

THE CENTER FOR BLACK EXCELLENCE AND CULTURE

655 & 711 W BADGER ROAD
MADISON, WISCONSIN 53713



PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

LAND USE & DEMOLITION PERMIT SUBMITTAL

JANUARY 8, 2024



JLA
ARCHITECTS

JLA PROJECT NUMBER: 21-0102

JLA ARCHITECTS PROJECT CODE REVIEW

ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SAFETY

November 28, 2023

TRANSACTION ID#:

21-0102

PROJECT NAME:

The Center for Black Excellence and Culture

PROJECT DESCRIPTION:

Mid-rise, Non-Separated Building (Fully Sprinklered) with Offices, Meeting, and Performance Spaces
3 Story Building

PROJECT LOCATION:

Street: 433 W Bridger Road
City: Madison, WI

CODE:

Code Version: 2021 International Building Code (IBC)
Including Wisconsin Commercial Building Code 2021
ANSI A17.1 (2017)

CONSTRUCTION TYPE:

I-8 - Unprotected, Non-Combustible

DECKING BUILDING ELEVATION

FLOOR	MAIN OCCUPANCY	BUILDING AREA #1	RATIO	TOTALS
Upper Level	8	11,133	1.325	12,728
Lower Level	8	10,200	1.275	11,200
TOTAL	16	21,333	1.300	23,928

BUILDING AREA (DESIGN)

Per IBC Definition (202) AREA, BUILDING: Inner Side of Exterior Walls & Exterior Spaces (Under Roof)

BUILDING AREA (CODE REVIEW)

Area Limitations: (Table 504.2) I-8
Occupancy = A-1
Area Limit per Floor Area Allowable
Area Determination below:
Increase Factor: See Building
Footprint Calculations
*MAX IS ALLOWABLE PER TABLE 504.2, PLUS FOOTPRINT INCREASE

ABOVE GRADE BUILDING FOOTPRINT AREA INCREASE

BUILDING AREA CALCULATIONS	Check One Box Only
As Shown: 21,333	1
As Shown: 21,333	2
As Shown: 21,333	3
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As Shown: 21,333	100

HEIGHT LIMITATION:

per IBC 504, Table 504.3
per IBC 504.4, Table 504.4

DESIGN HEIGHT:

(3) Stories: 53'-10" I-8 Construction above grade (to main roof)
(3) Stories: 53'-10" I-8 Construction above grade (to main roof)

OCCUPANCY & FIRE PROTECTION SYSTEMS:

Notes:
1. Complete the Alarm System is required on all floors
2. Provide fire extinguishers per NFPA 10

FIRE SEPARATIONS:

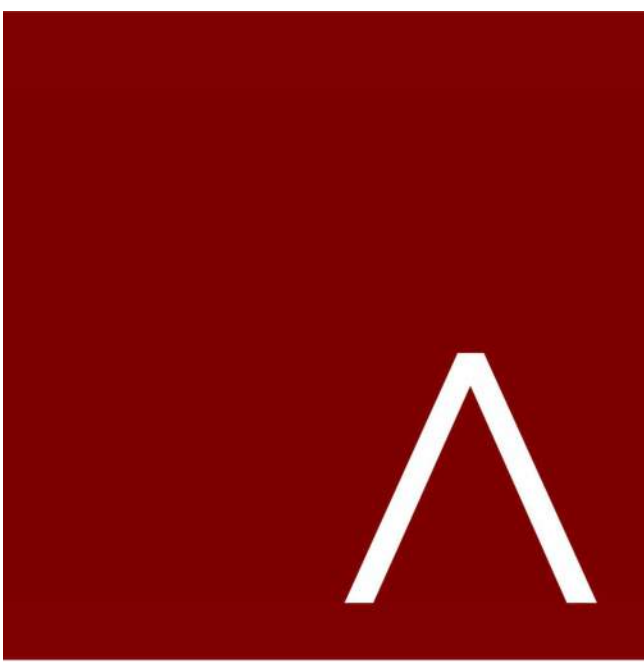
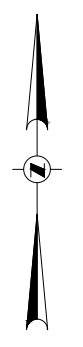
Fire Area Separation: N/A
Exit Access Corridor: Non-Rated
Vertical Exit Enclosures: I-8, 2-Hour Rated Enclosures per IBC 1023.2
Occupancy Separation: Non-Separated Mixed-Use Building - no occupancy separation
See Life Safety Plans
In-Floor Draftstopping: Floor/Ceiling Space Separation required above all Unit Separation Partitions (per 718.3.1, 718.3.2)
Allowable Wall Openings: Fire Separation: Unprotected Openings, Protected Openings
per IBC 702.8
5'-0" 10% 25% 40%
10'-0" 15% 25% 40%
20'-0" 20% 25% 40%
25'-0" 20% 25% 40%
30'-0" 20% 25% 40%
35'-0" 20% 25% 40%
40'-0" 20% 25% 40%
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50'-0" 20% 25% 40%
55'-0" 20% 25% 40%
60'-0" 20% 25% 40%
65'-0" 20% 25% 40%
70'-0" 20% 25% 40%
75'-0" 20% 25% 40%
80'-0" 20% 25% 40%
85'-0" 20% 25% 40%
90'-0" 20% 25% 40%
95'-0" 20% 25% 40%
100'-0" 20% 25% 40%

2021 IBC ENVIRONMENTAL COMPLIANCE:

See attached COWcheck Report Sheet

OPEN STAIR REQUIREMENTS:

The open stairs in the project both comply with Section 10.10, exit stairways and ramps.
The open stairs in the Main Level Entry Corridor, to be used for egress from the Upper Level, comply with the requirements of 712.1.1.2, Section 10.1.2 through 10.1.3, 10.1.3.1, 10.1.3.2, 10.1.3.3, 10.1.3.4, 10.1.3.5, 10.1.3.6, 10.1.3.7, 10.1.3.8, 10.1.3.9, 10.1.3.10, 10.1.3.11, 10.1.3.12, 10.1.3.13, 10.1.3.14, 10.1.3.15, 10.1.3.16, 10.1.3.17, 10.1.3.18, 10.1.3.19, 10.1.3.20, 10.1.3.21, 10.1.3.22, 10.1.3.23, 10.1.3.24, 10.1.3.25, 10.1.3.26, 10.1.3.27, 10.1.3.28, 10.1.3.29, 10.1.3.30, 10.1.3.31, 10.1.3.32, 10.1.3.33, 10.1.3.34, 10.1.3.35, 10.1.3.36, 10.1.3.37, 10.1.3.38, 10.1.3.39, 10.1.3.40, 10.1.3.41, 10.1.3.42, 10.1.3.43, 10.1.3.44, 10.1.3.45, 10.1.3.46, 10.1.3.47, 10.1.3.48, 10.1.3.49, 10.1.3.50, 10.1.3.51, 10.1.3.52, 10.1.3.53, 10.1.3.54, 10.1.3.55, 10.1.3.56, 10.1.3.57, 10.1.3.58, 10.1.3.59, 10.1.3.60, 10.1.3.61, 10.1.3.62, 10.1.3.63, 10.1.3.64, 10.1.3.65, 10.1.3.66, 10.1.3.67, 10.1.3.68, 10.1.3.69, 10.1.3.70, 10.1.3.71, 10.1.3.72, 10.1.3.73, 10.1.3.74, 10.1.3.75, 10.1.3.76, 10.1.3.77, 10.1.3.78, 10.1.3.79, 10.1.3.80, 10.1.3.81, 10.1.3.82, 10.1.3.83, 10.1.3.84, 10.1.3.85, 10.1.3.86, 10.1.3.87, 10.1.3.88, 10.1.3.89, 10.1.3.90, 10.1.3.91, 10.1.3.92, 10.1.3.93, 10.1.3.94, 10.1.3.95, 10.1.3.96, 10.1.3.97, 10.1.3.98, 10.1.3.99, 10.1.3.100, 10.1.3.101, 10.1.3.102, 10.1.3.103, 10.1.3.104, 10.1.3.105, 10.1.3.106, 10.1.3.107, 10.1.3.108, 10.1.3.109, 10.1.3.110, 10.1.3.111, 10.1.3.112, 10.1.3.113, 10.1.3.114, 10.1.3.115, 10.1.3.116, 10.1.3.117, 10.1.3.118, 10.1.3.119, 10.1.3.120, 10.1.3.121, 10.1.3.122, 10.1.3.123, 10.1.3.124, 10.1.3.125, 10.1.3.126, 10.1.3.127, 10.1.3.128, 10.1.3.129, 10.1.3.130, 10.1.3.131, 10.1.3.132, 10.1.3.133, 10.1.3.134, 10.1.3.135, 10.1.3.136, 10.1.3.137, 10.1.3.138, 10.1.3.139, 10.1.3.140, 10.1.3.141, 10.1.3.142, 10.1.3.143, 10.1.3.144, 10.1.3.145, 10.1.3.146, 10.1.3.147, 10.1.3.148, 10.1.3.149, 10.1.3.150, 10.1.3.151, 10.1.3.152, 10.1.3.153, 10.1.3.154, 10.1.3.155, 10.1.3.156, 10.1.3.157, 10.1.3.158, 10.1.3.159, 10.1.3.160, 10.1.3.161, 10.1.3.162, 10.1.3.163, 10.1.3.164, 10.1.3.165, 10.1.3.166, 10.1.3.167, 10.1.3.168, 10.1.3.169, 10.1.3.170, 10.1.3.171, 10.1.3.172, 10.1.3.173, 10.1.3.174, 10.1.3.175, 10.1.3.176, 10.1.3.177, 10.1.3.178, 10.1.3.179, 10.1.3.180, 10.1.3.181, 10.1.3.182, 10.1.3.183, 10.1.3.184, 10.1.3.185, 10.1.3.186, 10.1.3.187, 10.1.3.188, 10.1.3.189, 10.1.3.190, 10.1.3.191, 10.1.3.192, 10.1.3.193, 10.1.3.194, 10.1.3.195, 10.1.3.196, 10.1.3.197, 10.1.3.198, 10.1.3.199, 10.1.3.200, 10.1.3.201, 10.1.3.202, 10.1.3.203, 10.1.3.204, 10.1.3.205, 10.1.3.206, 10.1.3.207, 10.1.3.208, 10.1.3.209, 10.1.3.210, 10.1.3.211, 10.1.3.212, 10.1.3.213, 10.1.3.214, 10.1.3.215, 10.1.3.216, 10.1.3.217, 10.1.3.218, 10.1.3.219, 10.1.3.220, 10.1.3.221, 10.1.3.222, 10.1.3.223, 10.1.3.224, 10.1.3.225, 10.1.3.226, 10.1.3.227, 10.1.3.228, 10.1.3.229, 10.1.3.230, 10.1.3.231, 10.1.3.232, 10.1.3.233, 10.1.3.234, 10.1.3.235, 10.1.3.236, 10.1.3.237, 10.1.3.238, 10.1.3.239, 10.1.3.240, 10.1.3.241, 10.1.3.242, 10.1.3.243, 10.1.3.244, 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JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

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THE CENTER FOR BLACK EXCELLENCE AND CULTURE

LAND USE & DEMOLITION PERMIT
SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

REVISION SCHEDULE		
Mark	Description	Date

EXISTING
CONDITIONS

SHEET NUMBER

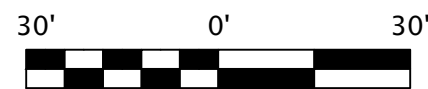
C100

Existing Conditions Survey

LEGEND

- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
- IRON PIPE FOUND (1" Outside Diam. unless noted)

() INDICATES RECORDED AS
DISTANCES ARE MEASURED TO THE
NEAREST HUNDREDTH OF A FOOT.



Legal Description of Lands Surveyed

Document No. 4912801

PARCEL I: Parcel One (1) of Certified Survey Map No. 121, recorded in the Office of the Register of -- Deeds for Dane County, Wisconsin, in Volume 1 of Certified Survey Maps, Pages 121 and 121A, as Document No. 1081036, located in the City of Madison, Dane County, Wisconsin.

PARCEL II: Part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Township 7 North, Range 9 East, in the City of Madison, Dane County, Wisconsin, more fully described as follows: Beginning at the Northeast corner of Certified Survey Map No. 121, thence Easterly along the North line of said Northwest 1/4 of the Southeast 1/4, 187.50 feet, more or less, to the Northwestern corner of lands conveyed to the South Shore of Methodist Church in Volume 669 of Deeds, Page 292, as Document No. 073363; thence South along the West line of said church property, 183.0 feet; thence West parallel with North line of said Northwest 1/4 of the Southeast 1/4 to the Southeast corner of Parcel 1 of Certified Survey Map No. 121; thence North along the East line of Certified Survey Map No. 121, 183.0 feet to the point of beginning.

Document No. 3278972

Part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Township 7 North, Range 9 East, in the Town of Madison, Dane County, Wisconsin, more fully described as follows: Beginning at a point on the North line of the Southeast 1/4 of said section 35, distant 863.05 feet East of the Northwest corner of said quarter section, said point being the Northeast Corner of lands sold to Robert W. Clayton as set forth in Volume 582 of Deeds, page 149; thence East along the North line of said quarter Section 550.5 feet to the West right-of-way line of the Chicago & Northwestern Railroad, thence South 00° 44' East along said right-of-way line 240.0 feet to the Northwestern right-of-way line of USH 12 & 18; thence south 69° 12' west along said highway right-of-way line 622.0 feet to the Easterly line of lands sold to Dane County as set forth in Volume 249 of Miscellaneous, page 413, thence North 20° 48' West along the Easterly line of said lands, 307 feet to the Northeast corner thereof, said point being 183 feet South from the North line of the Southeast 1/4 of said Section 35, thence East 138.1 feet to the Southeast corner of lands conveyed to Robert W. Clayton as heretofore mentioned; thence North along the East line of said Robert Clayton lands 183 feet to the point of beginning EXCEPT that part conveyed to the State of Wisconsin by Warrant Deed recorded on June 28, 1961, in Volume 718 of Deeds, page 965, as Document No. 1027808, AND FURTHER EXCEPT that part conveyed to the State of Wisconsin in instrument recorded on December 20, 1989, in volume 13672 of Records, page 74, as document No. 2177415.

Fee title for the owners interest in land contained within the following described tract in the NW 1/4 of the SE 1/4 of Section 35, T7N, R9E, in the Town of Madison, Dane County, Wisconsin:

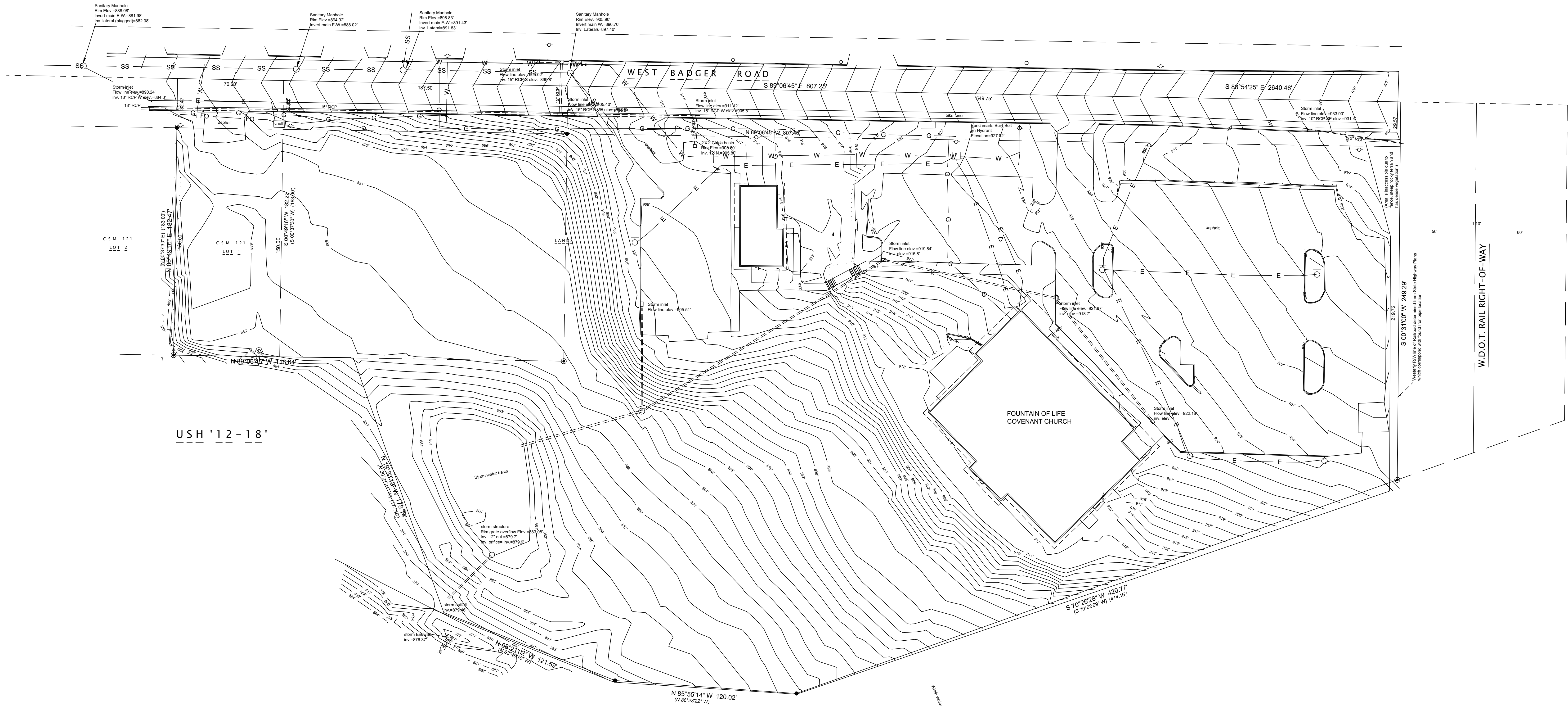
Beginning at a concrete monument at the center of said Section 35; Thence S 0°52'50", 37.45 feet along the north-south quarter line of said Section 35 to the point of beginning;
Thence N 89°07'10" E, 161.33 feet to the existing northeast right of way line of the USH 12&18/Park Street interchange;
Thence S 29°48'29" E, 174.09 feet along said existing northeast right of way line;
Thence continuing along said existing northeast right-of-way line S 89°19'23" E, 275.20 feet;
Thence continuing along said existing northeast right-of-way line S 20°01'21" E, 177.40 feet;
Thence S 89°49'17" E, 121.55 feet;
Thence S 86°23'22" E, 120.02 feet to the existing north right of way line of USH 12 & 18;
Thence N 70°02'09" E, 414.16 feet along said existing north right-of-way line to the existing west right-of-way of the Chicago & North Western Transportation Company;
Thence S 0°09'59" W, 340.81 feet along said existing west right-of-way line to the existing south right-of-way line of USH 12 & 18;
Thence S 70°02'09" W, 296.90 feet along said existing south right of way line;
Thence S 55°06'16" W, 124.19 feet; Thence S 36°45'20" W, 136.68 feet; Thence S 89°07'10" W, 729.36 feet to the north-south quarter line of said Section 35;
Thence N 0°52'50" W, 862.71 feet along said north-south quarter line to the point of beginning.

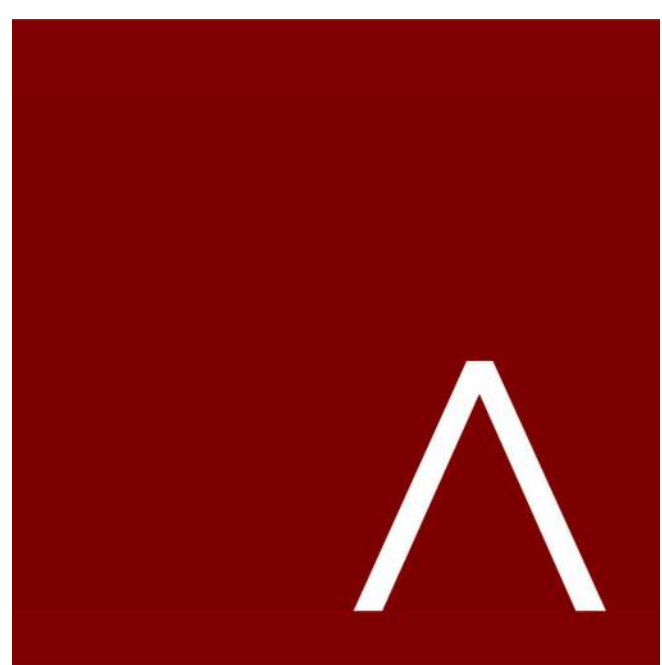
Said parcel contains 0.17 of an acres of land.

SURVEYOR'S CERTIFICATE

I, Paul A. Spetz, registered land surveyor for Isthmus Surveying LLC, hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, visible improvement, potential encroachments and it's exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-17) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

Dated this Day of , 2016: Paul A. Spetz, S 2525





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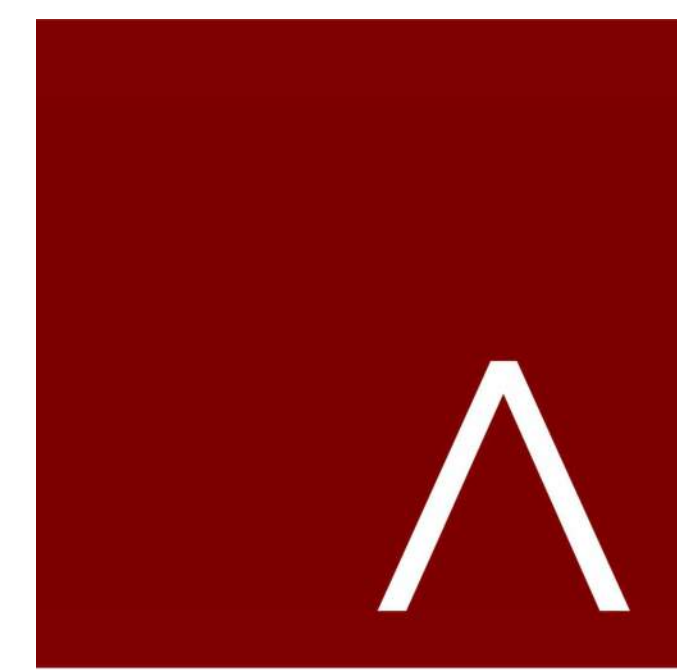
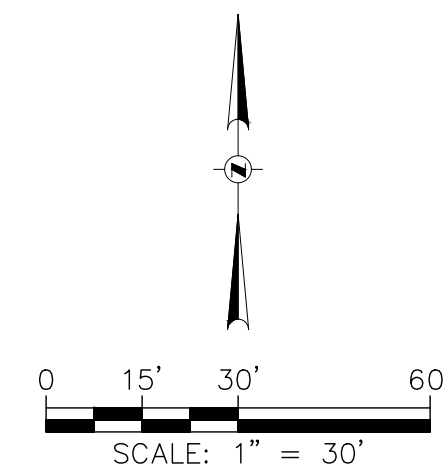
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REVISION SCHEDULE		
Mark	Description	Date

DEMO & EROSION CONTROL

C200





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PROGRESS DOCUMENTS

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DATE OF ISSUANCE JANUARY 08, 2024

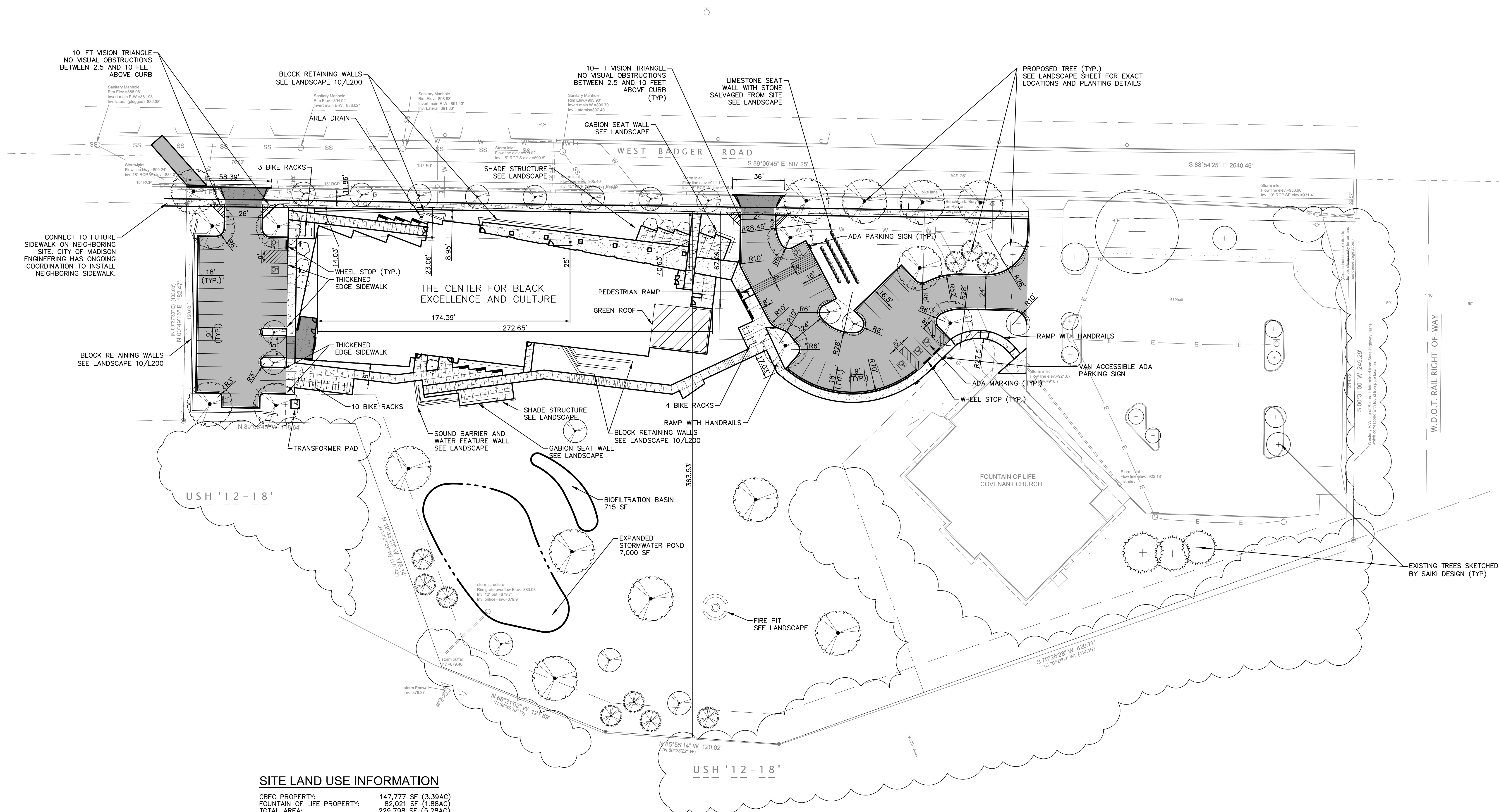
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE LAYOUT PLAN

SHEET NUMBER

C300



SITE LAND USE INFORMATION

CBEC PROPERTY: 147,777 SF (3.39AC)
FOUNTAIN OF LIFE PROPERTY: 82,021 SF (1.88AC)
TOTAL AREA: 229,798 SF (5.28AC)

CBEC SITE DATA:
BUILDING AREA: 20,918 SF (0.48AC)
ROOF AREA: 23,334 SF (0.54AC)
GREEN AREA: 92,342 SF (2.12AC)

SET BACKS:
TOD STREET FACING FAÇAD: 30% NO MORE THAN 20FT
REAR YARD: 20-FT
SIDE YARD: 5-FT

TOTAL NUMBER OF STALLS: 33
ACCESSIBLE SURFACE STALLS: 6

TOTAL NUMBER OF BIKE PARKING STALLS:

EXISTING CBEC PROPERTY IMPERVIOUS SURFACE AREA: 47,336 SF (1.087 AC)

NEW CBEC PROPERTY IMPERVIOUS SURFACE AREA: 55,435 SF (1.27 AC)
ROOF TOP IMPERVIOUS: 23,334 SF (0.54 AC)
PAVED AREA: 28,167 SF (0.65 AC)

LEGEND

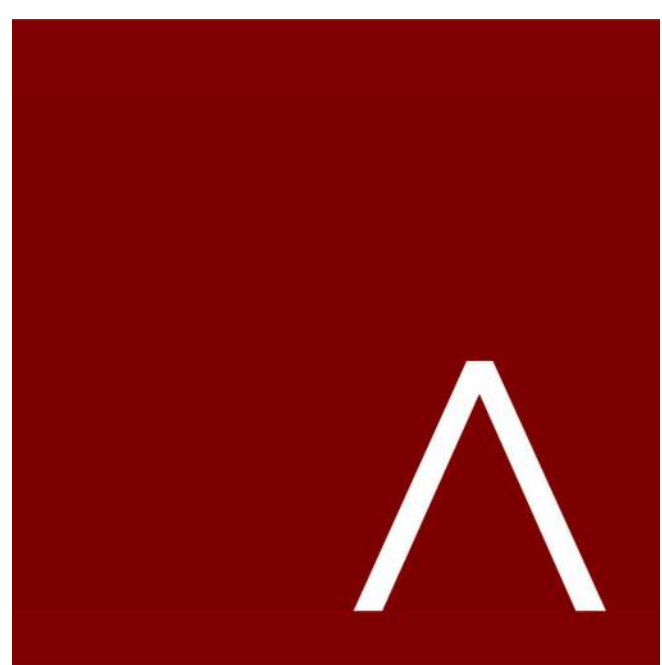
	—PROPOSED ASPHALT PAVEMENT
	—PROPOSED CONCRETE SIDEWALK
	—PROPOSED CONCRETE PAVEMENT
	—PROPOSED VERTICAL CURB

GENERAL NOTES

1. SEE C900 FOR GENERAL NOTES..

LAYOUT NOTES

1. SEE C900 FOR SITE LAYOUT NOTES.



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PROGRESS DOCUMENTS

DATE OF ISSUANCE JANUARY 08, 2024

SHEET TITLE

SHEET NUMBER

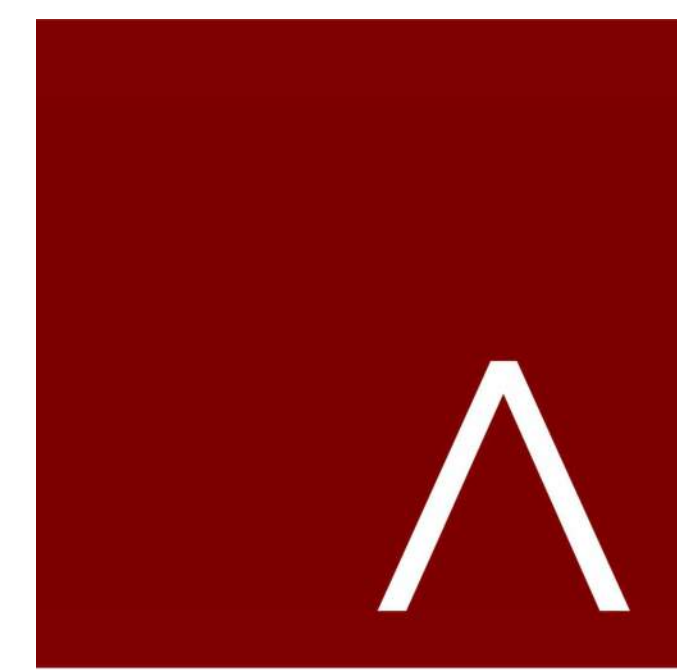
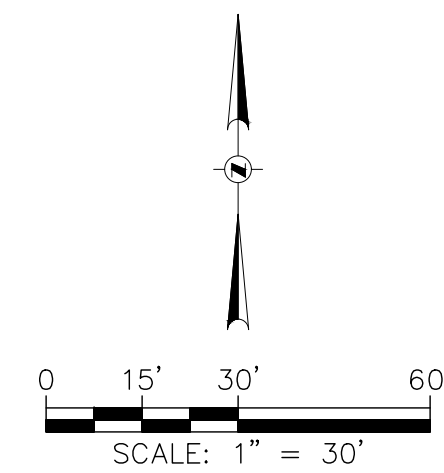
C400



