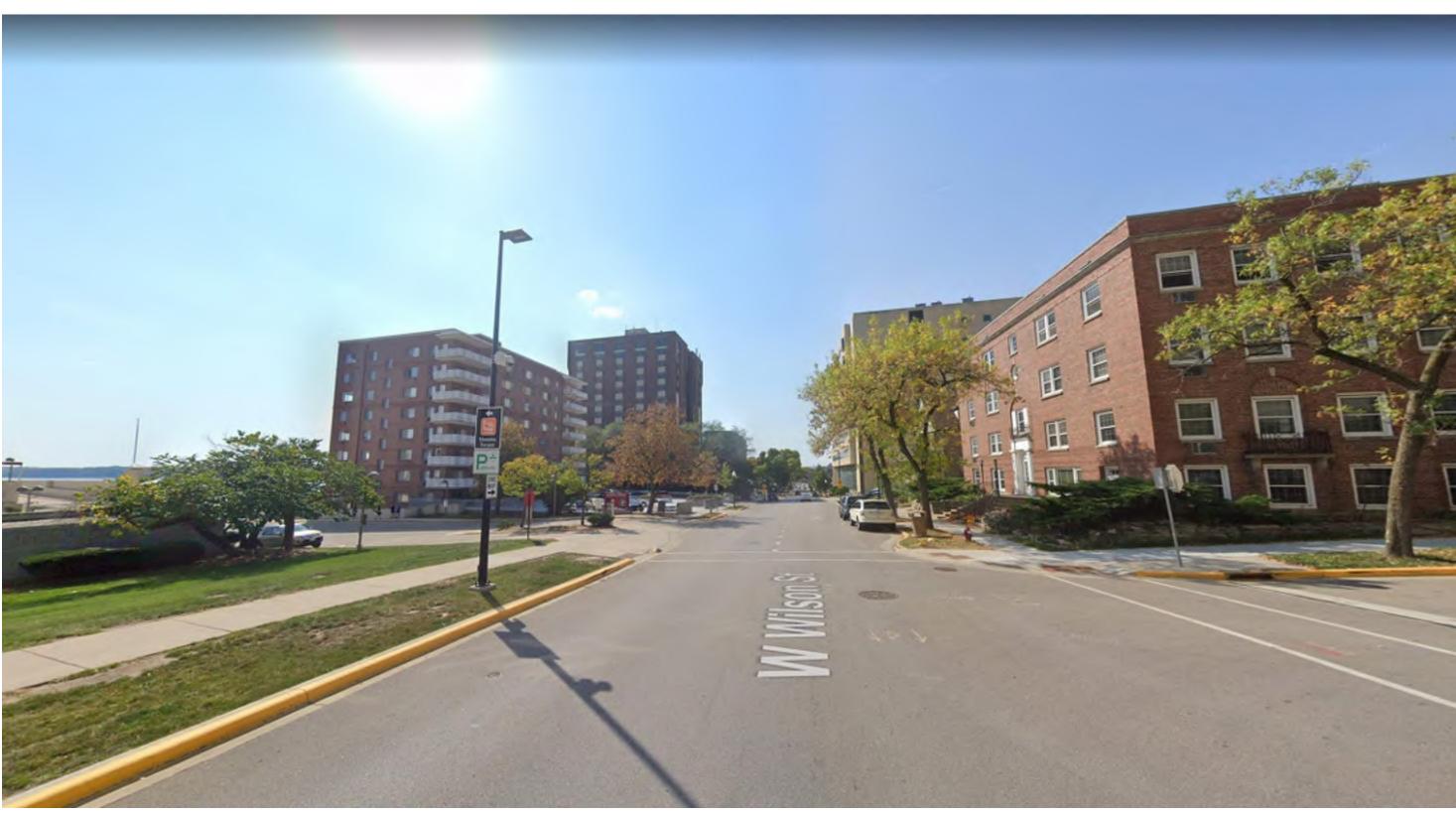


view S onto Wilson at intersection of Wilson and Hamilton

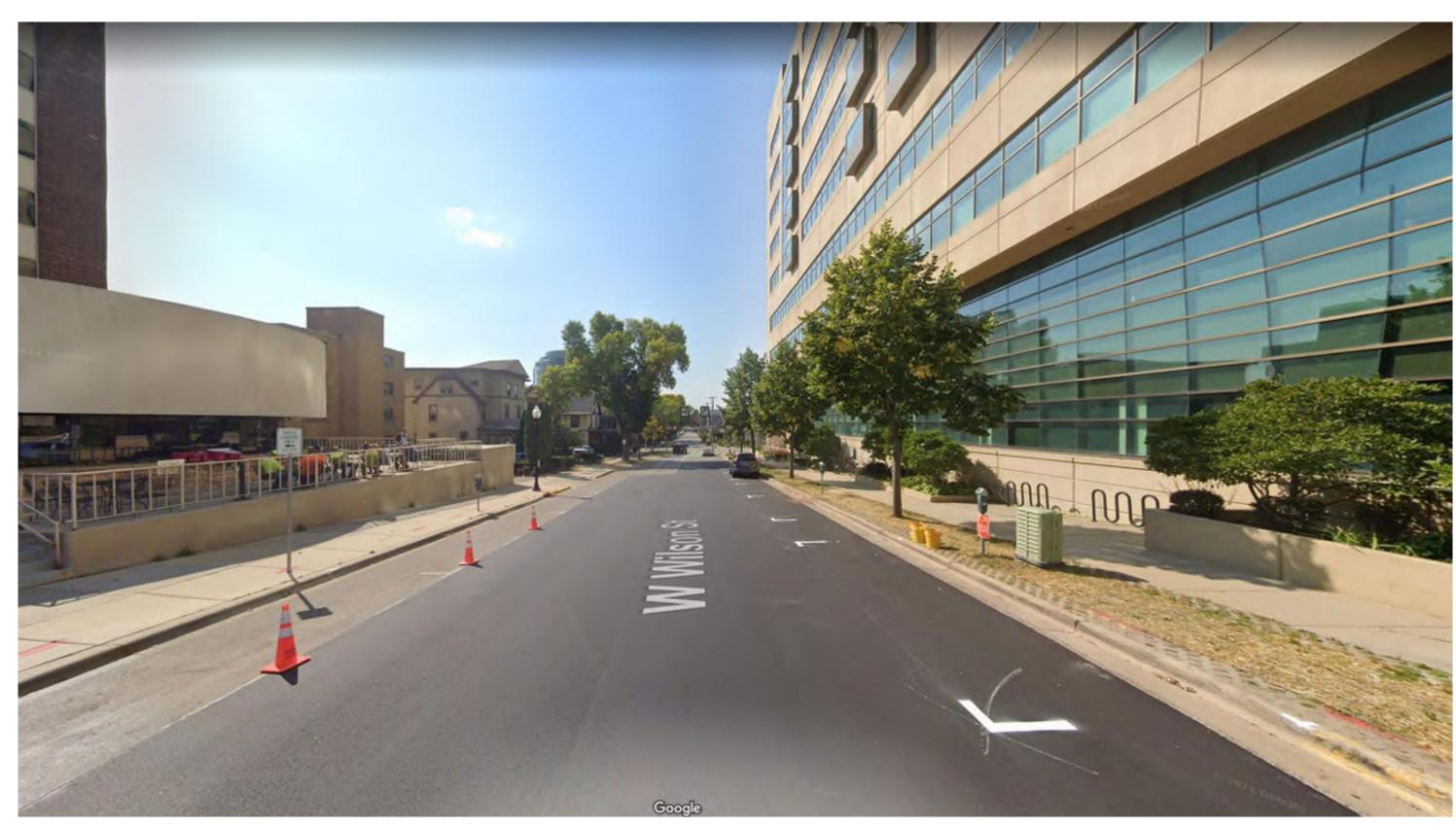


view looking NE onto intersection of Wilson and Hamilton





view SE down West Wilson just east of S. Carroll



view NE down Wilson west of Hamilton/Henry intersection

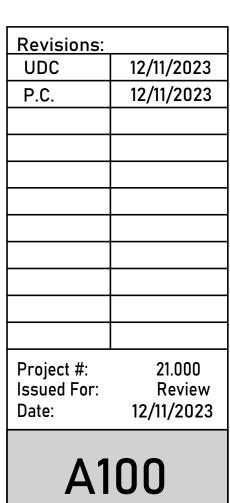
view S down West Wilson between Hamilton and S. Carroll

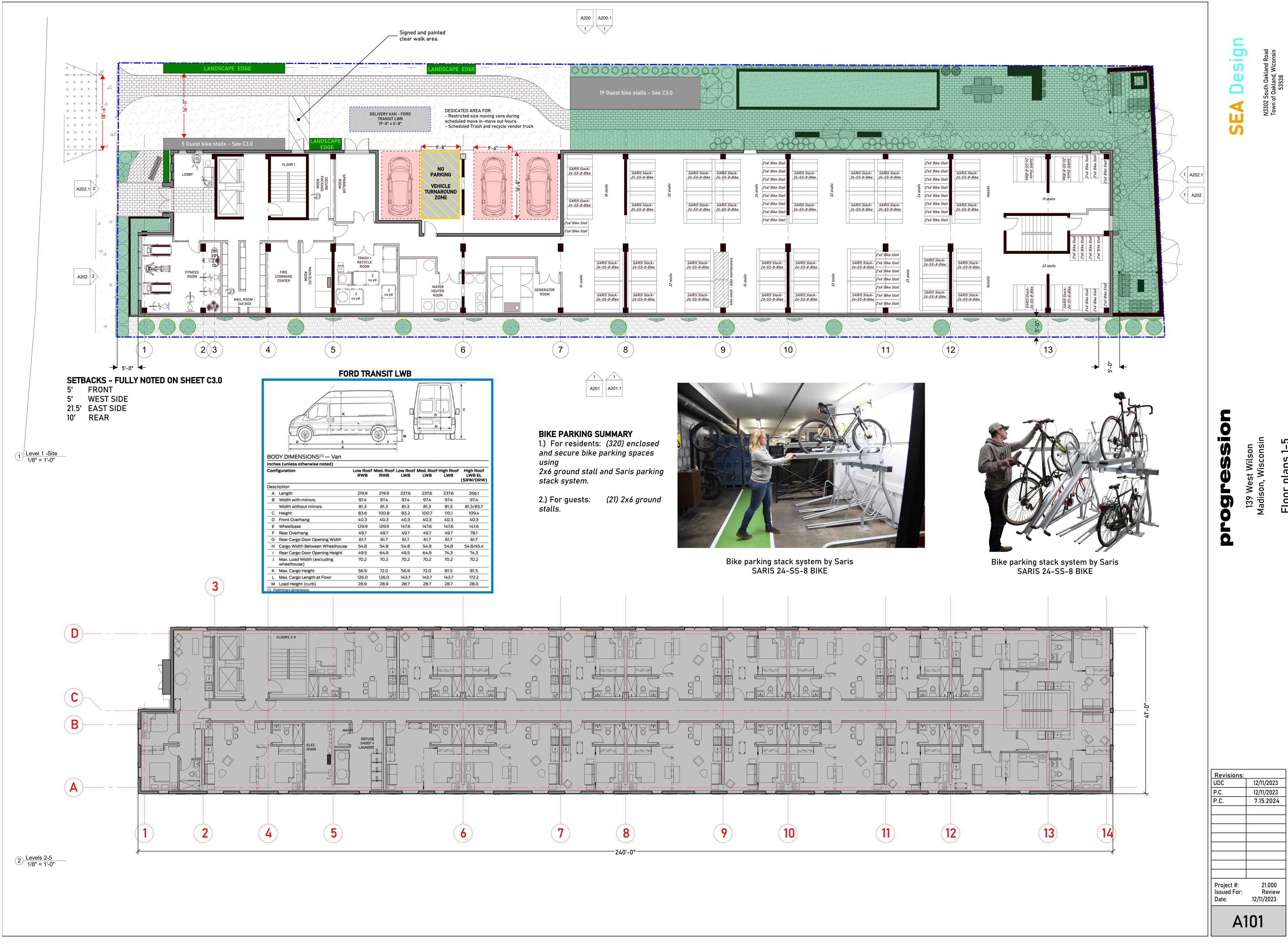




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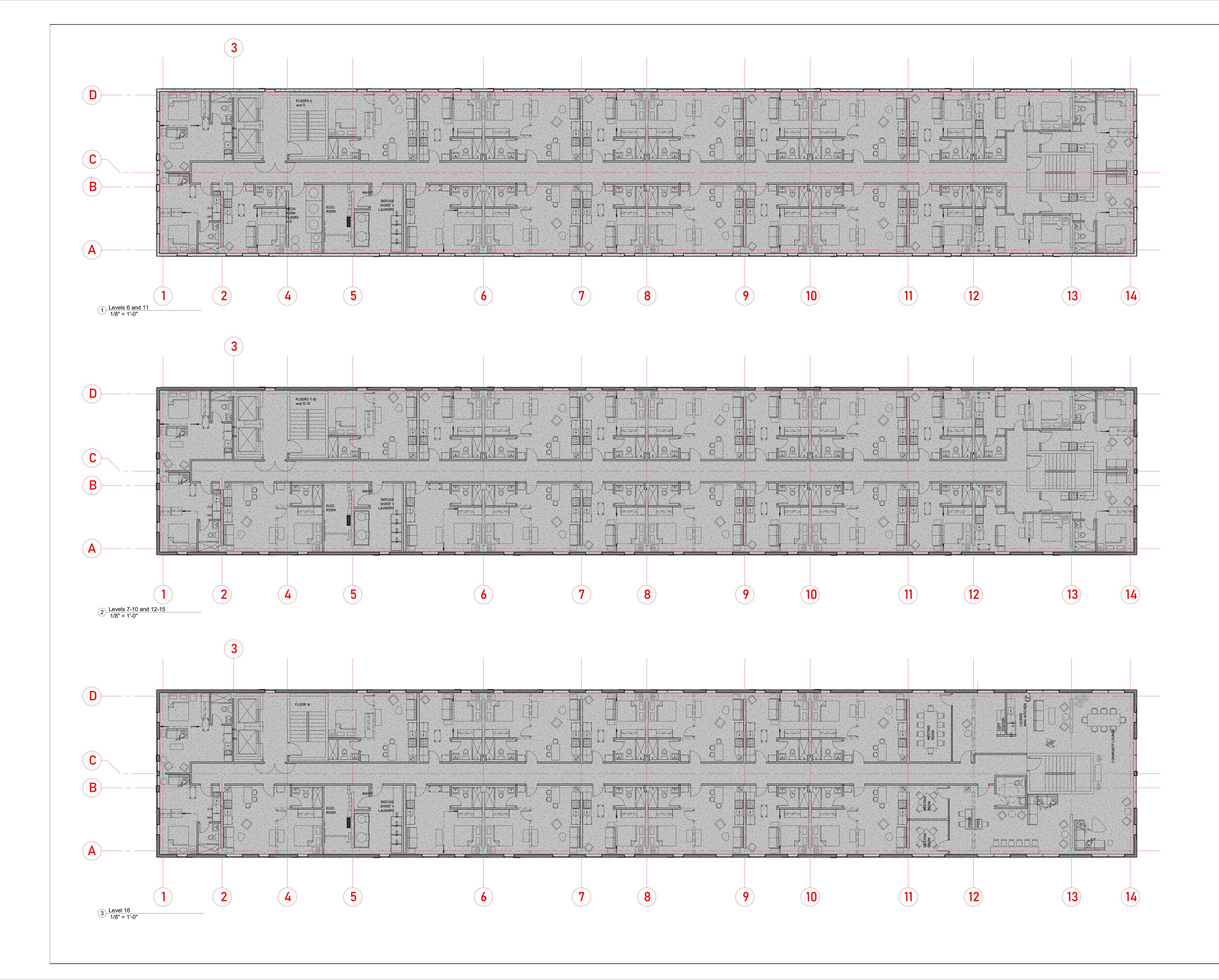
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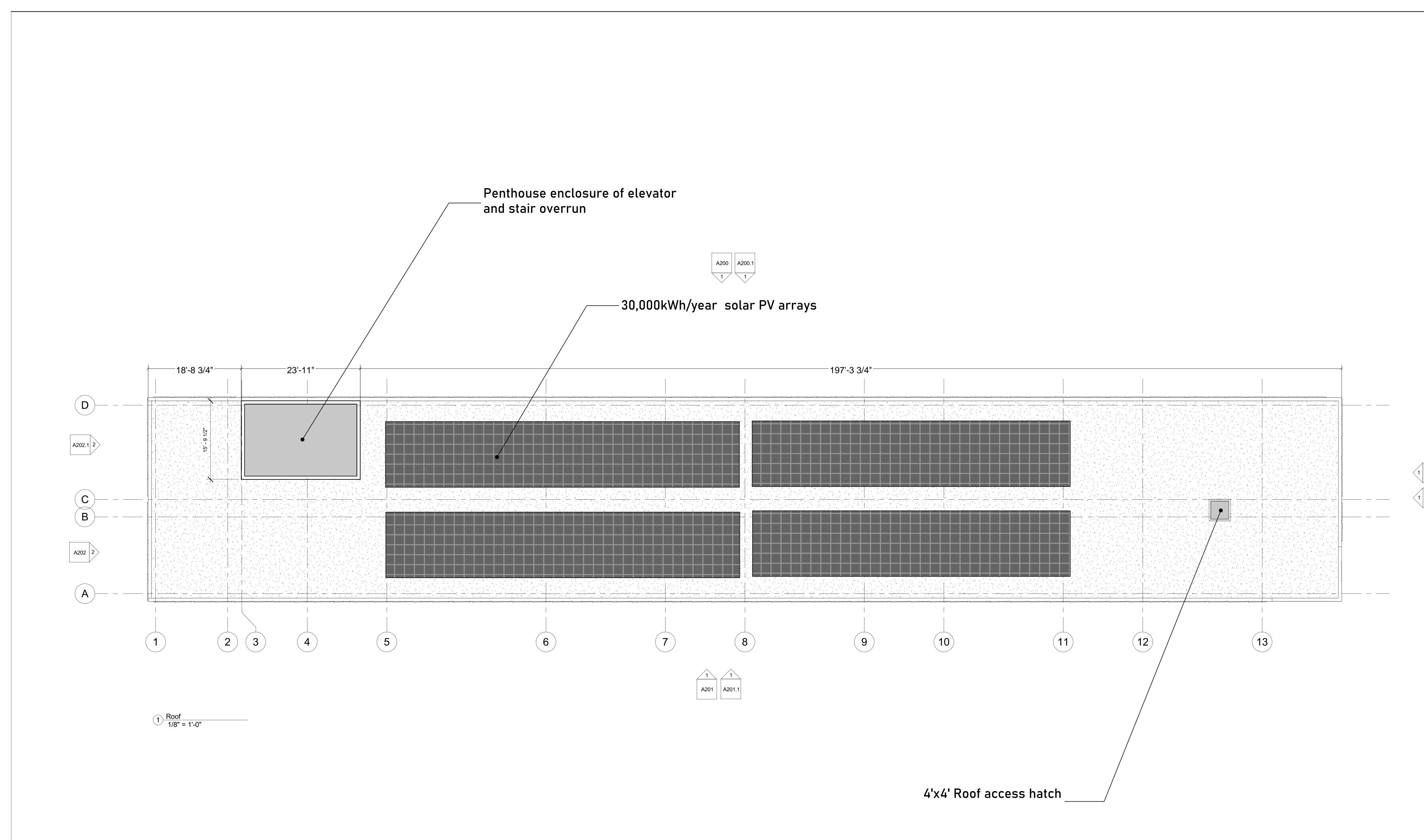




\_\_\_\_ Floor plans

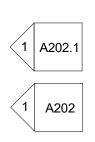








N3302 South Oakland Road Town of Oakland, Wiconsin 53538





139 West Wilson Madison, Wisconsir

Roof Plan

Revisions:			
UDC	12/11/2023		
P.C.	12/11/2023		
Project #:	21.000		
Issued For:	Review		
Date:	12/11/2023		
A103			
AIUJ			



