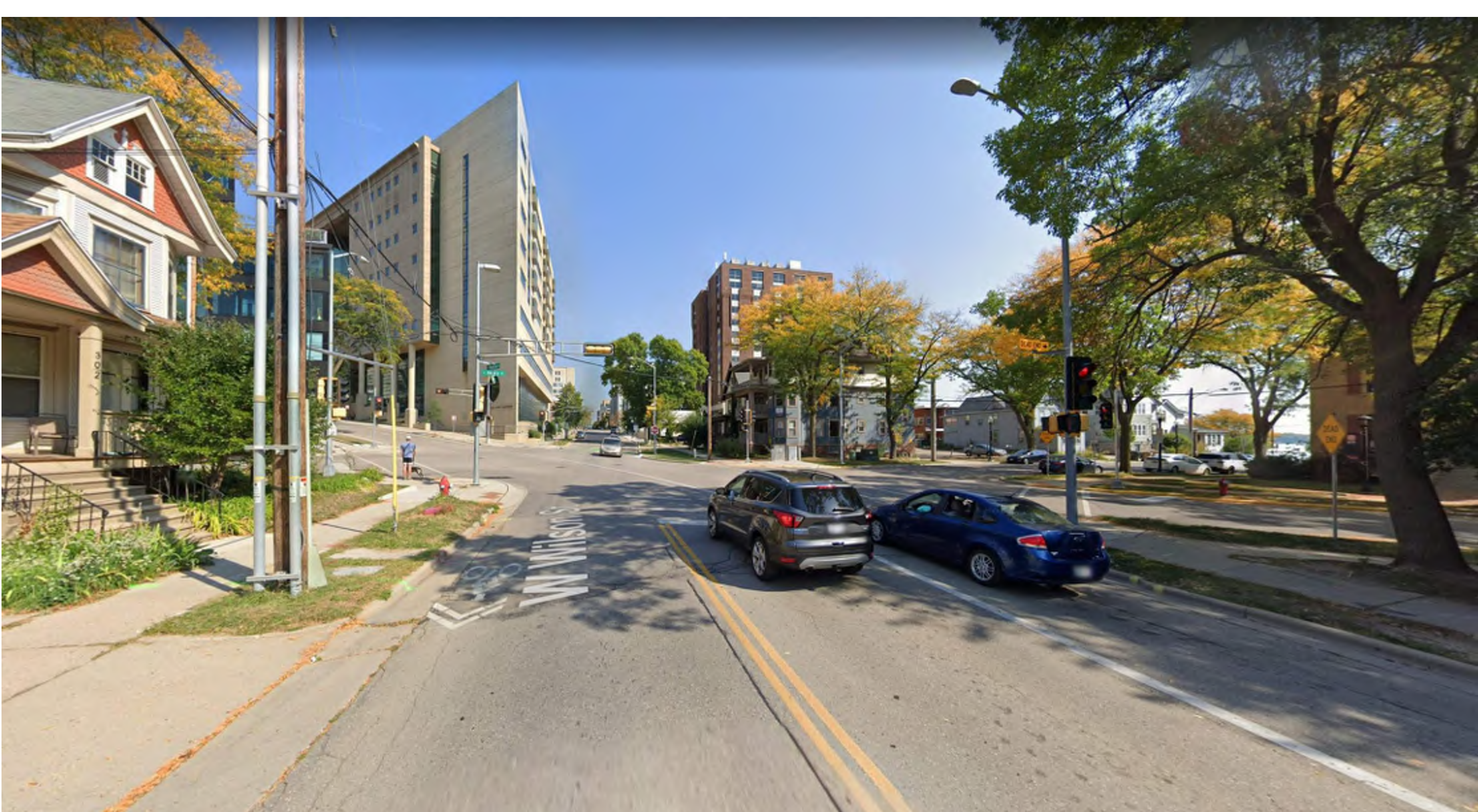


view NE down Wilson east of Hamilton/Henry intersection



view NE down Wilson west of Hamilton/Henry intersection



view S onto Wilson at intersection of Wilson and Hamilton



view SE down West Wilson just east of S. Carroll



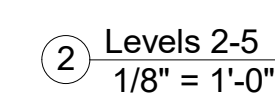
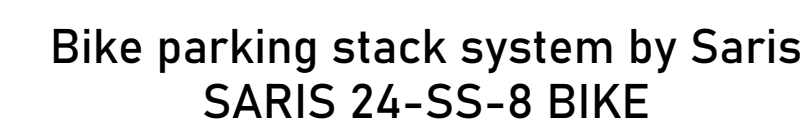
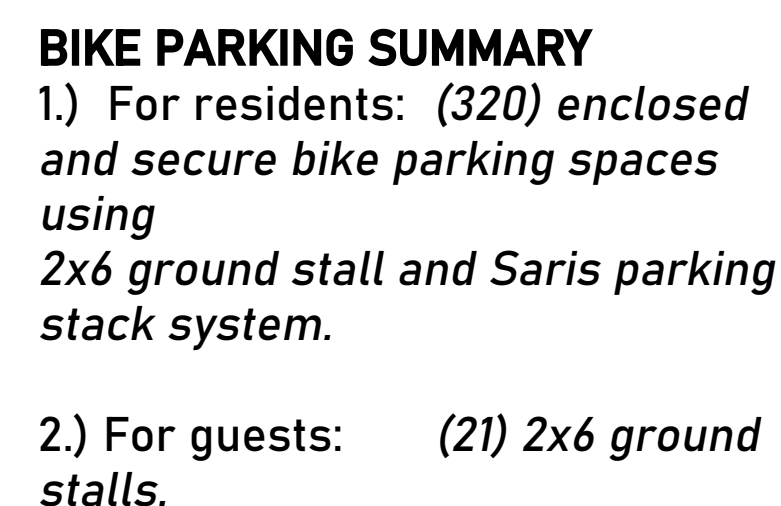
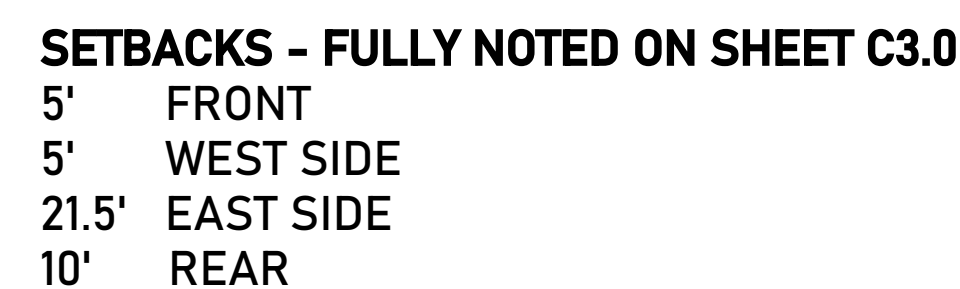
view looking NE onto intersection of Wilson and Hamilton



view S down West Wilson between Hamilton and S. Carroll

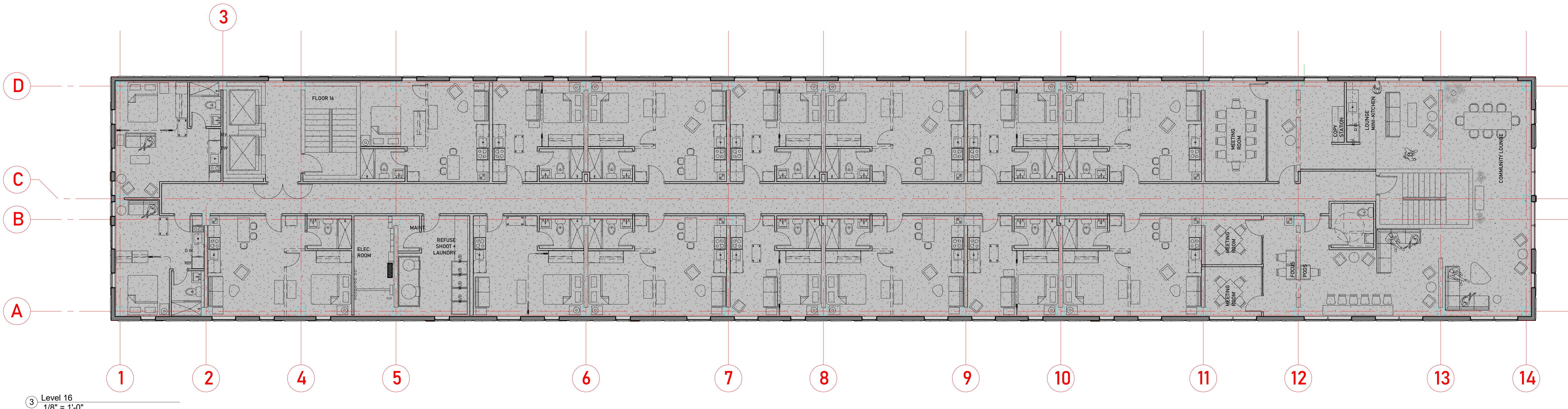
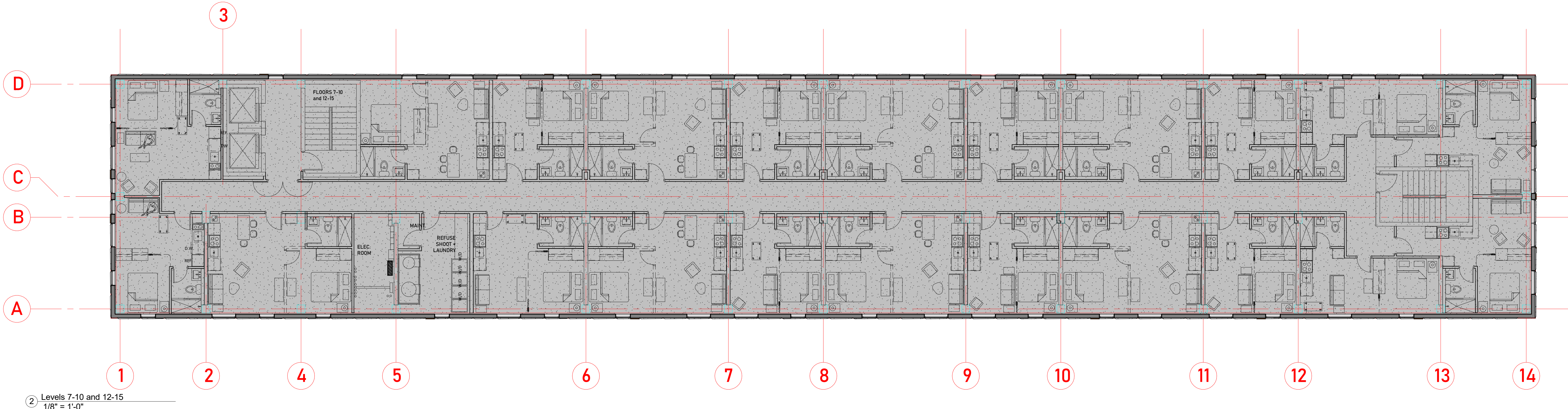
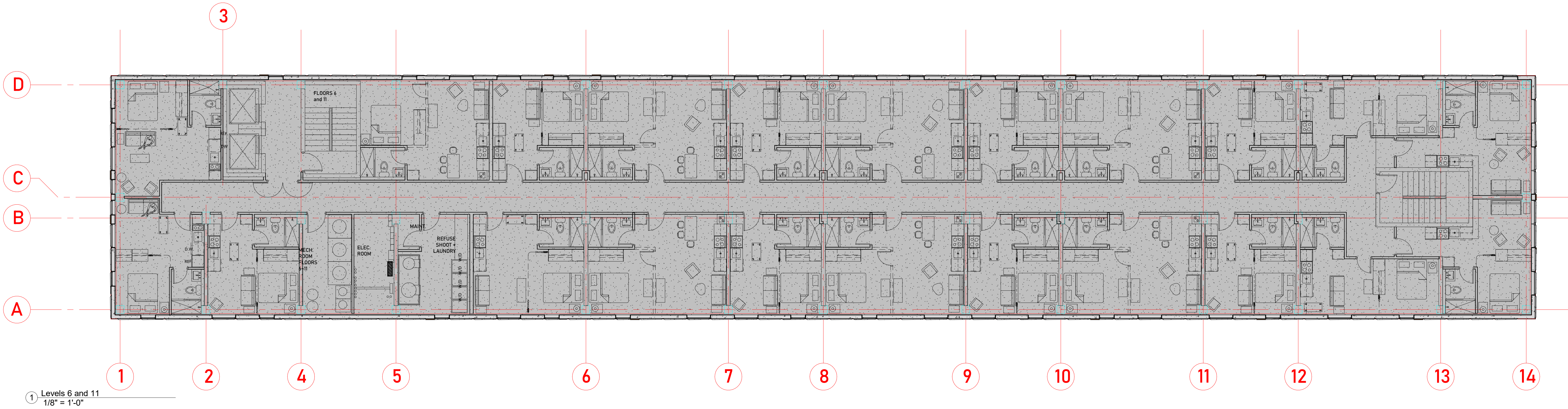
Revisions:	
UDC	12/11/2023
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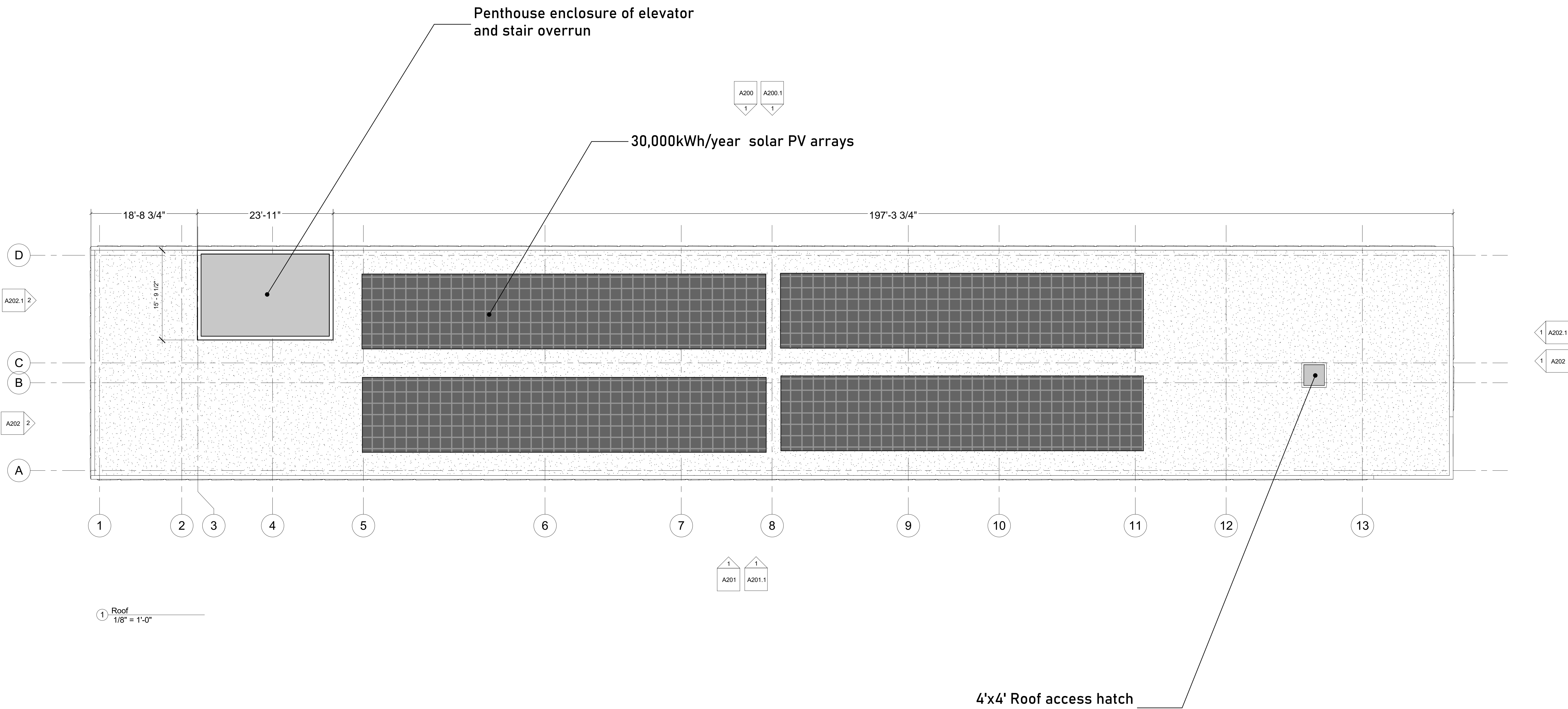
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UDC	12/11/2023
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P.C.	7.15.2024
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Date:	12/11/2023





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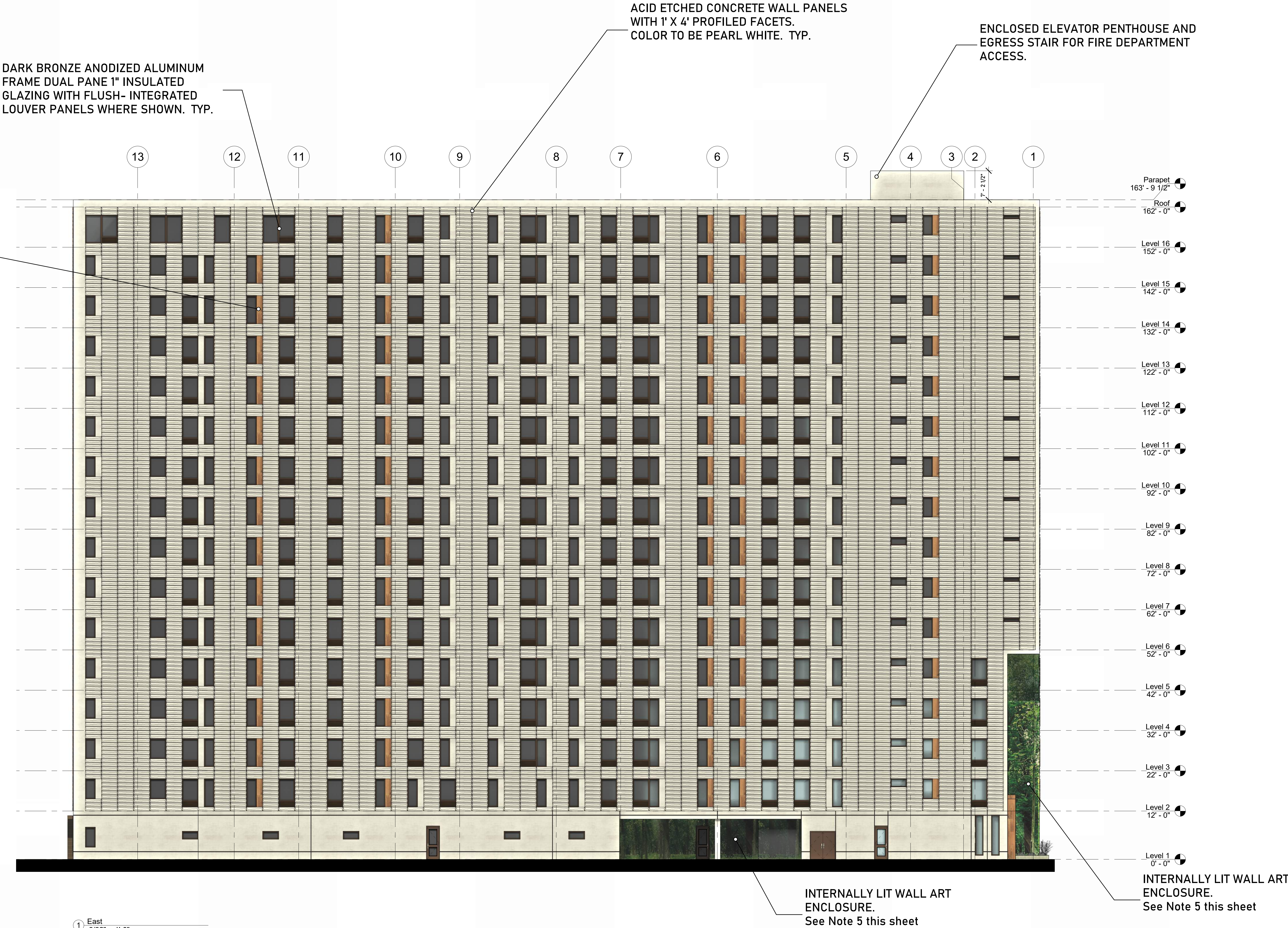




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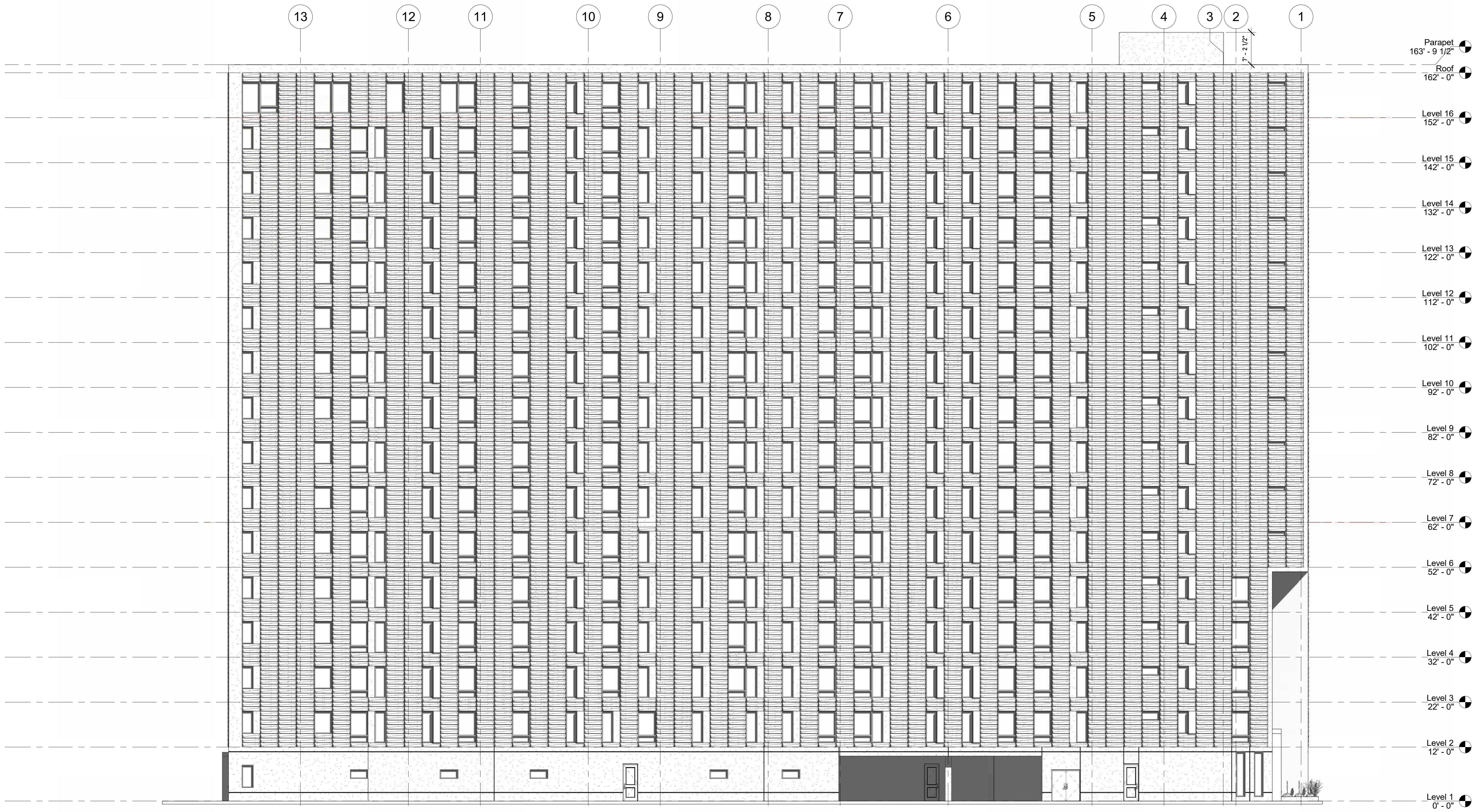


GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See sheets A302; A302.1, and A302 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with an LED neon tube. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
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- 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See details and product sheet on Sheet A301.