- ### GENERAL NOTES

1. SEE C900 FOR GENERAL NOTES..

1. SEE C900 FOR GRADING NOTES.



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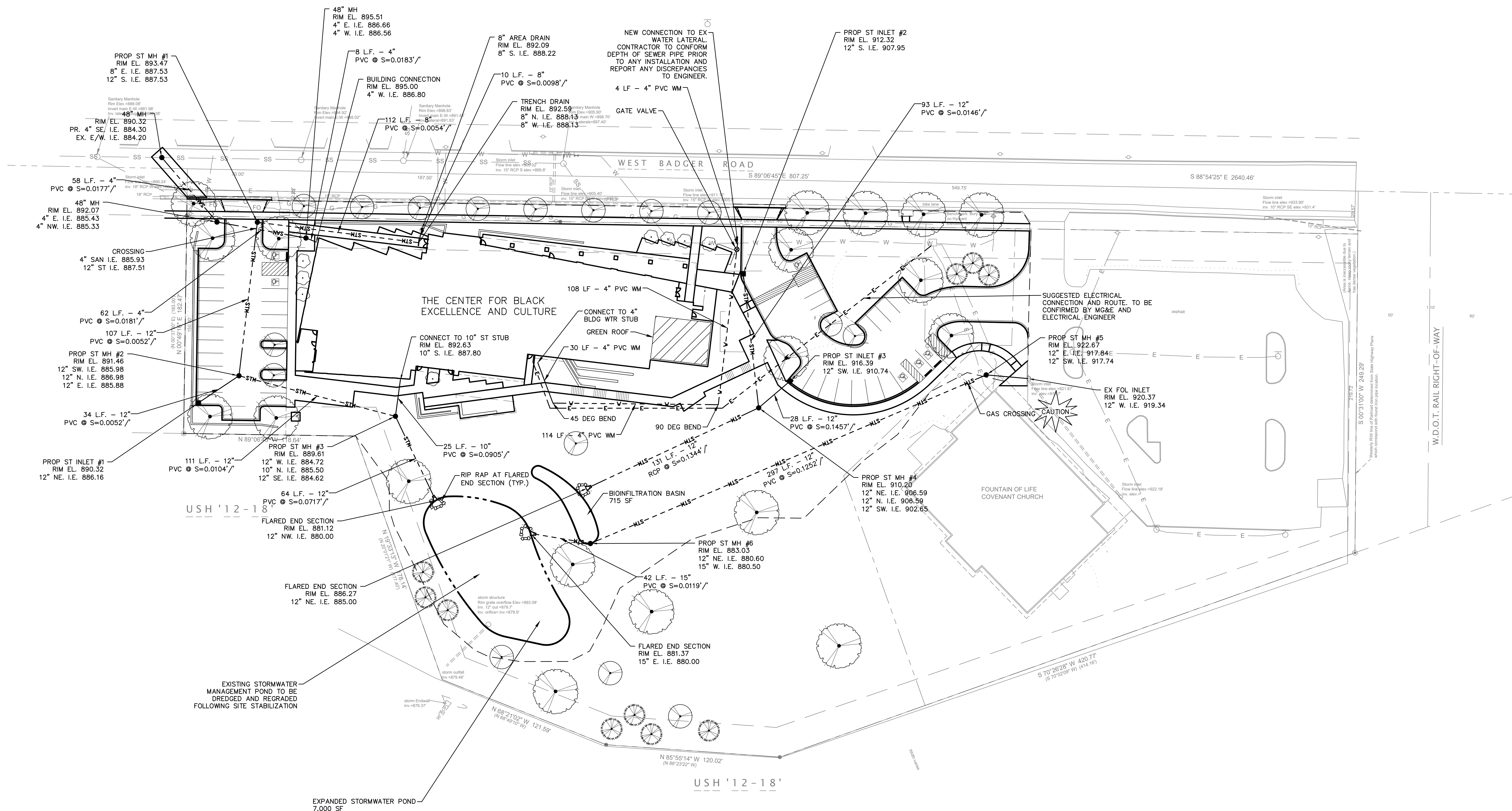
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C500



LEGEND

- STM— —PROPOSED STORM SEWER
- SAN— —PROPOSED SANITARY SEWER
- V— —PROPOSED WATER MAIN
- E— —PROPOSED ELECTRICAL
- —PROPOSED MANHOLE
- —PROPOSED CATCH BASIN
- ⊙ —PROPOSED GATE VALVE

GENERAL NOTES

1. SEE C900 FOR GENERAL NOTES..

UTILITY NOTES

1. SEE C900 FOR UTILITY NOTES.

GENERAL NOTES

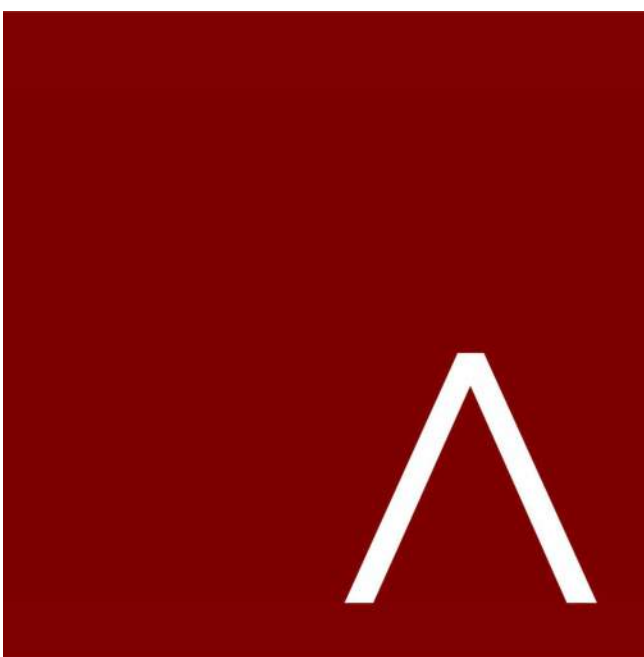
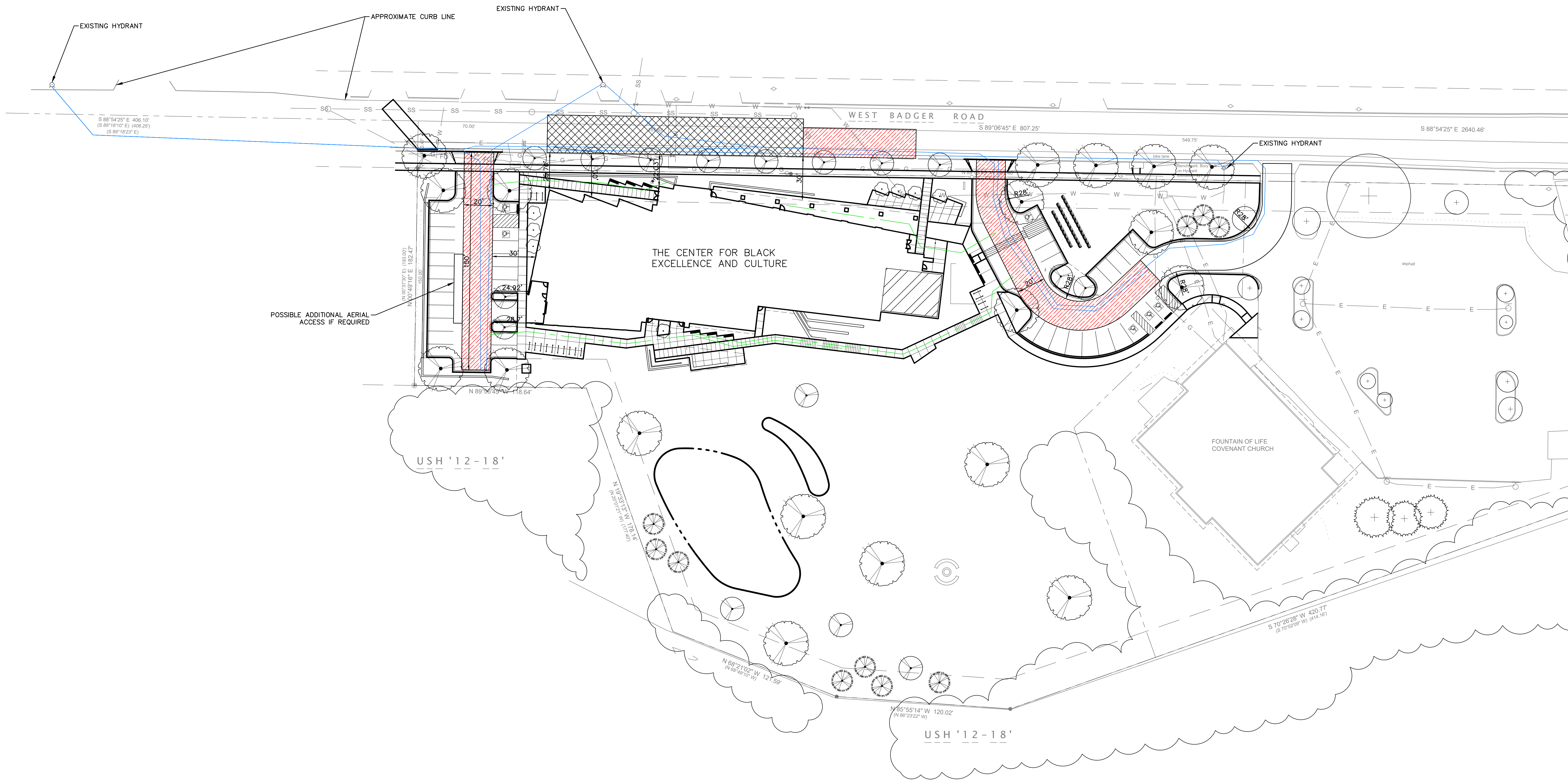
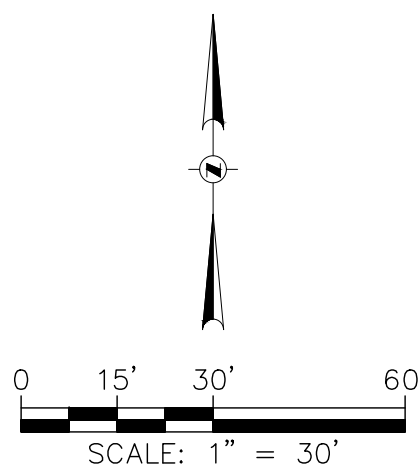
1. SEE C900 FOR GENERAL NOTES..

LEGEND

- 500' HOSE LAY FROM HYDRANT
- 250' HOSE LAY FROM FIRE LANE
- FIRE ACCESS LANE
- AERIAL ACCESS

AERIAL ACCESS COVERAGE

TOTAL AERIAL ACCESS LENGTH: 193 LF
BUILDING ROOF PERIMETER: 760 LF
PERIMETER COVERAGE: 25.4%



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DATE OF ISSUANCE: JANUARY 08, 2024

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE:

FIRE ACCESS PLAN

SHEET NUMBER:

C600

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY ISTHMUS SURVEYING IN 2016. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

REMOVAL NOTES

1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTIVELY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
3. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
4. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
5. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
7. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
8. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
9. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

LAYOUT NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR DETAIL DESIGN INFORMATION. CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
3. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
4. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
5. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
6. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
7. HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
8. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE: POUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.

EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
9. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY CITY OF MADISON OF ANY NEW STOCKPILE LOCATIONS.
10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 2. INSTALL SILT FENCE AND INLET PROTECTION.
 3. STRIP TOPSOIL IN TEMPORARY SEDIMENT BASIN AREA
 4. INSTALL SEDIMENT BASIN AND OUTLET CONTROL STRUCTURE. STABILIZE IMMEDIATELY AFTER INSTALLATION.
 5. STRIP TOPSOIL AND INSTALL TEMPORARY DIVERSIONS TO DIRECT RUNOFF TO SEDIMENT BASIN.
 6. STRIP TOPSOIL FROM REMAINDER OF SITE.
 7. PERFORM ROUGH GRADING AND BUILDING EXCAVATION. ADJUST DIVERSION DITCHES AS NEEDED TO MAINTAIN DRAINAGE TO SEDIMENT BASIN.
 8. INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW INLETS. INSTALL RIPRAP AT NEW OUTFALLS.
 9. CONSTRUCT BUILDING.
 10. INSTALL PAVEMENTS.
 11. INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
 12. REMOVE TEMPORARY SEDIMENTATION BASIN
 13. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
11. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
12. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY CITY OF MADISON FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
14. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.
15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER

- 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
17. PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
18. USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
19. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS. PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
20. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
21. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
22. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
23. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
24. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
25. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. INTERSECTING DIRECTIONS.

GRADING NOTES

1. ADA REGULATIONS FOR A NON-RAMP ACCESSIBLE REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ROUTE AND A MAXIMUM CROSS SLOPE OF 1:48 (2.08%) ACROSS THE WIDTH OF THE ROUTE.
2. ADA REGULATIONS FOR ACCESSIBLE PARKING, ACCESS AISLES, AND PASSENGER LOADING ZONES REQUIRES A MAXIMUM SLOPE OF 1:48 (2.08%) ALONG THE LENGTH OF ACCESSIBLE ZONE AND 1:48 (2.08%) ACROSS THE WIDTH OF THE ACCESSIBLE ZONE.
3. ACCESSIBLE AREAS DESCRIBED ABOVE SHALL BE MEASURED IN ACCORDANCE WITH THE US ACCESS BOARD REPORT "DIMENSIONAL TOLERANCES IN CONSTRUCTION AND FOR SURFACE ACCESSIBILITY" PART II, SECTION 4, 1.1 MEASUREMENT PROTOCOLS.

UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
4. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
5. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
6. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
7. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE VILLAGE ENGINEER.
8. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.
9. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
10. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
11. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
12. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.



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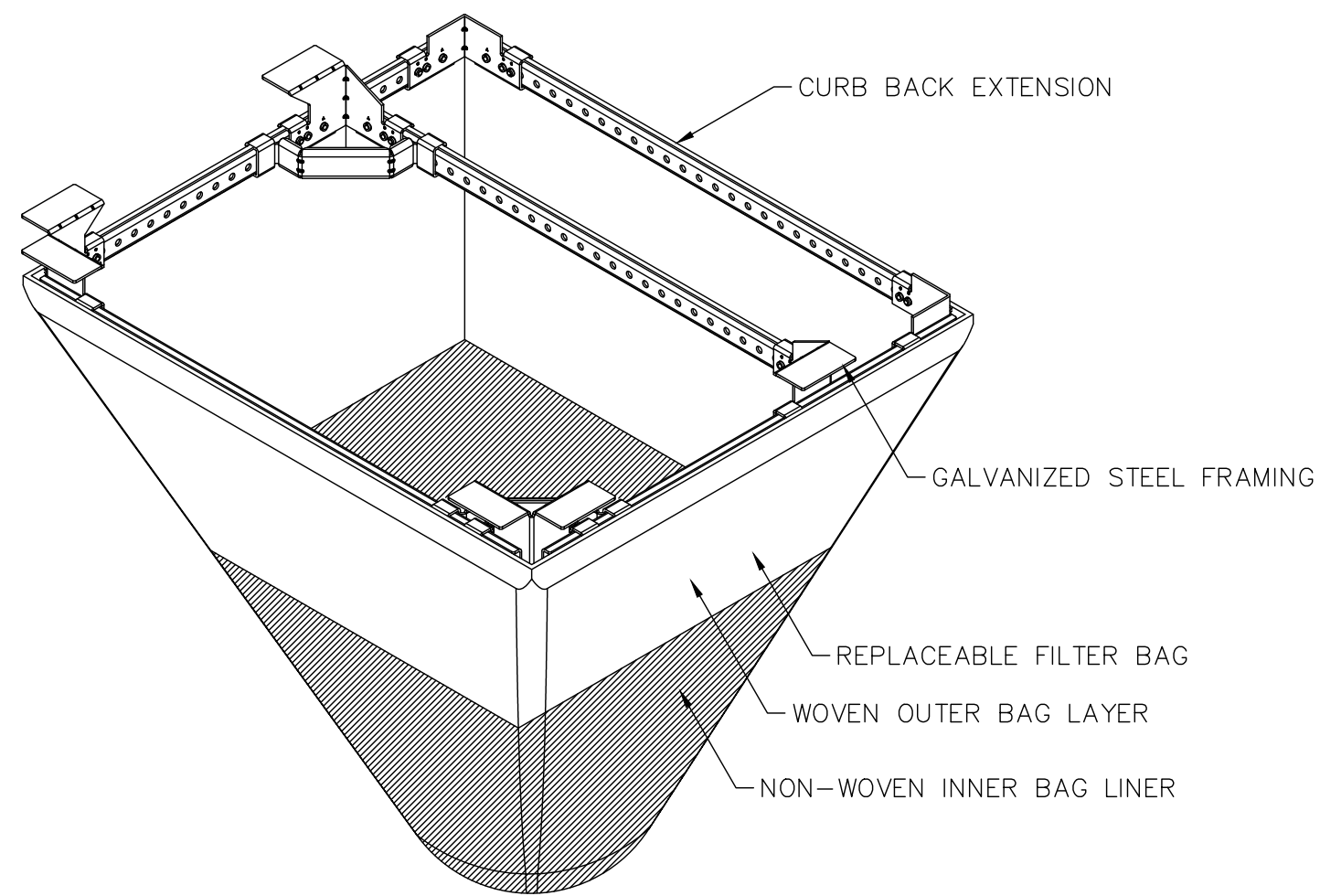
DATE OF ISSUANCE			JANUARY 08, 2024
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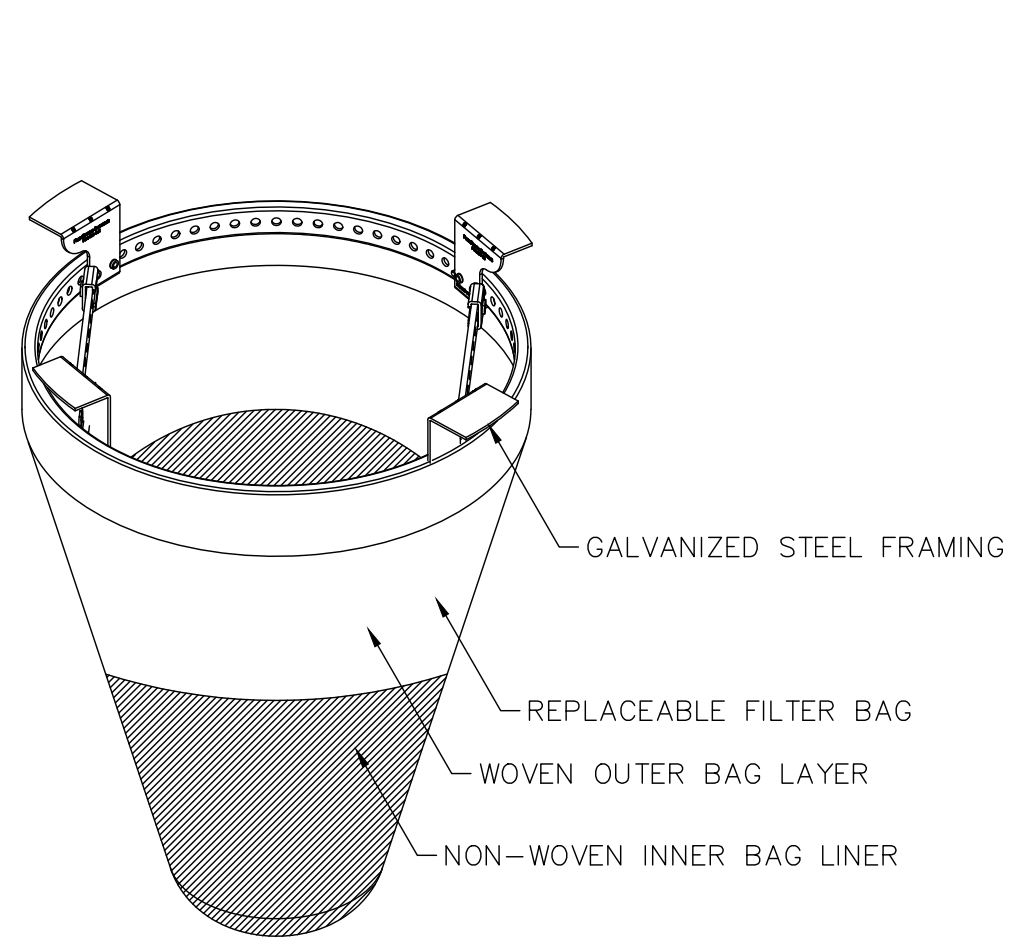
CONSTRUCTION
NOTES

SHEET NUMBER

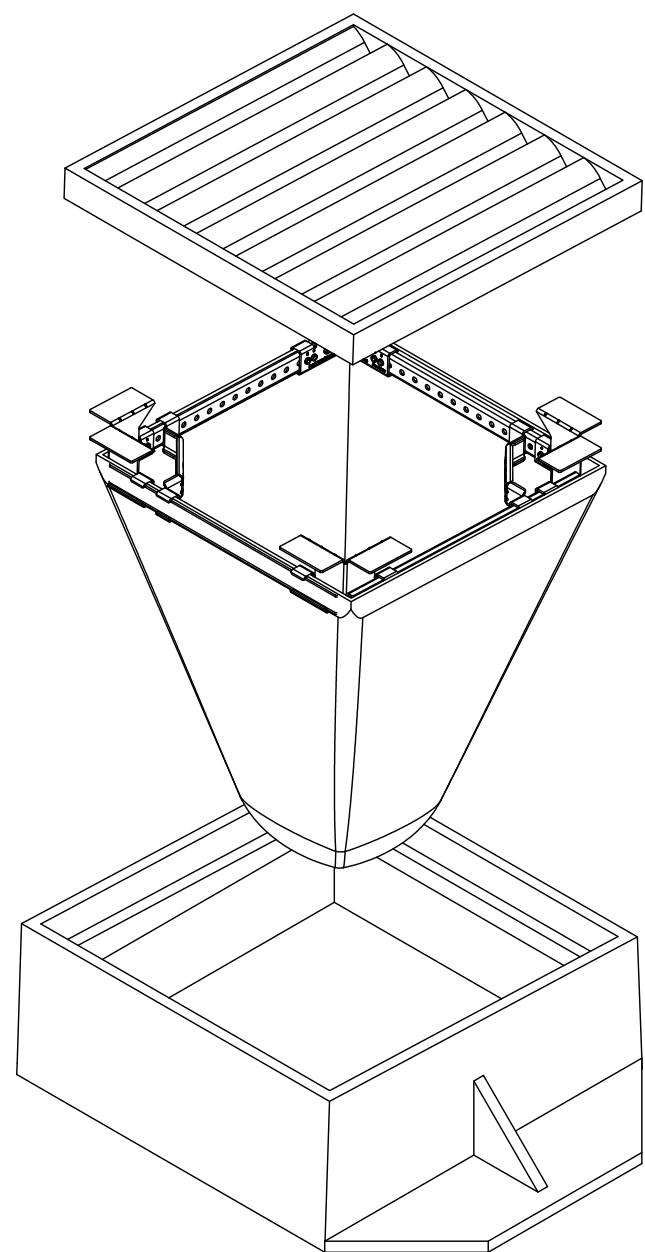
C900



TYPICAL RECTANGULAR INLET FILTER

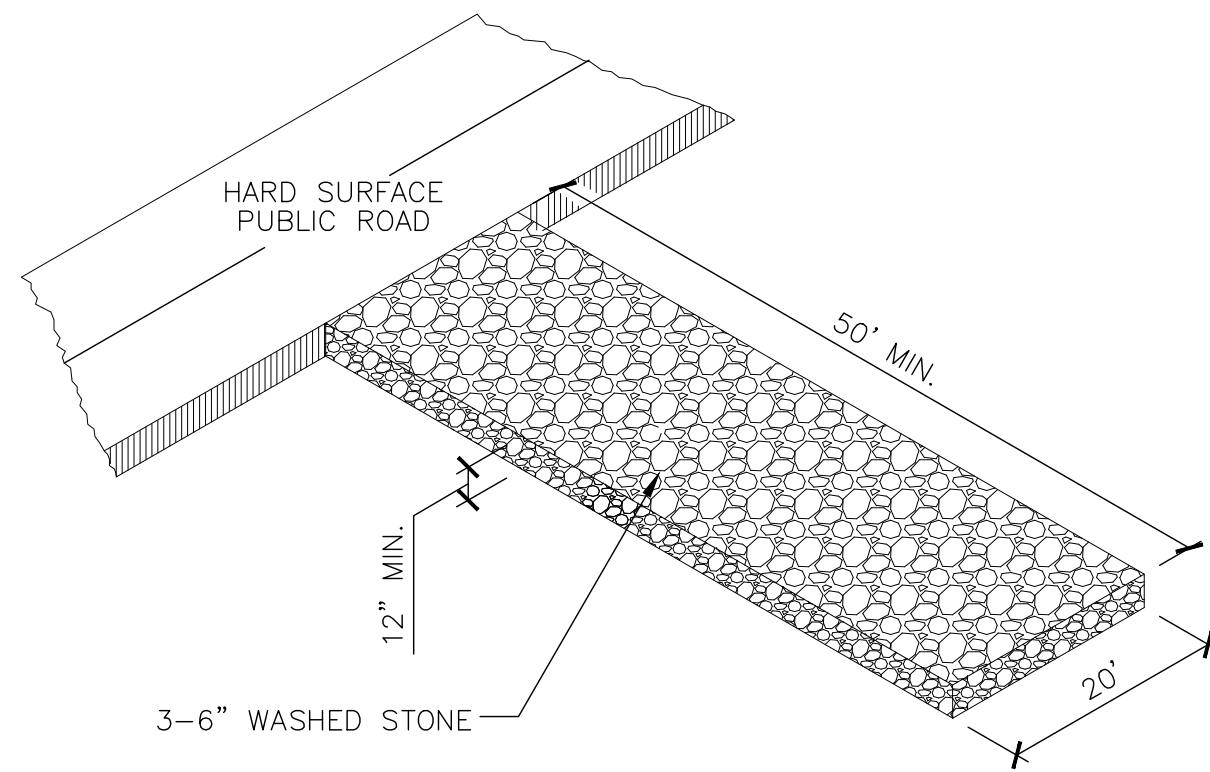


TYPICAL ROUND INLET FILTER

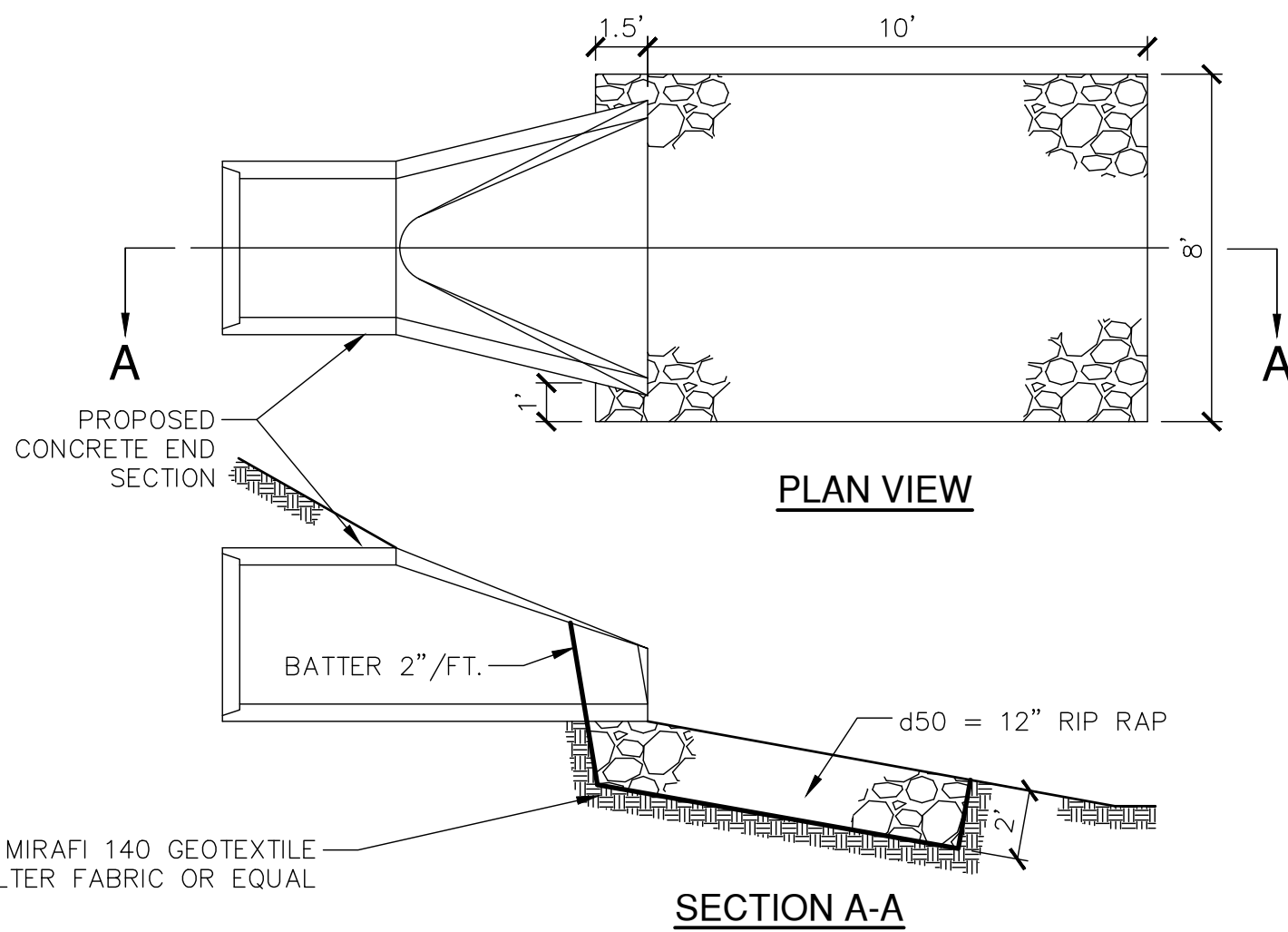


INSTALLATION INSTRUCTIONS

1. REMOVE GATE FROM THE DRAINAGE STRUCTURE
2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
3. DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

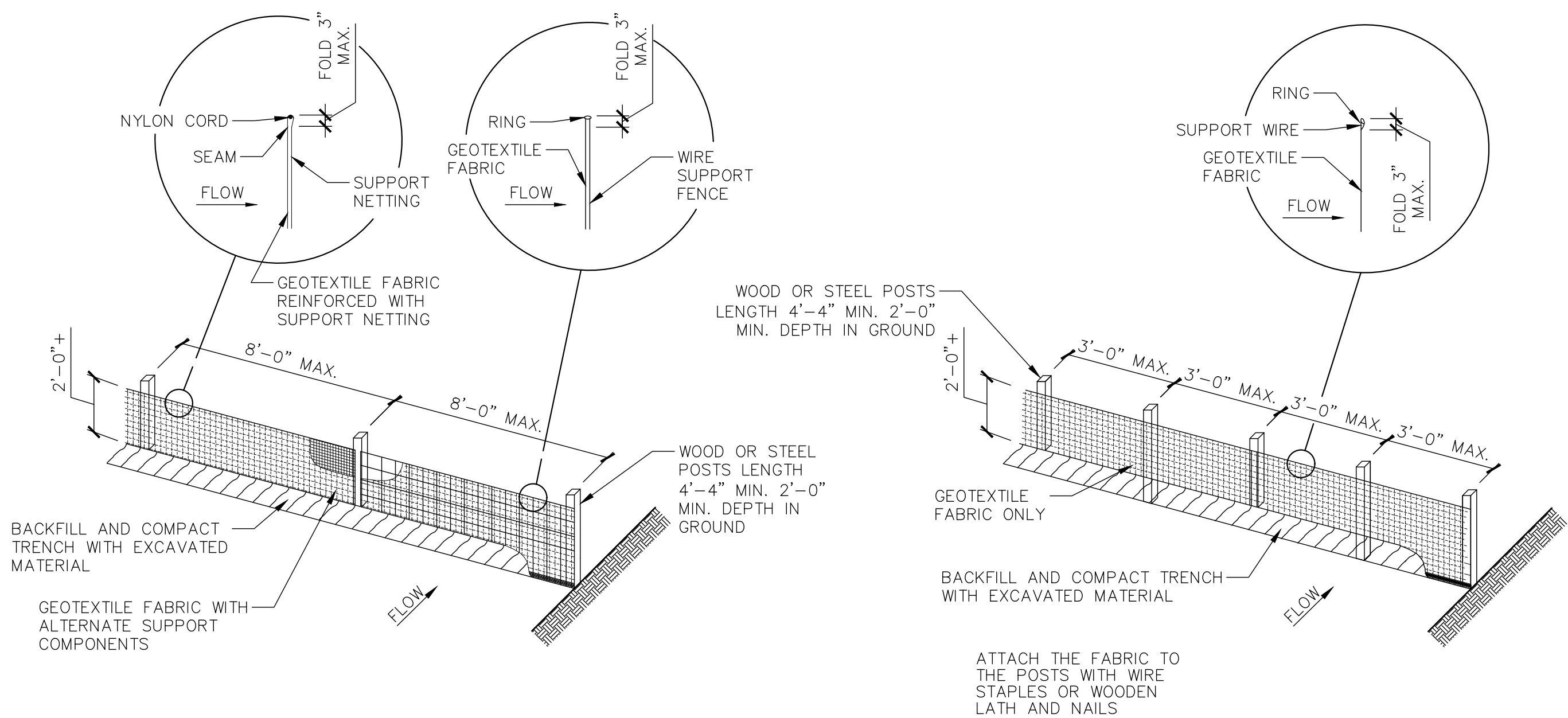


2 STONE CONSTRUCTION ENTRANCE
SCALE N.T.S.



3 PROPOSED RIP RAP AT STORM SEWER OUTFALL
SCALE N.T.S.

1 RIGID FRAME INLET PROTECTION
SCALE N.T.S.

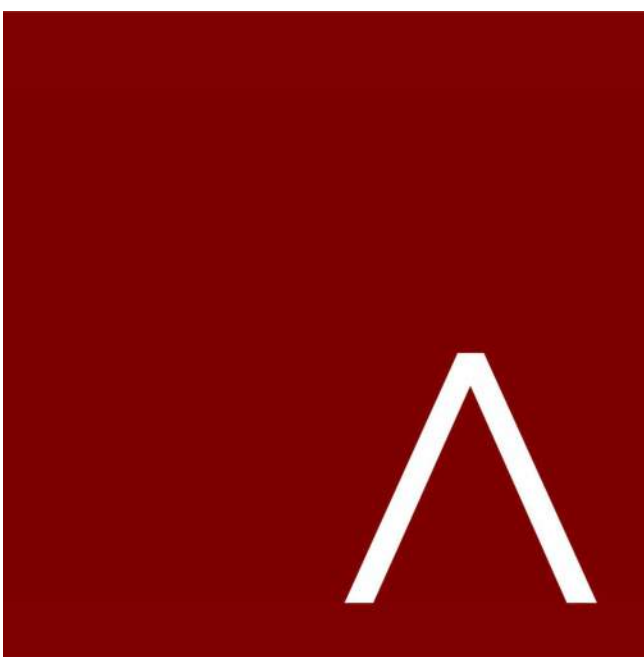


ALTERNATE "A"

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

ALTERNATE "B"

4 SILT FENCE
SCALE N.T.S.



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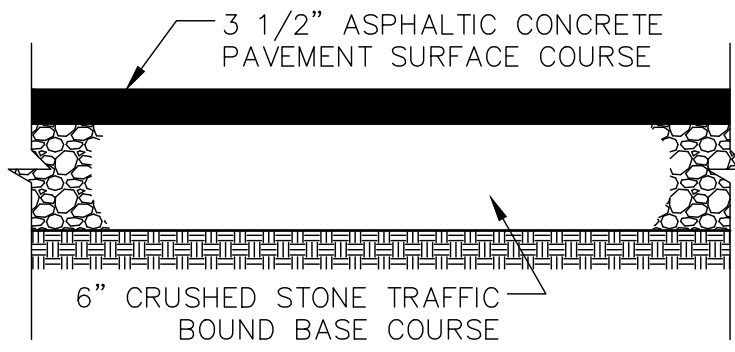
REVISION SCHEDULE		
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SHEET TITLE

CONSTRUCTION
DETAILS

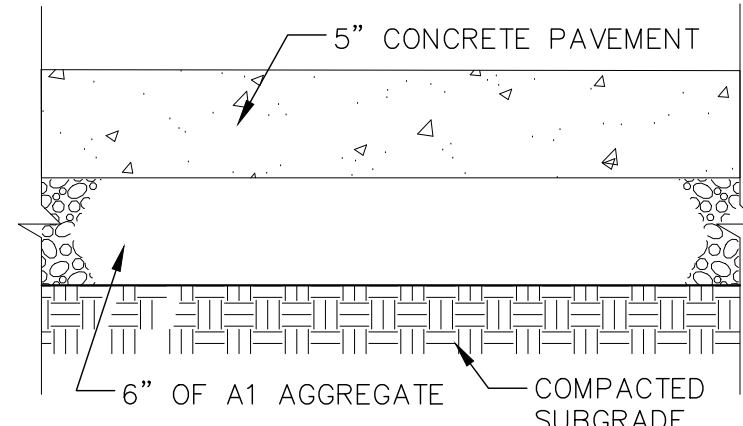
SHEET NUMBER

C901

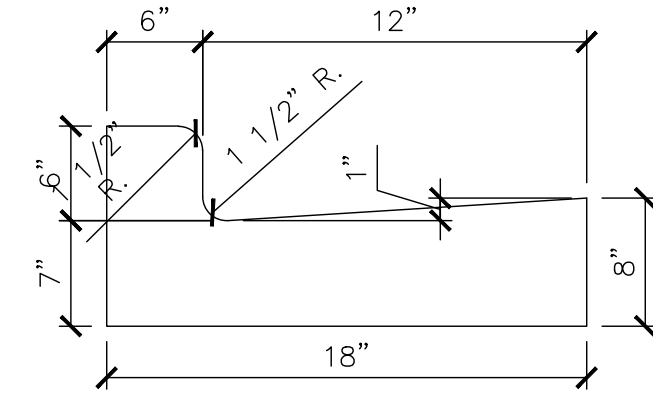


NOTE: 9" OF CRUSHED STONE REQUIRED FOR GRAVEL ROAD.