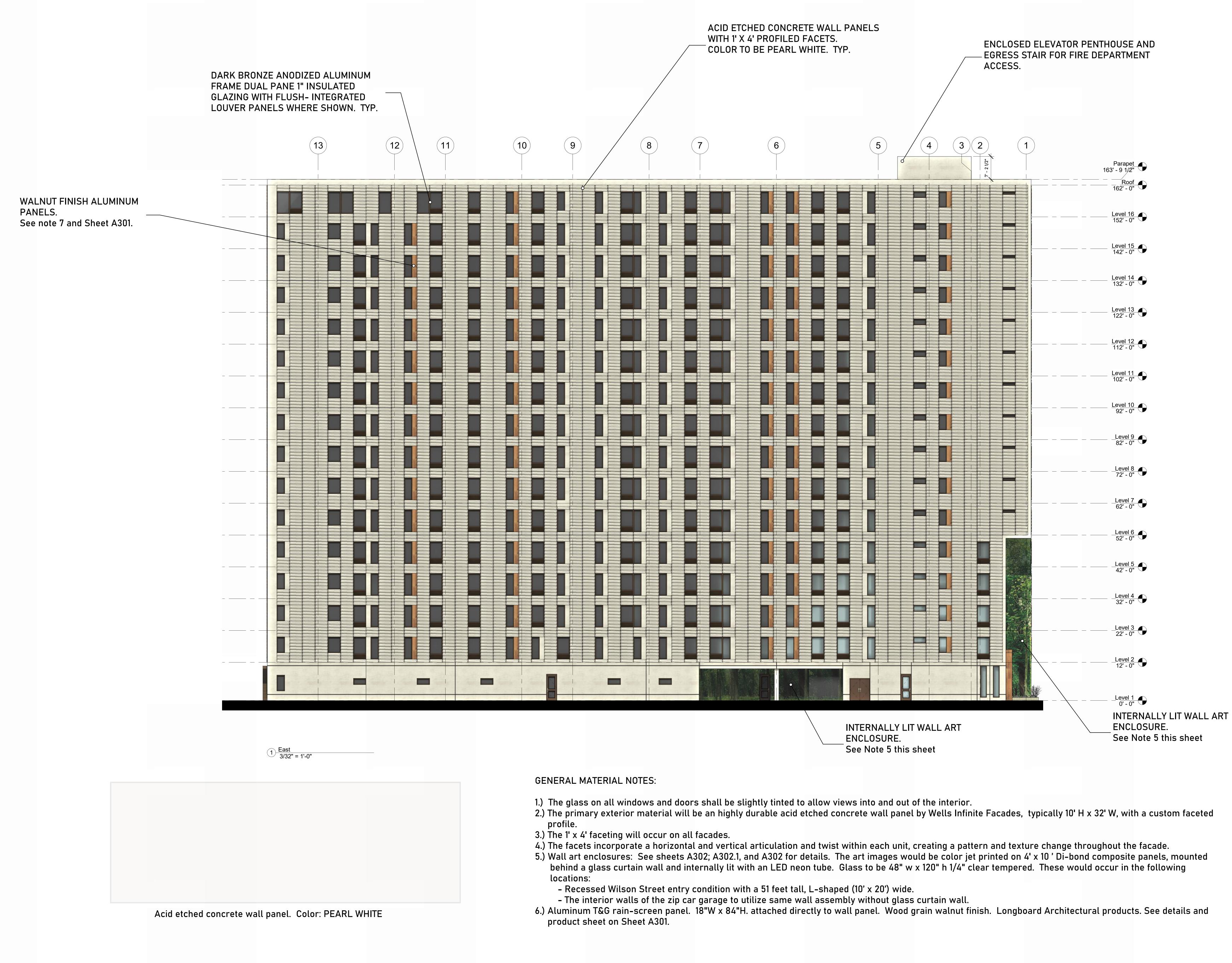




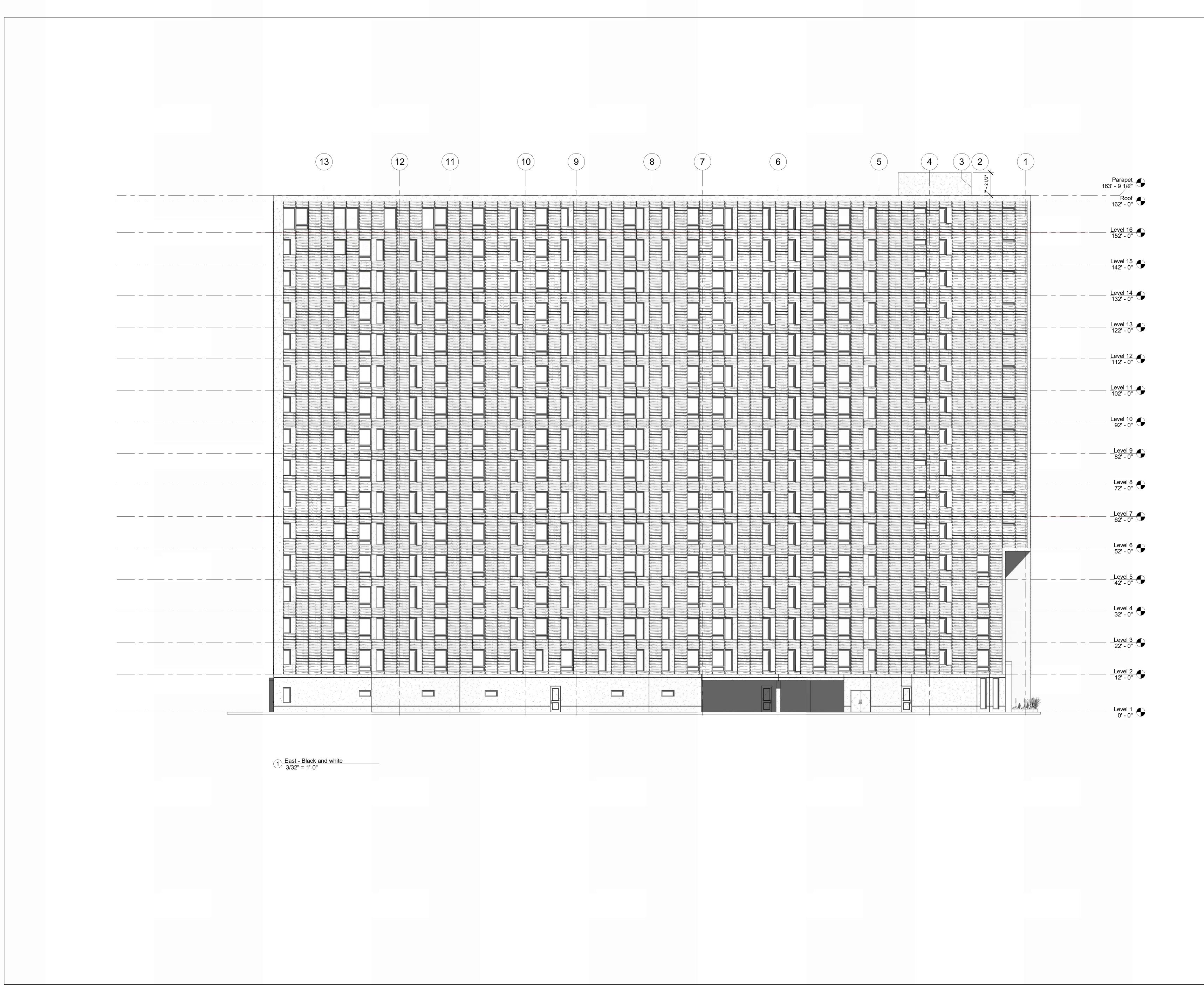
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### micro A

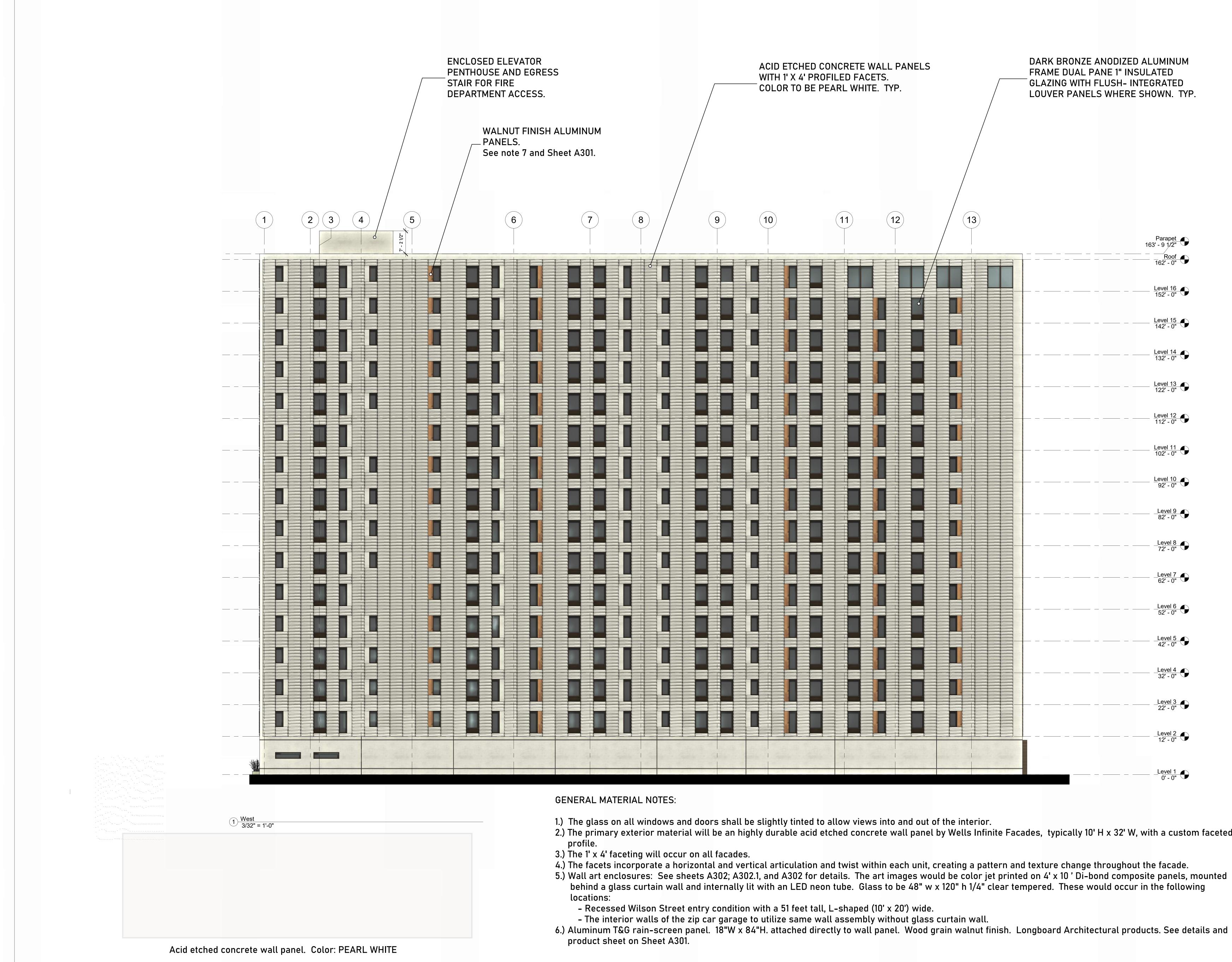






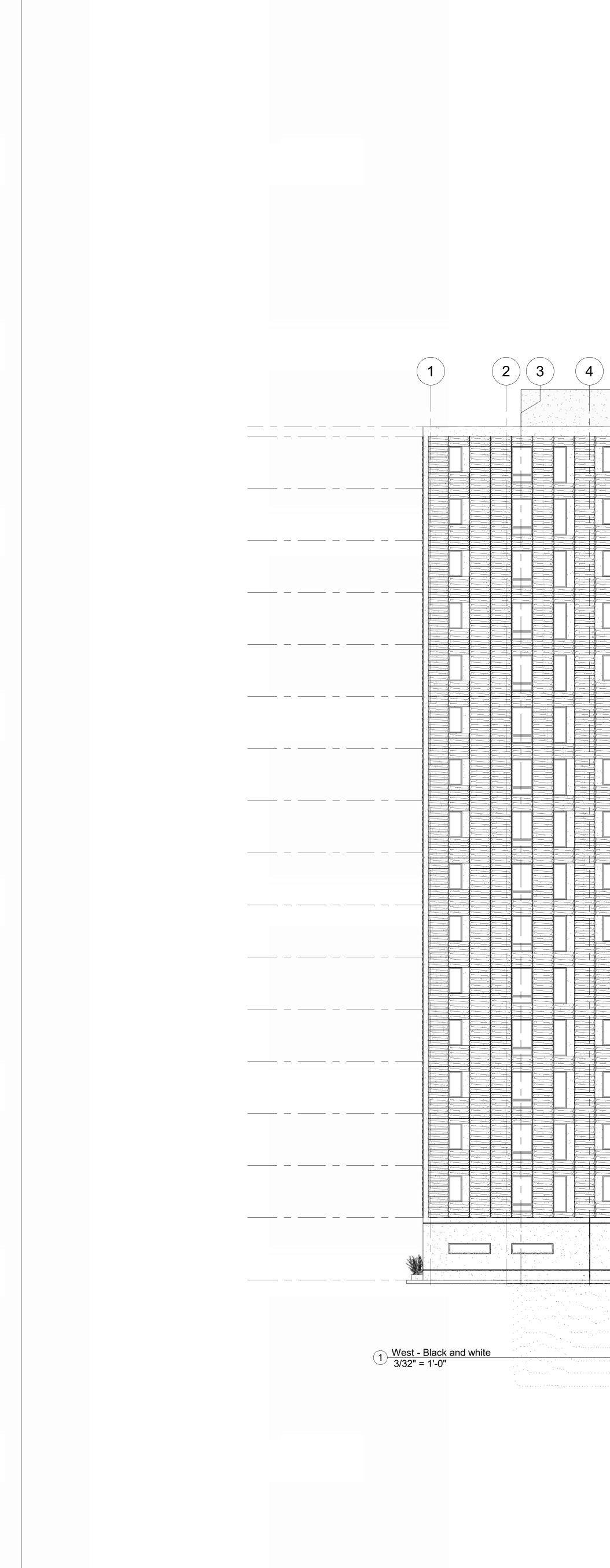




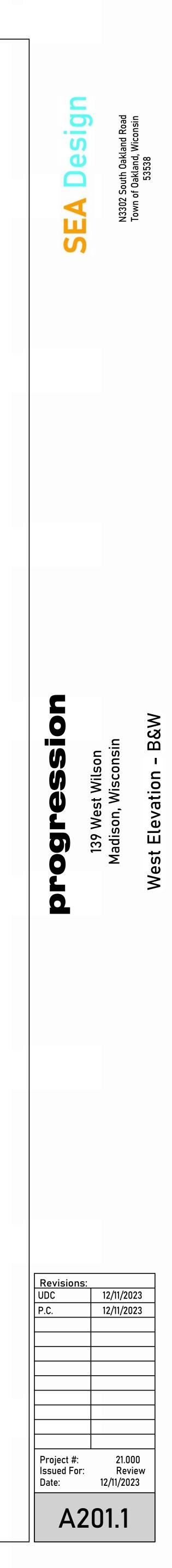


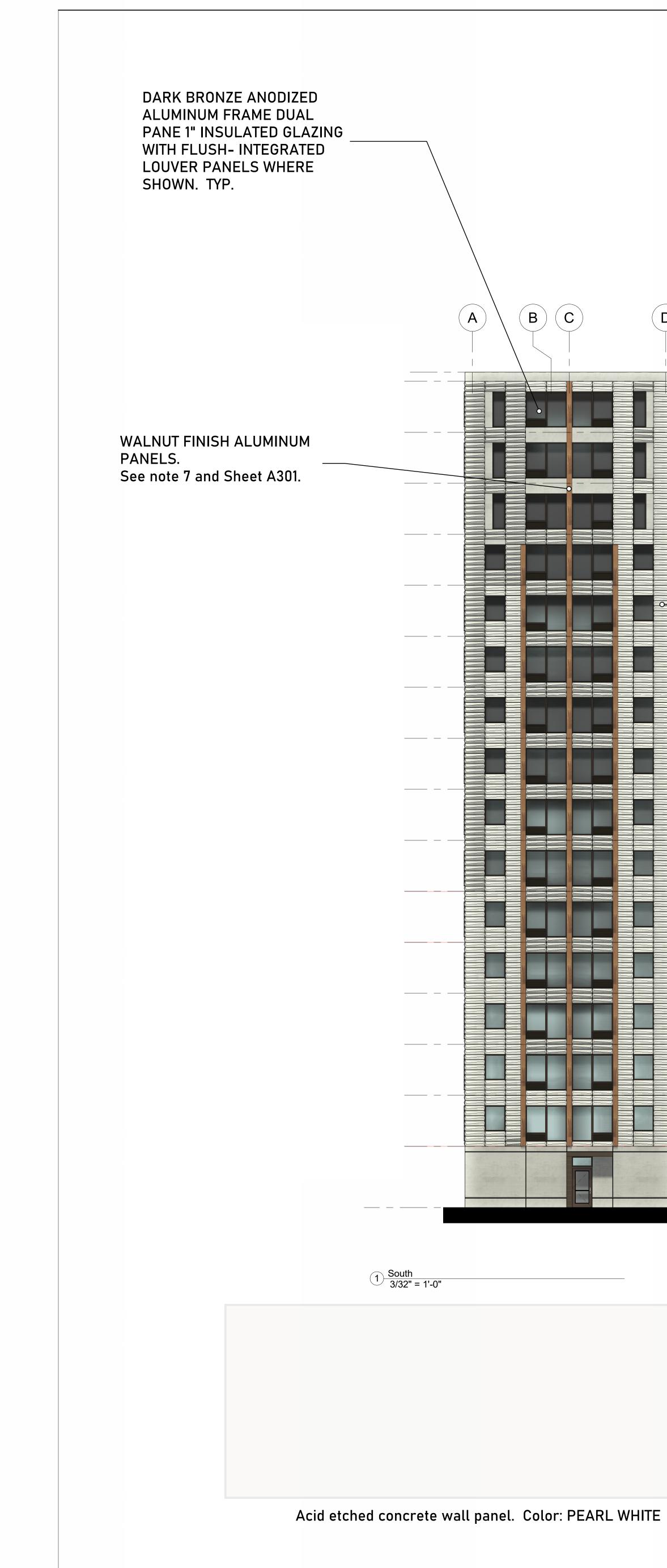
2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted





	(13)	(12)	11)	(10)		9	8	(7)		6		5		
Parapet 163' - 9 1/2"													- 21/2"	
Level 16														
<u>Level 16</u> 152' - 0"														
<u>Level 15</u> 142' - 0"														
l evel 14														
<u>Level 14</u> 132' - 0"														
<u>Level 13</u> 122' - 0"														
<u>Level 12</u> 112' - 0"														
<u>Level 11</u> 102' - 0"														
<u>Level 10</u> 92' - 0"														
Level 9 82' - 0"														
Level 8 72' - 0"														
<u>Level 7</u> 62' - 0"														
02 - 0														
Level 6 52' - 0"														
Level 5 42' - 0"														
42' - 0"														
Level 4 32' - 0"														
Level 3 22' - 0"														
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Level 2 12' - 0"														
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EGRESS STAIR FOR FIRE DEPARTMENT ACCESS. D Parapet 163' - 9 1/2" Roof 162' - 0" WALNUT FINISH ALUMINUM PANELS. See note 7 and Sheet A301. Level <u>16</u> 152' - 0" Level 15 142' - 0" Level 14 132' - 0" Level <u>13</u> 122' - 0" ACID ETCHED CONCRETE WALL PANELS WITH 1' X 4' PROFILED FACETS. COLOR TO BE PEARL WHITE. TYP. Level <u>12</u> 112' - 0" Level <u>11</u> 102' - 0" Level 10 92' - 0" Level 9 82' - 0" Level 8 72' - 0" Level 7 62' - 0" Level 6 52' - 0" INTERNALLY LIT WALL ART Level 5 42' - 0" ENCLOSURE. See Note 5 this sheet Level 4 32' - 0" Level 3 22' - 0" \_\_\_\_\_ Level 2 12' - 0" Level 1 0' - 0"

ENCLOSED ELEVATOR PENTHOUSE AND

2 North 3/32" = 1'-0"

### **GENERAL MATERIAL NOTES:**

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- locations:
  - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
  - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- product sheet on Sheet A301.

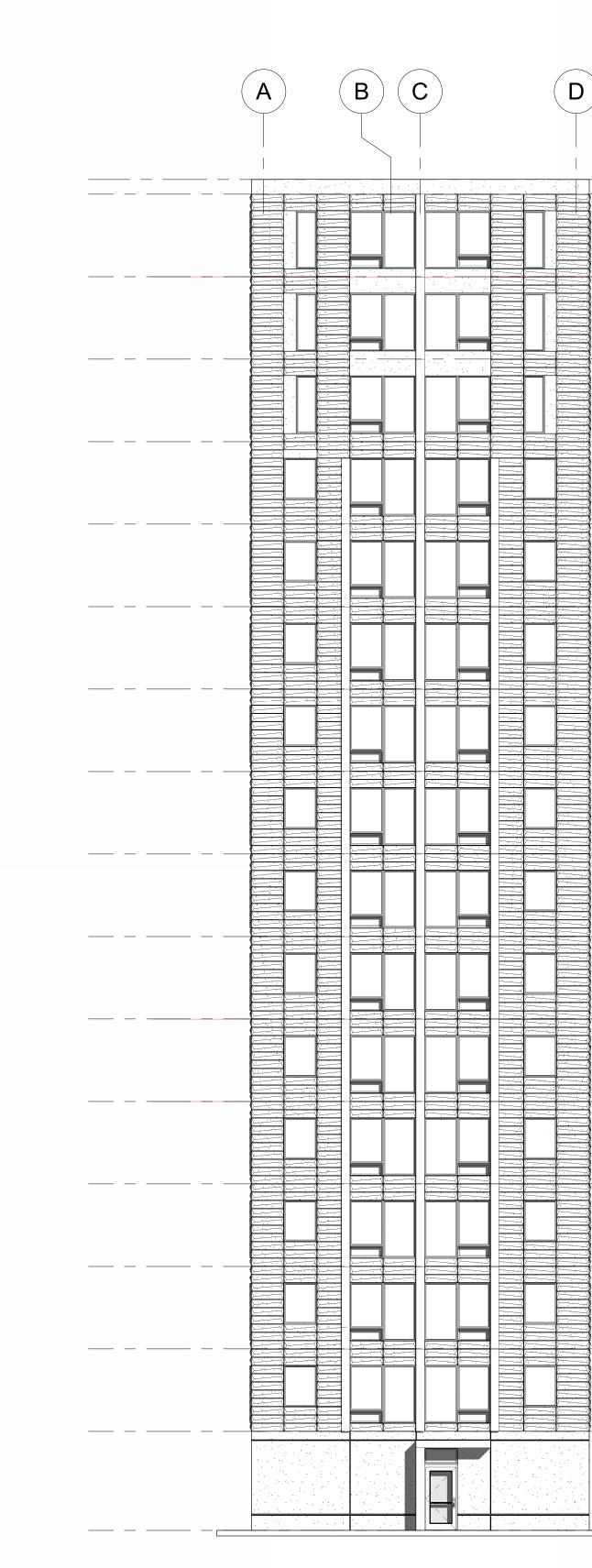


2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted

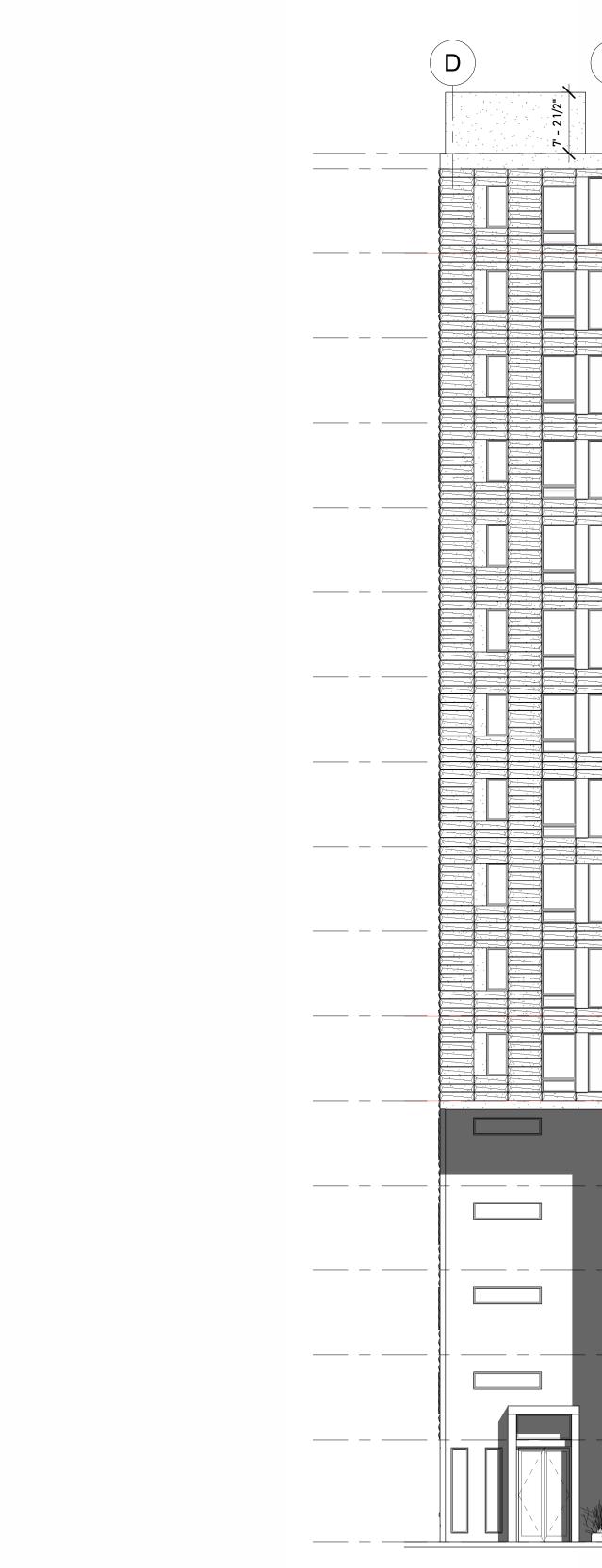
4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade. 5.) Wall art enclosures: See sheets A302; A302.1, and A302 for details. The art images would be color jet printed on 4' x 10 ' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with an LED neon tube. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following