Acid etched concrete wall panel. Color: PEARL WHITE





① East - Black and white  
3/32" = 1'-0"

Parapet  
163' - 9 1/2"  
Roof  
162' - 0"  
Level 16  
152' - 0"  
Level 15  
142' - 0"  
Level 14  
132' - 0"  
Level 13  
122' - 0"  
Level 12  
112' - 0"  
Level 11  
102' - 0"  
Level 10  
92' - 0"  
Level 9  
82' - 0"  
Level 8  
72' - 0"  
Level 7  
62' - 0"  
Level 6  
52' - 0"  
Level 5  
42' - 0"  
Level 4  
32' - 0"  
Level 3  
22' - 0"  
Level 2  
12' - 0"  
Level 1  
0' - 0"

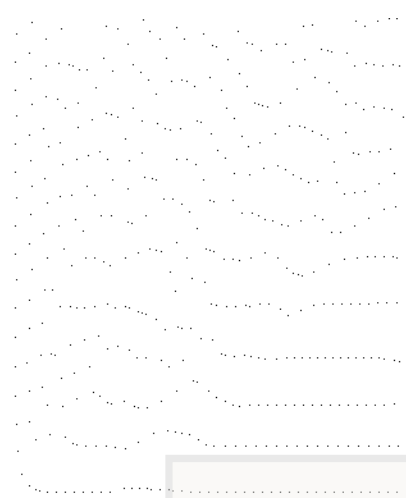
progression

139 West Wilson  
Madison, Wisconsin

East Elevation - B&W

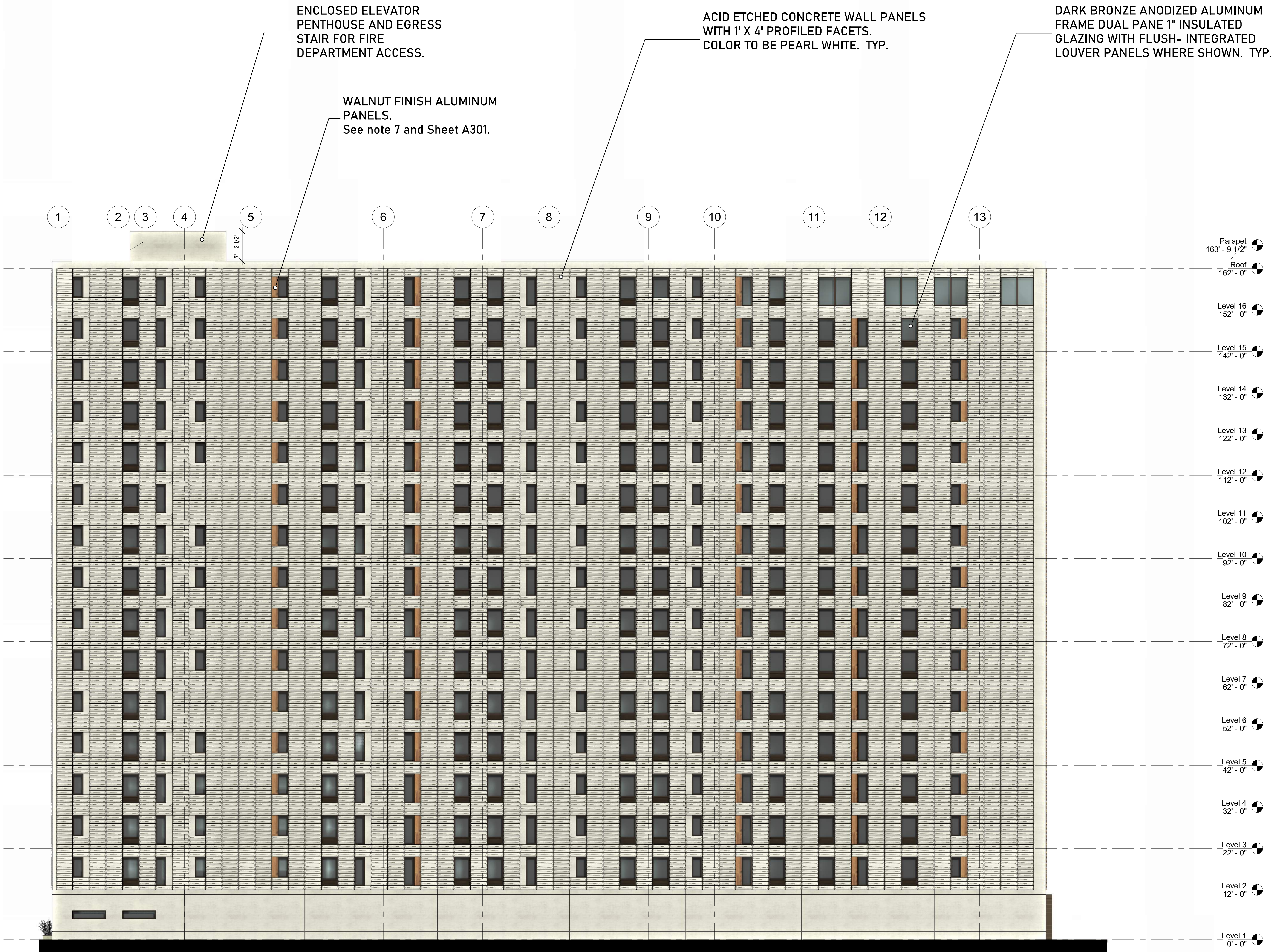
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Acid etched concrete wall panel. Color: PEARL WHITE

① West  
3/32" = 1'-0"

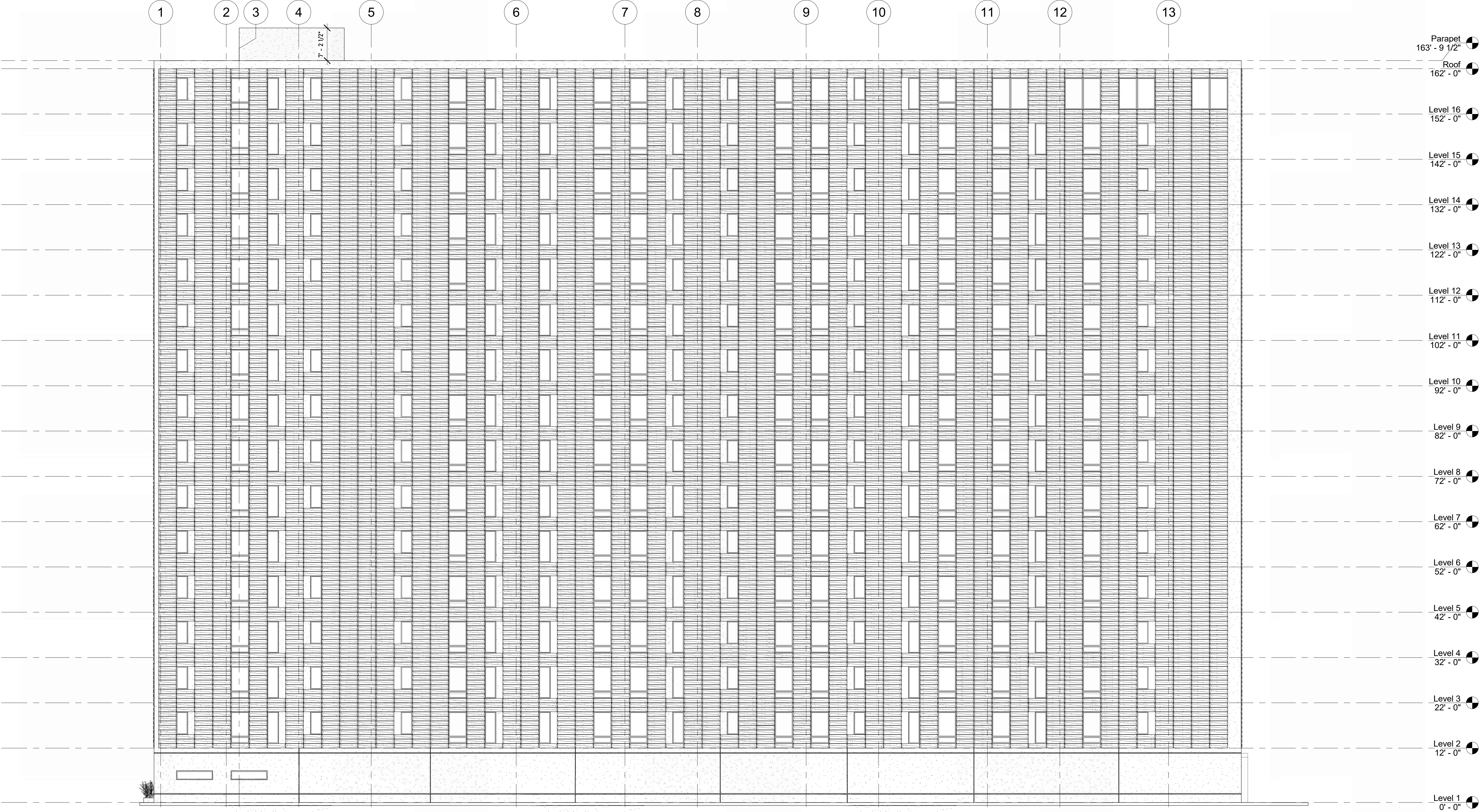


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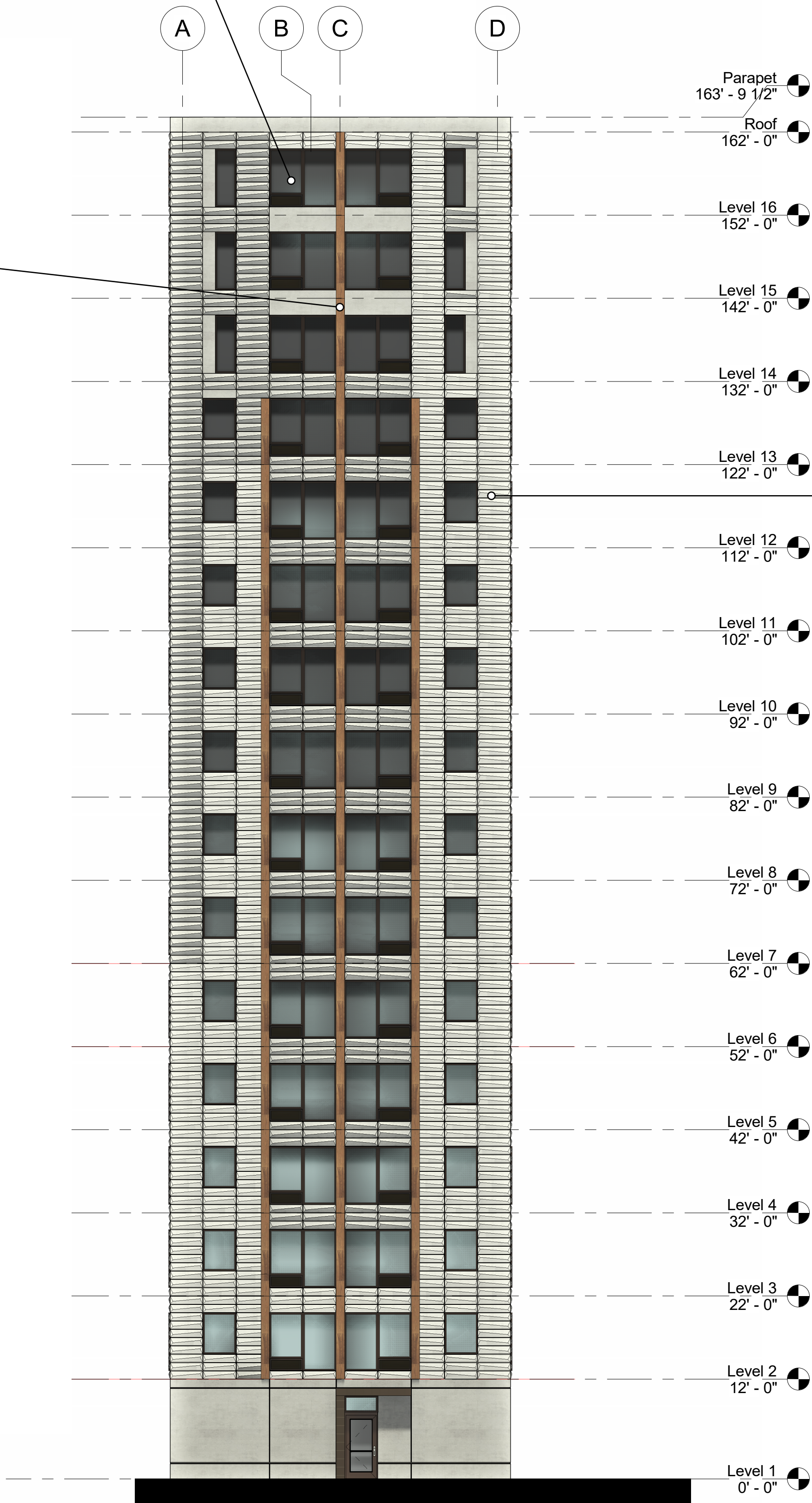
① West - Black and white  
3/32" = 1'-0"

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DARK BRONZE ANODIZED ALUMINUM FRAME DUAL PANE 1" INSULATED GLAZING WITH FLUSH- INTEGRATED LOUVER PANELS WHERE SHOWN. TYP.

WALNUT FINISH ALUMINUM PANELS.  
See note 7 and Sheet A301.



① South  
3/32" = 1'-0"

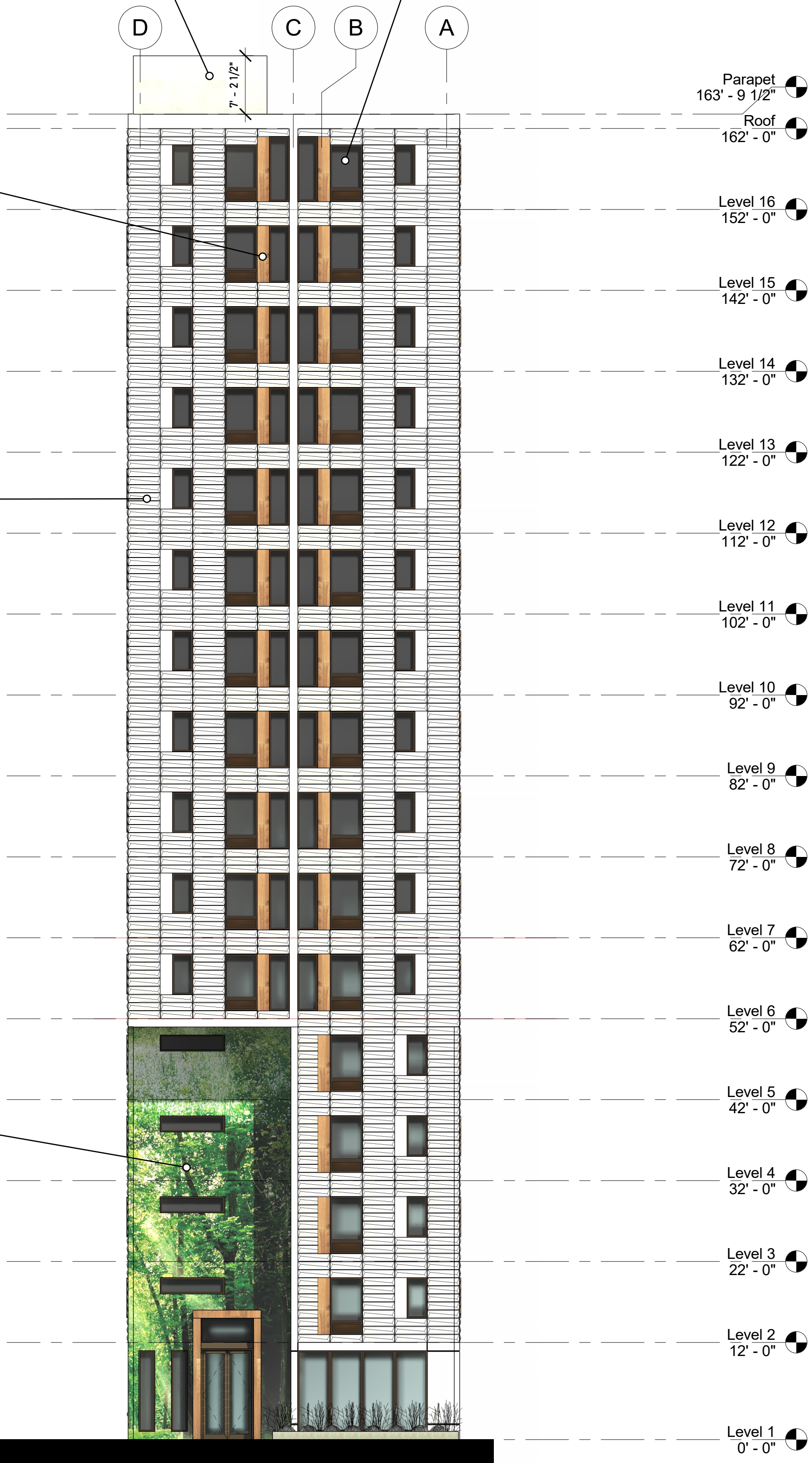
Acid etched concrete wall panel. Color: PEARL WHITE

ENCLOSED ELEVATOR PENTHOUSE AND EGRESS STAIR FOR FIRE DEPARTMENT ACCESS.

WALNUT FINISH ALUMINUM PANELS.  
See note 7 and Sheet A301.

ACID ETCHED CONCRETE WALL PANELS WITH 1' X 4' PROFILED FACETS.  
COLOR TO BE PEARL WHITE. TYP.

INTERNALLY LIT WALL ART ENCLOSURE.  
See Note 5 this sheet



② North  
3/32" = 1'-0"

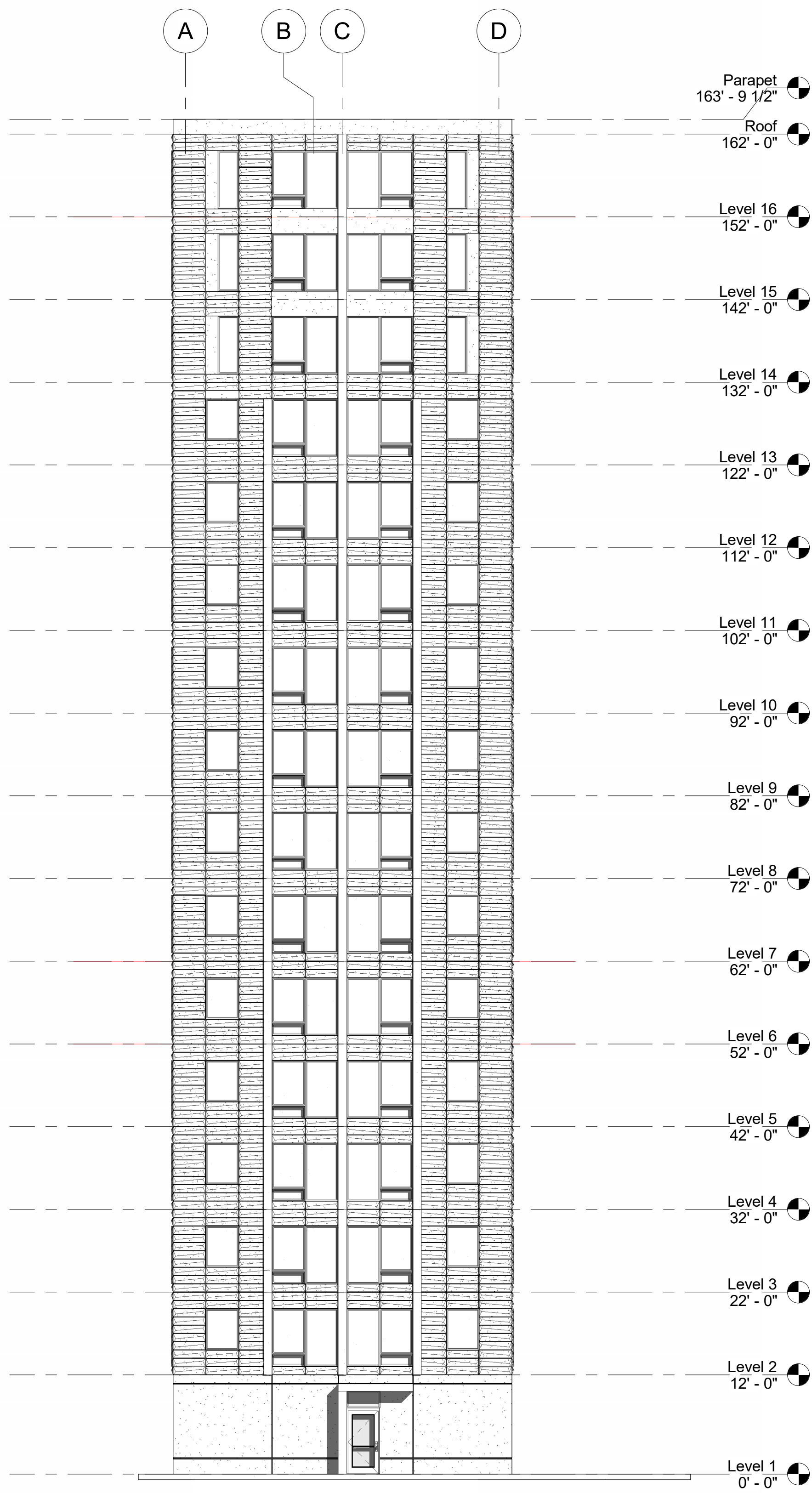
DARK BRONZE ANODIZED ALUMINUM FRAME DUAL PANE 1" INSULATED GLAZING WITH FLUSH- INTEGRATED LOUVER PANELS WHERE SHOWN. TYP.

GENERAL MATERIAL NOTES:

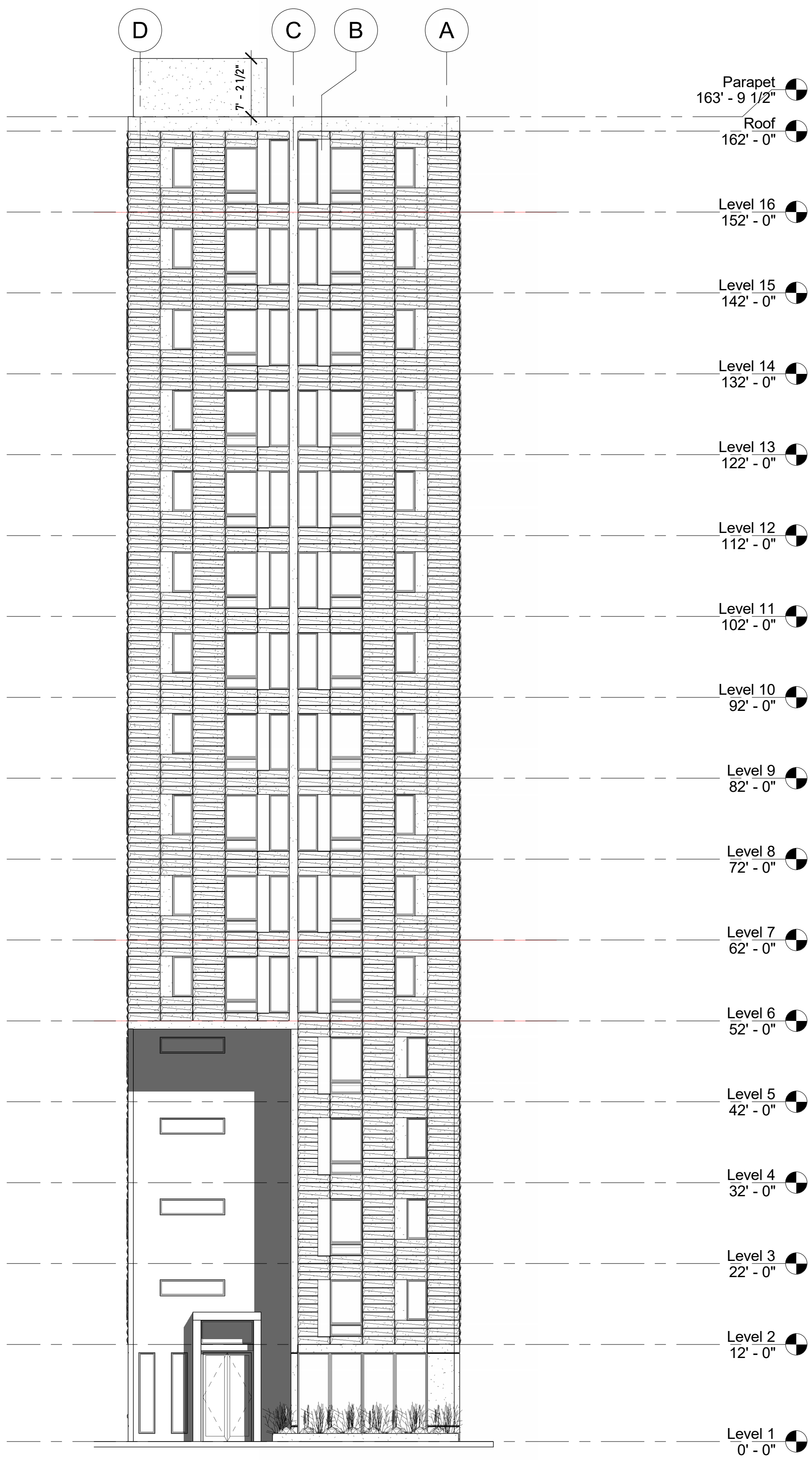
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① South - Black and white  
3/32" = 1'-0"