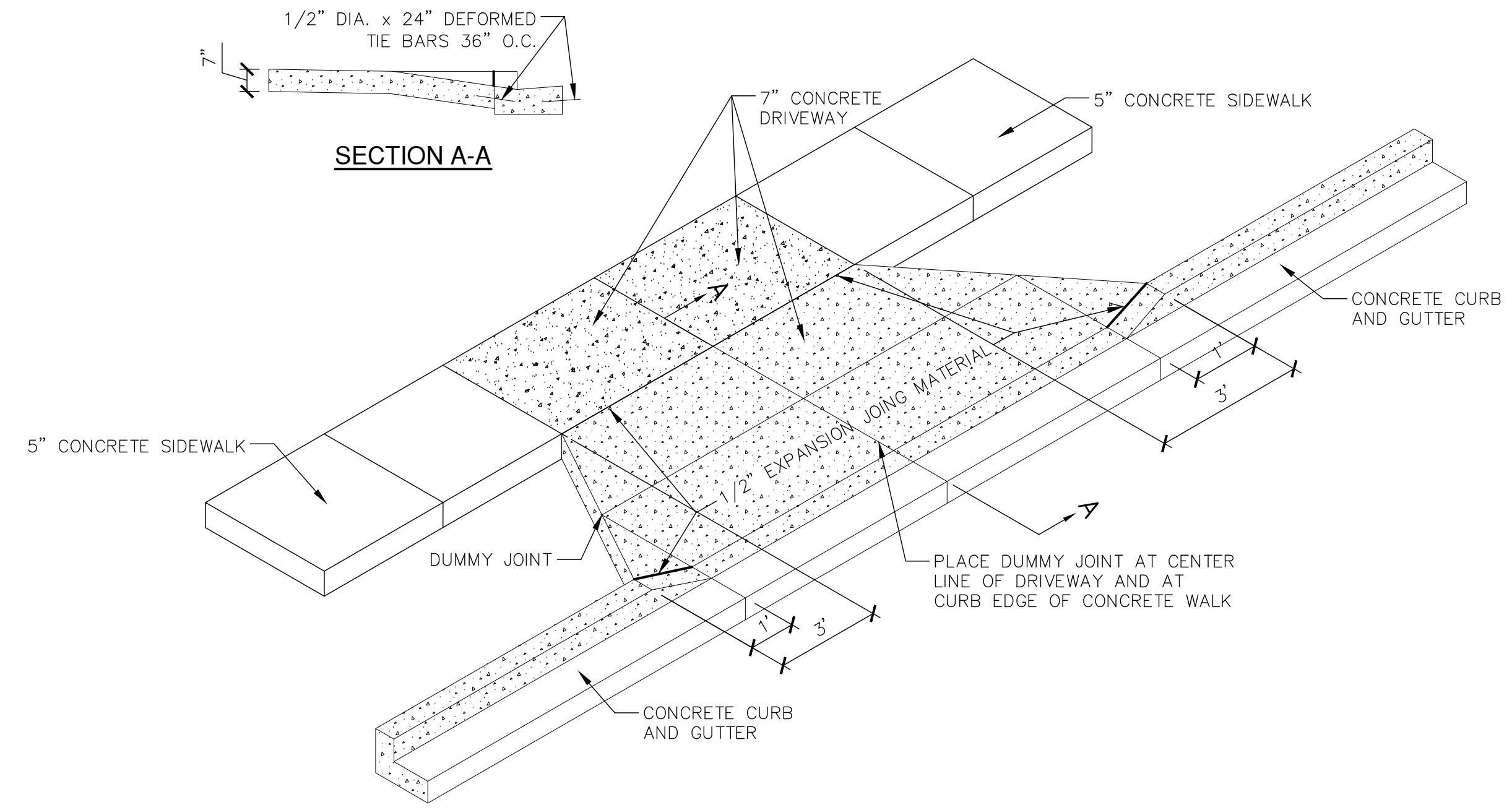
1 TYPICAL ASPHALT PAVING
SCALE N.T.S.



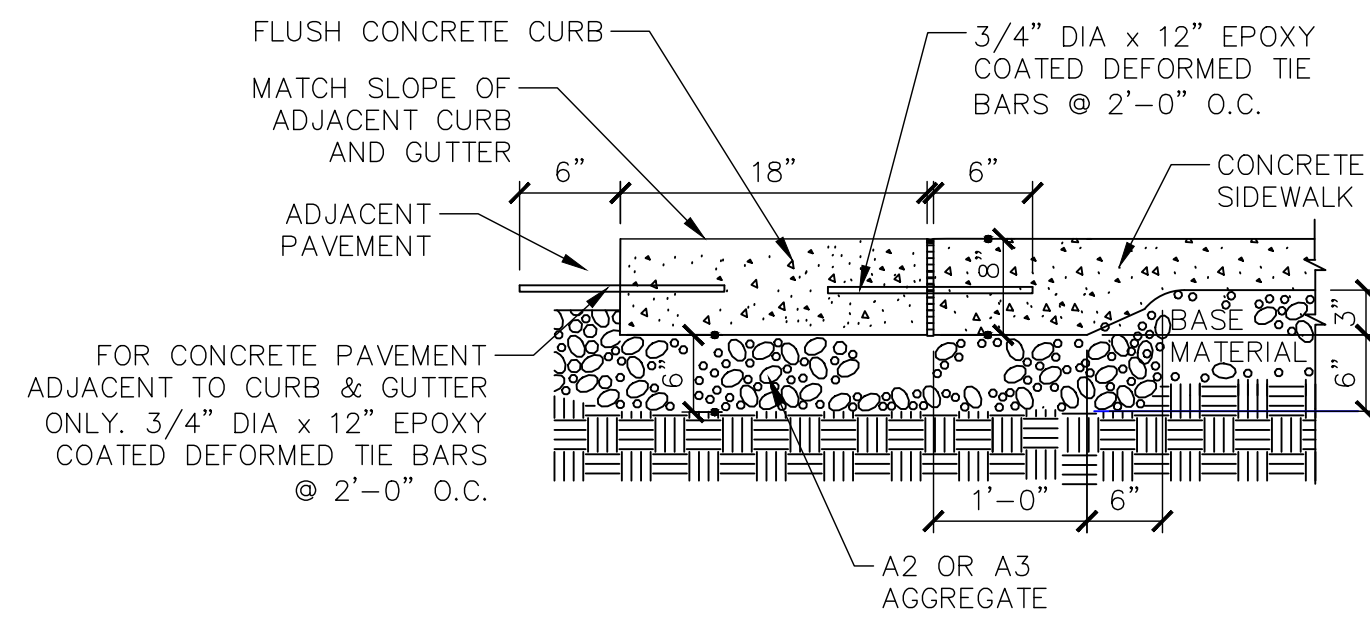
2 CONCRETE SIDEWALK
SCALE N.T.S.



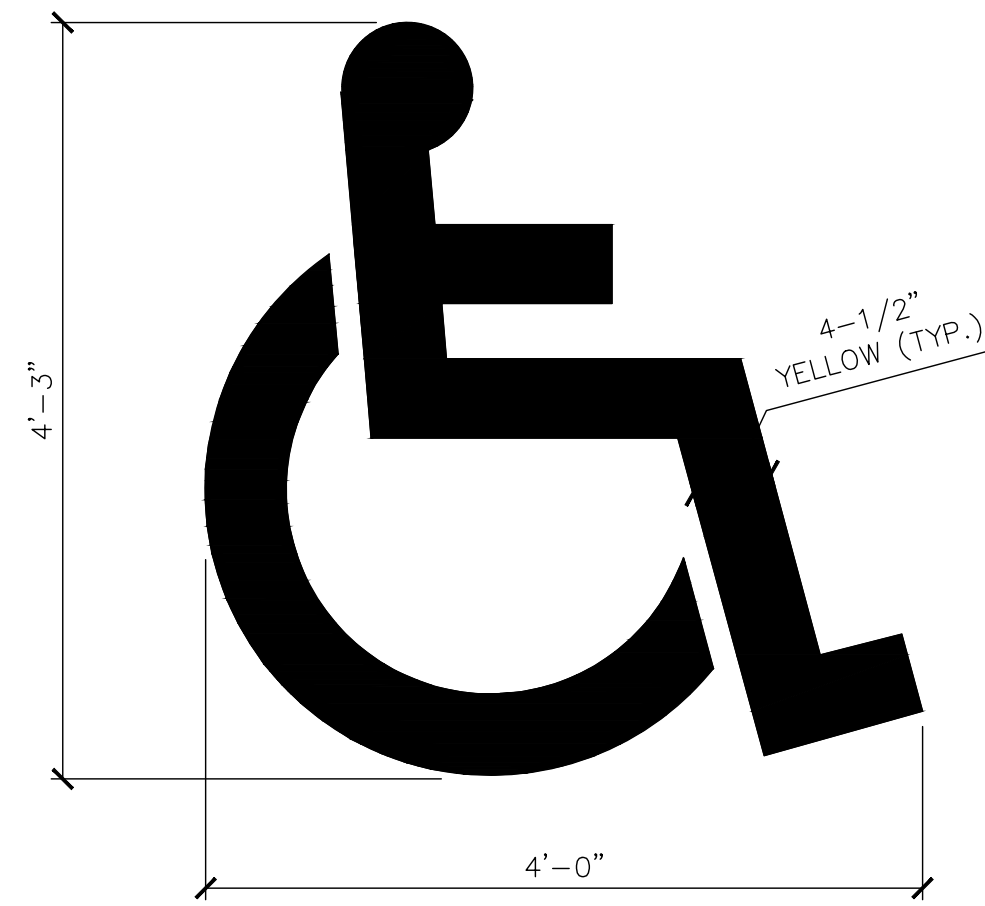
3 PARKING LOT CONCRETE CURB & GUTTER
SCALE N.T.S.



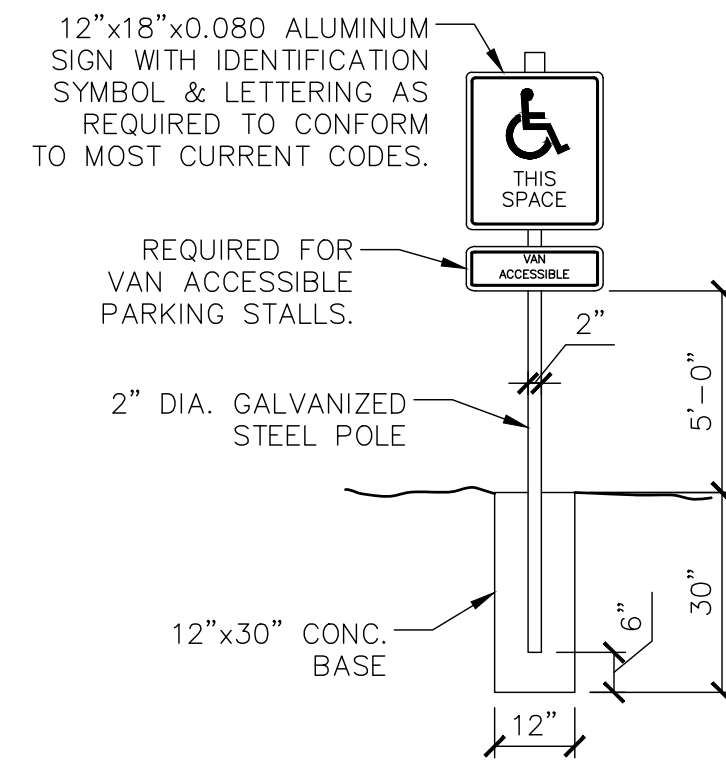
4 CONCRETE DRIVEWAY TYPE 1
SCALE N.T.S.



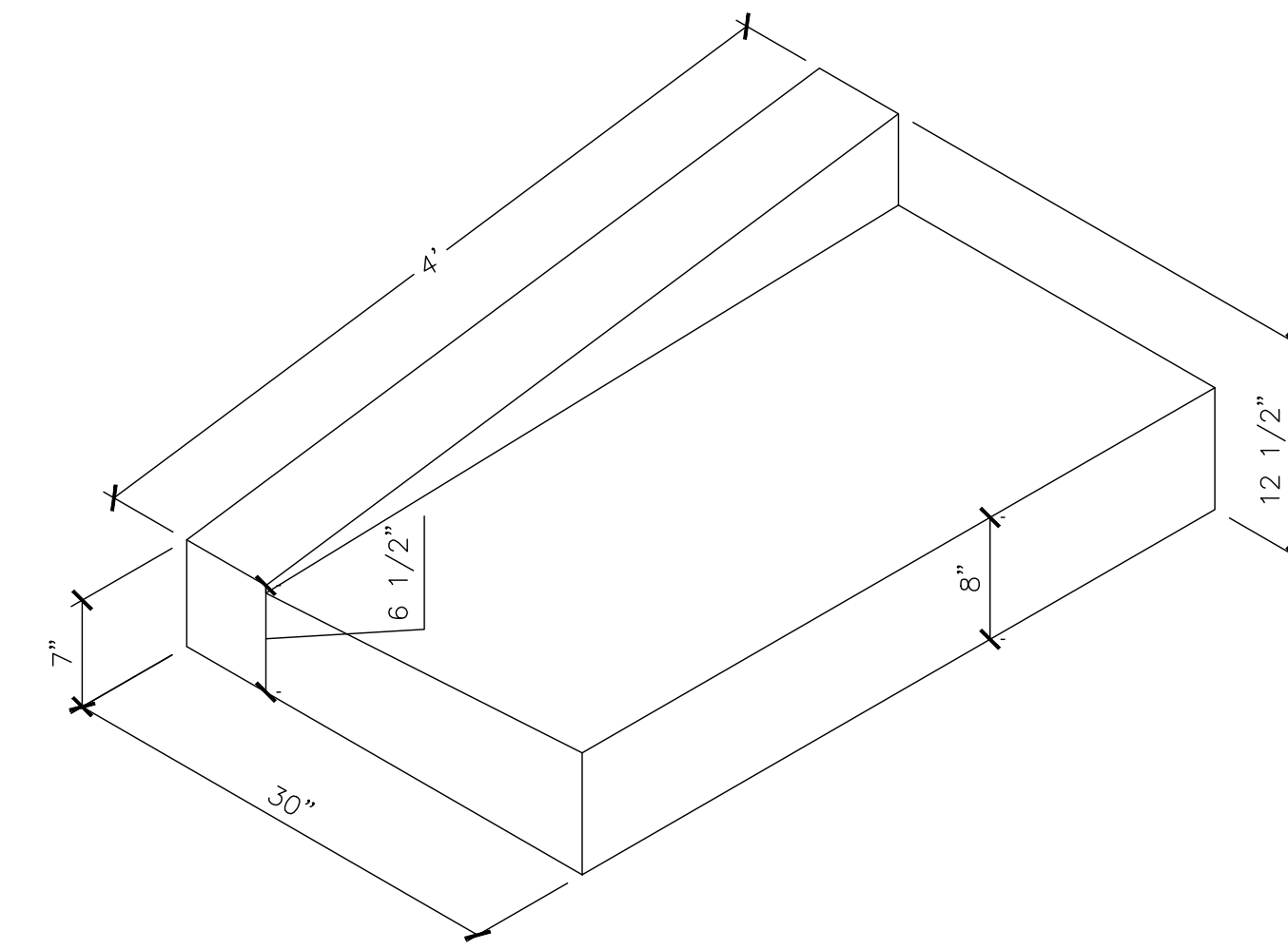
5 FLUSH CONCRETE CURB AND GUTTER
SCALE N.T.S.



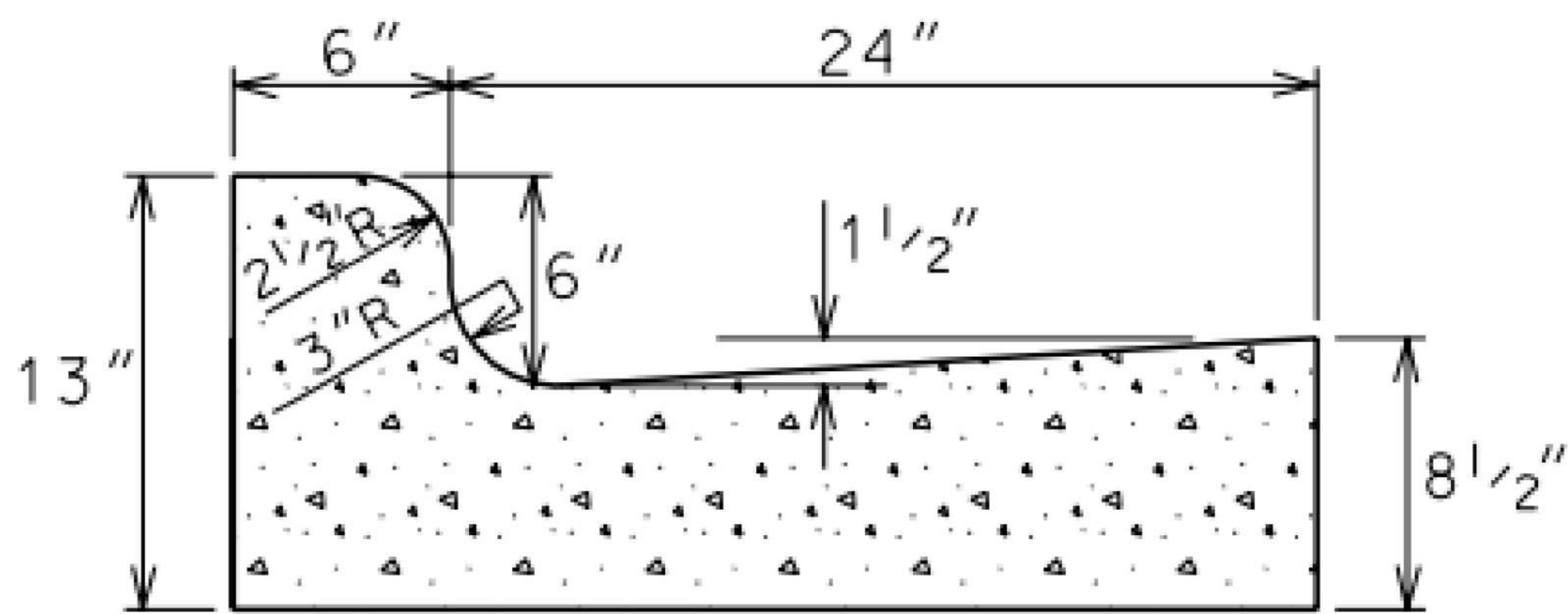
6 PAVEMENT MARKING ACCESSIBLE SYMBOL
SCALE N.T.S.



7 ADA ACCESSIBLE SIGN
SCALE N.T.S.



8 4' TAPER CURB SECTION
SCALE N.T.S.



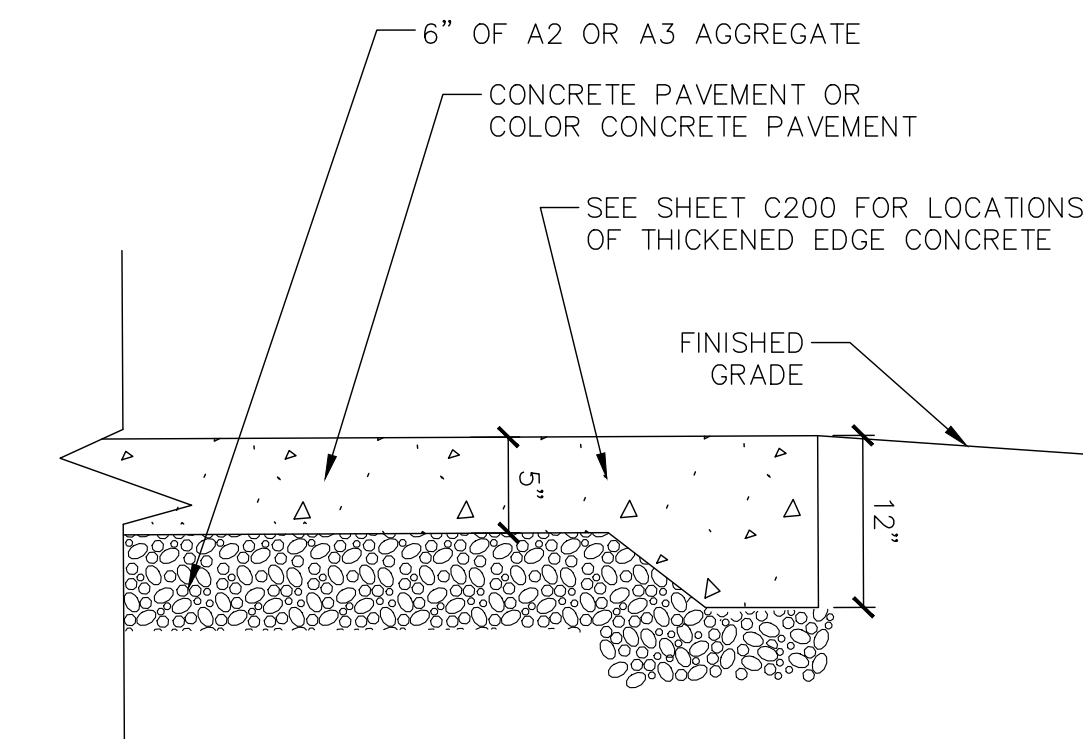
TYPE 'A' CONCRETE CURB & GUTTER

GENERAL NOTES:

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH

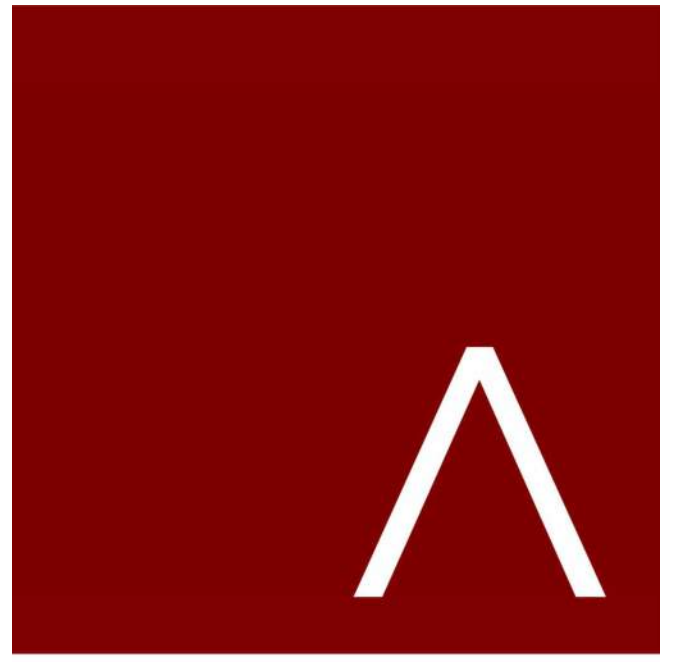
EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE



10 THICKENED CONCRETE EDGE
SCALE N.T.S.

9 BADGER ROAD CONCRETE CURB & GUTTER
SCALE N.T.S.



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SHEET TITLE

CONSTRUCTION
DETAILS

SHEET NUMBER

C902



FLAT TOP SLAB MAY BE USED FOR 5'-0" AND 6'-0" DIA
MANHOLES.

PRECAST CONCRETE ADJUSTING RINGS TO BE REINFORCED
WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE
STEP.

CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.

JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING RUBBER GASKETS OR BUTYL RUBBER MASTIC MATERIAL.

AREA OF CIRCUMFERENTIAL STEEL = 0.12 SQ. INCH PER LINEAL FOOT.

3" BEDDING MATERIAL REQUIRED UNDER BASE. MANHOLES
TO BE BACKFILLED WITH GRANULAR BACKFILL MATERIAL.

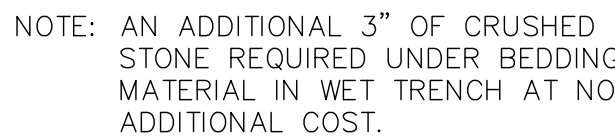
SCALE



SCALE



SCALE



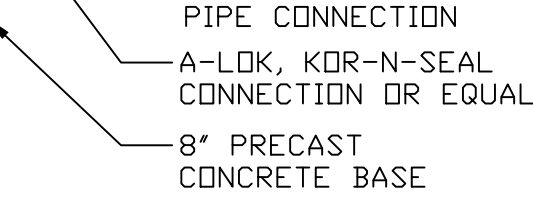
SCAI



SCAF



(2)



CCAI



SCA



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SHEET TITLE

CONSTRUCTION DETAILS

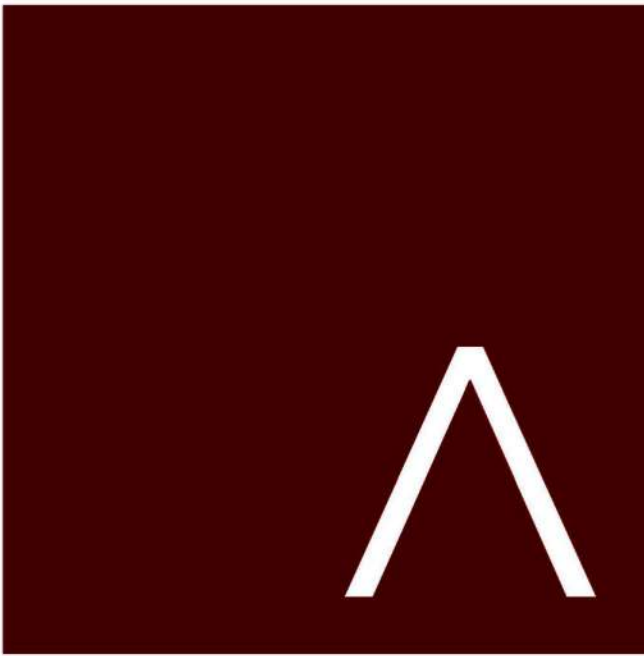
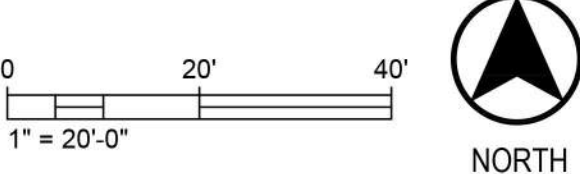
SHEET NUMBER

C903

- LEGEND
- CONCRETE BARRIERS
 - COLOR CONCRETE
 - STANDARD CONCRETE
 - ASPHALT
 - PLANTING AREA
 - NATIVE PLANTING
 - LAWN



1 CONCEPTUAL SITE PLAN
SCALE: 1" = 20' - 0"

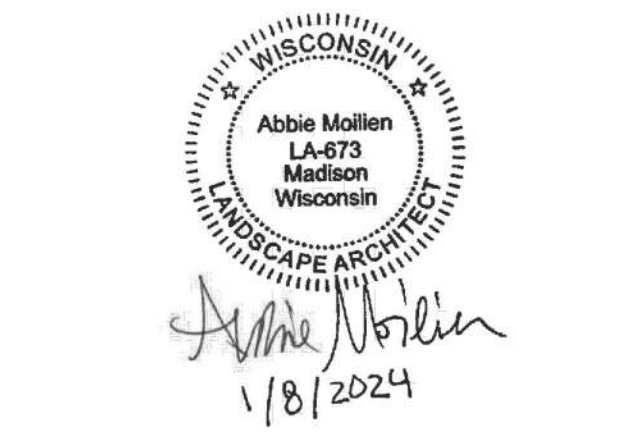


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SHEET TITLE
**CONCEPTUAL
SITE PLAN**

SHEET NUMBER
L001

LEGEND

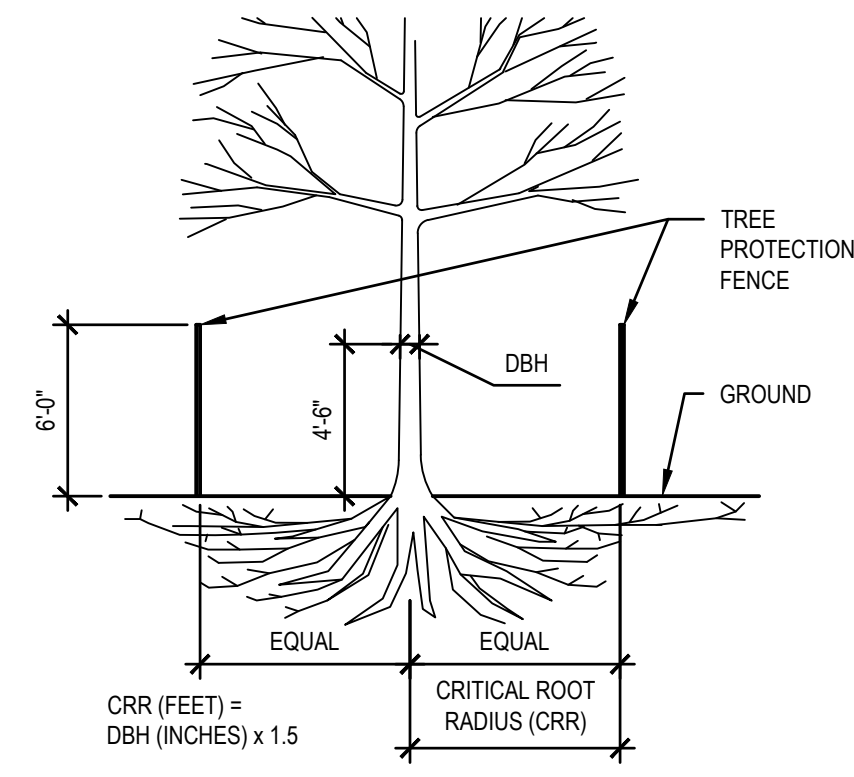
- (X) EXISTING TREE TO BE REMOVED
- (+) EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING

NOTE: SEE CIVIL DEMOLITION AND EROSION CONTROL PLAN FOR MORE SITE DEMOLITION INFORMATION

Tree Disposition Schedule			
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Iden.	Cal.	Species	Disposition
0	n/a	Mixed Small Trees	Remove
1	8"	Hackberry	Remove
2	9"	Hackberry	Remove
3	6"	Maple	Remove
4	9"	Birch	Remove
5	10"	Birch	Remove
6	8"	Maple	Remove
7	11"	Elm	Remove
8	12"	Honeylocust	Remove
9	6"	Maple	Remain
10	3"	Honeylocust	Remain
11	n/a	Mixed Trees	Remain
12	n/a	Mixed Trees	Remain
13	n/a	Mixed Trees	Remain

PLAN NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.



