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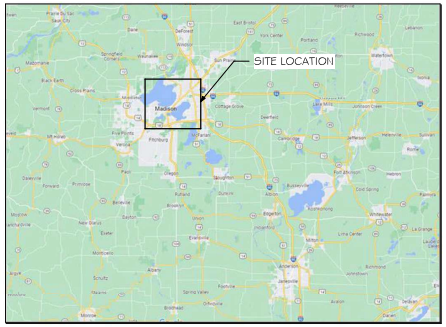
VICINITY MAP



AERIAL VIEW OF SITE

GENERAL LOCATION

KRAEMER - AMERICAN CENTER DEVELOPMENT

59565

MADISON
DANE COUNTY, WISCONSIN
4902 AMCENTER PARKWAY
AMERICAN CENTER

SHEET INDEX

GENERAL

T001	TITLE SHEET

CIVIL

(CIVIL PLANS BY: WYSER ENGINEERING)

V001	ALTA/NSPS LAND TITLE SURVEY
C100	SITE PLAN
C101	FIRE APPARATUS ACCESS EXHIBIT
C200	GRADING & EROSION CONTROL PLAN
C201	DETAIL GRADING PLAN
C300	UTILITY PLAN
C400	DETAILS
C401	DETAILS

ARCHITECTURAL

A001	ARCHITECTURAL SITE PLAN
A002	ARCHITECTURAL SITE DETAILS
A101	FIRST FLOOR PLAN
A102	FIRST FLOOR REFLECTED CEILING PLAN
A103	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS - FINISHES
A301	BUILDING SECTIONS
----	3D IMAGERY (5 SHEETS AT 8.5" x 11")

LANDSCAPE

(LANDSCAPE PLANS BY: OLSON TOON LANDSCAPING)

L1.0	LANDSCAPE PLAN
----	LANDSCAPE WORKSHEET (5 SHEETS AT 8.5" x 14")

PROJECT INFORMATION

OWNER/DEVELOPER:
KRAEMER DEVELOPMENT, LLC.
8331 GREENWAY BOULEVARD, SUITE 130
MIDDLETON, WI, 53562
PH: (608) 203-6174
CONTACT: JEFF KRAEMER
EMAIL: JEFF@KRAEMERDEVELOPMENT.COM

ARCHITECT:
RAMAKER
855 COMMUNITY DRIVE
SAUK CITY, WI 53583
PH: (608) 643-4100
CONTACT: RHONDA HEGGE
EMAIL: RHEGGE@RAMAKER.COM

STRUCTURAL ENGINEER:
RAMAKER
855 COMMUNITY DRIVE
SAUK CITY, WI 53583
PH: (608) 643-4100
CONTACT: JEFF ZANDER
EMAIL: JZANDER@RAMAKER.COM

GENERAL CONTRACTOR:
SUPREME STRUCTURES, INC.
2906 MARKETPLACE DR.
MADISON, WI 53719
PH: (608) 442-6433
CONTACT: ANDY LOOK
EMAIL: ANDY.LOOK@SUPREMESTRUCTURES.COM

CIVIL:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
PH: (608) 437-1980
CONTACT: ADAM WATKINS
EMAIL: ADAM.WATKINS@WYSERENGINEERING.COM

LANDSCAPE DESIGNER:
OLSON TOON LANDSCAPING, INC.
3570 PIONEER ROAD
VERONA, WI 53593
PH: (608) 827-9401
ONTACT: BRAD FREGIEN
EMAIL: BRAD@OLSONTOON.COM

MECHANICAL CONTRACTOR:
TBD

ELECTRICAL CONTRACTOR:
TBD

PLUMBING CONTRACTOR:
TBD

RAMAKER
employee-owned
(608) 643-4100 www.ramaker.com

KRAEMER DEVELOPMENT

PRELIMINARY
FOR REVIEW PURPOSES ONLY

REV		DATE
DATE ISSUED		03/06/2024
ISSUE PHASE		PLAN REVIEW

PROJECT TITLE
KRAEMER - AMERICAN CENTER DEVELOPMENT

PROJECT OWNER
KRAEMER DEVELOPMENT, LLC

PROJECT LOCATION
4902 AMCENTER PKWY
MADISON, WI 53718

SHEET TITLE
TITLE SHEET

PROJECT NUMBER 59565

SHEET NUMBER T001

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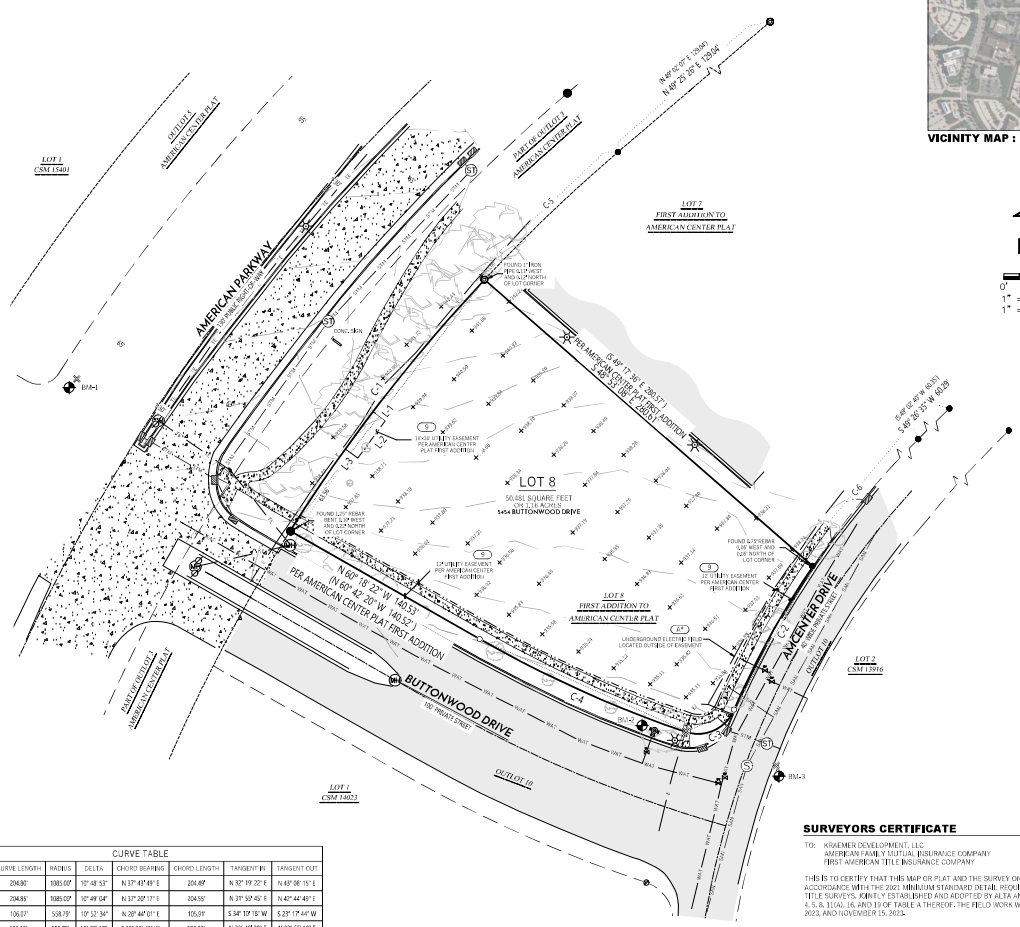
AMERICAN PARKWAY
(66' PUBLIC RIGHT-OF-WAY)
LOT 8
50,681 SQUARE FEET
ON 2.16 ACRES
5454 BUTTONWOOD DRIVE
BUTTONWOOD DRIVE
(66' PRIVATE STREET)
AMCENTER DRIVE
(66' PRIVATE STREET)
LOT 8
FIRST ADDITION TO
AMERICAN CENTER PLAT
LOT 7
FIRST ADDITION TO
AMERICAN CENTER PLAT
LOT 1
CSM 15401
LOT 2
CSM 13916
LOT 1
CSM 14023
OUTLOT 1
AMERICAN CENTER PLAT
PART OF OUTLOT 1
AMERICAN CENTER PLAT
OUTLOT 1B
BM-1
BM-2
BM-3
N 60° 18' 22" W
(N 60° 42' 20" W 140.53')
140.53'
PER AMERICAN CENTER PLAT FIRST ADDITION
PER AMERICAN CENTER PLAT FIRST ADDITION
S 49° 26' 35" W 60.09'
S 49° 26' 35" W 60.09'
N 49° 23' 35" E 120.04'
N 49° 23' 35" E 120.04'
C1
C2
C3
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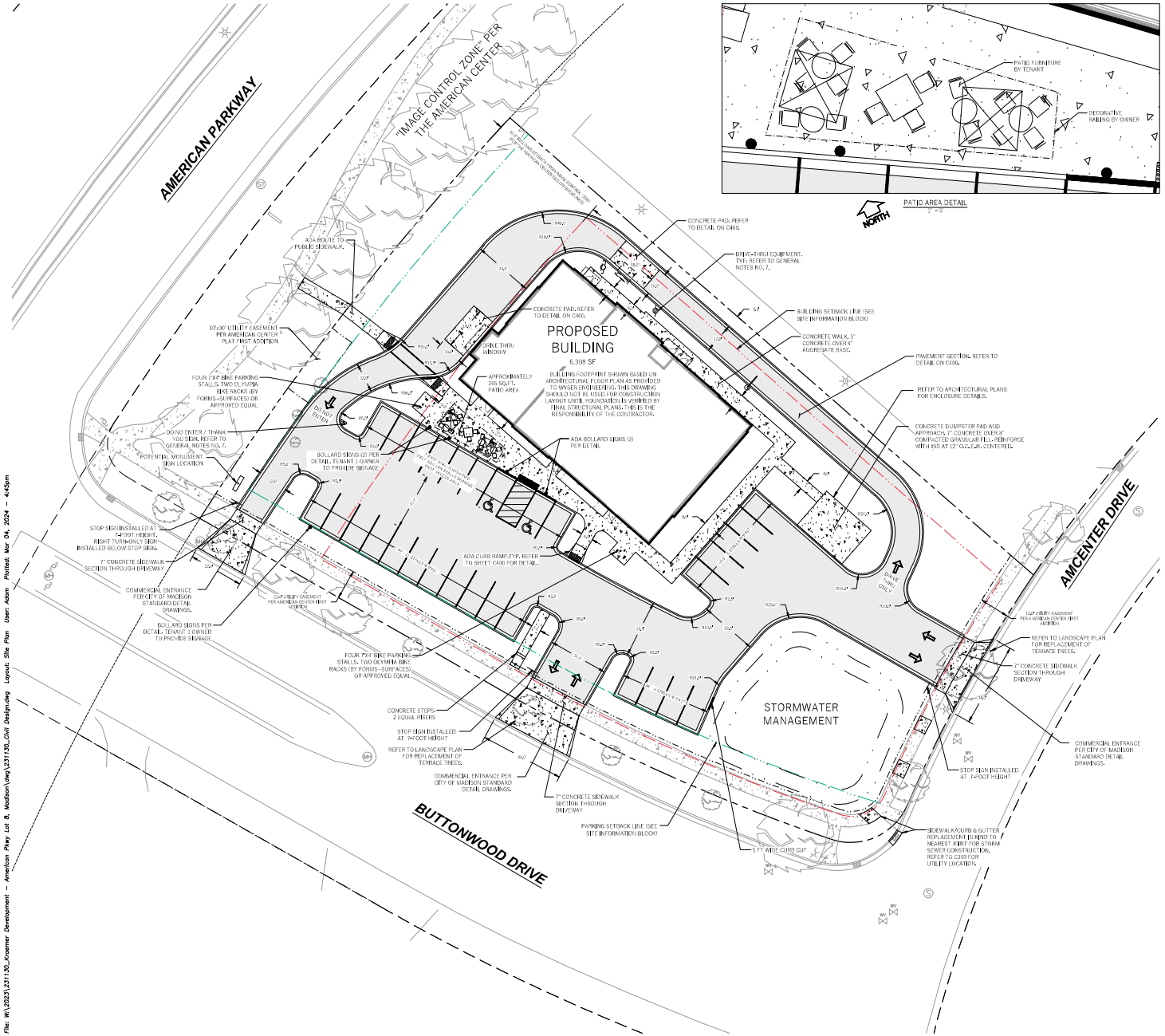

PATIO AREA DETAIL
1" = 5'

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING SETBACK LINE
- PARKING SETBACK LINE
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER TREATMENT FACILITY

NORTH

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON NOVEMBER 6 AND 15, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
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6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
7. CONTRACTOR TO COORDINATE AND INSTALL SIGNAGE/EQUIPMENT FOOTINGS AND ASSOCIATED ELECTRICAL CONDUITS. REFER TO SPECIFIC TENANT DETAILS.

SITE INFORMATION BLOCK:

SITE ADDRESS: 4902 AMCENTER DRIVE
SITE ACREAGE: 1.16 AC (50,481 SQ.FT.)
USE OF PROPERTY: COMMERCIAL/RETAIL
ZONING: COMMERCIAL CENTER (CC)

SETBACKS (FROM THE AMERICAN CENTER DEVELOPMENT GUIDELINES):
BUILDING SETBACKS:
FROM IMAGE CONTROL ZONE (WEST): 50 FEET
SIDE YARD (SOUTH/EAST): 10 FEET
INTERIOR CORRIDOR (NORTH): NONE

PARKING SETBACK:
FROM IMAGE CONTROL ZONE (WEST): 10 FEET
SIDE YARD (EAST): 10 FEET
STREET FRONTAGE (SOUTH): 29 FEET
INTERIOR CORRIDOR (NORTH): NONE

MINIMUM PARKING REQUIRED: NO MINIMUM (COMMERCIAL CENTER ZONING)
TOTAL NUMBER OF PARKING STALLS PROPOSED: 33
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 2

TOTAL NUMBER OF BIKE STALLS: 8 (5% OF 150 PERSON TOTAL CAPACITY)

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 26,433 SQ.FT.
ROOFTOP: 6,308 SQ.FT.
PAVED: 20,125 SQ.FT.