② North - Black and white  
3/32" = 1'-0"

progression

139 West Wilson  
Madison, Wisconsin  
North & South Elevations - B&W

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progression

139 West Wilson  
Madison, Wisconsin  
West Wilson Perspective - Night

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**progression**

139 West Wilson  
Madison, Wisconsin  
West Wilson Perspectives

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A206	

**progression**  
139 West Wilson  
Madison, Wisconsin  
West Wilson Perspectives





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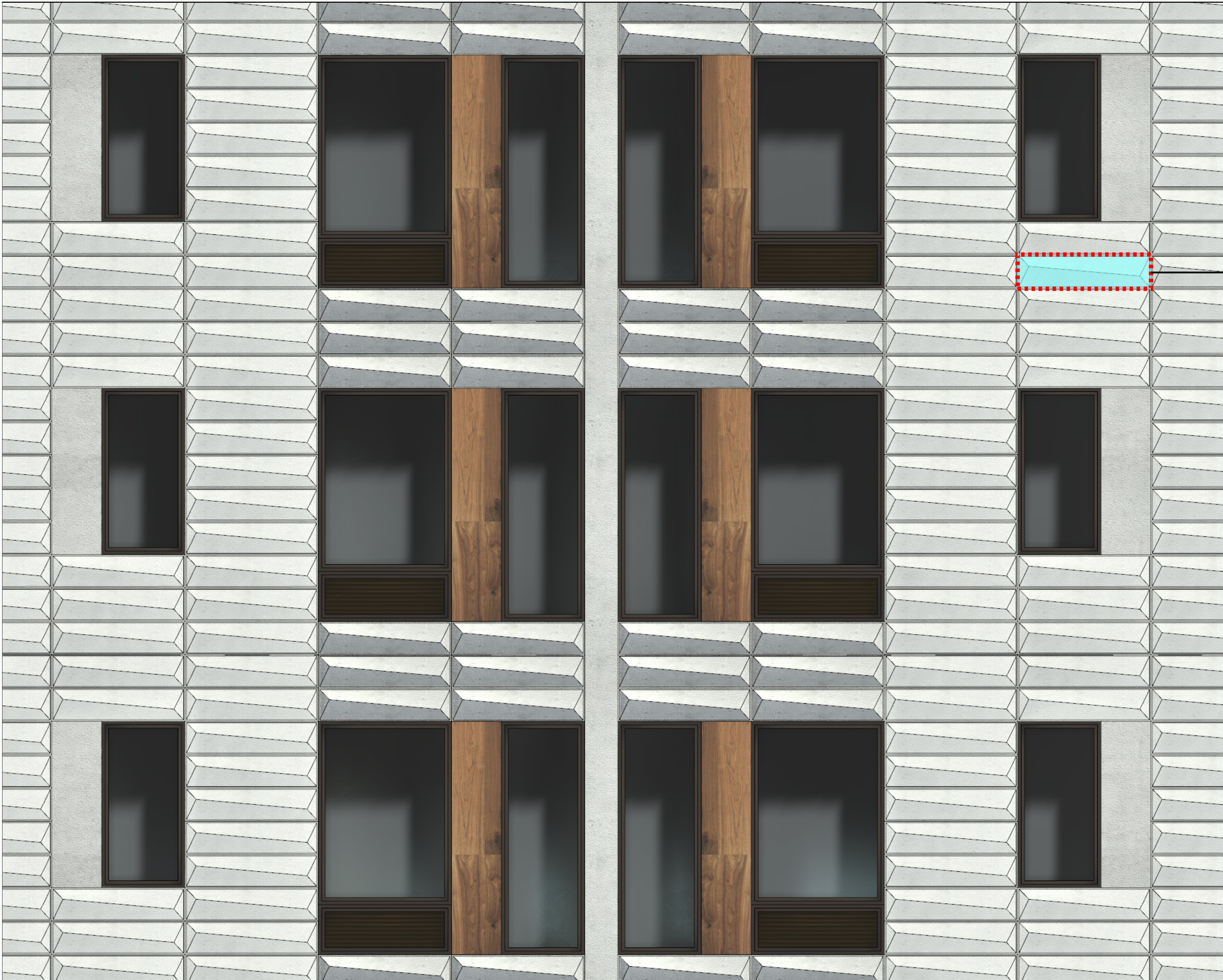




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A208	

**progression**  
139 West Wilson  
Madison, Wisconsin  
West Wilson Entry perspective





PRIMARY EXTERIOR MATERIAL:

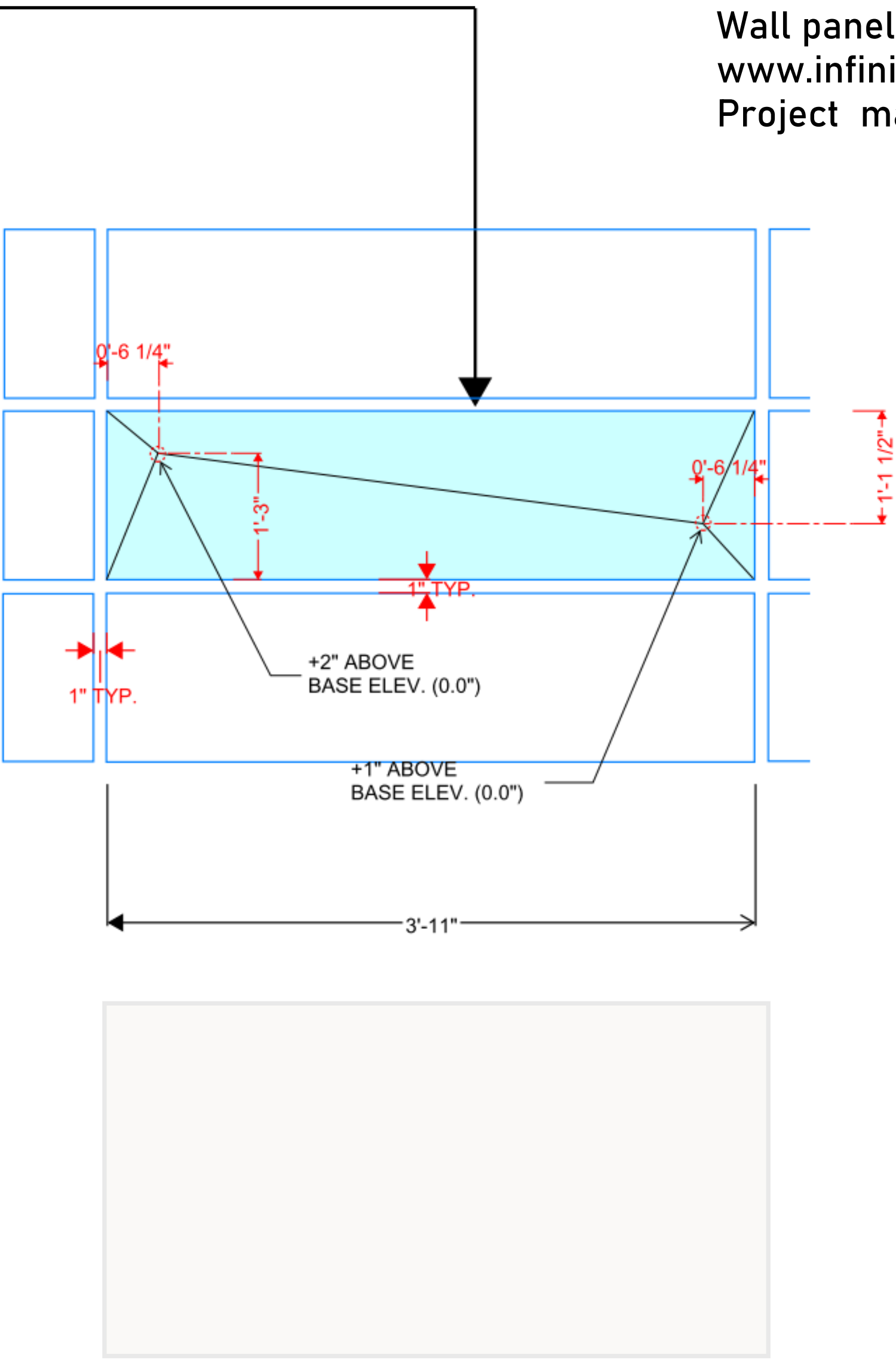
Factory fabricated concrete skin wall panels whose primary sizes are 10' H x 24' W and 32' W.

Within each large panel the surface contains multiple custom formed 1' H x 4' W facets.

The concrete has a fine acid etched finish with pearl white color.

Wall panel manufacture is Wells Infinite Facade.  
www.infinitefacade.com  
Project manager is Dan Stenzel (dan.stenzel@wellsconcrete.com)

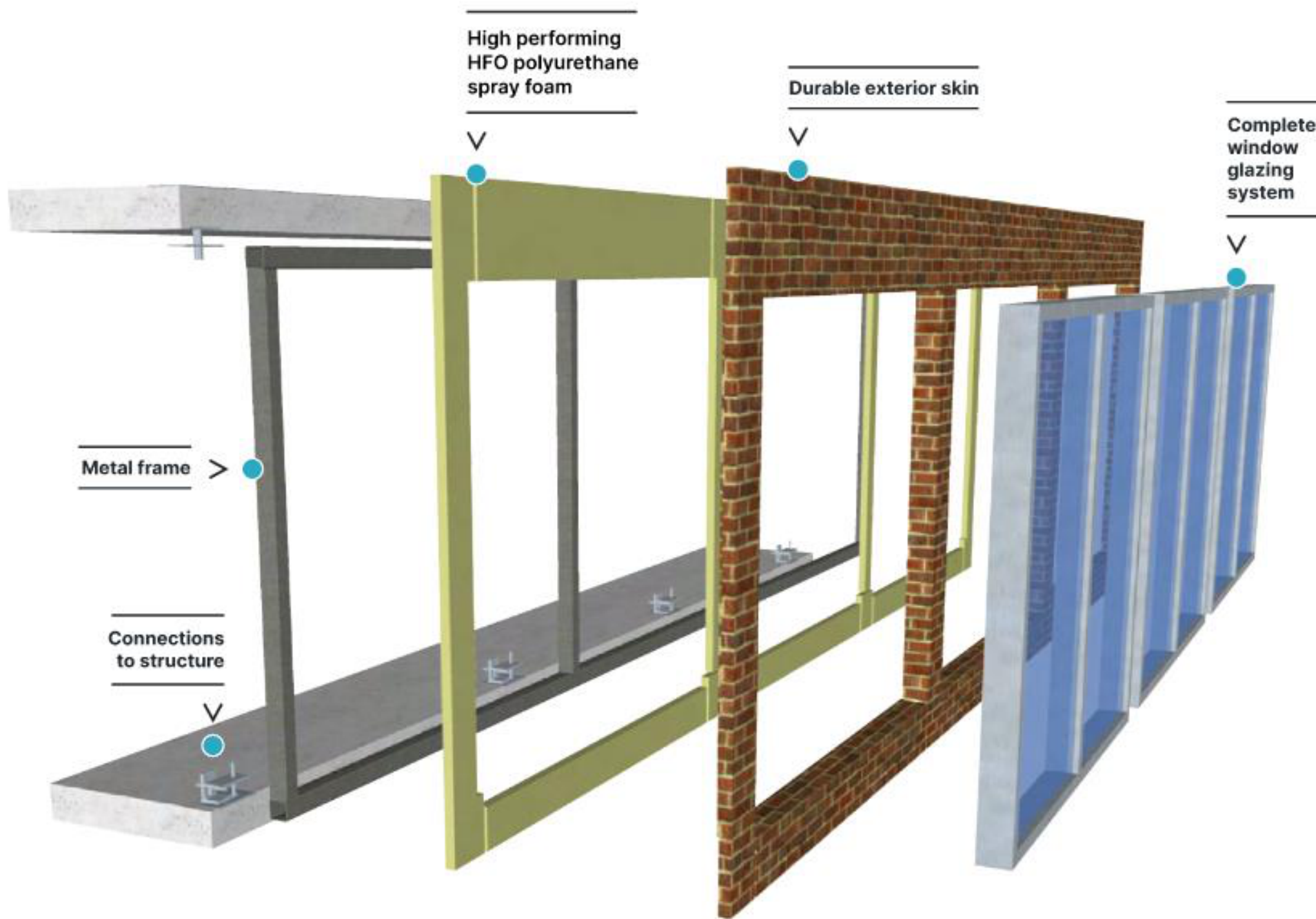
Typical 1' x 4' faceted unit



Acid etched concrete wall panel. Color: PEARL WHITE



III .3 | An Introduction to Infinite Facade



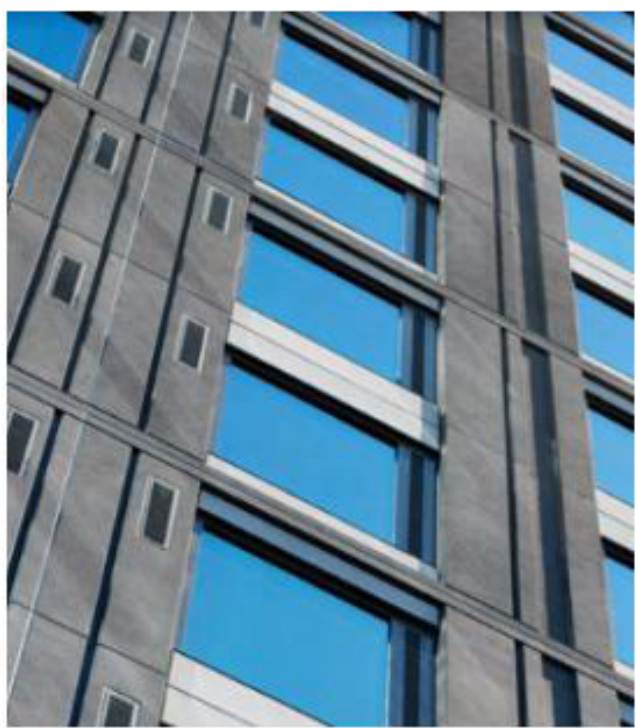
Complete wall shipped to site, craned in place and attached to structure, maximizing schedule efficiency.



WELLS  
PRECAST | INNOVATORS

BENEFITS OF PREFABRICATION

- Reduces site impacts
- Accelerates construction schedules
- Ensures constructability
- Provides budget certainty
- Factory quality
- Reduces risk
- Streamlined logistics and shipping processes



III .4 | An Introduction to Infinite Facade



WELLS  
PRECAST | INNOVATORS

Finishes

Our exterior finish options are limitless. In addition to the wide variety of colors and textures currently available in traditional precast, other materials can be cast into the exterior veneer – such as brick, terracotta, and stone. The use of form liners also allows for an endless number of geometric patterns and reveals to be incorporated into the design.

Aesthetic Customization

- 1 Pick the texture you like. x 2 Choose your color scheme. x 3 Select your finish style.



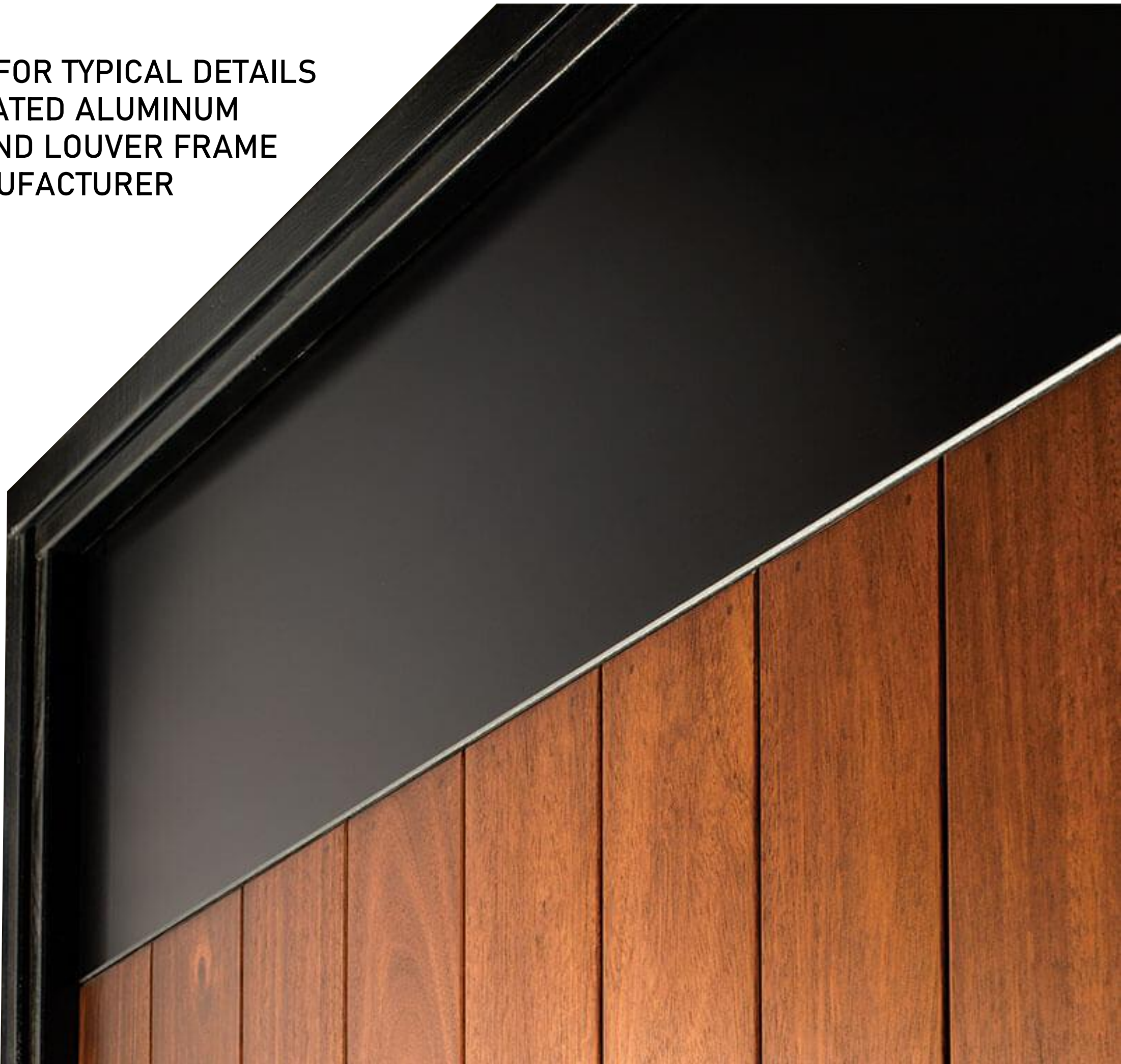
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ENLARGED PARTIAL NORTH FACADE SHOWING TYPICAL WINDOW - LOUVER - LONGBOARD CONFIGURATION AND SIZES

SEE A301.1 FOR TYPICAL DETAILS OF INTEGRATED ALUMINUM WINDOW AND LOUVER FRAME FROM MANUFACTURER

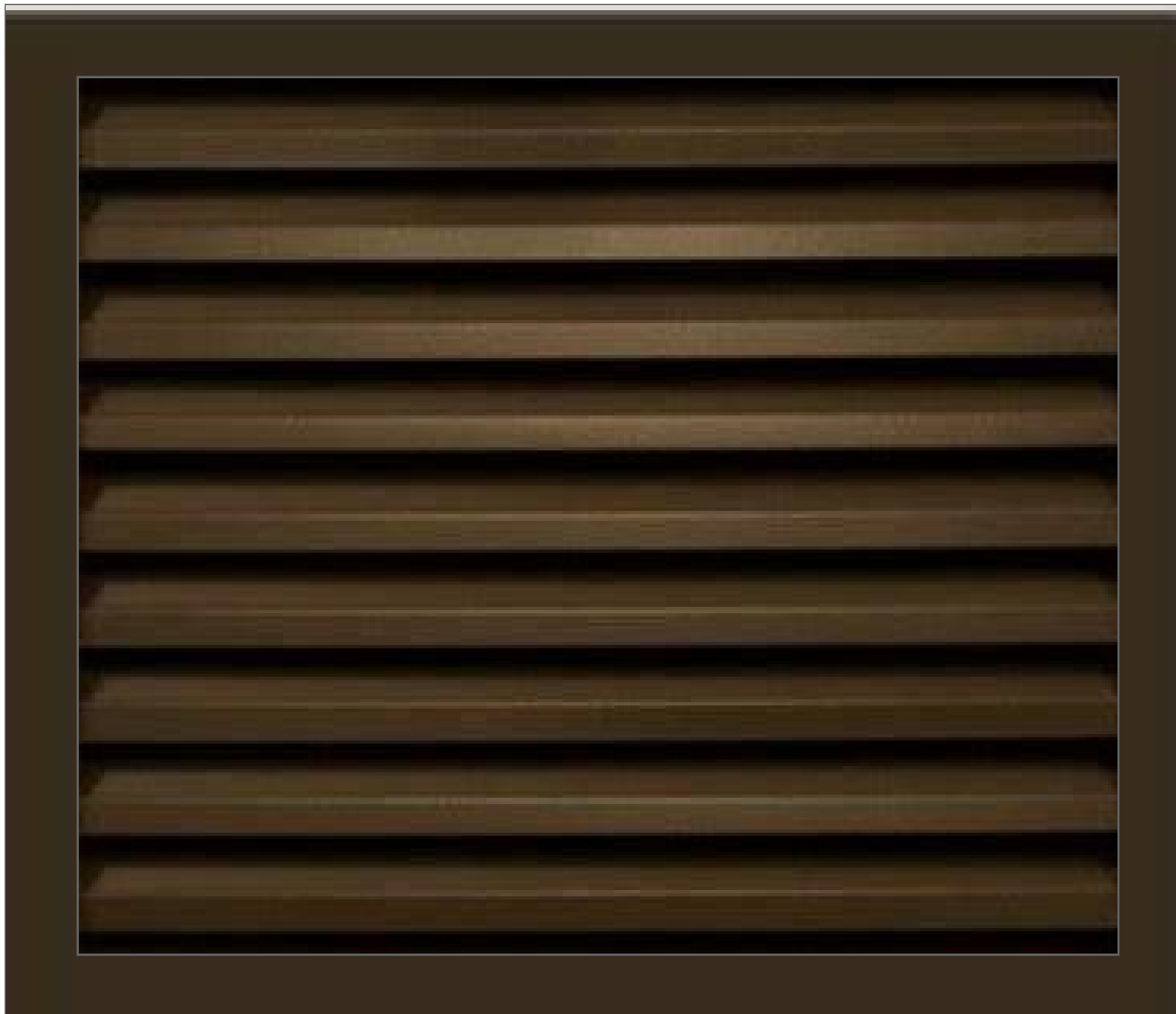


DARK BRONZE ALUMINUM NEXT TO TABLE WALNUT - 1 VERTICAL LONGBOARD

LONGBOARD ARCHITECTURAL PRODUCTS - TONGUE AND GROOVE CLADDING SYSTEM - 4" WIDE (4V) VERTICAL ORIENTATION. COLOR: TABLE WALNUT -1



1" INSULATED CLEAR GLASS - SLIM PROFILE ALUMINUM STOREFRONT WINDOW SYSTEM.



DARK BRONZE ANODIZED ALUMINUM FINISH AT ALL EXTERIOR WINDOWS, DOORS AND INTEGRSL WINDOW LOUVERS.



**TYPICAL ISOMETRIC**

**PROFILES**

V-Groove: 2-1/2", 4", 6"  
Smooth: 6"  
Channel: 6"  
Standard Lengths: 24'  
96 SQ FT/box

**COMPONENTS** - Standard Lengths: 12'

Traditional: Starter Strip, Back-to-Back Starter Strip, 2" Corner Set, 1-3/8" Two Piece J-Track, 1-3/8" Termination Set, Compression Joint (24"), 1-1/2" Flat Reveal Set, 1-1/2" U-Reveal Set, 1-1/2" T&G U-Reveal, 2" Offset Flat Reveal

Craftsman: 3/4" Inside Corner, 1" Outside Corner, 3/4" U-Reveal Set, 3/4" T&G U-Reveal

Precision: 5/8" Starter J-Track, 3/16" Outside Corner, 5/8" J-Track, 5/8" Two Piece J-Track, 5/8" Termination Set, 1/2" Flat Reveal, 1/2" T&G Flat Reveal

T&G\_RS\_RB\_V2

**FINISHES**

Woodgrains, solid color, naturally aged metal, custom solid colour matching (additional lead times apply)

**ATTACHMENT**

Planks: Quick-screen clips w. #8 screws\* @ 32" o.c. (standard). Quick-screen clips included: 135 pcs/4" box, 90 pcs/6" box. Trims: hard fasten w. #8 screws\* @ 16" o.c. \*Screws not included.