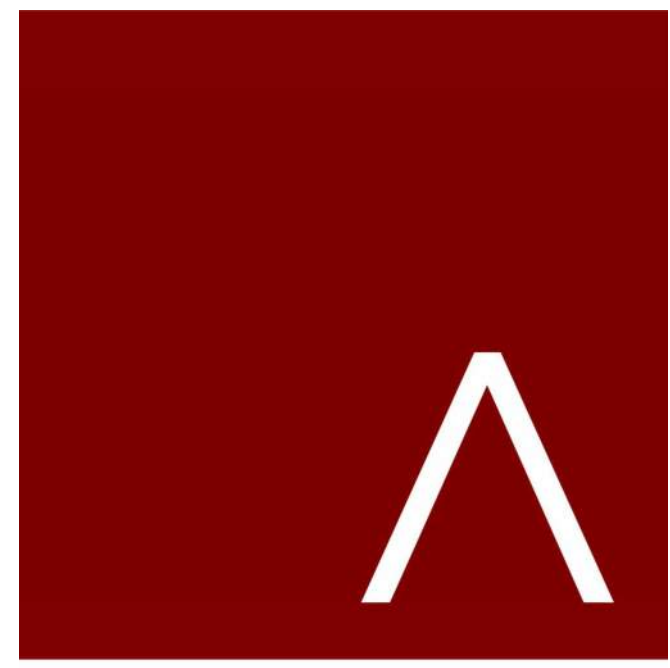
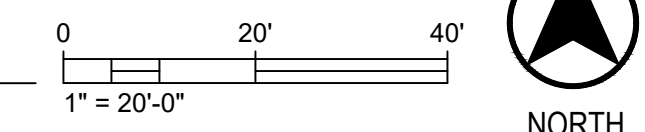
2 TREE PROTECTION FENCE DETAIL
SCALENTS

NOTE:

- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION ON THE PLANS SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING.
- PROTECT TREE CANOPIES FROM OVERHEAD DAMAGE.
- TEMPORARY TREE PROTECTION FENCES FOR DEMOLITION PHASE SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE DEMOLITION OR PREPARATION WORK (CLEARING, GRUBBING, OR GRADING). AFTER DEMOLITION ACTIVITIES ARE COMPLETE FENCES SHALL BE RELOCATED TO PERMANENT CONSTRUCTION PHASE LOCATIONS AND SHALL BE MAINTAINED THROUGHOUT REMAINDER OF THE CONSTRUCTION PROJECT.
- DO NOT INSTALL FENCING ANY CLOSER THAN 5' FROM THE TRUNK OF ANY TREE.
- NO STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES PERMITTED WITHIN TREE PROTECTION ZONES.
- NO DISPOSAL OF CONSTRUCTION MATERIALS, BYPRODUCTS, OR SOLUTIONS PERMITTED WITHIN TREE PROTECTION ZONES.
- TRUNK DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 4'-6" ABOVE THE GROUND.



1 TREE PROTECTION PLAN
SCALE: 1" = 20'-0"



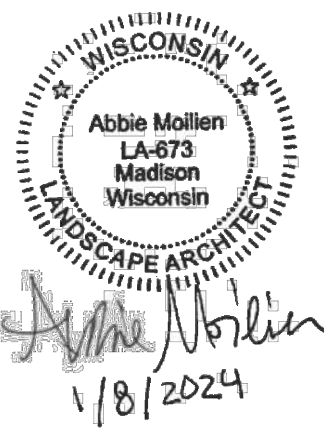
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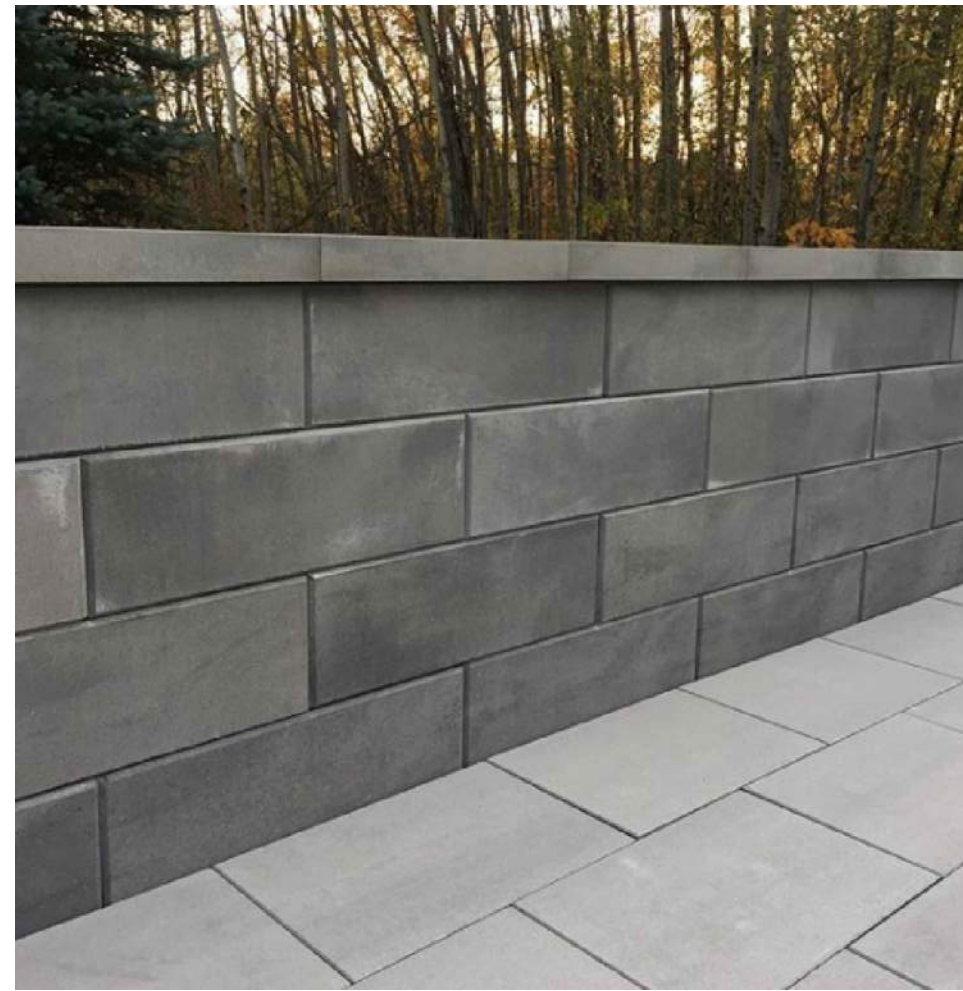
TREE REMOVAL PLAN

SHEET NUMBER:

L002

- LEGEND
- CONCRETE UNIT PAVERS
 - COLORADO CONCRETE
 - STANDARD CONCRETE
 - PRECAST CONCRETE BENCH
 - BIKE RACK
 - DRAIN, SEE CIVIL
 - LARGE MOVABLE TABLE AND CHAIRS, O.F.O.I.
 - SMALL MOVABLE TABLE AND CHAIRS, O.F.O.I.

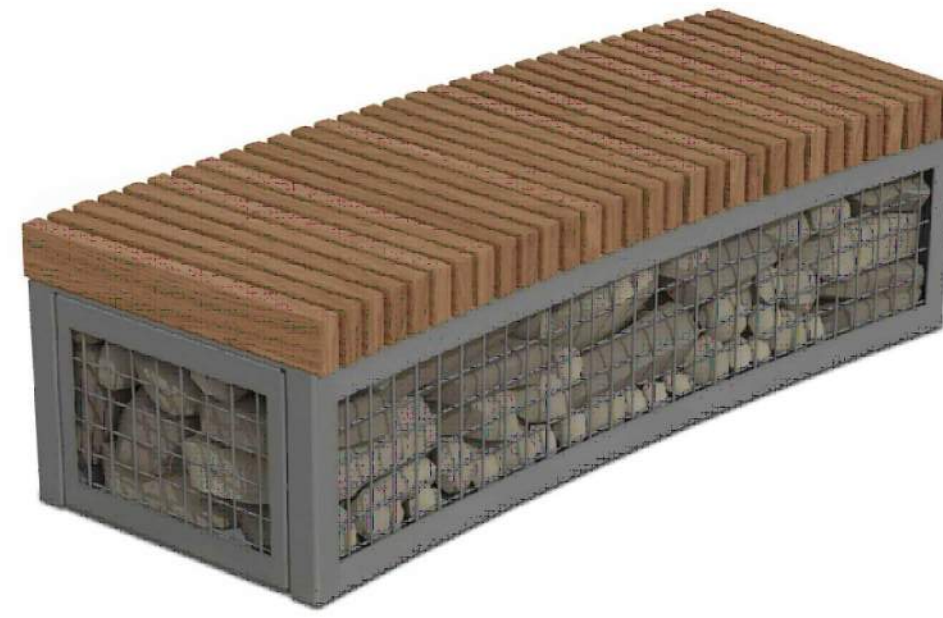
Block Retaining Walls



Salvaged Limestone Seatwalls



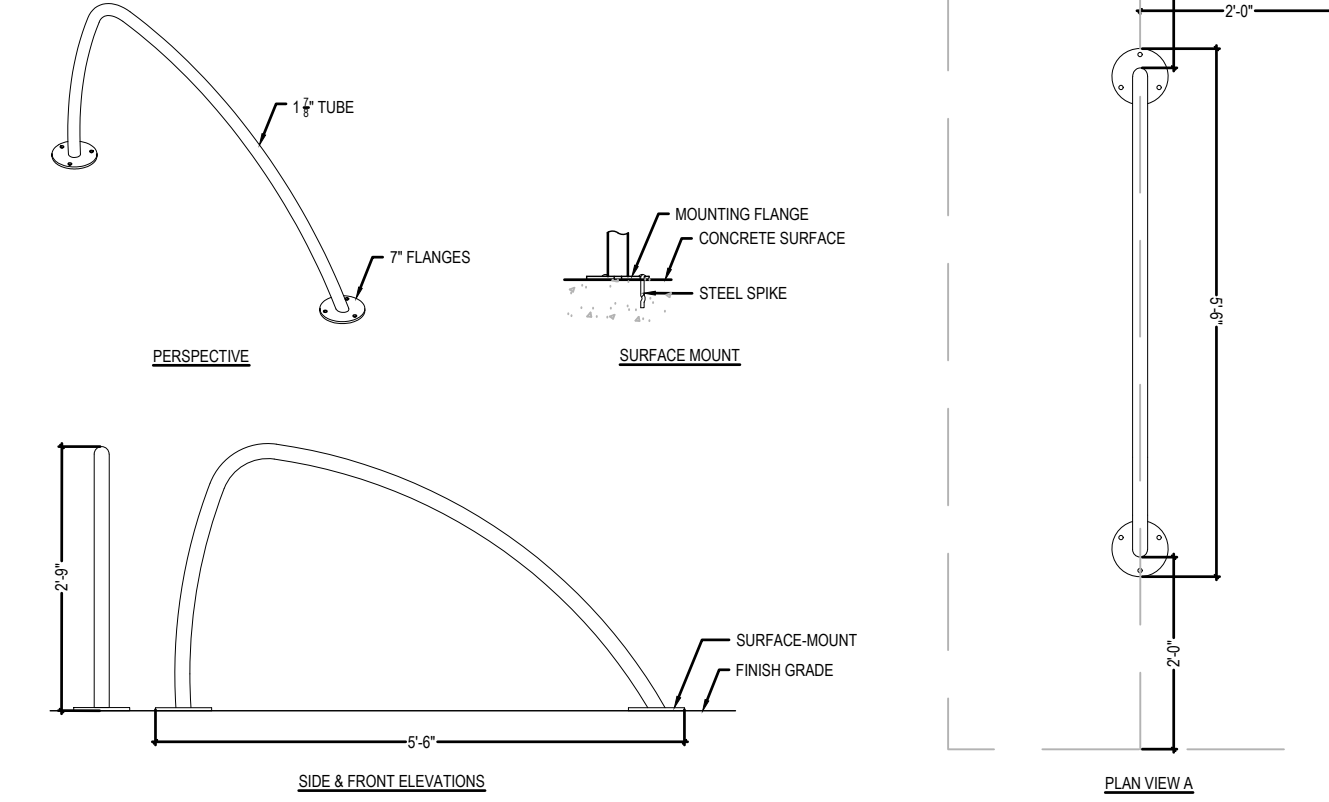
Gabion Seatwall w/ Wood Top



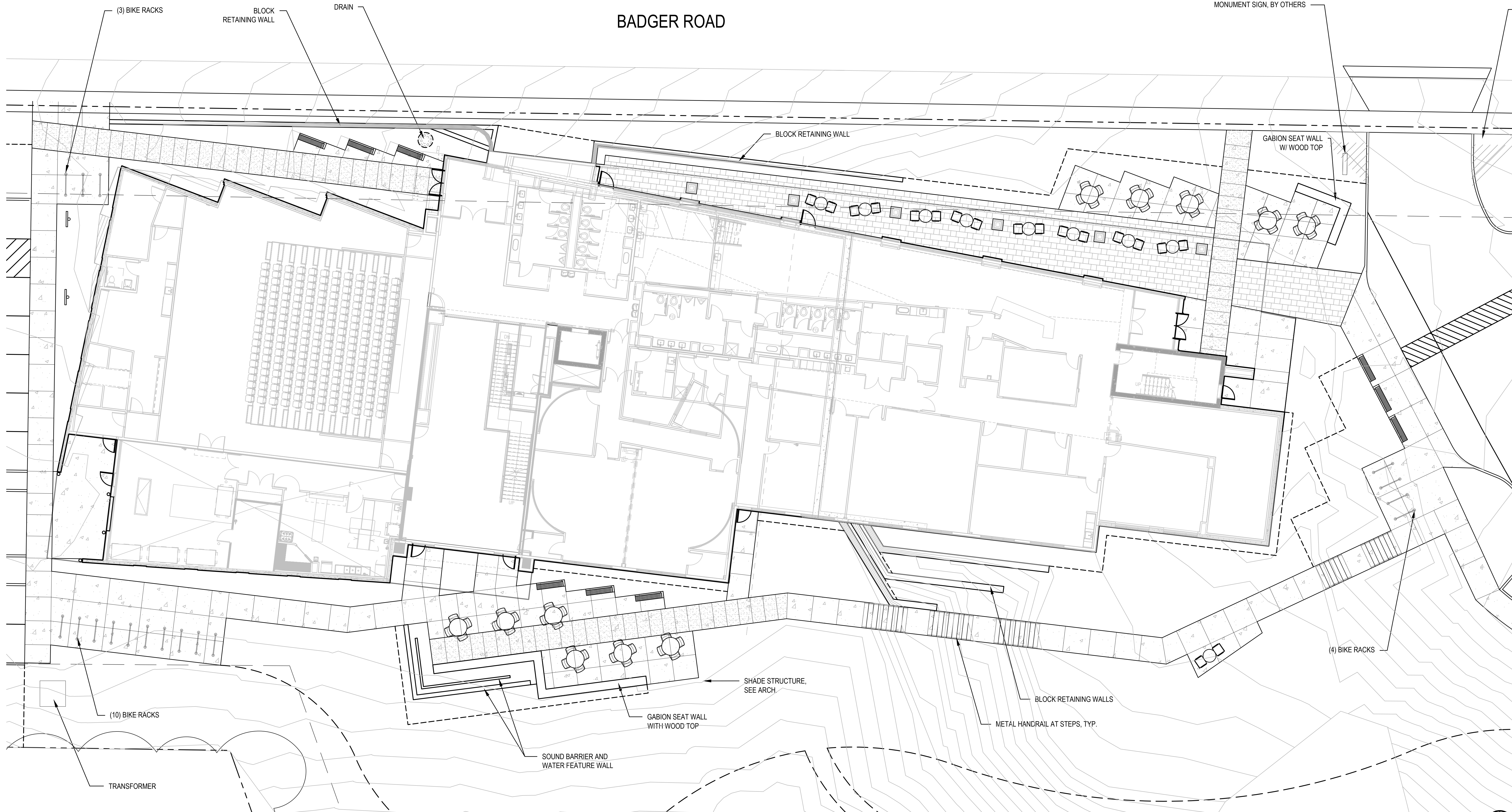
Precast Concrete Bench



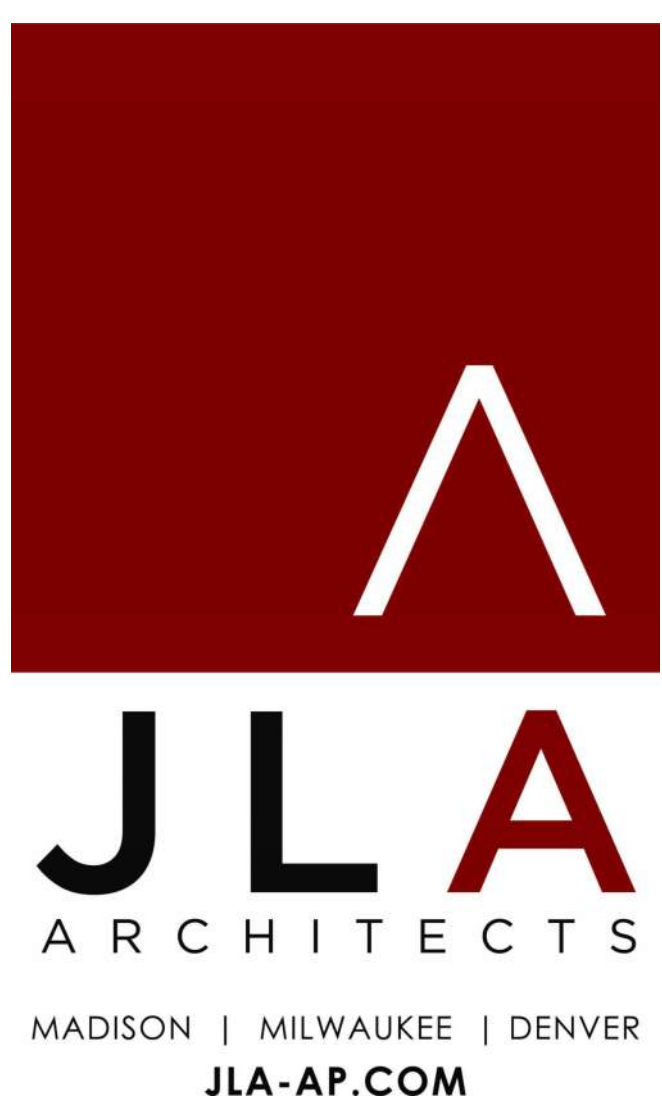
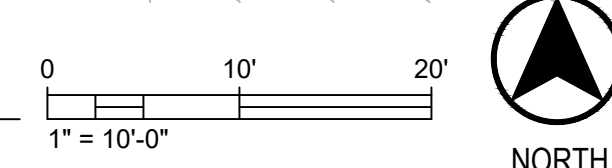
- NOTES:
- BIKE STALLS SHALL BE A MINIMUM OF 2' BY 6'. PLACEMENT SHALL NOT RESULT IN A BIKE RACK OBSTRUCTING A WALKWAY.
 - RACKS SHALL BE SPACED 4'-0" APART AND AS INDICATED ON DRAWINGS.
 - BASES OF DESIGN: TYP. BIKE RACK BY INDIANA FLUSH MOUNT.
 - INSTALL BIKE RACKS PER MANUFACTURER SPECIFICATIONS.



2 BIKE RACK DETAIL
SCALE: 1/2" = 1'-0"



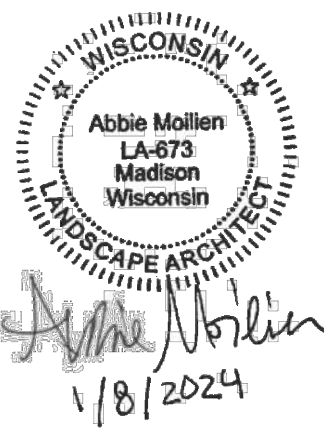
1 SPECIALTY PAVEMENTS AND FURNISHINGS PLAN
SCALE: 1" = 10'-0"



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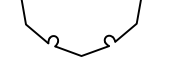





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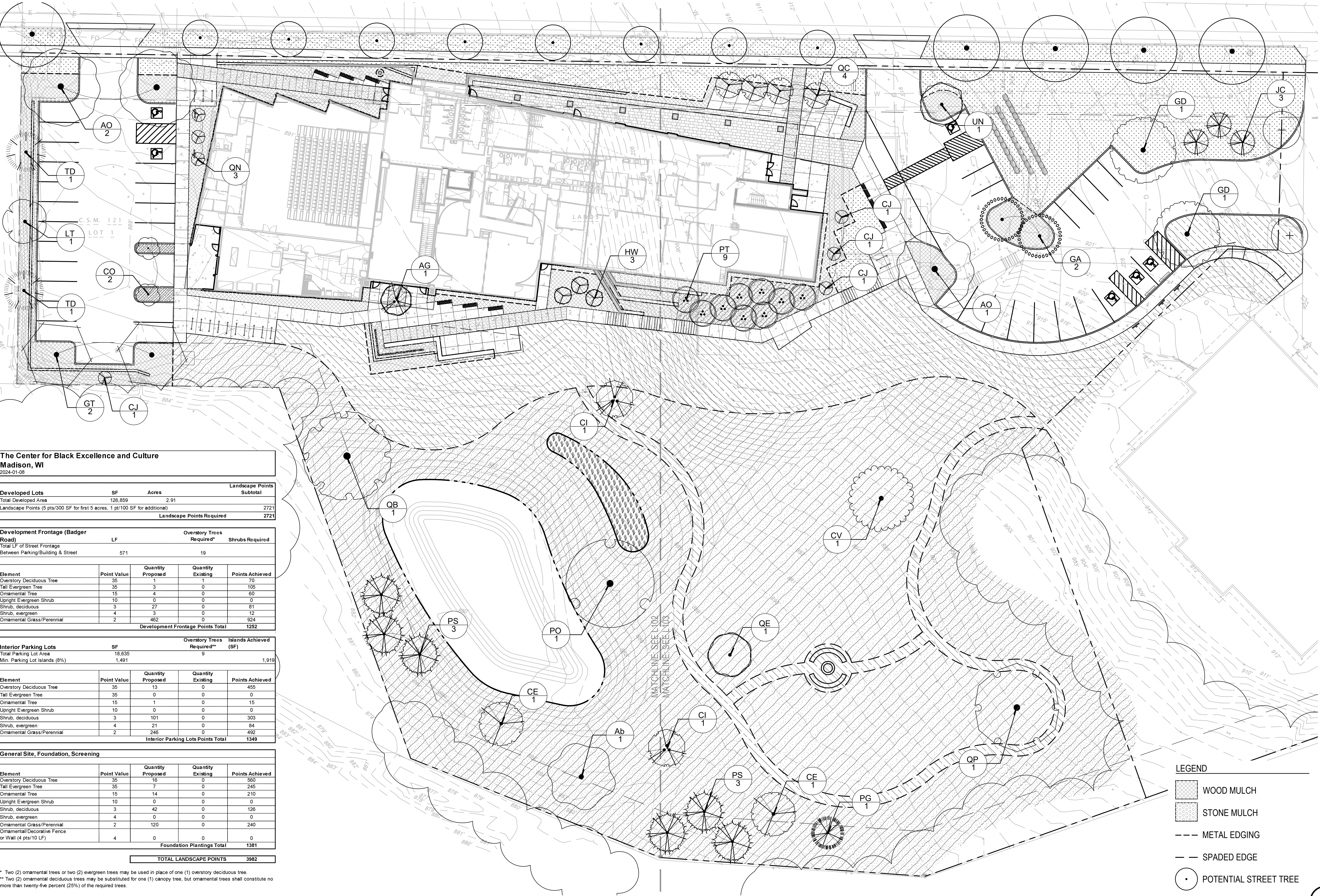
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE:
SPECIALTY PAVEMENTS
AND FURNISHINGS
PLAN

SHEET NUMBER:
L100

PLANT SCHEDULE - TREES

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
DECIDUOUS TREES						EVERGREEN TREES						ORNAMENTAL TREES											
	Ab	Acer saccharum 'Bailei' / Fall Fiesta® Sugar Maple	B & B	3" Cal	1		PO	Platanus occidentalis 'Morton Circle' / Exclamation! American Sycamore	B & B	2.5" Cal	1		JC	Juniperus virginiana 'Canaertii' / Canaertii Eastern Redcedar	B & B	5' HT. (MIN.)	3		AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	8' HT. (MIN.)	1
	AO	Acer x freemanii 'Marmo' / Marmo Freeman Maple	B & B	3" Cal	3		PT	Populus tremuloides 'NE Aris' / Prairie Gold® Quaking Aspen	B & B	8' HT. (MIN.), MULTI-STEMMED	9		PG	Picea glauca densata / Black Hills Spruce	B & B	6' HT. (MIN.)	1		CJ	Carpinus caroliniana 'J.N. Upright' / Firespire American Hornbeam	B & B	2" Cal	4
	CV	Carya ovata / Shagbark Hickory	B & B	2.5" Cal	1		QB	Quercus bicolor / Swamp White Oak	B & B	3" Cal	1		PS	Pinus strobus / White Pine	B & B	6' HT. (MIN.)	6		CE	Cercis canadensis / Eastern Redbud	B & B	2" Cal	2
	CO	Celtis occidentalis 'JFS-KSU1' / Prairie Sentinel® Hackberry	B & B	1.5" Cal	2		QE	Quercus ellipsoidalis / Northern Pin Oak	B & B	3" Cal	1								CI	Crataegus crus-galli inermis / Thornless Cockspur Hawthorn	B & B	6' HT. (MIN.), MULTI-STEMMED	2
	GA	Ginkgo biloba 'Autumn Gold'™ / Autumn Gold Maidenhair Tree	B & B	2" Cal	2		QP	Quercus macrocarpa / Burr Oak	B & B	3" Cal	1								HW	Hamamelis virginiana / Common Witch Hazel	B & B	5' HT. (MIN.), MULTI-STEMMED	3
	GT	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Locust	B & B	2.5" Cal	2		TD	Taxodium distichum / Bald Cypress	B & B	6' HT. (MIN.)	2								QC	Quercus robur x alba 'Crimmschmidt'™ / Crimson Spire Oak	B & B	2" Cal	4
	GD	Gymnocladus dioica 'Espresso' / Espresso Kentucky Coffeetree	B & B	2.5" Cal	2		UN	Ulmus x 'New Horizon' / New Horizon Elm	B & B	2.5" Cal	1								QN	Quercus robur x bicolor 'Nadler'™ / Kindred Spirit Oak	B & B	2.5" Cal	3
	LT	Liriodendron tulipifera / Tulip Tree	B & B	2.5" Cal	1																		








The Center for Black Excellence and Culture Madison, WI 2024-01-08			
Developed Lots	SF	Acres	Landscape Points Subtotal
Total Developed Area	126,889	2.91	
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)			2721
Landscape Points Required			2721
Development Frontage (Badger Road)			
Element	Point Value	Quantity Proposed	Quantity Existing
Overstory Deciduous Tree	35	1	0
Tall Evergreen Tree	35	3	0
Ornamental Tree	15	4	0
Upright Evergreen Shrub	10	0	0
Shrub, deciduous	3	27	0
Shrub, evergreen	4	3	0
Ornamental Grass/Perennial	2	462	0
Development Frontage Points Total			1252
Interior Parking Lots			
Element	Point Value	Quantity Proposed	Quantity Existing
Overstory Deciduous Tree	35	13	0
Tall Evergreen Tree	35	0	0
Ornamental Tree	15	1	0
Upright Evergreen Shrub	10	0	0
Shrub, deciduous	3	101	0
Shrub, evergreen	4	21	0
Ornamental Grass/Perennial	2	245	0
Interior Parking Lots Points Total			492
General Site, Foundation, Screening			
Element	Point Value	Quantity Proposed	Quantity Existing
Overstory Deciduous Tree	35	7	0
Tall Evergreen Tree	35	0	0
Ornamental Tree	15	14	0
Upright Evergreen Shrub	10	0	0
Shrub, deciduous	3	42	0
Shrub, evergreen	4	0	0
Ornamental Grass/Perennial	2	120	0
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0
Foundation Plantings Total			1381
TOTAL LANDSCAPE POINTS			3982

* Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
** Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees.