MAXIMUM IMPERVIOUS SURFACE RATIO (FROM THE AMERICAN CENTER DEVELOPMENT GUIDELINES): 0.80
PROPOSED IMPERVIOUS SURFACE RATIO: 0.52
PROPOSED FLOOR AREA RATIO: 0.12

DIGGERS HOTLINE
Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.Diggers-Hotline.com

WYSER ENGINEERING

KRAEMER DEVELOPMENT
4902 AMCENTER DRIVE
MADISON, WI 53718

AMERICAN CENTER RETAIL
CITY OF MADISON, DANE COUNTY, WI

Sheet Title: SITE PLAN

Revisions:

No.	Date:	Description:

Graphic Scale	0' 5' 10' 20' 30'
Wyser Number	23-1130
Set Type	PLAN REVIEW
Date Issued	03/06/2024
Sheet Number	C100

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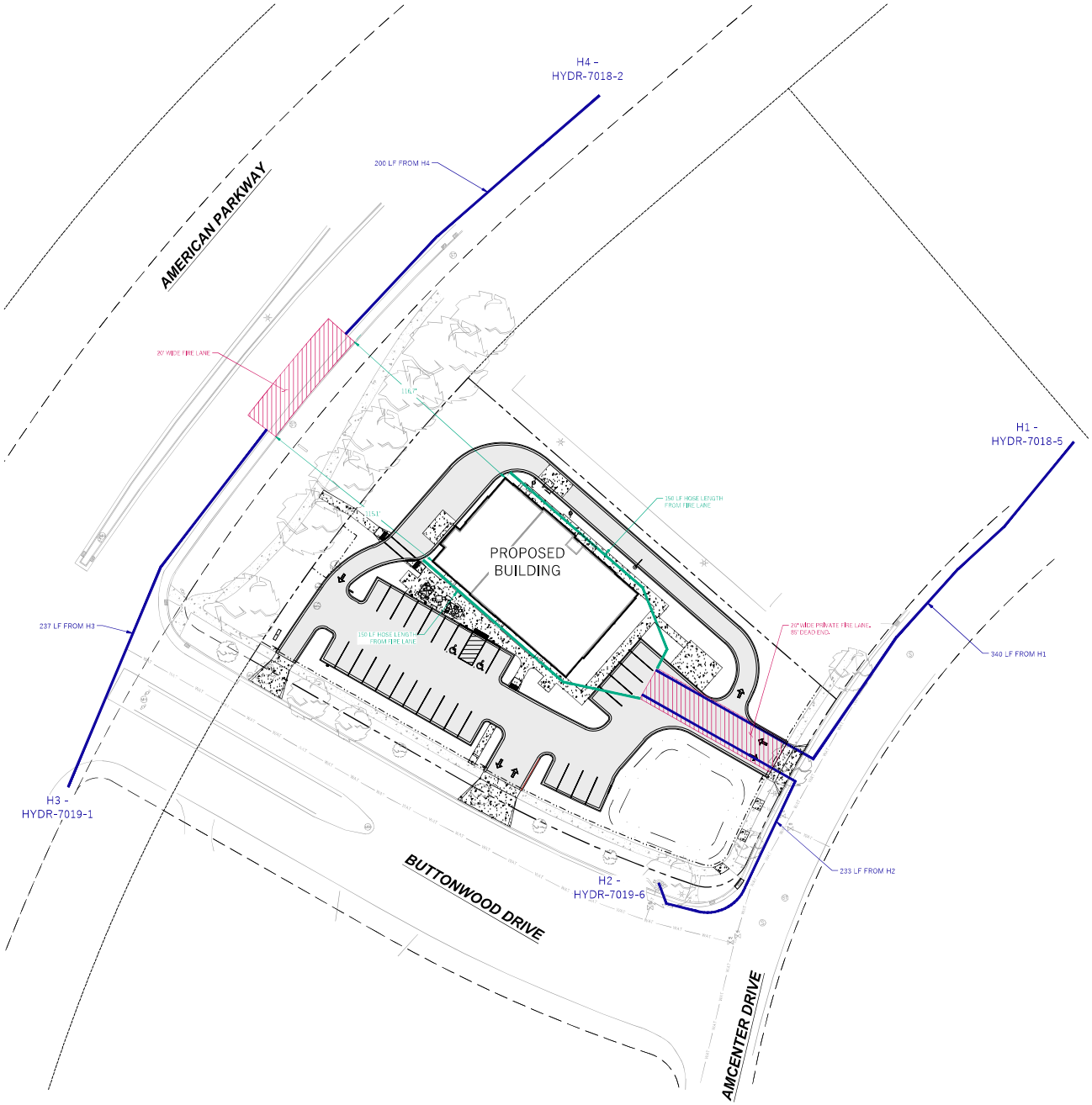

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- FIRE LANE
- HOSE LENGTH FROM FIRE LANE
- HOSE LENGTH FROM HYDRANT

NORTH

GENERAL NOTES

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7. CONTRACTOR TO COORDINATE AND INSTALL SIGNAGE/EQUIPMENT FOOTINGS AND ASSOCIATED ELECTRICAL CONDUITS. REFER TO SPECIFIC TENANT DETAILS.

City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address:	4902 AMCENTER DRIVE
Contact Name & Phone #:	ADAM WATKINS - 608.437.1980

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

	Yes	No	N/A
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	☐	☒	☐
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	☒	☐	☐
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	☐	☐	☒
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	☒	☐	☐
a) Is the fire lane a minimum unobstructed width of at least 26-feet?	☒	☐	☐
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	☒	☐	☐
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	☒	☐	☐
d) Is the grade of the fire lane not more than a slope of 8%?	☒	☐	☐
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	☐	☒	☐
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	☐	☒	☐
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	☐	☒	☐
3. Is the fire lane obstructed by security gates or barricades? If yes:	☐	☒	☐
a) Is the gate a minimum of 20-feet clear opening?	☐	☐	☒
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐	☐	☒
4. Is the Fire lane dead-ended with a length greater than 150-feet?	☐	☒	☐
If yes, does the area for turning around fire apparatus comply with IFC D103?	☐	☐	☒
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	☐	☒	☐
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions:	☐	☒	☐
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	☐	☐	☒
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	☐	☐	☒
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	☐	☐	☒
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	☐	☐	☒
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	☐	☐	☒
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	☐	☐	☒
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? *Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.*	☒	☐	☐
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	☒	☐	☐
b) Is there at least 40' between a hydrant and the building?	☐	☐	☒
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	☐	☐	☒
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	☐	☐	☒
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	☐	☐	☒

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2021 Edition Chapter 5 and Appendix D**; please see the codes for further information.

Revised 06/2022

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Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

WYSER ENGINEERING

KRAEMER DEVELOPMENT

4902 AMCENTER DRIVE
MADISON, WI 53718

AMERICAN CENTER RETAIL

CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
FIRE APPARATUS ACCESS EXHIBIT

Revisions:

No.	Date:	Description:

Graphic Scale	0' 7.5' 15' 30' 45'
Wyser Number	23-1130
Set Type	PLAN REVIEW
Date Issued	03/06/2024
Sheet Number	C101

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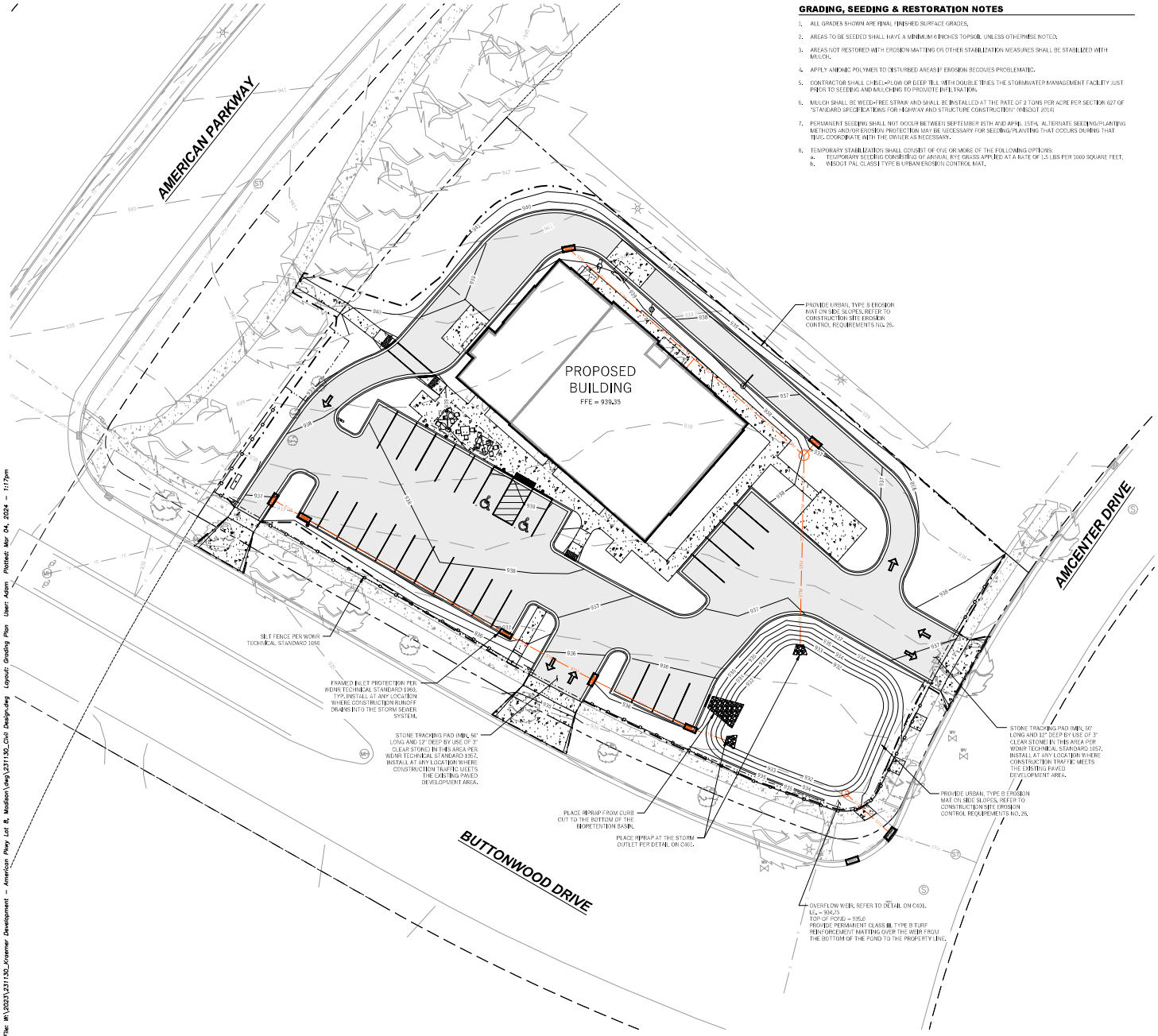

GRADING, SEEDING & RESTORATION NOTES

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE STORMWATER MANAGEMENT FACILITY JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
6. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
7. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
8. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
   a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
   b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 935 — MAJOR CONTOUR
- 934 — MINOR CONTOUR
- STM — STORM SEWER
- SILT FENCE
- INLET PROTECTION

NORTH

GENERAL NOTES

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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDNR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES.
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPSTREAM. INLET INSTALLATION, COUPLED WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION/GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DEWATERING #1061.
15. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
16. CONSTRUCT AND PROTECT THE BIOINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
17. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
18. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE BIODEGRADABLE STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1063.
19. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SEDIMENT RETENTION PRODUCTS # 1051.
20. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
21. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
22. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
23. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEPT MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
24. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
25. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
26. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
27. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I, TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
28. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS III TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
29. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
30. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNRS BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: http://dnr.wi.gov/botw/
31. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 832-F-11-006 https://www3.epa.gov/npdes/pubs/concretewashout.pdf. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

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AMERICAN CENTER RETAIL
CITY OF MADISON, DANE COUNTY, WI
Sheet Title: GRADING & EROSION CONTROL PLAN

Revisions:

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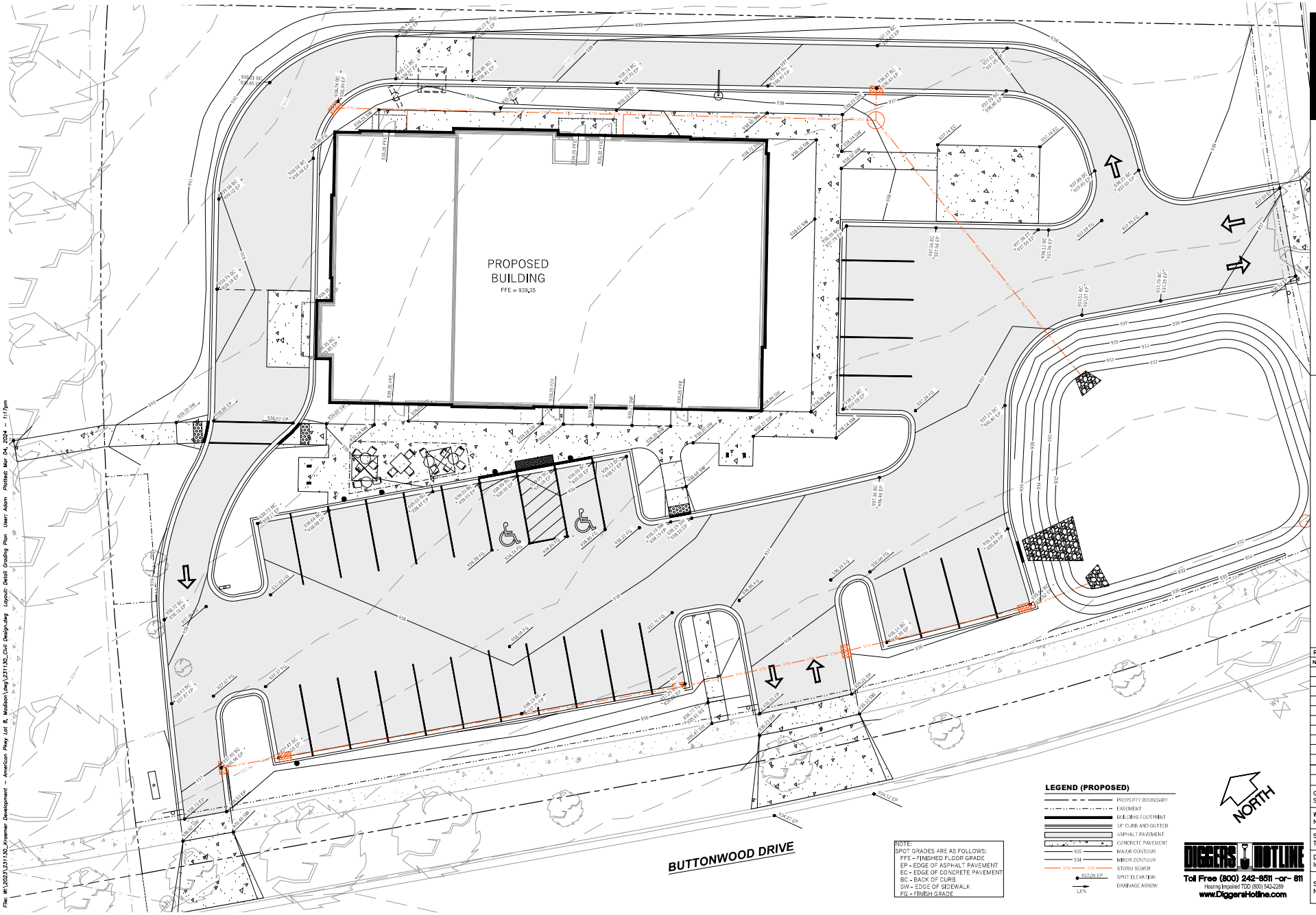

NOTE:
SPOT GRADES ARE AS FOLLOWS:
FFE - FINISHED FLOOR GRADE
EP - EDGE OF ASPHALT PAVEMENT
EC - EDGE OF CONCRETE PAVEMENT
BC - BACK OF CURB
SW - EDGE OF SIDEWALK
FG - FINISH GRADE

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 935 MAJOR CONTOUR
- 934 MINOR CONTOUR
- STM STORM SEWER
- 937.28 EP SPOT ELEVATION
- 1.0% DRAINAGE ARROW

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Sheet Title:
DETAIL GRADING PLAN

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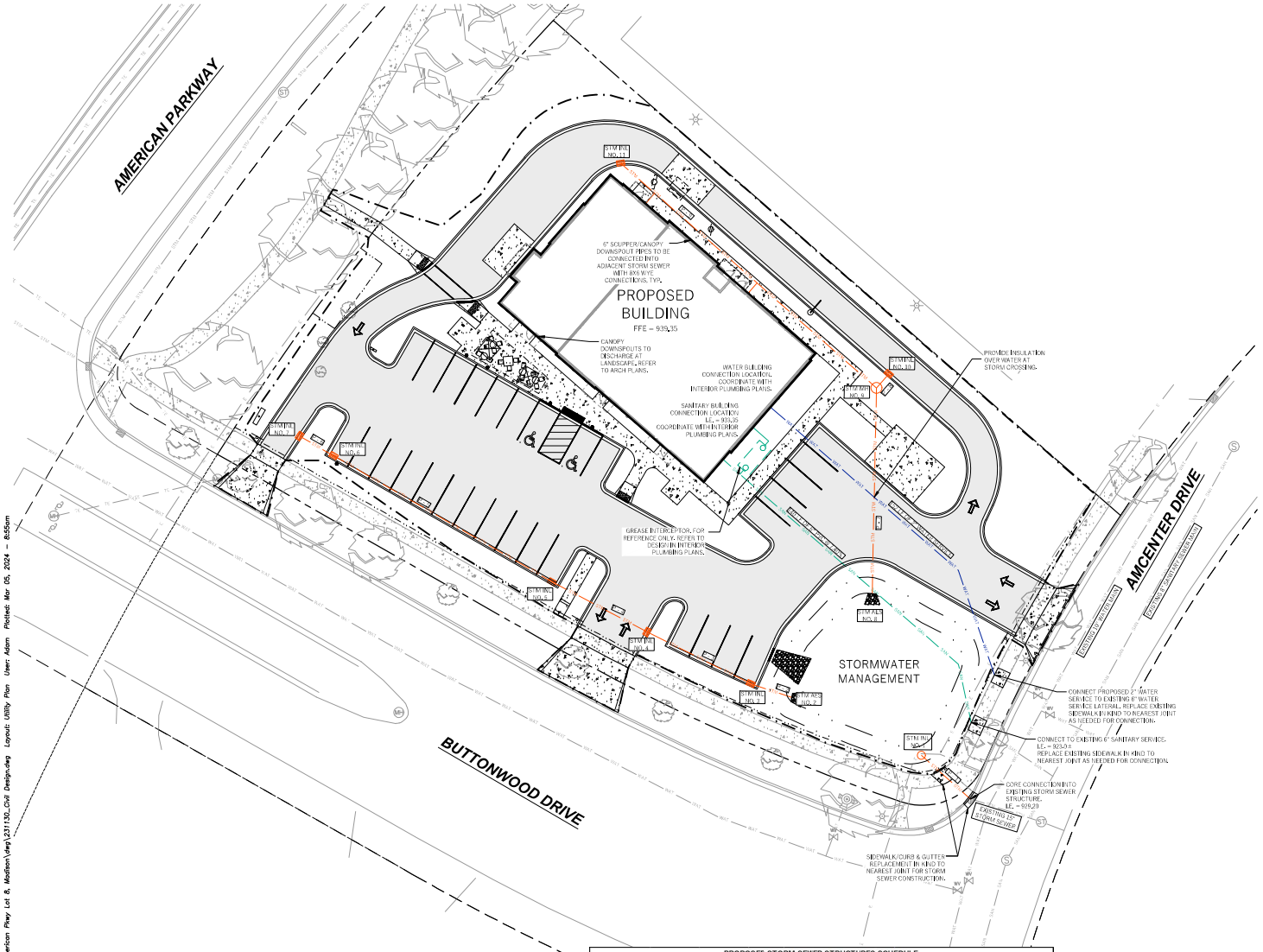

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT — WAT — WATER MAIN
- SAN — SAN — SANITARY SEWER
- STM — STM — STORM SEWER
- STORMWATER TREATMENT FACILITY

NORTH

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON NOVEMBER 6 AND 15, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
7. CONTRACTOR TO COORDINATE AND INSTALL SIGNAGE/EQUIPMENT FOOTINGS AND ASSOCIATED ELECTRICAL CONDUITS. REFER TO SPECIFIC TENANT DETAILS.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDSPS, AND WDNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
   - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
   - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
   - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
   - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
   - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 5.5' MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
15. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.2415(a)b AND SPS 384.30(2)(c).
16. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.36.
17. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
18. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SEPARATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
19. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
20. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
21. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
22. THE CONTRACTOR SHALL CONDUCT THEIR OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

PROPOSED STORM SEWER / CULVERT PIPE SCHEDULE

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEV. (FT)	DISCHARGE ELEV. (FT)	SLOPE (%)	PIPE SIZE & TYPE	MANNING'S NUMBER	DESIGN RUNOFF (GPM)	PIPE CAPACITY (GPM)
P - 1	STM INL NO. 1	EX STM INL	24	929.50	929.20	1.25%	8" HDPE	0.012	430.88	656.51
P - 2	STM INL NO. 3	STM AES NO. 2	15	932.15	932.00	1.00%	12" HDPE	0.012	1642.45	1732.36
P - 3	STM INL NO. 4	STM INL NO. 3	44	932.59	932.15	1.00%	12" HDPE	0.012	1199.12	1732.36
P - 4	STM INL NO. 5	STM INL NO. 4	40	932.99	932.59	1.00%	12" HDPE	0.012	1118.41	1732.36
P - 5	STM INL NO. 6	STM INL NO. 5	94	933.93	932.99	1.00%	12" HDPE	0.012	823.29	1732.36
P - 6	STM INL NO. 7	STM INL NO. 6	15	934.08	933.93	1.00%	12" HDPE	0.012	21.73	1732.36
P - 7	STM MH NO. 9	STM AES NO. 8	77	932.77	932.00	1.00%	12" HDPE	0.012	869.71	1732.36
P - 8	STM INL NO. 10	STM MH NO. 9	7	932.84	932.77	1.00%	12" HDPE	0.012	279.28	1732.36
P - 9	STM INL NO. 11	STM MH NO. 9	127	934.04	932.77	1.00%	12" HDPE	0.012	590.43	1732.36

PROPOSED STORM SEWER STRUCTURES SCHEDULE

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STM INL NO. 1	928.50	933.85	5.35	36" MANHOLE	HAA.A PS36-44S
STM AES NO. 2	932.00	-	-	12' APRON ENDWALL	-
STM INL NO. 3	932.15	935.52	3.37	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 4	932.59	935.59	3.00	2'X3' BOX	R-3067, TYPE L GRATE
STM INL NO. 5	932.99	936.85	3.86	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 6	933.93	937.03	3.10	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 7	934.08	936.96	2.88	2'X3' BOX	R-3067, TYPE L GRATE
STM AES NO. 8	932.00	-	-	12' APRON ENDWALL	-
STM MH NO. 9	932.77	937.75	4.98	48" MANHOE	R-1550, SOLID LID
STM INL NO. 10	932.84	936.43	3.59	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 11	934.04	938.30	4.26	2'X3' BOX	R-3067, TYPE R GRATE

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UTILITY PLAN

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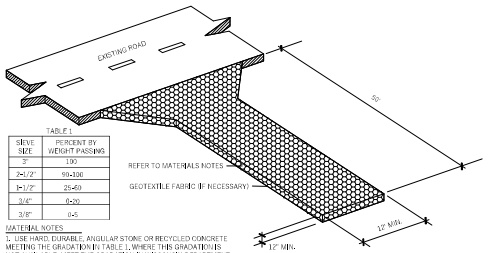


TABLE 1

SIEVE SIZE	PERCENT BY WEIGHT PASSING
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

REFER TO MATERIALS NOTES

GEOTEXTILE FABRIC (IF NECESSARY)

MATERIAL NOTES

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATION, SECTION 312 SELECT CRUSHED MATERIAL. USE MATERIAL SUBSTANTIALLY FREE FROM DIRT, DEBRIS, STEEL, VEGETABLE MATTER, AND OTHER DELETERIOUS MATERIAL. PLACE THE AGGREGATE IN A LAYER AT LEAST 12 INCHES THICK.

2. THE TRACKING PAD SHALL BE UNDERLAIN WITH A WIDOT TYPE R GEOTEXTILE FABRIC WHERE WARRANTED BASED ON SOIL TYPE OR HIGH GROUNDWATER.

INSTALLATION NOTES

1. INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1057.

2. INSTALL THE TRACKING PAD ACROSS THE FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXITING TRAFFIC TO A DEDICATED EGRESS LANE WITH A DRIVING SURFACE AT LEAST 12 FEET WIDE.

3. DIMENSIONS OF THE TRACKING PAD SHALL BE MINIMUM AS NOTED ON THE FIGURE ABOVE.

4. DIVERT SURFACE FLOWS AWAY FROM TRACKING PADS OR CONVEY FLOW UNDER AND/OR AROUND USING CULVERTS AND SWALES. DIRECT RUNOFF FROM TRACKING PADS TO SEDIMENT CONTROL PRACTICES.

5. DO NOT COMPACT AGGREGATE PRIOR TO USE. COMPACTION, GROUTING, OR OTHER MEANS OF CREATING A SMOOTH SURFACE COMPROMISE THE EFFECTIVENESS OF THE TRACKING PAD.

6. TRACKING PAD SHALL BE REMOVED OR INCORPORATED INTO GRAVEL DRIVEWAY ONLY AFTER CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED.

INSPECTION & MAINTENANCE NOTES

1. STONE TRACKING PADS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.

2. MONITOR AND MAINTAIN DEVICES TO MINIMIZE SHIFTING, RUTTING OF ADJACENT SURFACES, AND STRUCTURAL FAILURE. MAINTAIN A LOOSENED, ROUGH SURFACE BY SCRAPING, LOOSENING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

3. ADDITIONAL AGGREGATE SHALL BE PLACED IF THE TRACKING PAD BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM THE VEHICLE TIRES.

4. A MINIMUM 30-FEET WIDE BY 50-FEET LONG BY 12-INCH THICK PAD SHALL BE MAINTAINED AT ALL TIMES. ADD STONE AS NEEDED TO MAINTAIN THE MINIMUM PAD THICKNESS.

5. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

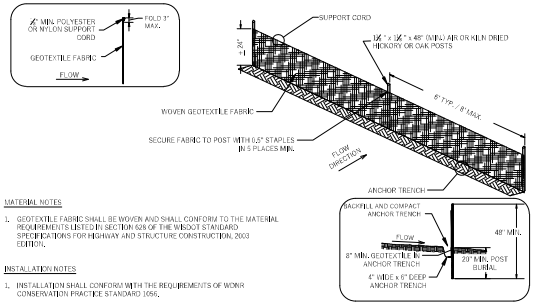
6. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING AT THE END OF EACH WORKING DAY.

7. REMOVE STONES LODGED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES PRIOR TO LEAVING THE CONSTRUCTION SITE.

8. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION FOR SITE CONDITIONS.

9. REPLACE DAMAGED OR CRUSHED CULVERTS UNDER TRACKING PADS.

CONSTRUCTION ENTRANCE (STONE TRACKING PAD)



MATERIAL NOTES

1. GEOTEXTILE FABRIC SHALL BE WOVEN AND SHALL CONFORM TO THE MATERIAL REQUIREMENTS LISTED IN SECTION 628 OF THE WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2003 EDITION.

INSTALLATION NOTES

1. INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1056.

2. CONSTRUCT THE SILT FENCE IN AN ARC WITH THE ENDS POINTING UPSLOPE TO AVOID EROSION AROUND THE ENDS OF THE FENCE.

3. FAILURE TO PROPERLY ANCHOR SILT FENCE COULD RESULT IN WATER AND SEDIMENT RELEASE BENEATH THE SILT FENCE. PROPERLY SECURE THE SILT FENCE INTO THE ANCHOR TRENCH.

4. CONSTRUCT THE FENCE FROM A CONTINUOUS ROLL OF GEOTEXTILE TO AVOID JOINTS. WHERE JOINTS ARE NECESSARY, OVERLAP TO THE NEXT POST OR WRAP ADJOINING FABRICS TOGETHER AROUND THE JOINT POST AND TIGHTLY FASTEN.

5. SILT FENCE SHALL NOT BE USED IN AREAS OF CONCENTRATED FLOW.

INSPECTION & MAINTENANCE NOTES

1. AT A MINIMUM, PERFORM INSPECTIONS WEEKLY AND WITHIN 24 HOURS OF PRECIPITATION EVENTS PRODUCING 0.5 INCHES OR MORE OF RAINFALL.

2. INSPECT FENCES FOR DAMAGE TO STAKES AND FABRIC, UNDERCUTTING, EXCESSIVE SEDIMENT ACCUMULATION (GREATER THAN ½ OF THE FENCE HEIGHT), AND INDICATIONS OF SCOUR AROUND THE EDGES.

3. REPAIR OR REPLACE SILT FENCE WITHIN 24 HOURS OF IDENTIFYING AND DEFICIENCIES.

SILT FENCE

MATERIAL	THICKNESS	SPECIFICATION
BITUMINOUS UPPER LAYER	1.75"	SECTION 460, TABLE 460-1
BITUMINOUS LOWER LAYER	2.25"	SECTION 460, TABLE 460-1
DENSE GRADED BASE	10.0"	SECTION 301 AND 305 TOTAL
THICKNESS	14.0"	

1. SPECIFICATIONS BASED ON GEOTECHNICAL REPORT AS PREPARED BY CGC, INC. DATED JANUARY 5, 2024. IF ANY DISCREPANCY BETWEEN THIS DETAIL AND THE GEOTECHNICAL REPORT IS FOUND, THE GEOTECHNICAL REPORT HOLDS.

2. UNDERCUTTING IS LIKELY BASED ON UNDERLYING SOILS. BUDGET SHALL INCLUDE GENEROUS CONTINGENCY FOR SUBGRADE UNDERCUTTING. UNDERCUT SECTION ASSUMED TO BE 12" OF 3" DGB OVER DRAIN. GEOGRID (TENSAR BX TYPE 1 OR EQUAL), FINAL DETERMINATION BASED ON FIELD PROOF-ROLL.

3. COMPACTION REQUIREMENTS
   3.1. BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
   3.2. BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION

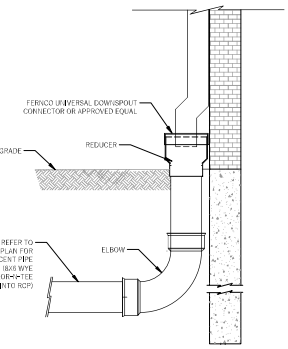
4. MIXTURE TYPE LT BITUMINOUS PAVEMENT IS RECOMMENDED FOR THE PARKING AREA. REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.

5. THE UPPER 4" OF DGB SHALL BE 1.25"; THE BOTTOM PART OF THE LAYER CAN BE 3" DGB.

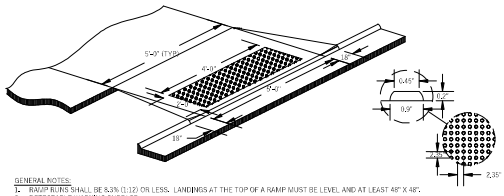
MATERIAL	THICKNESS	SPECIFICATION
CONCRETE SLAB LAYER	6.0"*	SECTION 501, GRADE A, CLASS I
DENSE GRADED BASE	6.0"	SECTION 301 AND 305, 312 & 1057
TOTAL THICKNESS	12.0"	

NOTE: CONCRETE SIDEWALK TO BE 5" CONCRETE OVER 4" DENSE GRADED BASE.
* REINFORCEMENT TO INCLUDE #4 REBAR 12" O.C. BOTH WAYS OR EQUIVALENT

PAVEMENT SECTIONS

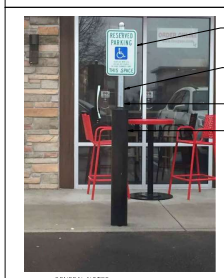


ROOF DRAIN DOWNSPOUT CONNECTION



GENERAL NOTES:
1. RAMP RUNS SHALL BE 8.3% (1:12) OR LESS. LANDINGS AT THE TOP OF A RAMP MUST BE LEVEL AND AT LEAST 48" X 48".
2. DETECTABLE WARNING SURFACE:
   2.1. DETECTABLE WARNING PLATE SHALL BE NEENAH FOUNDRY TYPE R-4984 OR EQUIVALENT.
   2.2. DETECTABLE WARNING PLATE SHALL BE CAST IRON WITHOUT ANY COATING.
   2.3. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9" MIN. TO 1.4" MAX. A TOP DIAMETER OF 50% OF THE BASE DIAMETER MIN. TO 65% OF THE BASE DIAMETER MAX. AND A HEIGHT OF 0.2".
   2.4. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6" MIN. AND 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST ADJACENT DOMES ON A SQUARE GRID.
   2.5. THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6" MIN. AND 8" MAX. FROM THE CURB LINE.
   2.6. DETECTABLE WARNING PLATE SHALL BE 6" FROM CONCRETE JOINTS.
   2.7. COMPLY WITH MANUFACTURER'S INSTALLATION GUIDELINES.
3. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.
4. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5% (1:20). THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS, AND STREETS SHALL BE AT THE SAME LEVEL.

ADA RAMP



SIGNAGE - COMPLY WITH TRANS 200.07 HANDICAPPED PARKING SIGNS.

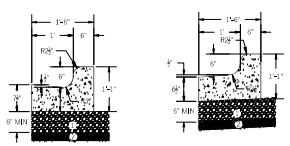
"VAN ACCESSIBLE STALL" SIGN IS REQUIRED BELOW ADA STALL SPACE SIGN AT VAN STALLS ONLY.

2" x 2" NON-PERFORATED ALUMINUM TUBE WITH CAPPED TOP.

TYPICAL BOLLARD TO HAVE GRAY BOLLARD COVER.

GENERAL NOTES:
- INSTALL SIGN INTEGRAL WITH BOLLARD AS SHOWN OR APPROVED EQUAL.

BOLLARD WITH ADA SIGN



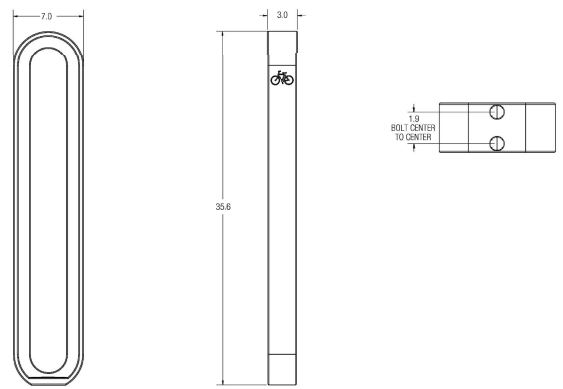
18" C&G STANDARD SECTION

18" C&G REJECT SECTION

1 DENSE GRADED BASE 1-1/4" (TYP.). SHALL BE PROVIDED 18" BEYOND THE BACK OF CURB

2 COMPACTED SUB BASE

18" CURB AND GUTTER



CUSTOMER APPROVAL:

X_____

DATE:

X_____

UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN INCHES

TOLERANCES (UNLESS OTHERWISE SPECIFIED)
FRACTIONAL: ±1/32
ANGULAR: ±1°
TWO PLACE DECIMAL: ±.010
THREE PLACE DECIMAL: ±.005

MATERIAL: SEE DATA SHEET

FINISH: SEE DATA SHEET

WEIGHT: 22 LBS

SOURCE: -

SCALE: N.T.S.

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	DATE
	01/01/2011

OLYMPIA BIKE RACK
SKOLY

DO NOT SCALE DRAWING

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SIZE	DWG. NO.	REV	SHEET
B	SKOLY-CS	0	1 OF 1

WYSER ENGINEERING

4902 AMCENTER DRIVE
MADISON, WI 53718

AMERICAN CENTER RETAIL

CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
DETAILS

Revisions:

No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'

Wyser Number: 23-1130

Set Type: PLAN REVIEW

Date Issued: 03/06/2024

Sheet Number: C400

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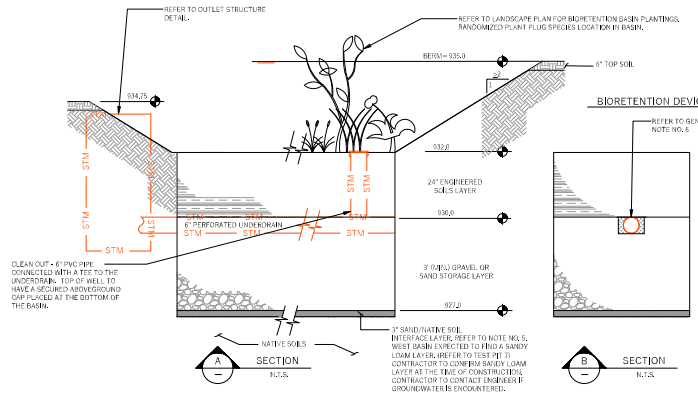


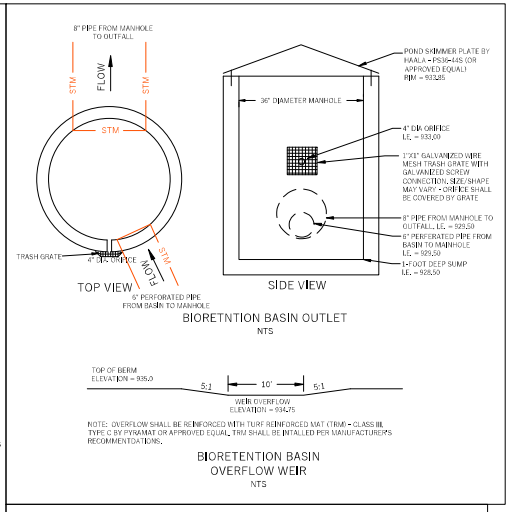
GENERAL NOTES:

1. ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
2. CONTRACTOR SHALL INSTALL NATIVE PLANT PLUGS IN THE BASIN AND INSTALL A CLASS II EROSION CONTROL MAT (OVERLAPPED AND ANCHORED WITH MIN. 6" LONG HARDWOOD STAKES). CUT AN "X" IN THE MATTING AND AUGER DOWN TO PLACE APPROPRIATE PLANTING PLUGS EVERY 12 INCHES ON CENTER.
3. CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 70% ASTM C33 SAND AND 30% CERTIFIED COMPOST (SEE GENERAL NOTE 4).
4. CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, PH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
5. SAND/NATIVE SOIL INTERFACE LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WINCHES VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 24 INCHES. A CONSTRUCTION REPRESENTATIVE MUST BE ON SITE DURING OVER EXCAVATION TO APPROVE OF THE DEPTH AND SOIL TYPES.
6. FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
7. ANNUAL RYE GRASS SHALL BE SEEDED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOCK AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
8. RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
9. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
10. REFER TO LANDSCAPE PLAN FOR PLANTING REQUIREMENTS.