**BIM & CAD**

RVT & DWG files available, see website for details

**LEAD TIME**

3-6 business days + shipping (subject to change)

**TECHNICAL SPECIFICATIONS**

**PHYSICAL DATA**

6063-T5 Extruded Aluminum  
100% Recyclable  
Warranty: Finish: 15 year (standard)/20 year\* (ultra) (\*10 week lead time); Aluminum: 50 year  
Weight (lbs/sqft): ~1.5

**TESTING**

ICC-ES Evaluation Report - Division: 07 00 00 Thermal and Moisture Protection Section: 07 46 00 - Siding

AAMA 509 Rainscreen: W1, V2

LARR - Los Angeles Department of Building Safety (LADBS) accepts ICC-ES reports as proof of compliance

Florida Product Code: FL20075

Miami Dade, Florida, Notice of Acceptance(NOAC): NOA No. 22-0209.01 -Expiration Date: January 26, 2028

Impact testing: TAS 201

WUI (The Wildland-Urban Interface) - California Department of Forestry & Fire Protection Office of the State Fire Marshal Listing No. 8140-2286.0500

**Fire Rating:** Class A Non-Combustible by ASTM E136 & ASTM E84; A2-s1, d0 by EN 13501-1

**Light Reflectance:** 5% (Black) up to 73.2% (Ultra White)

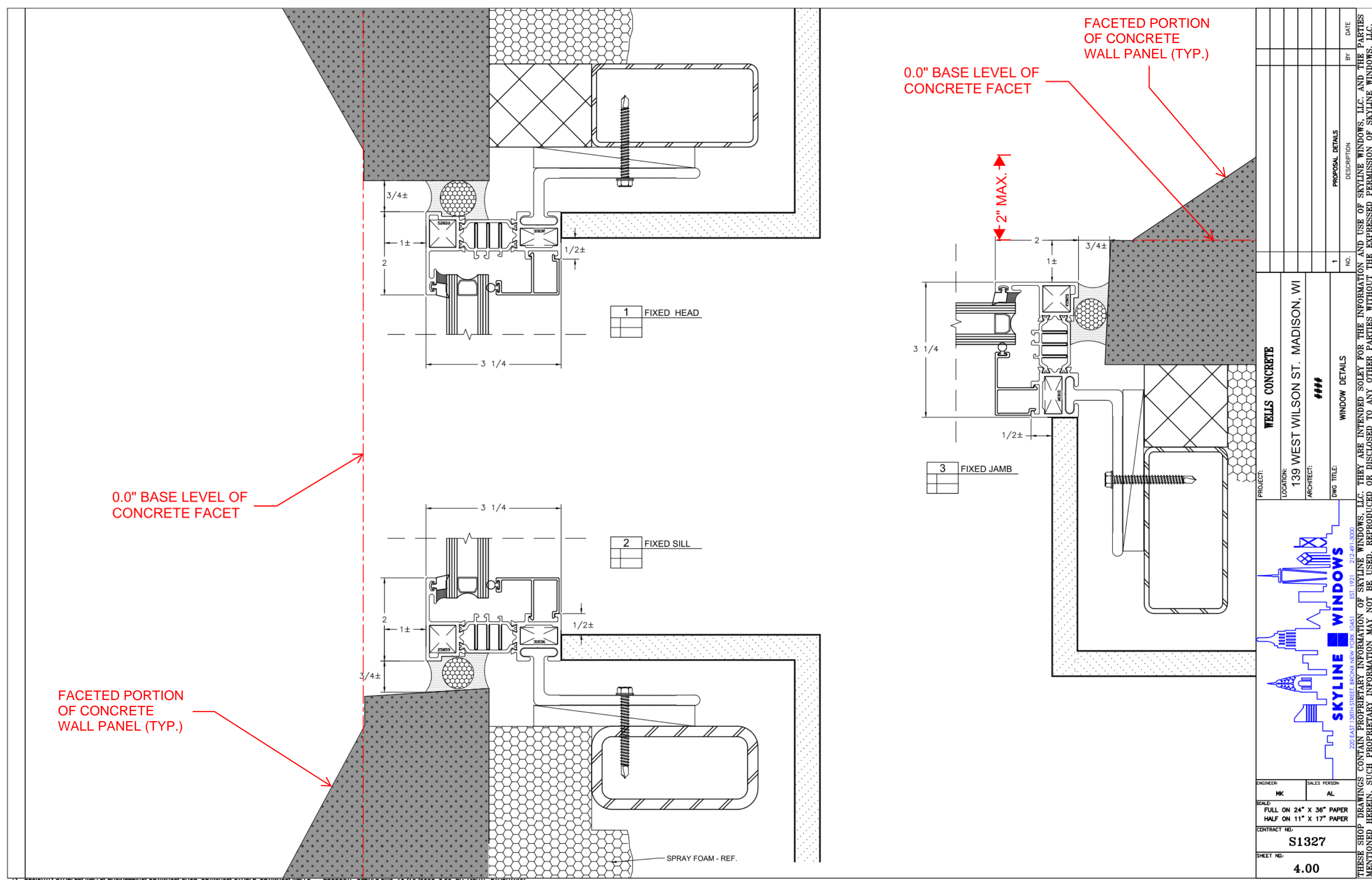
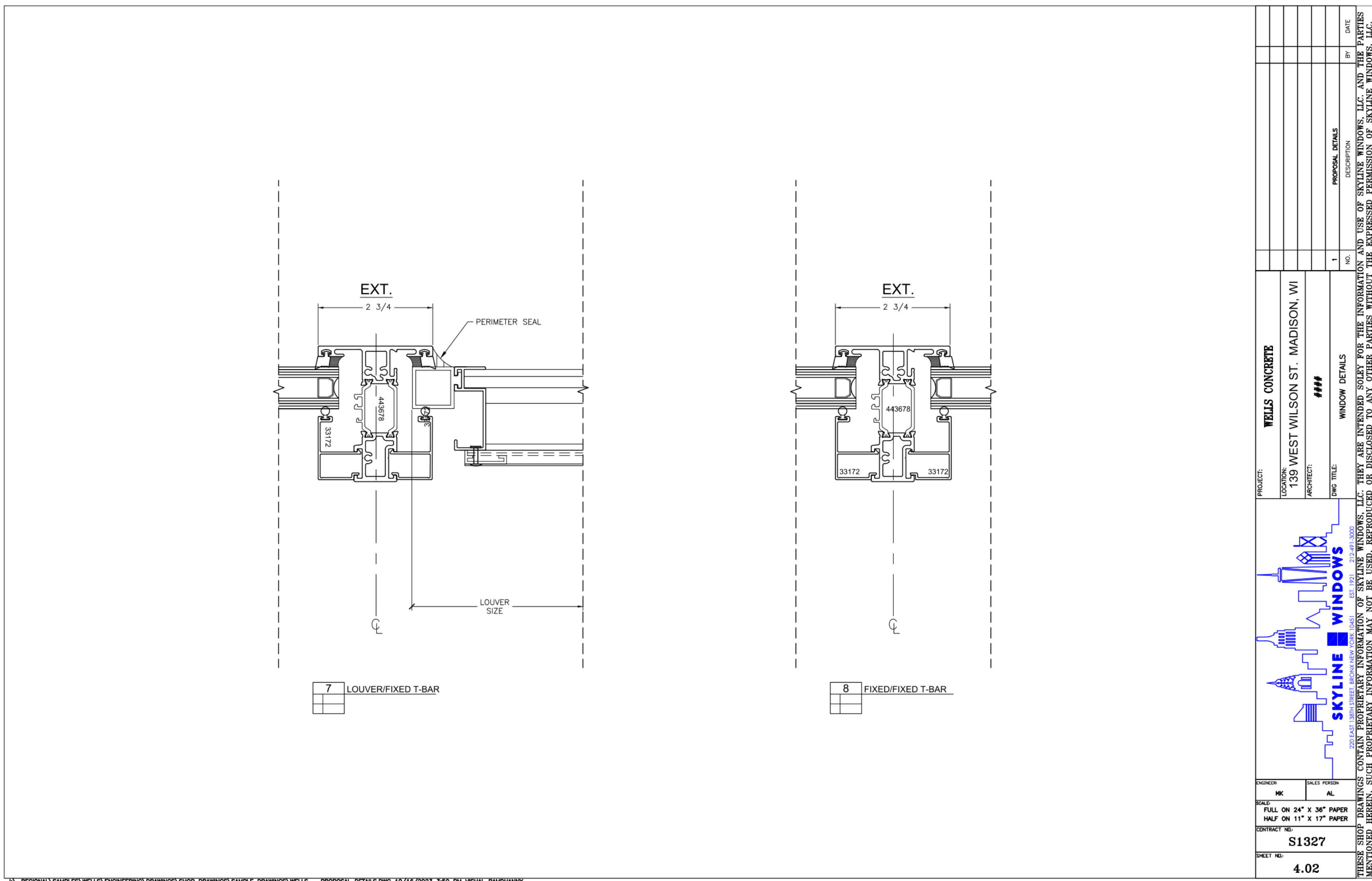
**Wind load:** Up to 121 psf (5794 Pa) TAS 202, TAS 203

**LONGBOARD**  
ARCHITECTURAL PRODUCTS

[info@longboardproducts.com](mailto:info@longboardproducts.com)  
[longboardproducts.com](http://longboardproducts.com)  
800 604 0343

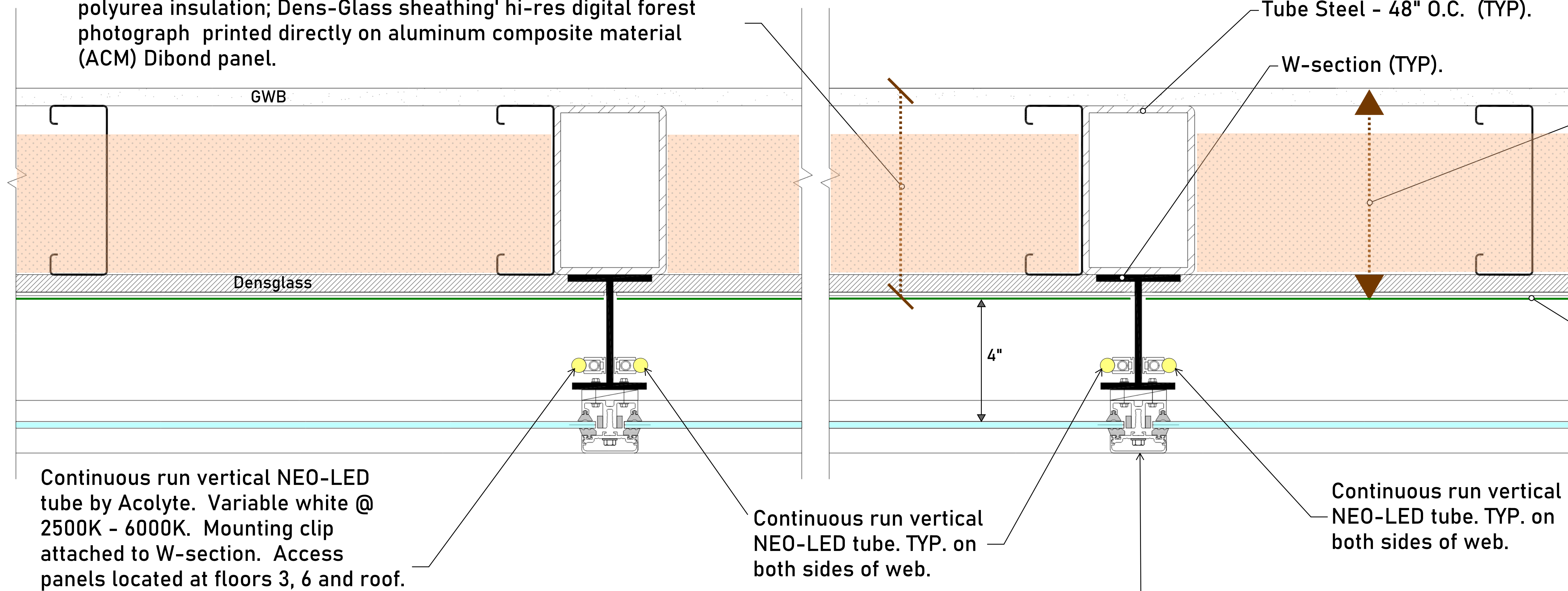
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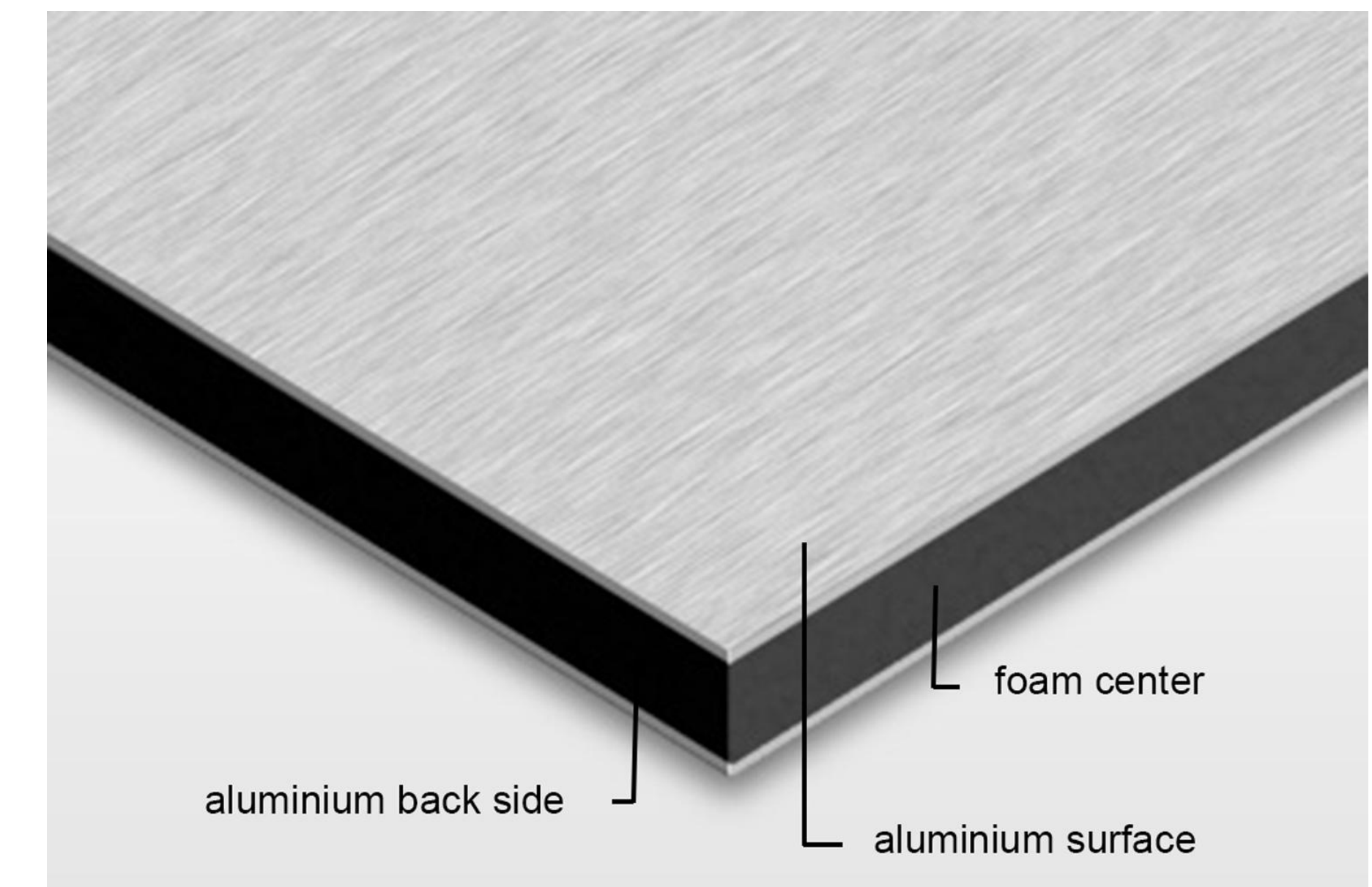
EXTERIOR WALL ASSEMBLY: 5/8" Type 'X' GWB" 6" metal studs; polyurea insulation; Dens-Glass sheathing' hi-res digital forest photograph printed directly on aluminum composite material (ACM) Dibond panel.



Window systems located within this portion of the overall curtain wall assembly. Where occurs on all elevations. (TYP).

1 Exterior art wall - Plan detail (TYP)

3mm Di-bond panel with forest graphic printed directly on aluminum using waterproof, UV-cured inks.



3 3mm (1/8").DiBond-Aluminum Composite material (ACM).

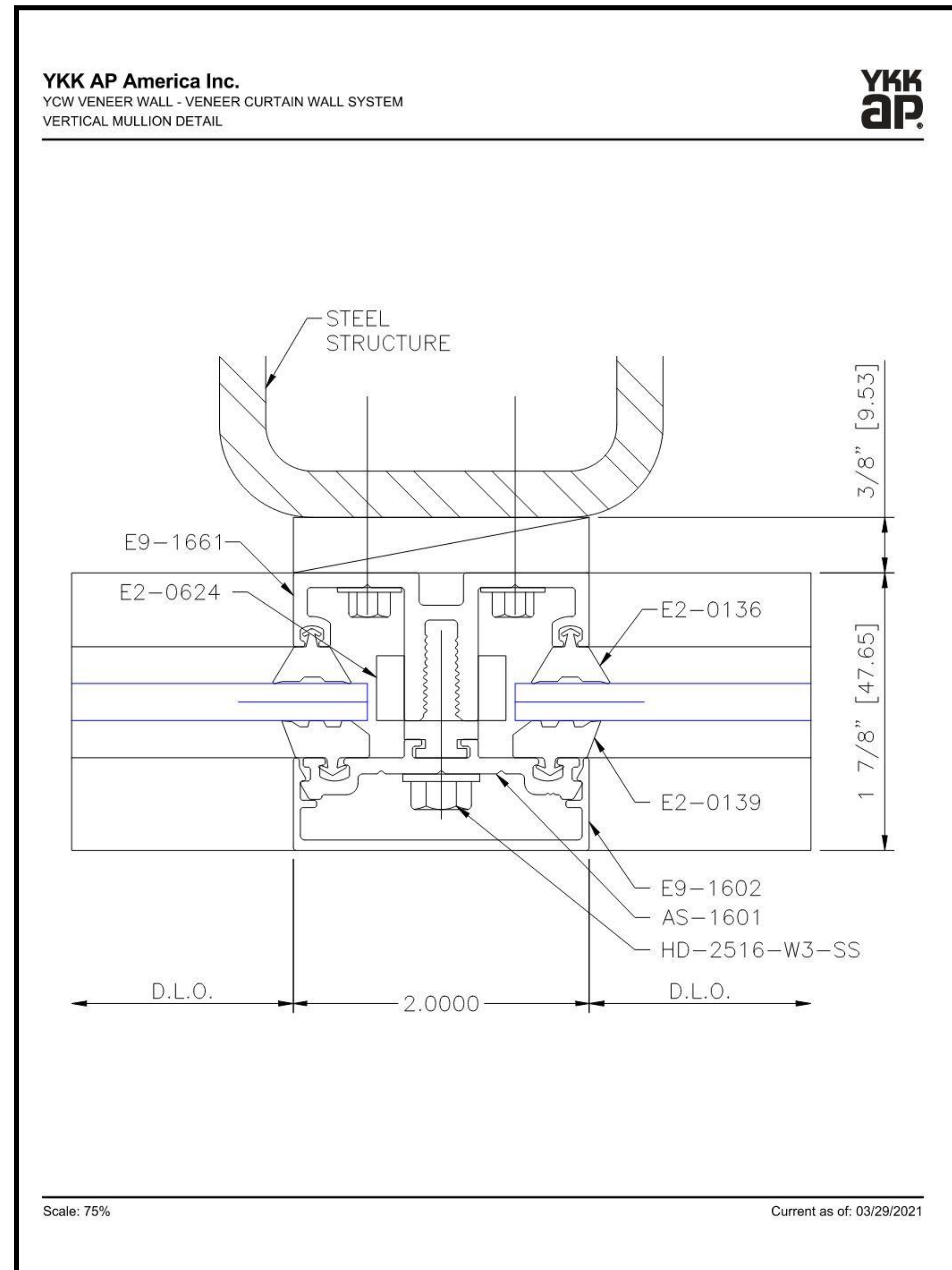


4 Example of direct print (ACM).

Continuous run vertical NEO-LED tube by Acolyte. Variable white @ 2500K - 6000K. Mounting clip attached to W-section. Access panels located at floors 3, 6 and roof.

Continuous run vertical NEO-LED tube. TYP. on both sides of web.

Continuous run vertical NEO-LED tube. TYP. on both sides of web.



YCW Veneer curtain wall system by YKK AP America. 48" x 120" 1/4" clear tempered glass panels set in vertical and horizontal 2" wide black anodized aluminum capture system as shown.

NOTE:  
Internally lit wall to use Acolyte LED neon tubes.  
proposed in variable white ( 2400K - 6000K) for flexibility in final effect.  
See Sheet A302.1 and A300 for more information on design proposal.

2 Curtain wall - Mullion detail (TYP)

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product proposed:  
NLCP 4.5VW

NEON CONTOUR PLUS

This bendable, waterproof silicone fixture features all the benefits of modern LEDs while creating the classic look of neon tubes. Available in Static White, Variable White and color changing RGBW, Neon Contour Plus is designed with a larger profile to brave the elements in façade lighting and lettering. It's like neon, but better – and bigger!

- Side-bending flexible silicone creates larger vivid tubes of light
- RGBW, Static White, Variable White at 4.5 W/ft (14.76 W/m)
- Static White, Variable White cut lengths at 1.97 in. (50 mm)
- RGBW cut lengths at 3.28 in. (83.33 mm)
- Waterproof and UV resistant
- Unique rounded design helps create signature styles
- Assembled in U.S.

Applications:

Commercial Hospitality Residential  
Entertainment Museums Retail / Signage  
Healthcare Public Spaces



ORDERING GUIDE

Category	Wattage & Color	Power Feed Direction
NLCP		
NLCP - Neon Contour Plus	4.524 - 4.5 W/ft 2400K 4.527 - 4.5 W/ft 2700K 4.530 - 4.5 W/ft 3000K 4.535 - 4.5 W/ft 3500K 4.540 - 4.5 W/ft 4000K	E - End Feed B - Bottom Feed

Mounting

1. Aluminum Mounting Clip  
Recommended for curved applications with 6 in. (150 mm) on center spacing  
Part #: NLCPMOUNTCLIPV2
2. Neon Contour Plus Mounting Channel  
Recommended for all straight run applications  
Sold by the foot, up to 6 ft 6 in. / 2 m  
Part #: NLCPCHV2

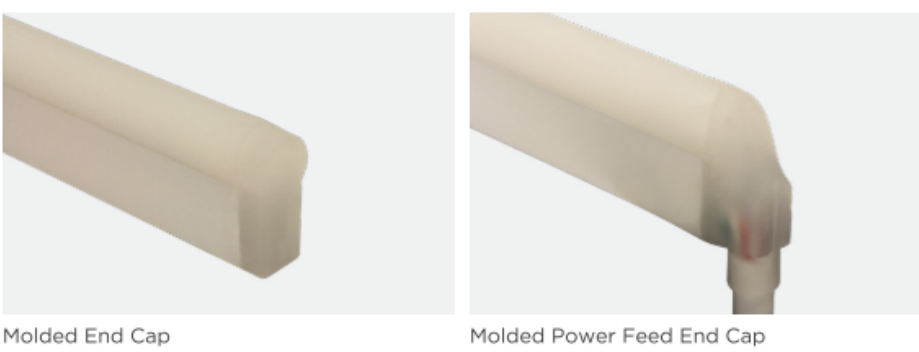
AVAILABLE COLORS AND COLOR TEMPERATURES



POWER FEED OPTIONS / SPECIFICATIONS / USAGE GUIDELINES

SPECIFICATIONS	NEON CONTOUR PLUS
Operating Voltage	24V DC
Power Consumption	Static White, Variable White, RGBW: 4.5 W/ft (14.76 W/m)
Protection Rating	IP67
Beam Angle	110°
Dimming	ELV / MLV / 0-10 Volt / DMX / Lutron A-Series % dimming LED drivers
Operating Temperature	-4° F to 140° F (-20° C to 60° C)
Color Temperatures / Colors	2400K, 2700K, 3000K, 3500K, 4000K, Variable White (2400K-6000K) RGBW (2700K, 3000K, 4000K)
Lamp Life	50,000 Hours
Max Length	Static White: 39 ft 4.4 in. (12 m) (Not Field Cuttable) Variable White, RGBW: 16 ft 4.85 in. (5 m) (Not Field Cuttable)
Cutttable Length	Static White, Variable White: 1.97 in (50 mm) RGBW: 3.28 in. (83.33 mm)
Power Cable Length	Standard: 12 in. (304.8 mm) / Custom: up to 20 ft (6 m)
UV Resistant	UV tested in accordance with ISO 4892-3 with no visible change on the appearance of the sample
Minimum Bend Diameter	11.8 in. (300 mm)
CRI (white)	90+ for all Color Temperatures
	4.5 Static White 4000K: 206 lm/ft (675.2 lm/m), 43 lm/W 4.5 Variable White 164 lm/ft (527.92 lm/m), 34 lm/W
Lumens	4.5 RGBW Red: 9 lm/ft (29.5 lm/m), 6 lm/W / Green: 27 lm/ft (88.56 lm/m), 18 lm/W / Blue: 7 lm/ft (22.96 lm/m), 5 lm/W White: 47 lm/ft (154.16 lm/m), 28 lm/W / All LEDs at 100%: 90 lm/ft (295.2 lm/m), 20 lm/W

MOLDED END CAPS

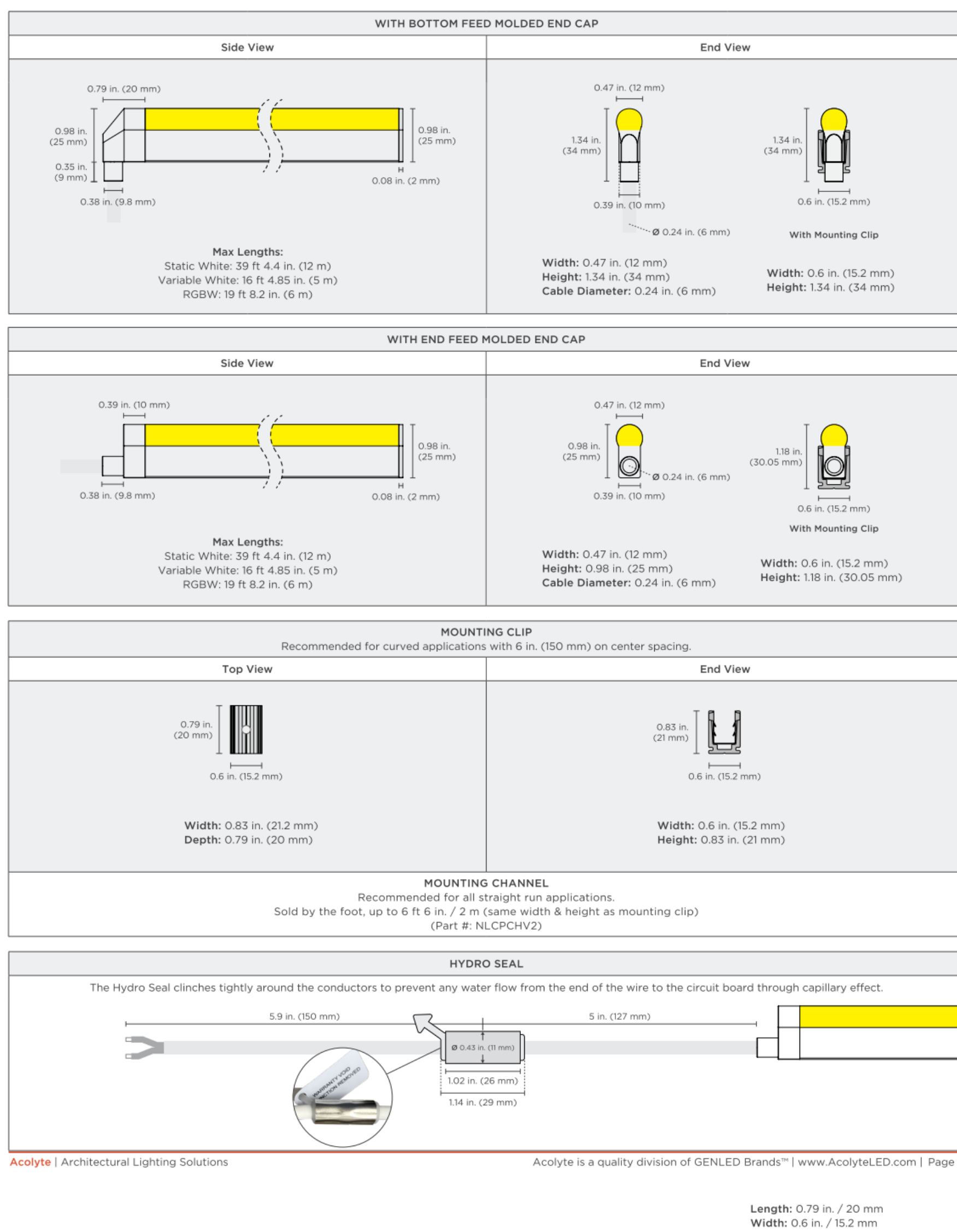


USAGE GUIDELINES

- When installing this product take into account the surface temperature of the material where it will be mounted. Many building surfaces which are exposed to direct sunlight exceed the 140° F/60° C maximum that our product is rated for. High-risk locations like this should be avoided.
- This product is not intended to be submerged in pools and fountains and does not carry UL 676 certification to do so. Available for download at [www.GENLEDBrands.com/Acolyte](http://www.GENLEDBrands.com/Acolyte)
- Compatible with a wide variety of control products including the entire line of Lutron dimming systems.
- For use with Acolyte drivers, triac dimming modules, and 0-10 modules.
- Use with non-Acolyte triac, MLV or ELV drivers is not supported or warrantied
- Due to the cuttable points inside, this product's cuttable lengths are generally longer or shorter than the customer requested length. Unless specified, this product is factory cut at the shorter cuttable point.
- This product can be used in wet, outdoor locations around swimming pools and spa tubs, but not submerged in swimming pools and spa tubs.
- We reserve the right to make changes to product lineup, specifications, design and finishes at any time without notice.