1 LANDSCAPE PLAN
SCALE: 1" = 20' - 0"

PLANT SCHEDULE -
SEED, PLUGS, AND GROUNDCOVERS

	BLUEGRASS LAWN SOD Blend of Kentucky Bluegrass and Fine Fescues Grown in Mineral Soils	13,356 sf
	BIOFILTRATION BASIN PLUG MIX Allium cernuum / Nodding Onion Andropogon gerardi / Big Bluestem Asclepias incarnata / Swamp Milkweed Baptisia alba / White Wild Indigo Carex albicans / Whitingale Sedge Carex eburnea / Bristleleaf Sedge Carex muskingumensis / Palm Sedge Carex praegracilis / California Field Sedge Dalea purpurea / Purple Prairie Clover Elymus canadensis / Canada Wild Rye Iris versicolor / Blue Flag Liatris spicata / Spike Gayfeather Lobelia spicata / Great Lobelia Monarda fistulosa / Bergamot Panicum virgatum / Switch Grass Pycnanthemum tenuifolium / Slender Mountain Mint Ratibida pinnata / Yellow Coneflower Rudbeckia subtomentosa / Sweet Black-eyed Susan Senna hebecarpa / Wild Senna Siphium perfoliatum / Cup Plant Siphium terebinthaecum / Prairie Dock Sorghastrum nutans / Indian Grass Sporobolus heterolepis / Prairie Dropseed Symphyotrichum nove-angliae / New England Aster Verbena hastata / Blue Vervain Vernonia fasciculata / Ironweed Zizia aurea / Golden Alexander	797 sf
	NATIVE SEED "Diverse Prairie for Dry Soils" seed blend by Prairie Nursery	52,592 sf
	SEEDGE MIX A blend of 5-6 native sedge species, 3" plugs planted 18" on center	1,245 sf
	NO-MOW LAWN "Now Mow Lawn Seed Mix" by Prairie Nursery	37,505 sf

PLAN NOTES

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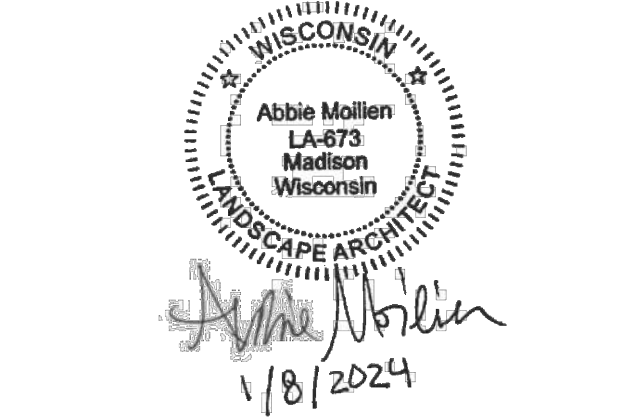


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PROGRESS DOCUMENTS

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DATE OF ISSUANCE: JANUARY 08, 2024

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

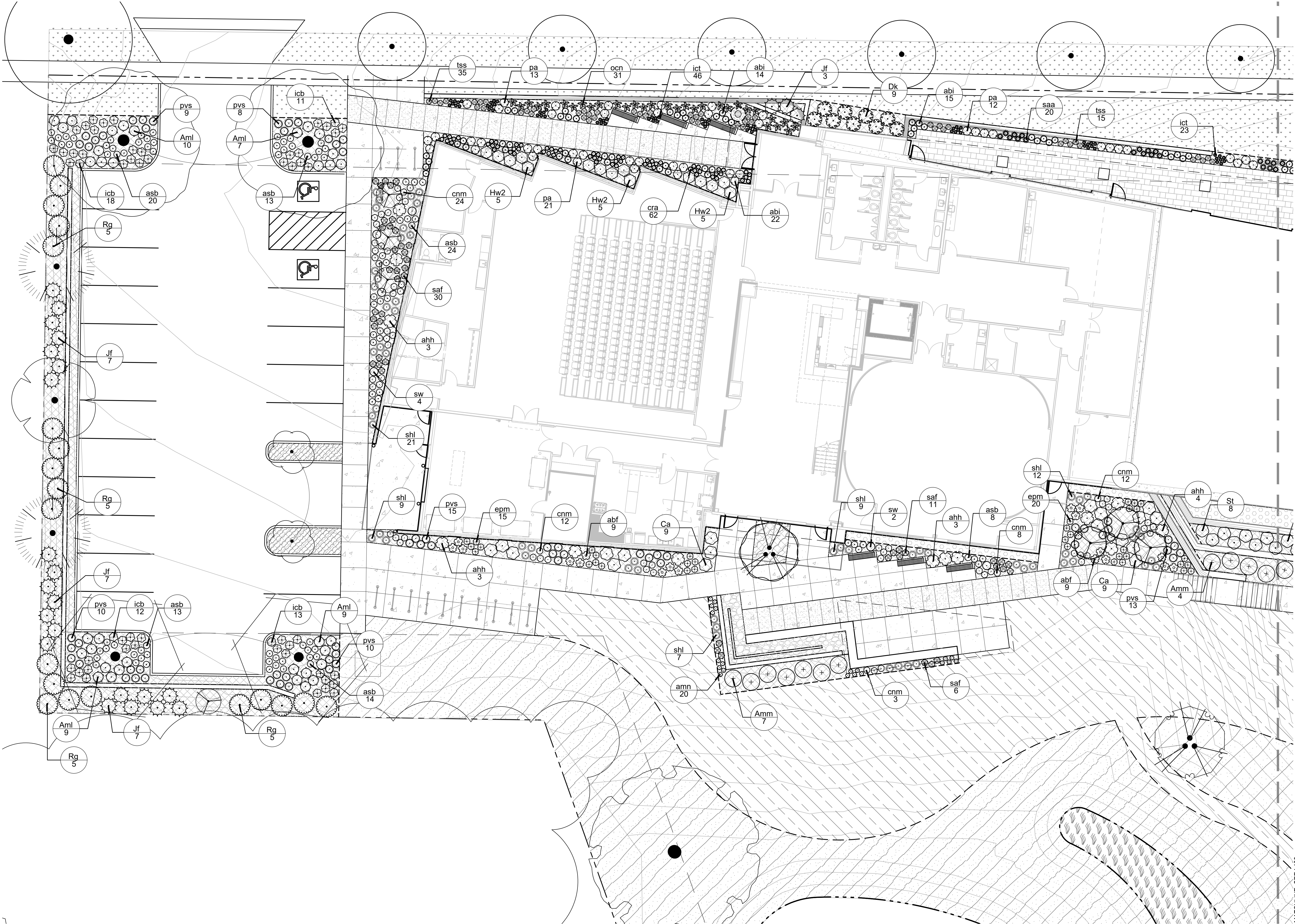
L101

PLANT SCHEDULE - SHRUBS AND PERENNIALS

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
DECIDUOUS SHRUBS						HERBACEOUS PERENNIALS					
	Aml	Aronia melanocarpa 'UCONNAM165' TM / Low Scape Mound Chokeberry	3 gal		35		abf	Agastache x 'Blue Fortune' / Anise Hyssop	1 gal		18
	Amm	Aronia melanocarpa 'Morton' / Iniquis Beauty™ Black Chokeberry	1 gal		11		asb	Allium tangulicum 'Summer Beauty' / Summer Beauty Allium	1 gal	CONT.	92
	Ca	Ceanothus americanus / New Jersey Tea	3 gal		18		amn	Allium x 'Millenium' / Millenium Ornamental Onion	1 gal		20
	Dk	Dierilla lonicera 'Kodak Orange' / Kodak Orange Dwarf Bush Honeysuckle	3 gal	CONT.	9		ahh	Amsonia hubrichtii 'Halfway to Arkansas' / Halfway to Arkansas Narrow Leaf Bluestar	1 gal		13
	Hw2	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	3 gal		15		abi	Amsonia tabernaemontana 'Blue Ice' / Blue Ice Blue Star	1 gal	CONT.	51
	Rg	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	CONT.	20		cnm	Calamintha nepeta 'Montrose White' / Montrose White Lesser Calamint	1 gal		59
	St	Spiraea betulifolia 'Tor' / Tor Birchleaf Spirea	3 gal	CONT.	8		epm	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	1 gal		35
	Jf	Juniperus sabina 'Buffalo' / Buffalo Juniper	3 gal	CONT.	24		ict	Iris cristata / Dwarf Crested Iris	QUART		69
							icb	Iris sibirica 'Caesar's Brother' / Caesar's Brother Siberian Iris	1 gal		54
							ocn	Osundastum cinnamomeum / Cinnamon Fern	1 gal	CONT.	31
							pa	Polystichum acrostichodes / Christmas Fern	1 gal		46

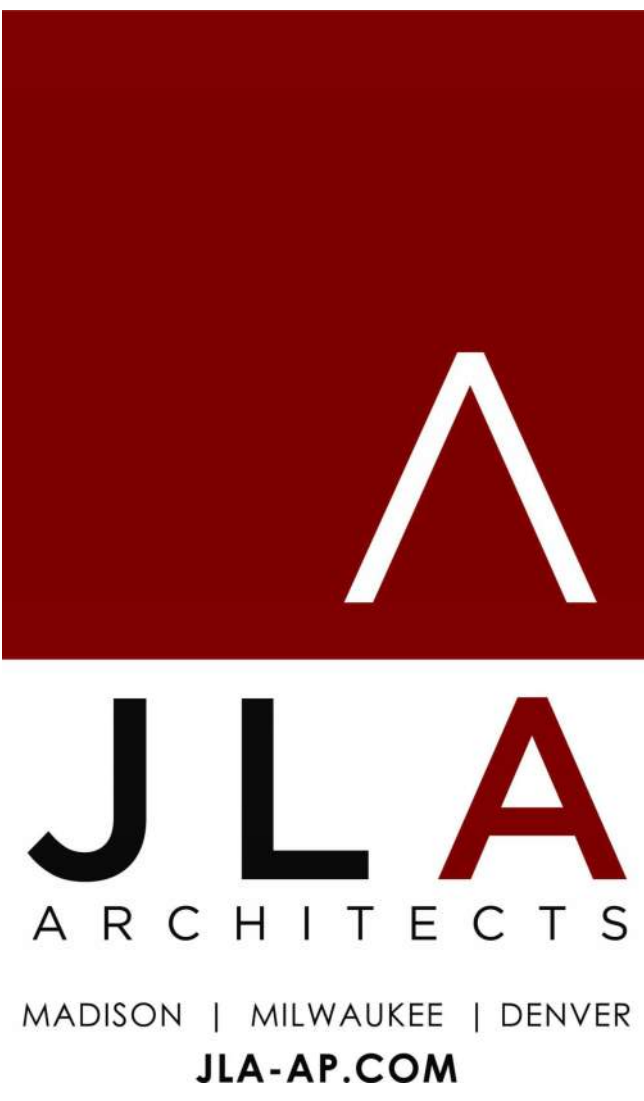
PLANT SCHEDULE - SEED, PLUGS, AND GROUNDCOVERS

	BLUEGRASS LAWN SOD	Blend of Kentucky Bluegrass and Fine Fescues Grown in Mineral Soils
	NATIVE SEED	"Diverse Prairie for Dry Soils" seed blend by Prairie Nursery
	SEEDGE MIX	A blend of 5-8 native sedge species, 3" plugs planted 18" on center
	NO-MOW LAWN	"Now Mow Lawn Seed Mix" by Prairie Nursery



	WOOD MULCH
	STONE MULCH
	METAL EDGING
	SPADED EDGE
	POTENTIAL STREET TREE

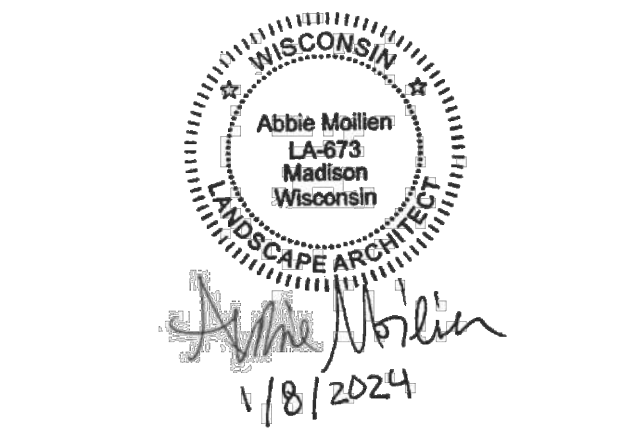
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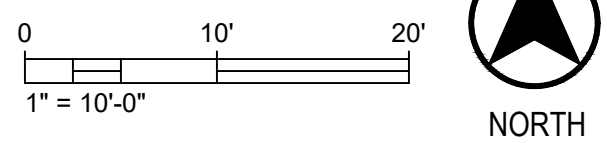
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SHEET TITLE
LANDSCAPE
ENLARGEMENT

SHEET NUMBER
L102

1 LANDSCAPE ENLARGEMENT - WEST
SCALE: 1" = 10' - 0"



PLANT SCHEDULE - SHRUBS AND PERENNIALS

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
DECIDUOUS SHRUBS						HERBACEOUS PERENNIALS						ORNAMENTAL GRASSES					
	Aml	Aronia melanocarpa 'UCONNAM165' TM / Low Scape Mound Chokeberry	3 gal		36		abf	Agastache x 'Blue Fortune' / Anise Hyssop	1 gal		6		pvs	Panicum virgatum 'Shenendoah' / Shenendoah Switch Grass	1 gal		10
	Amm	Aronia melanocarpa 'Morton' / Iroquois Beauty™ Black Chokeberry	1 gal		2		asb	Allium tanguticum 'Summer Beauty' / Summer Beauty Allium	1 gal	CONT.	84		sw	Schizachyrium scoparium 'Little Arrow' / Little Arrow Little Bluestem	1 gal		4
	Ca	Ceanothus americanus / New Jersey Tea	3 gal		3		ahh	Anemone hybrida 'Halfway to Arkansas' / Halfway to Arkansas Narrow Leaf Bluestar	1 gal		5		saa	Sesleria autumnalis / Autumn Moor Grass	1 gal	CONT.	22
	Rg	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	CONT.	10		abi	Anemone tabernaemontana 'Blue Ice' / Blue Ice Blue Star	1 gal	CONT.	21		shl	Sporobolus heterolepis / Prairie Dropseed	1 gal	48" HT.	30
	St	Spiraea betulifolia 'Tor' / Tor Birdleaf Spirea	3 gal	CONT.	3		cnm	Calamintha nepeta 'Montrose White' / Montrose White Lesser Calamint	1 gal		40						
							epm	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	1 gal		11						
							ict	Iris cristata / Dwarf Crested Iris	QUART		24						
							icb	Iris sibirica 'Caesar's Brother' / Caesar's Brother Siberian Iris	1 gal		43						
							pa	Polystichum acrostichoides / Christmas Fern	1 gal		12						
							saf	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal		40						
							tss	Tiarella x 'Spring Symphony' / Spring Symphony Foamflower	5 gal		17						

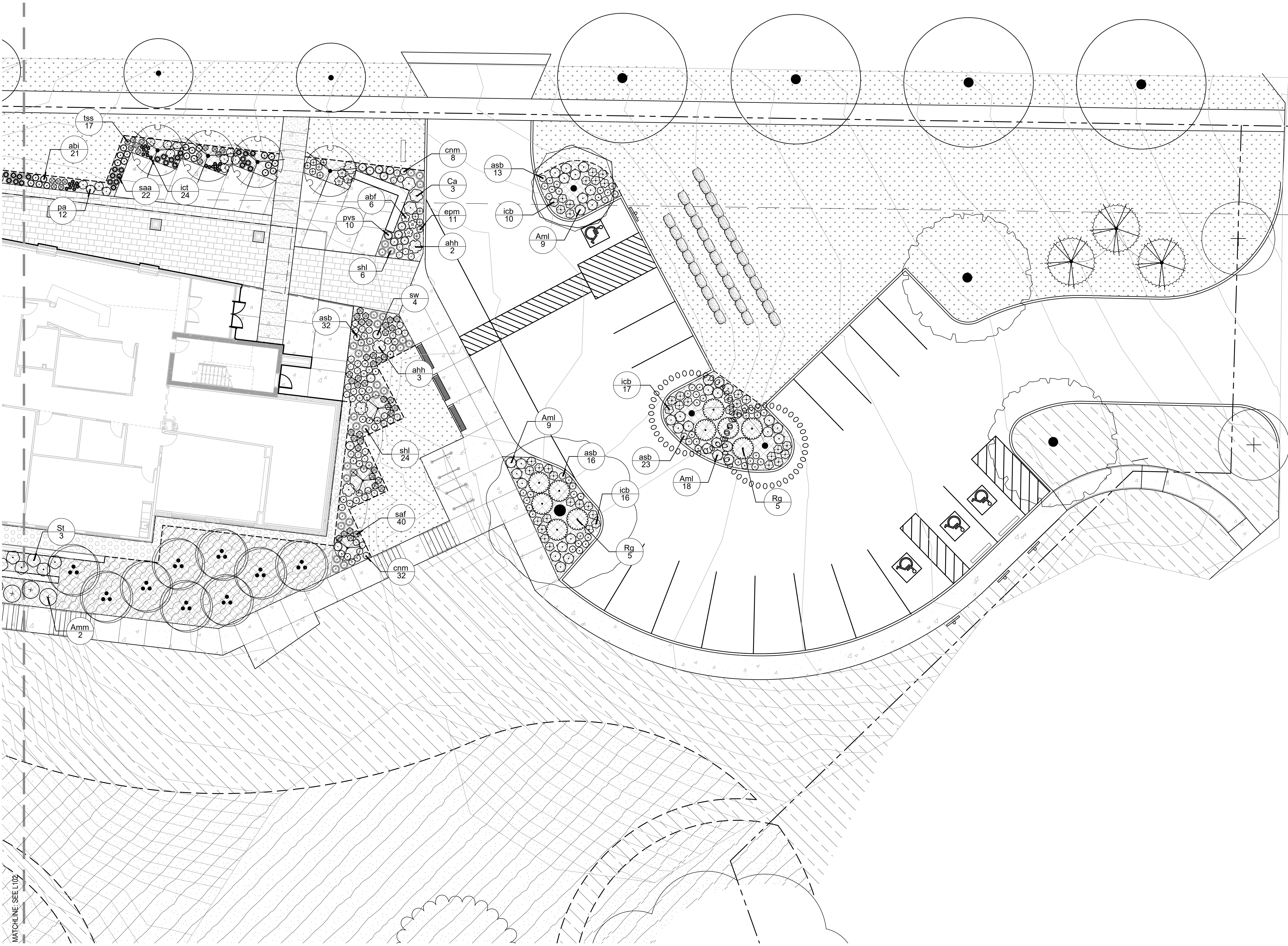
PLANT SCHEDULE - SEED, PLUGS, AND GROUNDCOVERS

- BLUEGRASS LAWN SOD
Blend of Kentucky Bluegrass and Fine Fescues
Grown in Mineral Soils
- NATIVE SEED
"Diverse Prairie for Dry Soils"
seed blend by Prairie Nursery
- SEDGE MIX
A blend of 5-8 native sedge species,
3" plugs planted 18" on center
- NO-MOW LAWN
"No-Mow Lawn Seed Mix"
by Prairie Nursery

- LEGEND
- WOOD MULCH
- STONE MULCH
- METAL EDGING
- SPADED EDGE
- POTENTIAL STREET TREE

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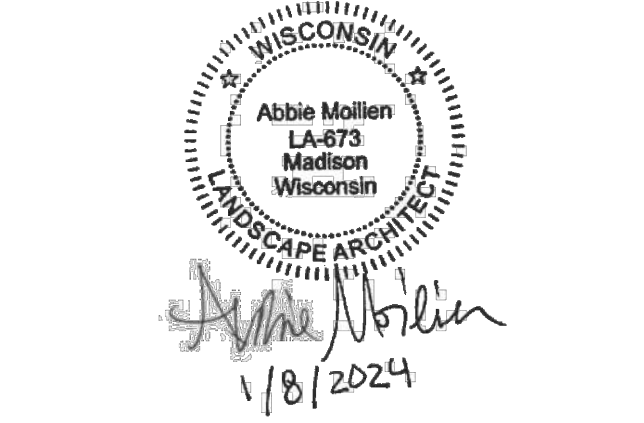


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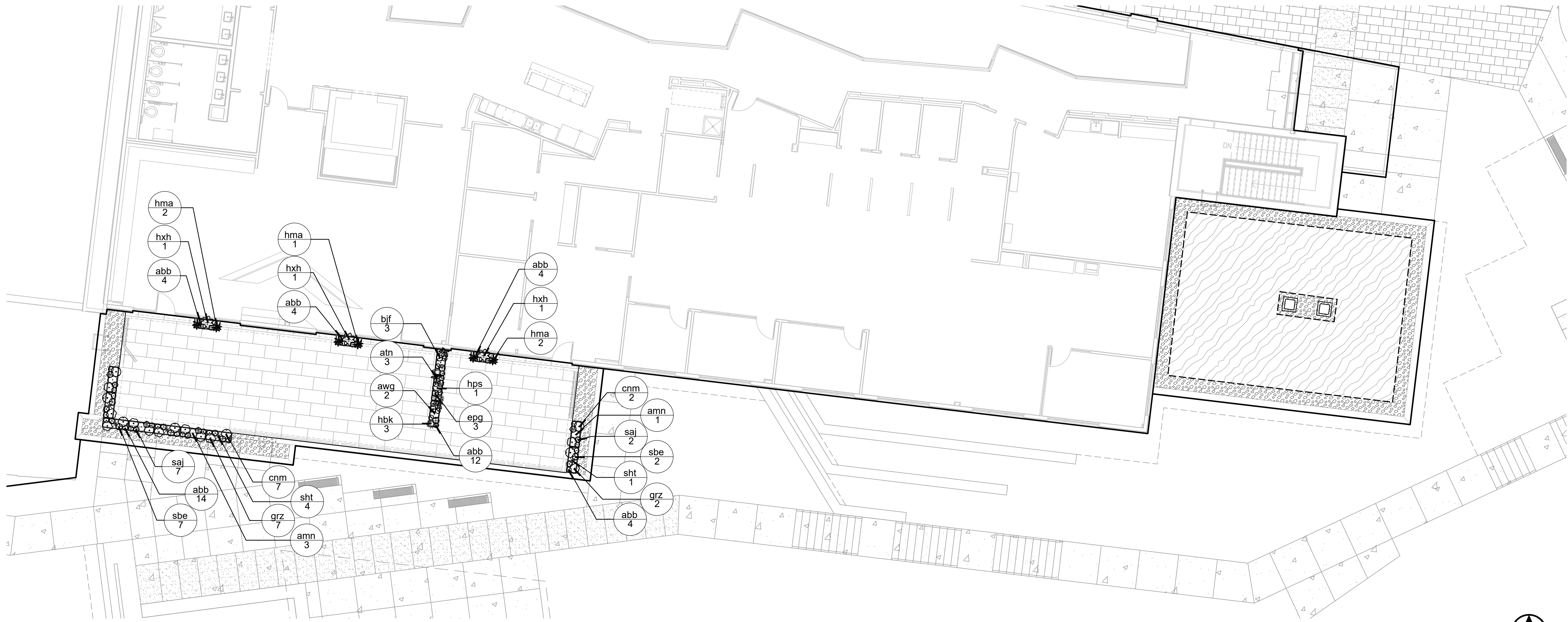


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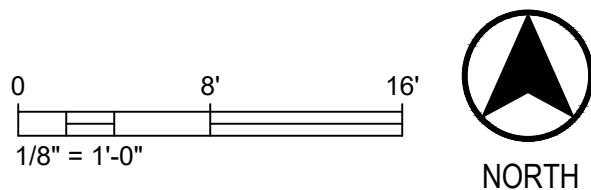
SHEET TITLE
LANDSCAPE
ENLARGEMENT

SHEET NUMBER
L103



- LEGEND
- CONCRETE UNIT PAVERS ON PEDESTALS, THREE COLOR BLEND
 - EXTENSIVE GREEN ROOF
 - STONE BALLAST
 - DRAIN ACCESS HATCH
 - SEPARATION EDGING
 - MOVABLE FRP PLANTER
 - STATIONARY FRP PLANTER

1 GREEN ROOF AND ROOF PATIO PLAN
SCALE: 1/8" = 1'-0"



PLANT SCHEDULE - ROOF PATIO PLANTERS

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
GRASSES					
	hma	Hakonechloa macro 'All Gold' / Japanese Forest Grass	1 gal	CONT.	6
	hbk	Hakonechloa macro 'Beni-kaze' / Beni-kaze Japanese Forest Grass	1 gal	CONT.	3
	sht	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal	CONT.	5
PERENNIALS					
	abb	Ajuga reptans 'Bronze Beauty' / Bronze Beauty Carpet Bugle	1 qt	CONT.	42
	amn	Allium x 'Millenium' / Millenium Ornamental Onion	1 gal	CONT.	4
	awg	Astilbe x arendsi 'White Gloria' / False Spiraea	1 gal	CONT.	2
	atn	Athyrium niponicum / Japanese Painted Fern	1 gal	CONT.	3
	bif	Brunnera macrophylla 'Jack Frost' / Jack Frost Siberian Bugloss	1 gal	CONT.	3
	cnm	Calamintha nepeta 'Montrose White' / White Calamint	1 gal	CONT.	9
	epg	Epimedium grandiflorum / Barrenwort	1 gal	CONT.	3
	grz	Geranium x 'Rozanne' / Rozanne Cranebill	1 gal	CONT.	9
	hps	Heuchera x 'Peppermint Spice' / Coral Bells	1 gal	CONT.	1
	hxh	Hosta x 'Halcyon' / Halcyon Plantain Lily	1 gal	CONT.	3
	saj	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal	CONT.	9
	sbe	Stachys byzantina 'Big Ears' / Big Ears Lamb's Ear	1 qt	CONT.	9

PLANT SCHEDULE - EXTENSIVE GREEN ROOF

SUN [FULL TO PART SUN] SEDUM CARPET SPECIES COMPOSITION:
SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF
THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES,
PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Sedum spurium 'Fuldaglut'
- Sedum spurium 'John Creech'
- Sedum spurium 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
- Sedum acre 'Aureum'
- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Muraie'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

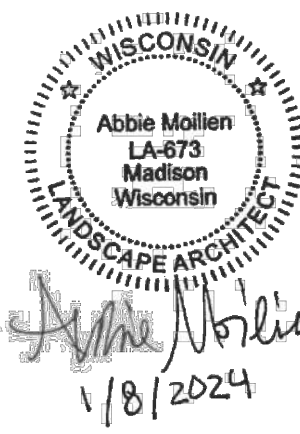


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SHEET TITLE
GREEN ROOF PLANS

SHEET NUMBER
L300

1.	BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD, CONCRETE, OR MASONRY WALLS UNLESS OTHERWISE NOTED.	6.	VERIFY ALL WINDOW, DOOR, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.	11.	INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT DIAGRAMS FOUND ON SHEET G300.
2.	DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PLUMB ALL ROUGH OPENINGS WITH MANUFACTURER.	7.	PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, MECHANICAL ROOMS/ CLOSETS, AND PLUMBING WALLS.	12.	ALL WINDOWS & DOORS SHALL BE AS NOTED IN THE SPECIFICATIONS MATERIAL AND AS INDICATED ON THE DOOR AND WINDOW SCHEDULES.
3.	STOREFRONT LOCATIONS ARE DIMENSIONED TO THE ROUGH OPENING.	8.	PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS.		
4.	VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.	9.	PROVIDE FIREBLOCKING PER 2021 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.		
5.	ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. WOOD USED IN CONSTRUCTION SHALL BE FIRE TREATED.	10.	FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.		
		11.	CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.		



JLA PROJECT NUMBER: 21-0102

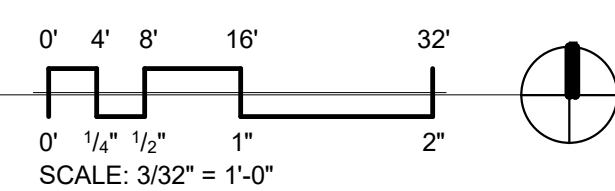
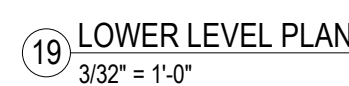
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REVISION SCHEDULE		
Mark	Description	Date

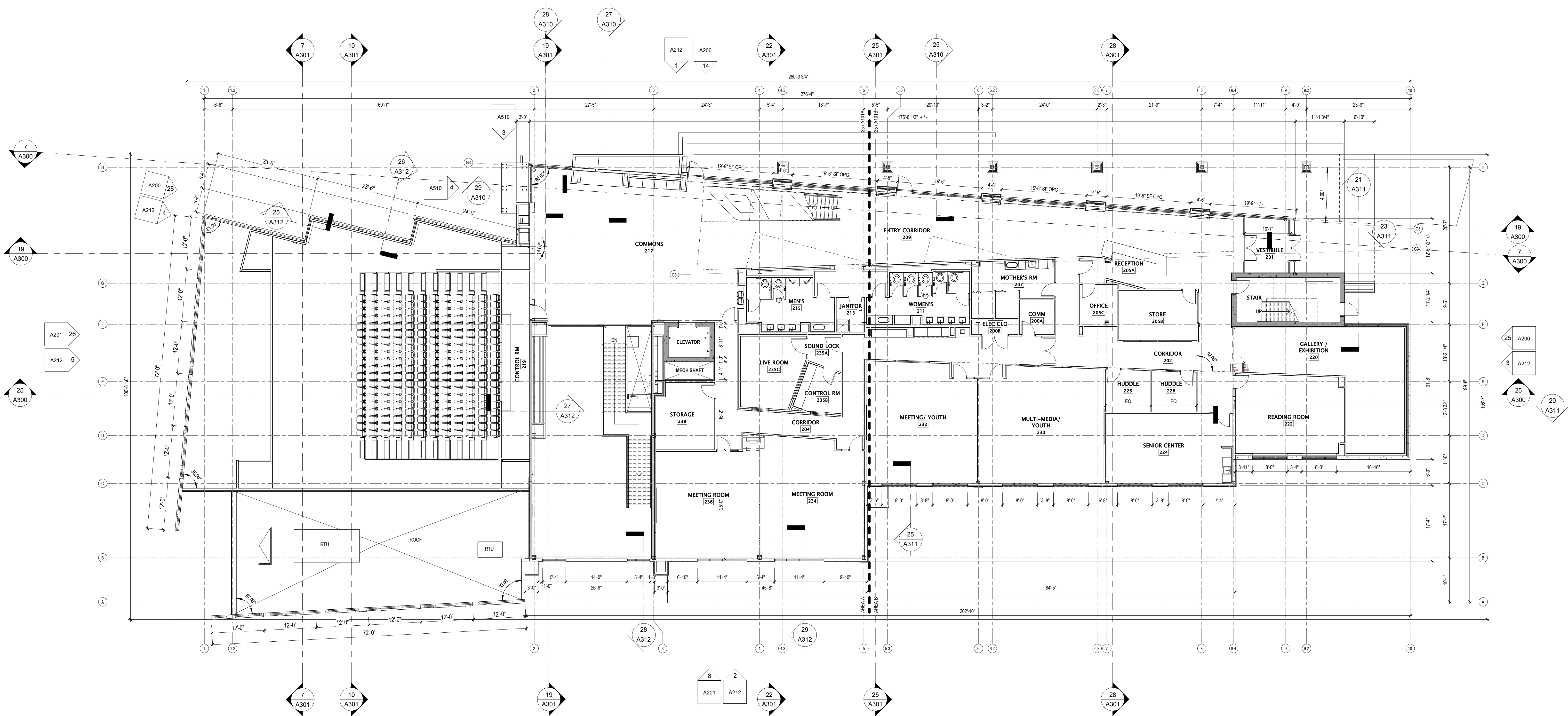
LOWER LEVEL FLOOR
PLAN

A 100

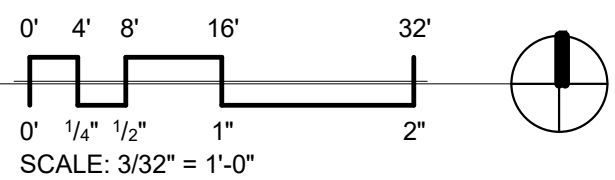


KEYNOTE LEGEND	
Key Value	Keynote Text

GENERAL PLAN NOTES		
1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD, CONCRETE, OR MASONRY WALLS UNLESS OTHERWISE NOTED.	6. VERIFY ALL WINDOW, DOOR, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.	11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT DIAGRAMS FOUND ON SHEET G300.
2. DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.	7. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, MECHANICAL ROOMS/ CLOSETS, AND PLUMBING WALLS.	12. ALL WINDOWS & DOORS SHALL BE AS NOTED IN THE SPECIFICATIONS MANUAL AND AS INDICATED ON THE DOOR AND WINDOW SCHEDULES.
3. STOREFRONT LOCATIONS ARE DIMENSIONED TO THE ROUGH OPENING.	8. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS.	
4. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.	9. PROVIDE FIREBLOCKING PER 2021 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.	
5. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. WOOD USED IN CONSTRUCTION SHALL BE FIRE TREATED.	10. FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINETRY ENDS.	
	11. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.	



19 MAIN LEVEL PLAN
3/32" = 1'-0"

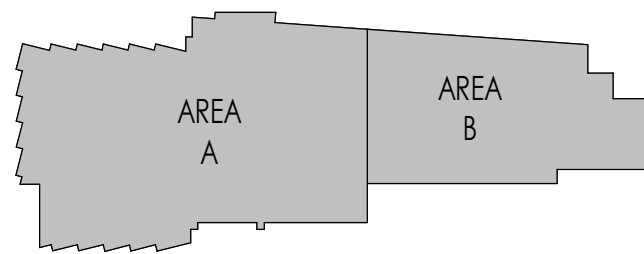


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KEY PLAN PROGRESS DOCUMENTS

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DATE OF ISSUANCE: JANUARY 8, 2024

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Mark	Description	Date

SHEET TITLE:

MAIN LEVEL FLOOR
PLAN

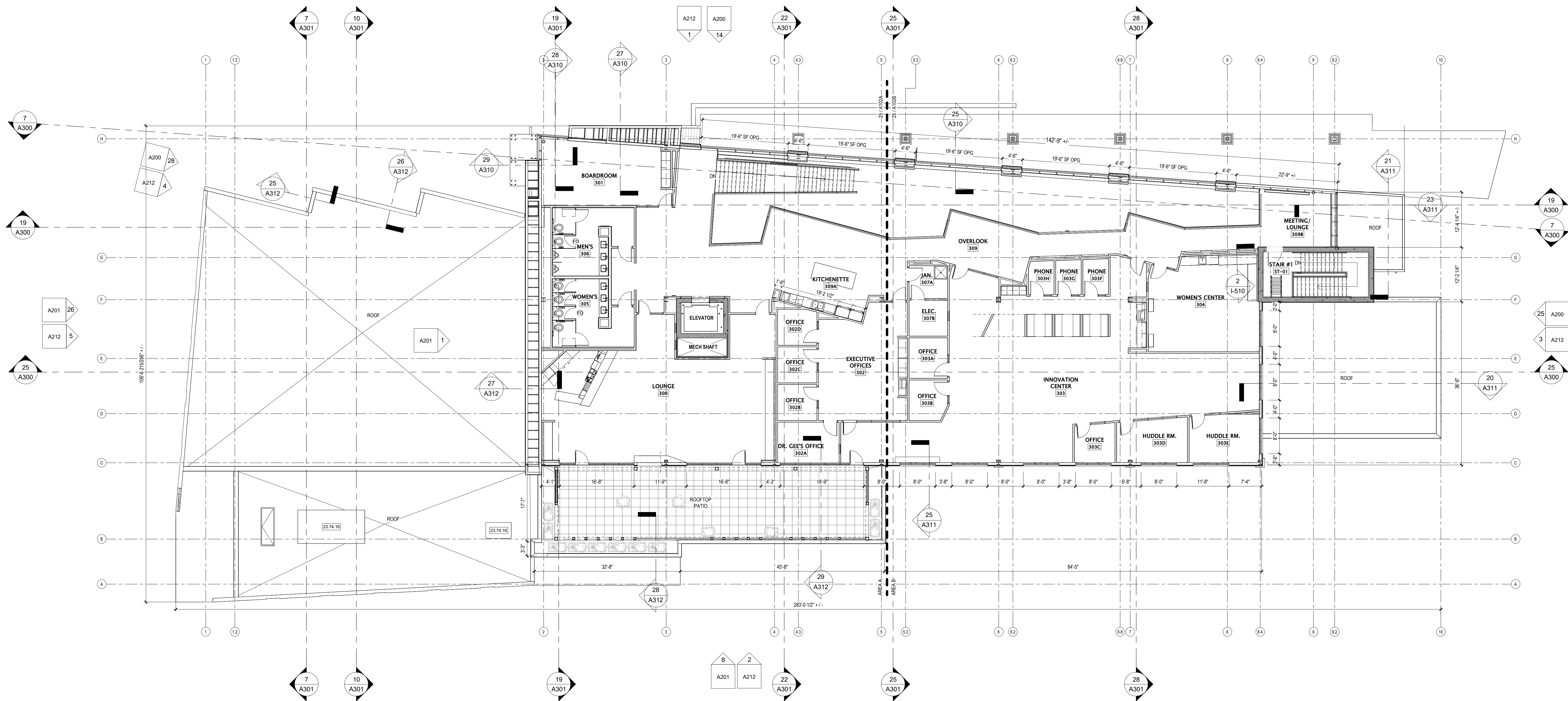
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A101

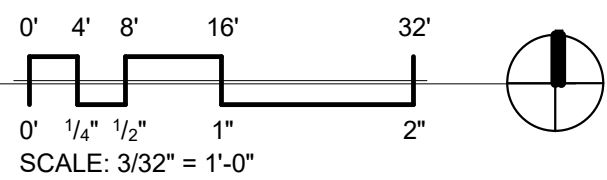
KEYNOTE LEGEND	
Key Value	Keynote Text
23.74.16	PROPOSED PACKAGED ROOFTOP AIR CONDITIONING UNIT LOCATION; COORD. INSTALL REGS. & LOCATION W/ MECH. SUBCONTRACTOR, ROOF MFR, & ROOFING SUBCONTRACTOR

GENERAL PLAN NOTES

- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD, CONCRETE, OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- STOREFRONT LOCATIONS ARE DIMENSIONED TO THE ROUGH OPENING.
- VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. WOOD USED IN CONSTRUCTION SHALL BE FIRE TREATED.
- VERIFY ALL WINDOW, DOOR, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, MECHANICAL ROOMS/ CLOSETS, AND PLUMBING WALLS.
- PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS.
- PROVIDE FIREBLOCKING PER 2021 IBC 718.2.1 - TYPICAL THROUGHOUT ENTIRE BUILDING.
- FIELD VERIFY ALL CABINERY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINERY ENDS.
- CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT DIAGRAMS FOUND ON SHEET G300.
- ALL WINDOWS & DOORS SHALL BE AS NOTED IN THE SPECIFICATIONS MANUAL AND AS INDICATED ON THE DOOR AND WINDOW SCHEDULES.