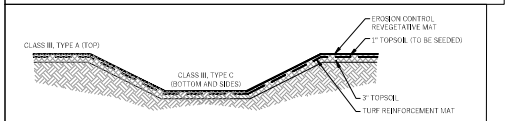
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

	REFERENCE	SOIL DEPTH	SOIL TYPE	INFILTRATION RATE	LIGHTING LAYER
BIORETENTION BASIN 1	TP-7	927-929.5	Sandy Loam	0.5	NONE

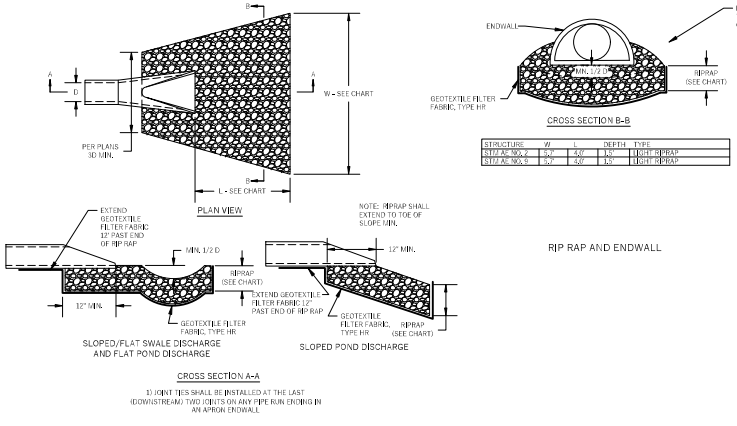


NOTE: OVERFLOW SHALL BE REINFORCED WITH TURF REINFORCED MAT (TRM) - CLASS III, TYPE C BY PYRAMAT OR APPROVED EQUAL. TRM SHALL BE INTALLED PER MANUFACTURER'S RECOMMENTATIONS.



NOTE: VARIATION ON INSTALLATION PROCEDURES MAY OCCUR. REFER TO MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES.

TURF REINFORCEMENT INSTALLATION DETAIL

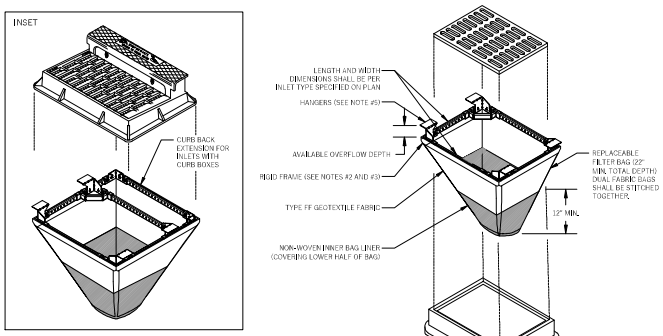


STRUCTURE	W	L	DEPTH	TYPE
STU7 AE 906.2	5.2'	5.2'	1.5'	LIGHT RIPRAP
STU7 AE 906.5	5.2'	5.2'	1.5'	LIGHT RIPRAP

CROSS SECTION A-A

1) JOINT TIES SHALL BE INSTALLED AT THE LAST (DOWNSTREAM) TWO JOINTS ON ANY PIPE RUN ENDING IN AN APRON ENDWALL

RIP RAP AND ENDWALL



NOTES:

1. DETAIL BASED ON WDNR TECHNICAL STANDARD 1095. ANY VARIATIONS FROM THAT STANDARD IS UNINTENDED AND SHOULD NOT BE USED.
2. TAPER BOTTOM OF BAG TO MAINTAIN 8" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
3. THE RIGID FRAME SHALL BE CONSTRUCTED OF GALVANIZED STEEL AND HAVE ADEQUATE STRENGTH TO SUPPORT THE WEIGHT OF THE SEDIMENT BAG WHEN COMPLETELY FULL.
4. THE RIGID FRAME SHALL NOT INTERFERE WITH OR ELEVATE THE GRATE MORE THAN 1/8".
5. DROP THE INLET FILTER THOUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.

MAINTENANCE NOTES:

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE STRUCTURE SHALL BE IMMEDIATELY REMOVED.

TYPE D-RF INLET PROTECTION

WYSER ENGINEERING

KRAEMER DEVELOPMENT

4902 AMCENTER DRIVE
MADISON, WI 53718

AMERICAN CENTER RETAIL

CITY OF MADISON, DANE COUNTY, WI

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Sheet Number	C401

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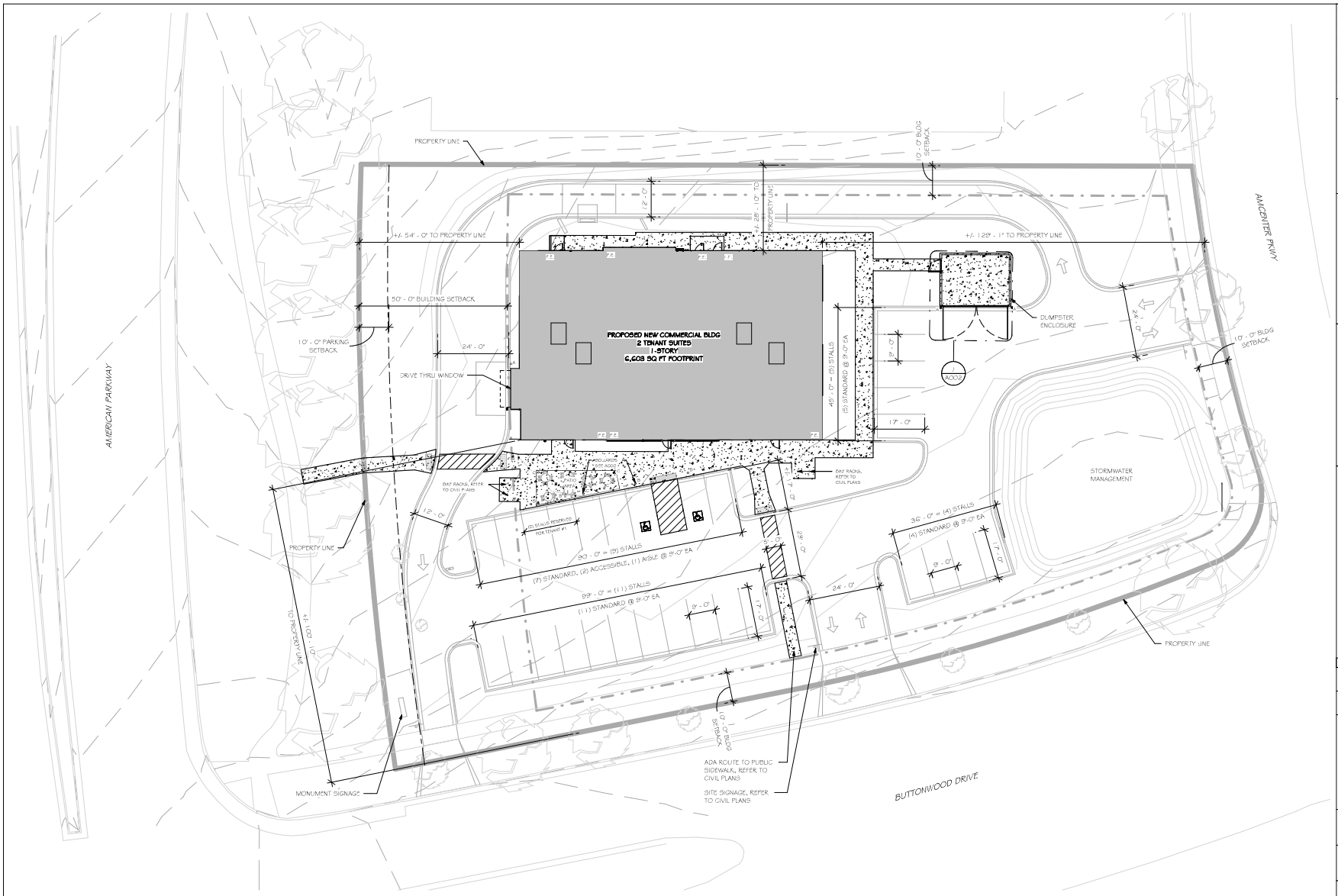

1 SITE PLAN
SCALE: 1/16" = 1'-0"

0 8 16 32

PLAN NORTH TRUE NORTH

NOTES:
1. REFER TO CIVIL PLANS FOR SITE DETAILS & DIMENSIONS.
2. REFER TO ELECTRICAL PLANS FOR EXTERIOR LIGHTING.
3. REFER TO PLUMBING PLANS FOR EXTERIOR HOSE BIB LOCATIONS.
4. REFER TO MECHANICAL PLANS FOR HVAC EQUIPMENT LOCATIONS.

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KRAEMER DEVELOPMENT

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ISSUE PHASE	PLAN REVIEW

PROJECT TITLE
KRAEMER - AMERICAN CENTER DEVELOPMENT

PROJECT OWNER
KRAEMER DEVELOPMENT, LLC

PROJECT LOCATION
4902 AMCENTER PKWY
MADISON, WI 53718

SHEET TITLE
ARCHITECTURAL SITE PLAN

PROJECT NUMBER 59565

SHEET NUMBER A001

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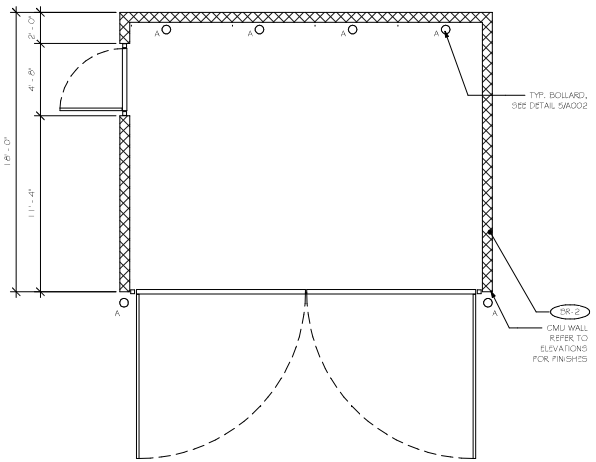
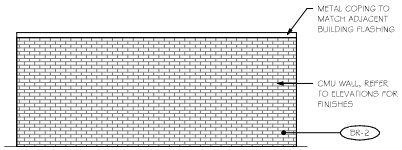
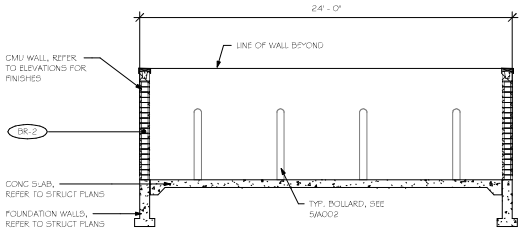


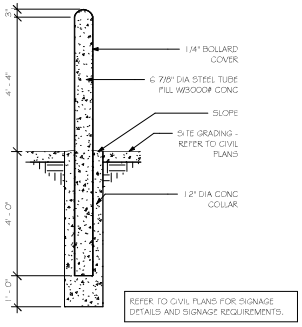
1 ENLARGED PLAN @ TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



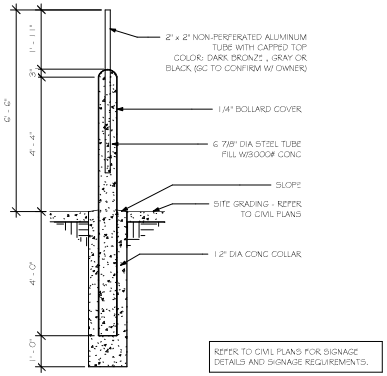
4 TRASH ENCLOSURE ELEVATION 2
SCALE: 1/4" = 1'-0"



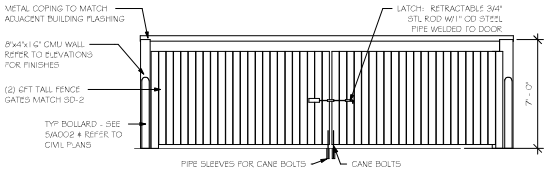
2 SECTION @ TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



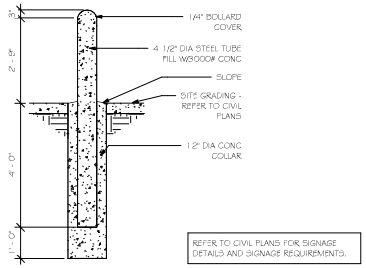
5 BOLLARD DETAIL - A
SCALE: 1/2" = 1'-0"



6 BOLLARD DETAIL - B
SCALE: 1/2" = 1'-0"



3 TRASH ENCLOSURE ELEVATION 1
SCALE: 1/4" = 1'-0"



7 BOLLARD DETAIL - C
SCALE: 1/2" = 1'-0"

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PROJECT TITLE
KRAEMER - AMERICAN CENTER DEVELOPMENT

PROJECT OWNER
KRAEMER DEVELOPMENT, LLC

PROJECT LOCATION
4902 AMCENTER PKWY
MADISON, WI 53718

SHEET TITLE
ARCHITECTURAL SITE DETAILS

PROJECT NUMBER 59565

SHEET NUMBER A002

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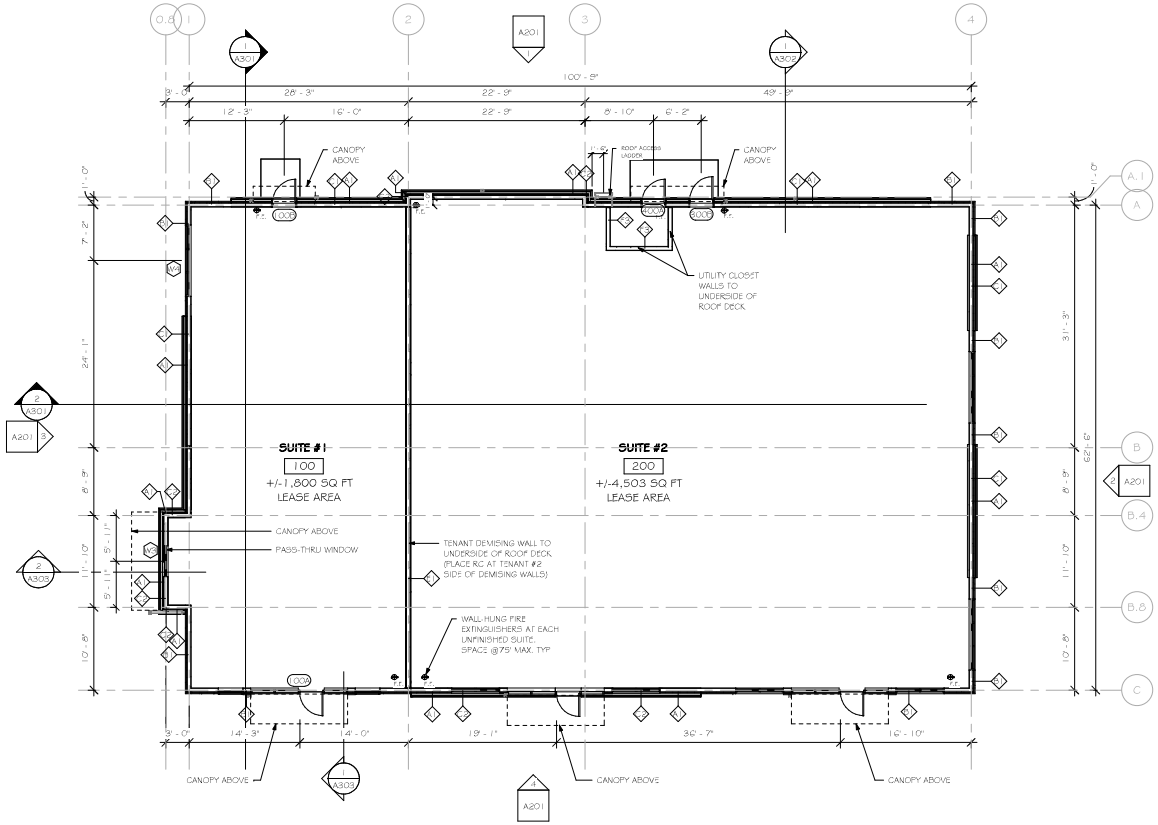