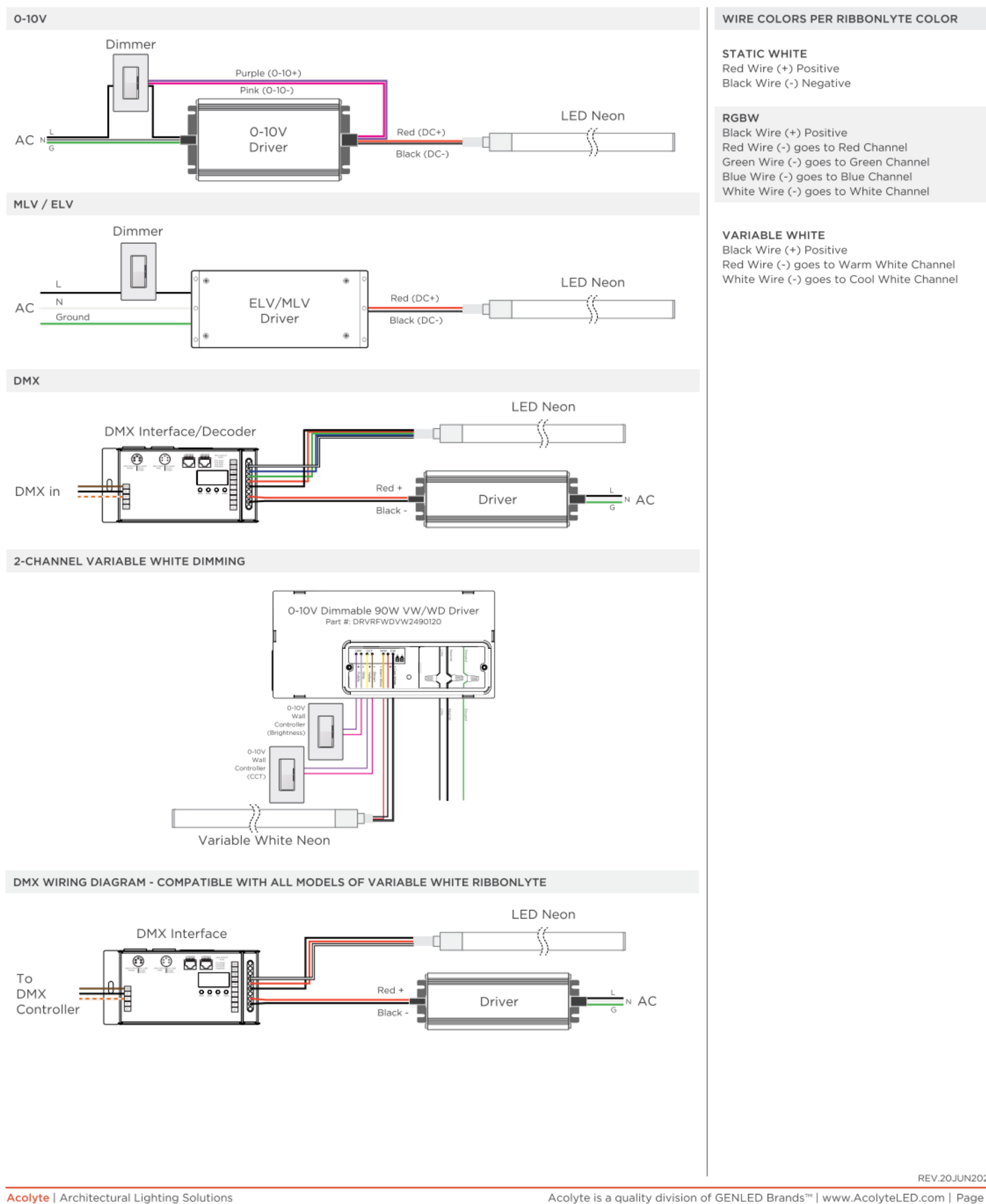
Acolyte does not warrant or represent that this information is free from errors or omission. The information may change without notice and Acolyte is not in any way liable for the accuracy of any information printed and stored or in any way interpreted or used.

DIMENSIONS & DIAGRAMS



Length: 0.79 in. / 20 mm  
Width: 0.6 in. / 15.2 mm

WIRING DIAGRAMS



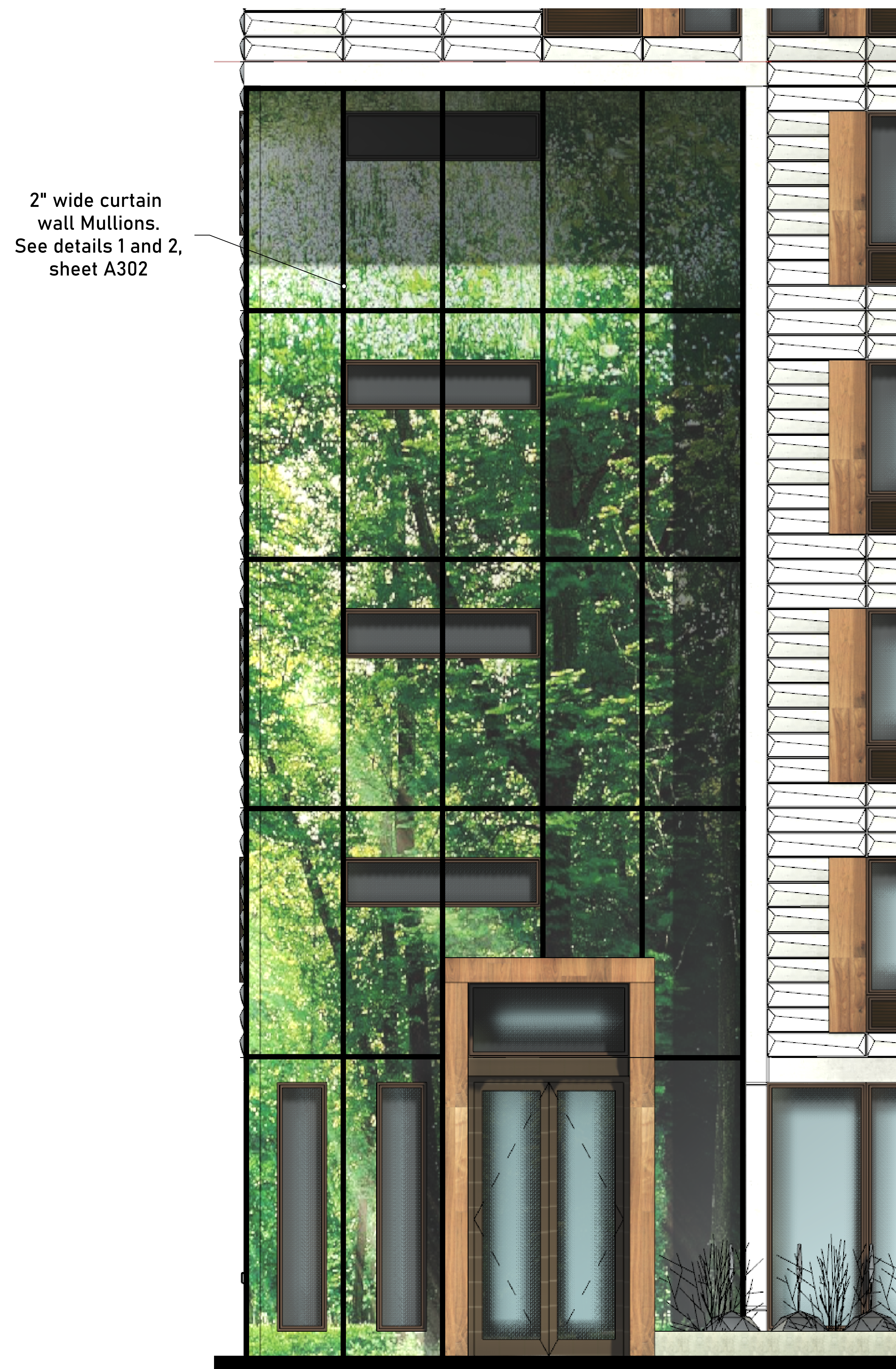
NOTE:

Internally lit wall to use Acolyte LED neon tubes.  
proposed in variable white ( 2400K - 6000K) for flexibility in final effect.

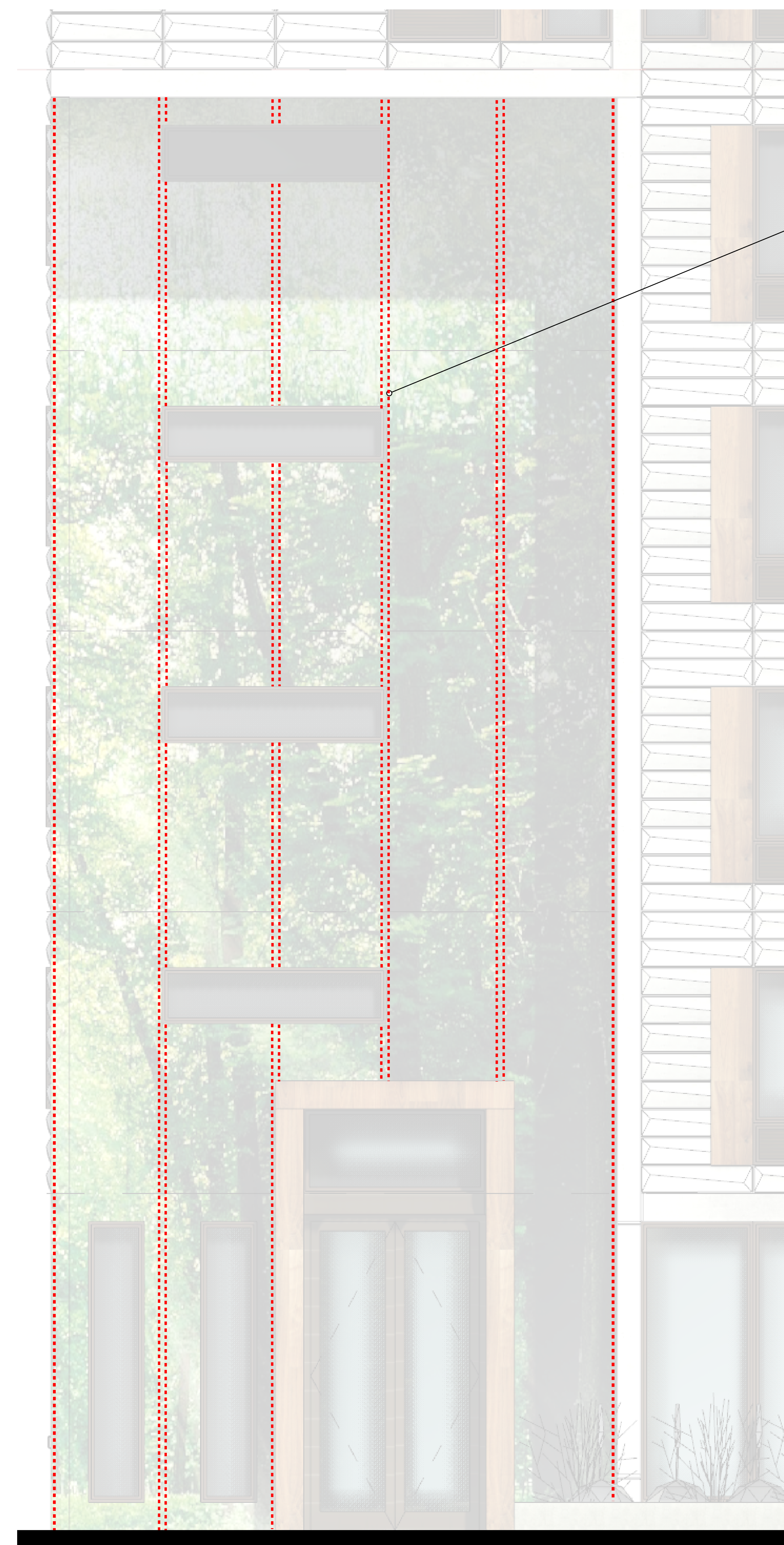
See Sheet A302 and A300 for more information on design proposal.

Revisions:	
UDC	12/11/2023
P.C.	12/11/2023
Project #:	21.000
Issued For:	Review
Date:	12/11/2023





1 North Curtain wall Elevation



Location of concealed  
NEON LED tubes shown in  
red dash. See detail  
1/A302.

2 North Curtain wall LED light locations

Revisions:	
UDC	12/11/2023
P.C.	12/11/2023
Project #:	21.000
Issued For:	Review
Date:	12/11/2023









progression

139 West Wilson  
Madison, Wisconsin  
Long View from Olin Park

Revisions:	
UDC	12/11/2023
P.C.	12/11/2023
Project #:	21,000
Issued For:	Review
Date:	12/11/2023

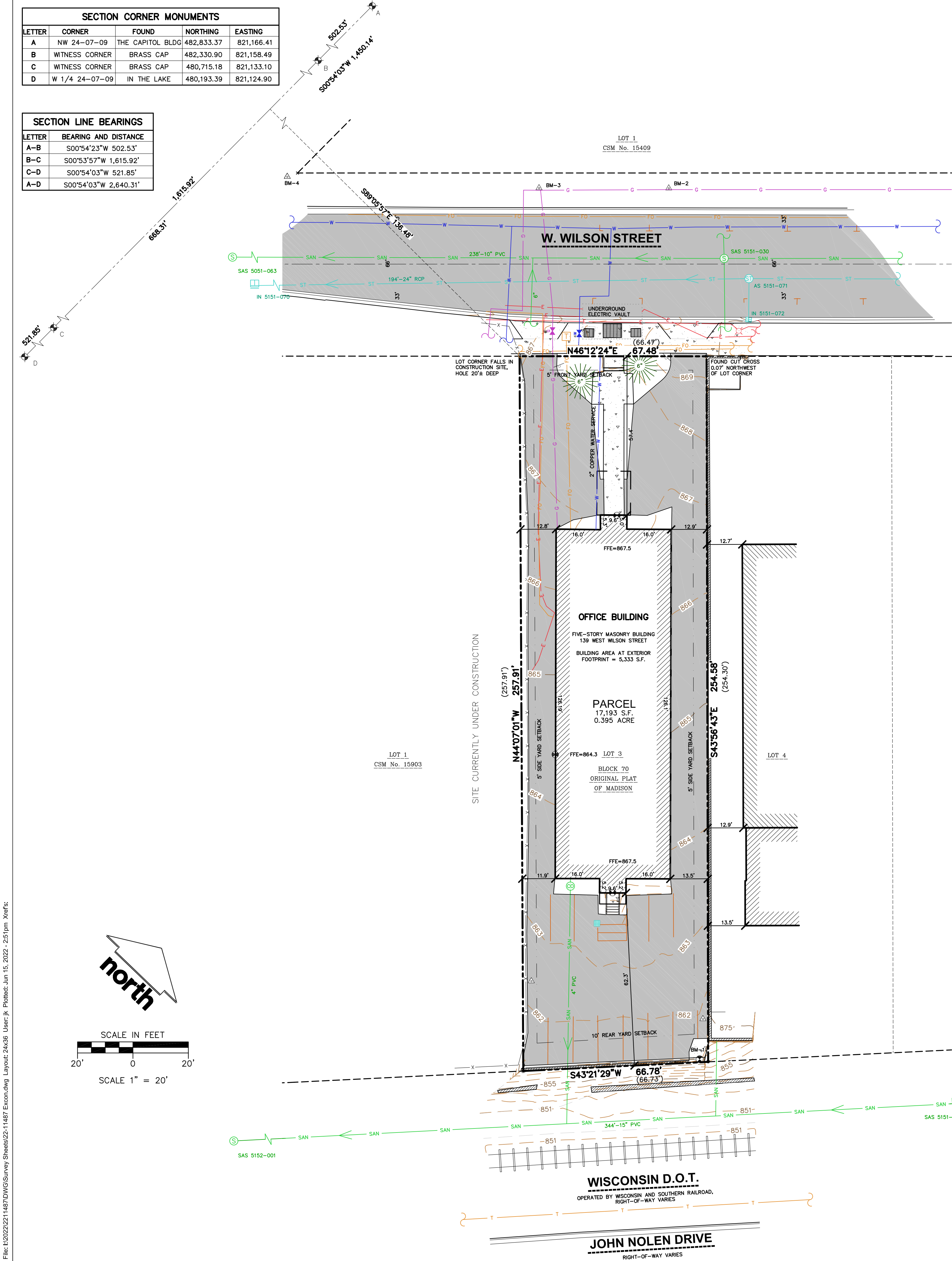




Revisions:	
UDC	12/11/2023
P.C.	12/11/2023
Project #:	21.000
Issued For:	Review
Date:	12/11/2023



File: 1020220211487DWGSurvey Sheets02-11487 Exon.dwg Layout: 24x36 User: jk Plotted: Jun 15, 2022, 2:51pm Xref's:



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**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**SEA DESIGN**

CLIENT ADDRESS:  
**N3302 SOUTH OAKLAND  
FORT ATKINSON, WI 53538**

PROJECT:  
**139 W. WILSON STREET**

PROJECT LOCATION:  
**139 W. WILSON STREET  
CITY OF MADISON  
DANE COUNTY, WISCONSIN**

MODIFICATIONS:

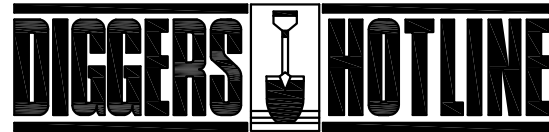
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Prepared By: JK 06/14/22  
Reviewed By: TJB 06/15/22  
Approved By: TJB 06/15/22

SHEET TITLE:  
**EXISTING  
CONDITIONS  
SURVEY**

SHEET NUMBER:  
**1 OF 1**

PROJECT NO: 22-11487



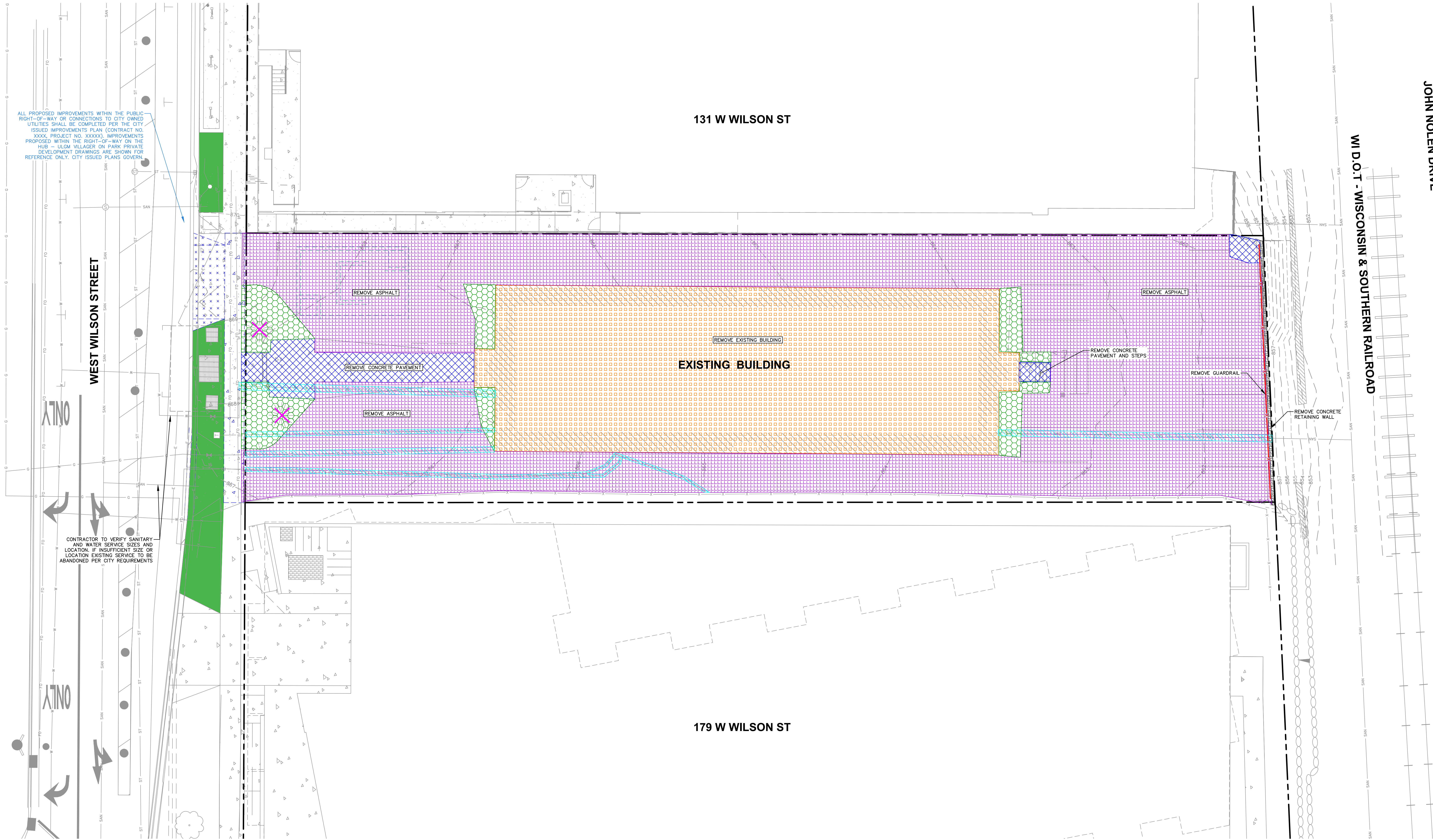
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File: USDINC\projects\2022\221487\DWG\Civil Sheets\221487 - Con Dwg.dwg Layout: C2.0 DEMO User: matt.ammel Printed: Jul 11, 2024 - 1:56pm Xref's:



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507 WEST VERONA AVE, SUITE 500  
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P. 608.848.5060

CLIENT:  
SEA DESIGN

CLIENT ADDRESS:  
N3302 SOUTH OAKLAND ROAD  
TOWN OF OAKLAND, WI 53538

PROJECT:  
139 WEST WILSON ST  
REDEVELOPMENT

PROJECT LOCATION:  
139 WEST WILSON ST  
MADISON, WI 53703

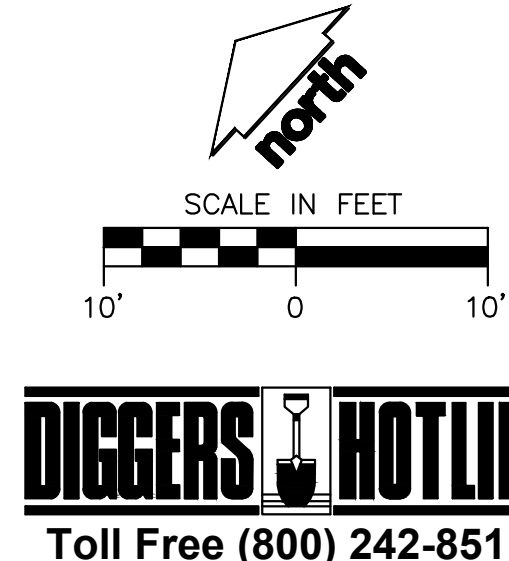
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1	06.26.2023	LAND USE / UDC SUBMITTAL
2	10.20.2023	UDC RE-SUBMITTAL
3	12.11.2023	LAND USE / UDC RE-SUBMITTAL
4	07.15.2024	MUNICIPAL SUBMITTAL
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Designed By: MAS  
Reviewed By: KJY  
Approved By:

SHEET TITLE:  
DEMOLITION PLAN

SHEET NUMBER:  
C2.0

JSD PROJECT NO: 22-11487



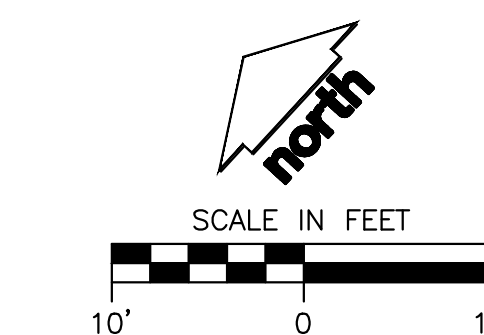
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179 W WILSON ST

SITE INFORMATION BLOCK	
SITE ADDRESS	139 WEST WILSON STREET
PROPERTY ACREAGE	0.395 ACRE
NUMBER OF BUILDING STORIES	1
TOTAL BUILDING SQUARE FOOTAGE	9,844
GROSS BUILDING SQUARE FOOTAGE	156,633
NUMBER OF PARKING SPALLS	
SURFACE	
WITHIN BUILDING	
NUMBER OF ON-SITE BICYCLE STALLS:	2
EXISTING IMPERVIOUS SURFACE AREA	16,693
EXISTING PERVIOUS SURFACE AREA	500
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.03
PROPOSED IMPERVIOUS SURFACE AREAS	12,855
PROPOSED PERMEABLE PAVEMENT AREAS	1,540
PROPOSED PLANTING/STONE MULCH AREAS	2,811
PROPOSED USABLE OPEN SPACE AREAS	3,230

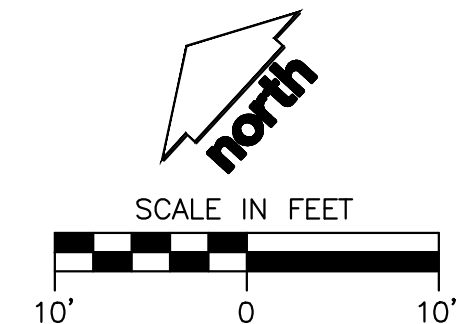
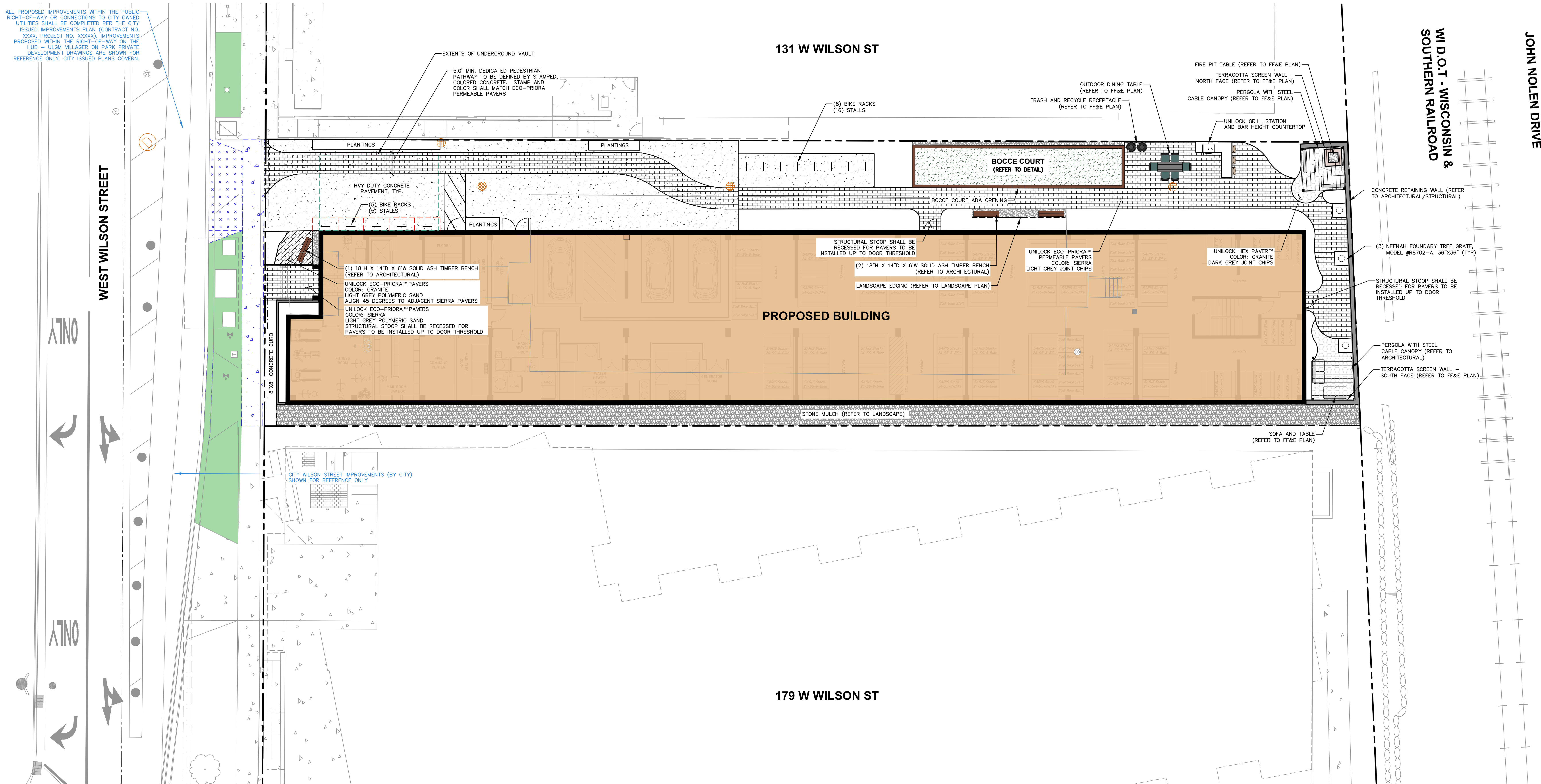


## DIGGERS HOTLINE

**Toll Free (800) 242-8511**

File: \\USDINC\projects\2022\2211487\DWG\Civil Sheets\2211487 - Con Docs.dwg Layout: C3.0 SITE - DIM User: matt.ammel Plotted: Jul 11, 2024 - 1:57pm Xrefs:





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507 WEST VERONA AVE, SUITE 500  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
SEA DESIGN

CLIENT ADDRESS:  
N3302 SOUTH OAKLAND ROAD  
TOWN OF OAKLAND, WI 53538

PROJECT:  
139 WEST WILSON ST  
REDEVELOPMENT

PROJECT LOCATION:  
139 WEST WILSON ST  
MADISON, WI 53703

PLAN MODIFICATIONS:		
#	Date:	Description:
1	06.26.2023	LAND USE / UDC SUBMITTAL
2	10.20.2023	UDC RE-SUBMITTAL
3	12.11.2023	LAND USE / UDC RE-SUBMITTAL
4	07.15.2024	MUNICIPAL SUBMITTAL
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Designed By: MAS  
Reviewed By: KJN  
Approved By:

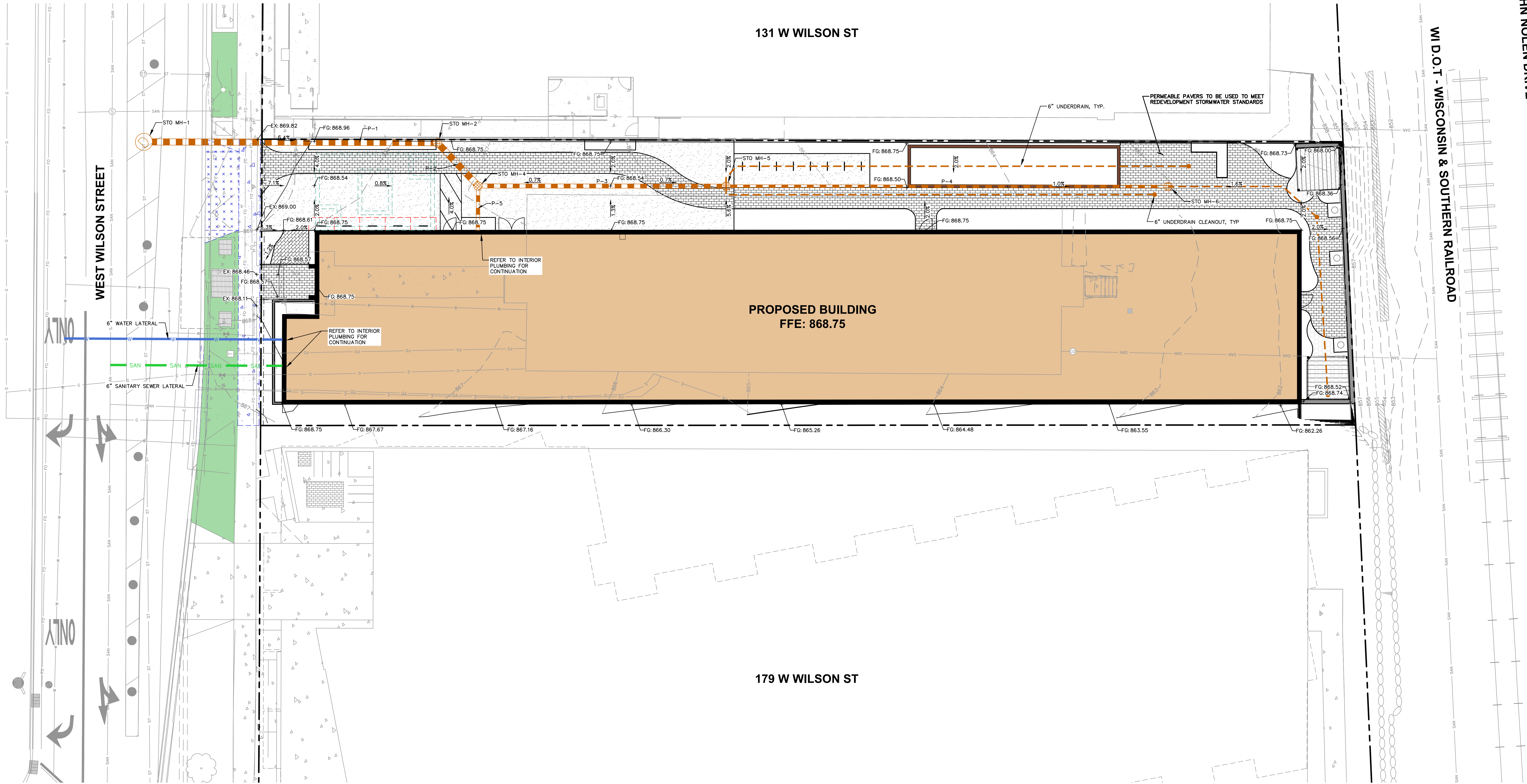
SHEET TITLE:  
SITE PLAN -  
ANNOTATED

SHEET NUMBER:  
**C3.1**

JSD PROJECT NO: 22-11487



File: JSD\\C\\projects\\2022\\221487\\DWG\\Civil\\Sheet\\221487\_C4.dwg Layout: C4.0 GRADING-UTILITY User: kavin.yeska Printed: Jul 08, 2024 - 4:28pm Xref's:



PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO MH-1	869.12	EX SW INV: 862.52 (24") SE INV: 863.50 (18") EX NE INV: 862.52 (24")	6.6	48 IN MH	R-1550 SOLID GRATE
STO MH-2	868.76	NW INV: 864.19 (18") S INV: 864.29 (18")	4.6	24 IN DB	STANDARD OPEN GRATE
STO MH-4	868.22	N INV: 864.45 (18") SE INV: 864.95 (12") SW INV: 865.12 (10")	3.8	24 IN DB	STANDARD OPEN GRATE
STO MH-5	868.27	NW INV: 865.27 (12") SE INV: 865.60 (8")	3.0	24 IN DB	STANDARD OPEN GRATE
STO MH-6	868.04	NW INV: 866.12 (8")	1.9	24 IN DB	STANDARD OPEN GRATE

PROPOSED STORM SEWER PIPE TABLE						
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE
P-1	STO MH-2	STO MH-1	69'	864.19	863.50	1.00%
P-2	STO MH-4	STO MH-2	14'	864.45	864.29	1.15%
P-3	STO MH-5	STO MH-4	58'	865.27	864.95	0.55%
P-4	STO MH-6	STO MH-5	104'	866.12	865.60	0.50%
P-5	ROOF	STO MH-4	10'	865.27	865.12	1.50%



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P. 608.848.5060

CLIENT:  
SEA DESIGN

CLIENT ADDRESS:  
N3302 SOUTH OAKLAND ROAD  
TOWN OF OAKLAND, WI 53538

PROJECT:  
139 WEST WILSON ST  
REDEVELOPMENT

PROJECT LOCATION:  
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PLAN MODIFICATIONS:		
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4	07.15.2024	MUNICIPAL SUBMITTAL
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Designed By: MAS  
Reviewed By: K.J.

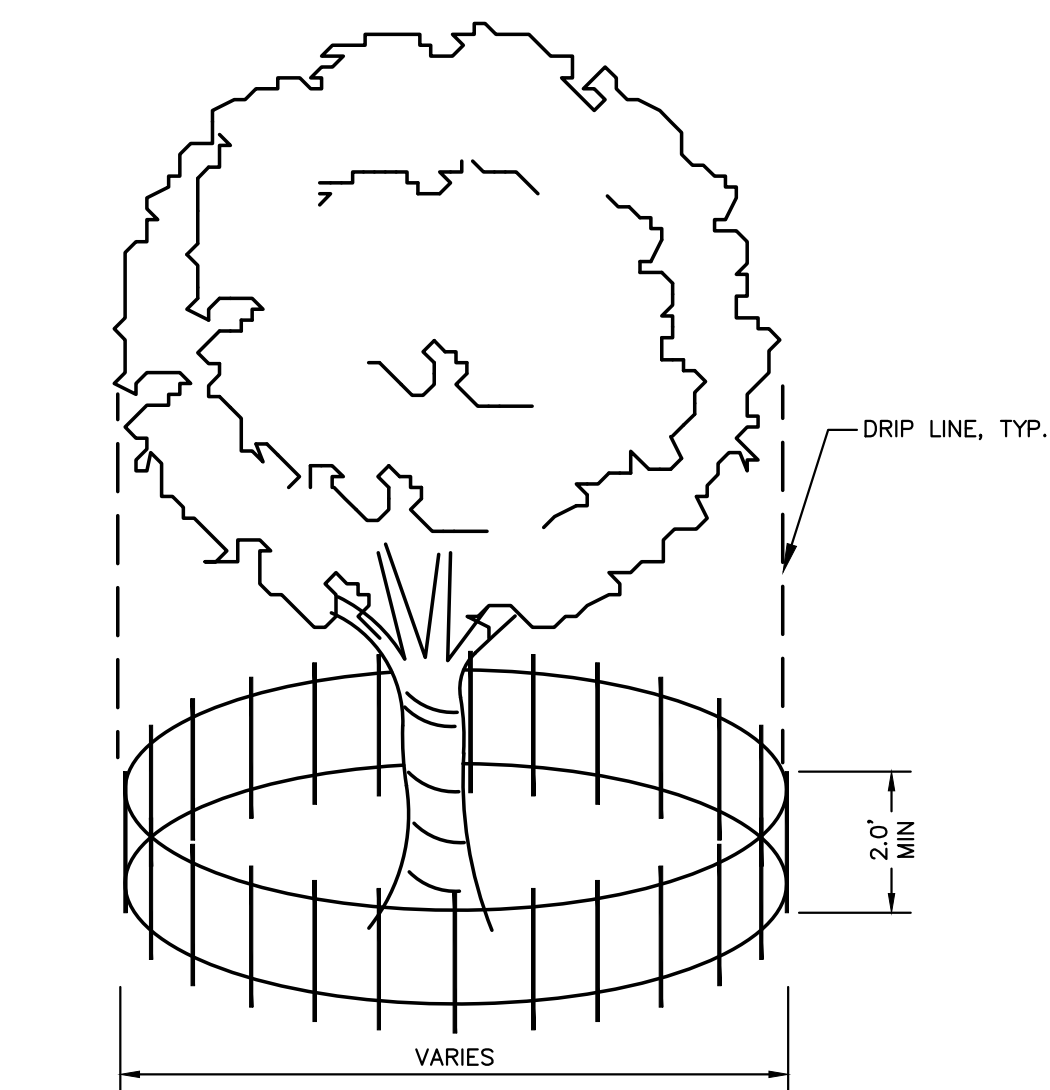
Approved By:  
SHEET TITLE:  
GRADING, EROSION  
CONTROL, AND UTILITY  
PLAN

SHEET NUMBER:  
**C4.0**

JSD PROJECT NO: 22-11487

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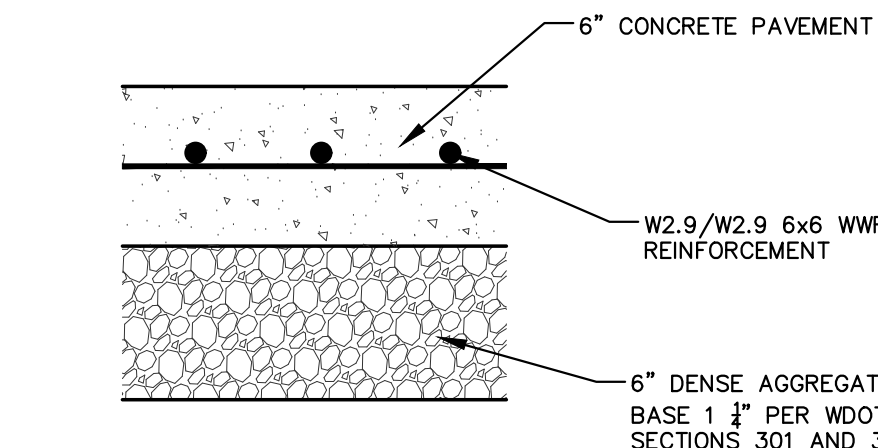




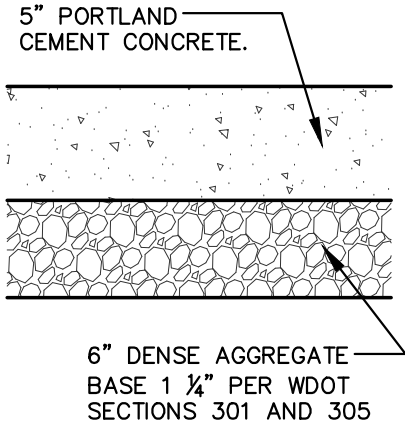
**NOTE:**  
FENCE TO BE INSTALLED TO PROTECT EXISTING TREE(S) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE FENCE LOCATION WITH OWNER PRIOR TO INSTALLATION. SILT FENCE MATERIAL OR OTHER APPROVED BARRIER MATERIAL MAY BE USED.

### TREE PROTECTION

N.T.S.



### HEAVY DUTY CONCRETE PAVEMENT SECTION



### CONCRETE SIDEWALK SECTION

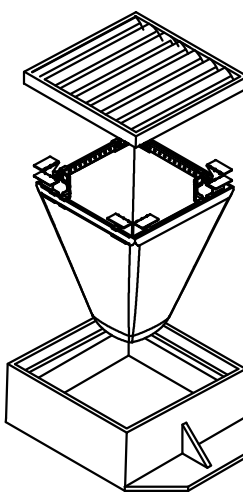
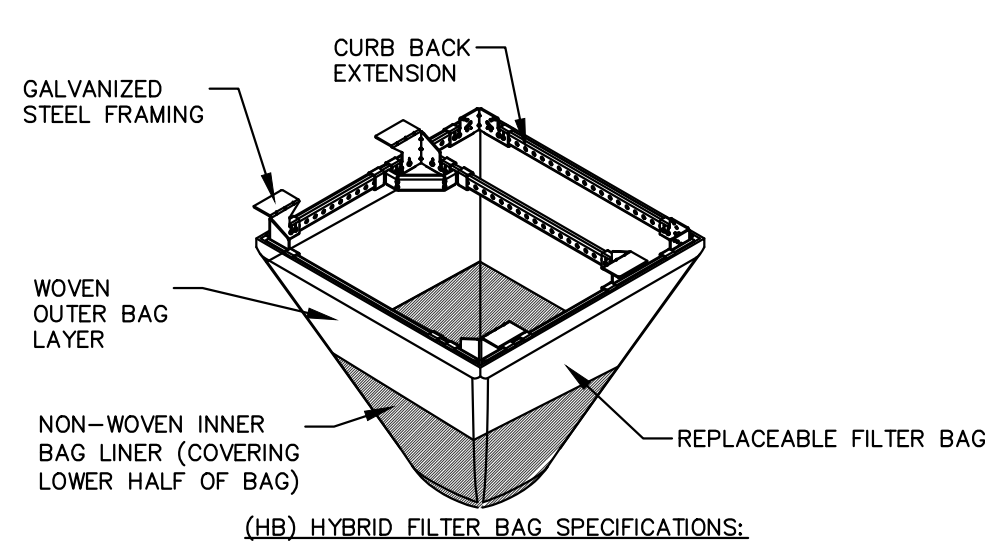
#### GENERAL NOTES:

- FINAL PAVEMENT CROSS SECTION DESIGN SHALL BE BASED ON GEOTECHNICAL REPORT TITLED "GEOTECHNICAL SUBSURFACE INVESTIGATION WILSON STREET APARTMENT BUILDING 402 WILSON STREET, MADISON, WISCONSIN" AS PREPARED BY GEOTEST DATED NOVEMBER 1, 2022.
- BASED ON THE GEOTECHNICAL EXPLORATION AND REPORT, RECOMPACTION/PROOF ROLLING TO BE COMPLETED PRIOR TO PLACEMENT OF PAVEMENTS. UNDERCUTTING OR STABILIZATION OF EXISTING SUB-BASE MATERIALS MAY BE REQUIRED.
- WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:  
- CONCRETE: REFER TO SECTION 415.  
- BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 6" THICK PORTLAND CEMENTER CONCRETE OVER COMPACTED 6" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.

### CONCRETE PAVEMENT SECTIONS

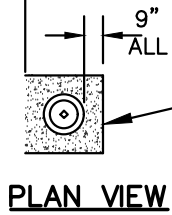
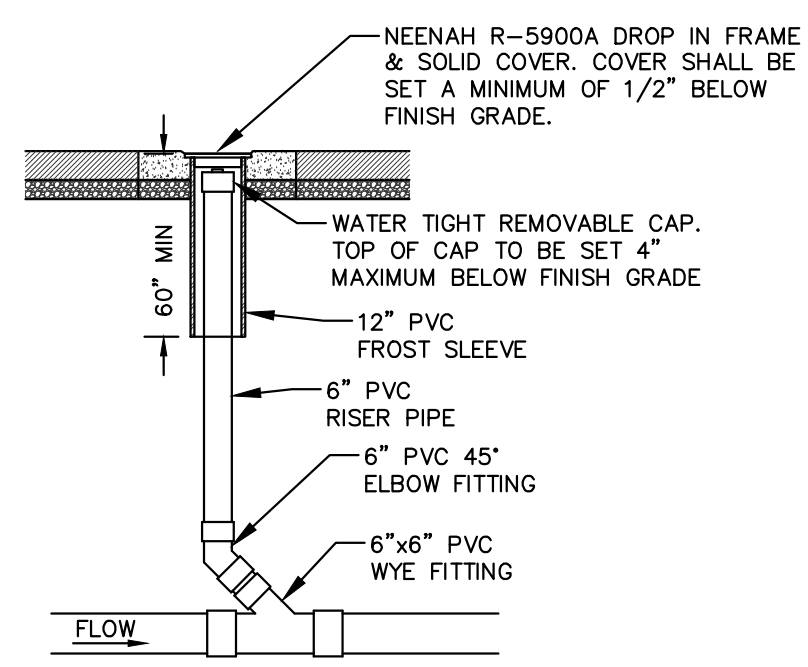
N.T.S.

#### FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
  - CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE.
  - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
  - REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS.
  - REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
  - DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACTOR. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG.



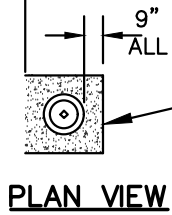
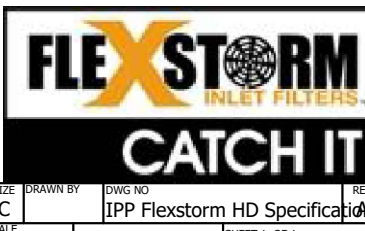
**NOTE:**  
CLEANOUT PIPING AND FITTINGS SHALL MATCH SEWER LATERAL MATERIAL.

### SEWER CLEANOUT

N.T.S.