19 UPPER LEVEL PLAN
3/32" = 1'-0"

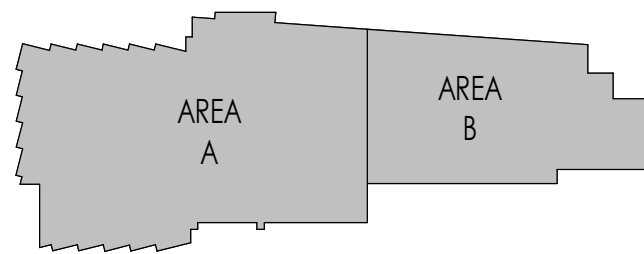


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Mark	Description	Date

SHEET TITLE:

UPPER LEVEL FLOOR
PLAN

SHEET NUMBER:

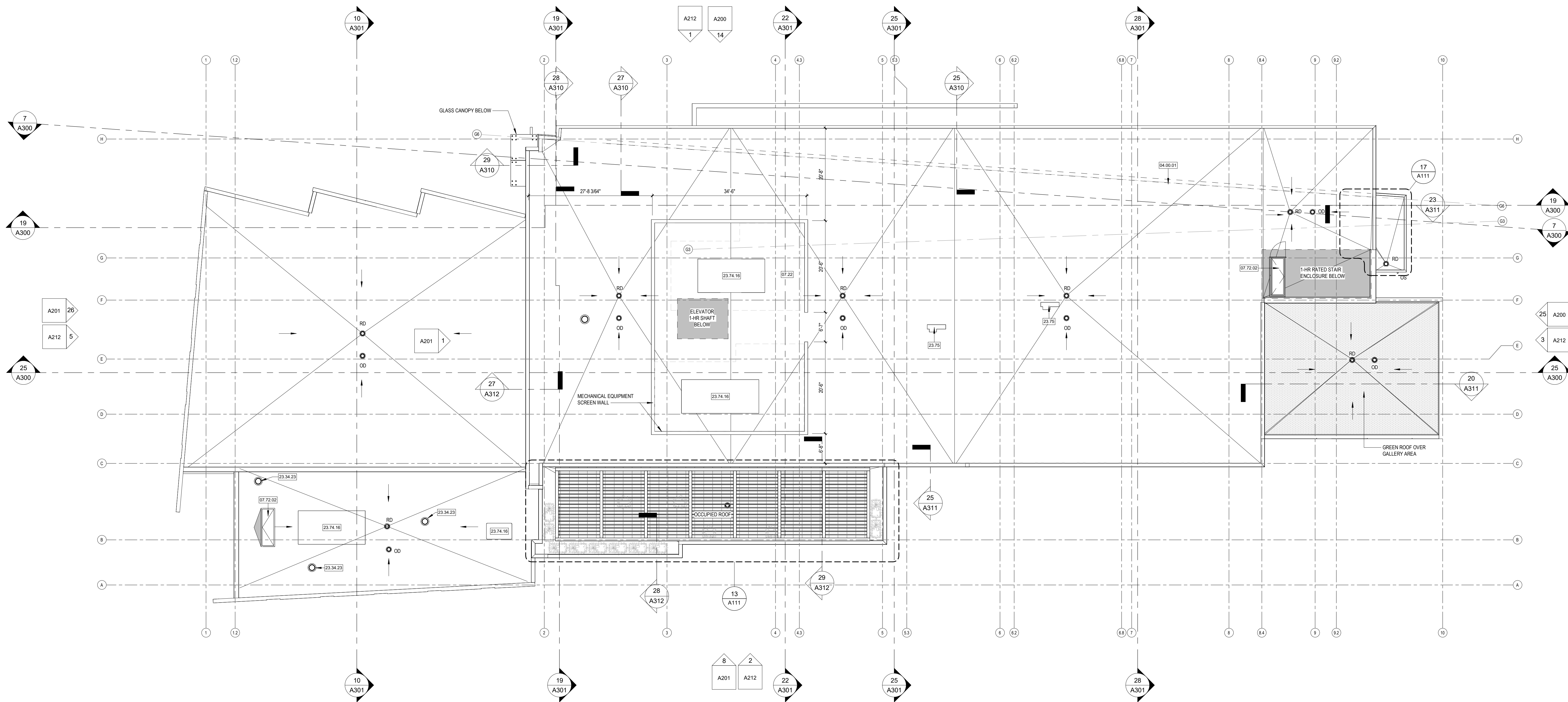
A102

ROOF NOTES

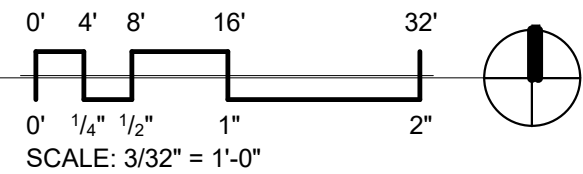
- ROOF SHALL BE ROOF ASSEMBLY - SR1, UNLESS NOTED OTHERWISE. TAPERED INSULATION PITCHED AT 1/4" PER FOOT (MINIMUM) SHALL PROVIDE ROOF DRAINAGE. SEE A301 FOR FOR ROOF ASSEMBLY DESCRIPTIONS.
- PROVIDE TAPERED INSULATION BOARD OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/ OR CRICKETS WHERE NECESSARY.
- ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- PROVIDE WATERTIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
- VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHERTIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
- PLUMBING CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT BELOW.
- PROVIDE PREFINISHED SHEET METAL COPINGS PER PLANS. REFER TO EXTERIOR ELEVATIONS' MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
- ROOF DRAINS AND/ OR RAIN LEADERS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL COORDINATE FINAL ROOF DRAIN/ RAIN LEADER LOCATIONS WITH ARCHITECT, AND SIZES BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.

KEYNOTE LEGEND

Key Value	Keynote Text
04.00.01	EXTERIOR WALL BELOW (SHOWN DASHED).
07.22	TAPERED RIGID INSUL. ROOF CRICKETS; SEE ROOF ASSEMBLYS FOR CONSTRUCTION INFO. SEE ROOF PLAN FOR SLOPES.
07.72.02	18"X14" RIGID CLASS II ROOF HATCH COORD. INSTALL REGS. LOCATION, & SIZE W/ ROOF TRUSS MFR.
23.34.23	PROPOSED HVAC POWER VENTILATOR LOCATION; COORD. INSTALL REGS. & LOCATION W/ MECH SUBCONTRACTOR, ROOF MFR. & ROOFING SUBCONTRACTOR.
23.74.16	PROPOSED PACKAGED ROOFTOP AIR CONDITIONING UNIT LOCATION; COORD. INSTALL REGS. & LOCATION W/ MECH SUBCONTRACTOR, ROOF MFR. & ROOFING SUBCONTRACTOR.
23.75	PROPOSED HEAT PUMP/RTF OUTDOOR UNIT; COORD. INSTALL REGS. LOCATION, & SIZE W/ MECH SUBCONTRACTOR.



19 ROOF PLAN
3/32" = 1'-0"



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DATE OF ISSUANCE JANUARY 8, 2024

REVISION SCHEDULE

Mark	Description	Date
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A110

ROOF NOTES	
1. ROOF SHALL BE ROOF ASSEMBLY - SR1, UNLESS NOTED OTHERWISE. TAPERED INSULATION PITCHED AT 1/4" PER FOOT (MINIMUM) SHALL PROVIDE ROOF DRAINAGE. SEE A501 FOR ROOF ASSEMBLY DESCRIPTIONS.	6. DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHERIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
2. PROVIDE TAPERED INSULATION BOARD OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND / OR CRICKETS WHERE NECESSARY.	7. OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
3. ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.	8. PLUMBING CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT BELOW.
4. PROVIDE WATERIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.	9. PROVIDE PREFINISHED SHEET METAL COPINGS PER PLANS. REFER TO EXTERIOR ELEVATIONS' MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
5. VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.	10. ROOF DRAINS AND / OR RAIN LEADERS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL COORDINATE FINAL ROOF DRAIN RAIN LEADER LOCATIONS WITH ARCHITECT AND SIZES BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.

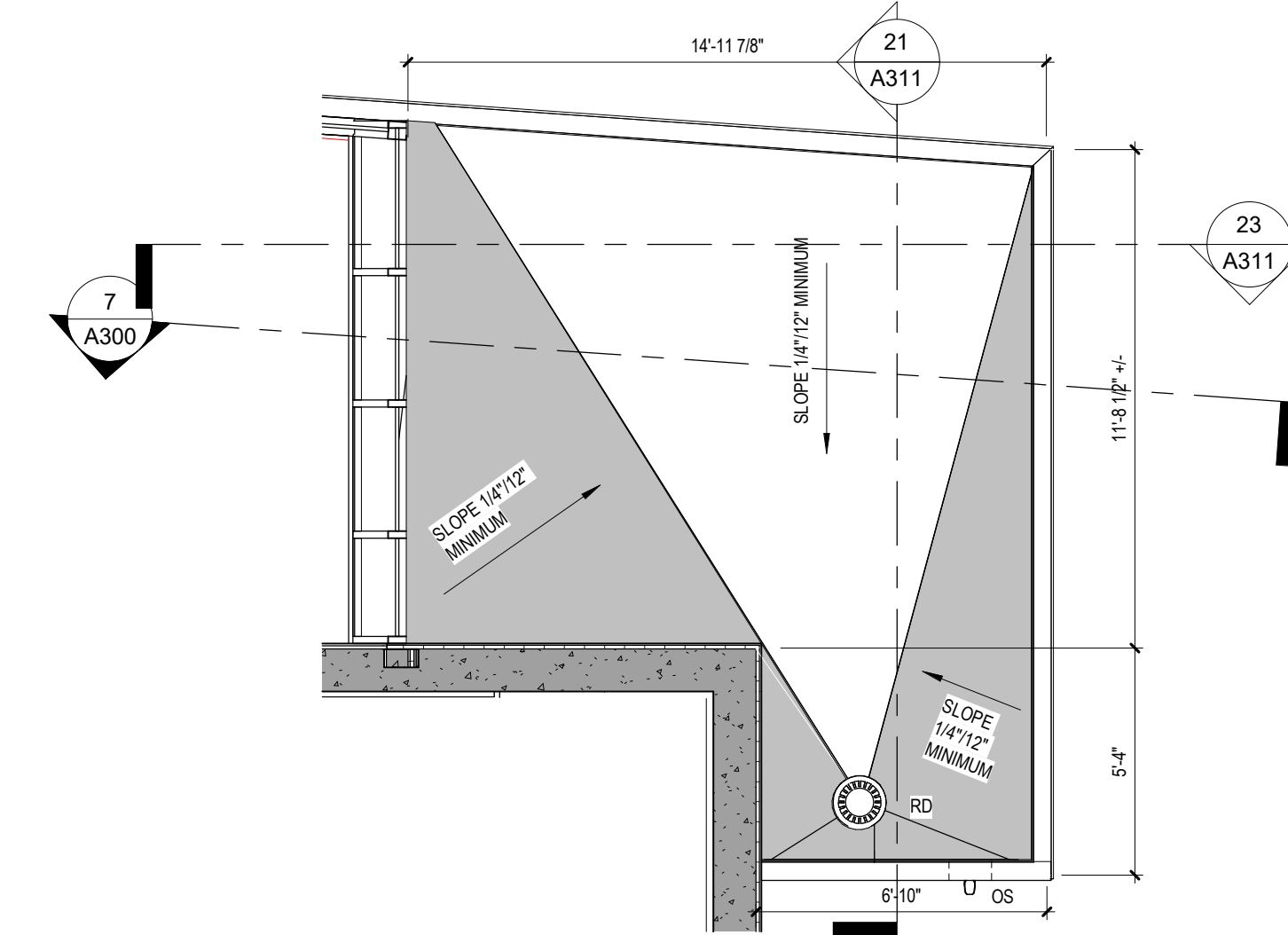


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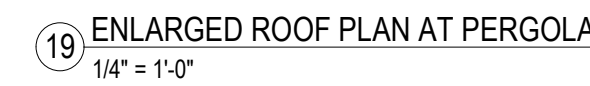
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SHEET NUMBER

A111

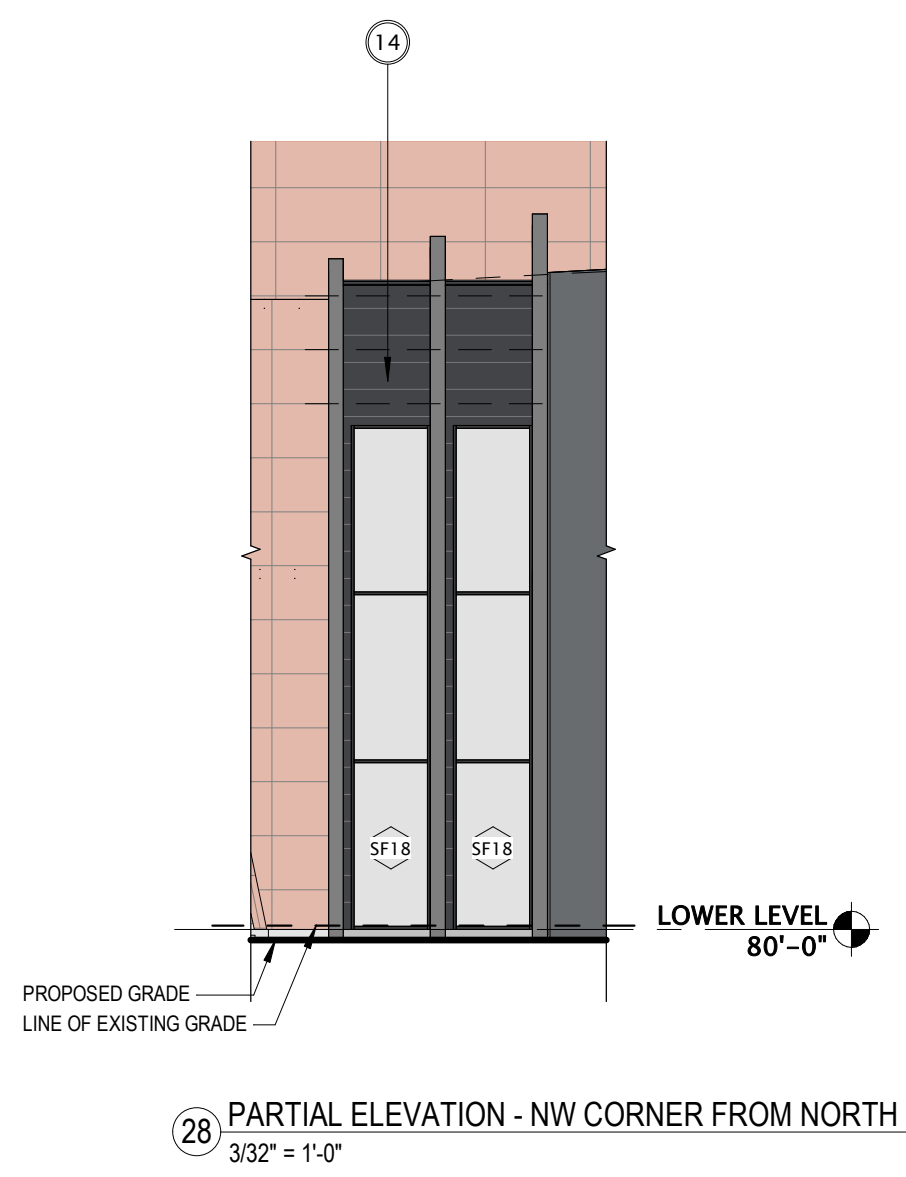
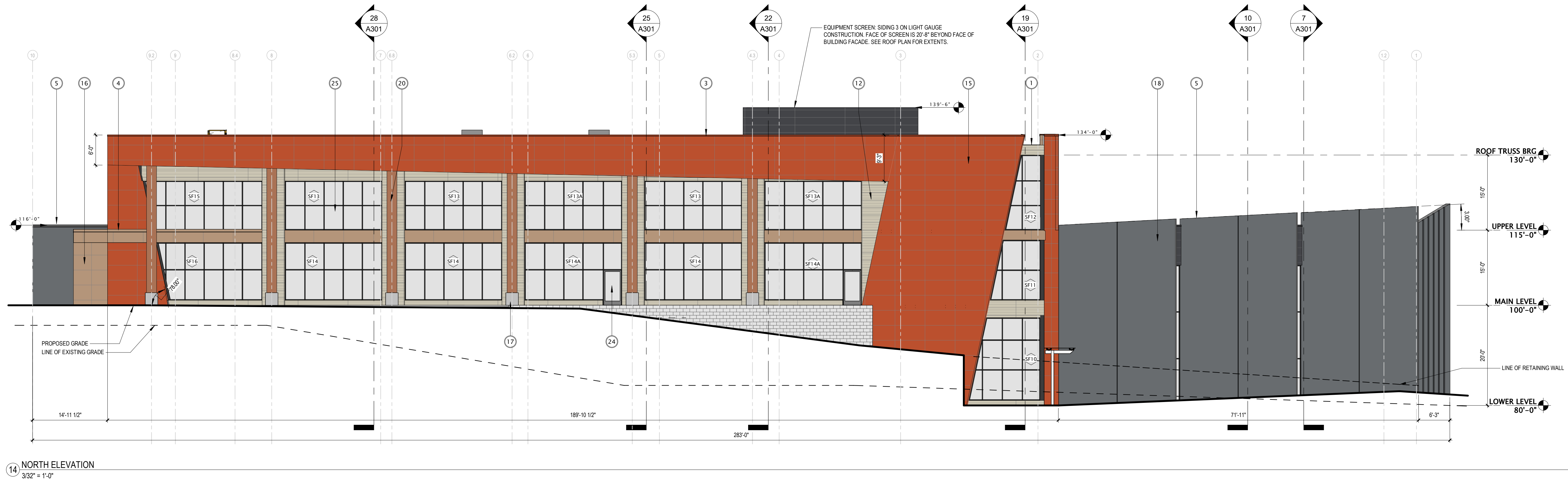


17 ENLARGED ROOF PLAN - ENTRY CANOPY
1/4" = 1'-0"



EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 1	
2	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 3	
3	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 4	
4	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 5	
5	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 6	
6	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH CONCRETE WALL	
7	SOFFIT	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	COLOR TO MATCH ADJACENT FACADE	
12	SIDING - 1 (BEIGE)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	STRAHL BEIGE (HORIZONTAL)	
13	SIDING - 2 (BEIGE)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	STRAHL BEIGE (VERTICAL)	
14	SIDING - 3 (CHARCOAL)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	CASHMERE SMOOTH CHARCOAL (HORIZONTAL)	
15	SIDING - 4 (COPPER)	ALPOLIC	PREFINISHED METAL PANEL	SEE ELEVATIONS	DXC METALLIC COPPER	
16	SIDING - 5 (BRONZE)	ALPOLIC	PREFINISHED METAL PANEL	SEE ELEVATIONS	MBX METALLIC BRONZE	
17	SIDING - 6 (GRAY)	REALCAST CONCRETE	CONCRETE PANEL	48"x48"	TBD	
18	CONCRETE TILT-UP	WELLS - OR EQUAL	SANDWICH PANEL	SEE ELEVATIONS	BLACK ACID ETCH	
19	SIDING - 7 (DARK)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	ELEMENTS BLACKEN STEEL	
20	DISCONTINUOUS COLUMN	TRESPAN METEON	WOOD-LOOK PANEL WRAPPED	SEE ELEVATIONS	WOOD GRAINS WESTERN RED CEDAR	
21	STEEL ENTRY DOOR	STEELCRAFT - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAINT TO MATCH ADJACENT MATERIALS	
22	PATIO RAILING	TBD	CABLE RAILING AND ALUMINUM	SEE PLAN	TBD	
23	OVERHEAD GARAGE DOOR	CLIPRAY - OR EQUAL	INSULATED STEEL	SEE DOOR SCHEDULE	PAINT TO MATCH ADJACENT MATERIALS	
24	ALUMINUM ENTRANCE DOOR(S)	KAWNEER - OR EQUAL	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	BLACK	
25	ALUMINUM STOREFRONT	KAWNEER - OR EQUAL	TRIFAB 451T	SEE DOOR SCHEDULE	BLACK	

KEYNOTE LEGEND	
Key Value	Keynote Text



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE:

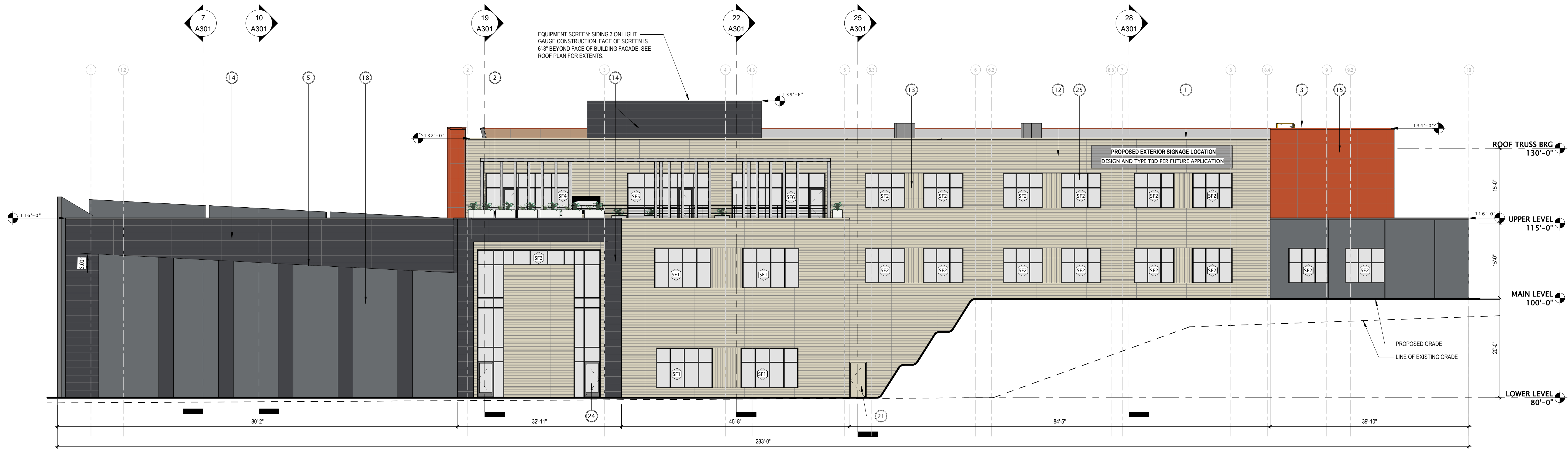
EXTERIOR ELEVATIONS

SHEET NUMBER:

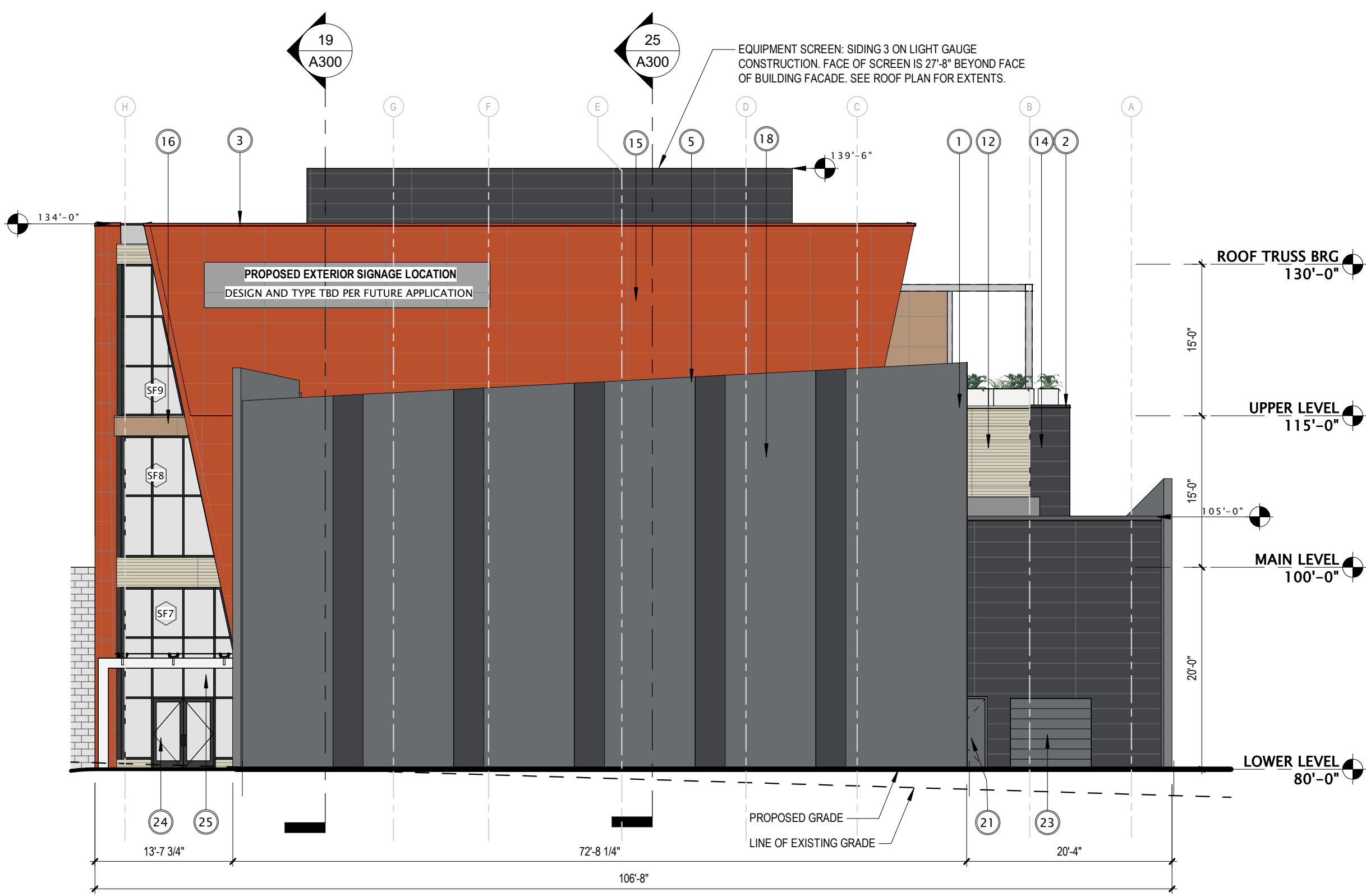
A200

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 1	
2	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 3	
3	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 4	
4	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 5	
5	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 6	
6	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH CONCRETE WALL	
7	SOFFIT	CERACLAD	COMPOSITE PANEL	SEE PLANS	COLOR TO MATCH ADJACENT FACADE	
12	SIDING - 1 (BEIGE)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	STRAHL BEIGE (HORIZONTAL)	
13	SIDING - 2 (BEIGE)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	STRAHL BEIGE (VERTICAL)	
14	SIDING - 3 (CHARCOAL)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	CASHMERE SMOOTH CHARCOAL (HORIZONTAL)	
15	SIDING - 4 (COPPER)	ALPOLIC	PREFINISHED METAL PANEL	SEE ELEVATIONS	CWC METALLIC COPPER	
16	SIDING - 5 (BRONZE)	ALPOLIC	PREFINISHED METAL PANEL	SEE ELEVATIONS	MBX METALLIC BRONZE	
17	SIDING - 6 (GRAY)	REALCAST CONCRETE	CONCRETE PANEL	48" x 48"	TBD	
18	CONCRETE TILT-UP	WELLS - OR EQUAL	SANDWICH PANEL	SEE ELEVATIONS	BLACK ACID ETCH	
19	SIDING - 7 (DARK)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	ELEMENTS BLACKEN STEEL	
20	DECORATIVE COLUMN	TRESPA METEON	WOOD-LOOK PANEL WRAPPED	SEE ELEVATIONS	WOOD DECORS WESTERN RED CEDAR	
21	STEEL ENTRY DOOR	STEELCRAFT - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAINT TO MATCH ADJACENT MATERIALS	
22	PATIO RAILING	TBD	CABLE RAILING AND ALUMINUM	SEE PLAN	TBD	
23	OVERHEAD GARAGE DOOR	OLSPAY - OR EQUAL	INSULATED STEEL	SEE DOOR SCHEDULE	PAINT TO MATCH ADJACENT MATERIALS	
24	ALUMINUM ENTRANCE DOOR(S)	KAWNEER - OR EQUAL	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	BLACK	
25	ALUMINUM STOREFRONT	KAWNEER - OR EQUAL	TRIFAB 451T	SEE DOOR SCHEDULE	BLACK	

