

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 531 W Mifflin Street

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 01/10/24

New development

Alteration to an existing or previously-approved development

Informational

☒ Initial approval

☒ Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

☒ Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name Brandon Cook

Street address P.O. Box 694

Telephone (608) 279-7962

Project contact person Kevin Burow

Street address 8401 Greenway Blvd., Ste 900

Telephone (608) 836-3690

Property owner (if not applicant) _____

Street address _____

Telephone _____

Company John Fontain Realty

City/State/Zip Madison, WI 53701

Email Johnfontainrealty@gmail.com

Company Knothe & Bruce Architects LLC

City/State/Zip Middleton, WI 53562

Email kburow@knothebruce.com

City/State/Zip _____

Email _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.


Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 10/20/23.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Brandon Cook Relationship to property Developer
 Authorizing signature of property owner  Date 11/20/23

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150
(per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500
(per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100
(per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

November 27, 2023

Ms. Heather Stouder
Director, Planning Division
City of Madison Department of Planning & Community & Economic Development
215 Martin Luther King Jr. Blvd., Ste 017
Madison, Wisconsin 53703



Re: Letter of Intent – UDC and LUA Submittals
531 W Mifflin Street
KBA Project #2362

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

Organizational Structure:

Owner:	John Fontain Inc. P.O. Box 694 Madison, WI 53701 (608) 279 -7962 Contact: Brandon Cook Johnfontainrealty@gmail.com	Architect:	Knothe & Bruce Architects, LLC 8401 Greenway Blvd., Ste 900 Middleton, WI 53562 (608) 836-3690 Contact: Kevin Burow kburow@knothebruce.com
Engineer:	Snyder & Associates, Inc. 5010 Voges Rd Madison, WI 53718 (608) 838-0444 Contact: Brian Arcand barcand@snyder-associates.com	Landscape Design:	Paul Skidmore Landscape Architect 13 Red Maple Trail Middleton, WI 53717 (608) 826-0032 Contact: Paul Skidmore paulskidmore@tds.net

Project Description:

The proposed project consists of the relocation of two existing residential structures at 438 W Dayton Street (Bldg #1) and 432 W Dayton Street (Bldg #2), being displaced due to the CORE Spaces development on Dayton Street, and relocating them to 531 W Mifflin Street (Ald. District 4). The existing house at 531 W Mifflin Street will be demolished to allow for the relocated buildings. This project site is currently in zoning district DR-2. The proposed site at 531 W Mifflin with the two relocated buildings will remain as DR-2.

City and Neighborhood Input:

We have met with the City on several occasions for this proposed development including meetings with Staff and attending a DAT Meeting and this input has helped shape this proposed development. A neighborhood meeting was held on Wednesday, November 1 2023, with Alder Verveer in attendance; feedback from the neighborhood and the Alder has been taken into consideration.

Demolition Standards:

The existing house to be demolished at 531 W Mifflin Street has no historic significance to this area. It is not a landmark structure, nor is it of an uncommon or unusual design or method of construction, and as such should meet the demolition criteria. We believe the demolition standards can be met, and a Re-use and Recycling Plan will be submitted prior to the deconstruction of the existing commercial structure.

Conditional Use approvals:

The proposed redevelopment requires a conditional use to allow for a residential building complex. The proposed building's size, scale and use are consistent with the City's Comprehensive Plan for this property, which calls for Downtown Mixed Use.

Site Development Data:**Densities:**

Lot Area	5,771 S.F./ 0.13 acres
Dwelling Units	5 D.U.
Bedroom Total	23 Bedrooms
Lot Area / D.U.	1,173 S.F./ D.U.
Density	38 Units/Acre
Open Space	1,096 S.F. (460 SF Req'd)
Open Space / Bedroom	48 S.F./Bedroom (20 S.F./Bedroom Required)
Lot Coverage	4,416 S.F. = 77% of total lot (80% Max.)

Building 1 Information:

Building Height: 4 Stories/ 44'-4"

Dwelling Unit Mix:

Four Bedroom	1
Five Bedroom	3
Total	4 D.U.

Building 2 Information:

Building Height: 2 Stories/ 30'-8"

Dwelling Unit Mix:

Four Bedroom	1
Total	1 D.U.

Site Parking**Vehicle Parking:**

Garage	1
Surface parking lot	0
Total	1 vehicle stall

Bicycle Parking:

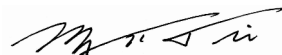
Garage(existing)	14
Guest/Commercial Surface	2
Total	16 bike stalls

Project Schedule:

It is anticipated that the construction on this site will start in the Spring/Summer 2024 to coincide with the CORE Spaces development/ site demolition schedule at the Dayton Street location.

Thank you for your time and consideration of our proposal.

Sincerely



Matthew Tills, AIA,
Architect



Building to be removed / new site for relocated buildings

531 W Mifflin Madison, WI







438 W DAYTON



438 W DAYTON



438 W DAYTON

Building to be relocated
438 W Dayton St Madison, WI





WDGE1 LED

Architectural Wall Sconce



Catalog
Number

Lighting Fixture Type A & B

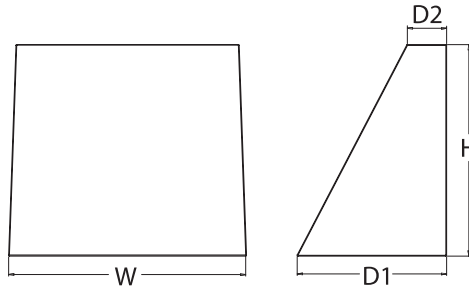
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.
	P2	30K 3000K	90CRI	VW Visual comfort wide		
		35K 3500K				
		40K 4000K				
		50K ¹ 5000K				

Options	Finish
E4WH³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min) PE⁴ Photocell, Button Type DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points. BAA Buy America(n) Act Compliant	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE1PBBW DDBXD U WDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
 Rev. 11/21/22

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

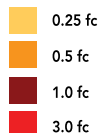
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



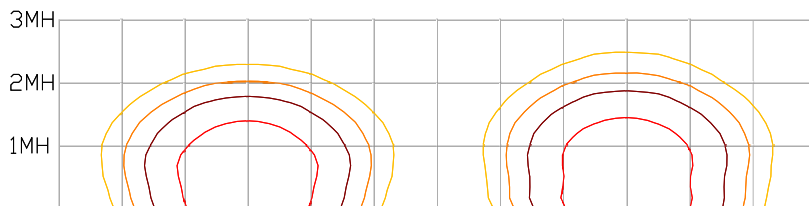
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage.
Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



WDGE1 LED P2 40K 80CRI VW

WDGE1 LED P2 40K 80CRI VF

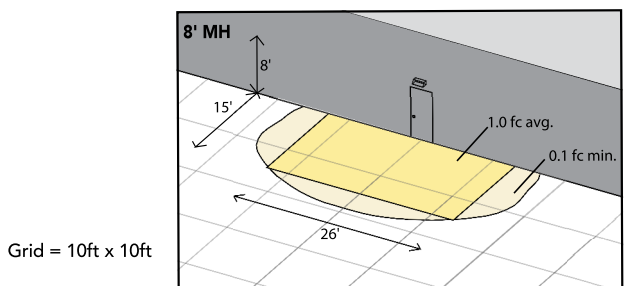
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

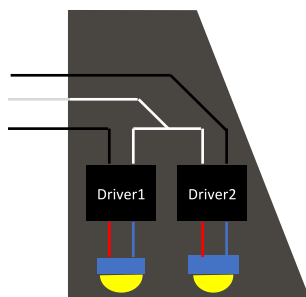


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	Lighting Fixture Type C
Notes	
Type	

FEATURES & SPECIFICATIONS

INTENDED USE — The OLCS provides years of maintenance-free general illumination for residential and commercial outdoor applications such as walkways, doorways/entrances, columns, and stairways.

CONSTRUCTION — Rugged cast-aluminum housing is protected by a thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

Polycarbonate LED lens/cover protects LEDs.

Fixture weight = 2.4 lbs.

OPTICS — 48 high-performance LEDs produce up to 513 lumens and maintain 70% of light output at 50,000 hours of service.

(LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)

White polycarbonate diffuser provides a soft white light at 4000K CCT.

See Lighting Facts Labels for specific fixture performance.

ELECTRICAL — Fixture operates at 120 volts, 60 Hz.

Standard input = 8.9 watts.

Operating temperature : -30°C to 40°C.

Amps @ 120V = .076.

Surge protection = 2.5kV.

INSTALLATION — Mounts easily to recessed junction box (by others).

LISTINGS — UL Listed to U.S. and Canadian safety standards for wet locations.

Designed for wall mounting more than 4' above the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

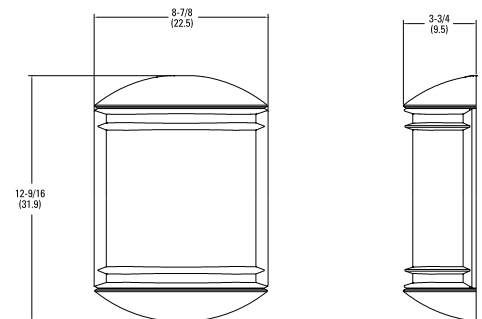
Note: Specifications subject to change without notice.



Outdoor General Purpose

OLCS

OUTDOOR LED CAST SCONCE



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

All configurations of this product are considered "standard" and have short lead times.

Example: OLCS 8 DDB

Series	Light engines	Color temperature (CCT) ¹	Voltage	Finish
OLCS	8	(blank) 4000K	(blank) 120V	DDB Dark bronze WH White

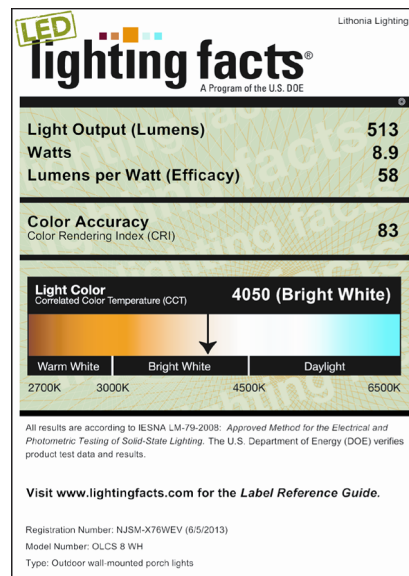
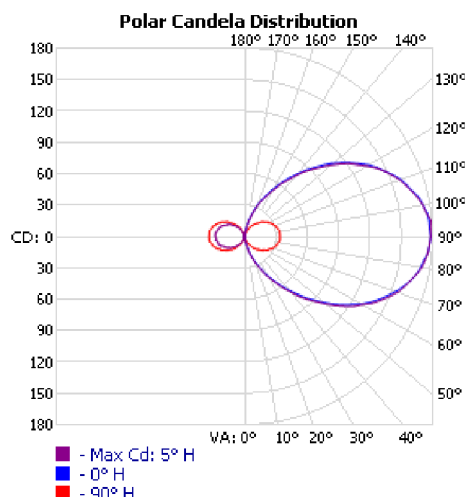
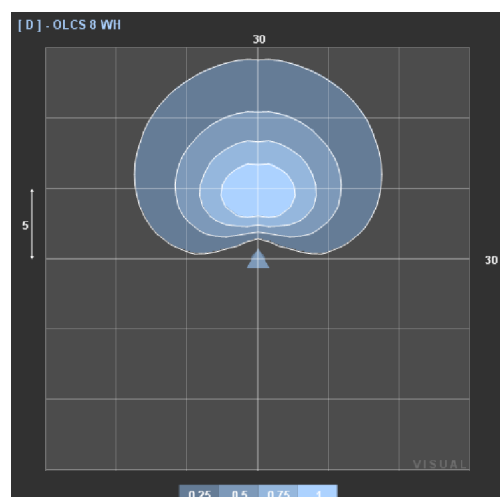
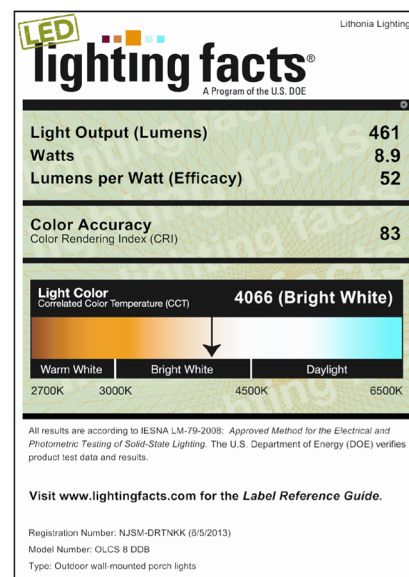
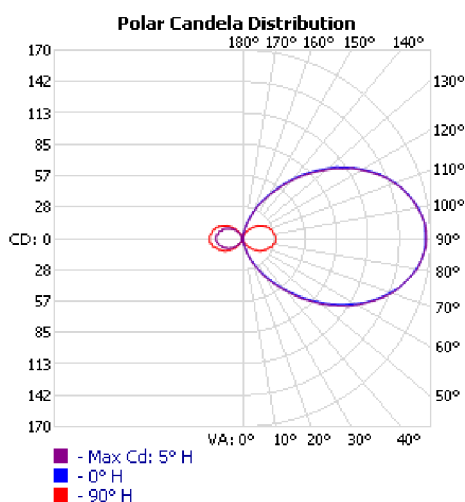
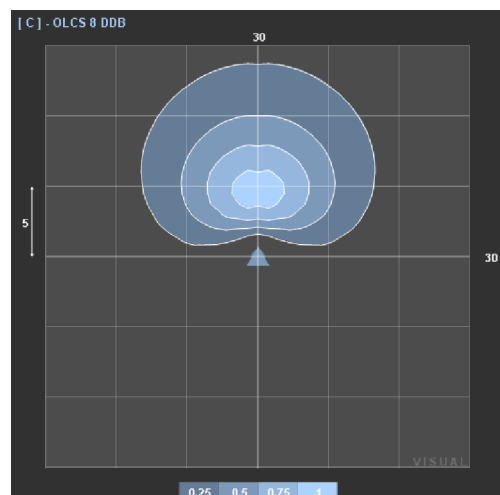
Notes

1 Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

PHOTOMETRIC DIAGRAMS

To see complete photometric reports or download .ies files for this product, visit www.Lithonia.com. Tested in accordance with IESNA LM-79 and LM-80 standards.