CATCH-IT INLET FILTER (Temporary Inlet Protection)									
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)	Flow Rating (hybrid Bag)	Bypass	ADS PIN	
3087	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0	5.8	62LCBEXTHB		
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCB3624HB		
3030	Square Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7	2.2	62MSQ2316HB		
3087-C	Square Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LSQ3618HB		
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MRD26HB		
R-172/2560	Round (RD)	22.25 x 23.5	20.5 x 21	1.5	0.6	4.6	62MRD22HB		

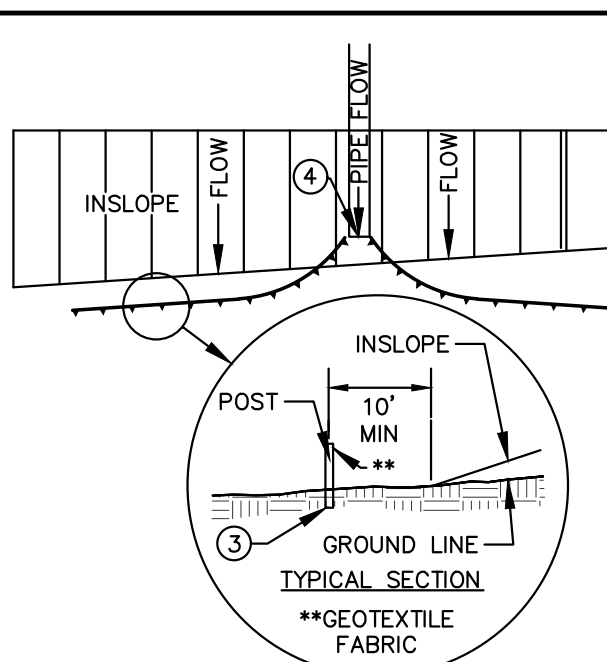
Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)									
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (INNER)						
TENSILE STRENGTH	ASTM D4832	200 x 205 lbs	100 lbs						
ELONGATION	ASTM D4832	20% x 10%	50%						
TEAR RESISTANCE	ASTM D4832	500 lbs	40 lbs						
TEAR RESISTANCE	ASTM D4832	100 x 75 lbs	40 lbs						
UV RESISTANCE	ASTM D4832	90%	70%						
OPENING SIZE (AOS)	ASTM D4832	20 US STD SEIVE	40 US STD SEIVE						
PERMEABILITY	ASTM D4832	1.5 sec <sup>-1</sup>	2.0 sec <sup>-1</sup>						
WATER FLOW RATE	ASTM D4832	300 gpm/ft <sup>2</sup>	345 gpm/ft <sup>2</sup>						
MINIMUM FILTER BAG VOLUME			2 CUBIC FT						



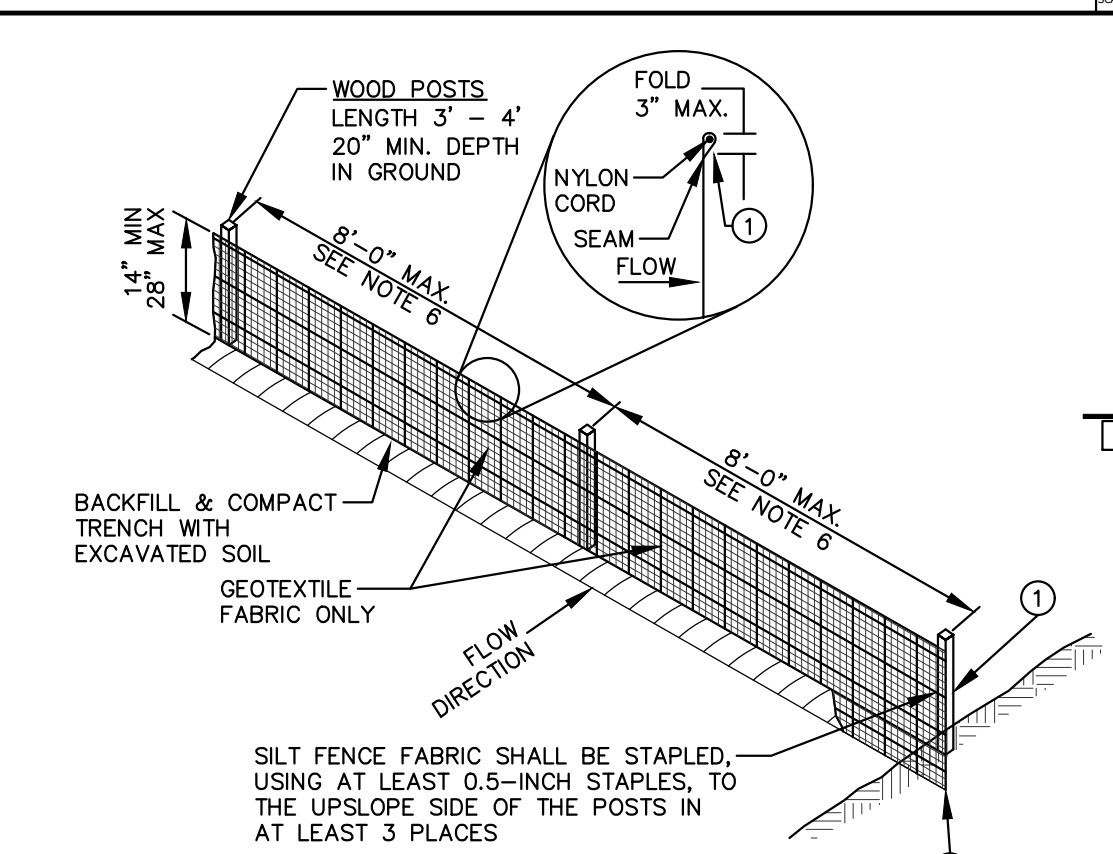
**NOTE:**  
CLEANOUT PIPING AND FITTINGS SHALL MATCH SEWER LATERAL MATERIAL.

### SEWER CLEANOUT

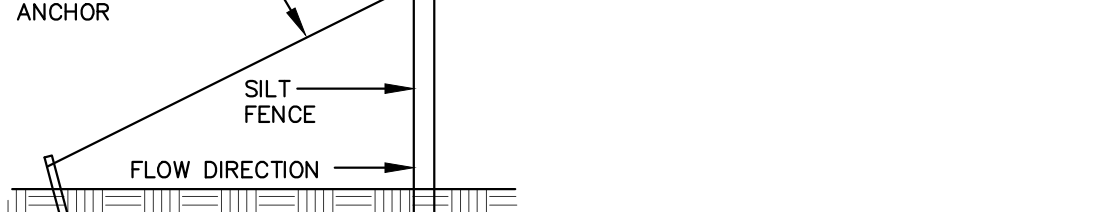
N.T.S.



### SILT FENCE ALONG SLOPES & OUTFALLS



**NOTE:**  
SILT FENCE SHALL BE STAPLED, USING AT LEAST 0.5-INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES.



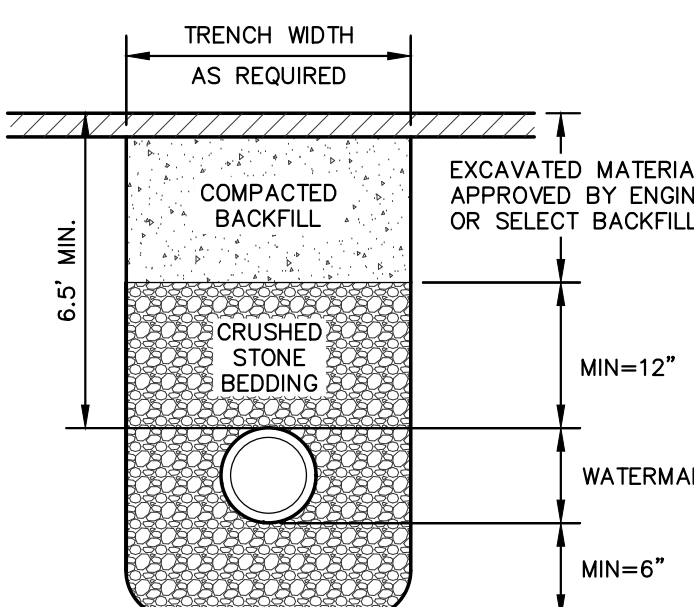
**NOTE:**  
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

### TRENCH DETAIL

### SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)

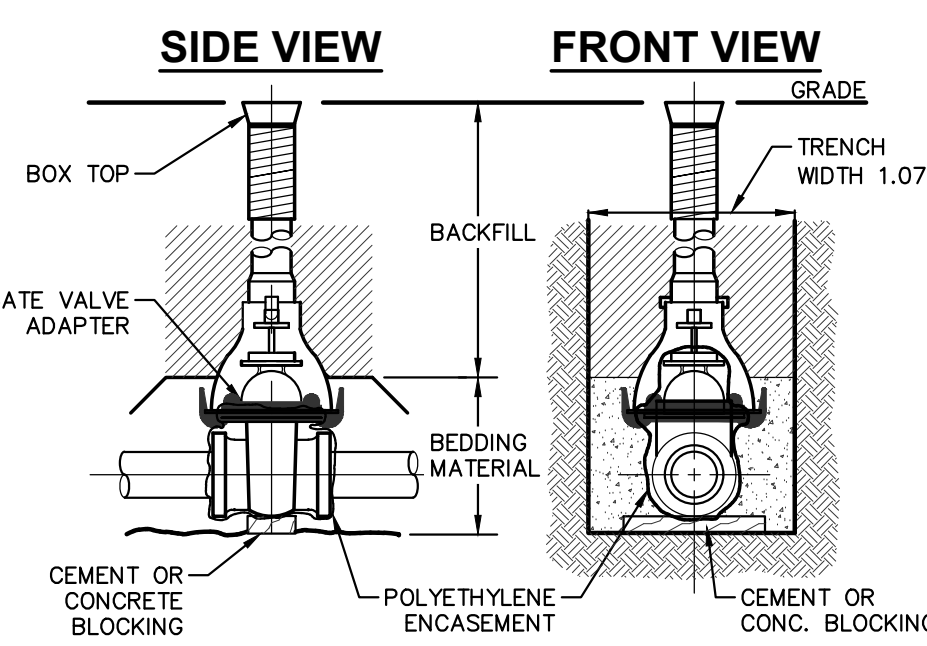
### SILT FENCE

N.T.S.



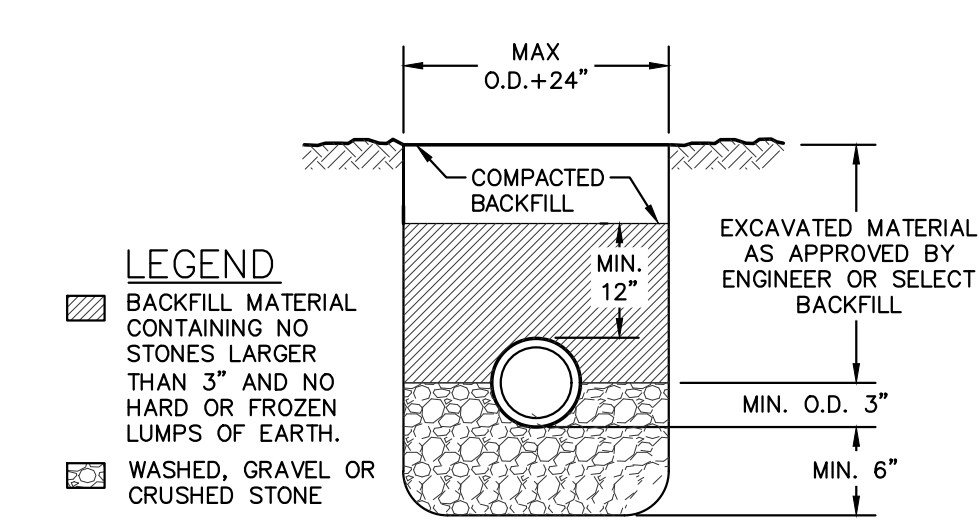
### WATERMAIN BEDDING

N.T.S.



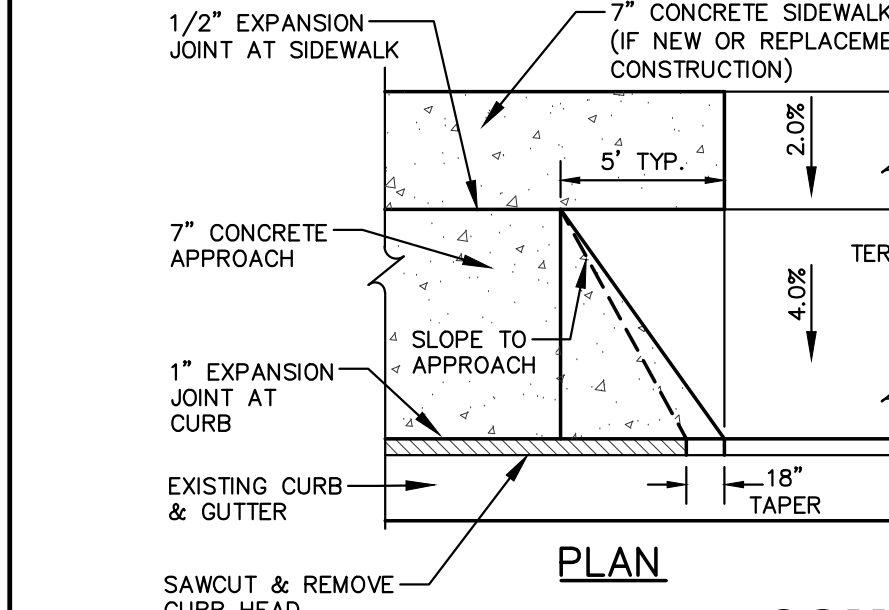
### GATE VALVE BOX SETTING

N.T.S.



### STORM & SANITARY SEWER BEDDING

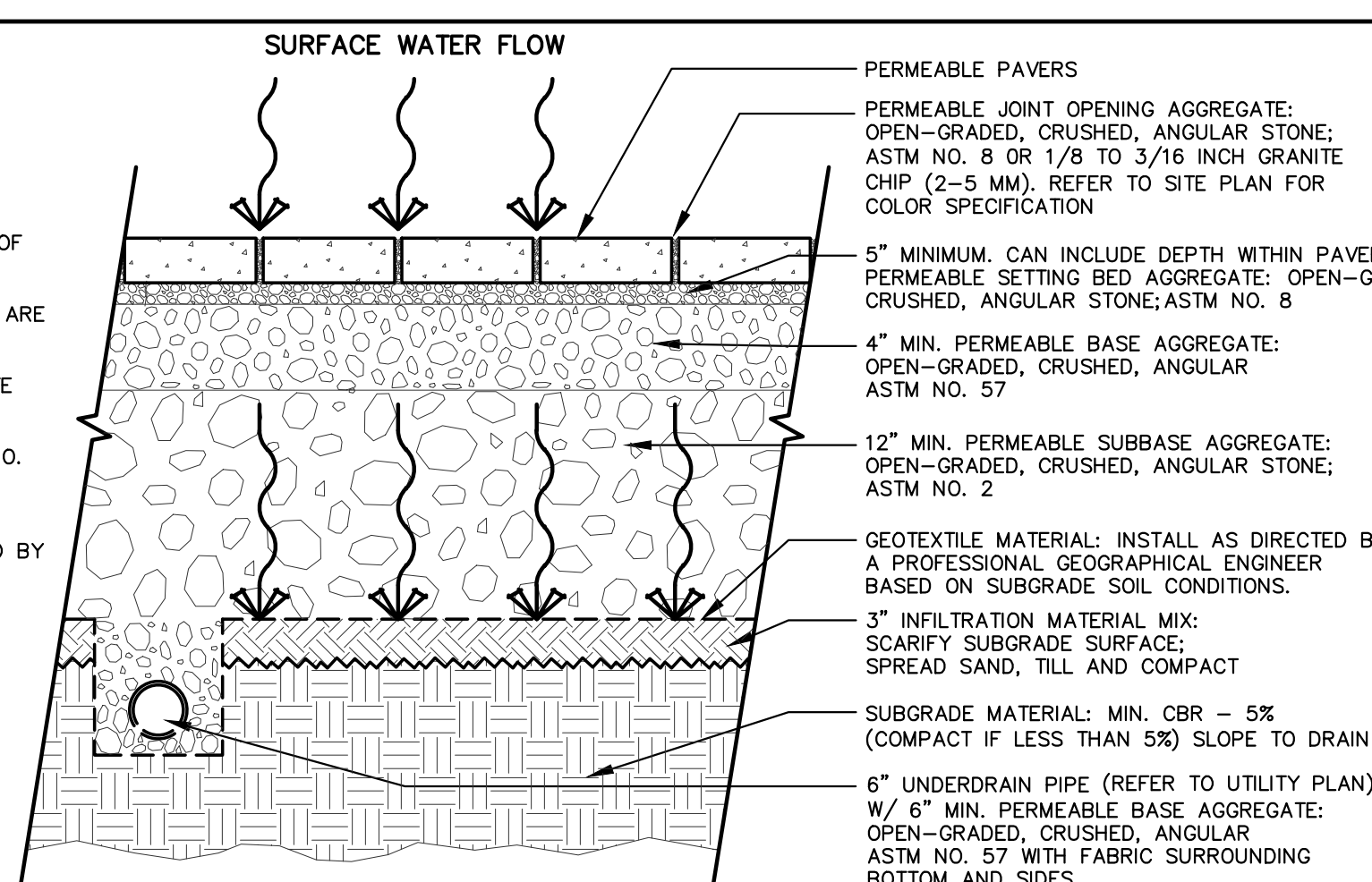
N.T.S.



### COMMERCIAL ENTRANCE

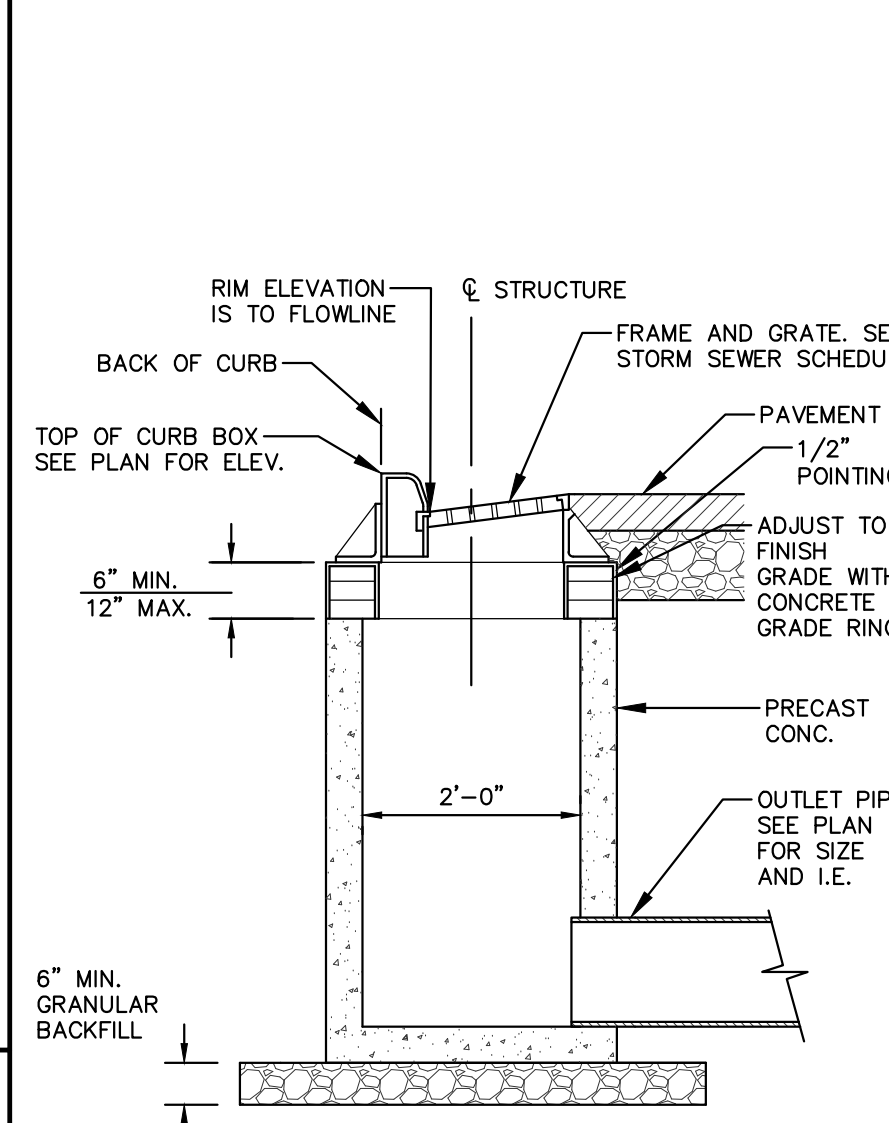
N.T.S.

- NOTES:**
- ALL AGGREGATE MATERIAL SHALL BE CRUSHED, ANGULAR STONE AND FREE OF FINES.
  - SURFACE SLOPE SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%.
  - THE MINIMUM AGGREGATE THICKNESSES ARE AFTER COMPACTION.
  - ONLY USED CRUSHED, ANGULAR GRANITE CHIPS FOR JOINT MATERIAL.
  - REFER TO DNR TECHNICAL STANDARD NO. 1008 FOR MORE DETAIL.
  - PAVER EDGE TO BE TERMINATED WITH STAINLESS STEEL EDGING TO BE APPROVED BY OWNER.