6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See details and





 $1 \frac{\text{South - Black and white}}{3/32" = 1'-0"}$ 



Parapet 163' - 9 1/2" Roof 162' - 0" Level 16 152' - 0" \_\_\_\_\_ Level 15 142' - 0" Level <u>14</u> 132' - 0" Level 13 122' - 0" Level <u>12</u> 112' - 0" Level 11 102' - 0" \_\_\_\_\_ Level 10 92' - 0" \_\_\_\_\_ Level 9 82' - 0" Level 8 72' - 0" Level 7 62' - 0" \_\_\_\_\_ Level 6 52' - 0" Level 5 42' - 0" Level 4 32' - 0" Level 3 22' - 0" Level 2 12' - 0" \_\_\_\_\_ Level 1 0' - 0"

2 North - Black and white 3/32" = 1'-0"

	A	
<b>7</b> - 2 1/2		Parapet 163' - 9 1/2"
		Level 16 152' - 0"
		Level 15 142' - 0"
		<u>Level 14</u> 132' - 0"
		<u>Level 13</u> 122' - 0"
		Level 12 112' - 0"
		Level 11 102' - 0"
		<u>Level 10</u> 92' - 0"
		Level 9 82' - 0"
		Level 8 72' - 0"
		Level 7 62' - 0"
		Level 6 52' - 0"
		<u>Level 5</u> 42' - 0"
		Level 4 32' - 0"
		Level 3 22' - 0"
		<u>Level 2</u> 12' - 0"
		<u>Level 1</u>





Revisions:				
UDC	12/11/2023			
P.C.	12/11/2023			
Project #:	21.000			
Issued For:	Review			
Date:	12/11/2023			
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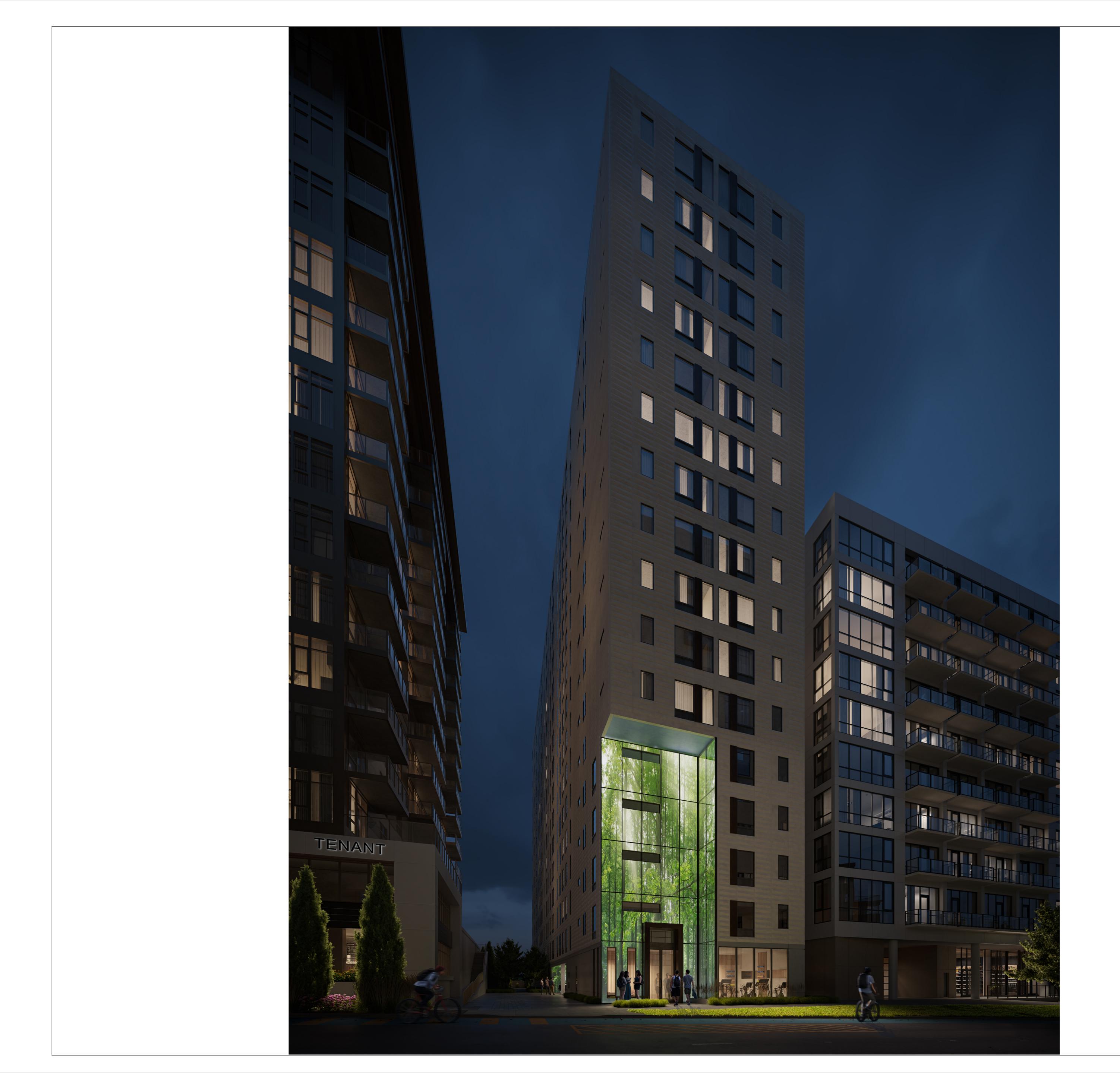
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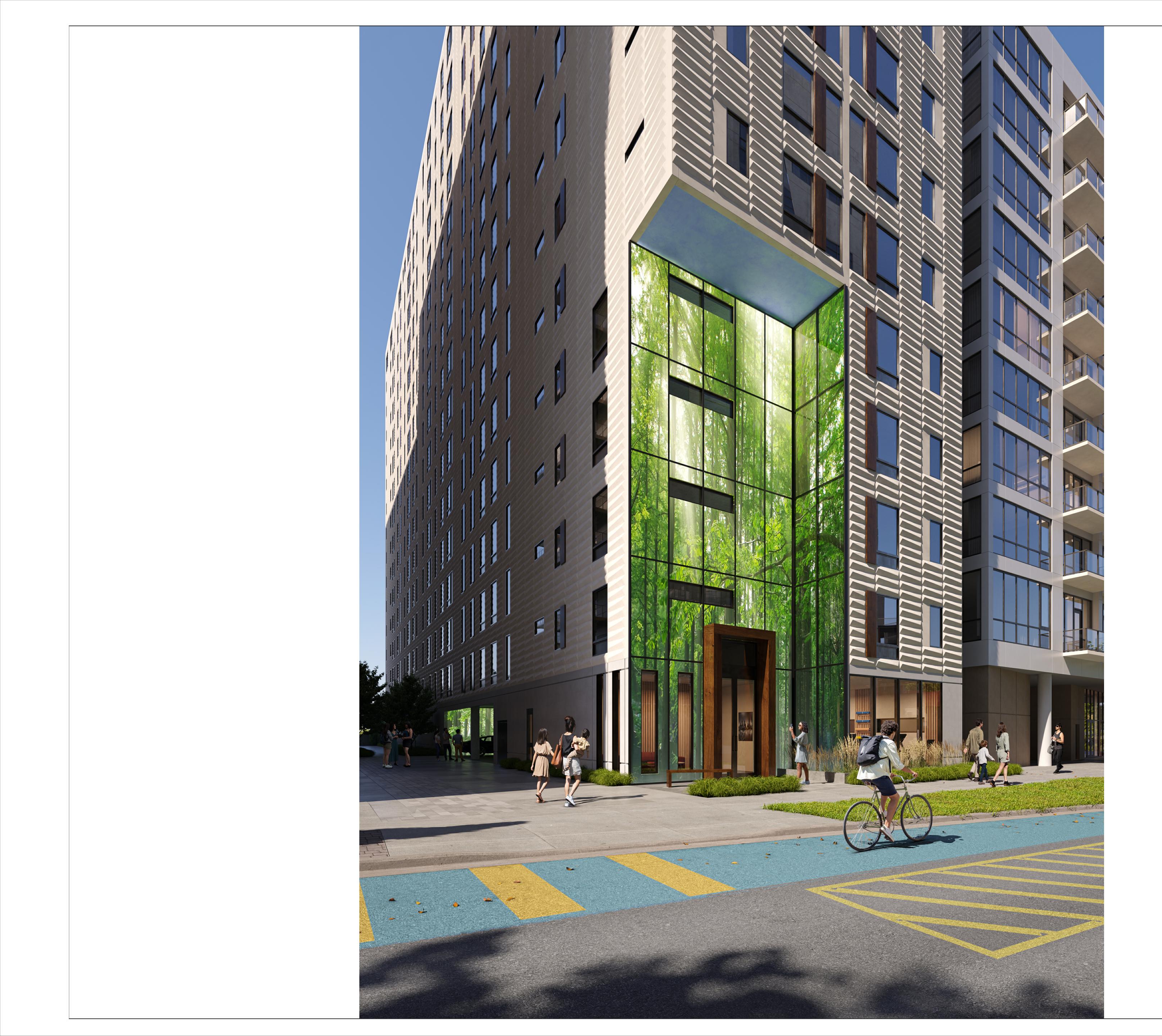
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N33U2 South Uakland Road Town of Oakland, Wiconsin 53538



Revisions:			
UDC	12/11/2023		
P.C.	12/11/2023		
Project #:	21.000		
Issued For:	Review		
Date:	12/11/2023		
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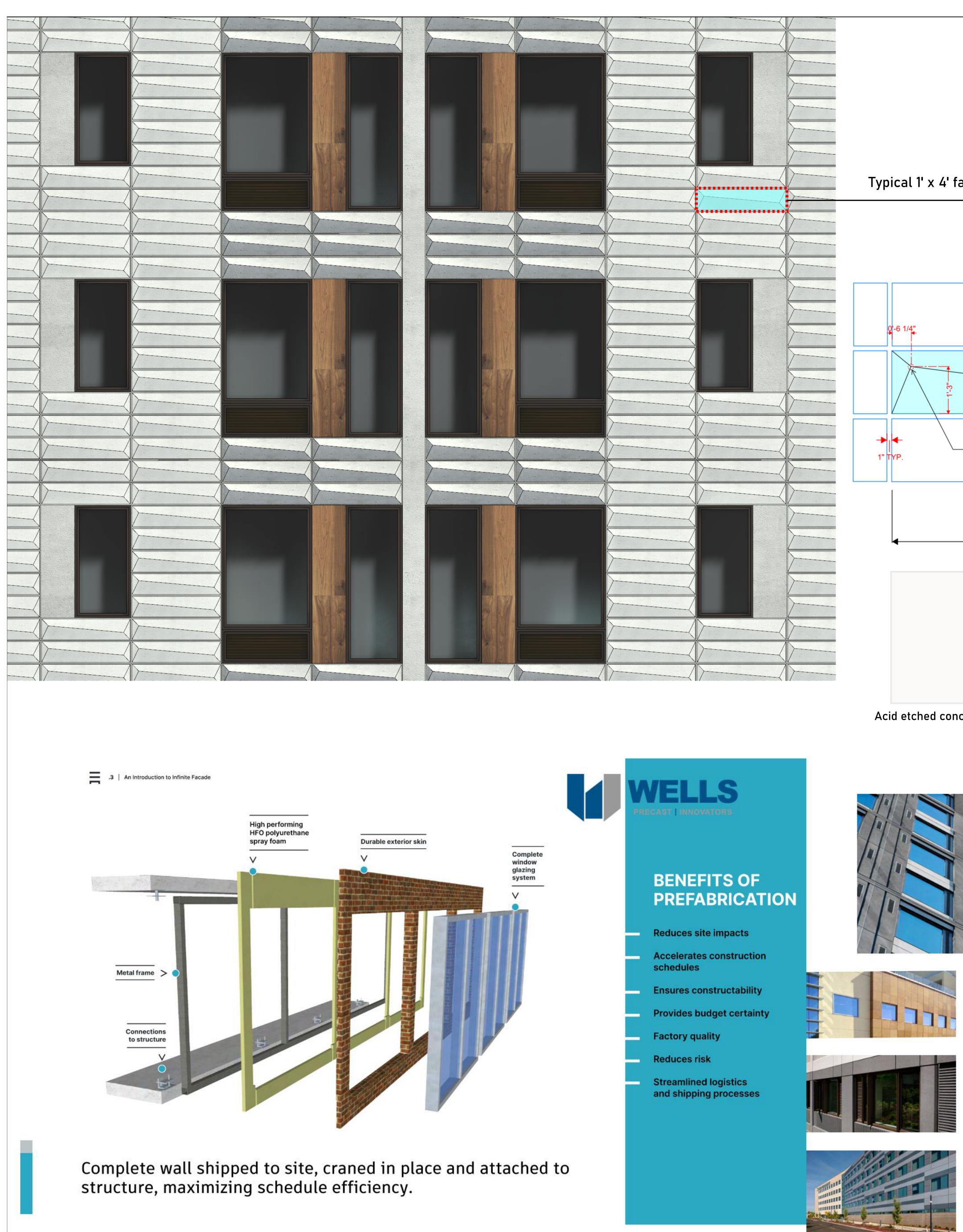


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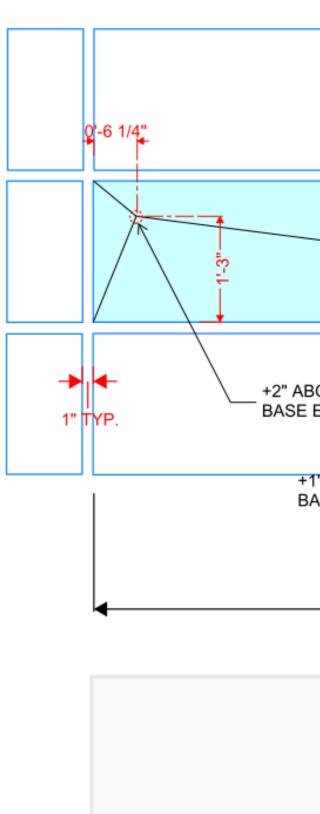




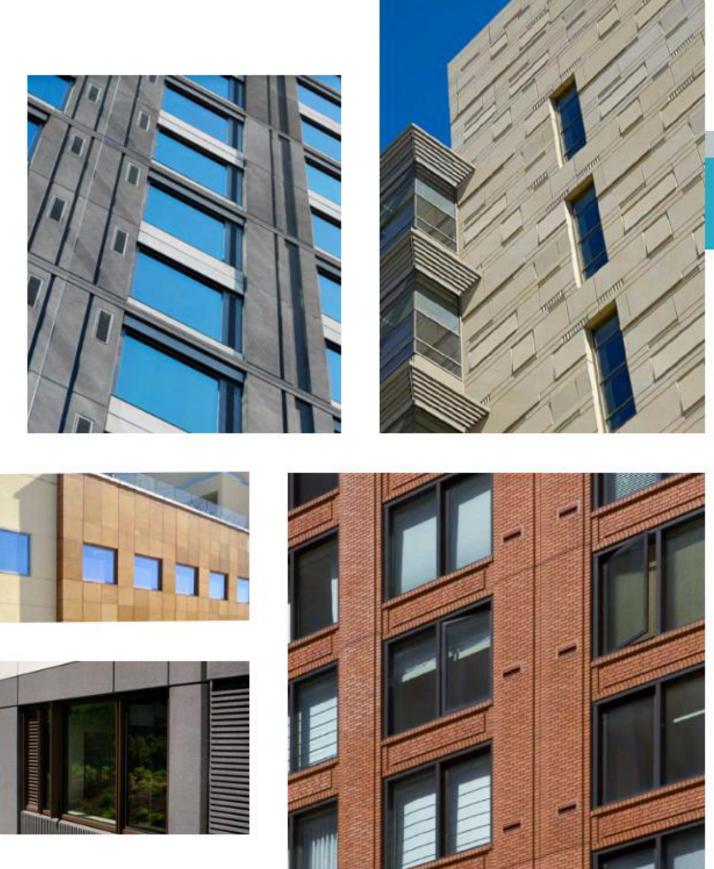
N3302 South Oakland Road Town of Oakland, Wiconsin 53538

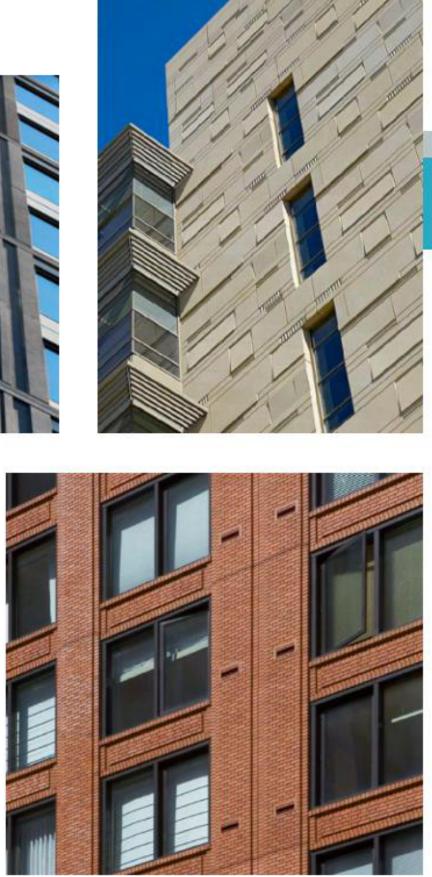


### Typical 1' x 4' faceted unit



Acid etched concrete wall panel. Color: PEARL WHITE





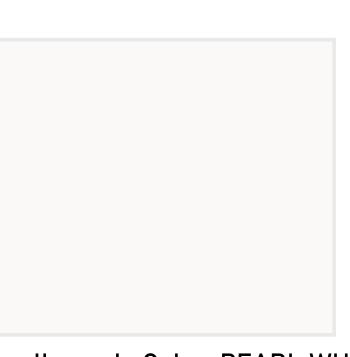
### PRIMARY EXTERIOR MATERIAL:

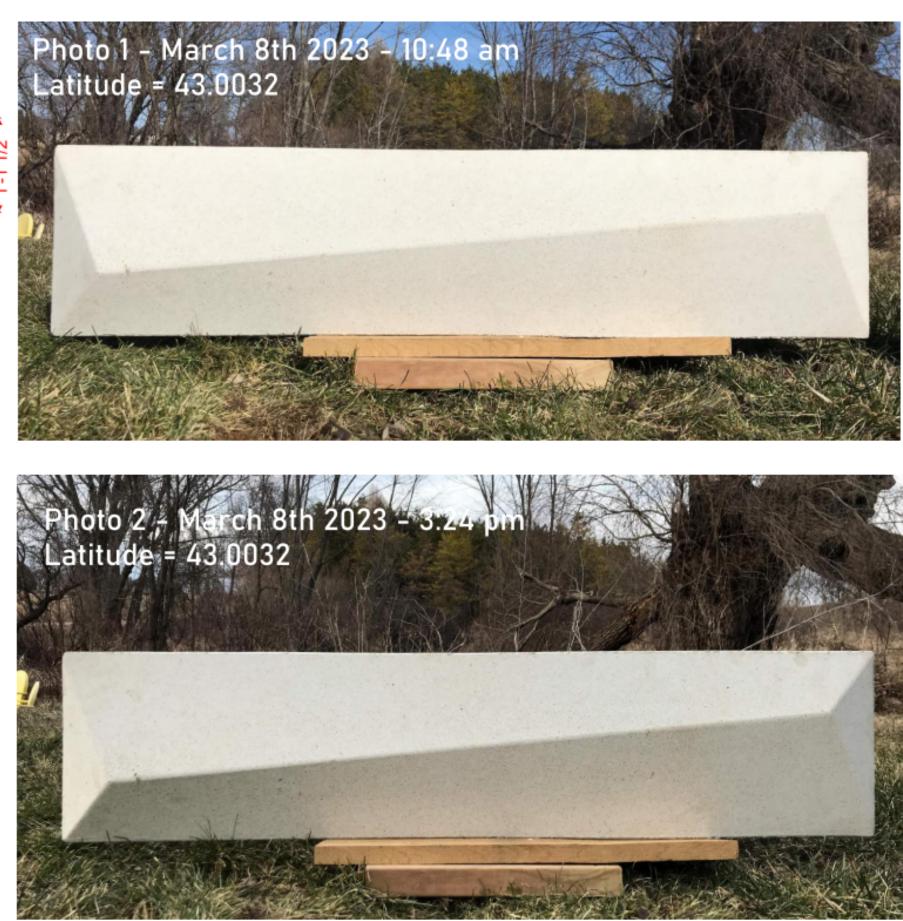
Factory fabricated concrete skin wall panels whose primary sizes are 10' H x 24' W and 32' W.