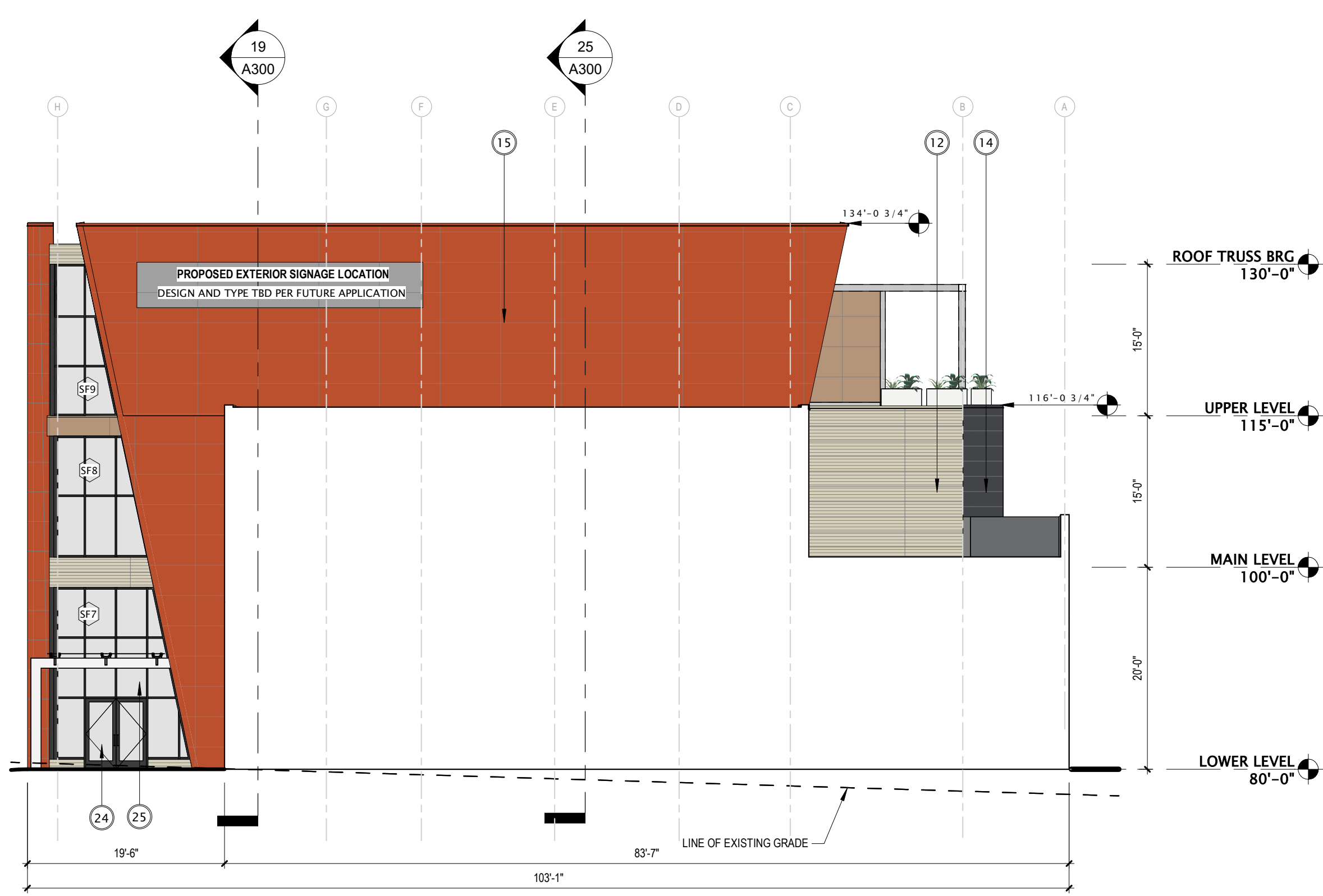
KEYNOTE LEGEND	
Key Value	Keynote Text



8 SOUTH ELEVATION
3/32" = 1'-0"



26 WEST ELEVATION
3/32" = 1'-0"



1 WEST ELEVATION - BACK WALL
3/32" = 1'-0"



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REVISION SCHEDULE		
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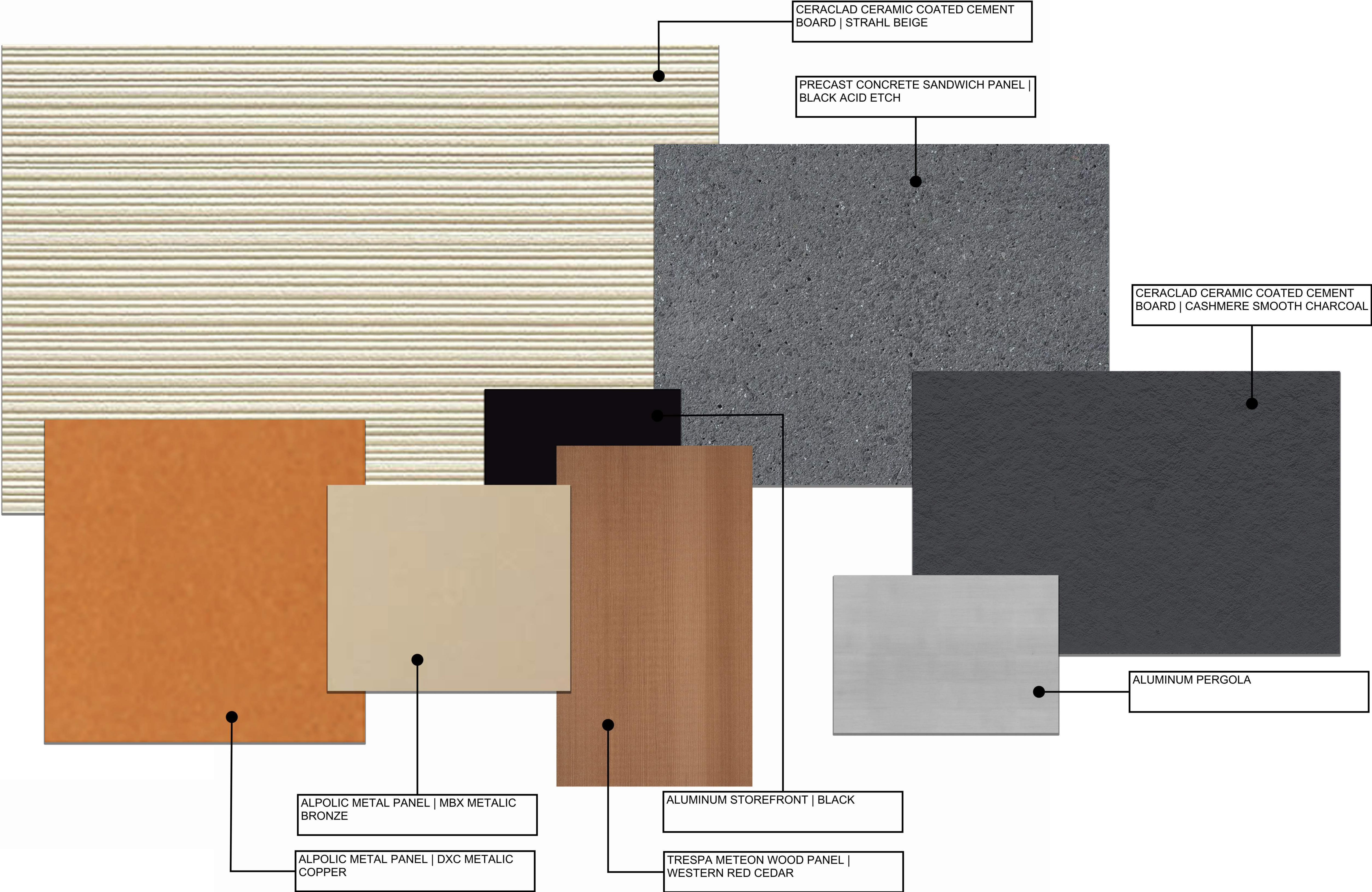
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 1	
2	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 3	
3	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 4	
4	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 5	
5	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH SIDING 6	
6	METAL WALL CAP	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	COLOR TO MATCH CONCRETE WALL	
7	SOFFIT	CERACLAD	COMPOSITE PANEL		COLOR TO MATCH ADJACENT FACADE	
12	SIDING - 1 (BEIGE)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	STRAHL BEIGE (HORIZONTAL)	
13	SIDING - 2 (BEIGE)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	STRAHL BEIGE (VERTICAL)	
14	SIDING - 3 (CHARCOAL)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	CASHMERE SMOOTH CHARCOAL (HORIZONTAL)	
15	SIDING - 4 (COPPER)	ALPOLIC	PREFINISHED METAL PANEL	SEE ELEVATIONS	DXC METALLIC COPPER	
16	SIDING - 5 (BRONZE)	ALPOLIC	PREFINISHED METAL PANEL	SEE ELEVATIONS	MBX METALLIC BRONZE	
17	SIDING - 6 (GRAY)	REALCAST CONCRETE	CONCRETE PANEL	48" x 48"	TBD	
18	CONCRETE TILT-UP	WELLS - OR EQUAL	SANDWICH PANEL	SEE ELEVATIONS	BLACK ACID ETCH	
19	SIDING - 7 (DARK)	CERACLAD	COMPOSITE PANEL	SEE ELEVATIONS	ELEMENTS BLACKEN STEEL	
20	DECORATIVE COLUMN	TRESPA METEON	WOOD-LOOK PANEL WRAPPED	SEE ELEVATIONS	WOOD DECORS WESTERN RED CEDAR	
21	STEEL ENTRY DOOR	STEELCRAFT - OR EQUAL	INSULATED	SEE DOOR SCHEDULE	PAINT TO MATCH ADJACENT MATERIALS	
22	PATIO RAILING	TBD	CABLE RAILING AND ALUMINUM	SEE PLAN	TBD	
23	OVERHEAD GARAGE DOOR	CLOPAY - OR EQUAL	INSULATED STEEL	SEE DOOR SCHEDULE	PAINT TO MATCH ADJACENT MATERIALS	
24	ALUMINUM ENTRANCE DOOR(S)	KAWNEER - OR EQUAL	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	BLACK	
25	ALUMINUM STOREFRONT	KAWNEER - OR EQUAL	TRIFAB 451T	SEE DOOR SCHEDULE	BLACK	



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THE CENTER FOR
BLACK EXCELLENCE
AND CULTURE

LAND USE & DEMOLITION PERMIT
SUBMITTAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE JANUARY 8, 2024

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BUILDING MATERIALS

SHEET NUMBER

A210

WINDOW DESIGNATION	WIDTH	HEIGHT	AREA	WALL DESIGNATION									
				SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION			
				# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA		
STORE FRONT 1	11.3	8.0	90.0	4.0	360.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT 2	8.0	7.0	56.0	14.0	784.0	3.0	168.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT 3 (TRAPEZOID SHAPE)			334.0	1.0	334.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT 4	16.8	10.0	167.5	1.0	167.5	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT 5	16.8	10.0	167.5	1.0	167.5	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT 6	18.8	10.0	187.5	1.0	187.5	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT 7 (TRAPEZOID SHAPE)			185.0		0.0	0.0	0.0	0.0	0.0	1.0	185.0	0.0	0.0
STORE FRONT 8 (TRAPEZOID SHAPE)			87.0		0.0	0.0	0.0	0.0	0.0	1.0	87.0	0.0	0.0
STORE FRONT 9 (TRAPEZOID SHAPE)			61.0		0.0	0.0	0.0	0.0	0.0	1.0	61.0	0.0	0.0
STORE FRONT S10 (TRAPEZOID SHAPE)			197.0		0.0	0.0	0.0	1.0	197.0	0.0	0.0	0.0	0.0
STORE FRONT S11 (TRAPEZOID SHAPE)			99.0		0.0	0.0	0.0	1.0	99.0	0.0	0.0	0.0	0.0
STORE FRONT S12 (TRAPEZOID SHAPE)			80.0		0.0	0.0	0.0	1.0	80.0	0.0	0.0	0.0	0.0
STORE FRONT S13	19.5	9.8	190.1		0.0	0.0	0.0	3.0	570.4	0.0	0.0	0.0	0.0
STORE FRONT S13A	19.5	9.8	190.1		0.0	0.0	0.0	2.0	380.3	0.0	0.0	0.0	0.0
STORE FRONT S14	19.5	11.5	224.3		0.0	0.0	0.0	3.0	672.8	0.0	0.0	0.0	0.0
STORE FRONT S14A	19.5	11.5	224.3		0.0	0.0	0.0	2.0	448.5	0.0	0.0	0.0	0.0
STORE FRONT S15 (TRAPEZOID SHAPE)			211.0		0.0	0.0	0.0	1.0	211.0	0.0	0.0	0.0	0.0
STORE FRONT S16 (TRAPEZOID SHAPE)			217.0		0.0	0.0	0.0	1.0	217.0	0.0	0.0	0.0	0.0
STORE FRONT S17A (ANGLED WALL)			109.0		0.0	1.0	109.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT S17B (ANGLED WALL)			132.0		0.0	1.0	132.0	0.0	0.0	0.0	0.0	0.0	0.0
STORE FRONT S18	4.3	28.0	119.0		0.0	0.0	0.0	0.0	0.0	2.0	238.0	0.0	0.0
				TOTAL GLZ	2000.5	TOTAL GLZ	409.0	TOTAL GLZ	2,875.9	TOTAL GLZ	571.0	TOTAL GLZ	0.0
				WALL AREA	11035	WALL AREA	2,419.0	WALL AREA	10,055.0	WALL AREA	5,164.0	WALL AREA	
				18.13% % GLAZING		16.91% % GLAZING		28.60% % GLAZING		11.06% % GLAZING		#DIV/0!	% GLAZING

CITY OF MADISON ORDINANCE - 28.129

28.129 BIRD-SAFE GLASS REQUIREMENTS:

(1) Statement of Purpose: The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

(2) Applicability: Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

(3) Measuring Glass Area: Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

(4) Bird-Safe Glass Treatment Requirements: Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other 1/4" in diameter or larger and spaced no more than a two-inch (2") by two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-kin facades, metal screens, frosted solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

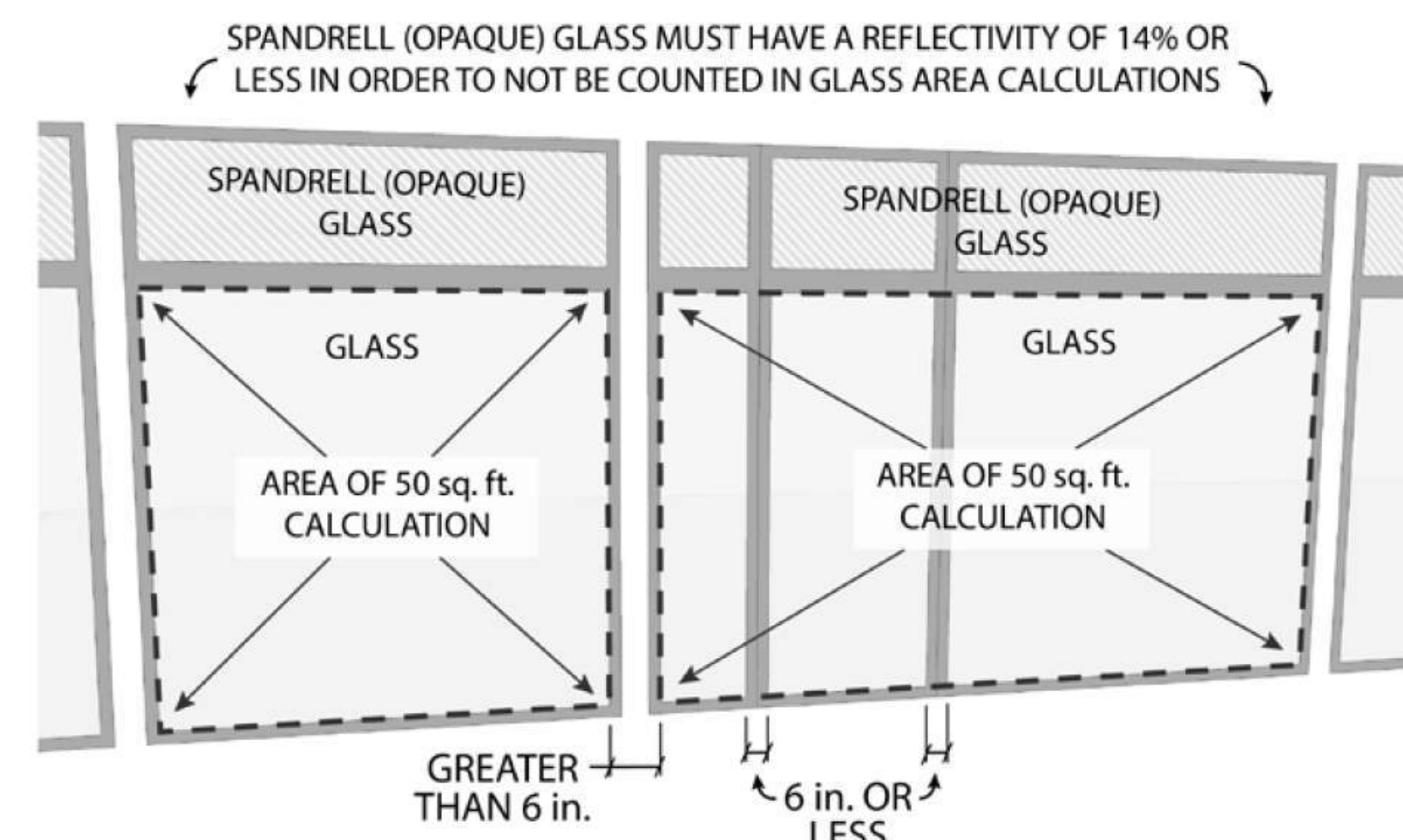
(a) Buildings or structures over 10,000 square feet: For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

1. For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
 - a. At least eighty-five percent (85%) of the glass must be treated; and
 - b. All glass within fifteen (15) feet of a building corner must be treated when seen through or by through conditions exist. See Figure 3.
2. For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
 - a. At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
 - b. Of all glass areas over fifty (50) square feet, all glass within fifteen (15) feet of a building corner must be treated.
3. All glass railings must be treated.
4. All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

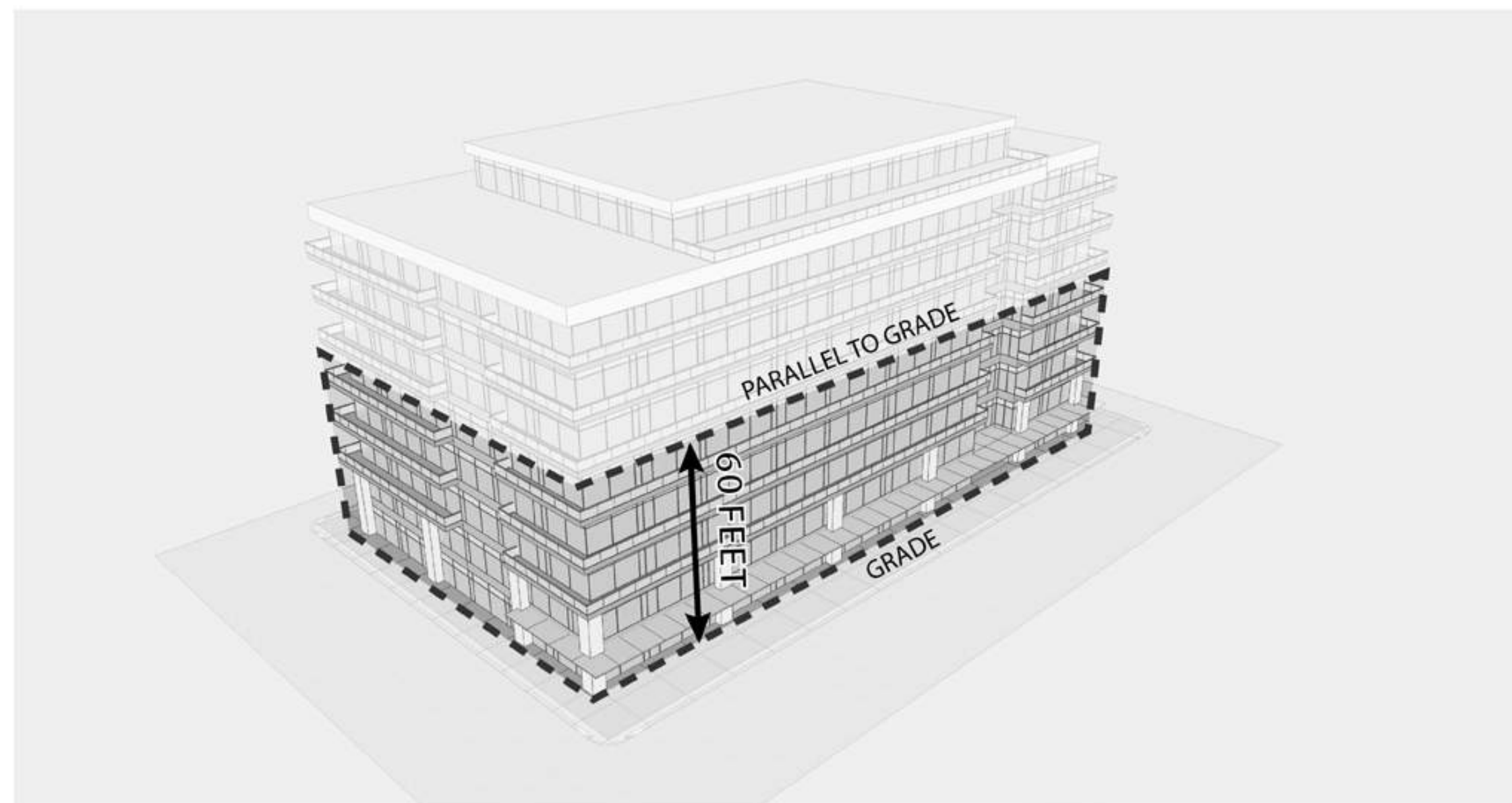
(b) Sky-bridges: For buildings and structures of any size, all glass on above-ground bridges must be treated.

(c) At grade glass: For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

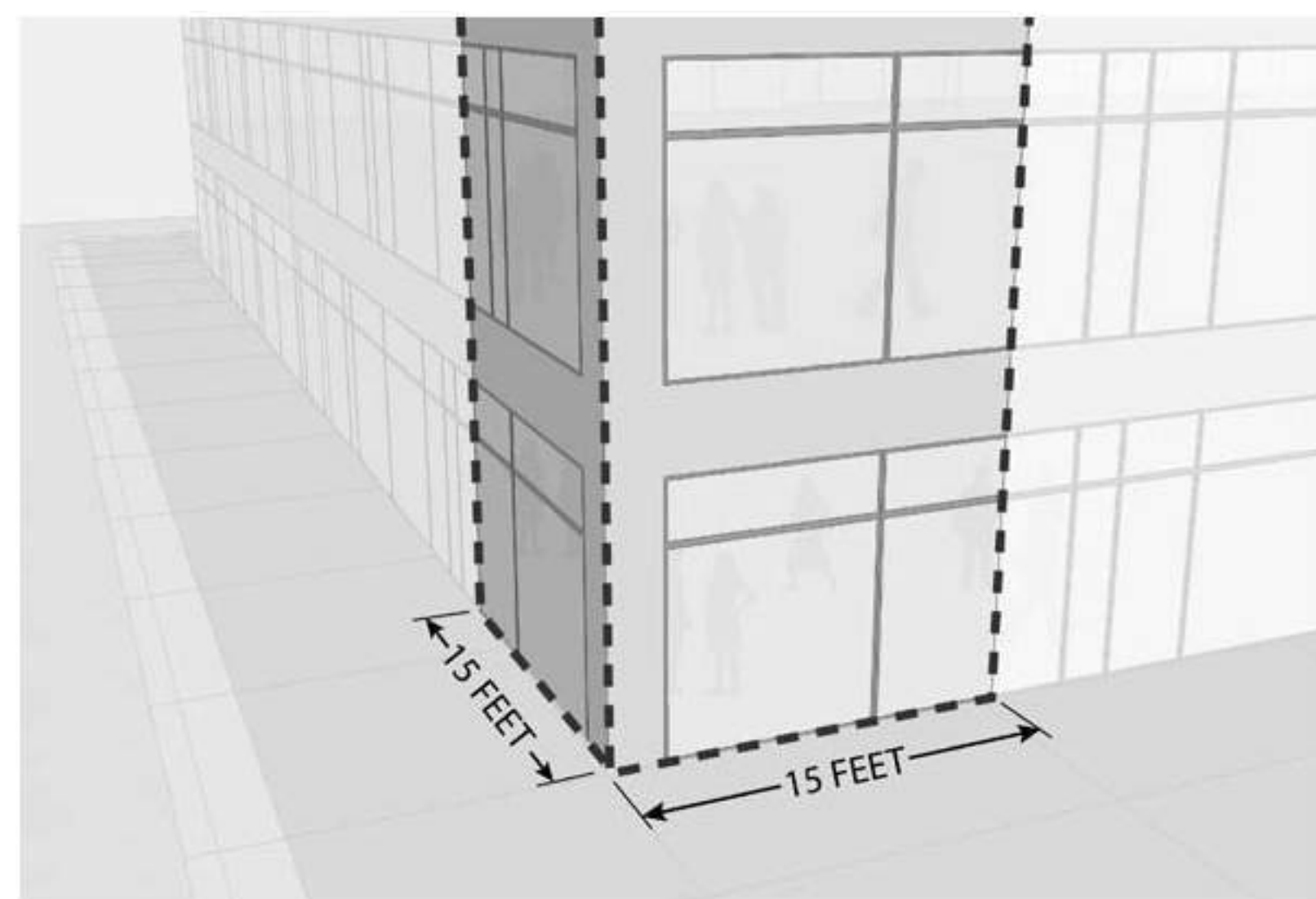
(5) This Ordinance shall become effective October 1, 2020.



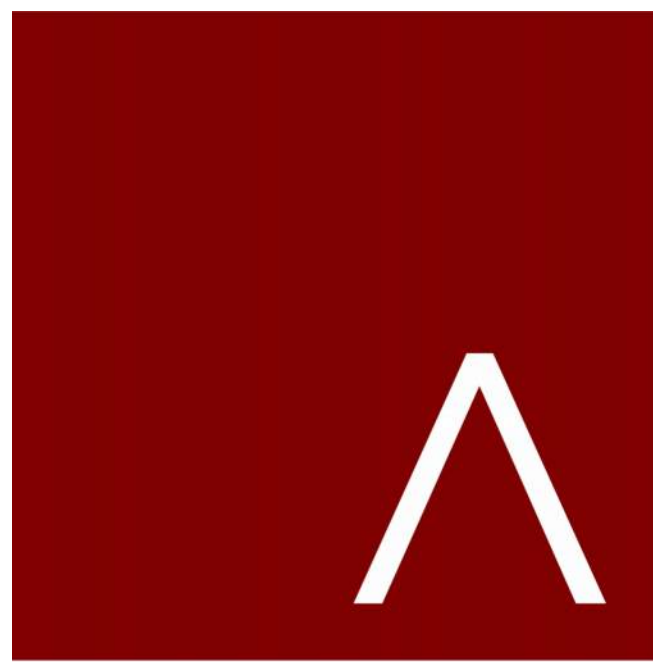
1 FIGURE 1 - WINDOW MULLION GRAPHIC
12" = 1'-0"



2 **FIGURE 2 - 60 FEET GRAPHIC**
12" = 1'-0"



3 FIGURE 3 - GLASS CORNER GRAPHIC
12" = 1'-0"



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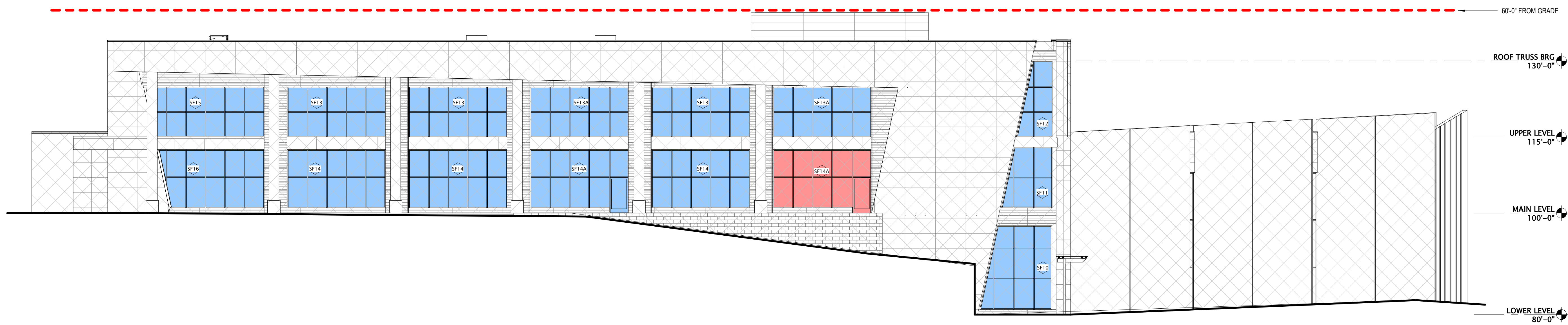
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BIRD SAFE GLASS REQUIREMENT

SHEET NUMBER

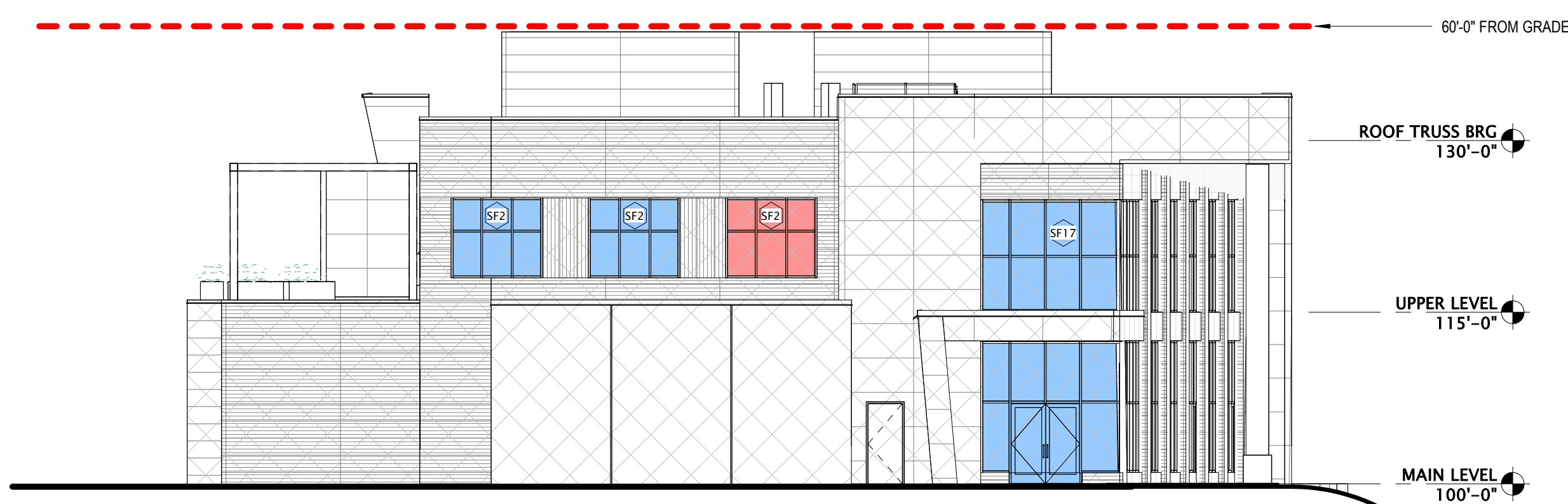
A211



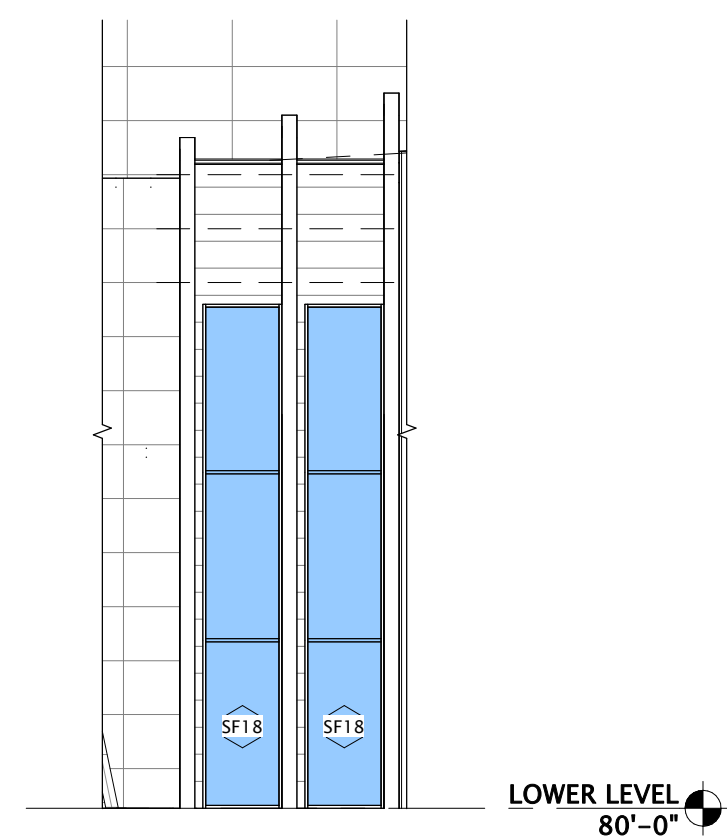
1 BIRD SAFE GLASS - NORTH ELEVATION
3/32" = 1'-0"