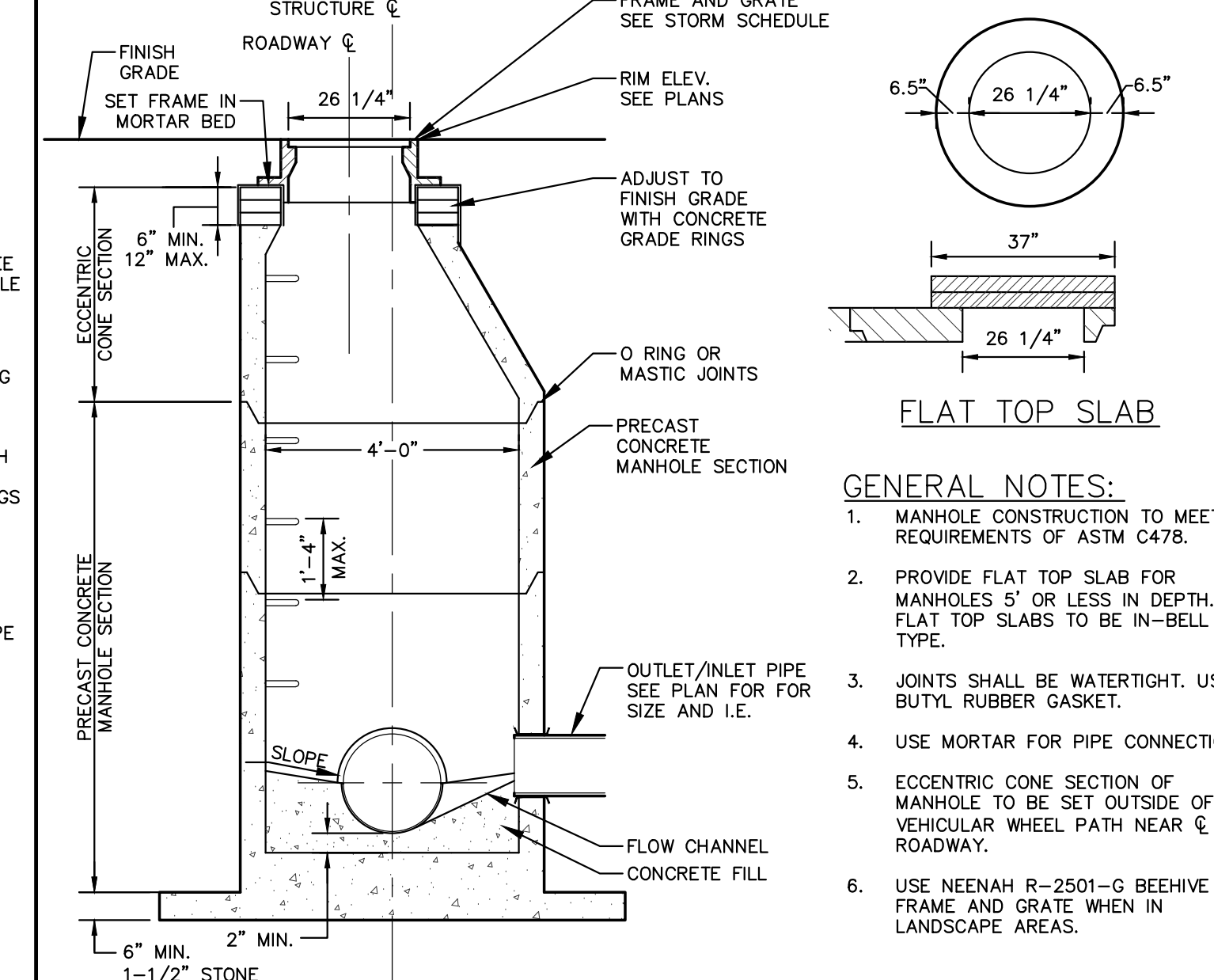
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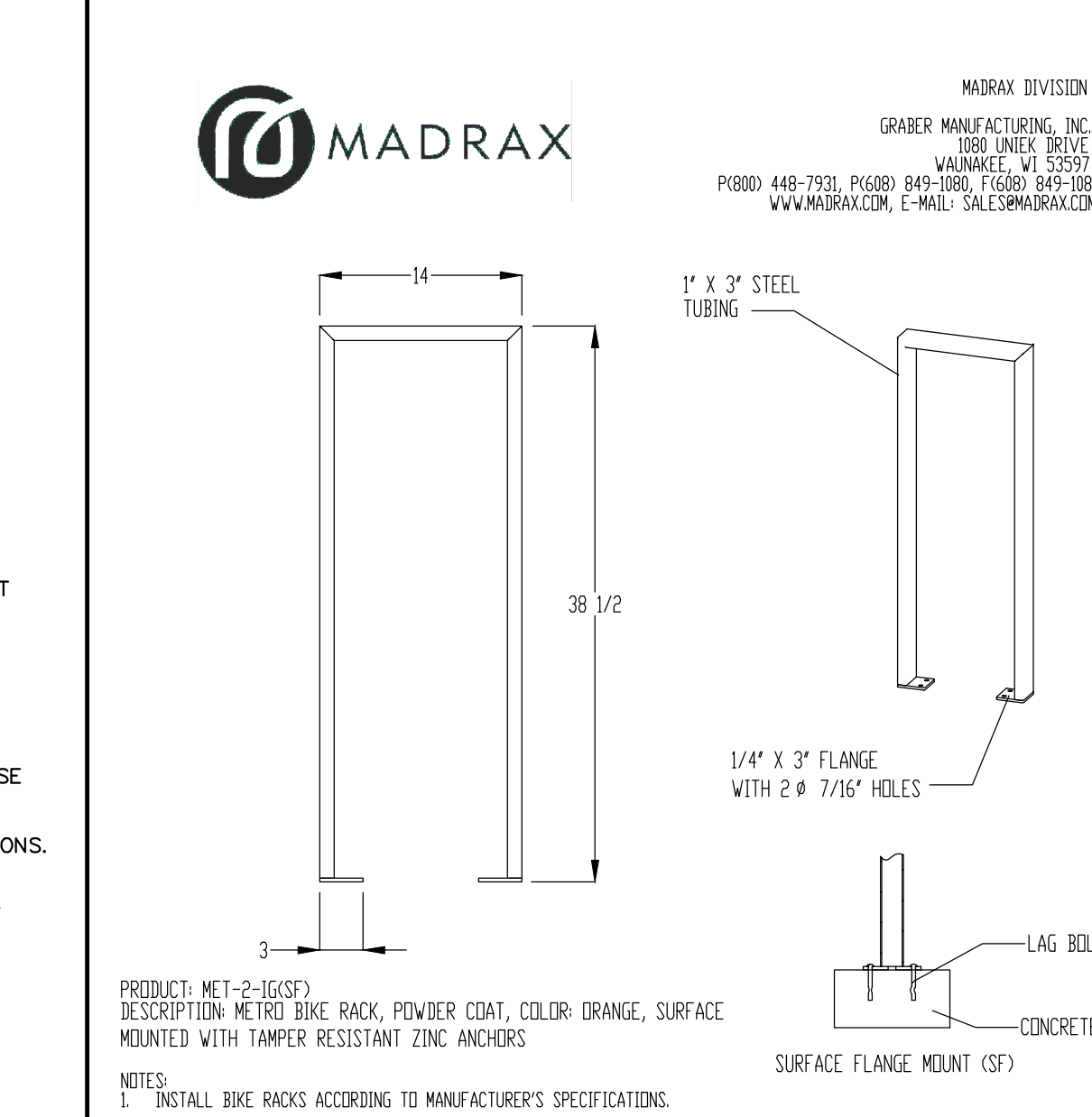
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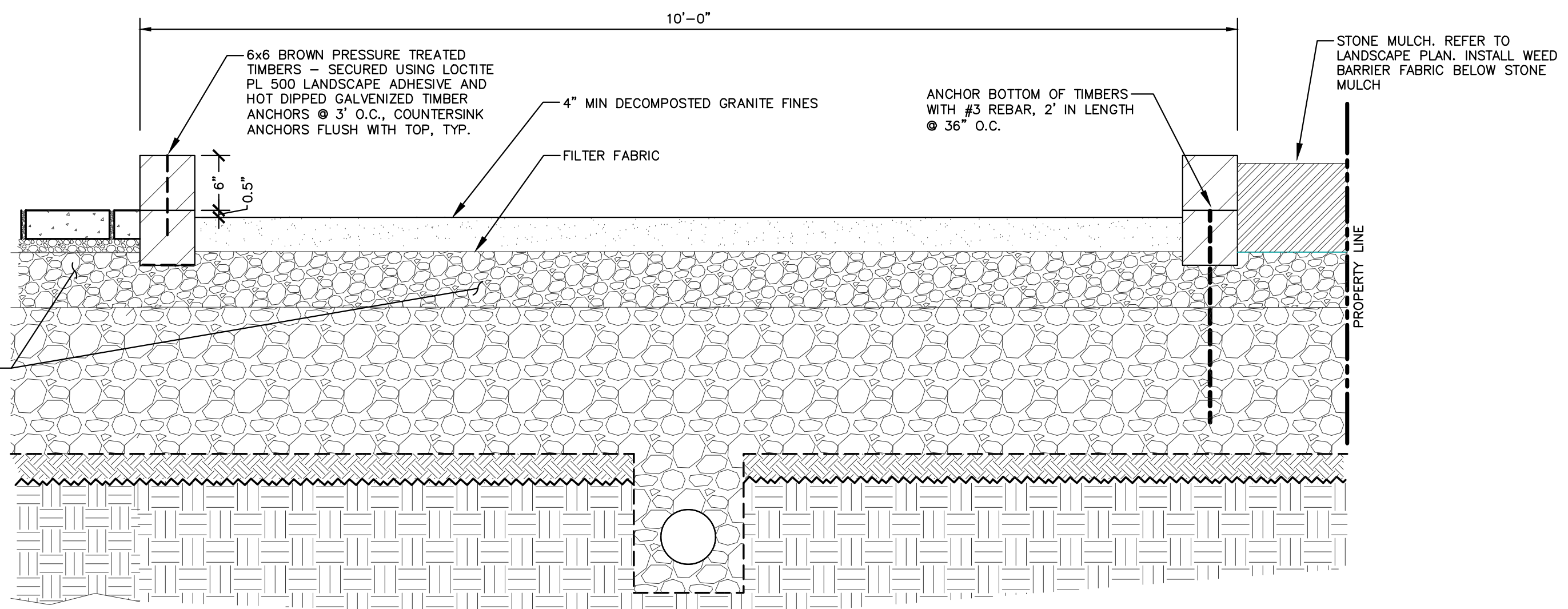
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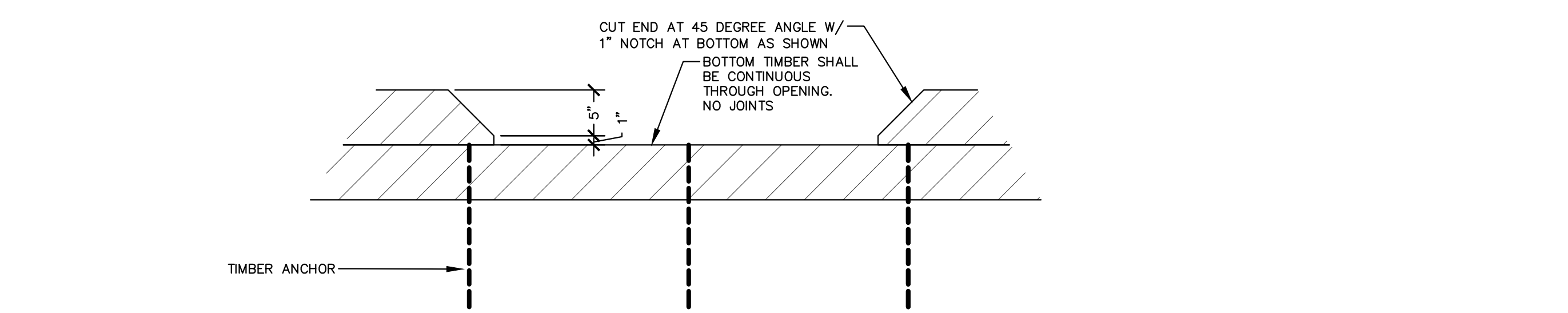
### BIKE RACK

N.T.S.



### BOCCE COURT SECTION VIEW

N.T.S.



### BOCCE COURT ADA OPENING

N.T.S.



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**CLIENT:**  
SEA DESIGN

**CLIENT ADDRESS:**  
N3302 SOUTH OAKLAND ROAD  
TOWN OF OAKLAND, WI 53538

**PROJECT:**  
139 WEST WILSON ST  
REDEVELOPMENT

**PROJECT LOCATION:**  
139 WEST WILSON ST  
MADISON, WI 53703

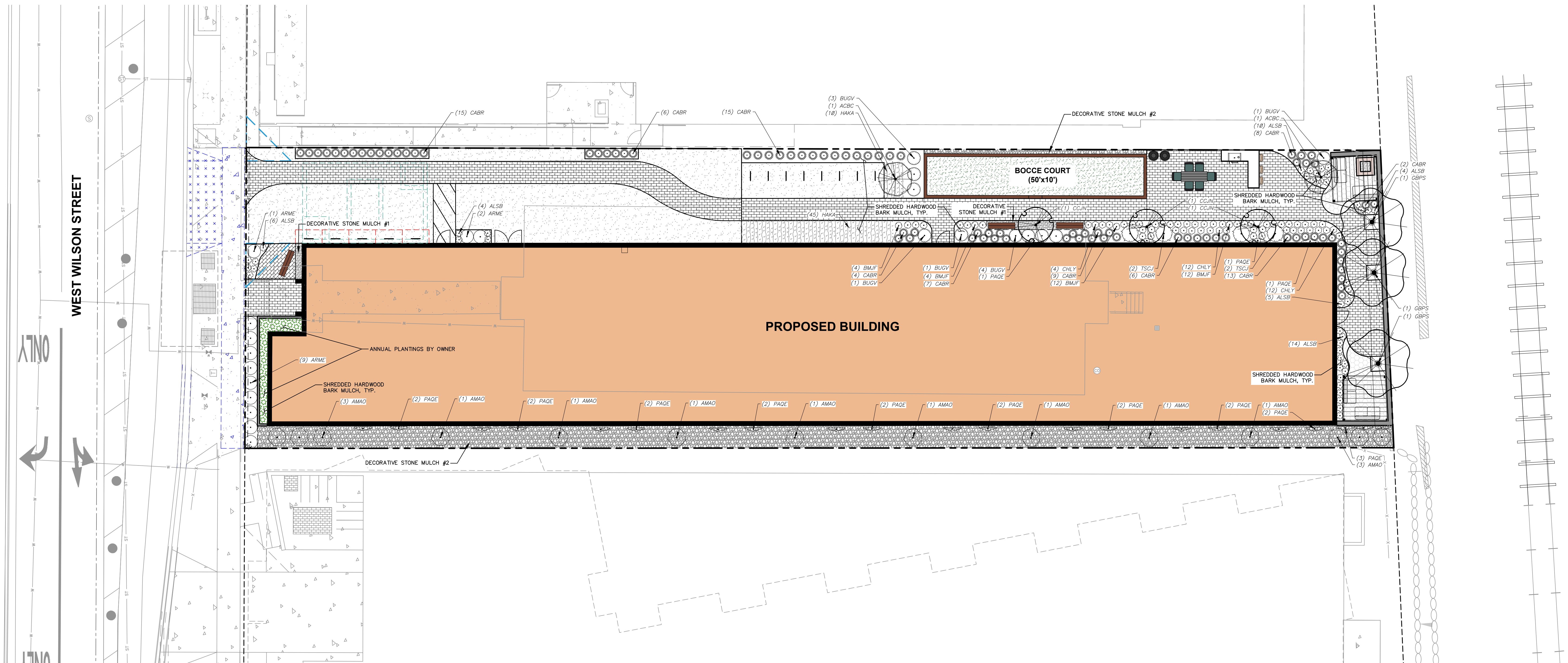
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








Designed By: MAD  
Reviewed By: KJL  
Approved By:  
SHEET TITLE:  
**DETAILS**















SHEET NUMBER:  
**C5.0**



File: JSD\INC\projects\2022\211487\DWG\Landscape Sheets\211487 - Landscape.dwg Layout: L1.0 User: matt.arnall Plotted: Jul 11, 2024, 2:50pm Xref's: 21-11487 139 West Wilson



PLANT SCHEDULE					
DECIDUOUS TREES					
	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ACBC	Acer saccharum 'Barrett Cole' TM Apollo Sugar Maple	B & B	2.5" Cal	2
	CCJN	Corpinus caroliniana 'J.N. Upright' TM Firespire American Hornbeam	B & B	2.5" Cal	3
	GBPS	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	B & B	2.5" Cal	3
DECIDUOUS SHRUBS					
	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMAO	Amelanchier alnifolia 'Obelisk' TM Standing Ovation Serviceberry	B & B	Min. 5' tall	14
	ARME	Aronia melanocarpa 'UCONNAM165' TM Low Scape Mound Chokeberry	#3	Min. 8"-18"	12
EVERGREEN SHRUBS					
	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 12"-24"	10
	TSCJ	Tsuga canadensis 'Jeddalah' Jeddalah Eastern Hemlock	#5	Min. 12"-24"	4
PERENNIALS & GRASSES					
	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALSB	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"-18"	43
	BMJF	Brunnera macrophylla 'Jack Frost' TM Jack Frost Siberian Bugloss	#1	Min. 8"-18"	32
	CABR	Calamagrostis brachytricha Korean Feather Reed Grass	#1	Min. 8"-18"	83
	CHLY	Chelone lyonii 'Armitpp02' TM Tiny Tortuga Pink Turtlehead	#1	Min. 8"-18"	28
	PAQE	Parthenocissus quinquefolia engelmannii Engelmann Virginia Creeper	#1	Min. 24"-36"	25
GROUND COVERS					
	CODE	BOTANICAL / COMMON NAME	SPACING	QTY	
	HAKA	Hakonechloa macra 'Aureola' Golden Variegated Forest Grass	24" o.c.	55	

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	CONCRETE PAVEMENT
	ANNUAL PLANTINGS BY OWNER
	DECORATIVE STONE MULCH
	RETAINING WALL
	TREE UPLIGHTING
	BIKE RACK
	ALUMINUM EDGING

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
  - REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
  - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
  - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.



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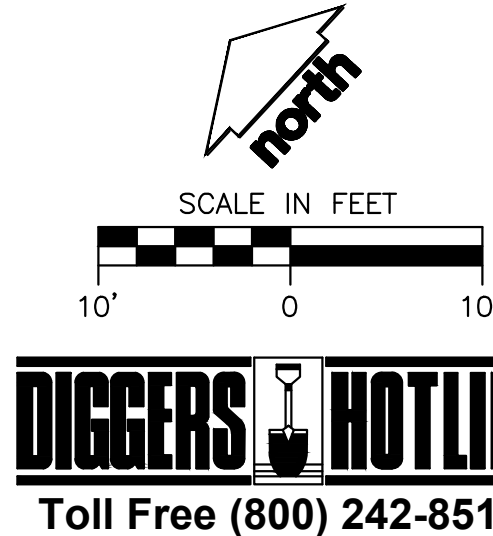
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Approved By:

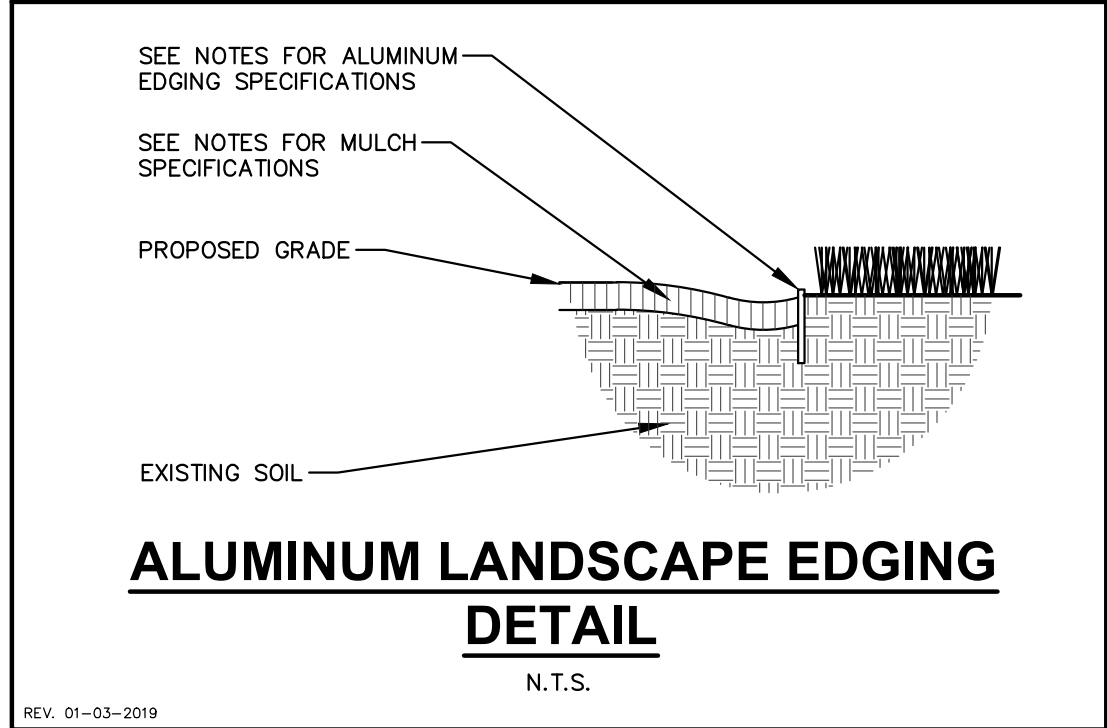
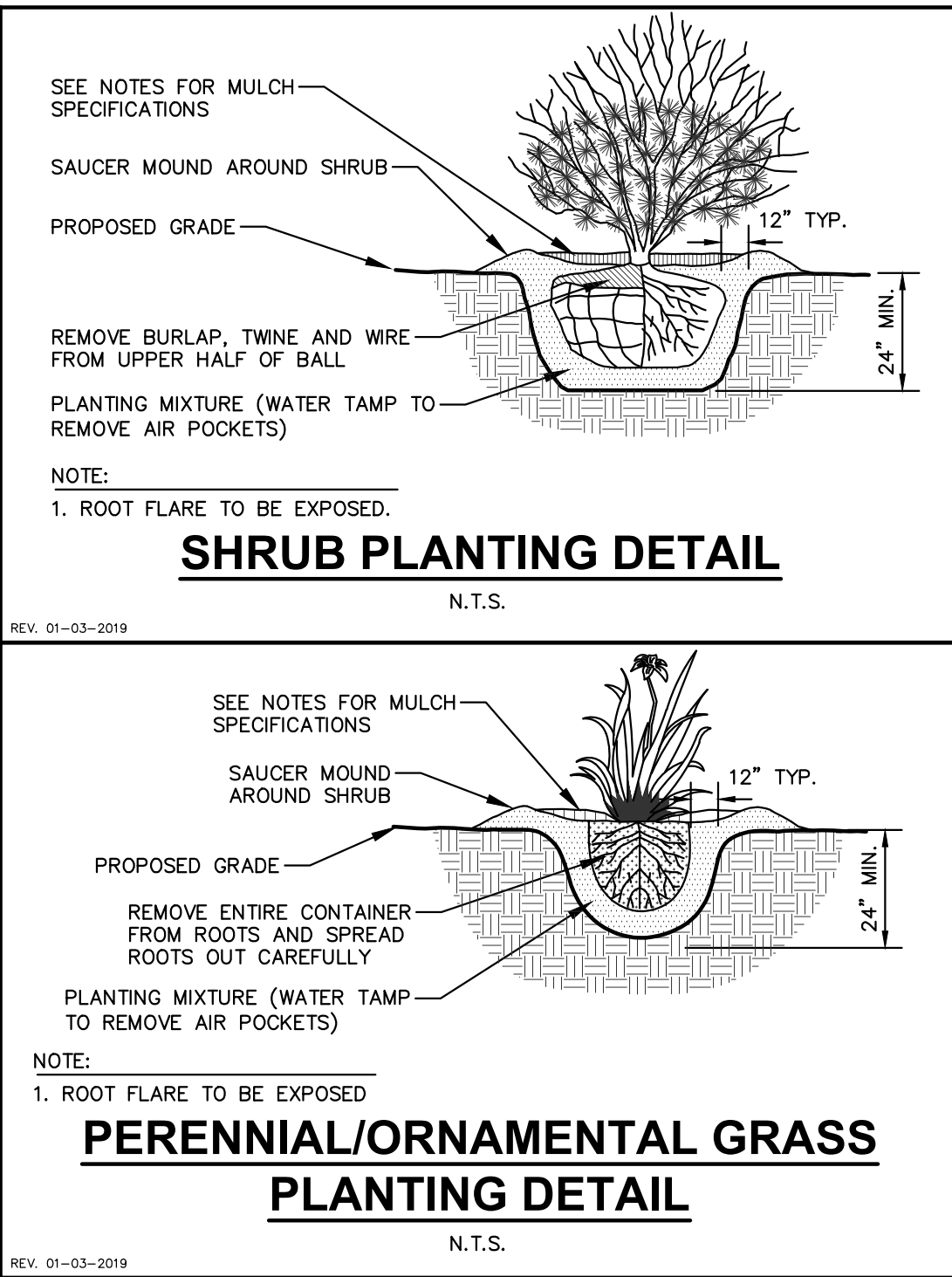
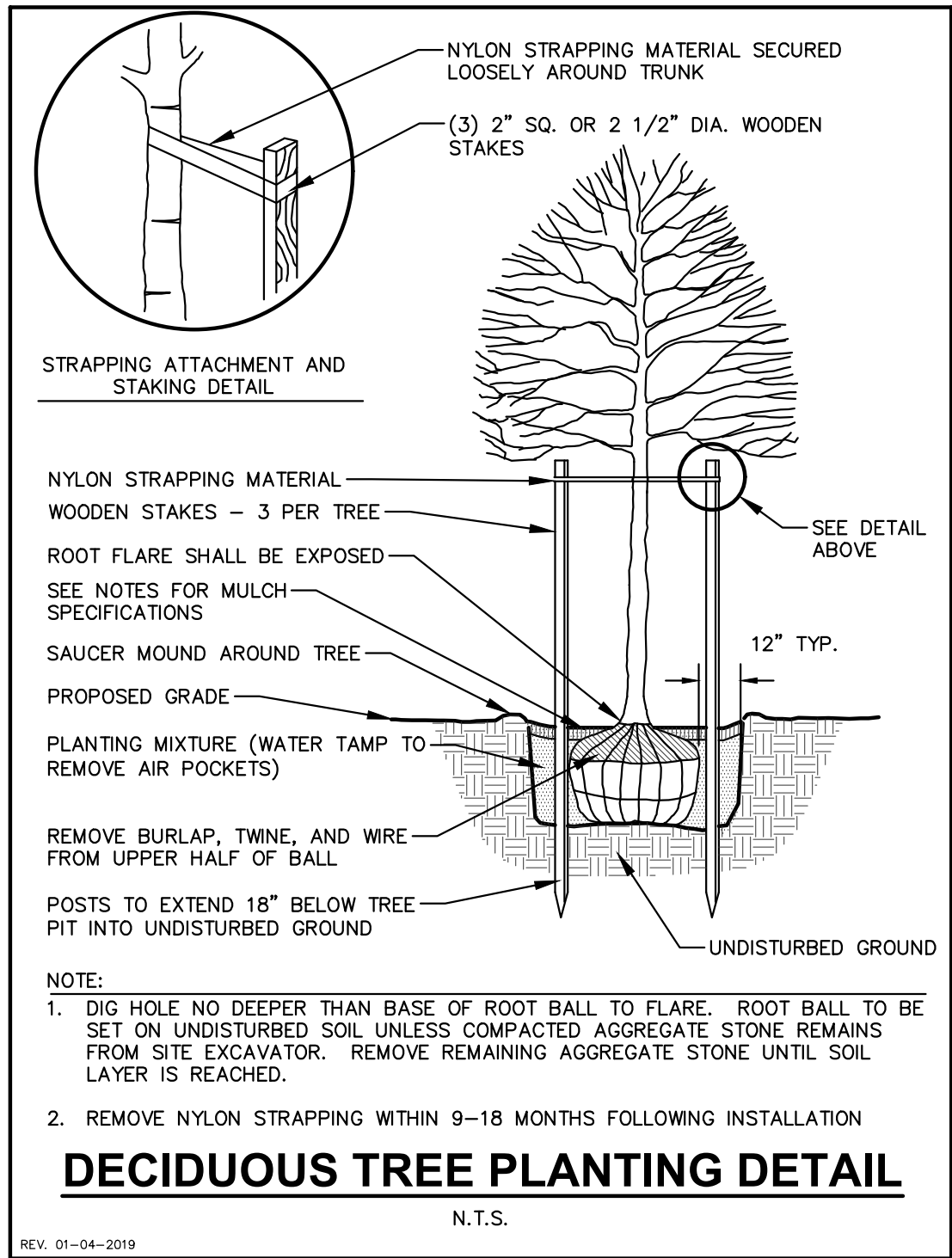
SHEET TITLE:  
LANDSCAPE PLAN

SHEET NUMBER:  
L1.0

JSD PROJECT NO: 22-11487








LANDSCAPE CALCULATIONS AND DISTRIBUTIONS	
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.	
(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.	
Total square footage of developed area:	4,801
Total landscape points required:	16
(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first Five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.	
Total square footage of developed area:	
Five (5) acres =	
First five (5) developed acres =	
Remainder of developed area:	
Total landscape points required	
(C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.	
Total square footage of developed area:	
Total landscape points required:	


TABULATION OF LANDSCAPE CREDITS AND POINTS			CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	0	0	3	105
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5' CAL MIN.	15	0	0	5	75
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	26	78
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	14	56
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	266	532
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL. (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITH PUBLICLY ACCESSIBLE DEVELOPED AREA, CANNOT EXCEED MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL				0		846
TOTAL NUMBER OF POINTS PROVIDED			846			

- GENERAL NOTES**
- GENERAL: ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
  - DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MATERIAL. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINERS OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
  - MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR FROM UPPER HALF OF BALL. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
  - PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BREAKING MUST BE REMOVED. PLANTS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH MAJ ORDELINE'S. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM TISSUE AND REMOVE. SMOOTH AND SHARP WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
  - CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
  - ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

- LANDSCAPE MATERIAL NOTES**
- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
  - MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
  - MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
  - MATERIALS - STONE MULCH #1: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 2" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
  - MATERIALS - STONE MULCH #2: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1.5" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
  - MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
  - MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4". ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

- CONTRACTOR AND OWNER RESPONSIBILITY NOTES**
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
  - CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
  - MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SOODED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
  - MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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Reviewed By: KJY  
Approved By:

SHEET TITLE:  
LANDSCAPE  
DETAILS & NOTES

SHEET NUMBER:  
L2.0

JSD PROJECT NO: 22-11487



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