OLCS



Site Development Data	
Zone	DMS DOWNTOWN
Residential	RESDTOWN 2 DETRICK
Lot Area	5,883 S.F./0.13 ACRES
Lot Area (D.U.)	1,173 S.F./0.03
Lot Area (D.U.)	38 units/acre
Lot Coverage	50% MAX
Proposed	441 S.F./7%
Unusable Open Space	446 S.F./0.01
Proposed	1,096 S.F./0.02
Building Height	4 stories max
Building #1	4 stories max
Building #2	2 stories max
Building #3	2 stories max
Building #4	2 stories max
Building #5	2 stories max
Building #6	2 stories max
Building #7	2 stories max
Building #8	2 stories max
Building #9	2 stories max
Building #10	2 stories max
Building #11	2 stories max
Building #12	2 stories max
Building #13	2 stories max
Building #14	2 stories max
Building #15	2 stories max
Building #16	2 stories max
Building #17	2 stories max
Building #18	2 stories max
Building #19	2 stories max
Building #20	2 stories max
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Building #95	2 stories max
Building #96	2 stories max
Building #97	2 stories max
Building #98	2 stories max
Building #99	2 stories max
Building #100	2 stories max



PROJECT TITLE
John Fountain
W Mifflin Street

PROJECT TITLE
John Fountain
W Mifflin Street

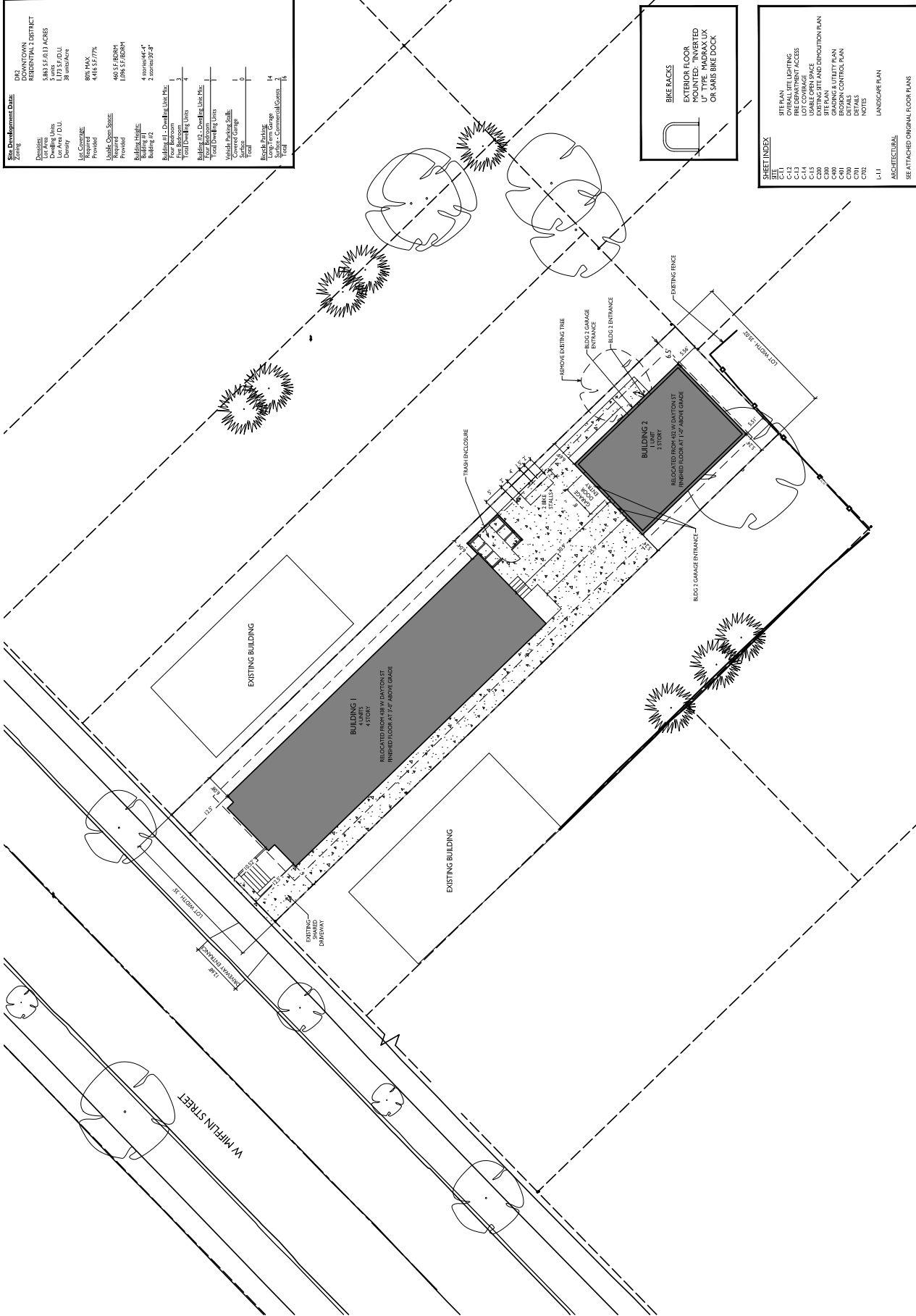
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W Mifflin Street

PROJECT TITLE
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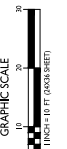
PROJECT TITLE
John Fountain
W Mifflin Street

PROJECT TITLE
John Fountain
W Mifflin Street



BIKE RACKS
EXTERIOR FLOOR
MOUNTED "INVERTED
U" TYPE "MADRAX UX"
ON SANIS BIKE DOCK

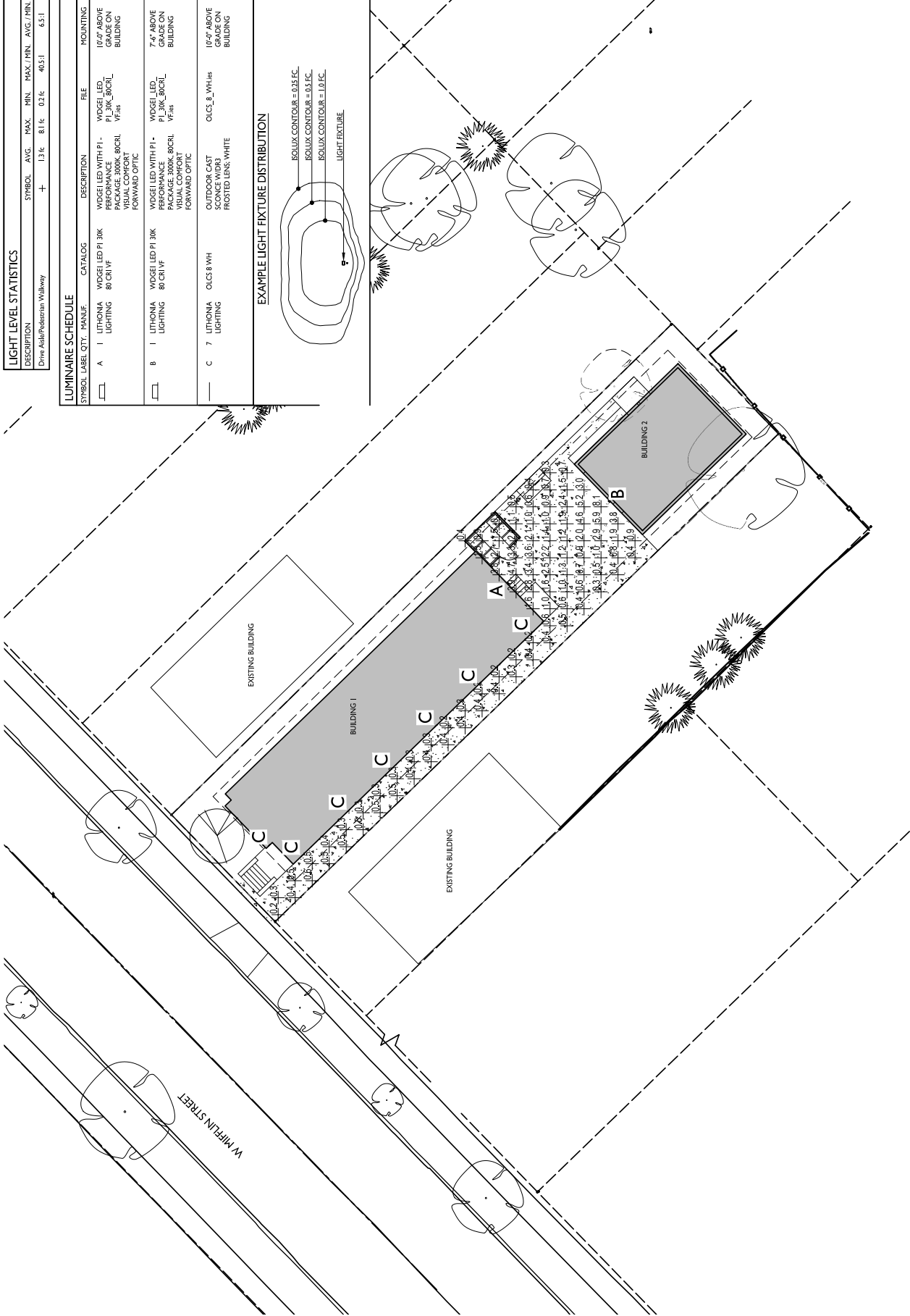
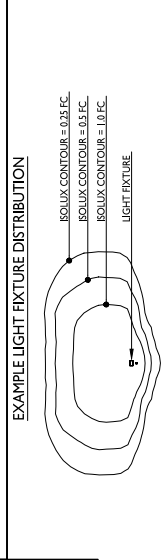
SHEET INDEX	
SITE	1
OVERALL SITE LIGHTING	C-1.1
EXISTING SITE AND DEPOSITION PLAN	C-1.2
USABLE OPEN SPACE	C-1.3
GRAVING & UTILITY PLAN	C-1.4
BIODOM CONTROL PLAN	C-1.5
DETAILS	C-1.6
NOTES	C-1.7
LANDSCAPE PLAN	C-1.8
ARCHITECTURAL	C-1.9
SEE ATTACHED ORIGINAL FLOOR PLANS	C-1.10



1 SITE PLAN
C-1.1 1/8" = 1'-0"

LIGHT LEVEL STATISTICS					
SYMBOL	AVG	MAX	MIN	MAX / MIN	AVG / MIN
+	13 fc	81 fc	02 fc	40.51	6.51
Drive Aids/Pedestrian Walkway					

LUMINAIRE SCHEDULE					
SYMBOL	LABEL	QTY	MANUF.	CATALOG	DESCRIPTION
A	I	1	LITHONIA	WIDGEI LED P1 30K 80 CRI VF	WIDGEI LED WITH P1 - P1_30K_80CRL_VF.as
					PACKAGE 3000K 80CRL VF.as
					VISUAL COMFORT FORWARD OPTIC
B	I	1	LITHONIA	WIDGEI LED P1 30K 80 CRI VF	WIDGEI LED WITH P1 - P1_30K_80CRL_VF.as
					PACKAGE 3000K 80CRL VF.as
					VISUAL COMFORT FORWARD OPTIC
C	7	1	LITHONIA	OLCS 8 WH	OUTDOOR CAST OLCS 8 WH.as
					SCONCE WDR3 FROSTED LENS WHITE
					16'-0" ABOVE GRADE ON BUILDING



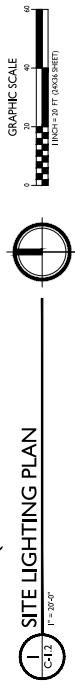
ISSUED
UDC, Submitted - November 22, 2023
LUA, Submitted - November 22, 2023