Within each large panel the surface contains multiple custom formed 1' H x 4' W facets.

The concrete has a fine acid etched finish with pearl white color.

Wall panel manufacture is Wells Infinite Facade. www.infinitefacade.com Project manager is Dan Stenzel (dan.stenzel@wellsconcrete.com) \_\_ +2" ABOVE BASE ELEV. (0.0") +1" ABOVE BASE ELEV. (0.0")





.4 | An Introduction to Infinite Facade

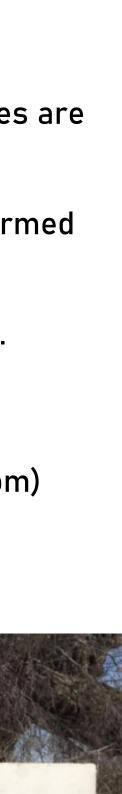


### Finishes

Our exterior finish options are limitless. In addition to the wide variety of colors and textures currently available in traditional precast, other materials can be cast into the exterior veneer such as brick, terracotta, and stone. The use of form liners also allows for an endless number of geometric patterns and reveals to be incorporated into the design.

### Aesthetic Customization









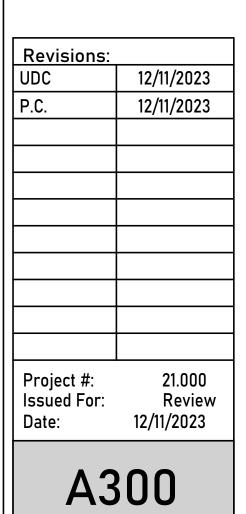
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### materials st Wilson , Wisconsi 139 Wes Madison, Exterior

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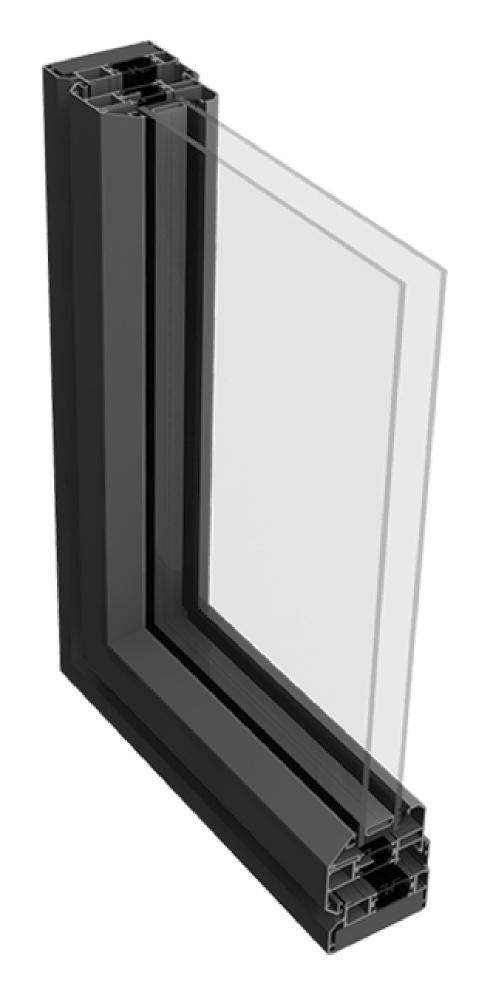
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### ENLARGED PARTIAL NORTH FACADE SHOWING TYPICAL WINDOW -LOUVER - LONGBOARD CONFIGURATION AND SIZES

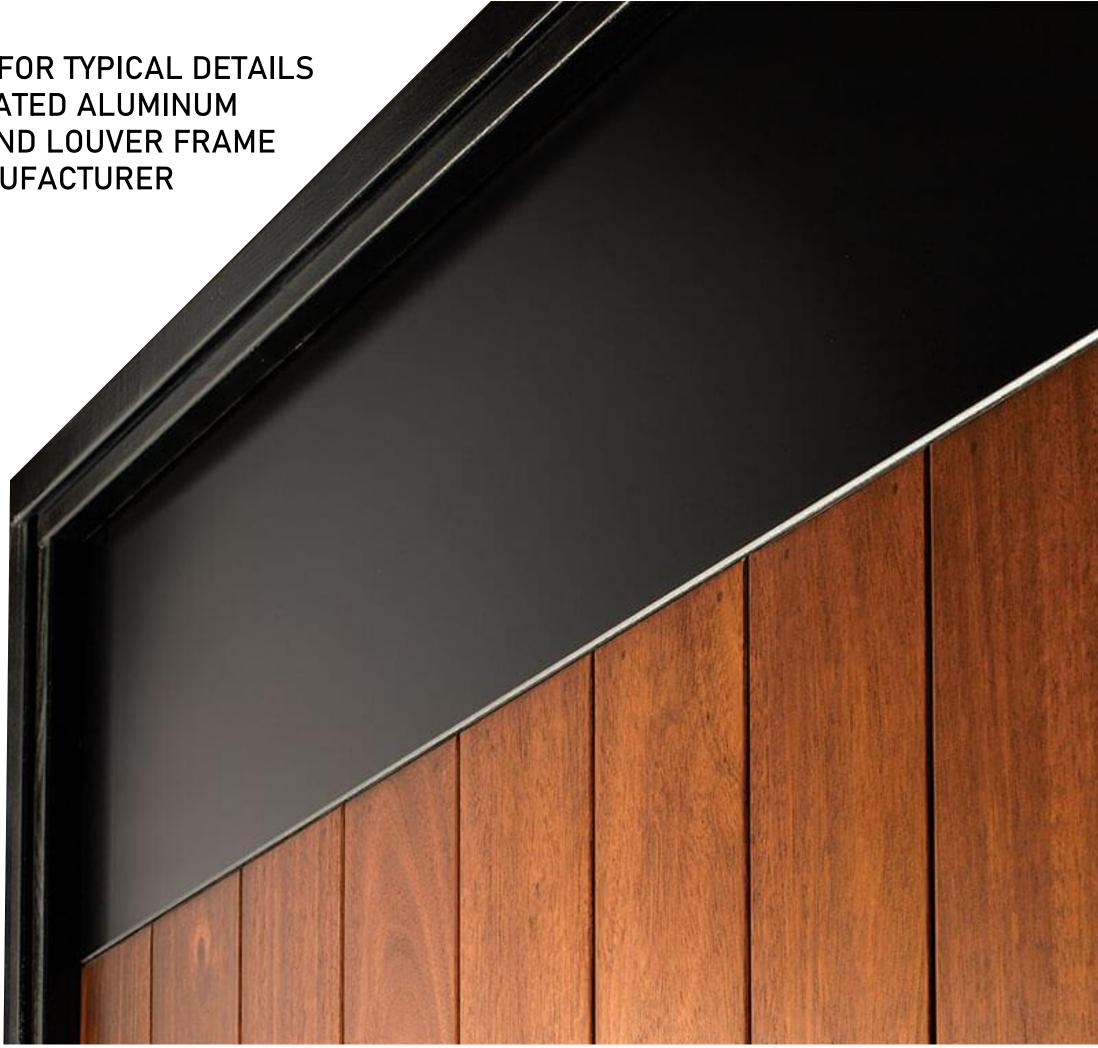


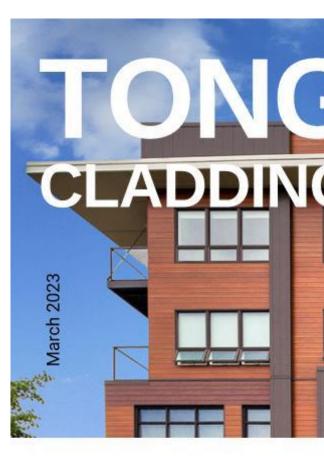




DARK BRONZE ANODIZED ALUMINUM FINISH AT ALL EXTERIOR WINDOWS, DOORS AND INTEGRSL WINDOW LOUVERS.

### SEE A301.1 FOR TYPICAL DETAILS OF INTEGRATED ALUMINUM WINDOW AND LOUVER FRAME FROM MANUFACTURER





TYPICAL ISOMETRIC



PROFILES V-Groove: 2-1/2", 4", 6" Smooth: 6" Channel: 6" Standard Lengths: 24' 96 SQ FT/box

COMPONENTS - Standard Lengths: 12'

Traditional: Starter Strip, Back-to Back Starter Strip, 2" Corner Set, 1-3/8" Two Piece J-Track, 1-3/8" Termination Set, Compression Joint (24'), 1-1/2" Flat Reveal Set, 1-1/2" U-Reveal Set, 1-1/2" T&G U-Reveal, 2" Offset Flat Reveal

Craftsman: 3/4" Inside Corner, 1" Outside Corner, 3/4" U-Reveal Set, 3/4" T&G U-Reveal

Precision: 5/8" Starter J-Track, 3/16" Outside Corner, 5/8" J-Track, 5/8" Two Piece J-Track, 5/8" Termination Set, 1/2" Flat Reveal, 1/2" T&G Flat Reveal T&G\_IS\_RB\_V3

DARK BRONZE ALUMINUM NEXT TO TABLE WALNUT - 1 VERTICAL LONGBOARD

LONGBOARD ARCHITECTURAL PRODUCTS - TONGUE AND GROOVE CLADDING SYSTEM - 4" WIDE (4V) VERTICAL ORIENTATION. COLOR: TABLE WALNUT -1



### TECHNICAL SPECIFICATIONS

### PHYSICAL DATA 6063-T5 Extruded Aluminum

100% Recyclable Warranty: Finish:15 year (standard)/20 year\* (ultra) (\*10 week lead time); Aluminum: 50 year Weight (lbs/sqft): ~1.5

ICC-ES Evaluation Report - Division: 07 00 00 Thermal and Moisture Protection Section: 07 46 00 - Siding

AAMA 509 Rainscreen: W1, V2

LARR - Los Angeles Department of Building Safety (LADBS) accepts ICC-ES reports as proof of compliance Florida Product Code: FL20075

Miami Dade, Florida, Notice of Acceptance(NOA): NOA No. 22-0209.01 -Expiration Date: January 26, 2028 Impact testing: TAS 201

WUI (The Wildland-Urban Interface) – California Department of Forestry & Fire Protection Office of the State Fire Marshal Listing No. 8140-2286:0500

Fire Rating: Class A Non-Combustible by ASTM E136 & ASTM E84 ; A2-s1,d0 by EN 13501-1 Light Reflectance: 5% (Black) up to 73.2% (Ultra White)

Wind load: Up to 121 psf (5794 Pa) TAS 202, TAS 203

FINISHES Woodgrains, solid color, naturally aged metal, custom solid colour matching (additional lead times apply)

ATTACHMENT Planks: Quick-screen clips w. #8 screws\* @ 32" o.c. (standard). Quick-screen clips included: 135 pcs/4" box, 90 pcs/6" box. Trims: hard fasten w. #8 screws\* @ 16" o.c. \*Screws not included.

Quick Screen Clip

T&G Plank

BIM & CAD RVT & DWG files available, see website for details

LEAD TIME 3-6 business days + shipping (subject to change)



2-1/2" V 4"V 6"V 6"S 6"C

info@longboardproducts.com longboardproducts.com 800 604 0343



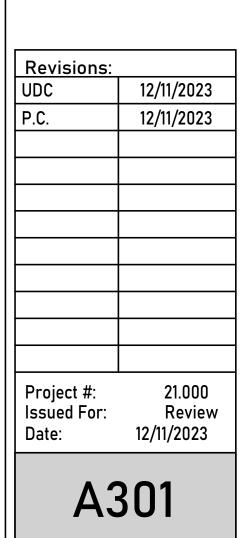


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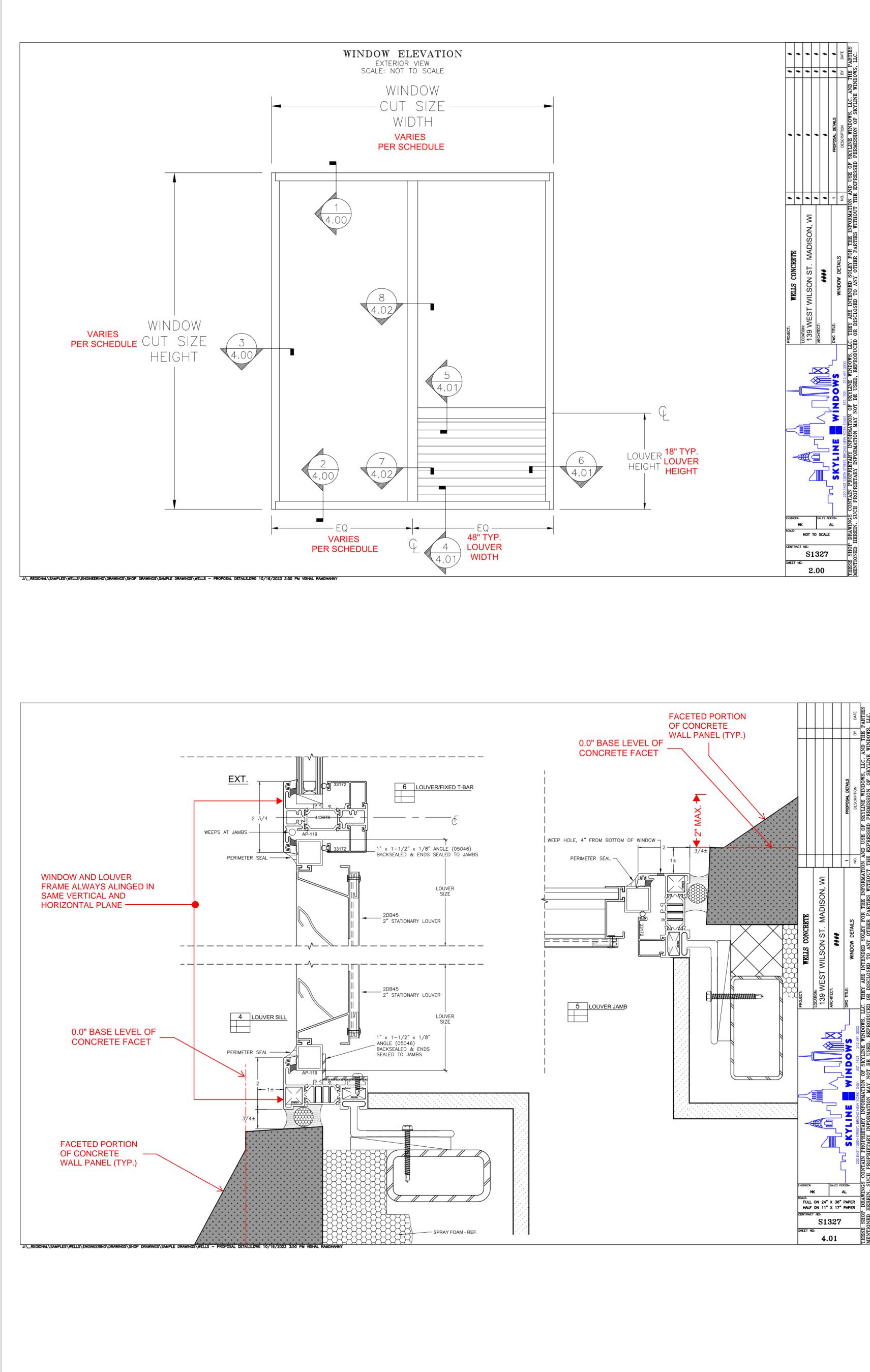
materials Exterior

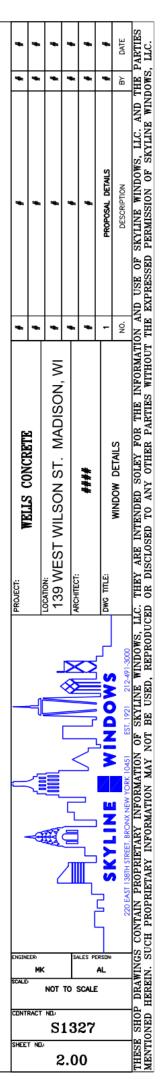
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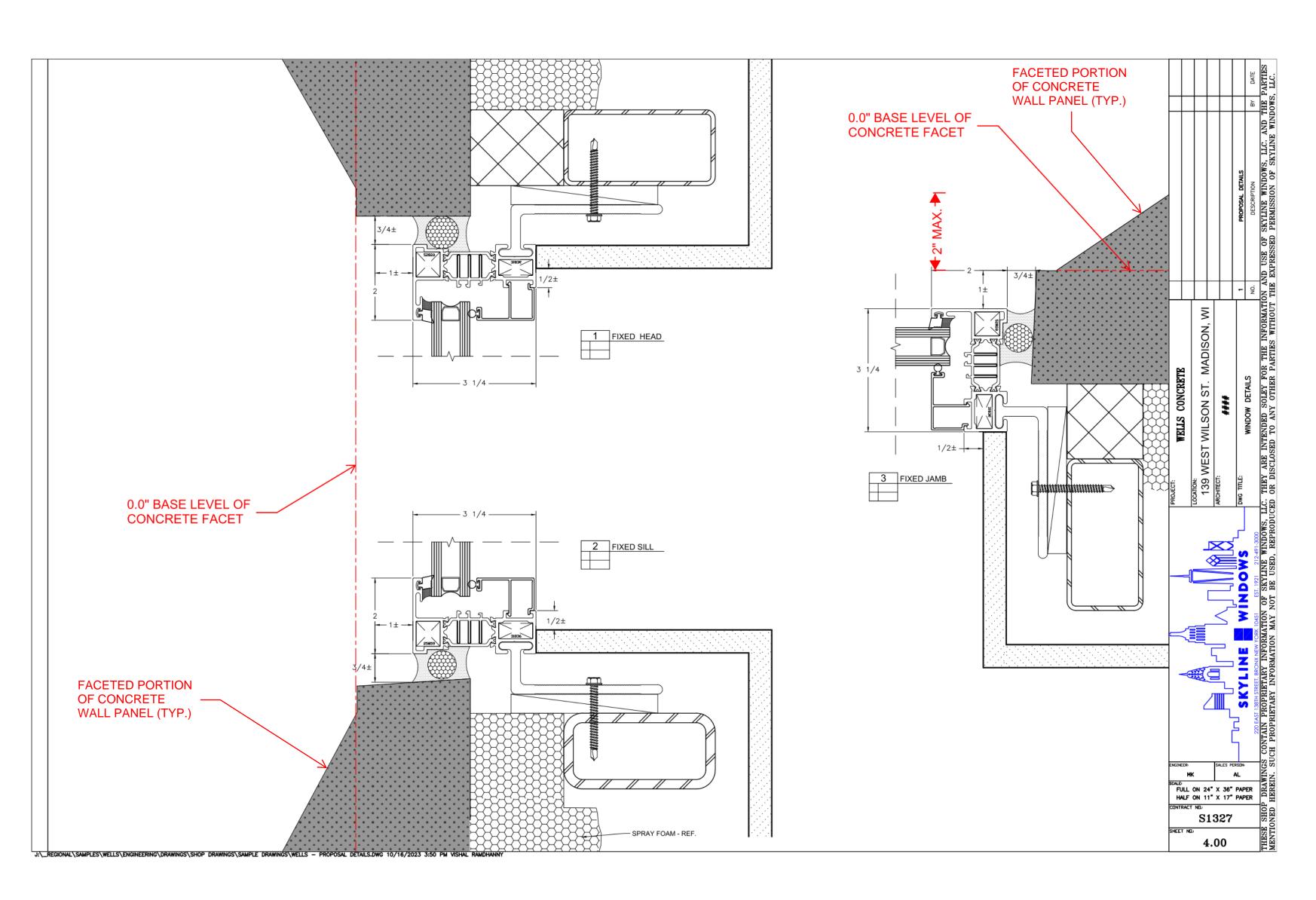
139 Wes Madison, <sup>1</sup>