NOTE:
FINAL INTERIOR LAYOUTS TO BE CONFIRMED BY TENANT COORDINATION DRAWINGS

1 FIRST FLOOR
SCALE: 1/8" = 1'-0"
0 4 8 16

PLAN NORTH TRUE NORTH

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MADISON, WI 53718

SHEET TITLE
FIRST FLOOR PLAN

PROJECT NUMBER	59565
SHEET NUMBER	A101

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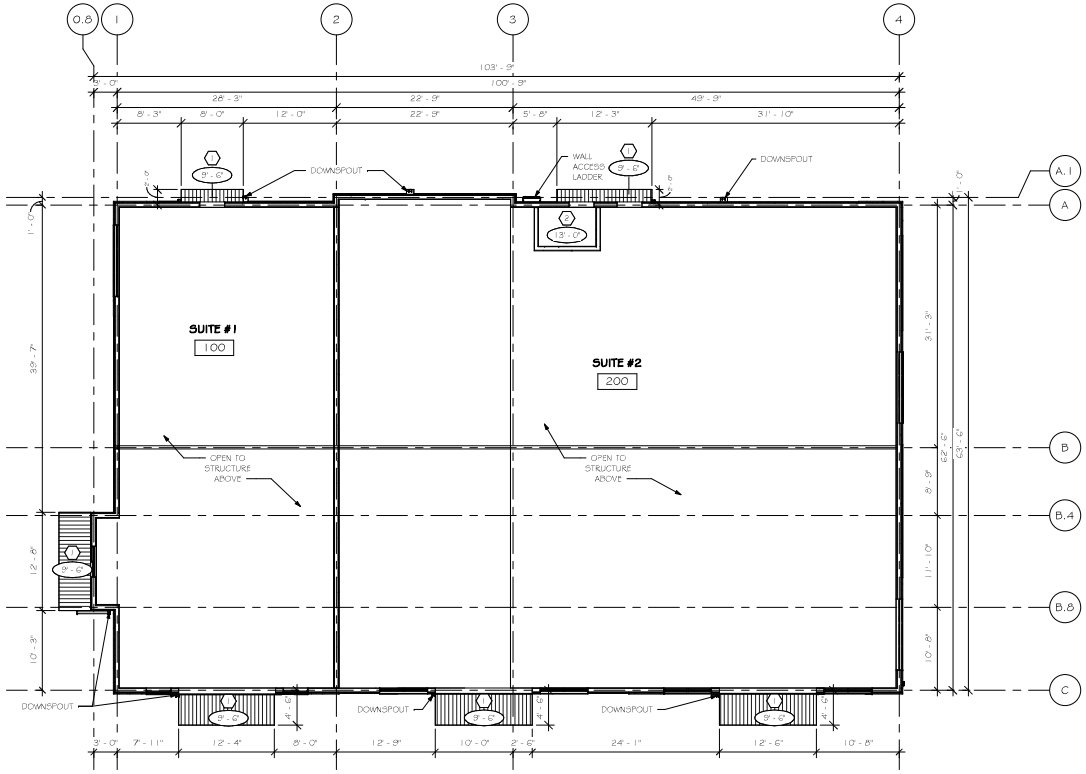

1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"
0 4 8 16

PLAN NORTH TRUE NORTH

RCP GENERAL NOTES

1. THIS PLAN SHOWS THE LOCATIONS OF ITEMS THAT ARE ARCHITECTURALLY SIGNIFICANT ONLY. PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS INDICATED ARE REFERENCE ONLY.
2. REFER TO MEP PLANS FOR EXACT LOCATIONS AND DETAILS.
3. CONTRACTOR HAS OPTION TO USE GYP BD SUSP SYSTEM OR LIGHT GAGE METAL FRAMING AT DROPPED GYP BD CEILING LOCATIONS.
4. GYP BD TO BE MUDDED, TAPED, SANDED AND READY FOR PAINT.

LEGEND

1 ALUMINUM, VENTED SOFFIT SYSTEM. COLOR TO MATCH FASCIA/WALL CAP. SEE ELEVATIONS FOR COLOR.

2 FIBERGLASS FACED GYPSUM WALLBOARD CEILING - DO NOT EXCEED 200 SF BETWEEN CONTROL JOINTS

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SHEET TITLE
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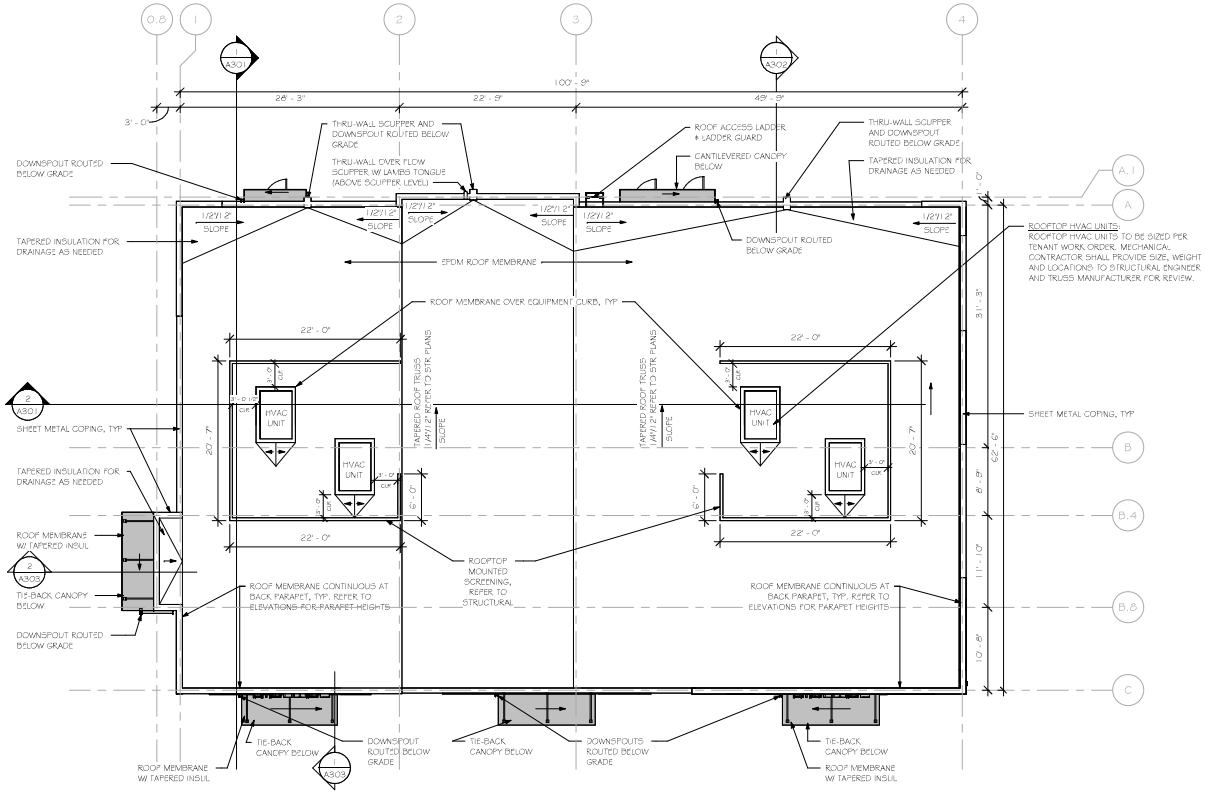

1 ROOF
SCALE: 1/8" = 1'-0"
0 4 8 16

PLAN NORTH TRUE NORTH

ROOF PLAN NOTES:

1. VERIFY EXACT LOCATIONS OF ROOF TOP MECHANICAL EQUIPMENT + MECHANICAL CURBS WITH THE MECHANICAL DRAWINGS.
2. REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING PENETRATIONS.
3. REFER TO PLUMBING DRAWINGS FOR ROOFTOP HOSEBIB LOCATION(S).
4. REFER TO ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS AND EXACT LOCATIONS.
5. PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
6. DESIGN BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
7. PROVIDE PREFINISHED SHEET METAL COPINGS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
8. PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGNBUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
9. REFER TO CIVIL PLANS FOR DOWNSPOUT CONNECTION AND ROUTE BELOW GRADE.

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KRAEMER DEVELOPMENT

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REV		DATE
DATE ISSUED		03/06/2024
ISSUE PHASE		PLAN REVIEW

PROJECT TITLE
KRAEMER - AMERICAN CENTER DEVELOPMENT

PROJECT OWNER
KRAEMER DEVELOPMENT, LLC

PROJECT LOCATION
4902 AMCENTER PKWY
MADISON, WI 53718

SHEET TITLE
ROOF PLAN

PROJECT NUMBER 59565

SHEET NUMBER A103

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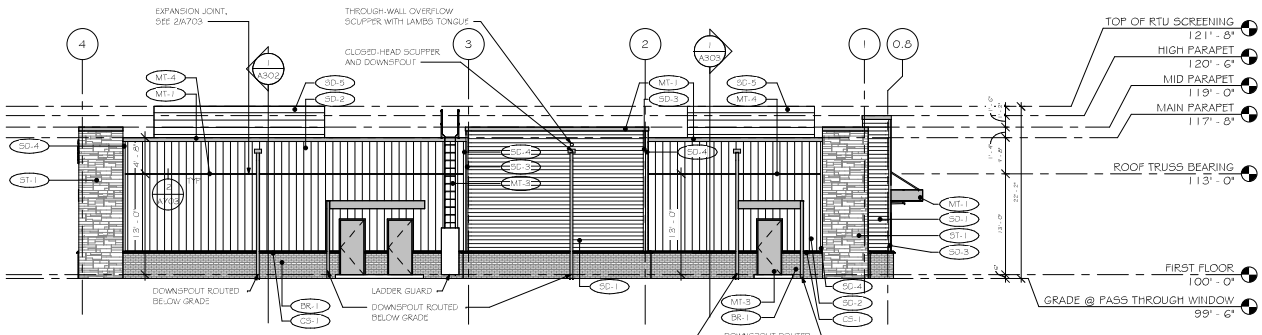
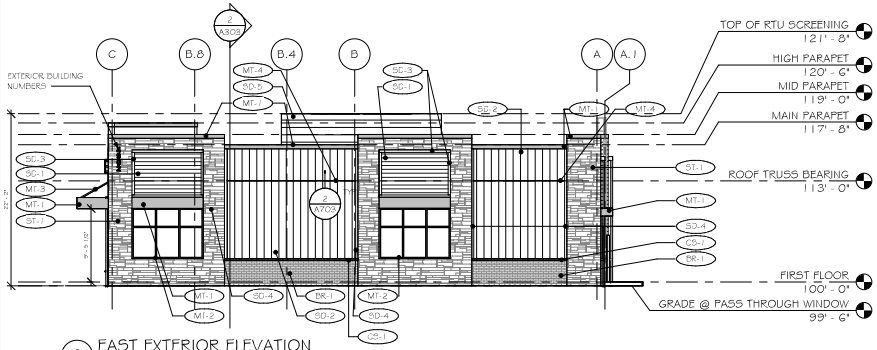
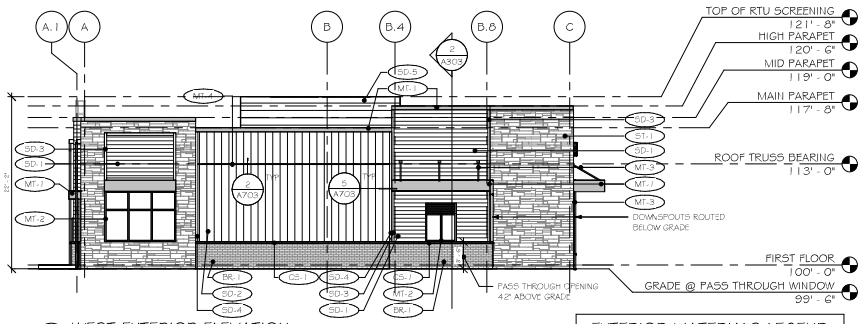