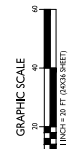
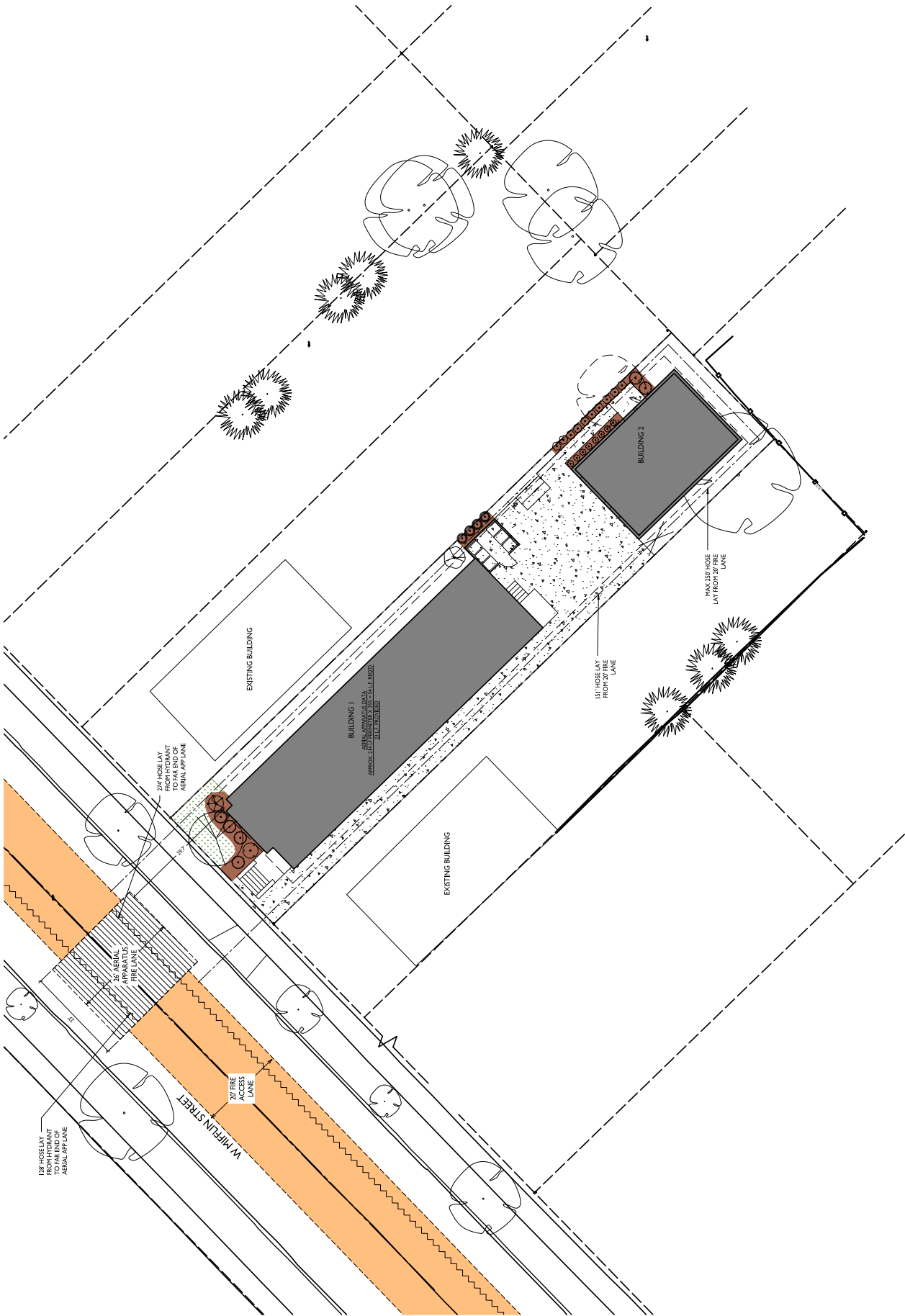
PROJECT TITLE
John Fountain
W Mifflin Street

531 W Mifflin Street
Madison, WI
PROJECT TITLE
SITE LIGHTING
PLAN

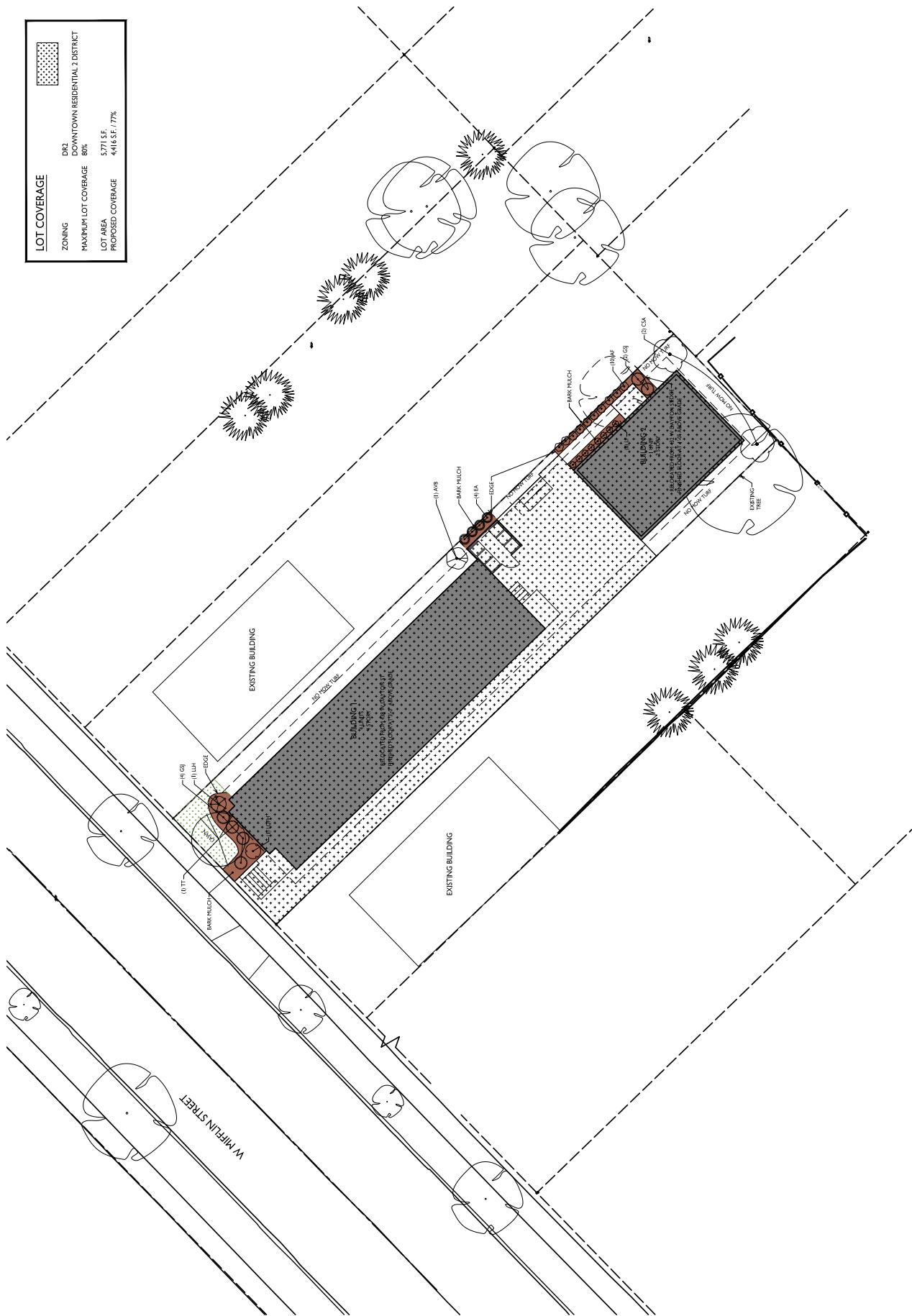
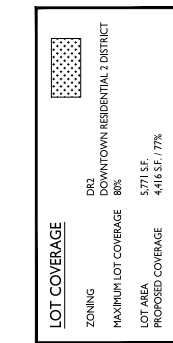
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C-1.2
PROJECT NO. **2362**
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1 FIRE DEPARTMENT ACCESS PLAN
C-1.3



ISSUED
UDC Submittal - November 27, 2023
ILUA Submittal - November 27, 2023

PROJECT TITLE
John Fountain
W Mifflin Street

531 W Mifflin Street
Madison, WI

SHEET TITLE
**LOT COVERAGE
PLAN**

SHEET NUMBER

C-1.4.

PROJECT NO. 2362
© Kohnke & Bourn Architects, LLC

©Kosha & Bruce Architects, LLC
7007

GRAPHIC SCALE

20 40 60

MOH = 20 FT (24X36 SHEET)



LOT COVERAGE

—

USABLE OPEN SPACE	
ZONING	DR2 - DOWNTOWN
REQUIRED OPEN SPACE	RESIDENTIAL 2
BEDROOMS	20 S.F.
TOTAL	23 BEDRM
OPEN SPACE PROVIDED	460 S.F. REQUIRED
BALCONY (BUILDING #2)	35 S.F. (SEE FLOOR PLANS)
SURFACE	100 S.F.
TOTAL	100 S.F. PROVIDED



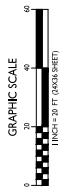
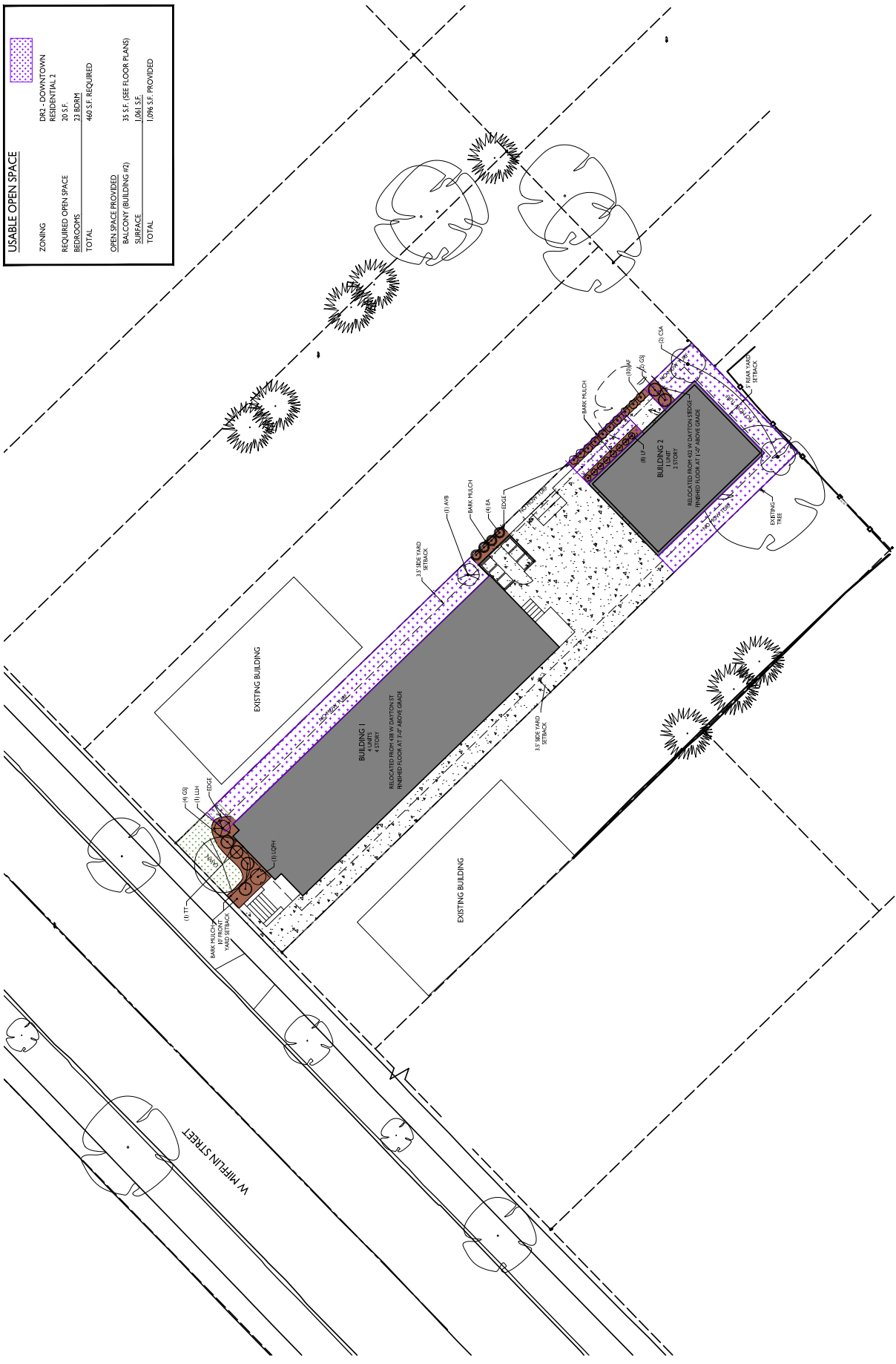
ISSUED
UDC, Submitted - November 22, 2023
LUA, Submitted - November 22, 2023