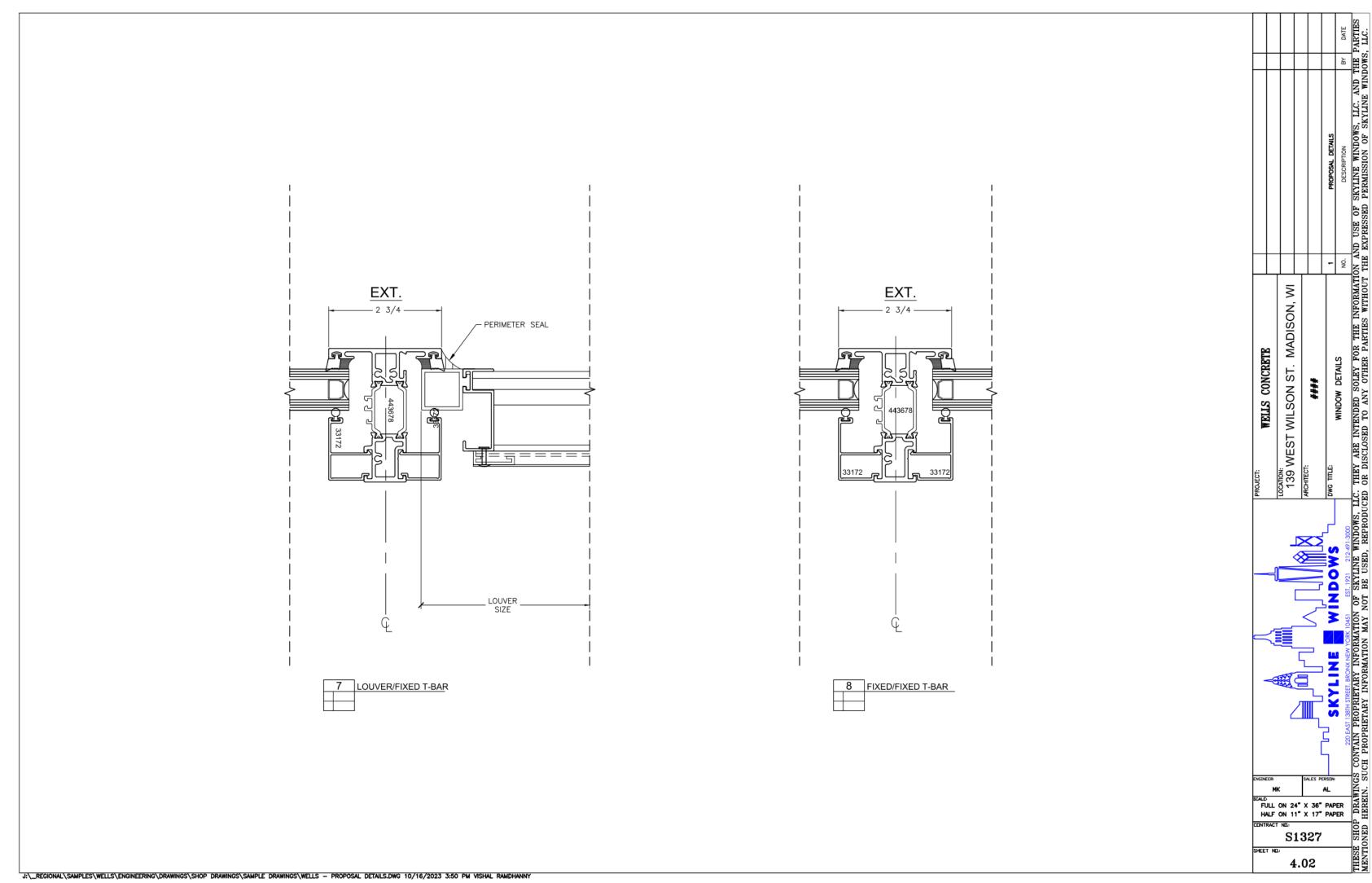








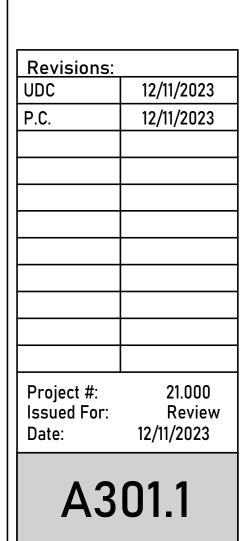






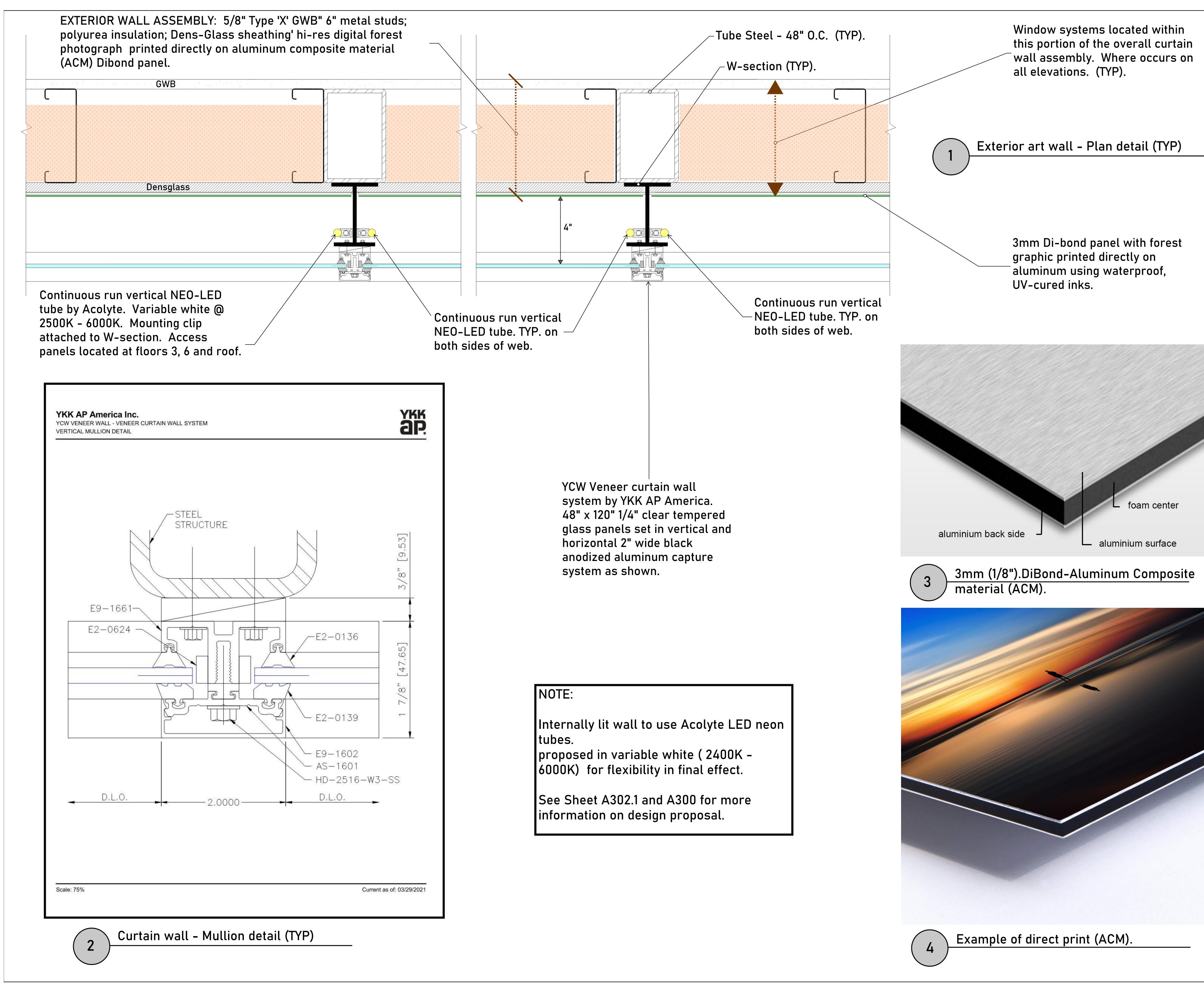
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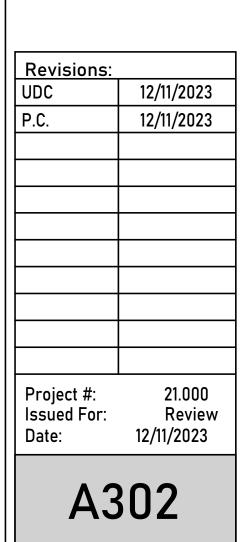






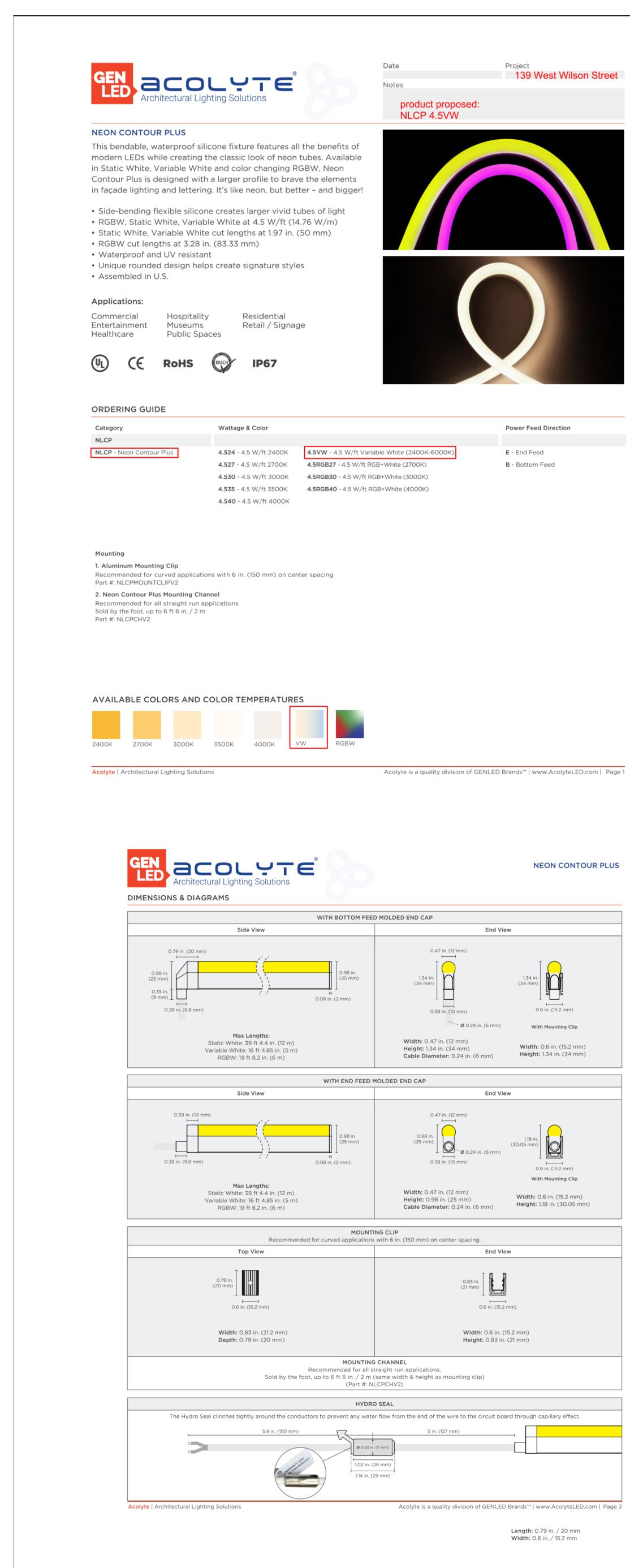
N3302 South Oakland Road Town of Oakland, Wiconsin 53538







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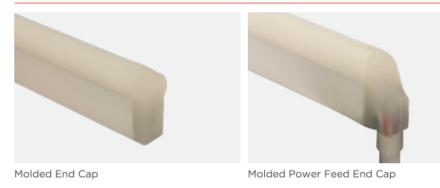




POWER FEED OPTIONS / SPECIFICATIONS / USAGE GUIDELINES

OWER FEED OPTIONS / SPEC	CIFICATIONS / USAGE GUIDELINES
SPECIFICATIONS	NEON CONTOUR PLUS
Operating Voltage	24V DC
Power Consumption	Static White, Variable White, RGBW: 4.5 W/ft (14.76 W/m)
Protection Rating	IP67
Beam Angle	110°
Dimming	ELV / MLV / 0-10 Volt / DMX / Lutron A-Series 1% dimming LED drivers
Operating Temperature	-4° F to 140° F (-20° C to 60° C)
Color Temperatures / Colors	2400K, 2700K, 3000K, 3500K, 4000K, Variable White (2400K-6000K) RGBW (2700K, 3000K, 4000K)
Lamp Life	50,000 Hours
Max Length	Static White: 39 ft 4.4 in. (12 m) (Not Field Cuttable) Variable White, RGBW: 16 ft 4.85 in. (5 m) (Not Field Cuttable)
Cuttable Length	Static White, Variable White: 1.97 in (50 mm) RGBW: 3.28 in. (83.33 mm)
Power Cable Length	Standard: 12 in. (304.8 mm) / Custom: up to 20 ft (6 m)
UV Resistant	UV tested in accordance with ISO 4892-3 with no visible change on the appearance of the sample
Minimum Bend Diameter	11.8 in. (300 mm)
CRI (white)	90+ for all Color Temperatures
	<b>4.5 Static White</b> 4000K: 206 lm/ft (675.7 lm/m), 43 lm/W
Lumens	<b>4.5 Variable White</b> 164 lm/ft (537.92 lm/m), 34 lm/W
	<b>4.5 RGBW</b> Red: 9 lm/ft (29.5 lm/m), 8 lm/W / Green: 27 lm/ft (88.56 lm/m), 19 lm/W / Blue: 7 lm/ft (22.96 lm/m), 5 lm/W White: 47 lm/ft (154.16 lm/m), 28 lm/W / All LEDs at 100%: 90 lm/ft (295.2 lm/m), 20 lm/W

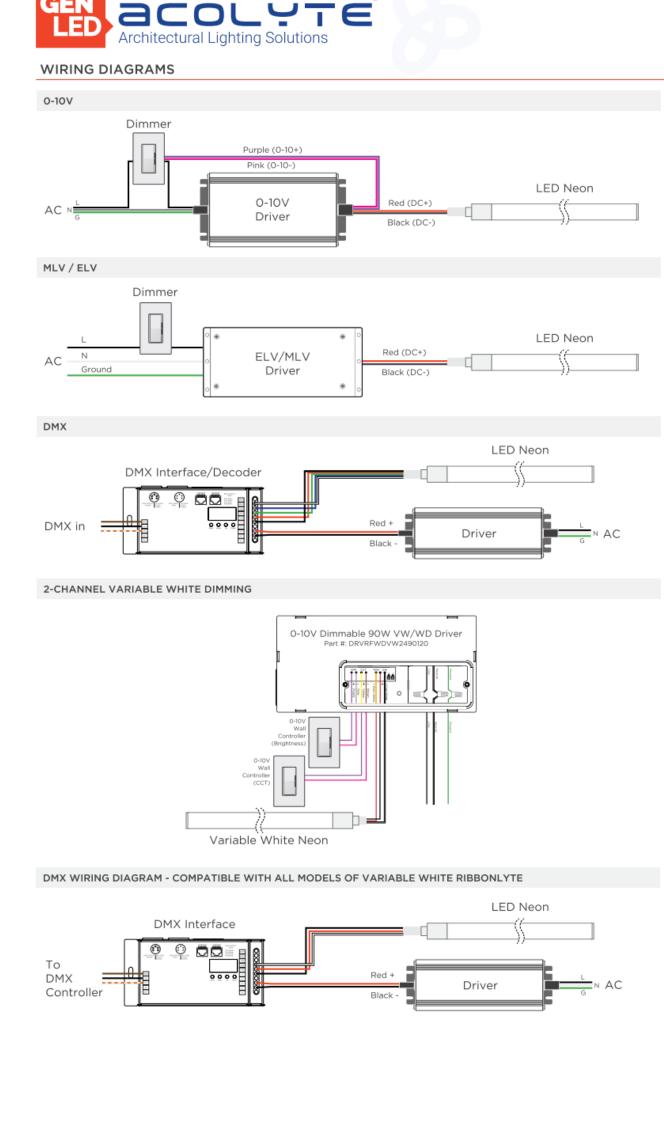
MOLDED END CAPS



USAGE GUIDELINES

- When installing this product take into account the surface temperature of the material where it will be mounted. Many building surfaces which are exposed to direct sunlight exceed the 140° F/60° C maximum that our product is rated for. High-risk locations like this should be avoided.
- This product is not intended to be submerged in pools and fountains and does not carry UL 676 certification to do so. Available for download at www.GENLEDBrands.com/Acolyte
- Compatible with a wide variety of control products including the entire line of Lutron dimming systems.
- For use with Acolyte drivers, triac dimming modules, and 0-10 modules.
- Use with non-Acolyte triac, MLV or ELV drivers is not supported or warrantied
- Due to the cuttable points inside, this product's cuttable lengths are generally longer or shorter than the customer requested length. Unless specified, this product is factory cut at the shorter cuttable point
- This product can be used in wet, outdoor locations around swimming pools and spa tubs, but not submerged in swimming pools and spa tubs. We reserve the right to make changes to product lineup, specifications, design and finishes at any time without notice.
- Acolyte does not warrant or represent that this information is free from errors or omission. The information may change without notice and Acolyte is not in any way liable for the

accuracy of any information printed and stored or in any way interpreted or used. Acolyte | Architectural Lighting Solutions Acolyte is a quality division of GENLED Brands™ | www.AcolyteLED.com | Page 2



Acolyte | Architectural Lighting Solutions

WIRE COLORS PER RIBBONLYTE COLOR STATIC WHITE Red Wire (+) Positive Black Wire (-) Negative

RGBW Black Wire (+) Positive Red Wire (-) goes to Red Channel Green Wire (-) goes to Green Channel Blue Wire (-) goes to Blue Channel White Wire (-) goes to White Channel

VARIABLE WHITE Black Wire (+) Positive Red Wire (-) goes to Warm White Channel White Wire (-) goes to Cool White Channel

\_\_\_\_\_

NEON CONTOUR PLUS

### NOTE:

Internally lit wall to use Acolyte LED neon tubes. proposed in variable white ( 2400K -

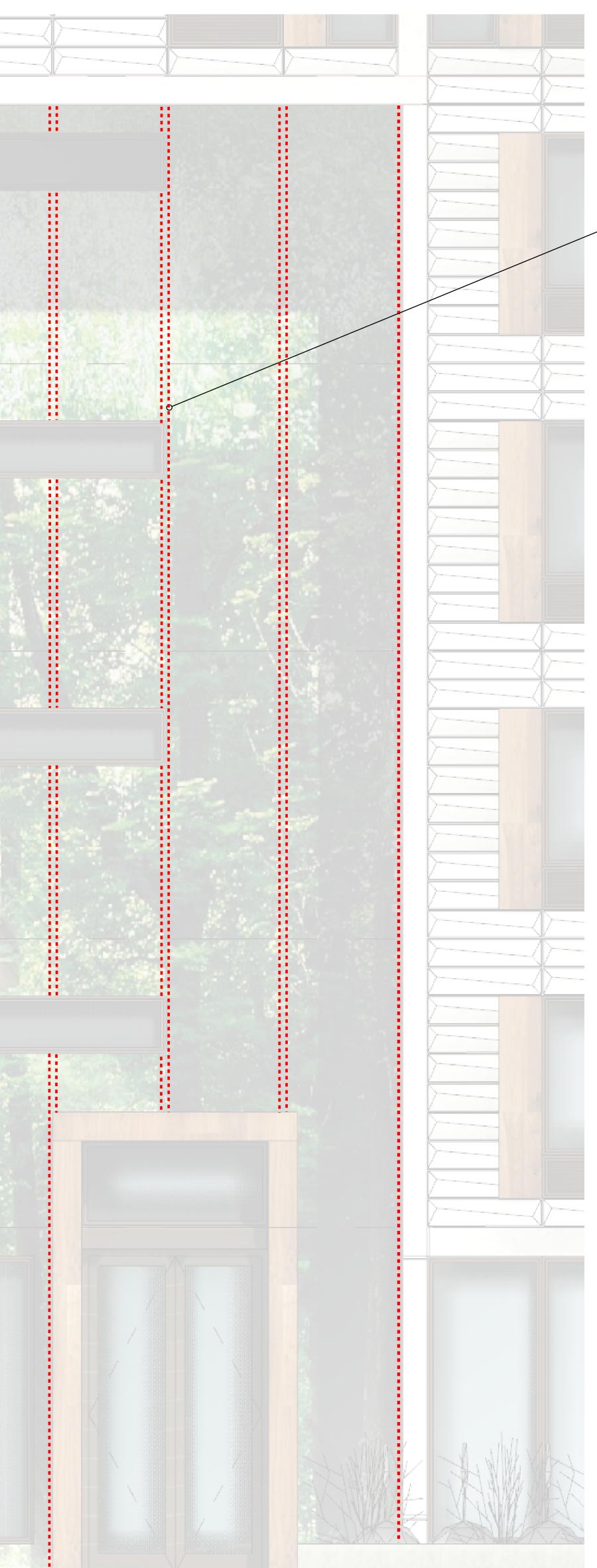
6000K) for flexibility in final effect.

See Sheet A302 and A300 for more information on design proposal.





11 11 



Location of concealed NEON LED tubes shown in red dash. See detail 1/A302.

GENERAL NOTE: Glass curtain wall and illuminated art wall assemblies as shown on East Elevation to follow same detail and lighting configurations.