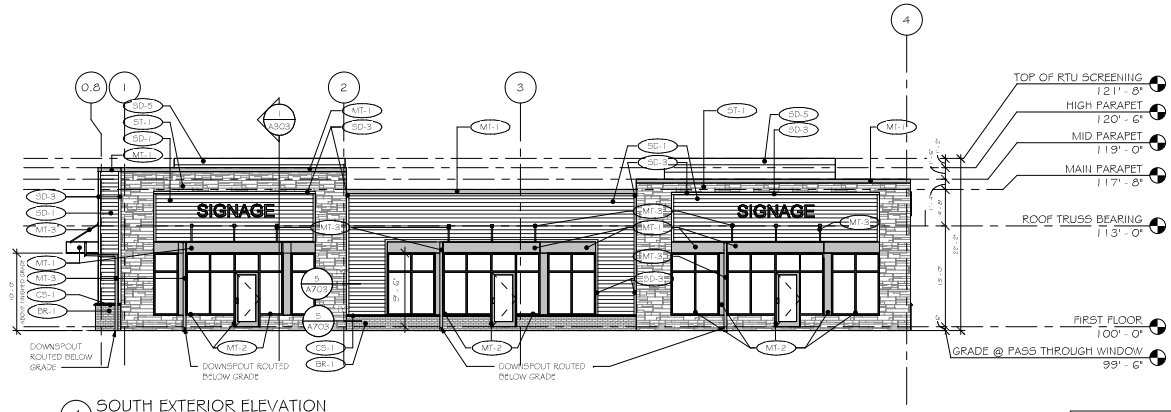
1 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



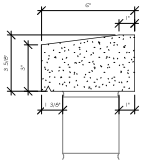
2 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



5 PRECAST PROFILE #2
SCALE: 3" = 1'-0"

SIGNAGE NOTES:
-OWNER TO COORDINATE SITE SIGNAGE DESIGN WITH SIGN SUPPLIER.
-ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQUIREMENTS FOR ALL SIGNAGE LOCATIONS.
-GC TO VERIFY BLOCKING REQUIREMENTS FOR SIGNAGE.
-TENANT TO PROVIDE EXTERIOR SIGNAGE.

NOTE:
AWNING AT DRIVE THRU IS 10'-0" ABOVE FINISHED GRADE.
AWNINGS AT FRONT & BACK DOORS ARE 9'-6" ABOVE FINISHED GRADE.

EXTERIOR ELEVATION NOTES:

1. ALL EXTERIOR VENTS & LOUVERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR. SEE MECHANICAL FOR SIZE AND LOCATIONS
2. FOAM PLASTIC INSULATION GREATER THAN 4" IN THICKNESS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 75 AND A SMOKE DEVELOPED INDEX OF 450 WHERE TESTED AT A MINIMUM THICKNESS OF 4"
3. PROVIDE BLOCKING AND ELECTRICAL CIRCUITING TO ALL SIGN LOCATIONS; COORDINATE WITH SIGN CONTRACTOR.
4. 69'-0" MAXIMUM BUILDING HEIGHT PER AMERICAN CENTER GUIDELINES (FAA CEILING AT THIS PARCEL IS 200' AGL. BUILDING HEIGHT IS <200' AGL)

EXTERIOR MATERIALS LEGEND

- SD-1 - LP SMARTSIDE, RIGID STACK 8" W/ DIAMOND KOTE DUOBLEND PREMIUM COLOR: CHESTNUT
- SD-2 - LP SMARTSIDE, PANEL & BOARD AND BATTEN TRIM W/ STANDARD SOLID COLOR: SAND
- SD-3 - LP SMARTSIDE 4" TRIM COLOR: MATCH SD-1
- SD-4 - LP SMARTSIDE 4" TRIM COLOR: MATCH SD-2
- SD-5 - PERFORATED METAL SCREENING AT RTUS COLOR: MATCH SD-2
- ST-1 - EDEN VALDERS STONE, ADHERED BUCKINGHAM MACHINE CUT VENEER SPSC MIX MORTAR: SM-350 SUEDE
- BR-1 - HERITAGE COLLECTION DESIGNER CONCRETE BRICK, SMOOTH FACE, MODULAR COLOR: SABLE (BUILDING) SPSC MIX MORTAR: SM-350 SUEDE
- BR-2 - HERITAGE COLLECTION DESIGNER CONCRETE BRICK, SMOOTH FACE, 8x4x16 COLOR: SABLE (DUMPSTER) SPSC MIX MORTAR: SM-350 SUEDE
- CS-1 - CAST STONE CAP AT CONCRETE BRICK. COLOR: MATCH BR-1
- MT-1 - CMG STEEL AT CANOPY AND WALL CAP COLOR: EXTRA DARK BRONZE
- MT-2 - ANODIZED ALUMINUM AT WINDOWS AND WINDOW TRIM COLOR: KAWNEER #40 DARK BRONZE
- MT-3 - PREFINISHED STEEL AT SERVICE DOORS, AND ROOF ACCESS LADDER COLOR: MATCH MT-2
- MT-4 - PREFINISHED ALUMINUM Z-FLASHING AT ROOF TRUSS BEARING COLOR: MATCH ADJACENT SIDING

NOTE:
-GC TO PROVIDE PHYSICAL SAMPLES FOR REVIEW.
-ALL COLORS AND FINISHES TO BE VERIFIED BY OWNER PRIOR TO ORDERING AND INSTALLING.

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KRAEMER DEVELOPMENT

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ISSUE PHASE		PLAN REVIEW

PROJECT TITLE
KRAEMER - AMERICAN CENTER DEVELOPMENT

PROJECT OWNER
KRAEMER DEVELOPMENT, LLC

PROJECT LOCATION
4902 AMCENTER PKWY
MADISON, WI 53718

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECT NUMBER 59565

SHEET NUMBER A201

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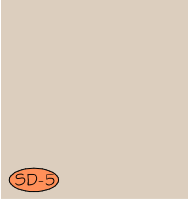
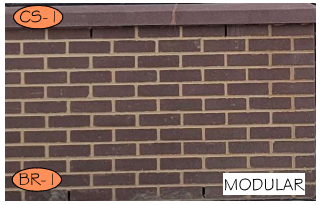
LP SMARTSIDE, RIGID STACK 8" W/
DIAMOND KOTE DUOBLEND PREMIUM
COLOR: CHESTNUT

LP SMARTSIDE, PANEL & BOARD AND BATTEN
TRIM W/ STANDARD
COLOR: SAND



HVAC SCREEN,
COLOR:
MATCH SD-2, SAND

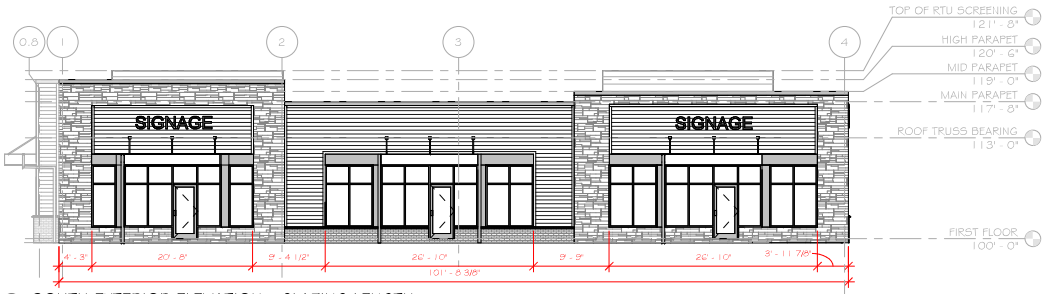
EDEN VALDERS STONE, ADHERED BUCKINGHAM
MACHINE CUT VENEER
SPEC MIX MORTAR: SM-350 SUEDE



HERITAGE COLLECTION DESIGNER CONCRETE BRICK, SMOOTH FACE
COLOR: SABLE
SPEC MIX MORTAR: SM-350 SUEDE

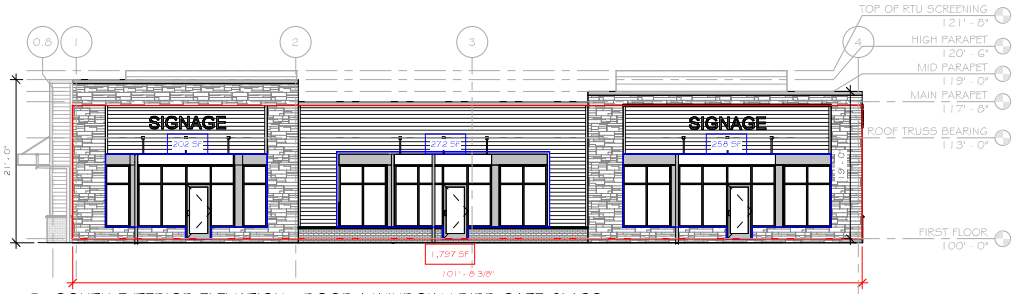
MT-1 STEEL: CMG
COLOR: EXTRA
DARK
BRONZE

MT-2 MT-3 ALUMINUM:
KAWNEER
COLOR: DARK
BRONZE



1 SOUTH EXTERIOR ELEVATION - GLAZING LENGTH
SCALE: 1/8" = 1'-0"

50% OF THE LENGTH OF BUTTONWOOD FACADE:
TOTAL LENGTH OF BUILDING: 88.42 LF
TOTAL LENGTH OF GLASS: 74.33 LF
= 84.06% OF LENGTH OF BUTTONWOOD FACADE IS DOOR & WINDOW OPENINGS



2 SOUTH EXTERIOR ELEVATION - DOOR & WINDOW / BIRD-SAFE GLASS
SCALE: 1/8" = 1'-0"

40% OF THE GROUND FLOOR AREA:
TOTAL PRIMARY FACADE AREA: 1,797 SF
TOTAL DOOR & WINDOW AT PRIMARY FACADE: 732 SF
= 41% OF PRIMARY STREET FACADE IS DOOR & WINDOW OPENINGS

28.12.2(4) - BIRD-SAFE GLASS TREATMENT REQUIREMENTS - NOT REQUIRED
(a) LESS THAN 10,000 SQ FT BUILDING
(b) NO SKY-BRIDGES PRESENT
(c) NO AT-GRADE GLASS PRESENT

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KRAEMER - AMERICAN CENTER DEVELOPMENT

EXTERIOR ELEVATIONS - FINISHES

01/29/2024 59565

4902 AMCENTER PKWY
MADISON, WI 53718

KRAEMER DEVELOPMENT

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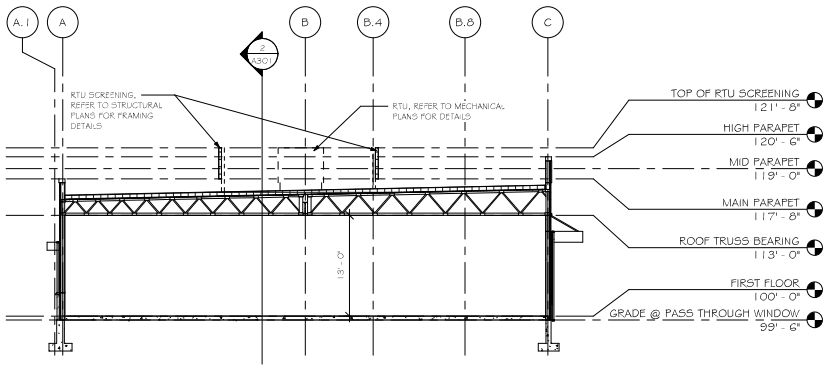
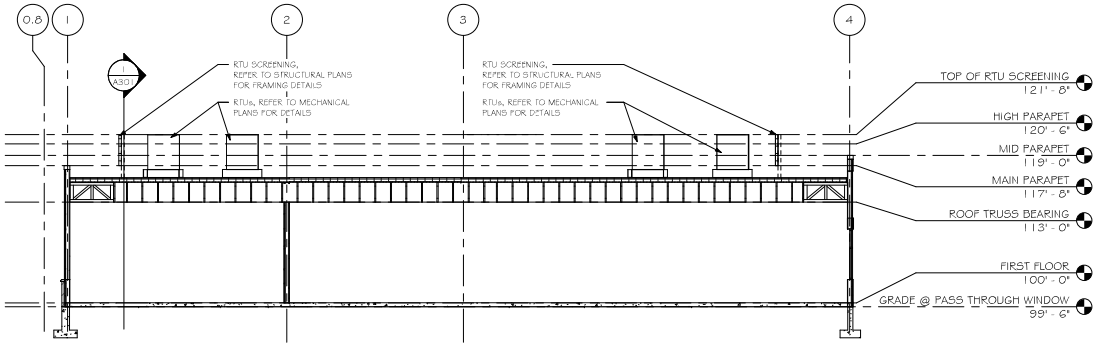


1 BUILDING SECTION - N/S
SCALE: 1/8" = 1'-0"
0 4 8 16



2 BUILDING SECTION - E/W
SCALE: 1/8" = 1'-0"
0 4 8 16

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PROJECT TITLE
KRAEMER - AMERICAN CENTER DEVELOPMENT

PROJECT OWNER
KRAEMER DEVELOPMENT, LLC

PROJECT LOCATION
4902 AMCENTER PKWY
MADISON, WI 53718

SHEET TITLE
BUILDING SECTIONS

PROJECT NUMBER 59565

SHEET NUMBER A301

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City of Madison, WI Landscape Worksheet			
3/6/2024			
City of Madison, Wisconsin Landscape Worksheet			
DEVELOPED LDTS	**SQUARE FEET**		**LANDSCAPE POINTS REQ.**
Total Developed Area Lot 12A			
59,481 sq ft (lot) - 5,126 sq ft (building)	53,655	/300 * 5 pts	**894**
PLANT TYPE / ELEMENT	**POINT VALUE**	**QUANTITY**	**TOTAL POINTS**
Overstory Deciduous	35	10	350
Tall Evergreen Tree	35	3	105
Ornamental Tree	15	5	75
Upright Evergreen Shrub (i.e. arborvitae)	10	15	150
Shrub, deciduous	3	31	93
Shrub, evergreen	4	11	44
Ornamental Grasses/Perennials	2	64	128
Ornamental/Decorative Fencing or Wall (4pts / 10LF)	4		0
Existing Significant Specimen Tree	14		0
Landscape Furniture for public seating and/or transit connections	5		0
		POINTS PROVIDED	**945**

SM — Decorative Stone Mulch
1.5" Capitol Sand & Gravel washed stone over weed barrier fabric with Dimex EdgePro polyvinyl (black plastic) edging

BM — Organic Bark Mulch with Dimex EdgePro polyvinyl (black plastic) edging

SEED — Premium sunny grass seed blend with straw mat. (Class 1 Type B single net)

STREET TREE NOTES:

New street tree locations and tree species within the right-of-way are to be determined in conjunction with City Forestry. Contractor shall contact City Forestry, Wayne Buckley wbuckley@cityofmadison.com or 266-4892 for determination of final planting locations and tree species.