PROJECT TITLE
John Fountain
W Mifflin Street

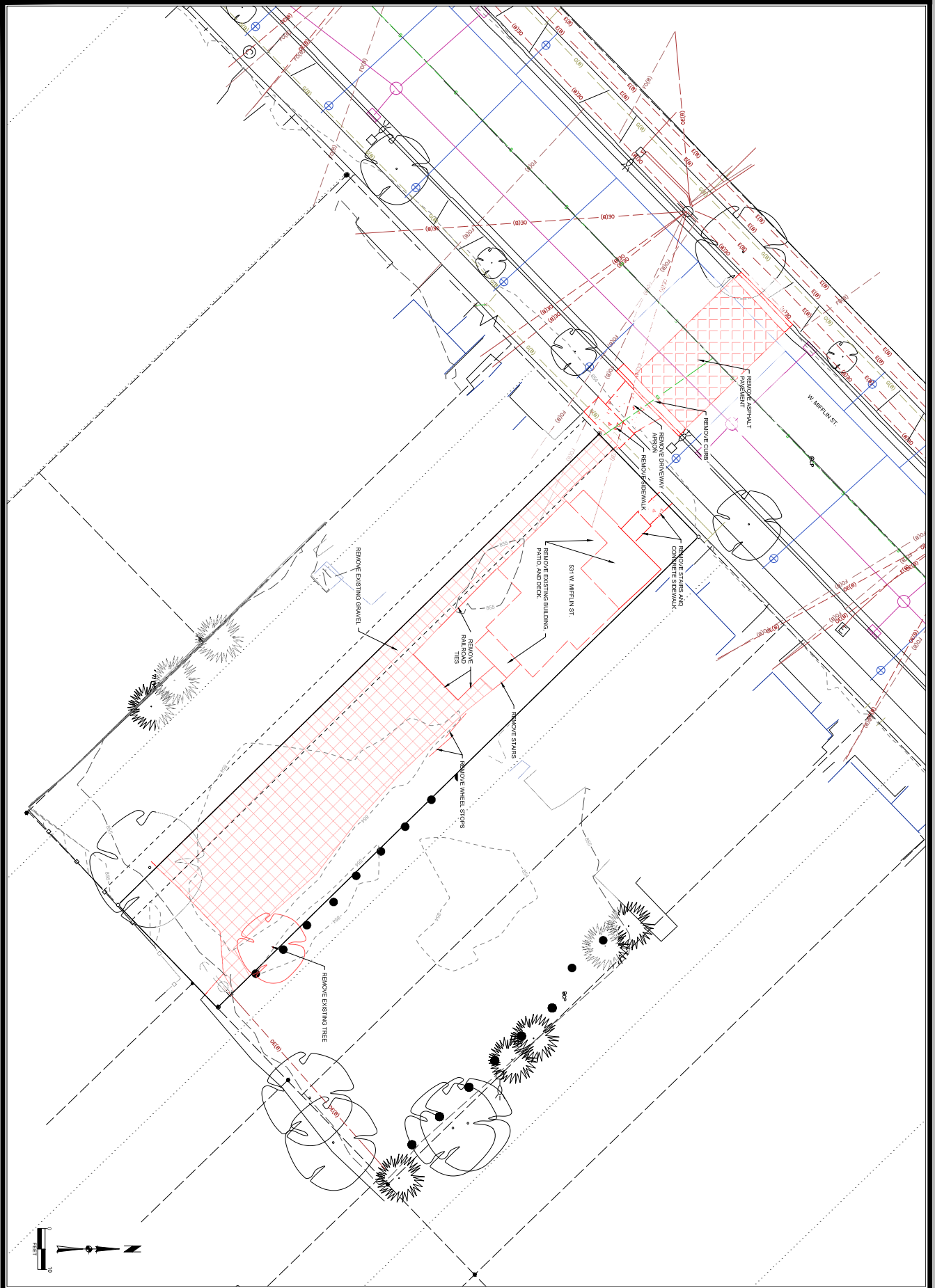
531 W Mifflin Street
Madison, WI
SHEET TITLE
USABLE OPEN
SPACE PLAN

SHEET NUMBER

C-1.5
PROJECT NO. 2362
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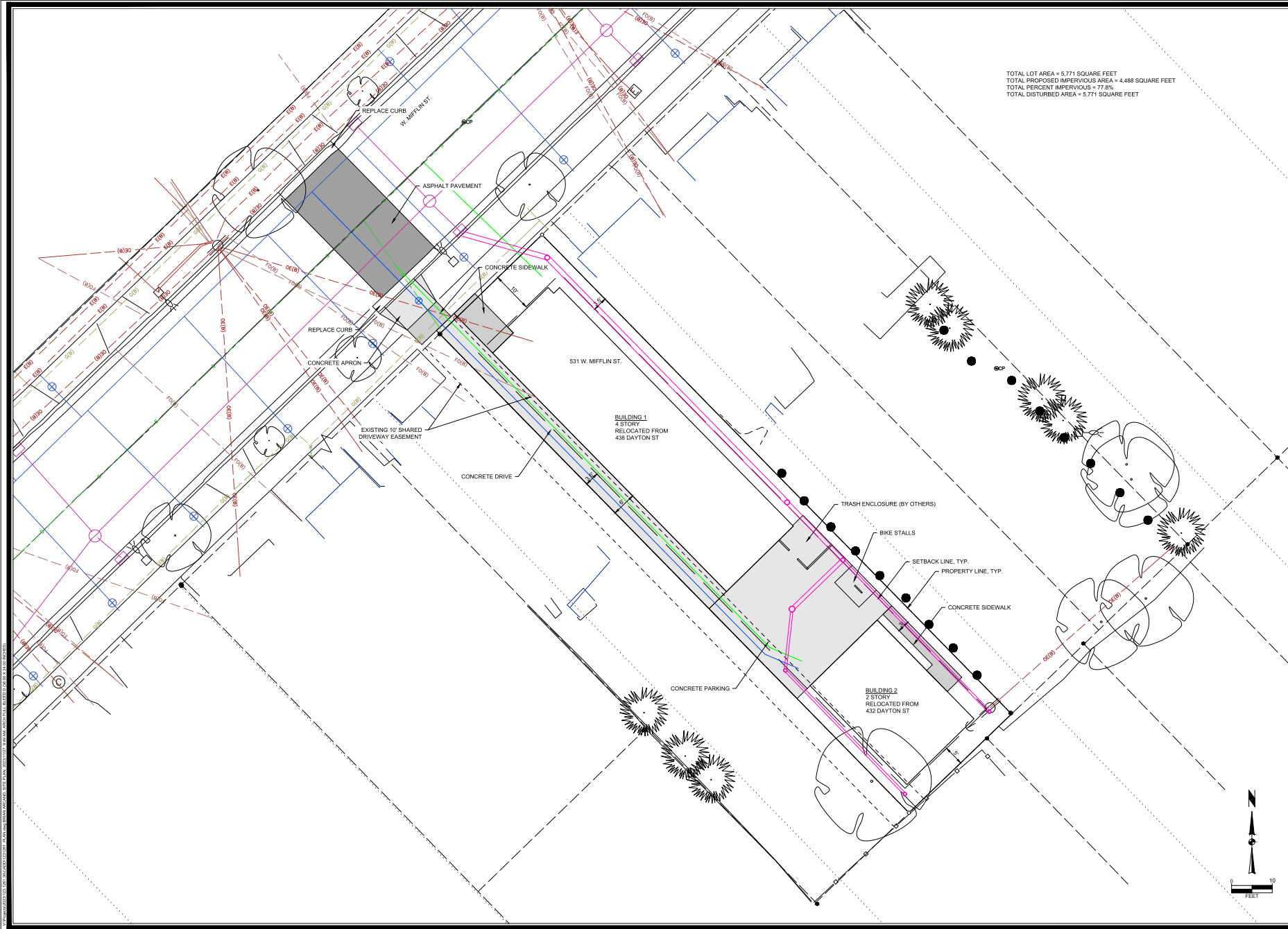
1 USABLE OPEN SPACE
C-1.5
11'-0\"/>



 SNYDER & ASSOCIATES <small>Project No: 123-1261-30</small> <small>Sheet C-200</small>	531 W. MIFFLIN STREET EXISTING SITE & DEMOLITION PLAN		CITY OF MADISON, DANE COUNTY, WI	
	SNYDER & ASSOCIATES, INC.			
	<small>5010 VOEGES ROAD MADISON, WISCONSIN 53718 615-964-2020 www.snyder-associates.com</small>			
	<small>Project No: 123-1261-30</small>			

MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Scale: 1" = 10'	
Technician: BMR	Date: 11-17-2023	T-6-S: TYN-RRE-523	

Sheet C 200



TOTAL LOT AREA = 5,771 SQUARE FEET
TOTAL PROPOSED IMPERVIOUS AREA = 4,488 SQUARE FEET
TOTAL PERCENT IMPERVIOUS = 77.8%
TOTAL DISTURBED AREA = 5,771 SQUARE FEET

531 W. MIFFLIN STREET
SITE PLAN



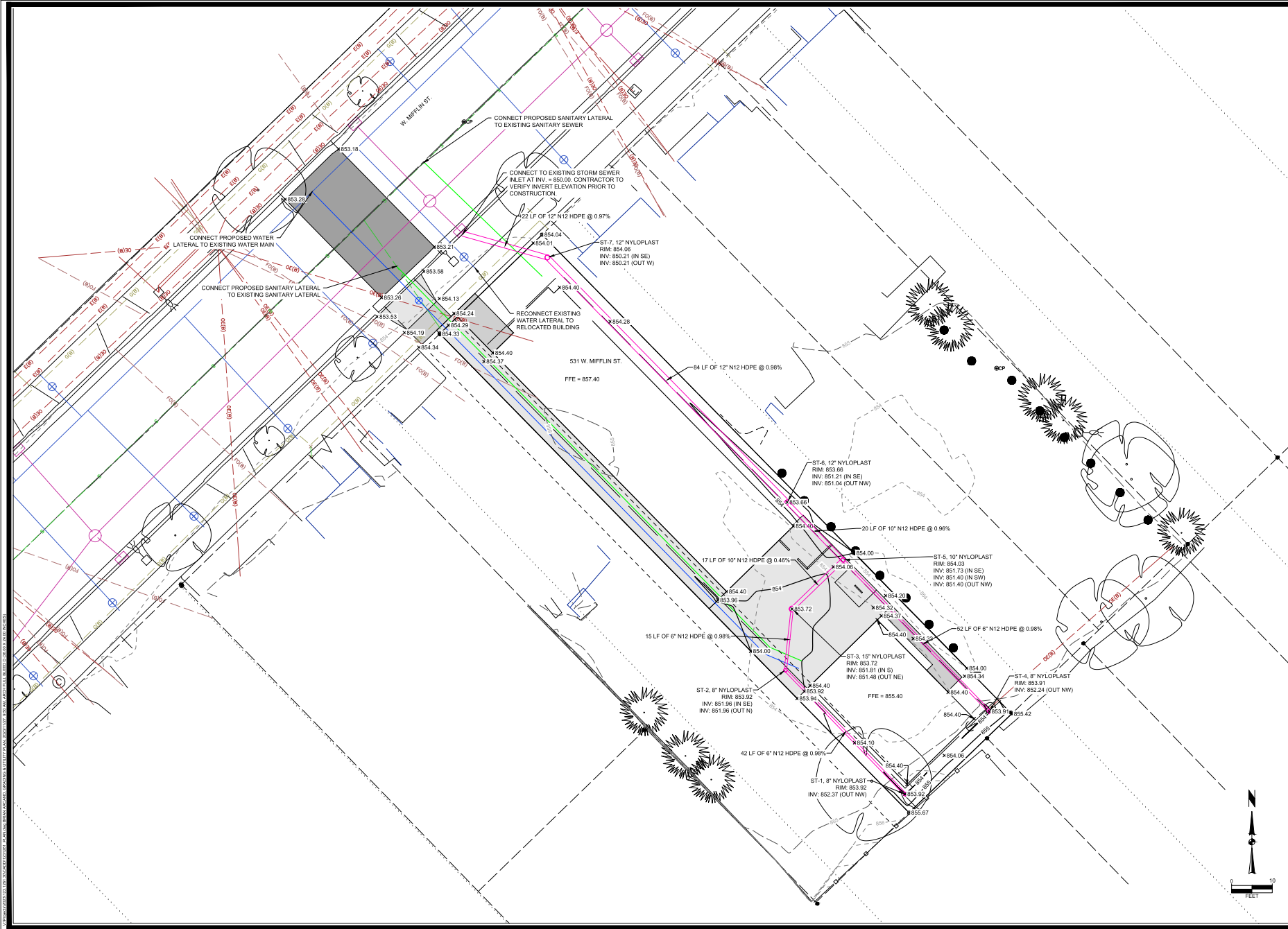
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CITY OF MADISON, DANE COUNTY, WI