### North Curtain wall LED light locations





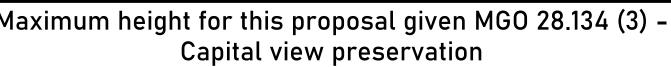
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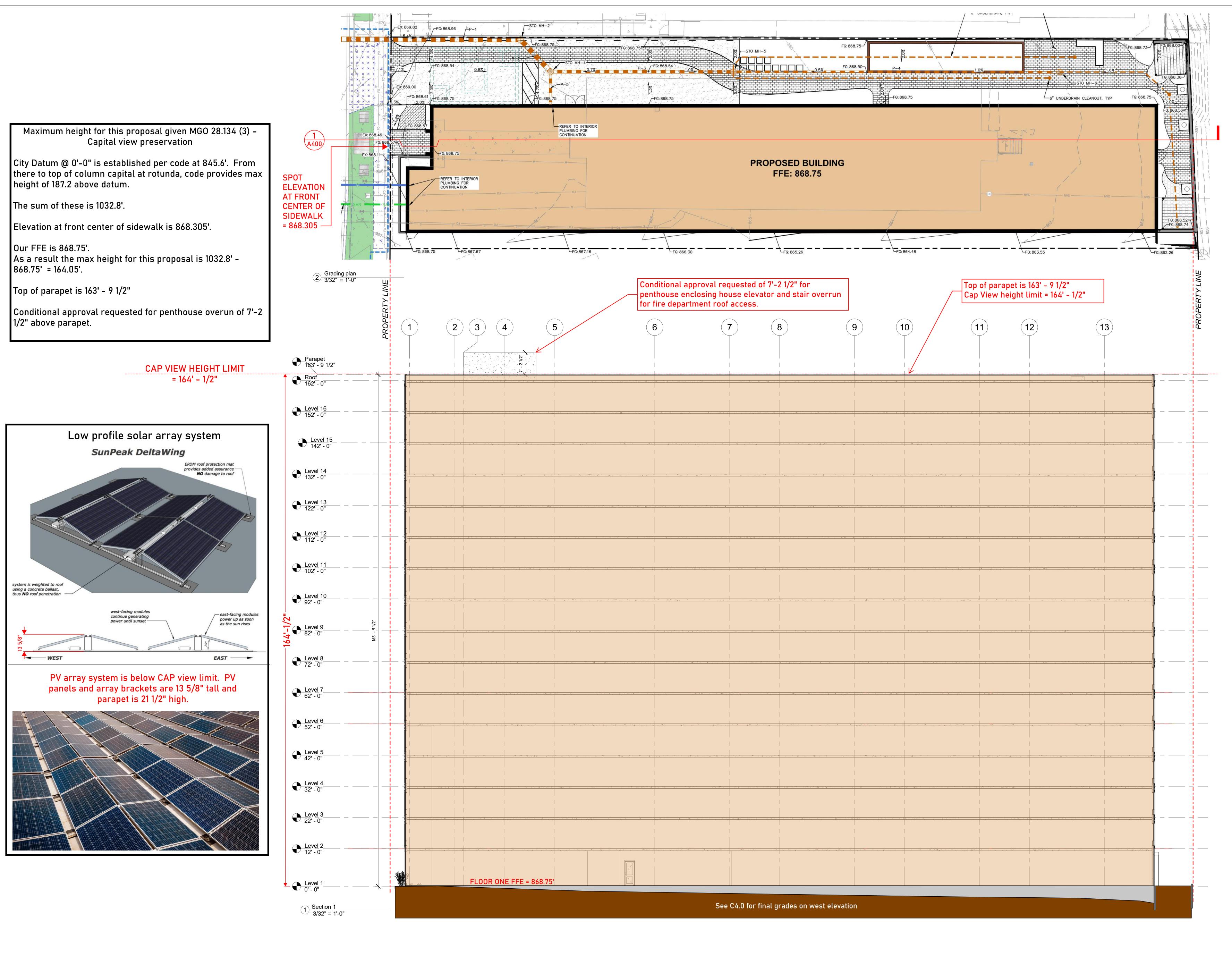
> wall details Internally illuminated



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Revisions:	
UDC	12/11/2023
P.C.	12/11/2023
Project #:	21.000
Issued For:	Review
Date:	12/11/2023
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**Capital View Height Limit** EXHIBIT

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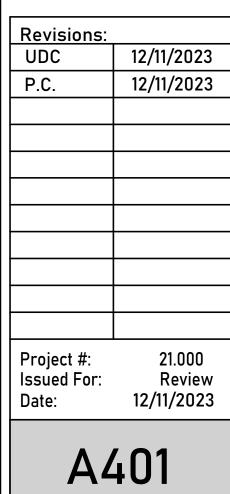
Revisions:			
UDC	12/11/2023		
P.C.	12/11/2023		
Project #:	21.000		
Issued For:	Review		
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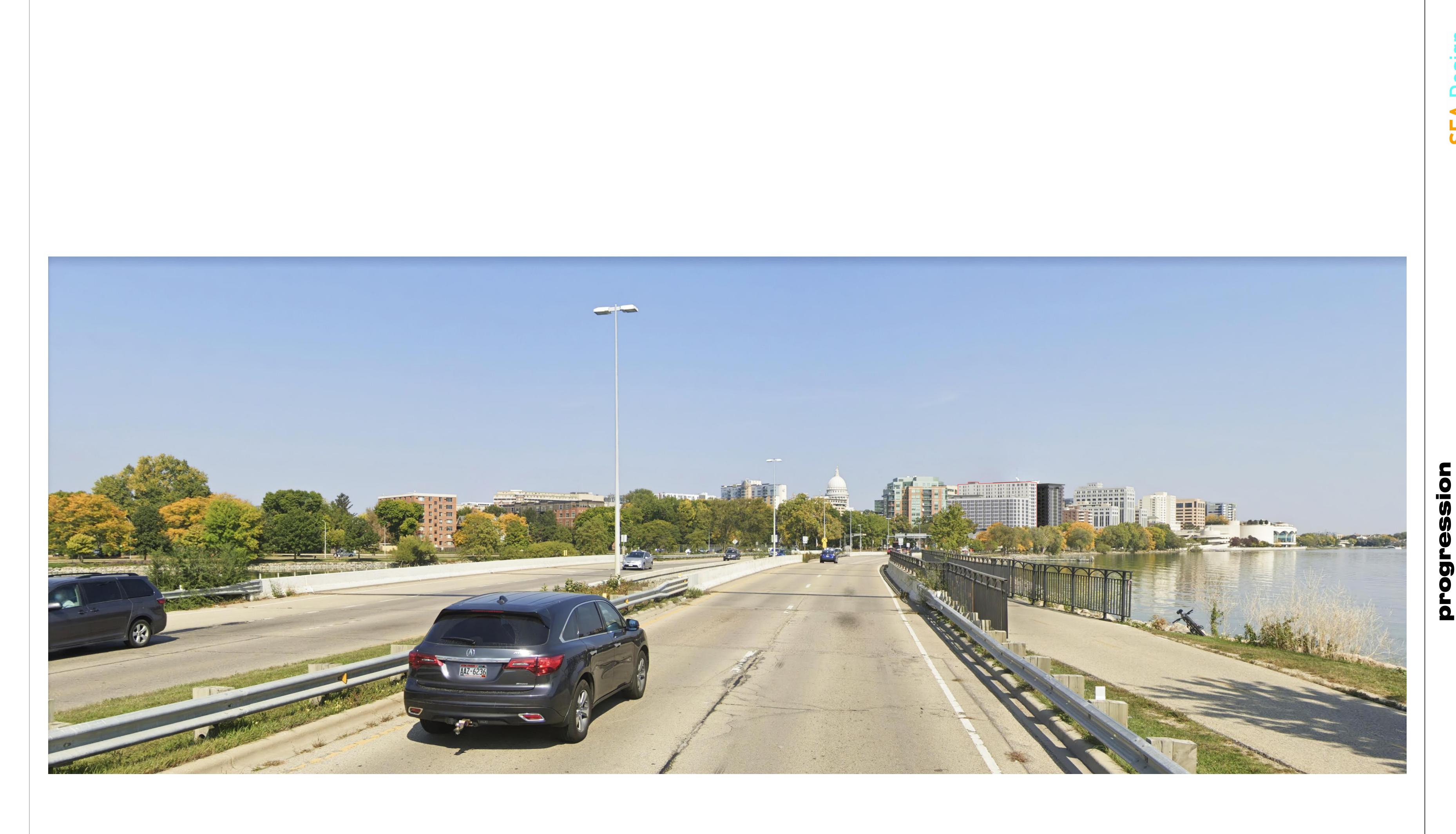
N3302 South Oakland Road Town of Oakland, Wiconsin 53538

## Long View from Olin Park





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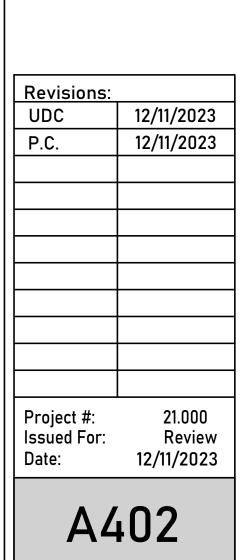
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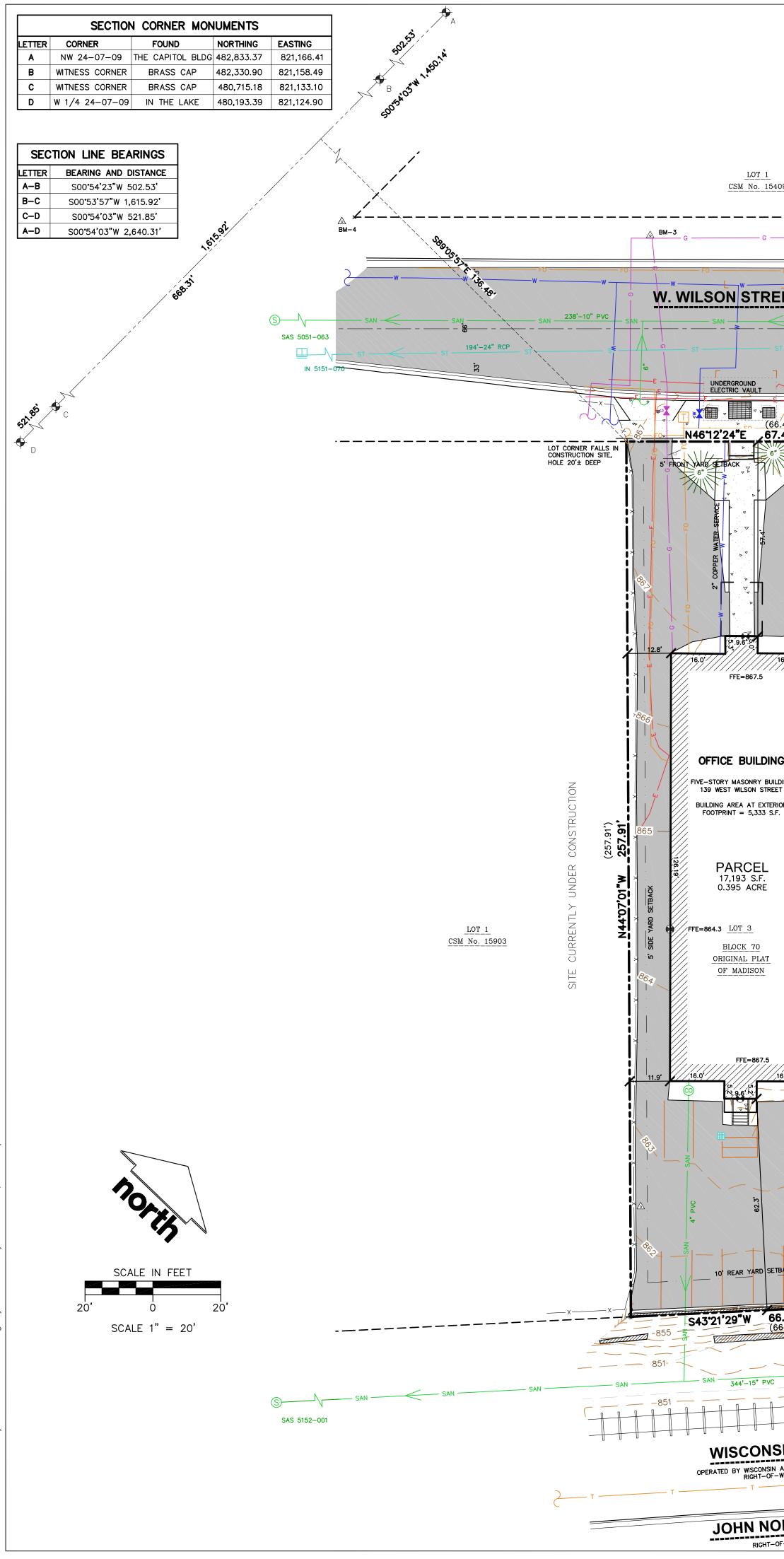
# Long View from John Nolen Drive

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139 Madis





### **EXISTING CONDITIONS SURVEY**

PART OF LOT 3, BLOCK 70, ORIGINAL PLAT OF MADISON, RECORDED IN VOLUME A OF PLATS, PAGE 3, AS DOCUMENT No. 102, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

	LEGEND	
	<ul> <li>GOVERNMENT CORNER</li> <li>● 1" IRON PIPE FOUND</li> <li>※ CHISELED 'X' FOUND</li> </ul>	CENTER PLATTE SETBAC
5409	<ul> <li>3/4" REBAR FOUND</li> <li>CONTROL POINT</li> </ul>	
	<ul> <li>BENCHMARK</li> <li>FINISHED FLOOR SHOT LOCATION</li> </ul>	
G G G G G G	SIGN SANITARY MANHOLE CLEAN OUT	ST STORM G NATUR/ E UNDER(
F0 F0 F0	↔ HYDRANT ₩ WATER VALVE	
	STORM MANHOLE SQUARE CASTED INLET	/////////BUILDIN 
SAS 5151-030 SAN SAN SAN SAN	CURB INLET GAS VALVE	
- st st st st		
	CONIFEROUS TREE PARCEL BOUNDARY SECTION LINE	<ul> <li>END OF</li> <li>DENOTE</li> <li>THE SA</li> </ul>
IN 5151-072	- $ -$ RIGHT-OF-WAY LINE	AS RET
66.47')- 57.48'	NOTES	
6" FOUND CUT CROSS 0.07' NORTHWEST	1. FIELD WORK PERFORMED ON JUNE 08, 2022.	
869 OF LOT CORNER	<ol> <li>BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSII RECORDED AS S00°54'01"W.</li> </ol>	N COUNTY COORDINATE S
	3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 19 CORNER OF SECTION $24-07-09$ , ELEVATION = $850.32'$	38 (NAVD88). BENCHMA
868	<ol> <li>CONTOUR INTERVAL IS ONE FOOT.</li> <li>SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN AF</li> </ol>	
	REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO	
	6. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: CITY OF MADISON ENGINEERING MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)	
867	CHARTER COMMUNICATIONS AMERICAN TRANSMISSION COMPANY LEVEL 3 IS NOW CENTURYLINK	
12.9'	AT&T TRANSMISSION AT&T DISTRIBUTION TDS TELECOM	
	MCI MADISON METROPOLITAN SEWERAGE DISTRICT WINDSTREAM	
	WISCONSIN DEPARTMENT OF ADMISISTRATION-DIVISION OF ENTERPRISE TEC 7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTAC	
	8. JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT BENCHMAR UTILIZED.	KS LISTED ON THIS MAP
ING	9. THIS PARCEL IS ZONED URBAN MIXED-USE DISTRICT (UMX) PER THE CITY ( LOT AREA-3,000 SQUARE FEET	OF MADISON ZONING MAP
	LOT WIDTH-30 FEET MINIMUM FRONT YARD SETBACK-5 FEET SIDE YARD SET BACK-5 FEET	
IERIOR S.F.	REAR YARD SETBACK-10 FEET CHECK WITH CITY ZONING DEPARTMENT FOR HEIGHT RESTRICTIONS AND SE	
(254.30 <sup>1</sup> )	10. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF	
	LEGAL DESCRIPTION	
	PART OF LOT 3, BLOCK 70, ORIGINAL PLAT OF MADISON, RECORDED IN VOLUM SECTION 24, TOWNSHIP 07 EAST, RANGE 09 NORTH, CITY OF MADISON, DANE	
LOT 4	TAX KEY NO: 251/0709-242-0124-0	
S LOT 4		
	SURVEYOR'S CERTIFICATE	
	I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HERE WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY	BY CERTIFY THAT UNDER KNOWLEDGE AND BELIEF
12.9'		
864	JOHN KREBS, S–1878 DATE	NININI SCOM
15.9' 13.5'	PROFESSIONAL LAND SURVEYOR	JOHN ↓ JOHN KREBS S−187
		McFARLA WISCONS
13.5'		
	STORM SEWER MANHOLES	
	STRUCT. ID RIM ELEVATION INVERT ELEVATION PIPE SIZE PIPE TYPE	STRUCT. ID
	AS 5151-071 870.68 NE 863.18 24" RCP SE 866.92 12" RCP SW 863.18 24" RCP	SAS 5151-01 SAS 5152-02
SETBACK 875-		
	STORM SEWER INLETS           INLET ID         RIM ELEVATION         INVERT         ELEVATION PIPE SIZE         PIPE TYPE	SAS 5151-03
<b>66.78'</b>	INL 5151-072         869.99         NW         867.09         12"         RCP           INL 5151-070         863.44         NE         855.15         24"         RCP	SAS 5051-06
	SW 855.15 24" RCP	
SAN 851- SAN SAN 851- SAN SAN SAN SAN SAN SAN SAN SAN SAN SAN	BENCHMARKS           BENCH MARK         ELEVATION	L
	BM-1 862.06 CHISLED 'X' IN CONCRETE RETAINING WALL	
	BM-2 870.68 CHISLED 'X', NORTH SIDE OF W. WILSON STREET	
ISIN D.O.T.	BM-3868.69CHISLED 'X', NORTH SIDE OF W. WILSON STREETBM-4865.89CHISLED 'X', NORTH SIDE OF W.	
F-WAY VARIES	WILSON STREET           *JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS	
OLEN DRIVE	LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.	
T-OF-WAY VARIES		

CORDED IN VOLUME A OF PLATS, PAGE 3, AS DOCUMENT No. 102, CORDED IN VOLUME A OF PLATS, PAGE 3, AS DOCUMENT No. 102, OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 07 NORTH, ADISON, DANE COUNTY, WISCONSIN.	JSD
NTERLINE ATTED LOT LINE TBACK LINE NCE LINE NCRETE CURB & GUTTER NITARY SEWER NTER LINE ORM SEWER ITURAL GAS IDERGROUND ELECTRIC	CREATE THE VISION TELL THE STORY jsdinc.com MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060 CLIENT:
DERGROUND TELEPHONE ILDING DEX CONTOUR TERMEDIATE CONTOUR TUMINOUS PAVEMENT NCRETE PAVEMENT VEMENT STRIPING D OF FLAGGED UTILITIES NOTES RECORD DATA DEPICTING E SAME LINE ON THE GROUND RETRACED BY THIS SURVEY	SEA DESIGN
ATE SYSTEM, DANE COUNTY. THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 24-07-09, CHMARK IS A BRASS CAP IN CONCRETE MONUMENT FOR THE WITNESS CORNER TO THE WEST QUARTER	N3302 SOUTH OAKLAND FORT ATKINSON, WI 53538
CATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY H A START DATE OF JUNE 03, 2022.	
OCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511. MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHALL BE VERIFIED BEFORE BEING MAP.	PROJECT: 139 W. WILSON STREET
NG USE. ITTIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS. PAGE 3, AS DOCUMENT No. 102, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF NDER THE DIRECTION OF SEA DESIGN THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH	PROJECT LOCATION: 139 W. WILSON STREET CITY OF MADISON DANE COUNTY, WISCONSIN
ELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.	MODIFICATIONS:         #       Date:       Description:         1
SANITARY         SEWER         MANHOLES           ID         RIM         ELEVATION         INVERT         ELEVATION         PPE         SIZE         PIPE         TYPE           -013         850.76         NE         845.14         15"         PVC           2-022         851.47         NE         844.74         15"         PVC           2-022         851.47         NE         844.74         15"         PVC           NW         844.71         15"         PVC           -030         870.66         NE         860.06         10"         PVC           -030         870.66         NE         860.06         10"         PVC           -040         NW         860.86         8"         PVC           -050         870.66         NE         851.10         10"         PVC           -063         862.65         NE         851.10         10"         PVC           -064         862.65         NE         851.33         8"         PVC           NE         851.50         8"         PVC         NE         851.00         12"           NE         851.00         12"         PVC         NE	6
DIGGERS I HOTLINE	SHEET NUMBER: <b>10F1</b> PROJECT NO: 22-11487

### **GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- 4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- . JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

### DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER O RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOW FDGF
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED
- OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT
- OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION. . ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES. WHICH IS DAMAGED BY THE CONSTRUCTION. OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR: 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED. 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
- 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- 8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE
- IMPROVEMENTS. IO. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY
- RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. 11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- 12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- 13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR. 14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- 15. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- 6. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- 7. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- 18. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS
- 19. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL". 20. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- I. SECTION 28.185(9) REQUIRES THAT EVERY APPLICANT FOR A DEMOLITION OR REMOVAL APPROVAL THAT REQUIRES APPROVAL BY THE PLAN COMMISSION IS REQUIRED TO GET A REUSE AND RECYCLING PLAN APPROVED BY THE CITY RECYCLING COORDINATOR, BRYAN JOHNSON AT STREETSOCITYOFMADISON.COM PRIOR TO RECEIVING A RAZE PERMIT. EVERY PERSON WHO IS REQUIRED TO SUBMIT A REUSE AND RECYCLING PLAN PURSUANT TO SECTION 28.185(9) SHALL SUBMIT DOCUMENTS SHOWING COMPLIANCE WITH THE PLAN WITHIN SIXTY (60) DAYS OF COMPLETION OF DEMOLITION. A DEMOLITION OR REMOVAL PERMIT IS VALID FOR ONE (1) YEAR FROM THE DATE OF THE PLAN COMMISSION.

### CONSTRUCTION SEQUENCING

- 1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE. 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS
- 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS. WALKS. ETC. 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES
- AS INDICATED ON PLANS. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

### **PAVING NOTES**

1. <u>GENERAL</u>

- & STRUCTURE CONSTRUCTION. LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY GEOTEST DATED MARCH 25, 2022.
- 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
- 1.3. SURFACE PREPARATION NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY O RECEIVE PAVING
- 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET

MUNICIPALITY REQUIREMENTS. 2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS

- 2.1. CODES AND STANDARDS THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
- 2.2. WEATHER LIMITATIONS APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C)AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F(1° C)FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE  $30^{\circ}$  F ( $-1^{\circ}$  C). 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH
- COURSE DURING CONSTRUCTION.
- 2.4. CRUSHED AGGREGATE BASE COURSE THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305. STATE HIGHWAY SPECIFICATIONS.
- 2.5. BINDER COURSE AGGREGATE THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO
- SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS. 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS. 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460,
- STATE HIGHWAY SPECIFICATIONS.
- 3. <u>CONCRETE PAVING SPECIFICATIONS</u>
- 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS. 3.2. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
- 3.3. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- 3.4. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- 3.5. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED. 3.6. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- 4. PAVEMENT MARKING SPECIFICATIONS
- 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
- 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
- 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

### GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO
- BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. UNLESS OTHERWISE NOTED. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS. GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR
- 3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES,

- 6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING
- SEEDING AND MULCHING.
- 10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. I. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND
- REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

- UTILITY NOTES
- 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION • OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
- VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL LITILITY CROSSINGS FOR CONFLICTS NOTICY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER
- AND WATER CONSTRUCTION IN WISCONSIN AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY. AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES. 4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- 5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY
- FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION. 6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- 7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN
- OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS. 8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- 9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- 10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES. 12. STORM SEWER SPECIFICATIONS -
- PIPE REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE
- INLETS INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE, NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.
- BACKFILL AND BEDDING STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED
- WITH THE SAME MATERIAL AS THE STORM SEWER. 13. WATER MAIN SPECIFICATIONS -PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE
- REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON—METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h). VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE
- VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES. HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN
- 23-INCHES (SEE DETAIL). BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- 14. SANITARY SEWER SPECIFICATIONS -
- PIPE SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212. BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE
- APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS. OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT." BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE
- "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT, TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
- MANHOLES MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON. MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- 15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- 16. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(H), SPS 382.36(7)(C)10., AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER -GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.