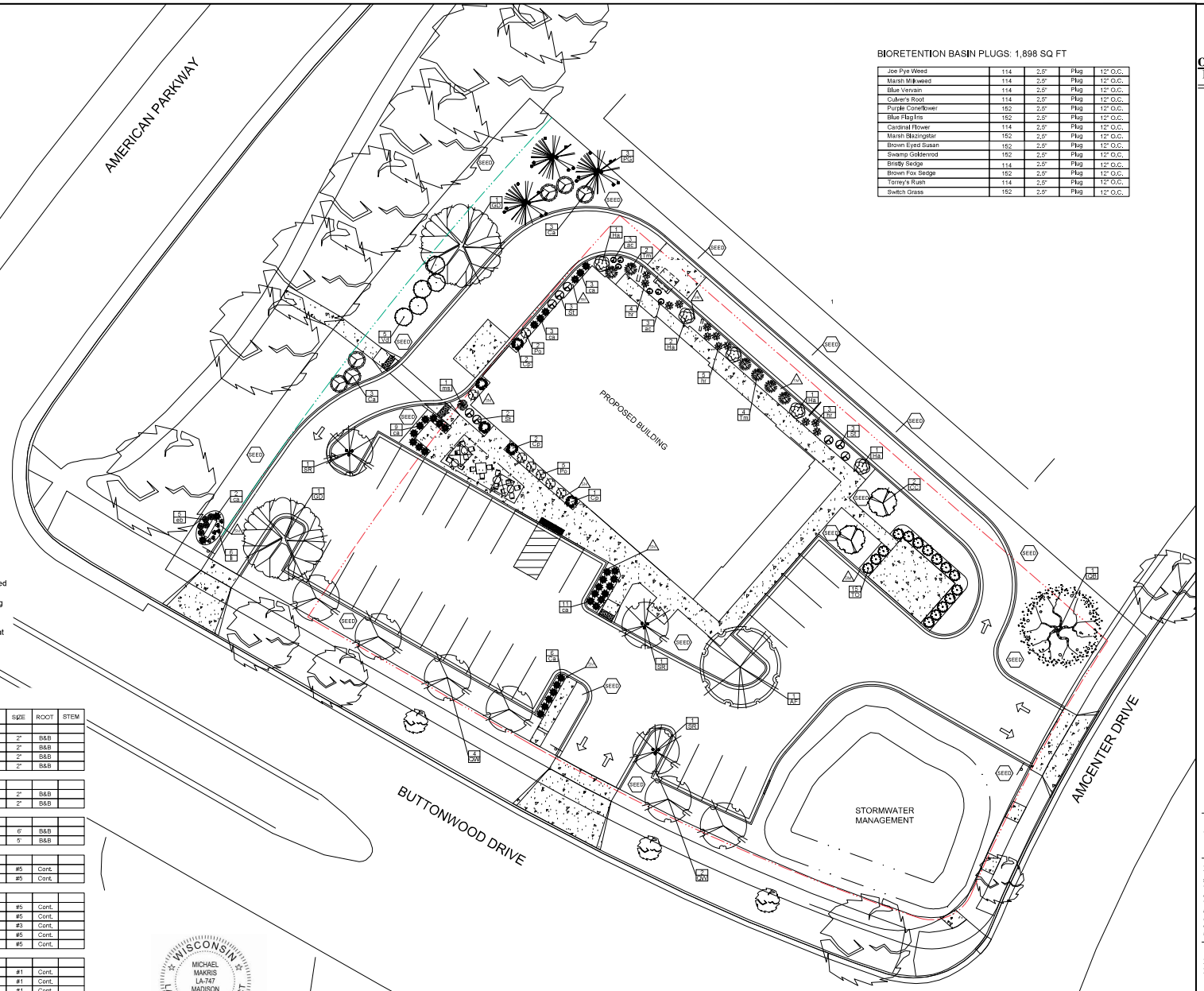
At least one week prior to street tree planting Contractor shall contact City Forestry at (608) 266-4816 to schedule inspection and approval of nursery stock and review planting specifications with the landscaper.

PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT	STEM
AF	*Acer x freemanii 'Jefersred'*	Autumn Blaze Maple	1	2"	B&B	
GD	*Gymnocladus dioicus*	Kentucky Coffeetree	2	2"	B&B	
QB	*Quercus bicolor*	Swamp White Oak	1	2"	B&B	
QW	*Quercus x warei 'Long'*	Regal Prince Oak	6	2"	B&B	
	ORNAMENTAL TREES					
CC	*Crataegus crus-galli var. inermis*	Thornless Cockspur Hawthorn	2	2"	B&B	
SR	*Syringa reticulata 'Ivory Silk'*	Ivory Silk Japanese Tree Lilac	3	2"	B&B	
PG	*Picea glauca var. densata*	Black Hills Spruce	3	6'	B&B	
TO	*Thuja occidentalis 'Smaragd'*	Emerald Arborvitae	15	5'	B&B	
	EVERGREEN SHRUBS					
Cp	*Chamaecyparis pisifera 'Golden Mop'*	Golden Mop Japanese False Cypress	5	#5	Cont.	
Tm	*Taxus x media 'Tautonii'*	Taunton Yew	6	#5	Cont.	
	DECIDUOUS SHRUBS					
Ca	*Cornus alba 'Bailhalo'*	Ivory Halo Red Twigged Dogwood	6	#5	Cont.	
Ha	*Hydrangea arborescense 'Abetwo'*	Incrediball Hydrangea	5	#5	Cont.	
Po	*Physocarpus opulifolius 'Donna May'*	Little Devil Ninebark	7	#3	Cont.	
St	*Spiraea betulifolia 'Tor'*	Tor Birchleaf Spirea	8	#5	Cont.	
Vd	*Viburnum dentatum 'Christom'*	Blue Muffin Arrowwood Viburnum	5	#5	Cont.	
	ORNAMENTAL GRASSES & PERENNIALS					
ac	*Astilbe chinensis 'Visions'*	Visions Astilbe	6	#1	Cont.	
ca	*Calamagrostis x acutiflora 'Karl Foerster'*	Karl Foerster Feather Reed Grass	34	#1	Cont.	
eb	*Echinacea 'Balsomrosa'*	Sombrero Rosada Coneflower	5	#1	Cont.	
ht	*Hosta 'Rainbow's End'*	Rainbow's End Hosta	12	#1	Cont.	
li	*Lavandula x intermedia 'Niko'*	Phenomenal Lavender	6	#1	Cont.	
ms	*Miscanthus sinensis 'Purpurascens'*	Purple Maiden Grass	1	#1	Cont.	

BIORETENTION BASIN PLUGS: 1,898 SQ FT

Joe Pye Weed	114	2.5"	Plug	12" O.C.
Marsh Milkweed	114	2.5"	Plug	12" O.C.
Blue Vervain	114	2.5"	Plug	12" O.C.
Culver's Root	114	2.5"	Plug	12" O.C.
Purple Coneflower	152	2.5"	Plug	12" O.C.
Blue Flag Iris	152	2.5"	Plug	12" O.C.
Cardinal Flower	114	2.5"	Plug	12" O.C.
Marsh Blazingstar	152	2.5"	Plug	12" O.C.
Brown Eyed Susan	152	2.5"	Plug	12" O.C.
Swamp Goldenrod	152	2.5"	Plug	12" O.C.
Bristly Sedge	114	2.5"	Plug	12" O.C.
Brown Fox Sedge	152	2.5"	Plug	12" O.C.
Torrey's Rush	114	2.5"	Plug	12" O.C.
Switch Grass	152	2.5"	Plug	12" O.C.



WISCONSIN MICHAEL MAKRIS LA-747 MADISON WI LANDSCAPE ARCHITECT

SCALE: 1/16"=1'-0"

LANDSCAPE PLAN

L 1.0

OLSON TOON LANDSCAPING
3570 Pioneer Road
Verona, WI 53593
PH: (608) 827-9401
FAX: (608) 827-9402
WEB: www.olsontoon.com

THE AMERICAN CENTER RETAIL

5454 Buttonwood Drive
Madison, Wisconsin 53718

Date: December 6, 2023
Scale: 1/16" = 1'-0"
Designer: kms
Job #

Seal:
To protect against legal liability, the plans presented herein are "schematic," and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions:
2024.01.29
2024.03.04

Reference Name:
Kraemer Development

CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3434 Buttonwood Drive, Madison, Wisconsin 53718

Name of Project The American Center Retail

Owner / Contact Kraemer Development

Contact Phone (608)203-6174 Contact Email jeff@kraemerdevelopment.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 53,655 square feet

Total landscape points required 894

(b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

(c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			10	350
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			3	105
Ornamental tree	1 1/2 inch caliper	15			5	75
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			15	150
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			31	93
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			11	44
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			64	128
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						

Total Number of Points Provided 945

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

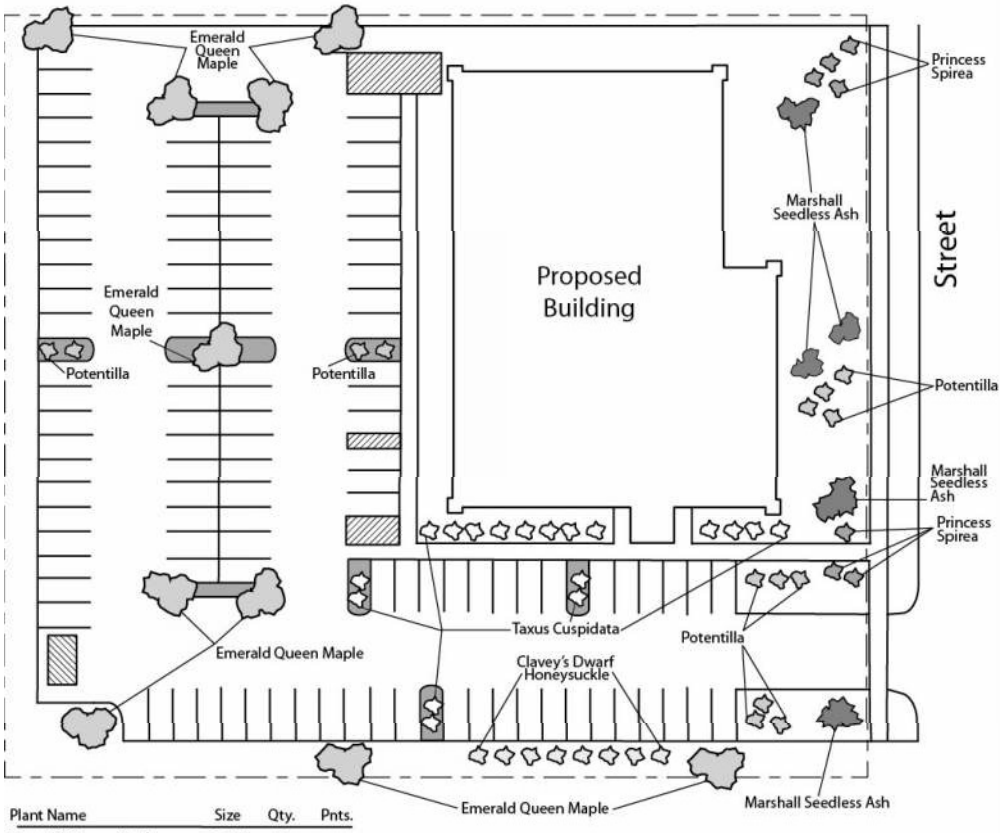
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honelysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
		TOTAL	585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

(a) Elements of the landscape plan shall include the following:

1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
2. Site amenities, including bike racks, benches, trash receptacles, etc.
3. Storage areas including trash and loading.
4. Lighting (landscape, pedestrian or parking area).
5. Irrigation.
6. Hard surface materials.
7. Labeling of mulching, edging and curbing.
8. Areas of seeding or sodding.
9. Areas to remain undisturbed and limits of land disturbance.
10. Plants shall be depicted at their size at sixty percent (60%) of growth.
11. Existing trees eight (8) inches or more in diameter.
12. Site grading plan, including stormwater management, if applicable.

(b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.

(c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

(a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.

(b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.

(c) Canopy tree diversity requirements for new trees:

1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

(a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.

(b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.

(c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

(d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

(a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.

(b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.

(c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

(a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.

(b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.

(c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.

(d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.

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