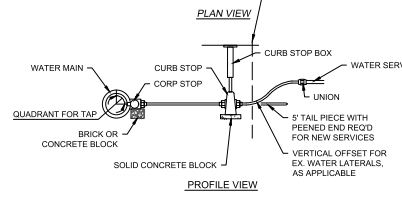
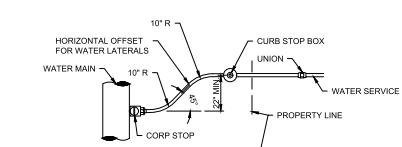
SNYDER & ASSOCIATES, INC. |

5515 VICKERS BLVD
MADISON, WISCONSIN 53718
615-954-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Scale: 1" = 10'	
Technician: BME	Date: 11-17-2023	Drawn: TPN/RE-S23	
Project No: 123.1261.30			
Sheet C 300			

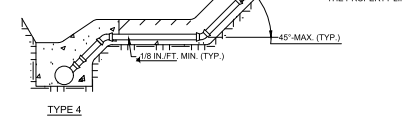
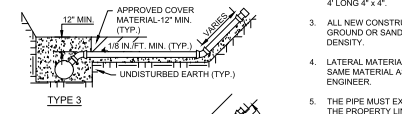
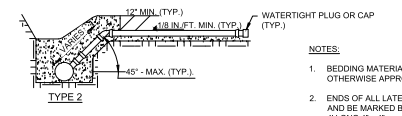
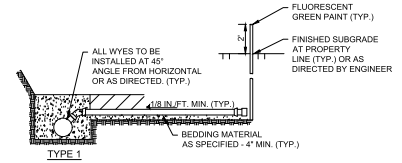


531 W. MIFFLIN STREET GRADING & UTILITY PLAN		CITY OF MADISON, DANE COUNTY, WI		SNYDER & ASSOCIATES, INC.	
		Project No: 123.1261.30 Sheet C 400		531 W. MIFFLIN ST. MADISON, WISCONSIN 53718 515-964-2020 www.snyder-associates.com	
MARK Engineer: BCA	REVISION Checked By: MLC	DATE 11-17-2023	SCALE 1" = 10'	SHEET 17N-RE-523	SHEET C 400



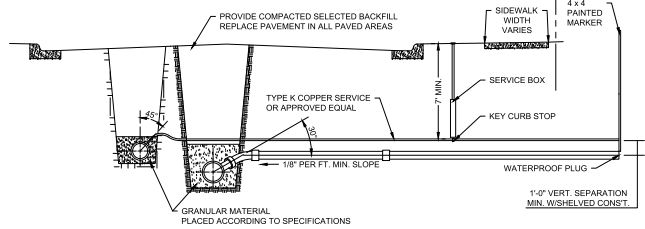
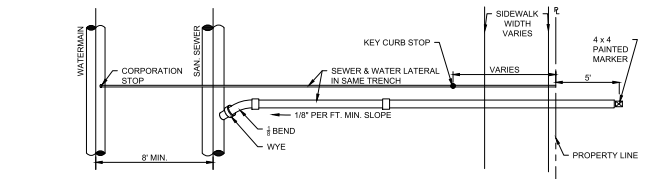
- NOTES:**
1. SOLID CONCRETE BLOCKS SHALL BE USED.
 2. HORIZONTAL AND VERTICAL OFFSETS SHALL BE MADE WITH AN APPROVED PIPE BENDING TOOL. SHARP BENDS OR KINKS IN THE WATER SERVICE ARE NOT ALLOWED.
 3. VERTICAL OFFSETS SHALL BE MADE ON THE PROPERTY LINE SIDE OF THE CURB STOP.
 4. WHERE CURB BOXES ARE INSTALLED IN CONCRETE OR ASPHALT SURFACES NO SLEEVES SHALL BE INSTALLED.

1 WATER SERVICE INSTALLATION DETAIL
SCALE: 3" = 1'

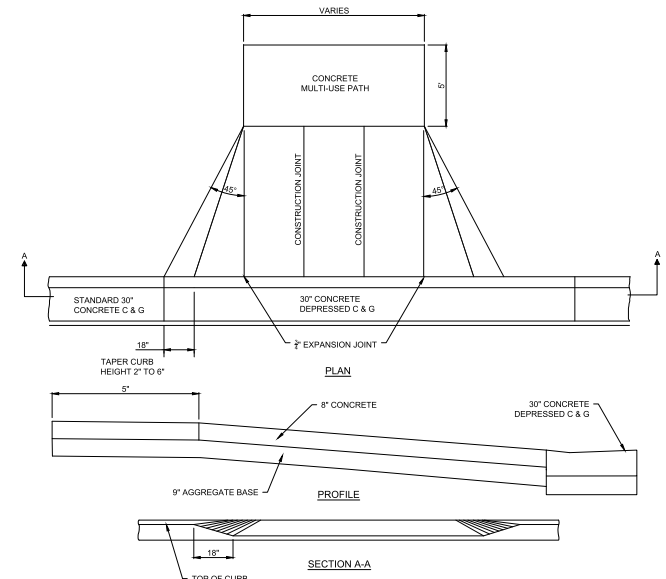


- NOTES:**
1. BEDDING MATERIAL SHALL BE 3/8" CLEAR STONE, UNLESS OTHERWISE APPROVED BY ENGINEER.
 2. ENDS OF ALL LATERALS TO BE 10 FT. MIN. COVER AT END, AND BE MARKED BOTH BELOW AND ABOVE SURFACE WITH 4" LONG 4" x 4".
 3. ALL NEW CONSTRUCTION TO BE PLACED ON UNDISTURBED GROUND OR SAND COMPACTED TO 95% MAXIMUM DENSITY.
 4. LATERAL MATERIAL INCLUDING FITTINGS SHALL BE OF SAME MATERIAL AS THE SEWER MAIN, OR AS DIRECTED BY ENGINEER.
 5. THE PIPE MUST EXTEND AT LEAST 5' laterally BEYOND THE PROPERTY LINE

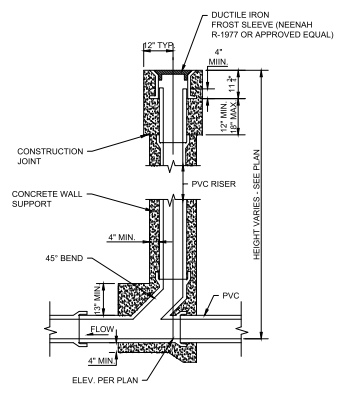
2 SANITARY LATERAL DETAIL
SCALE: 3" = 1'



3 SEWER AND WATER CONNECTION DETAIL
SCALE: 3" = 1'

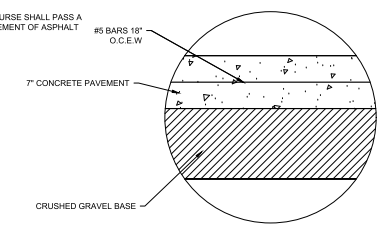


4 DRIVEWAY DETAIL
SCALE: 6" = 1'



5 CLEAN OUT DETAIL
SCALE: 6" = 1'

- NOTES:**
1. HMA PAVEMENT SHALL BE TYPE LT 58-28.
 2. ASPHALT PAVING SHALL BE COMPLETED IN CONFORMANCE WITH APPLICABLE WISDOT SPECIFICATION.
 3. THE CONSTRUCTED BASE COURSE SHALL PASS A PROOF ROLL PRIOR TO PLACEMENT OF ASPHALT PAVING.



6 CONCRETE PAVING DETAIL
SCALE: 1" = 1'

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CITY OF MADISON, DANE COUNTY, WI
5015 US HIGHWAY 92
MADISON, WISCONSIN 53718
916-964-2020 | www.snyder-associates.com

531 W. MIFFLIN STREET
DETAILS
SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES
Project No: 123.1261.30
Sheet C 700

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, ITS INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.

1. SIDEWALK SHALL BE A MINIMUM OF 4" THICK ON A BASE OF 6" OF DENSE AGGREGATE BASE COURSE. SIDEWALKS ACROSS DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK ON A BASE OF 6" DENSE AGGREGATE BASE COURSE. SIDEWALK IN COMMERCIAL AREAS SHALL BE A MINIMUM OF 8" THICK ON A MINIMUM OF 6" OF DENSE AGGREGATE BASE COURSE.
2. SIDEWALKS SHALL MEET ADA REQUIREMENTS.
3. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.5%.

STORM SEWER AND STORMWATER MANAGEMENT SHALL BE AS FOLLOWS:


1. STORM SEWER PIPE BEDDING SHALL BE CLEAR STONE.
2. MINIMUM COVER FOR ALL STORM SEWER SHALL BE 1'.
3. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.

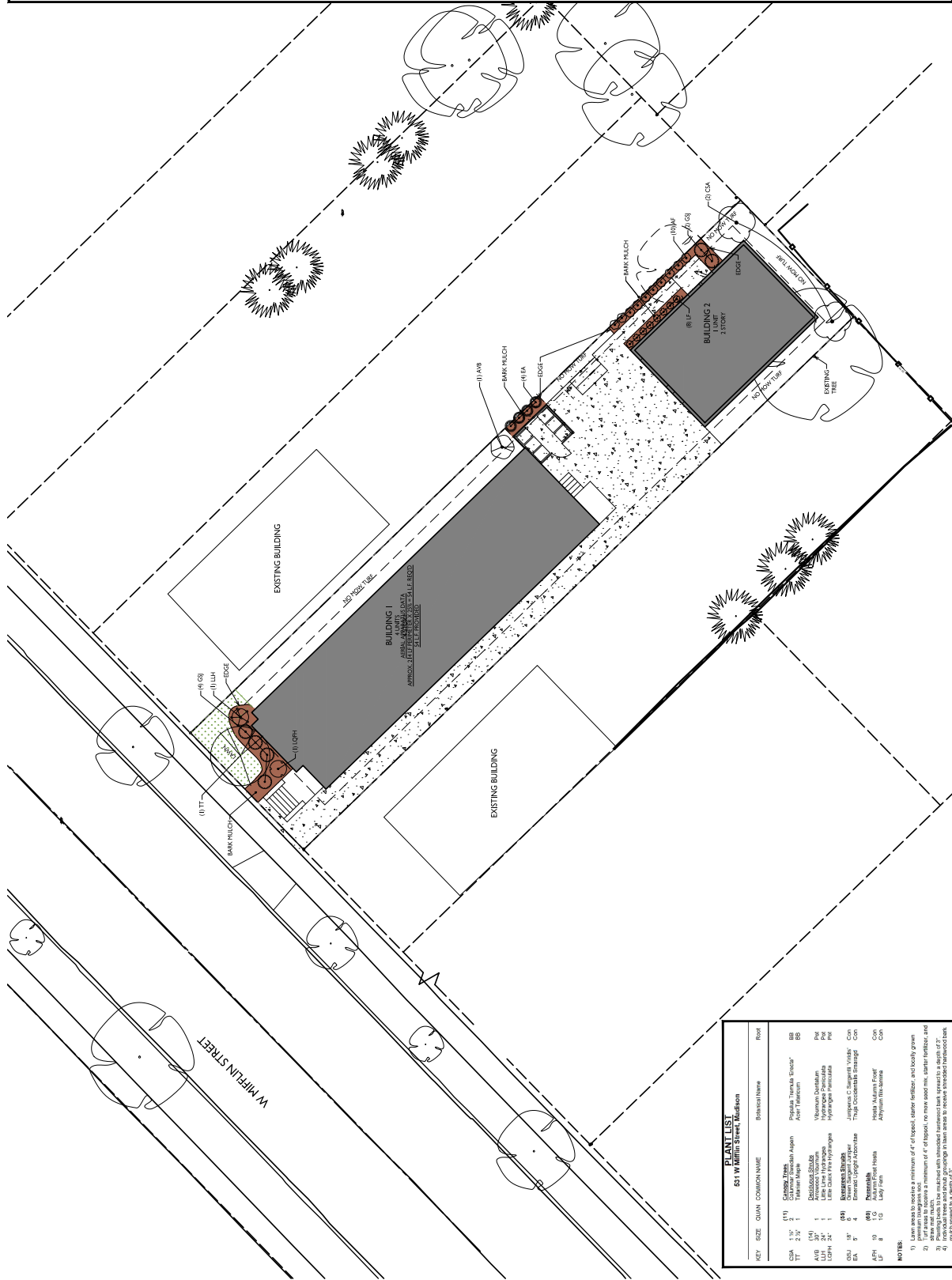
1. STORM SEWER PIPE BEDDING SHALL BE CLEAR STONE.
2. MINIMUM COVER FOR ALL STORM SEWER SHALL BE 1'.
3. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
4. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS AND FUTURE PARKING AREA AS SPECIFIED ON THIS FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
5. PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
7. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
8. EROSION MAT IS REQUIRED FOR ALL RESTORATION ON SLOPES AT OR GREATER THAN 4:1, AND IN AREAS THAT CHANNEL WATER.
9. BIODEGRADABLE EROSION MAT AND BIODEGRADABLE STAPLES ARE REQUIRED ON ALL SLOPES LESS THAN 3:1. CHAINS, FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
10. EROSION MAT SHALL BE PROVIDED IN ALL STREET TERRACES.
11. SILT FENCE AND INLET PROTECTION REMOVAL IS REQUIRED AFTER VEGETATION HAS BEEN ESTABLISHED.
12. STORM SEWER SHALL BE HOPE UNLESS OTHERWISE SPECIFIED ON PLANS.
13. NYLOPLAST STRUCTURES SHALL MEET ALL MANUFACTURER INSTALLATION RECOMMENDATIONS.
14. NYLOPLAST STRUCTURES SHALL HAVE STANDARD FRAMES/RINGS UNLESS OTHERWISE NOTED ON THE PLAN SET.
15. ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 12" AND A MAXIMUM HEIGHT OF 12". ADJUSTMENT RINGS FOR STORM MANHOLES SHALL BE POLYETHYLENE PLASTIC OR APPROXIMATELY EQUIVALENT. CURB INLET ADJUSTMENT RINGS SHALL BE CONCRETE.