### **EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- PRIOR TO DEVIATION OF THE APPROVED PLAN.
- REQUEST.
- EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- AND AS REQUESTED BY THE CITY OF MADISON.
- DEPOSITION WITHIN STORM SEWER SYSTEMS. "TACKIFIFR."
- SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- 1052 AND 1053.
- OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- MEASURES.
- REQUIREMENTS. 17. STABILIZATION PRACTICES

Allon I RACHOLS.
STABILIZATION MEASU THE SITE WHERE CON NO MORE THAN SEVE
PORTION OF THE SITE THE INITIATION STAB ACTIVITY HAS CEASED SHALL BE INITIATED
CONSTRUCTION ACTIV DAYS FROM WHEN AC
ACTIVITY IS TEMPOR STABILIZATION MEASU BY THE SEVENTH (7) STABILIZATION MEASU OF CONSTRUCTION CONDITIONS AND LE ACCEPTABLE STABILIZ

SODDING

2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLI

. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON

4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF

5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEFK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. 6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN

7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED. BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO

8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY

INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER ANI SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT

10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A

11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION. 12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.): A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. . BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM

13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OF APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF. AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS

14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION 15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION

16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WONR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WONR

> URES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF INSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED EN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT E HAS CEASED UNLESS: BILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION D IS PRECLUDED BY SNOW COVER. IN THAT EVENT. STABILIZATION AS SOON AS PRACTICABLE. VITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) CTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT URES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE ) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. URES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME ACTIVITY HAS CEASED. INCLUDING BUT NOT LIMITED TO WEATHER NGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE IZATION MEASURES: • PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE) HYDRO-MULCHING WITH A TACKIFIER GEOTEXTILE EROSION MATTING

### **CITY TRAFFIC ENGINEERING NOTES**

HE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

### CITY FORESTRY NOTES

- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <u>HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM</u>
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266–4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

### WORK-IN-ROW NOTES

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK IN THE PUBLIC RIGHT-OF-WAY ARE REQUIRED TO BE PREQUALIFIED WITH THE CITY OF MADISON. PREQUALIFICATION FORMS ARE AVAILABLE ON THE CITY'S WEBSITE AT: https://www.cityofmadison.com/engineering/developers-contractors/contractors/how-to-get-prequalified

THE CONTRACTOR IS REQUIRED TO OBTAIN A CITY PERMIT TO EXCAVATE IN THE PUBLIC RIGHT-OF-WAY

### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
· · · ·	BUILDING SETBACK LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	RETAINING WALL
X	RAILING
•	BOLLARD
—	BIKE RACK
X	DEMOLITION - REMOVAL OF ONSITE FENCE/GUARDRAIL
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
XXXXXXXX	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
×	TREE REMOVAL
959	PROPOSED 1 FOOT CONTOUR
960	PROPOSED 5 FOOT CONTOUR
<u> </u>	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
$\rightarrow$	DRAINAGE DIRECTION
	GRADE BREAK
	SILT FENCE
	DECORATIVE STONE MULCH (REFER TO LANDSCAPE)

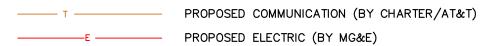
CONSTRUCTION ENTRANCE

- FG: XXX.XX SPOT ELEVATION

EP - EDGE OF PAVEMENT	
FG – FINISH GRADE	
EC – EDGE OF CONCRETE	
BOC – BACK OF CURB	
MATCH - MATCH EXISTING	GRAD
HP - HIGH POINT	
SW – SIDEWALK	

INLET PROTECTION

S SANITARY SEWER W WATERMAIN D STORM SEWER

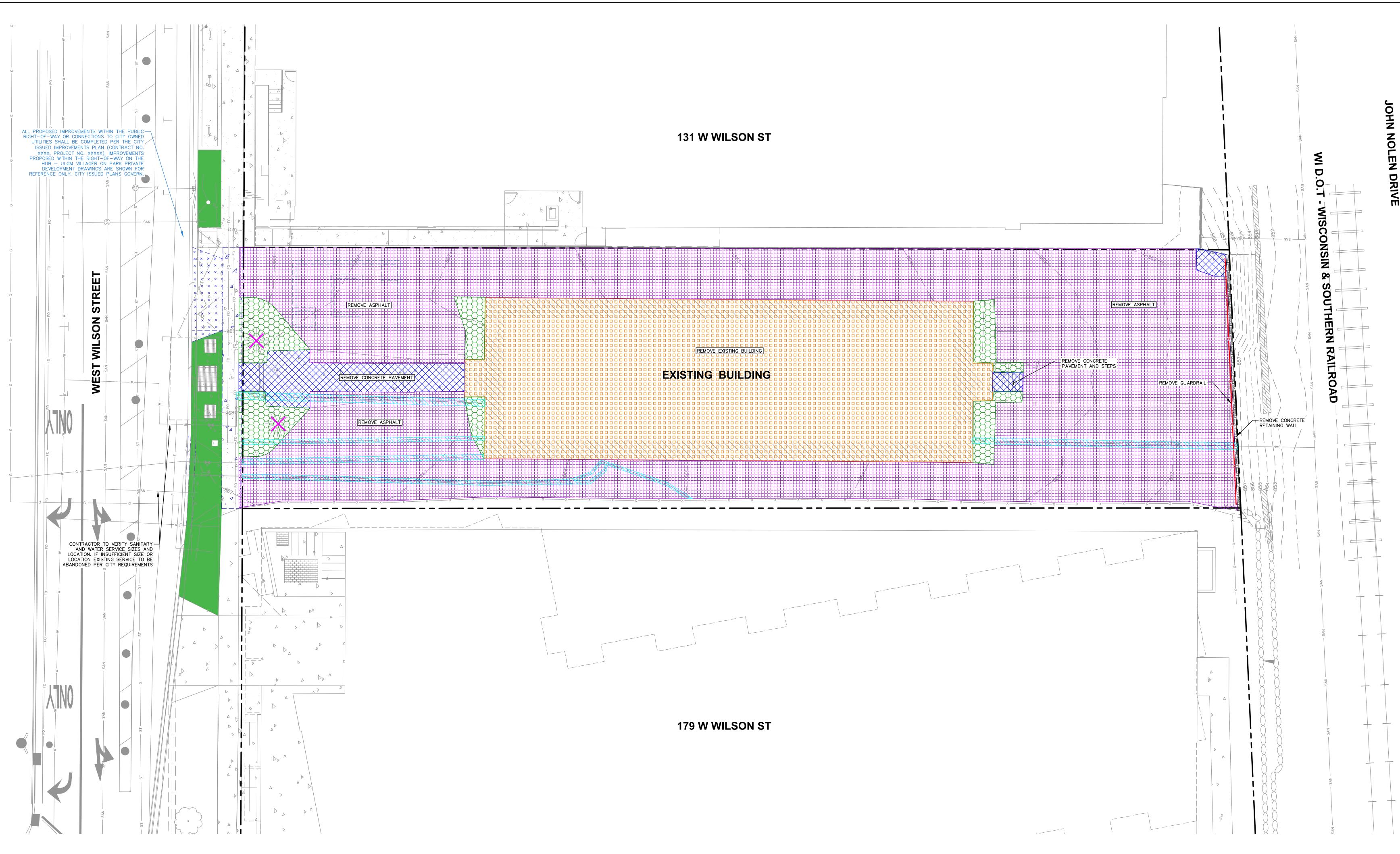


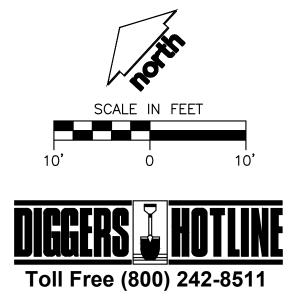
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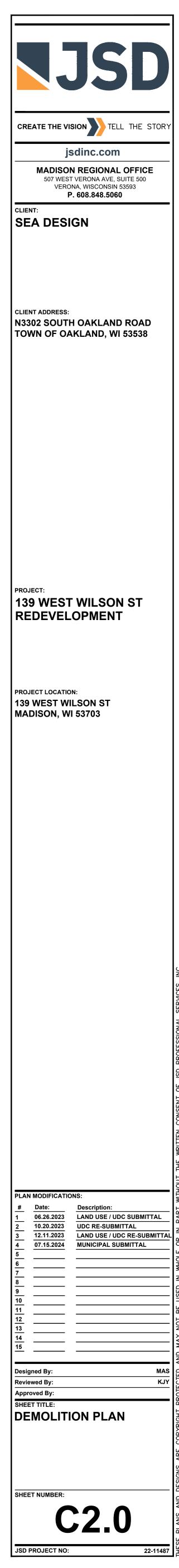


CREATE THE VISION NOT TELL THE STOR jsdinc.com MADISON REGIONAL OFFICE 507 WEST VERONA AVE, SUITE 500 VERONA, WISCONSIN 53593 P. 608.848.5060 **SEA DESIGN** CLIENT ADDRESS: N3302 SOUTH OAKLAND ROAD TOWN OF OAKLAND, WI 53538 **139 WEST WILSON ST** REDEVELOPMENT PROJECT LOCATION: **139 WEST WILSON ST MADISON, WI 53703** PLAN MODIFICATIONS: Date: Description: 06.26.2023 LAND USE / UDC SUBMITTA 10.20.2023 UDC RE-SUBMITTAL 12.11.2023 LAND USE / UDC RE-SUBMITT 07.15.2024 MUNICIPAL SUBMITTA \_\_\_\_\_ NOTE AND LEGEND **C1.0** 



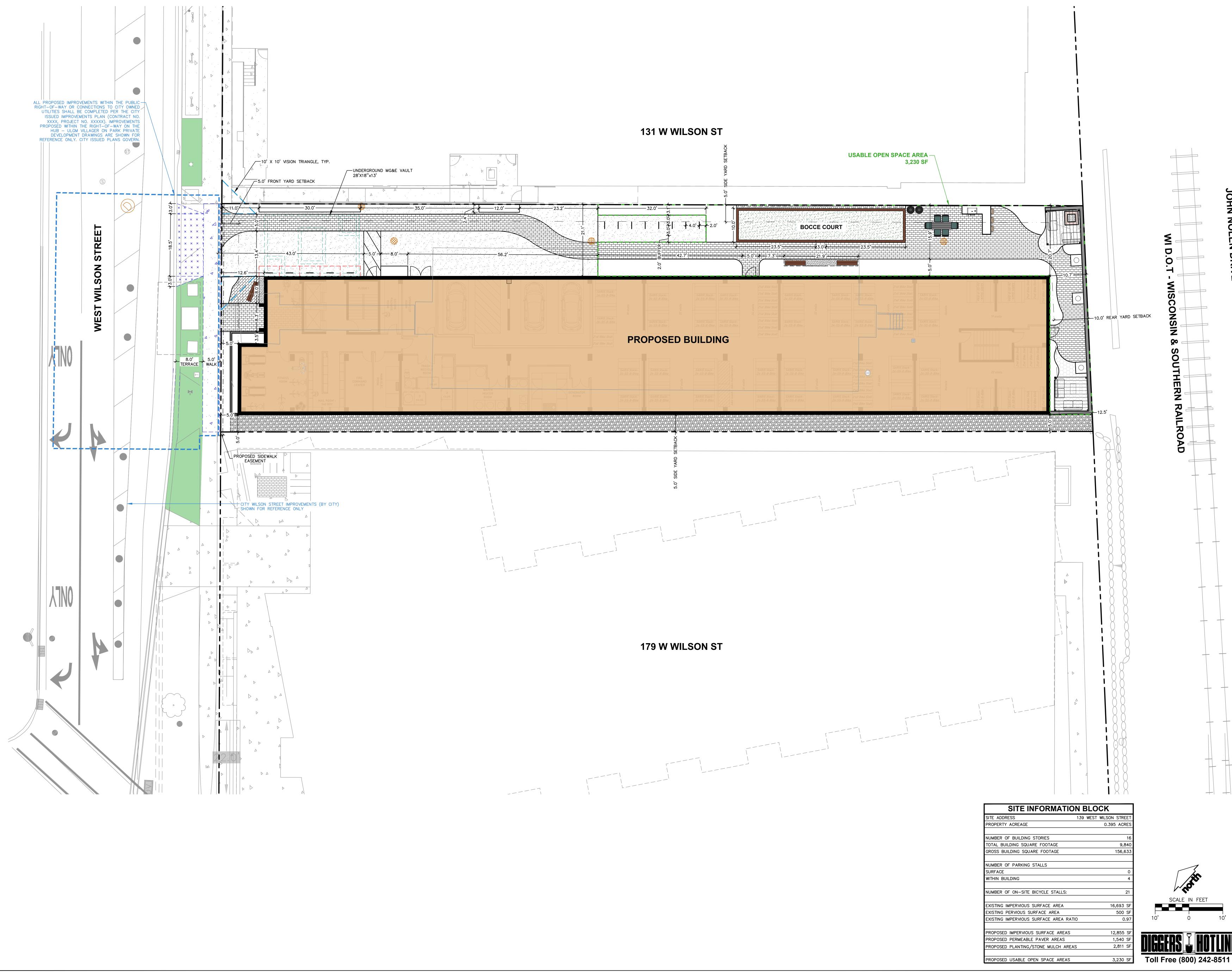


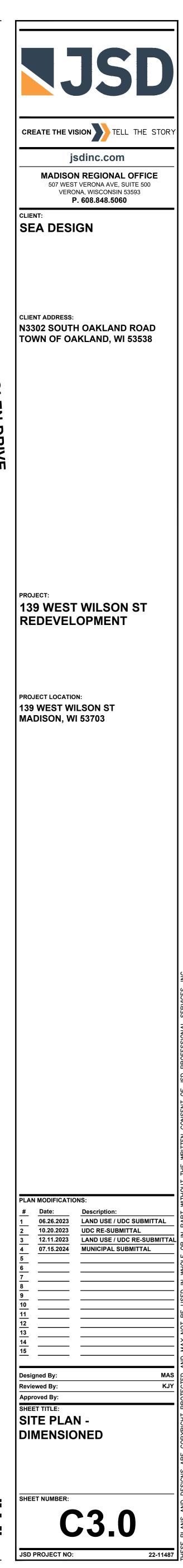




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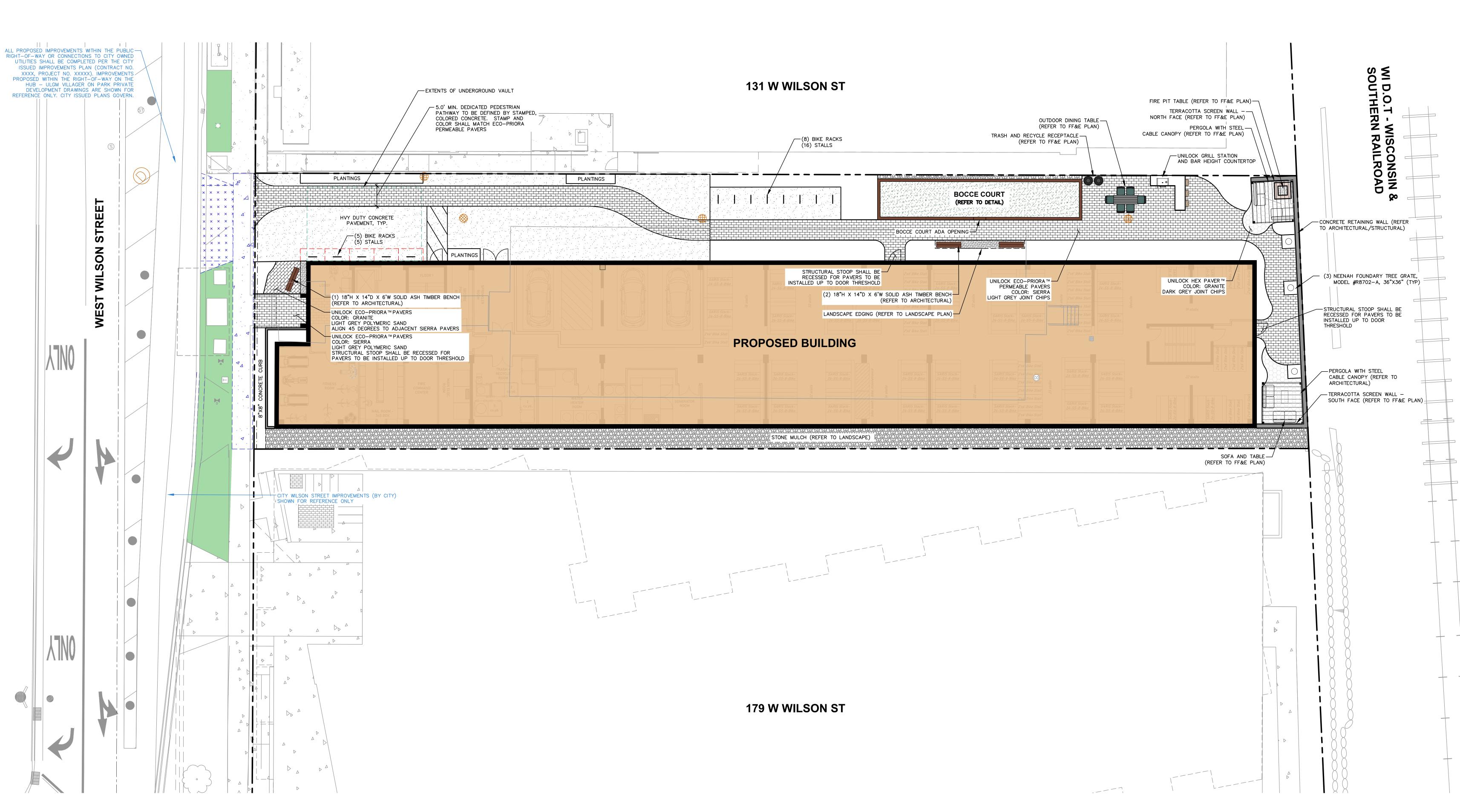




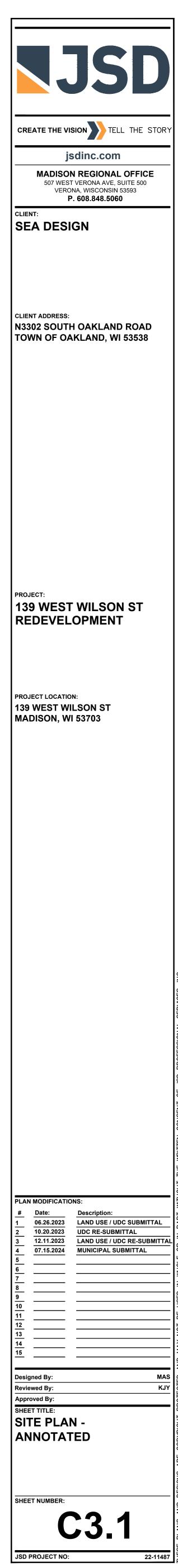


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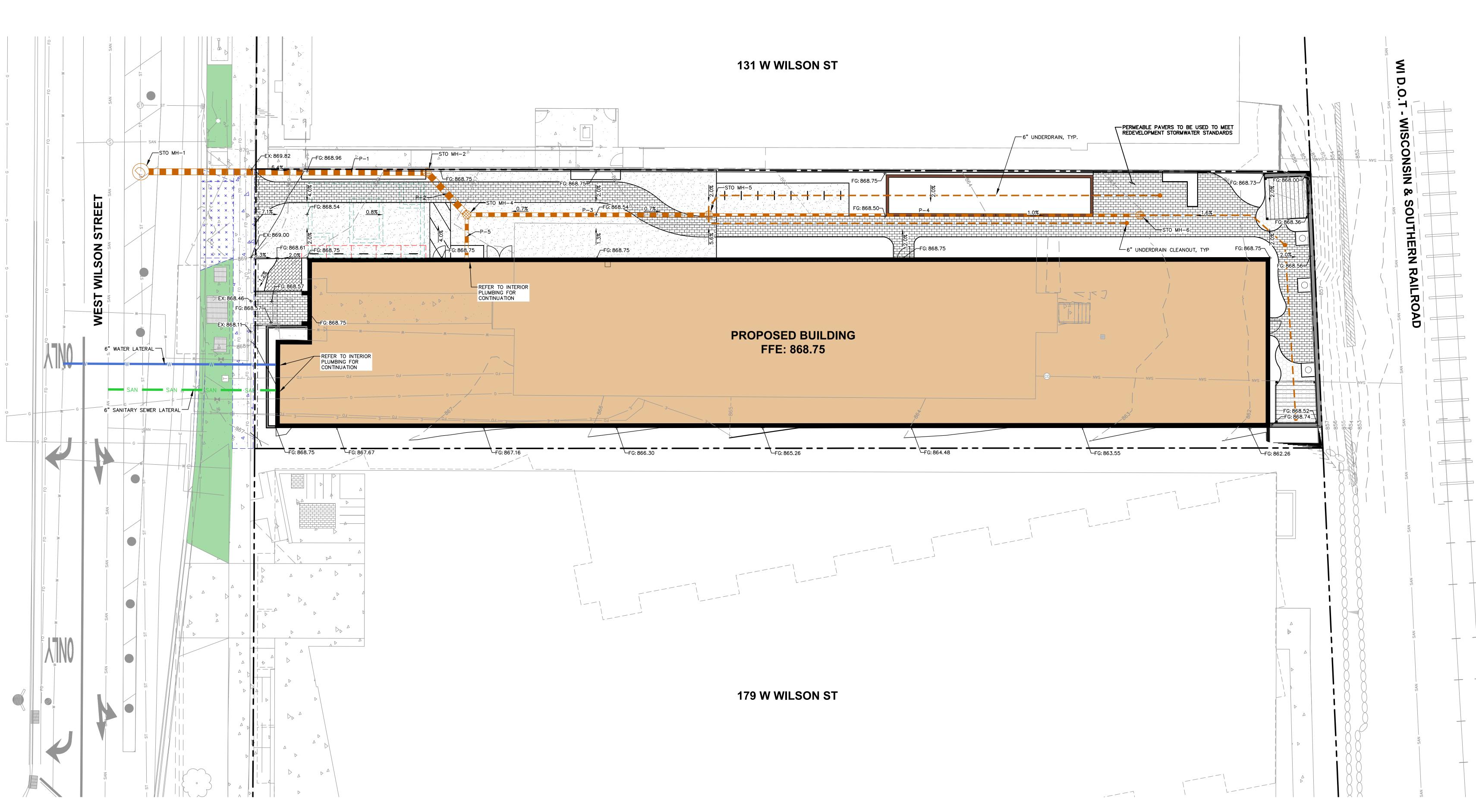