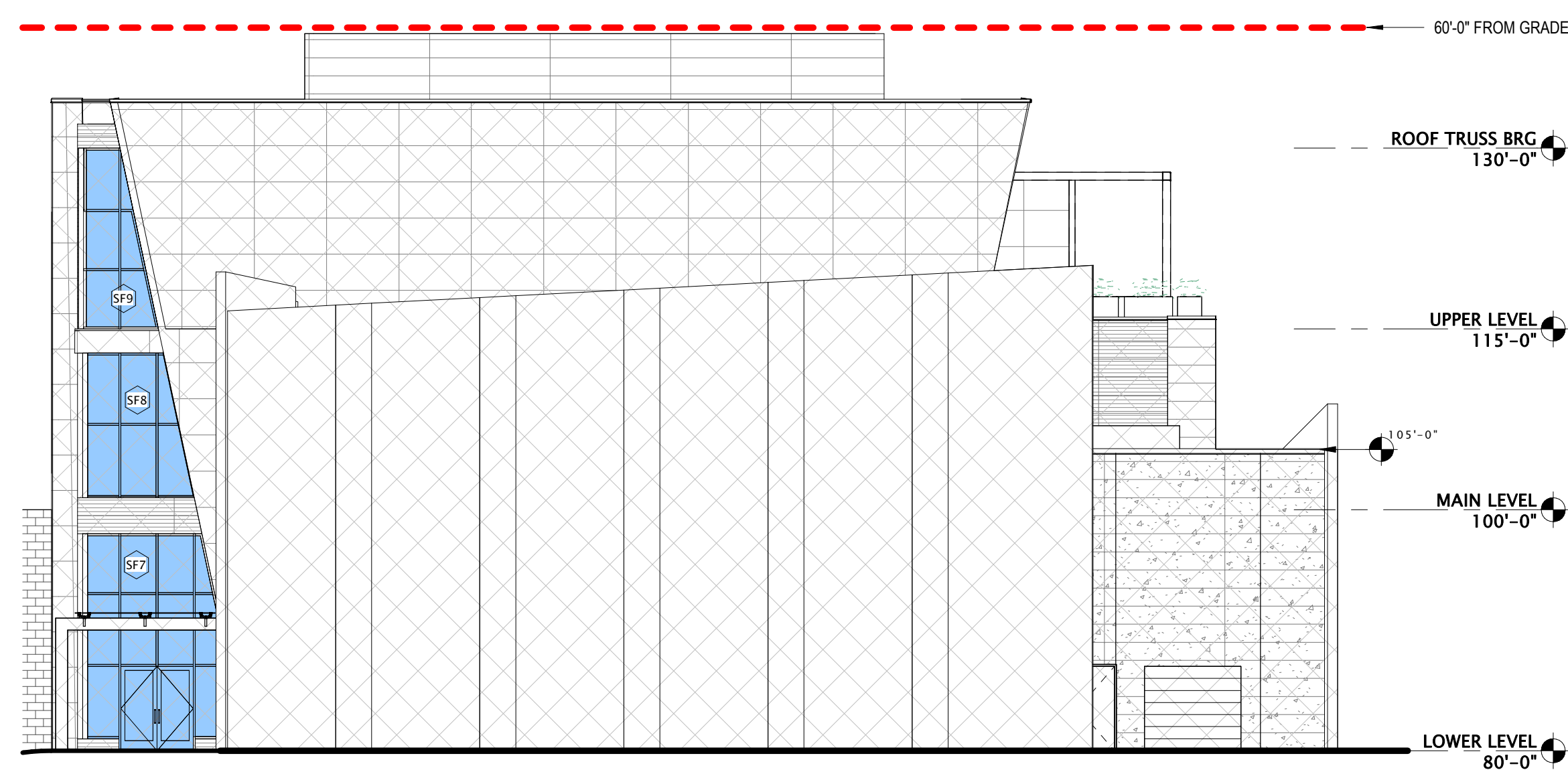
2 BIRD GLASS - SOUTH ELEVATION
3/32" = 1'-0"



3 BIRD SAFE GLASS - EAST ELEVATION
3/32" = 1'-0"



4 BIRD SAFE GLASS - PARTIAL ELEVATION - NW CORNER FROM NORTH
3/32" = 1'-0"



5 BIRD SAFE GLASS - WEST ELEVATION
3/32" = 1'-0"

BIRD SAFE GLASS WINDOW LEGEND

BIRD SAFE GLASS REQUIRED BY CALCULATION

BIRD SAFE GLASS PROVIDED ABOVE THE REQUIRED



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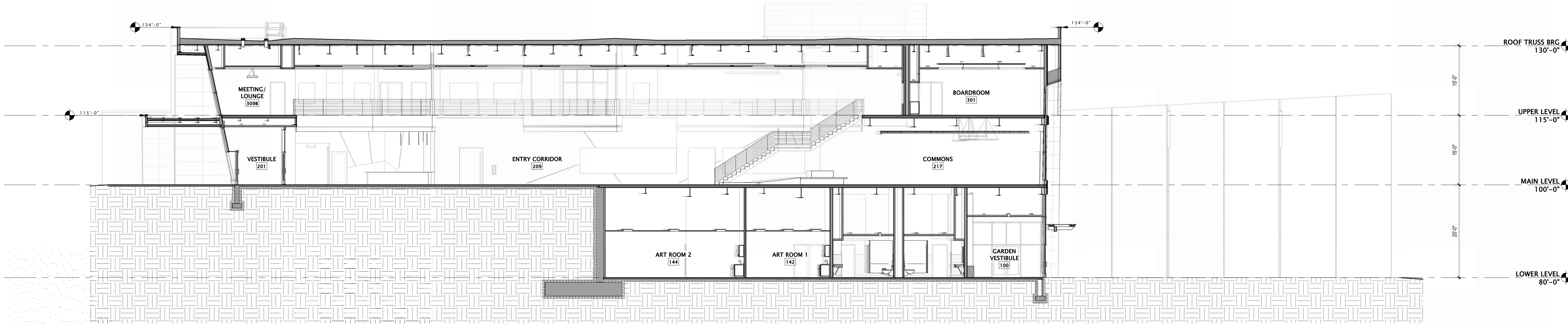
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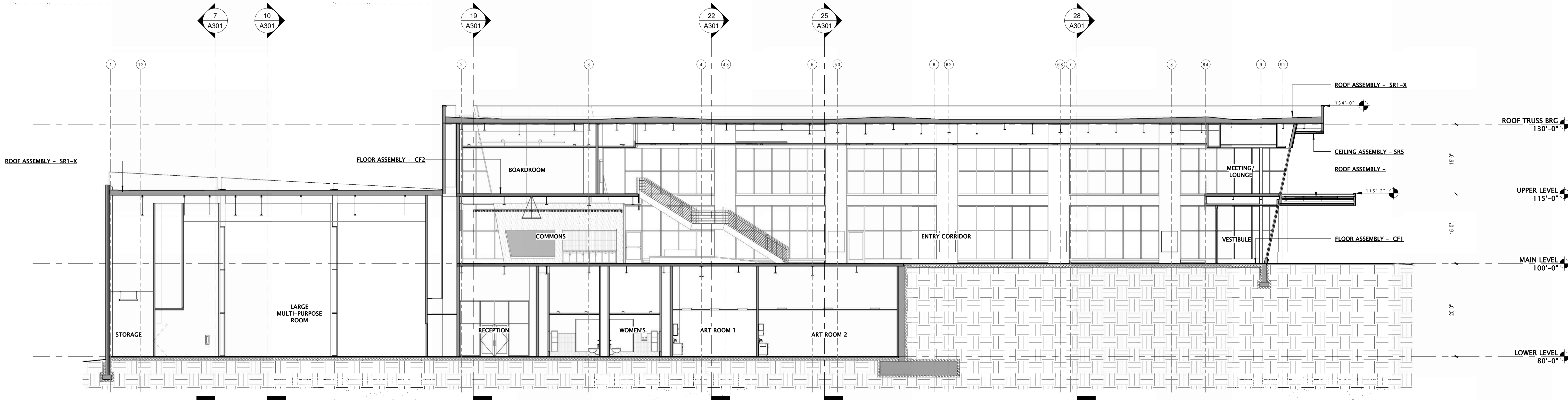
BIRD SAFE GLASS
ELEVATIONS

SHEET NUMBER

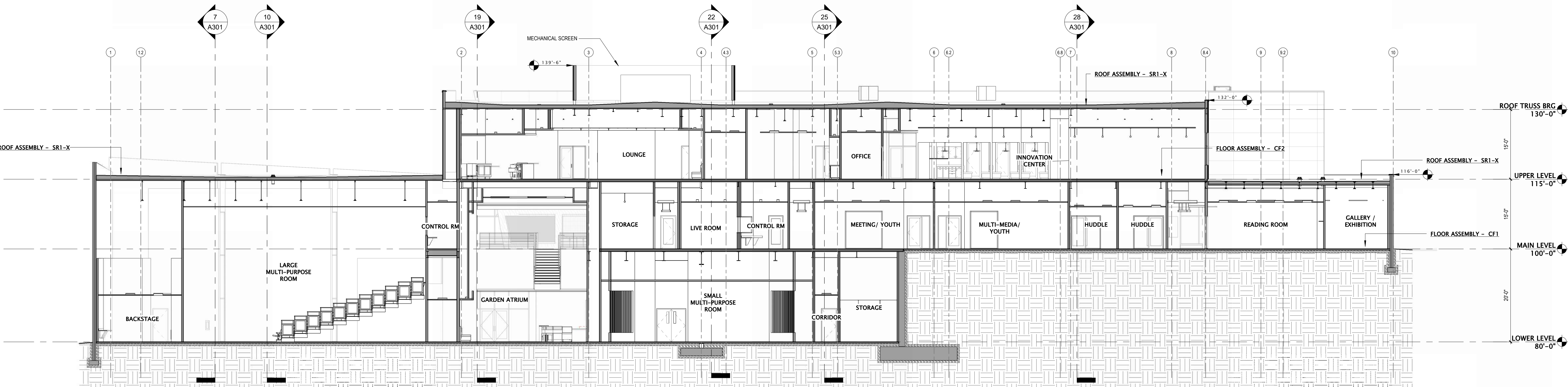
A212



7 BUILDING SECTION 1 EAST / WEST
3/32" = 1'-0"



19 BUILDING SECTION 2 EAST / WEST
3/32" = 1'-0"



25 BUILDING SECTION 3 EAST / WEST
3/32" = 1'-0"



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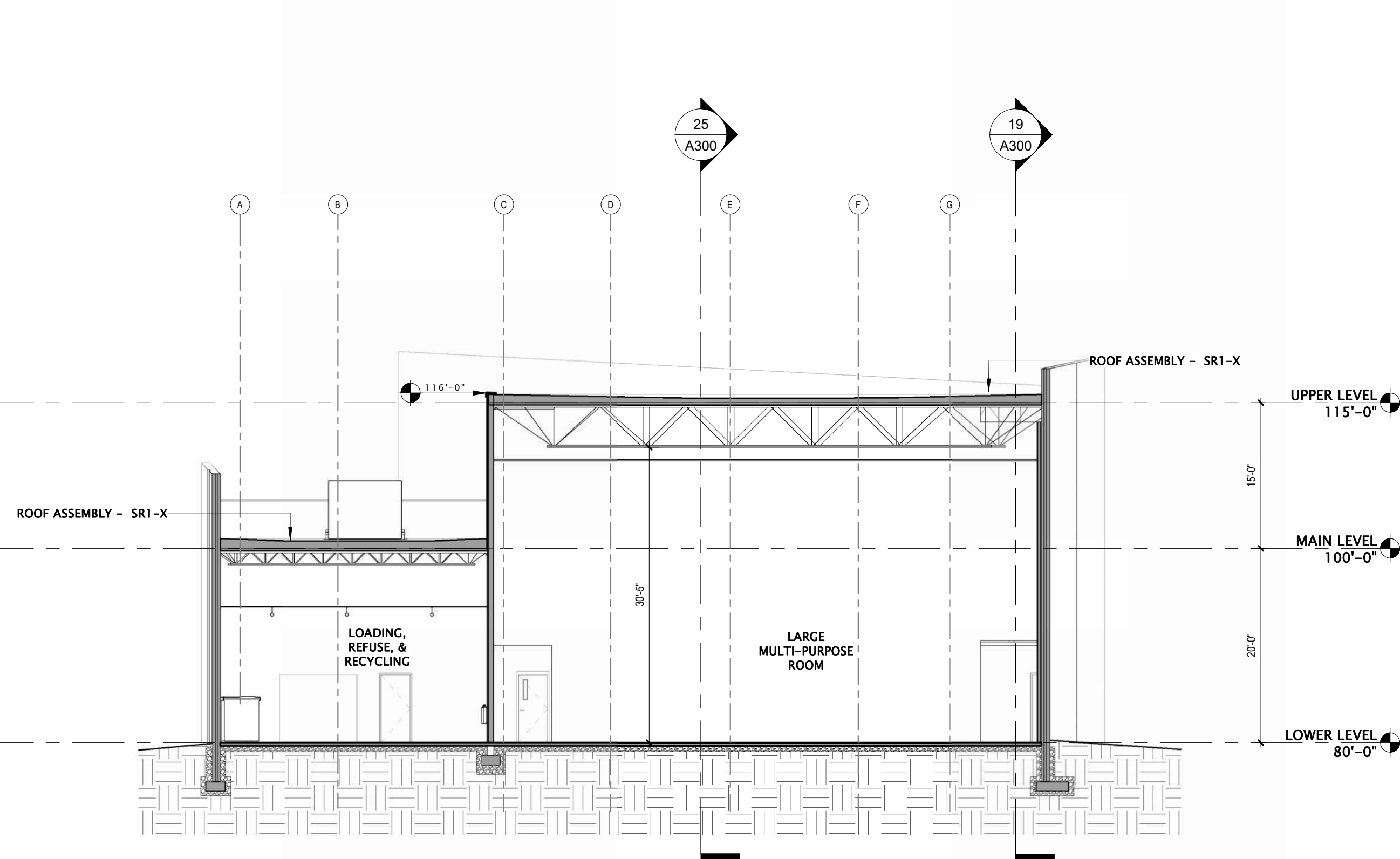
Mark	Description	Date
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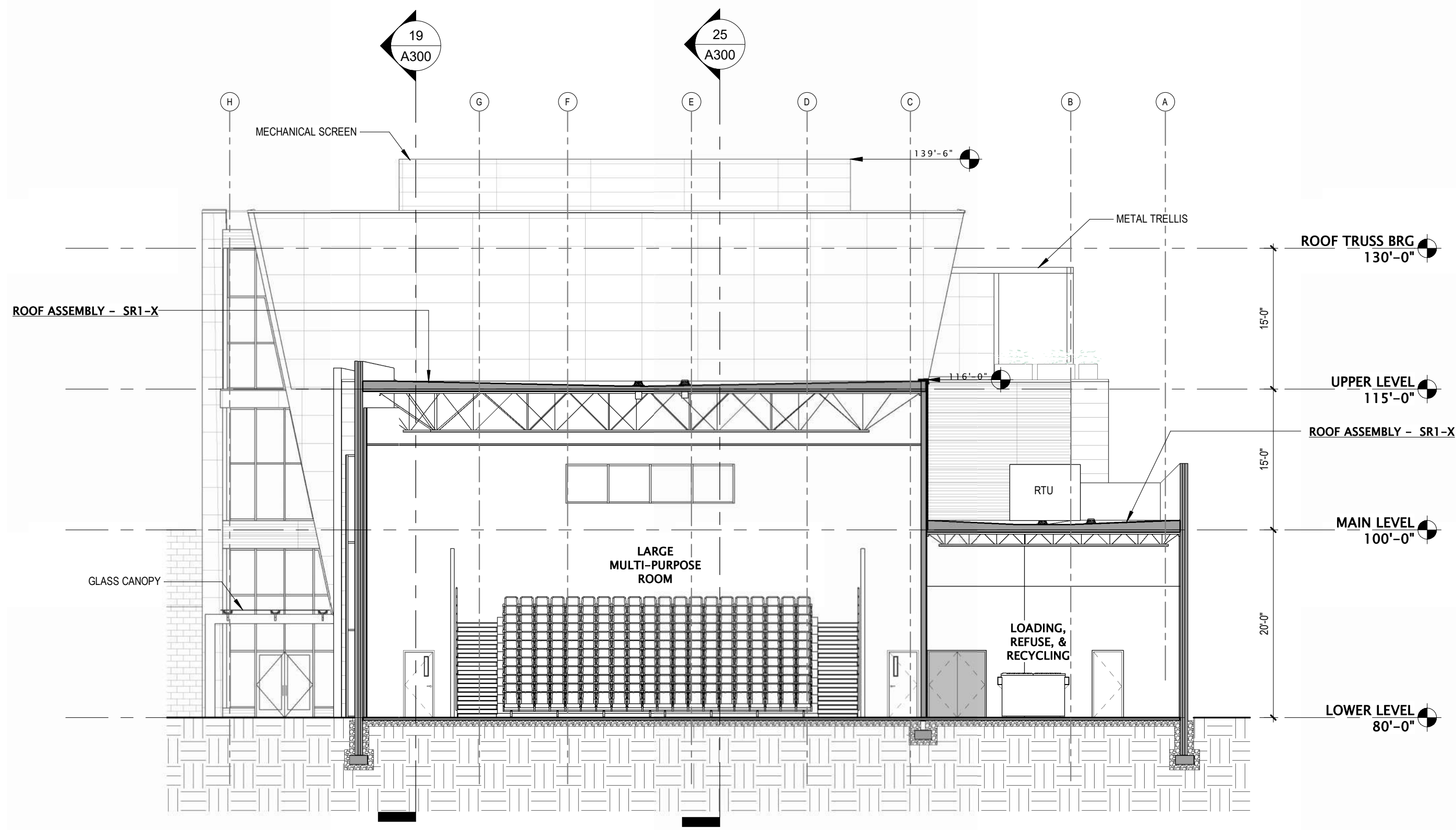
BUILDING SECTIONS

SHEET NUMBER:

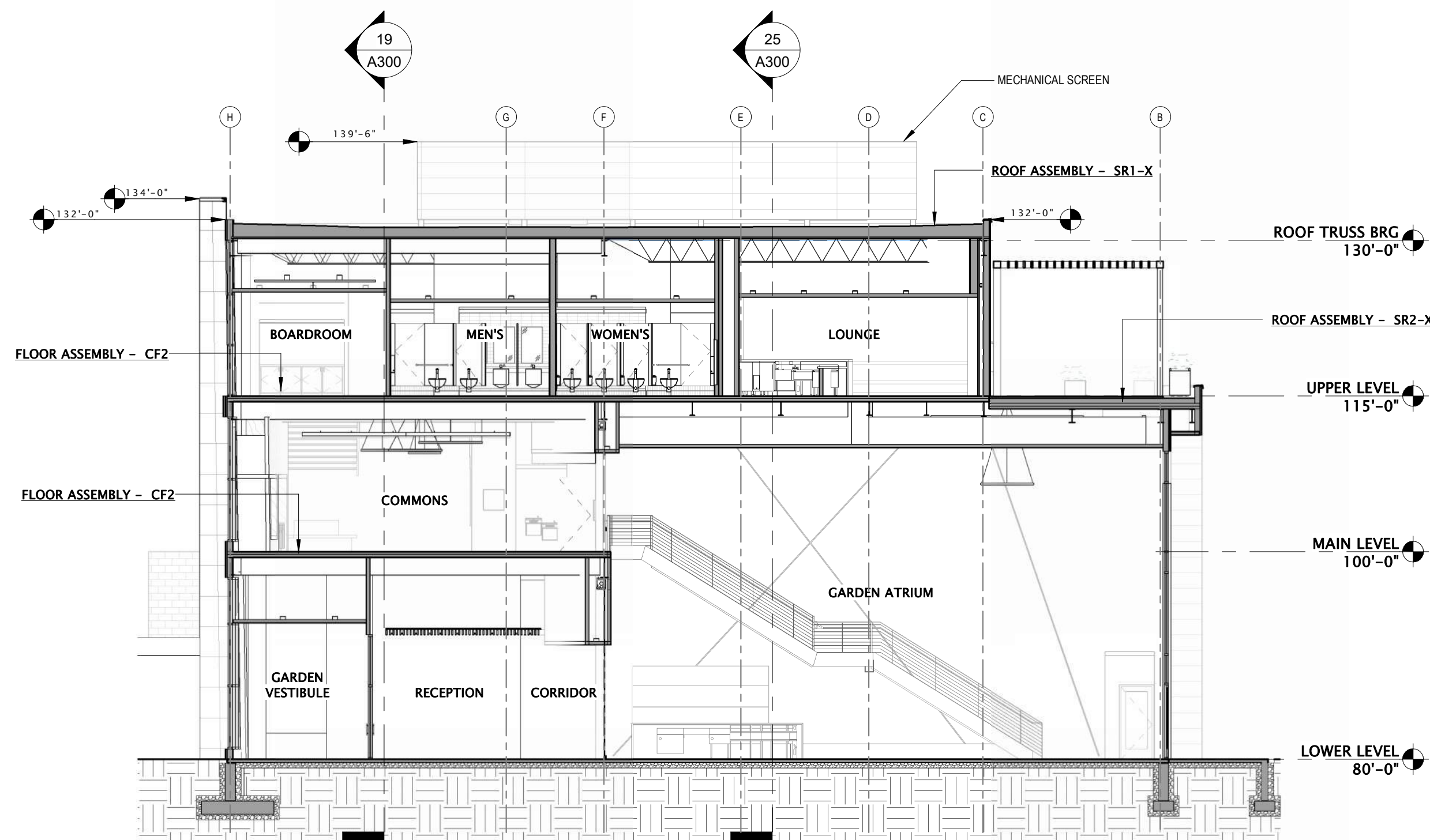
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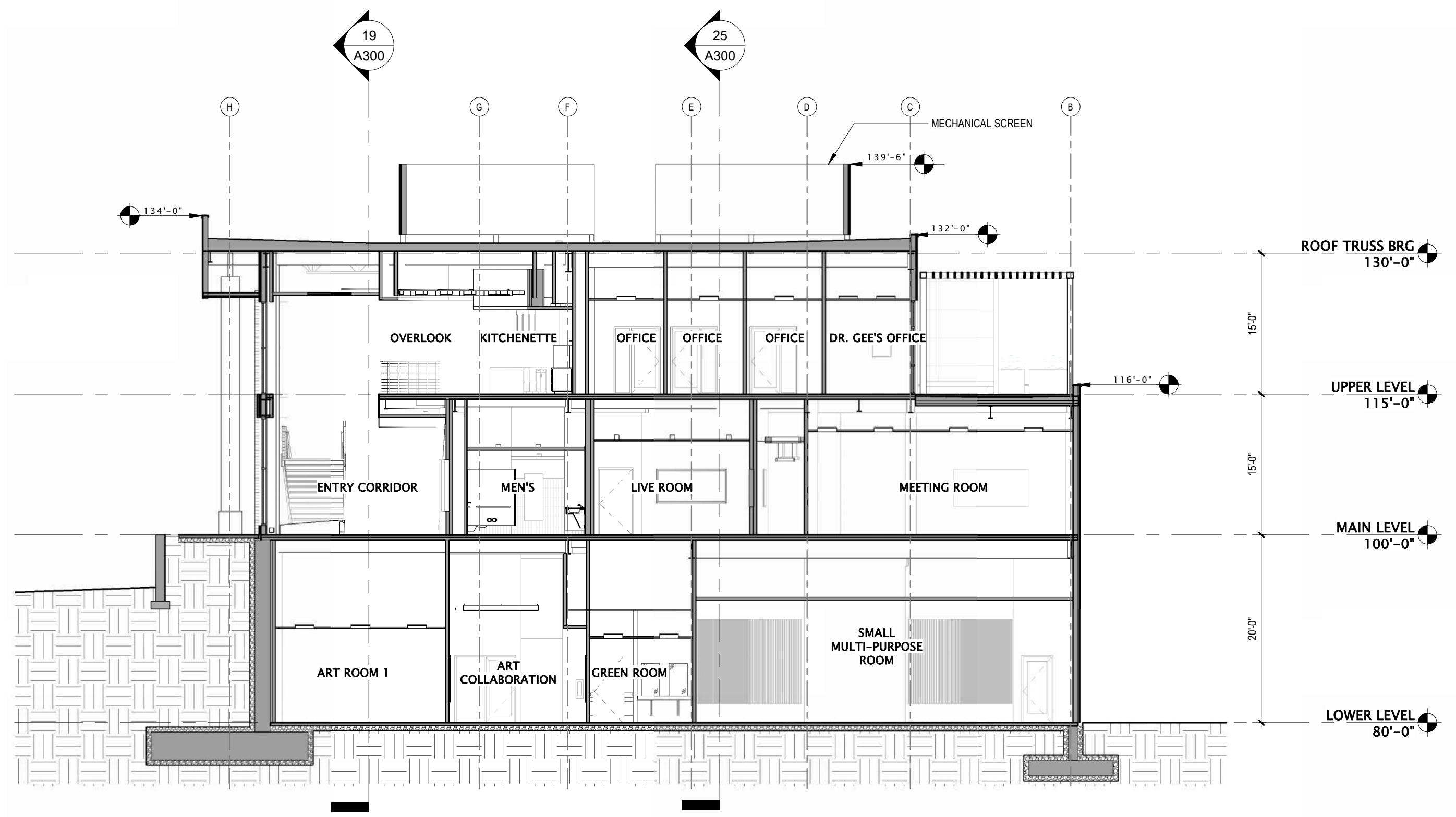
7 BUILDING SECTION 1 AT LARGE MULTIPURPOSE ROOM
3/32" = 1'-0"



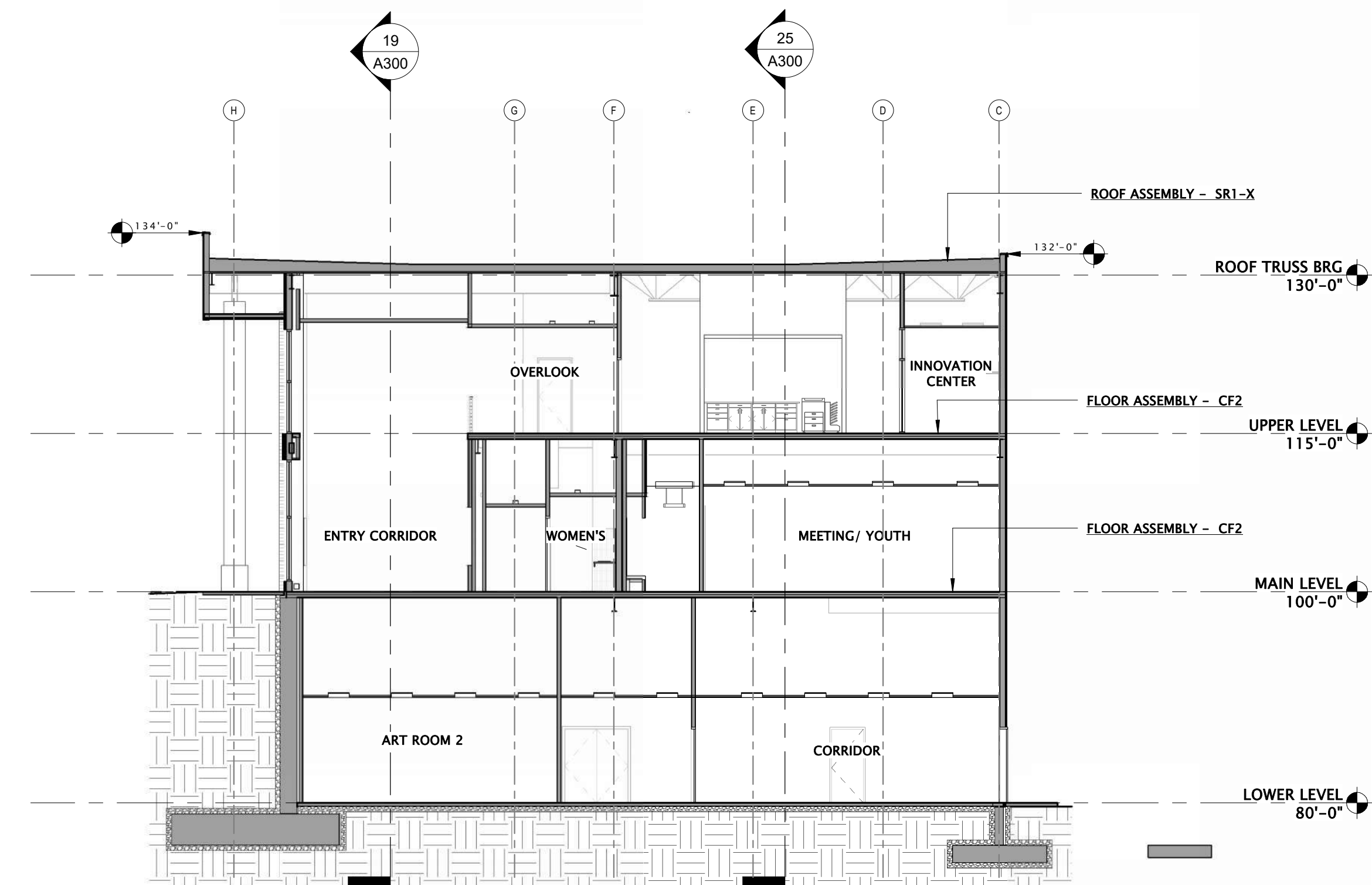
10 SECTION 1 AT LARGE MULTIPURPOSE ROOM
3/32" = 1'-0"



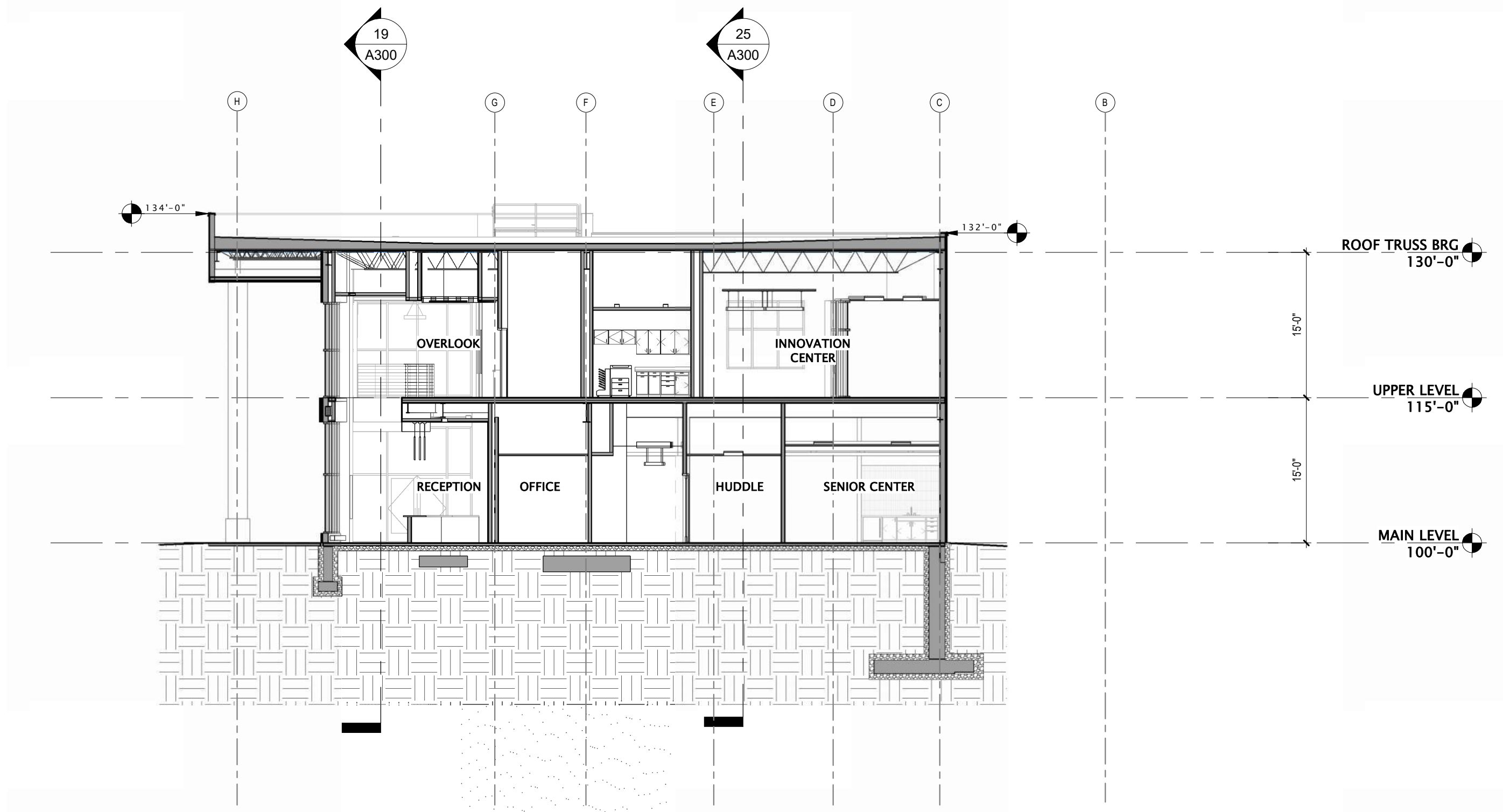
19 BUILDING SECTION 3 NORTH / SOUTH
3/32" = 1'-0"



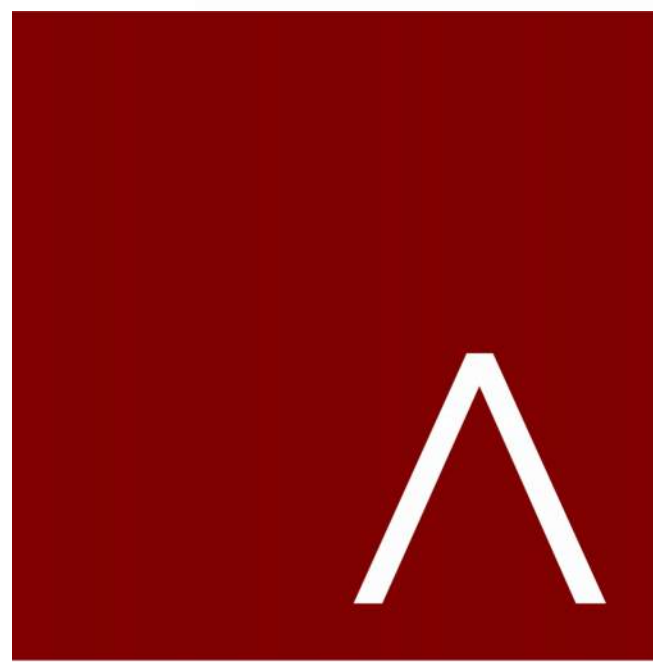
22 BUILDING SECTION 4 AT SMALL MULTIPURPOSE ROOM
3/32" = 1'-0"



25 BUILDING SECTION 5 NORTH / SOUTH
3/32" = 1'-0"



28 BUILDING SECTION 6 NORTH / SOUTH
3/32" = 1'-0"



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SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A301