1. SANITARY SEWER SHALL BE PVC AND BEDDED WITH CLASS C BEDDING (CLEAR STONE). SEWER SHALL BE SDR-35 FOR DEPTHS UP TO 20' AND SDR-26 FOR DEPTHS GREATER THAN 20'.
2. TRACER WIRE SHALL BE INSTALLED WITH ALL NEW LATERALS IN ACCORDANCE TO THE STANDARD DETAIL DRAWINGS.
3. TRACER WIRE BOXES SHALL BE PROVIDED. "SEWER" SHALL BE STAMPED IN THE LID OF THE ACCESS BOX.
4. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DETERMINED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
5. MANDREL TESTING IS REQUIRED ON ALL SANITARY SEWER. LOW PRESSURE AIR TESTS ARE REQUIRED ON ALL NEW SANITARY SEWER CONSTRUCTION.
6. LATERAL ENDS SHALL BE CAPPED WITH A GLUED ON CAP AND MARKED WITH A PAINTED 4x4 POST.
7. ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

1. WATER MAIN SHALL BE DUCTILE IRON UNLESS OTHERWISE APPROVED, AND BEDDED WITH TYPE 3 EMBEDMENT (SAND OR SAND SCREENINGS); BEDDING SHALL BE A MINIMUM OF 6" UNDER AND 12" OVER TOP OF THE PIPE.
2. WATER MAIN SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE SHALL EXTEND TO THE SURFACE AT ALL HYDRANTS IN A TRACER WIRE ACCESS BOX.
3. MECHANICAL JOINT FITTINGS WITH MEGA LUGS ARE REQUIRED FOR ALL DIRECTIONAL CHANGE FITTINGS AND WATER MAIN ENDS. ALL BOLTS SHALL BE STAINLESS STEEL. ALL FITTINGS SHALL BE "MADE IN AMERICA" CERTIFIED.
4. LATERAL ENDS SHALL BE MARKED WITH A PAINTED 4X4 WOOD POST.
5. WATER MAINS SHALL UNDERGO A PRESSURE AND LEAKAGE TEST. SERVICES SHALL BE TESTED TO THE CURB STOP. SERVICES 12" AND LARGER WITH JOINTED PIPE SHALL BE TESTED AGAINST THE VALVE WITH A SECOND TEST OUT TO THE PLUG. THE SECOND TEST MAY BE OF SHORTER DURATION AS APPROVED BY THE PUBLIC SERVICES DIRECTOR.
6. EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE ENGINEER SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
7. ALL WATER MAIN CONSTRUCTION SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
8. INSULATION SHALL BE PROVIDED AT ALL STORMS SEWER CROSSINGS OF MAINS AND LATERALS.
9. WATER SERVICES 2" OR SMALLER SHALL BE TYPE "K" COPPER OR APPROVED EQUAL.
10. WATER MAIN SHALL HAVE A MINIMUM COVER OF 6.5' WITH PROPER CLEARANCES BETWEEN THE WATERMAIN AND STORM/SANITARY SEWERS.
11. FIRE HYDRANTS SHALL BE APPROVED PACER W667 OR APPROVED EQUAL WITH A FIBERGLASS ROD WITH SPRING RED AND WHITE IN COLOR. A STORZ NOZZLE SHALL BE PROVIDED.
12. CURB BOXES SHALL BE BINGHAM AND TAYLOR BUFFALO TYPE OR APPROVED EQUAL AND INSTALLED WITH THE EXTENSION ROD AND GUIDE RING.
13. CURB VALVES SHALL BE MUELLER H15209 OR APPROVED EQUAL FOR 1" SERVICES OR EQUIVALENT FOR LARGER SERVICES.
14. CORPORATION STOPS SHALL BE MUELLER H15008 OR APPROVED EQUAL FOR 1" SERVICES OR EQUIVALENT FOR LARGER SERVICES.
15. WATER VALVES SHALL BE AMERICAN FLOW CONTROL. SERIES 2500 RESILIENT WEDGE GATE VALVES OR APPROVED EQUAL.

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REVISION.
3. PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
5. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE. SECTION SPS 382.384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
6. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
7. PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A MINIMUM 10 FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THE BACKFILL MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
9. TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT ALLOW ACCESS TO MULTIPLE ACCESS POINTS. TRACER WIRE SHALL BE A MINIMUM OF 12-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

 SNYDER & ASSOCIATES		Project No: 123.1261.30 Sheet C 702	
<div style="display: flex; justify-content: space-between;"> <div> 531 W. MIFFLIN STREET NOTES </div> <div> CITY OF MADISON, DANE COUNTY, WI SNYDER & ASSOCIATES, INC. </div> </div>			
5015 VOGEL ROAD MADISON, WISCONSIN 53718 615-964-2202 www.snyder-associates.com		531 W. MIFFLIN STREET MADISON, WISCONSIN 53718 615-964-2202 www.snyder-associates.com	
MADISE	REVISION	DATE	BY
Engineer BGA	Checked By: MJC	Date: 11-17-2023	Scale: 1" = 40'
Transmittal BMR:		14-LS: 774706-523	
Project No: 123.1261.30		Sheet C 702	



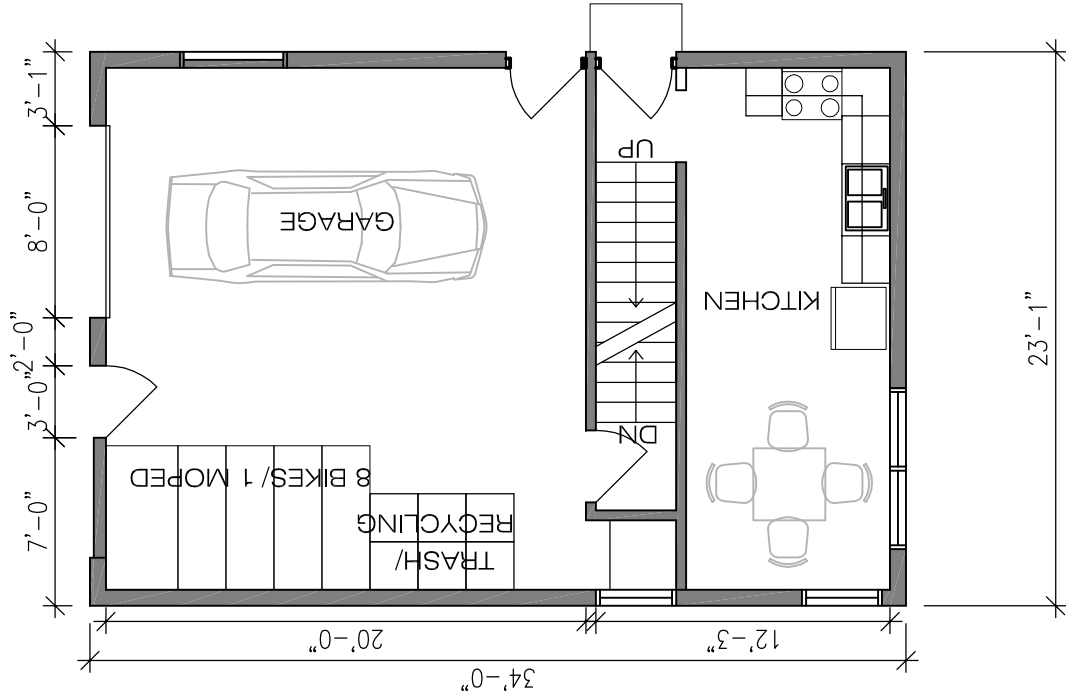
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LANDSCAPE PLAN

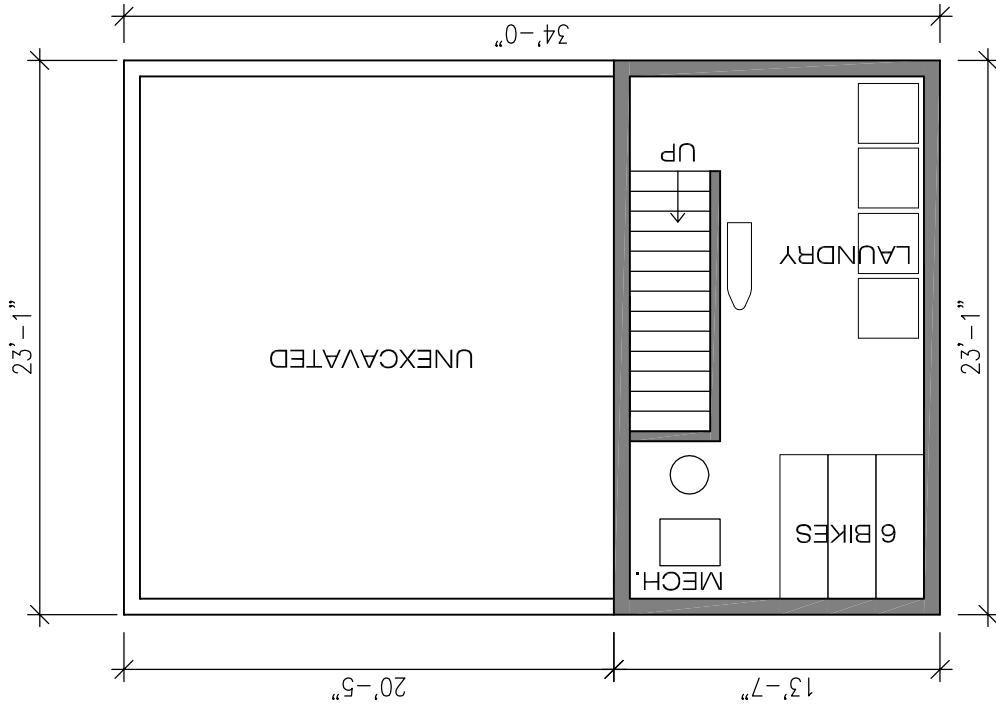
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- 1) Lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and locally grown premium grasses seed
- 2) 1" of areas to receive a minimum of 4" of topsoil, no more sand mix, starter fertilizer, and straw mat mulch
- 3) Planting beds to be mulched with shredded hardwood bark spread to a depth of 3"
- 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch spread to a depth of 3"
- 5) Designated playing beds to be separated from lawn areas with 1" black vinyl bed edging

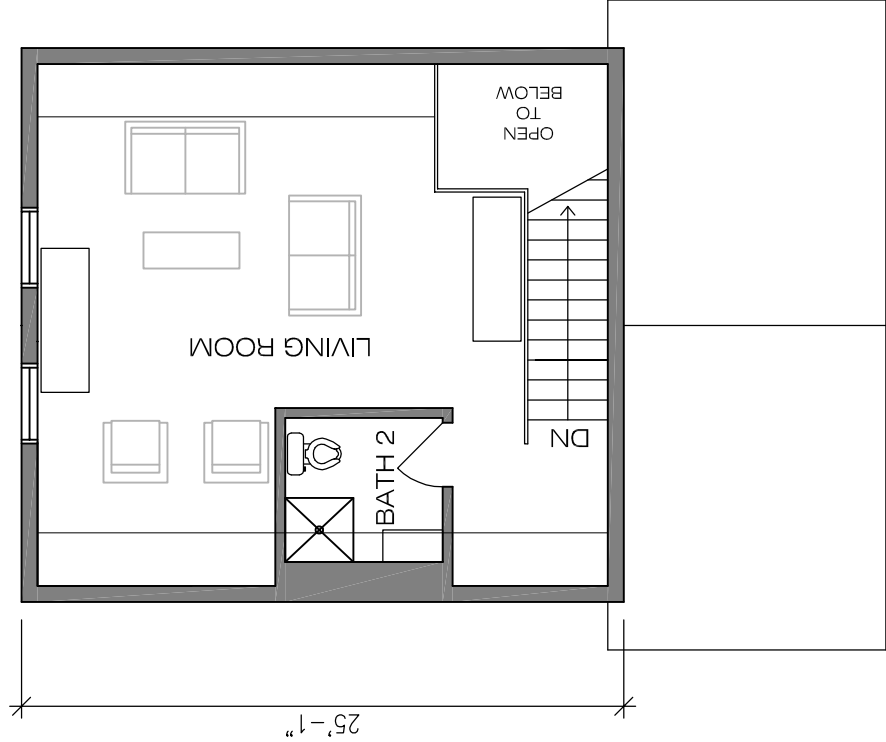
First Floor Plan - 784 GSF



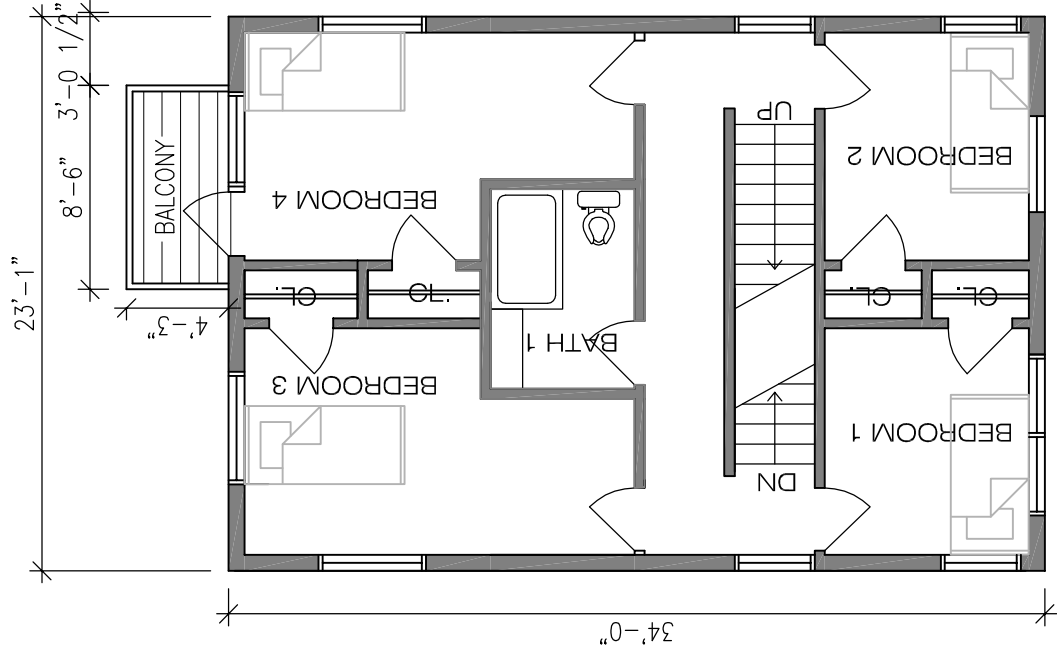
Lower Level Plan - 235 NSF

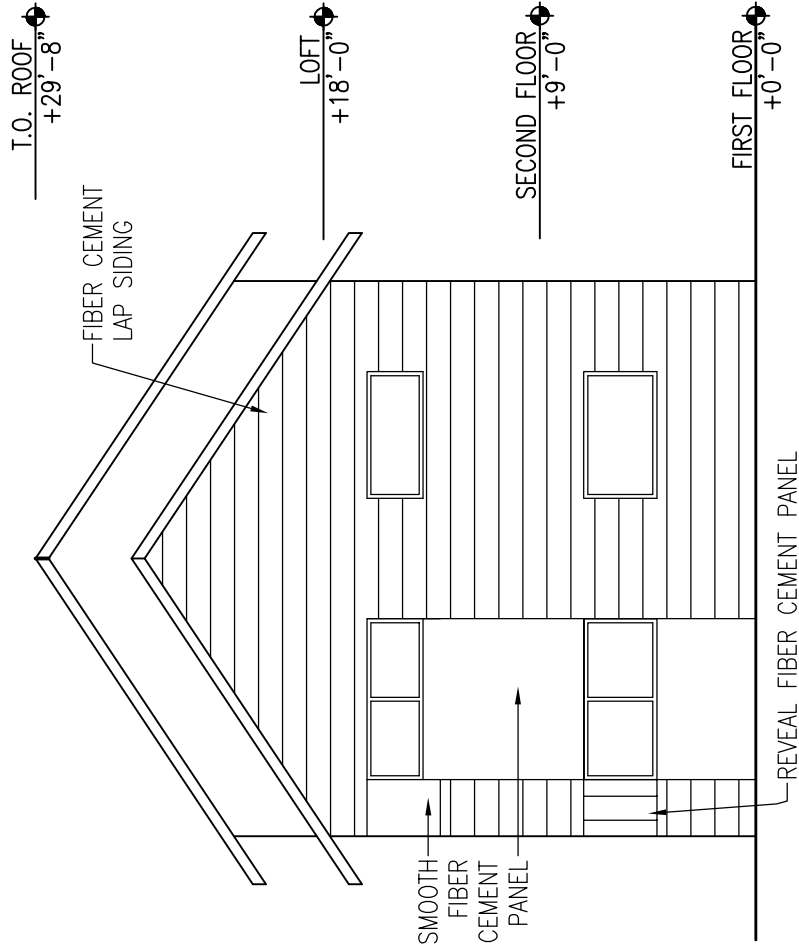


Loft Plan - 369 NSF

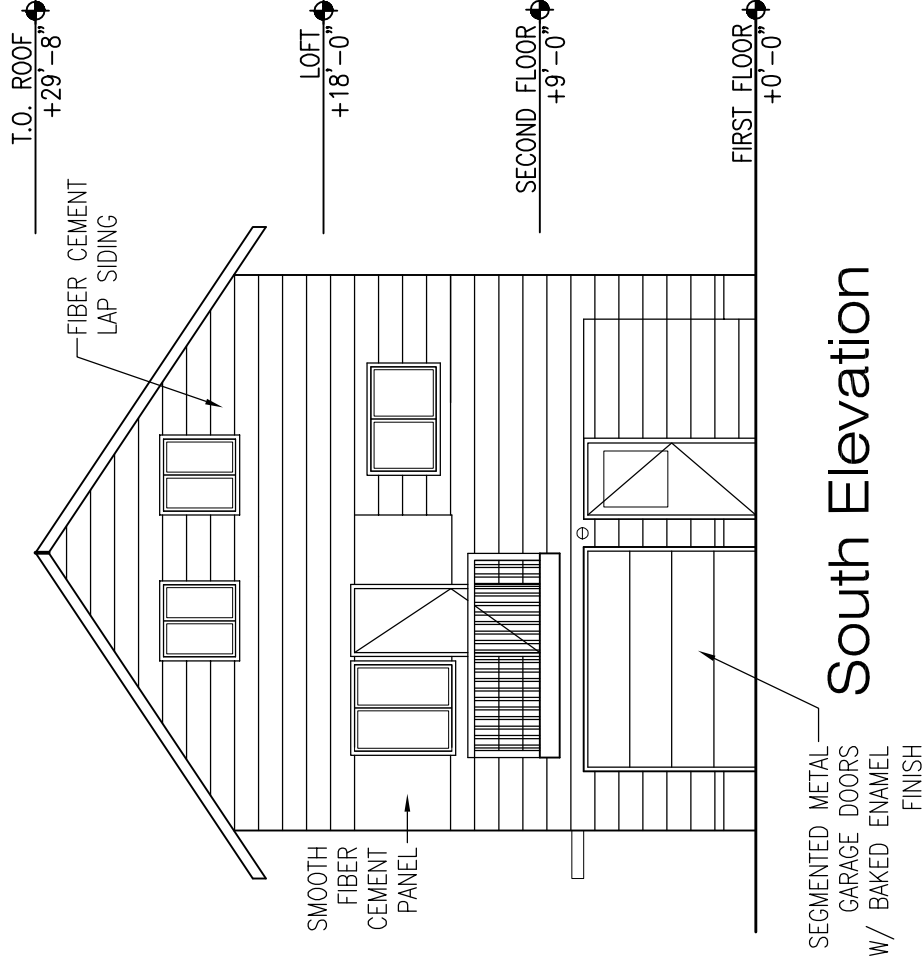


Second Level Plan - 784 GSF

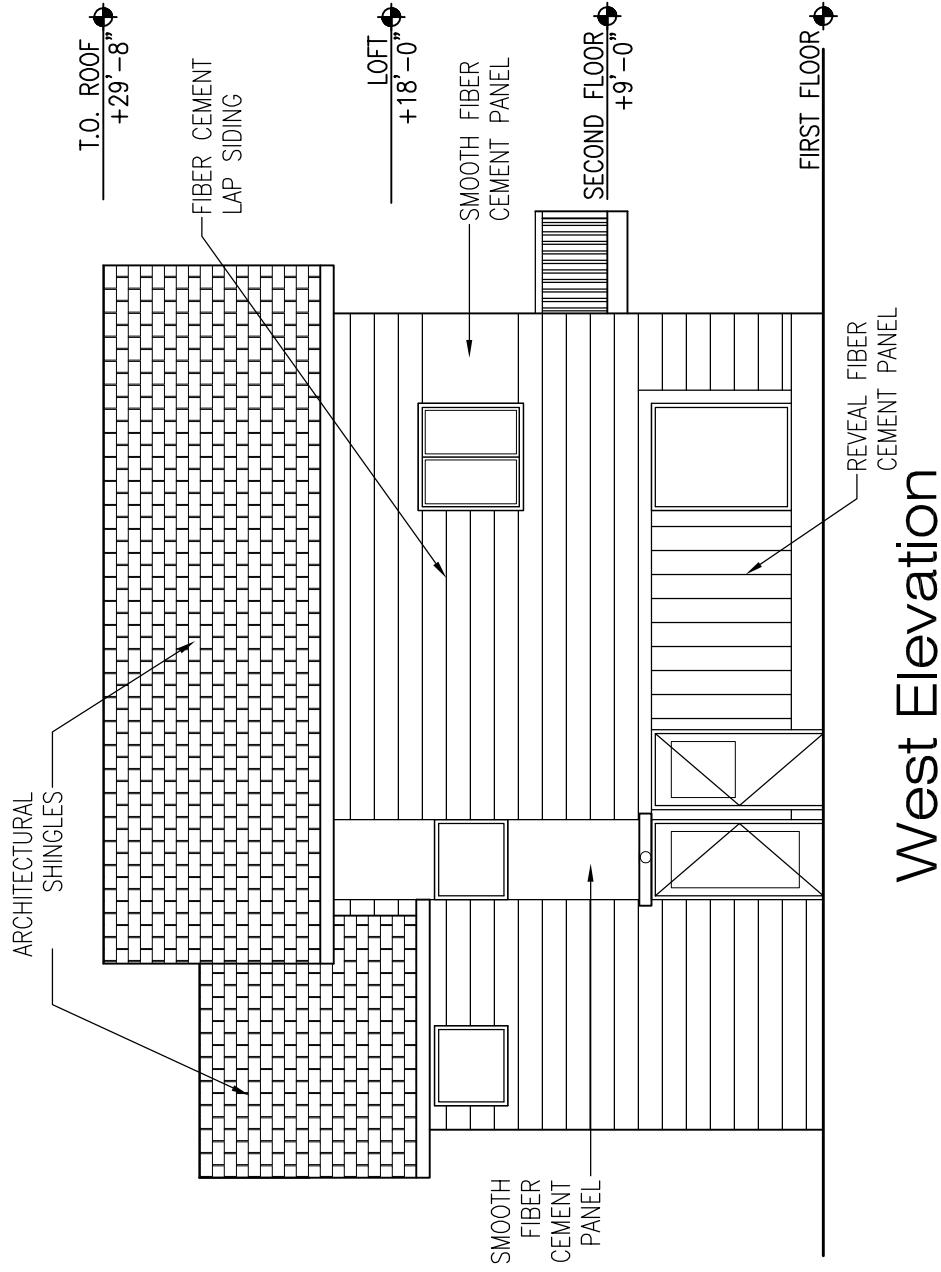


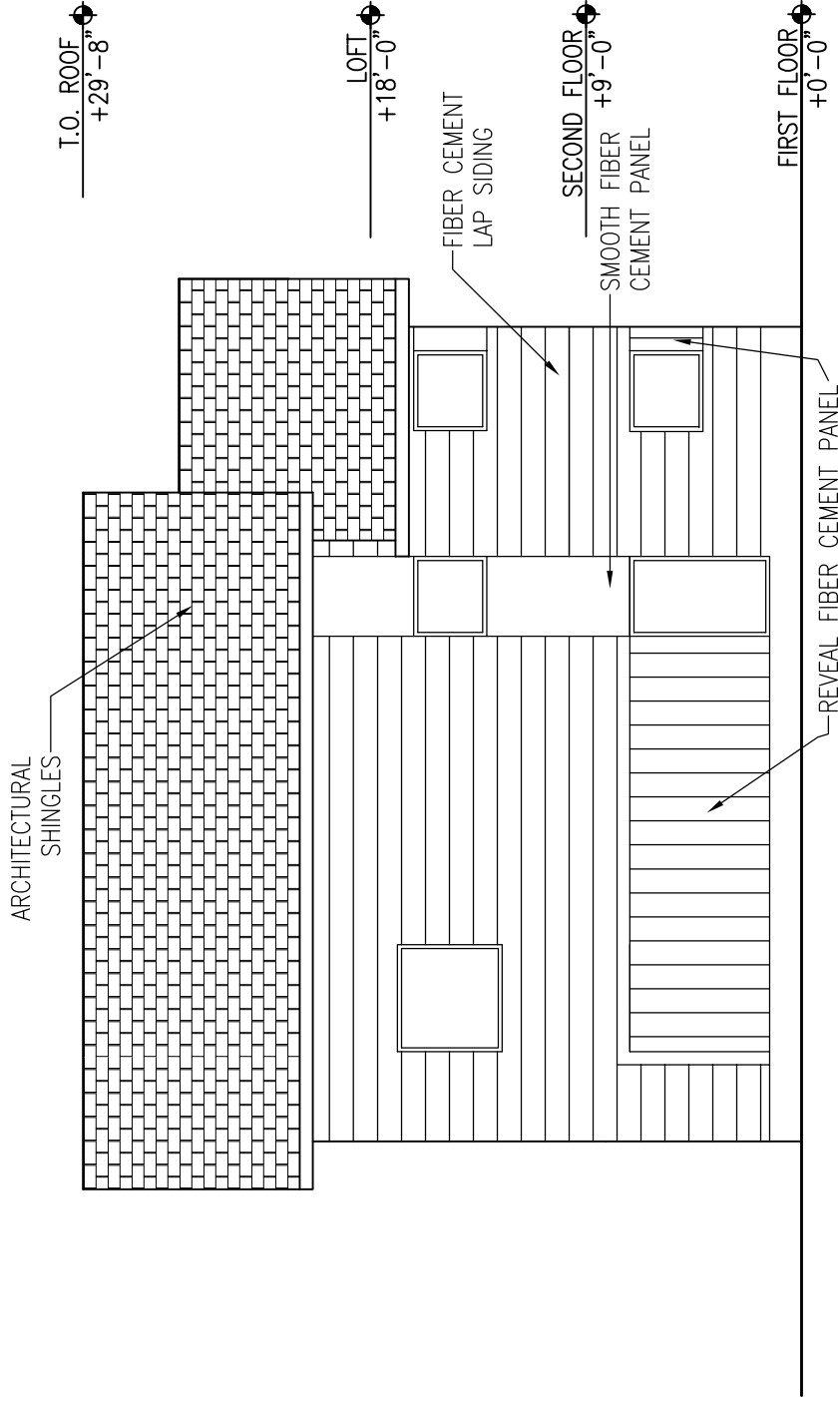


North Elevation



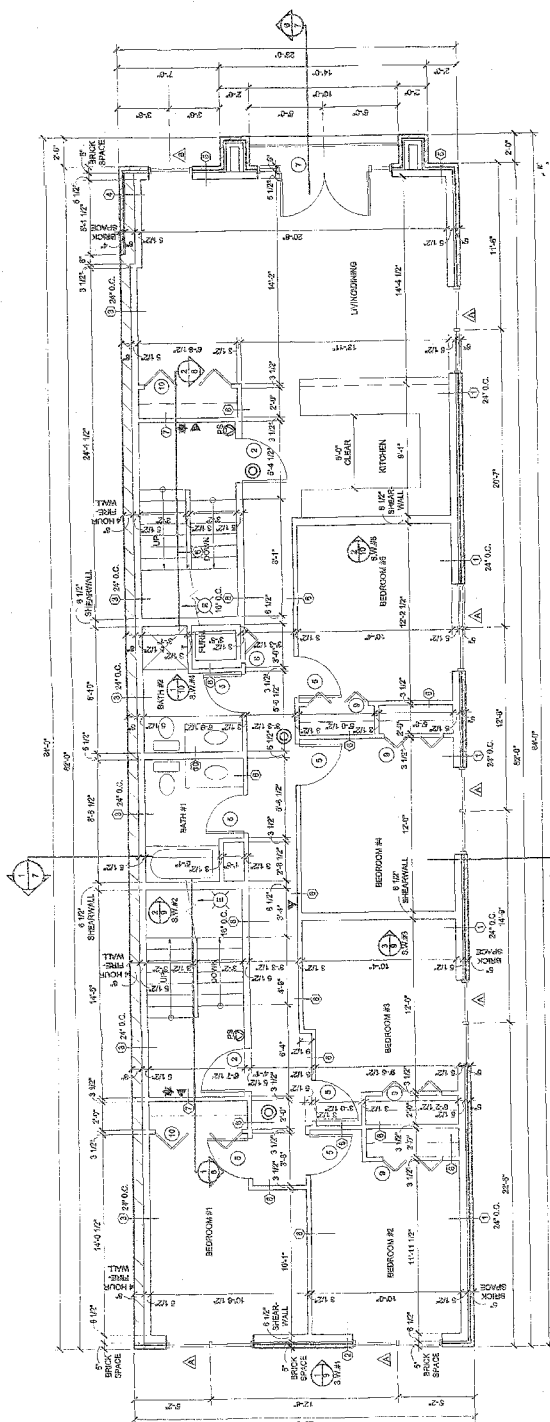
South Elevation





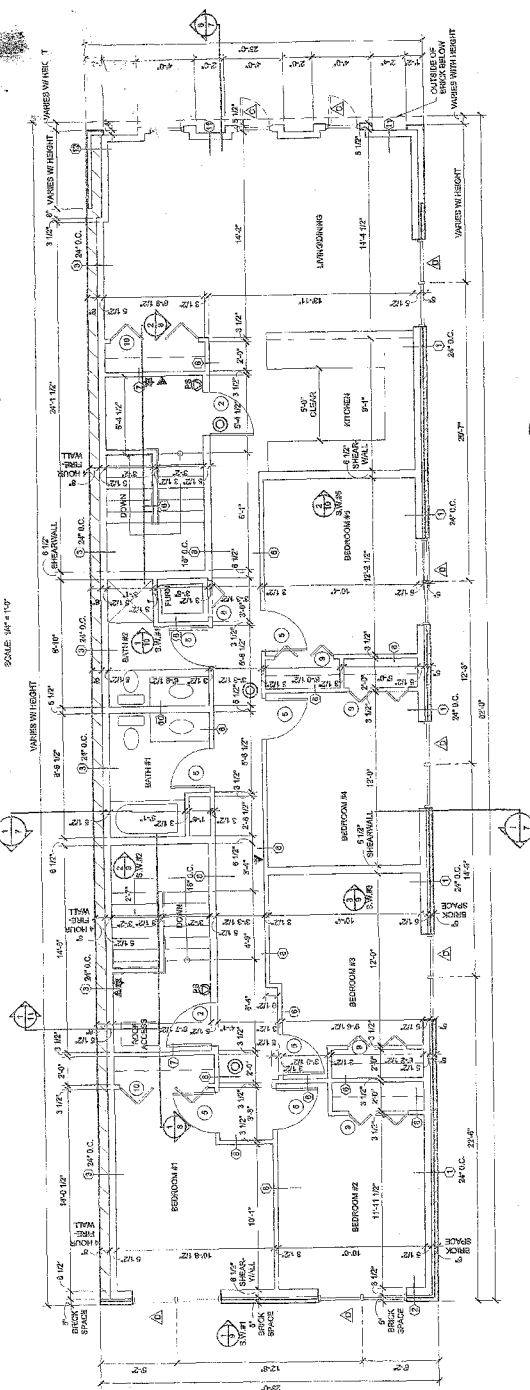
East Elevation

0.164 COVER



THIRD FLOOR PLAN

SCALE 14° = 100'



FOURTH FLOOR PLAN

0-8441-0769-3 \$11.95

- [illegible]

REVISED	BY	DATE

T&C ASSOCIATES, S.C.
579 D ONFRIO DRIVE, SUITE
MADISON, WI 53719-2838



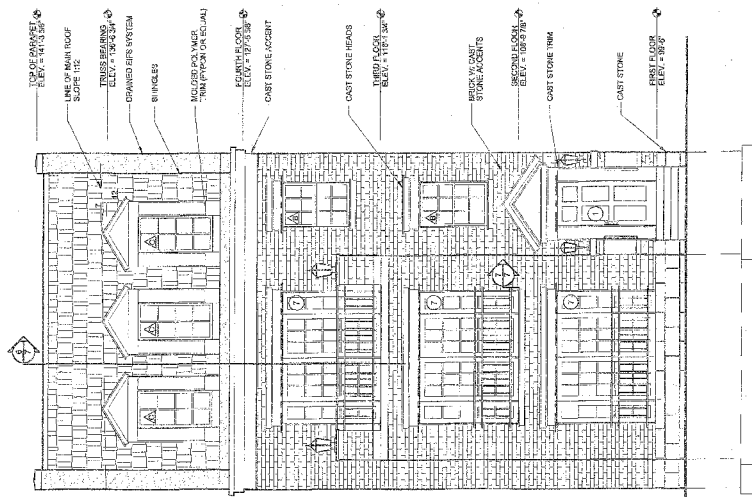
OWNER:
FOUR UNIT APARTMENT
440 W. DAYTON STREET
P.O. BOX 280138
MADISON, WI 53726-0138

PROJECT:
FOUR UNIT APARTMENT
438 W. DAYTON STREET
MADISON, WI

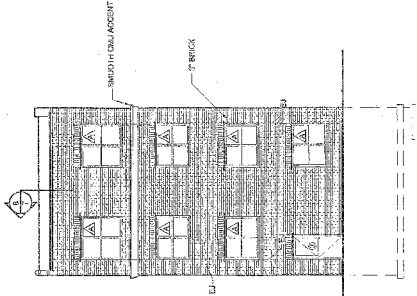
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08/14/06			
08/14/06			

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OF TWELVE

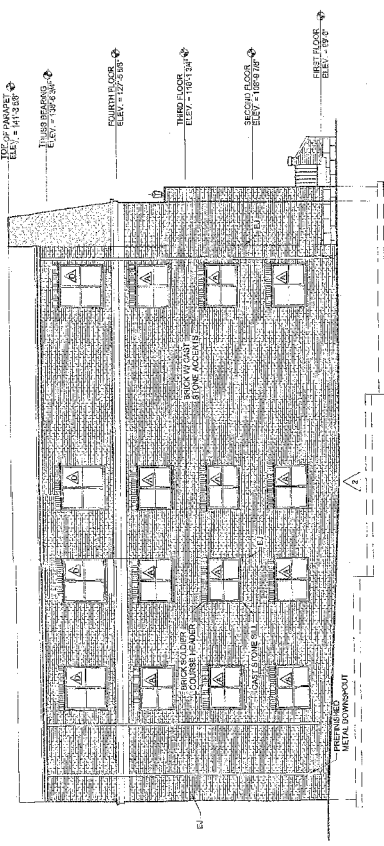
LINTEL SCHEDULE	
NO.	DESCRIPTION
1	1/2" x 4" x 8" LINTEL
2	1/2" x 4" x 8" LINTEL
3	1/2" x 4" x 8" LINTEL
4	1/2" x 4" x 8" LINTEL
5	1/2" x 4" x 8" LINTEL
6	1/2" x 4" x 8" LINTEL
7	1/2" x 4" x 8" LINTEL
8	1/2" x 4" x 8" LINTEL
9	1/2" x 4" x 8" LINTEL
10	1/2" x 4" x 8" LINTEL
11	1/2" x 4" x 8" LINTEL
12	1/2" x 4" x 8" LINTEL



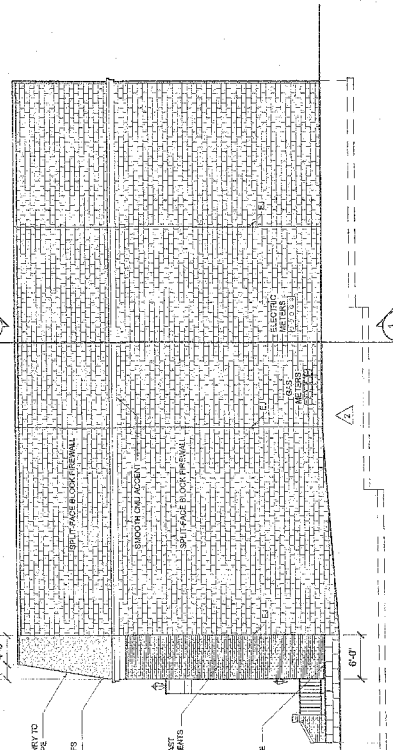
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



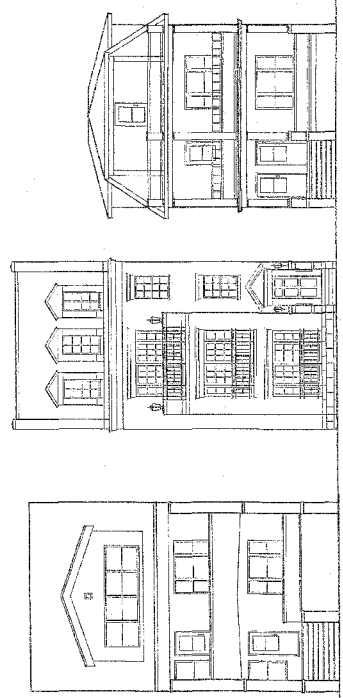
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



STREET VIEW
SCALE: 1/8" = 1'-0"