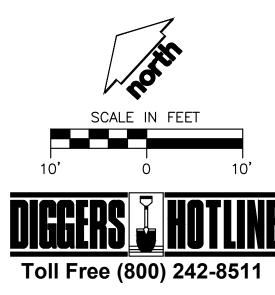
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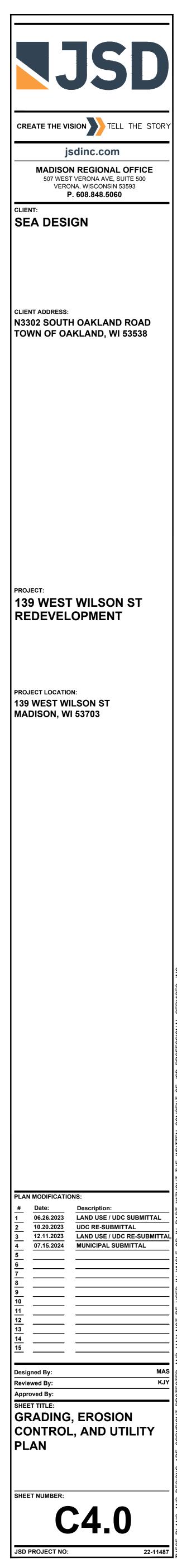
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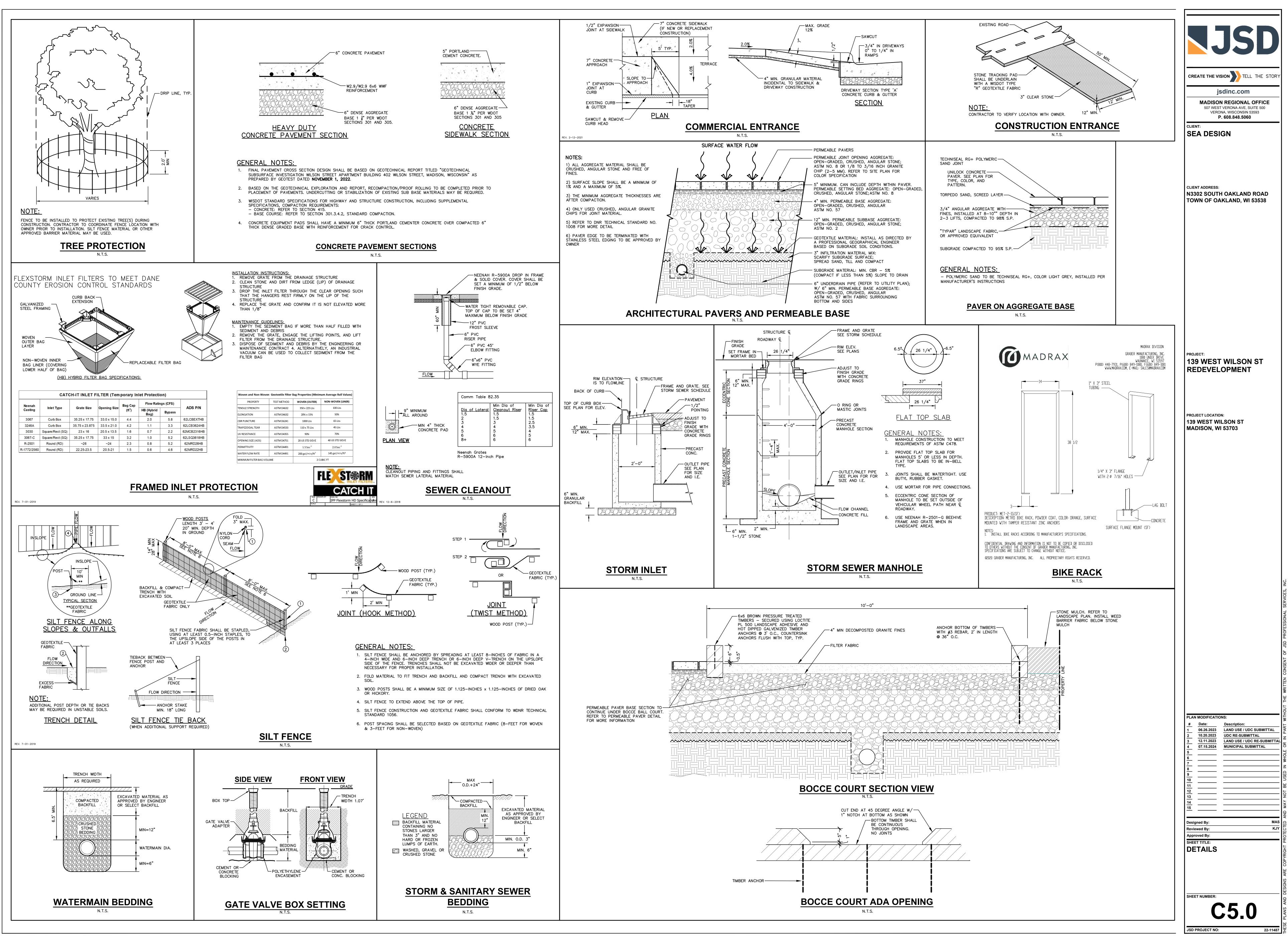
	PROPOSED STORM SEWER STRUCTURE TABLE								
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE				
STO MH-1	869.12	EX SW INV: 862.52 (24") SE INV: 863.50 (18") EX NE INV: 862.52 (24")	6.6	48 IN MH	R–1550 SOLID GRATE				
STO MH-2	868.76	NW INV: 864.19 (18") S INV: 864.29 (18")	4.6	24 IN DB	STANDARD OPEN GRATE				
STO MH-4	868.22	N INV: 864.45 (18") SE INV: 864.95 (12") SW INV: 865.12 (10")	3.8	24 IN DB	STANDARD OPEN GRATE				
STO MH-5	868.27	NW INV: 865.27 (12") SE INV: 865.60 (8")	3.0	24 IN DB	STANDARD OPEN GRATE				
STO MH-6	868.04	NW INV: 866.12 (8")	1.9	24 IN DB	STANDARD OPEN GRATE				

	PROPOSED STORM SEWER PIPE TABLE								
LABEL	LABEL FROM TO LENGTH INVERT EL. (FT) DISCHARGE EL. (FT) SLOPE SIZE & MATERIA								
P-1 STO MH-2 STO MH-1 69' 864.19 863.50 1.00%						18 IN RCP			
P-2	STO MH-4	STO MH-2	14'	864.29	1.15%	18 IN HDPE			
P-3	STO MH-5	STO MH-4	58'	865.27	864.95	0.55%	12 IN HDPE		
P-4	STO MH-6	STO MH-5	104'	866.12	865.60	0.50%	8 IN HDPE		
P-5	ROOF	STO MH-4	10'	865.27	865.12	1.50%	10 IN HDPE		

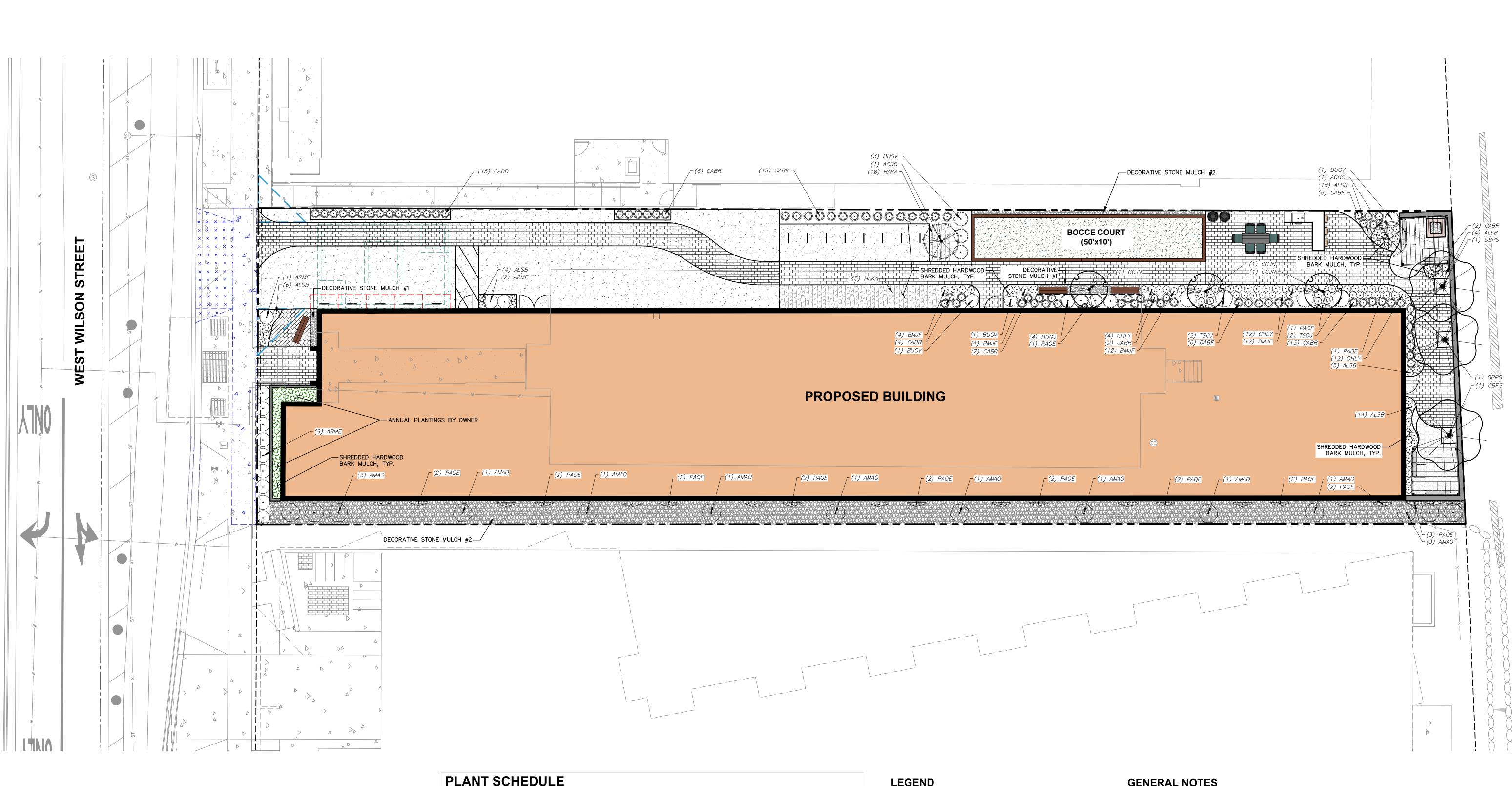




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NT SCHED Js trees	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ACBC	Acer saccharum 'Barrett Cole' TM Apollo Sugar Maple	B & B	2.5"Cal	2
Solution of the second	CCJN	Carpinus caroliniana 'J.N. Upright' TM Firespire American Hornbeam	B & B	2.5"Cal	3
	GBPS	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	B & B	2.5"Cal	3
JS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
$\bigcirc$	AMAO	Amelanchier alnifolia 'Obelisk' TM Standing Ovation Serviceberry	B & B	Min. 5' tall	14
$\overline{\mathbf{\cdot}}$	ARME	Aronia melanocarpa 'UCONNAM165' TM Low Scape Mound Chokeberry	#3	Min. 8"-18"	12
EN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 12"-24"	1Ø
	TSCJ	Tsuga canadensis 'Jeddeloh' Jeddeloh Eastern Hemlock	#5	Min. 12"-24"	4
LS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALSB	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"—18"	43
$\underbrace{\bullet}$	BMJF	Brunnera macrophylla 'Jack Frost' TM Jack Frost Siberian Bugloss	#1	Min 8"-18"	32
Julice Internet	CABR	Calamagrostis brachytricha Korean Feather Reed Grass	#1	Min 8"-18"	83
$\bigcirc$	CHLY	Chelone Iyonii 'ArmitppØ2' TM Tiny Tortuga Pink Turtlehead	#1	Min 8"-18"	28
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	PAQE	Parthenocissus quinquefolia engelmannii Engelmann Virginia Creeper	#1	Min. 24"-36"	25
COVERS	CODE	BOTANICAL / COMMON NAME	SPACING	QTY	
	HAKA	Hakonechloa macra 'Aureola' Golden Variegated Forest Grass	24" o.c.	55	

EG	END	

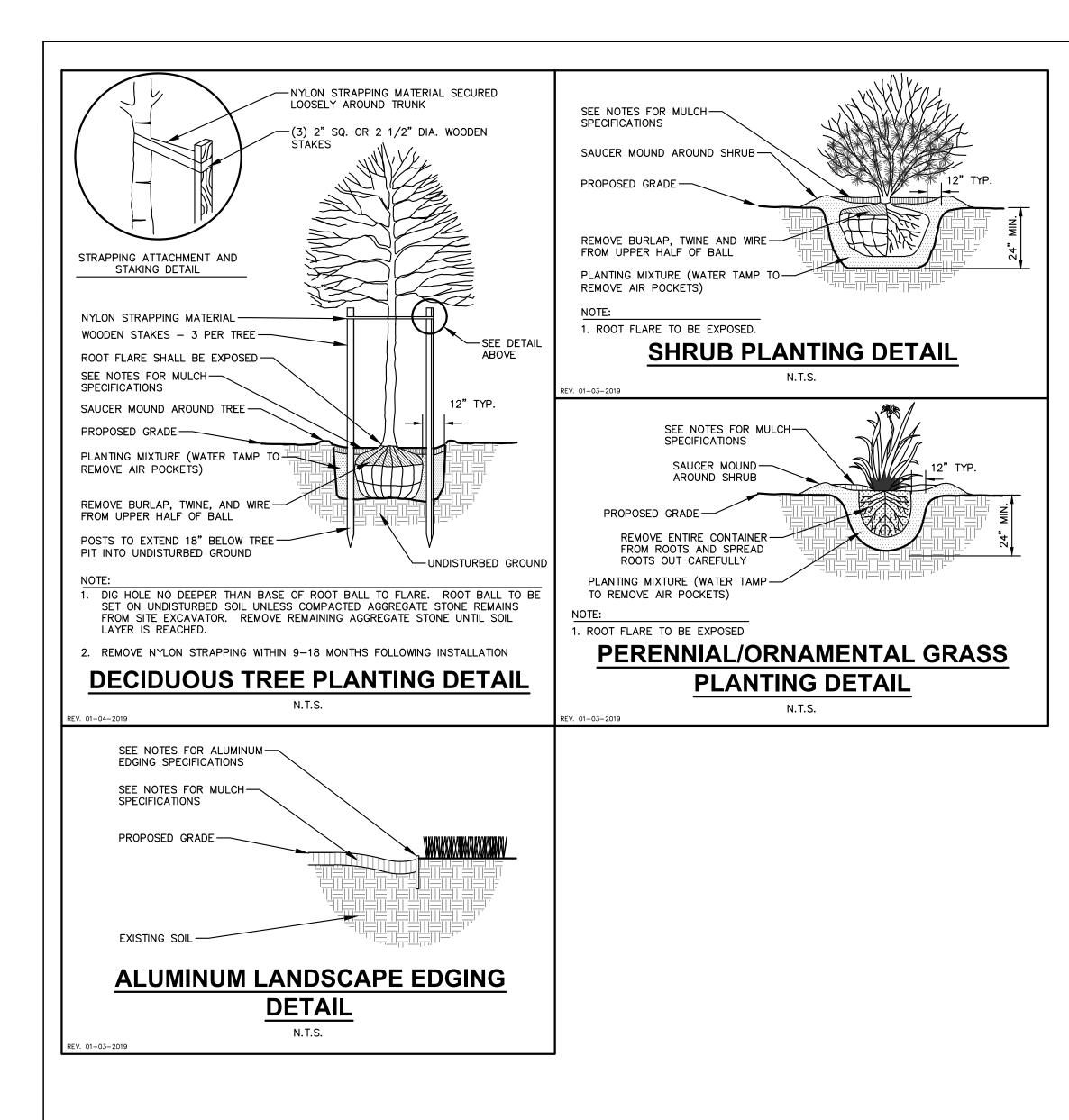
LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
_ · _ · _ · _ · _ · _ · _	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	CONCRETE PAVEMENT
2757772275777725757724	ANNUAL PLANTINGS BY OWNER
02020202020202020202020202	DECORATIVE STONE MULCH
	RETAINING WALL
ĸ	TREE UPLIGHTING
-	BIKE RACK
	ALUMINUM EDGING

### **GENERAL NOTES**

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND. 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS
- FOR PUBLIC WORKS CONSTRUCTION. 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY
- ACTION'S BY ANY OR ALL REGULATORY AGENCIES. 4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- 6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- 7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- 8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE



CREATE THE VISION TELL THE STORY jsdinc.com MADISON REGIONAL OFFICE 507 WEST VERONA AVE, SUITE 500 VERONA, WISCONSIN 53593 P. 608.848.5060 CLIENT: SEA DESIGN CLIENT ADDRESS: N3302 SOUTH OAKLAND ROAD TOWN OF OAKLAND, WI 53538 ROJECT 139 WEST WILSON ST REDEVELOPMENT PROJECT LOCATION: 139 WEST WILSON ST **MADISON, WI 53703** PLAN MODIFICATIONS: Date: Description: 06.26.2023 LAND USE / UDC SUBMITTAL 10.20.2023 UDC RE-SUBMITTAL 12.11.2023 LAND USE / UDC RE-SUBMITT 07.15.2024 MUNICIPAL SUBMITTAL signed By Reviewed By: K.IY Approved By: SHEET TITLE: LANDSCAPE PLAN HEET NUMBER: \_1.0 JSD PROJECT NO: 22-11487





withi of ar	in a single contiguous boundary which is made uny building footprint at grade, land designated fo	d upon the total developed area of the property. Developed area is defined a p of structures, parking, driveways and docking/loading facilities, but exclud open space uses such as athletic fields, and undeveloped land area on the landscape points depending on the size of the lot and Zoning District.	ing the are			
(A)	For all lots except those described in (B) and square feet of developed area.	C) below, five (5) landscape points shall be provided for each three hundred	(300)			
	Total square footage of developed area:	4,801				
	Total landscape points required:	16				
(B)	For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first Five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.					
	Total square footage of developed area:					
	Five (5) acres =					
	First five (5) developed acres =					
	Remainder of developed area:					
	Total landscape points required					
(C)	For the Industrial – Limited (IL) and Industrial per one hundred (100) square feet of develop	<ul> <li>General (IG) districts, one (1) point shall be provided ed area.</li> </ul>				
	Total square footage of developed area:					
	Total landscape points required:					

TABULATION OF LANDSCAPE CREDITS AND FOINTS									
				' EXISTING CAPING	NEW / PROPOSED LANDSCAPING				
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED			
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	3	105			
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0			
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	5	75			
UPRIGHT EVERGREEN SHRUB	3-4' TALL, MIN.	10	0	0	0	0			
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	26	78			
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	14	56			
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	266	532			
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0	0			
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL. (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0			
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA. CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0			
			0		846				
	TOTAL NUMBER OF POINTS PROVIDED				16				

### GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE
- ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR. . DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE, AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- 4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- 5. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- 6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

### LANDSCAPE MATERIAL NOTES

- MATERIALS PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION. . MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS
- MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- 3. MATERIALS SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- 4. MATERIALS STONE MULCH #1: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 🗗 BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- 5. MATERIALS STONE MULCH #2: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1.5" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- 6. MATERIALS TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE. ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- 7. MATERIALS ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

### **CONTRACTOR AND OWNER RESPONSIBILITY NOTES** GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S

- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL

### PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE

7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH. ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.

CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.

MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THI CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.

LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION TELL THE STOR jsdinc.com MADISON REGIONAL OFFICE 507 WEST VERONA AVE, SUITE 500 VERONA, WISCONSIN 53593 P. 608.848.5060 CLIENT: SEA DESIGN CLIENT ADDRESS: N3302 SOUTH OAKLAND ROAD TOWN OF OAKLAND, WI 53538 139 WEST WILSON ST REDEVELOPMENT PROJECT LOCATION: **139 WEST WILSON ST MADISON, WI 53703** PLAN MODIFICATIONS: Description: Date: LAND USE / UDC SUBMITTAL 06.26.2023 10.20.2023 UDC RE-SUBMITTAL 12.11.2023 LAND USE / UDC RE-SUBMITTA 07.15.2024 MUNICIPAL SUBMITTAL \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ viewed By proved By LANDSCAPE **DETAILS & NOTES** L2.0 JSD PROJECT NO:

