

929 East Washington Avenue Hotel

929 E. Washington Ave.
Madison, WI

2016.36.02.4

11/27/2023 LAND USE APPLICATION

Drawing Index

C = Issued for Construction
B = Issued for Bidding
R = Issued for Reference Only

SHEET INDEX	
Sheet Number	Sheet Name
GENERAL	
CD01	COVER DRAWING
CD02	EXTERIOR RENDERINGS
CD03	EXTERIOR RENDERINGS - EVENING
CIVIL	
SV-100	EXISTING SITE PLAN
CIVIL	
C100	SITE DEMOLITION PLAN
C101	EROSION CONTROL PLAN
C102	SITE LAYOUT PLAN
C103	SITE FIRE PROTECTION PLAN
C104	SITE GRADING PLAN
C105	SITE UTILITY PLAN
C500	EROSION CONTROL DETAILS
C501	SITE DETAILS
LANDSCAPE	
L100	OVERALL SITE RESTORATION PLAN
L200	PLANTING AND LANDSCAPE RESTORATION PLAN
L201	EAST WASHINGTON TERRACE SECTIONS
L202	TERRACE AND SITE FURNISHING DETAILS
L203	PLANTING AND LANDSCAPE DETAILS
L300	6TH FLOOR NORTH ROOF TERRACE PLAN
L301	6TH FLOOR SOUTH ROOF TERRACE PLAN
L302	PENTHOUSE LEVEL GREEN ROOF PLAN
ARCHITECTURAL	
A005	ARCHITECTURAL SITE PLAN
A051	FIRST FLOOR OVERALL PLAN
A052	SECOND FLOOR OVERALL PLAN
A053	THIRD FLOOR OVERALL PLAN
A054	FOURTH FLOOR OVERALL PLAN
A055	FIFTH FLOOR OVERALL PLAN
A056	SIXTH FLOOR OVERALL PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	FOURTH FLOOR PLAN
A105	FIFTH FLOOR PLAN
A106	SIXTH FLOOR PLAN
A107	SEVENTH FLOOR PLAN
A114	FOURTEENTH FLOOR PLAN
A115	FIFTEENTH FLOOR PLAN
A119	LOWER ROOF PLAN
A120	UPPER ROOF PLAN
A151	ELEVATIONS WITH EXISTING GARAGE
A152	EXISTING GARAGE ELEVATIONS
A201	E. WASHINGTON AVE. COLOR BUILDING ELEVATION
A202	BREARLY ST. COLOR BUILDING ELEVATION
A203	E. MAIN ST. COLOR BUILDING ELEVATION
A204	PATTERSON ST. COLOR BUILDING ELEVATION
A205	E. WASHINGTON AVE. B&W BUILDING ELEVATION
A206	BREARLY ST. B&W BUILDING ELEVATION
A207	E. MAIN ST. B&W BUILDING ELEVATION
A208	PATTERSON ST. B&W BUILDING ELEVATION
A260	BUILDING MATERIALS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A303	ENLARGED BUILDING SECTION
A414	ENLARGED DUMPSTER ENCLOSURE PLAN AND ELEVATIONS



Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

PRELIMINARY
NOT FOR CONSTRUCTION

929 East Washington Avenue
Hotel

929 E. Washington Ave.
Madison, WI

2016.36.02.4

DATE	ISSUANCE/REVISIONS	
11/27/2023	SCHEMATIC DESIGN	2
11/27/2023	LAND USE APPLICATION	3

COVER DRAWING

CD01



GROUND-LEVEL VIEW FROM BREARLY AND EAST WASHINGTON



GROUND-LEVEL VIEW FROM PATERSON AND EAST WASHINGTON



GROUND-LEVEL VIEW FROM DIRECTLY ACROSS EAST WASHINGTON



DISTANT GROUND-LEVEL VIEW FROM PATERSON AND EAST WASHINGTON

PRELIMINARY RENDERINGS FOR ILLUSTRATIVE PURPOSES ONLY

PRELIMINARY
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929 East Washington Avenue
Hotel

929 E. Washington Ave.
Madison, WI

2016.36.02.4

DATE	ISSUANCE/REVISIONS	
10/25/2023	SCHEMATIC DESIGN	2
11/27/2023	LAND USE APPLICATION	3

EXTERIOR RENDERINGS

CD02

Notes: _____

929 EAST WASHINGTON
AVENUE HOTEL

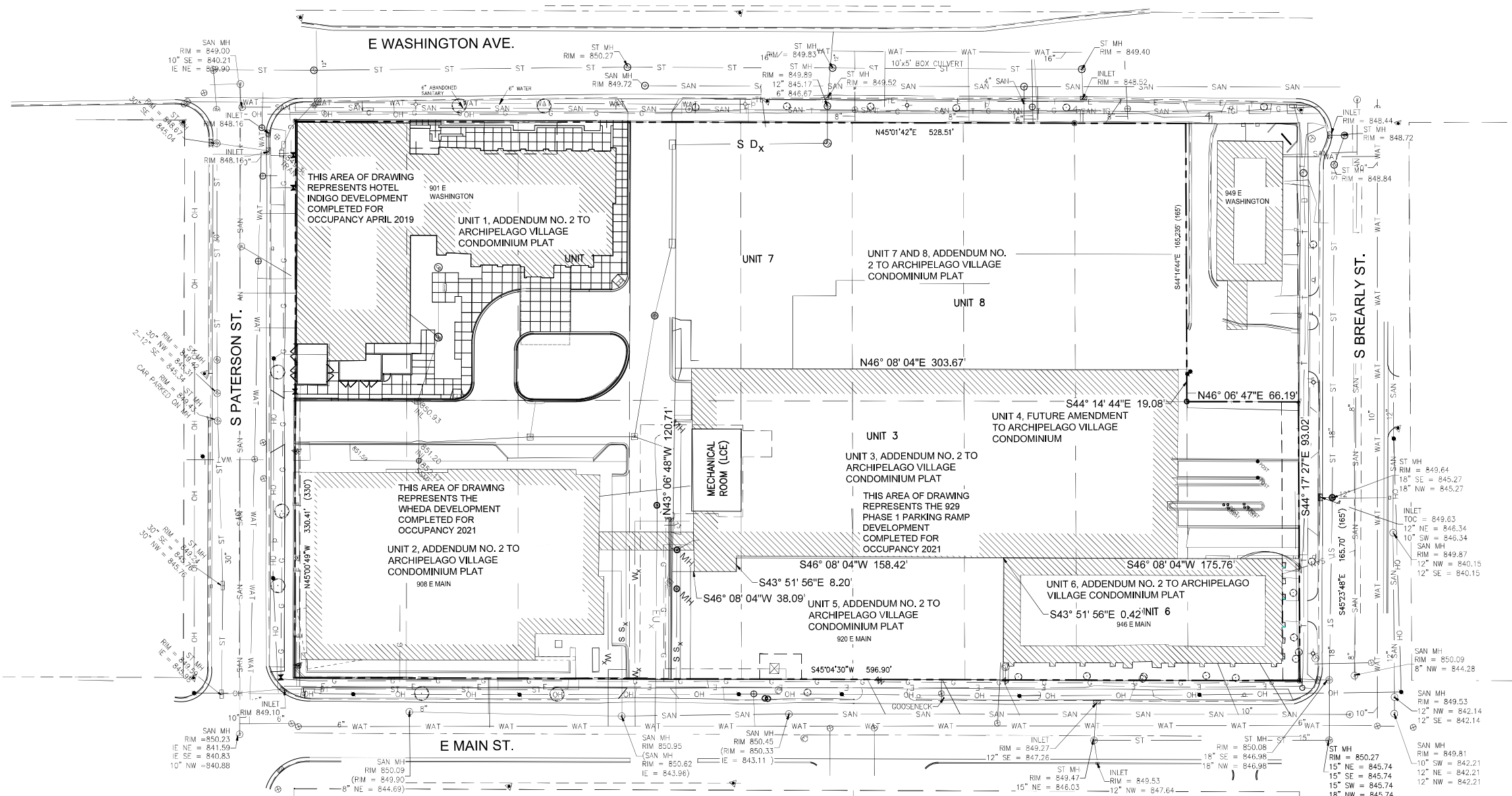
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Madison, Wisconsin

2016.36.02.4

Date	Issuance/Revisions	Symbol
11/22/2023	LAND USE SUBMITTAL	

EXISTING
SITE PLAN

SV100



LEGEND

- | | |
|-----------------------|------------------------------------|
| ○ SANITARY MANHOLE | — WAT — BURIED WATER MAIN |
| ○ YARD CLEANOUT | — SAN — SANITARY SEWER |
| ○ STORM MANHOLE | — ST — STORM SEWER |
| ○ STORM INLET | — 8" — SLT FENCE |
| ○ STORM CATCH BASIN | — OH — OVERHEAD WIRES |
| ○ APRON ENDWALL | — CATV — BURIED CABLE TV LINES |
| ○ WATER MANHOLE | — E — BURIED ELECTRIC |
| ○ HYDRANT | — T — BURIED TELEPHONE |
| ○ WATER VALVE | — FO — FIBER OPTIC |
| ○ GAS METER | — G — BURIED GAS MAIN |
| ○ GAS VALVE | |
| ○ LIGHT POLE | |
| ○ TRAFFIC SIGNAL | |
| ○ MONITORING WELL | |
| ○ ELECTRICAL OUTLET | |
| ○ UTILITY POLE | |
| ○ GUY WIRE / DEAD MAN | |
| ○ ELECTRIC PEDESTAL | |
| ○ ELECTRIC MANHOLE | |
| ○ CABLE PEDESTAL | |
| ○ BOLLARD | |
| ○ SIGN | |
| ○ HANDICAP RAMP | |
| ○ HANDICAP STALL | |
| ○ STONE WALL | |
| | — CAUTION — PROPERTY LINE |
| | — UTILITY EASEMENT |
| | — SETBACK LINE |
| | — BUILDING TO BE DEMOLISHED |
| | — BUILDING TO REMAIN |
| | — FUTURE CONDOMINIUM BOUNDARY LINE |

DESCRIPTION:
PARCEL A: LOT 13, BLOCK 158, ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR RAILROAD SPUR TRACK AS SET FORTH IN VOLUME 295 OF DEEDS, PAGE 287, AS DOCUMENT NO. 432661, AND EXCEPT GRANT TO MAUTZ PAINT AND GLASS COMPANY AS SET FORTH IN VOLUME 83 OF MSC, PAGE 331, AS DOCUMENT NO. 490713.
PARCEL B: LOTS 1 THROUGH 8 INCLUSIVE, LOTS 10 THROUGH 12 INCLUSIVE, AND LOTS 14 THROUGH 18 INCLUSIVE, BLOCK 158, ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

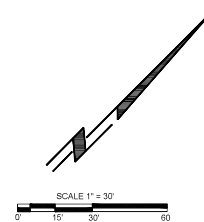
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C. AREAS OF MINIMAL FLOODING AS INDICATED ON FLOOD INSURANCE RATE MAP - CITY OF MADISON, DANE COUNTY, WISCONSIN, PANEL 10 OF 30, COMMUNITY-PANEL NO. 550083 0010 C-MAP REVISED SEPTEMBER 18, 1996.

NOTES:
ALL BEARINGS ARE REFERENCED TO THE NORTHWESTERLY LINE OF BLOCK 158, N45°01'42"E ASSUMED.
GAS AND ELECTRIC INFORMATION IS FROM MADISON GAS AND ELECTRIC COMPANY.
SANITARY SEWER, WATER AND STORM SEWER INFORMATION IS FROM CITY OF MADISON ENGINEERING DIVISION.
ZONING DISTRICT IS TRADITIONAL EMPLOYMENT

ALL BENCH MARKS ARE TOP OF HYDRANT AND ARE CITY OF MADISON DATUM

BENCH MARKS
B.M. 1 = HYDRANT AT THE SOUTHERLY CORNER OF EAST WASHINGTON AVE. AND PATERSON STREET
B.M. 2 = 853.29 = HYDRANT MID-BLOCK ON EAST WASHINGTON AVE.
B.M. 4 = 852.22 = HYDRANT AT THE WESTERLY CORNER OF BREARLY STREET AND MAIN STREET
B.M. 5 = 854.12 = MID-BLOCK ON EAST MAIN STREET
B.M. 6 = 852.74 = EASTERLY CORNER OF MAIN STREET AND PATERSON STREET
B.M. 7 = 852.21 = MID-BLOCK ON SOUTH PATERSON STREET

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.



Notes: _____

929 EAST WASHINGTON
AVENUE HOTEL

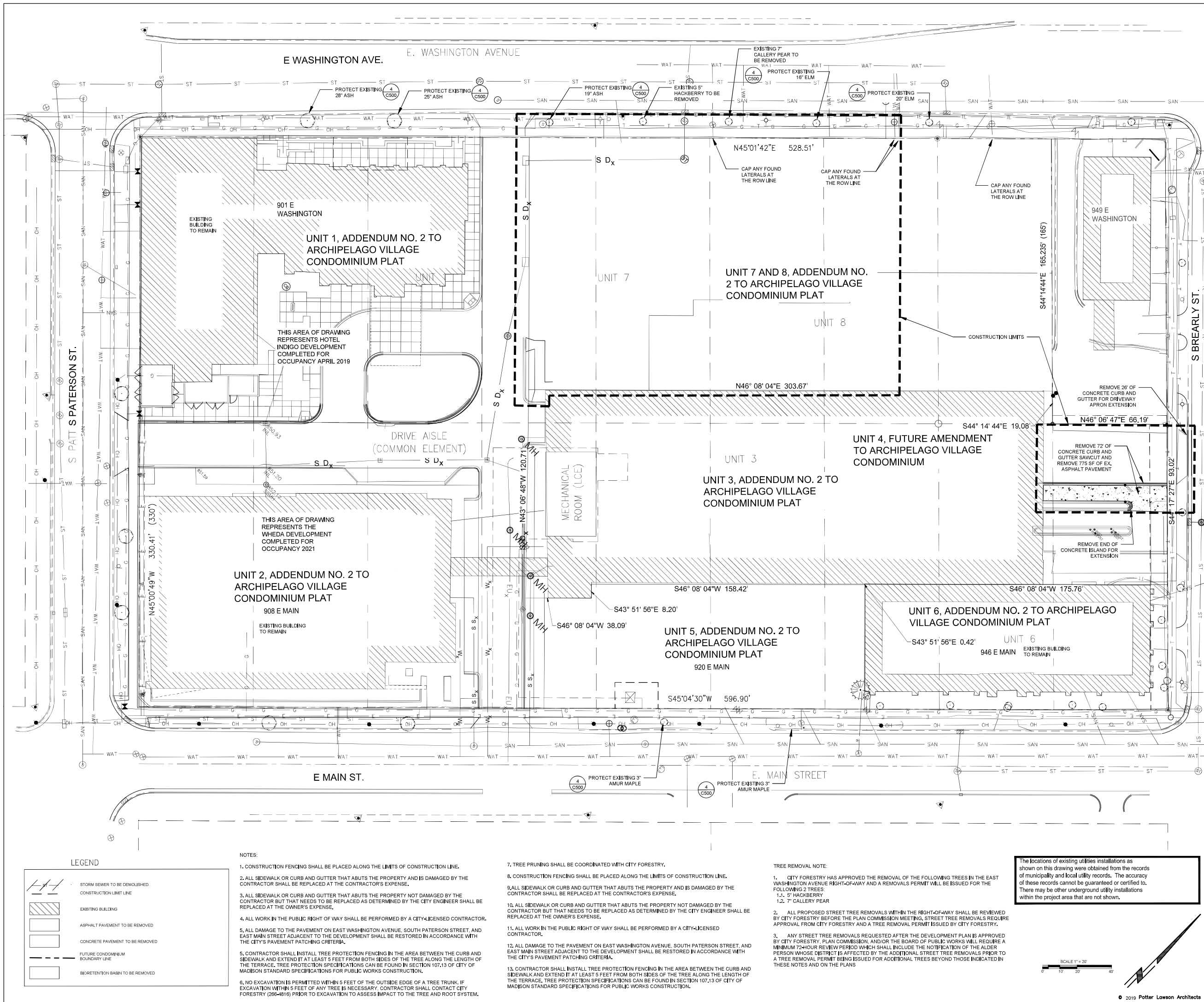
929 E Washington Ave
Madison, Wisconsin

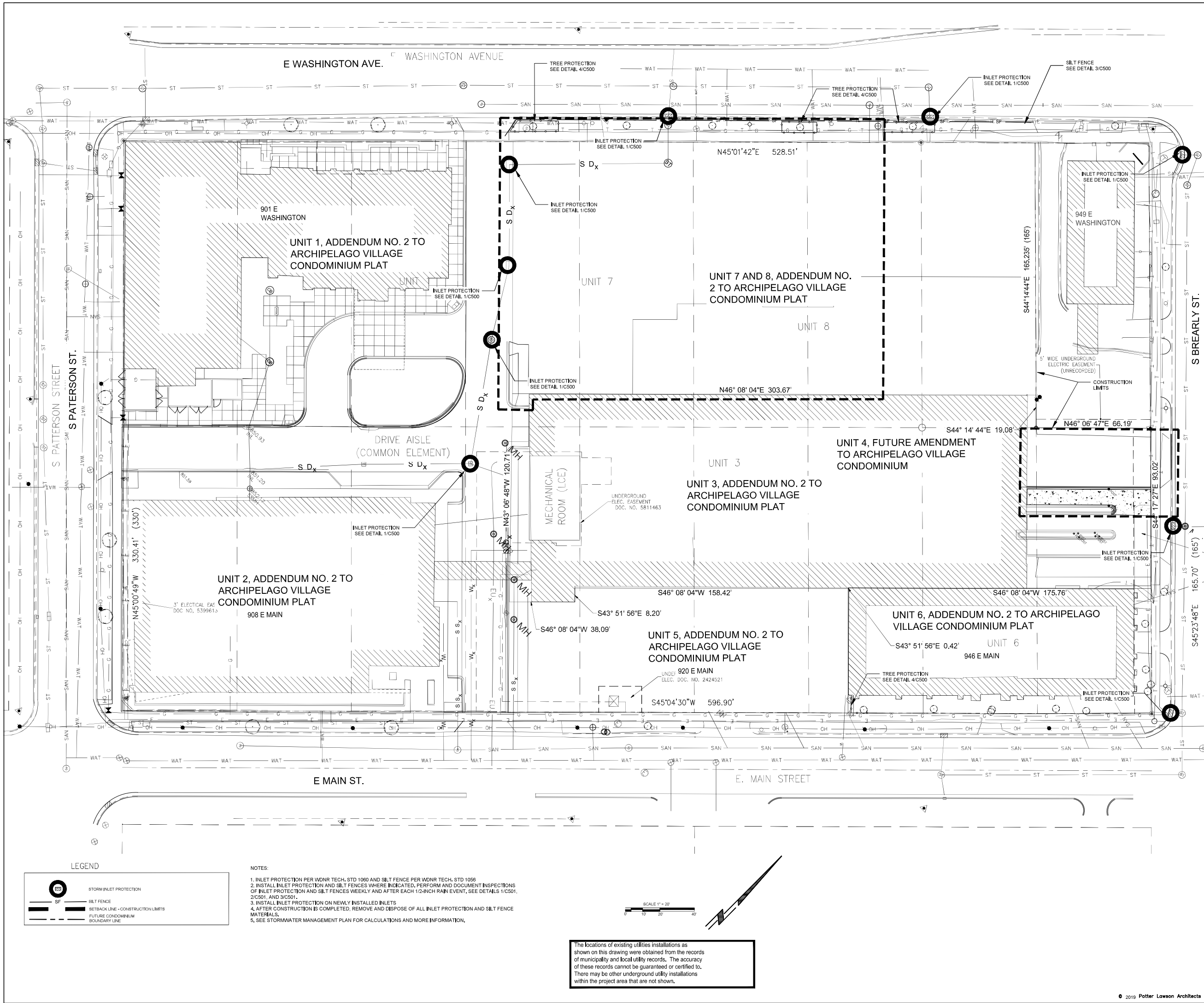
2016.36.02.4

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11/22/2023	LAND USE SUBMITTAL	

**SITE
DEMOLITION PLAN**

C100





Notes:

929 EAST WASHINGTON
AVENUE HOTEL

929 E Washington Ave
Madison, Wisconsin

2016.36.02.4

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EROSION
CONTROL PLAN

C101

Notes:

929 EAST WASHINGTON
AVENUE HOTEL

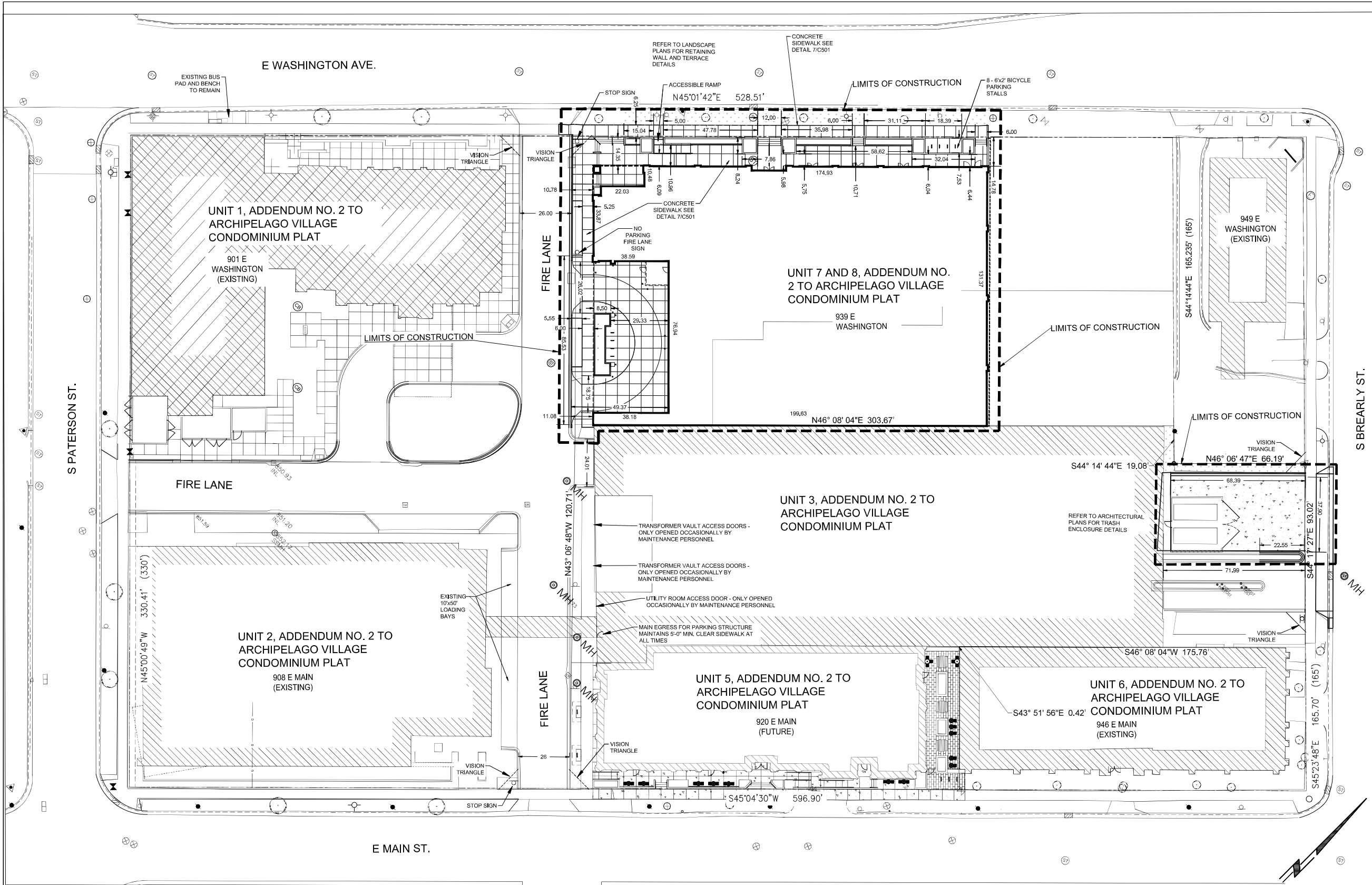
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Date	Issuance/Revisions	Symbol
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SITE
LAYOUT PLAN

C102



GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.

2. ALL ELEVATIONS ARE REFERENCED TO THE LOCAL DATUM AND BASED ON A SURVEY PERFORMED BY VERBICHER AND ASSOCIATES ON NOVEMBER 8, 2007.

3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.

4. ALL STAKES NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADES FOR ANY SECTION OF THE WORK HEREIN DESCRIBED SHALL BE SET BY THE OWNER, OR THE OWNER'S REPRESENTATIVE.

5. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.

6. MATERIAL TESTS CONDUCTED BY ANY INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER. IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.

7. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.

8. A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.

9. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

10. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.

11. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2009, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS. EXCEPT AS MODIFIED HEREIN.

12. WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.

13. THERE ARE NO FRONT OR SIDE YARD SETBACKS.

14. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

15. CONTRACTOR SHALL REPLACE ANY CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB, AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED DUE TO UNDESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

16. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

17. NO VISUAL OBSTRUCTIONS TO BE LOCATED WITHIN VISION TRIANGLES BETWEEN THE HEIGHTS OF 2.5'-10' - 25' BEHIND THE PROPERTY LINE AT STREETS AND 10' BEHIND THE PROPERTY LINE AT DRIVEWAYS.

CURB, GRADE BEAM CURB, SIDEWALK AND MISCELLANEOUS

1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS.

2. CONCRETE CURB SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.

3. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.

4. ALL ENTRANCES SHALL HAVE THE EXISTING 6" VERTICAL FACE SAWED AND REMOVED OR THE ENTIRE CURB AND GUTTER LENGTH REMOVED AND REPLACED WITH CONCRETE GUTTER SECTION.

5. CONCRETE JOINTING FOR THE SIDEWALK AROUND THE BUILDING WILL BE TOOK JOINTS. THE UPPER TERRACE ALONG EAST WASHINGTON AVE, AND THE CROSS WALK THAT CUTS THROUGH THE NORTH-SOUTH FIRE LANE WILL BE SAW CUT JOINTS.

6. CLEARLY DEFINED FIVE-FOOT WALKWAYS TO ASSIST CITIZENS WITH DISABILITIES IS PROVIDED FOR THIS PROJECT TO AID IN CIRCULATION WITHIN THE ENTIRE DEVELOPMENT AND TO BUILDING ENTRANCE DOORS. EXCEPTIONS DO OCCUR ALONG THE WESTERN FACE OF THE 920 EAST MAIN PHASE 1 PARKING D STRUCTURE 929 EAST WASHINGTON BUILDING FACADE FOR SOME UTILITY ROOMS WHICH WILL BE ACCESSED INFREQUENTLY AND BY QUALIFIED MAINTENANCE PERSONNEL. THESE EXCEPTIONS ARE EXPLICITLY NOTED ON THE PLANS.

Site Area	Lot 4.27 Ac / Disturbed 3.25Ac
Total Building Sq. Ft.	318,017 G.S.F. (929)
Building Footprint Sq. Ft.	22,867 Sq. Ft. (929)
Building Type	Commercial (929)
Lot Coverage (Block)	59%

Lot Area	Lot 186,001 Sf / 4.27 Ac
Building Footprint Sq. Ft. (929 Green)	17,209 Sf
Building Footprint Sq. Ft. (929 Impervious)	5,658 Sf
Building Footprint Sq. Ft. (Other Buildings)	70,813 Sf
Site Paving	33,541 Sf
Green Roof (Other Buildings)	19,502 Sf
Landscape Area	9,387 Sf
Total Green (Incl. Green Roof)	46,098 Sf
Total Impervious	110,012 Sf

LEGEND

○ SANITARY MANHOLE
○ YARD CLEANOUT
○ STORM MANHOLE
○ STORM INLET
○ STORM CATCH BASIN
○ APRON ENDWALL
○ WATER MANHOLE
○ HYDRANT
○ WATER VALVE
○ GAS METER
○ GAS VALVE
○ LIGHT POLE
○ TRAFFIC SIGNAL
○ MONITORING WELL
○ ELECTRICAL OUTLET
○ UTILITY POLE
○ GUY WIRE / DEAD MAN
○ ELECTRIC PEDESTAL
○ ELECTRIC MANHOLE
○ CABLE PEDESTAL
○ BOLLARD
○ SIGN
○ HANDICAP RAMP
○ HANDICAP STALL
○ STONE WALL

— CATCH CURB
— REJECT CURB
— WAT — BURIED WATER MAIN
— SAN — SANITARY SEWER
— ST — STORM SEWER
— SF — SILT FENCE
— RD — ROOF DRAIN
— OH — OVERHEAD WIRES
— CATV — BURIED CABLE TV LINES
— E — BURIED ELECTRIC
— T — BURIED TELEPHONE
— FO — FIBER OPTIC
— G — BURIED GAS MAIN
○ CAUTION
○ PROPERTY LINE
○ UTILITY EASEMENT
○ SETBACK LINE
■ BUILDING TO BE DEMOLISHED
■ BUILDING TO REMAIN
--- FUTURE CONDOMINIUM BOUNDARY LINE

SCALE 1" = 20'

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Notes:

929 EAST WASHINGTON
AVENUE HOTEL

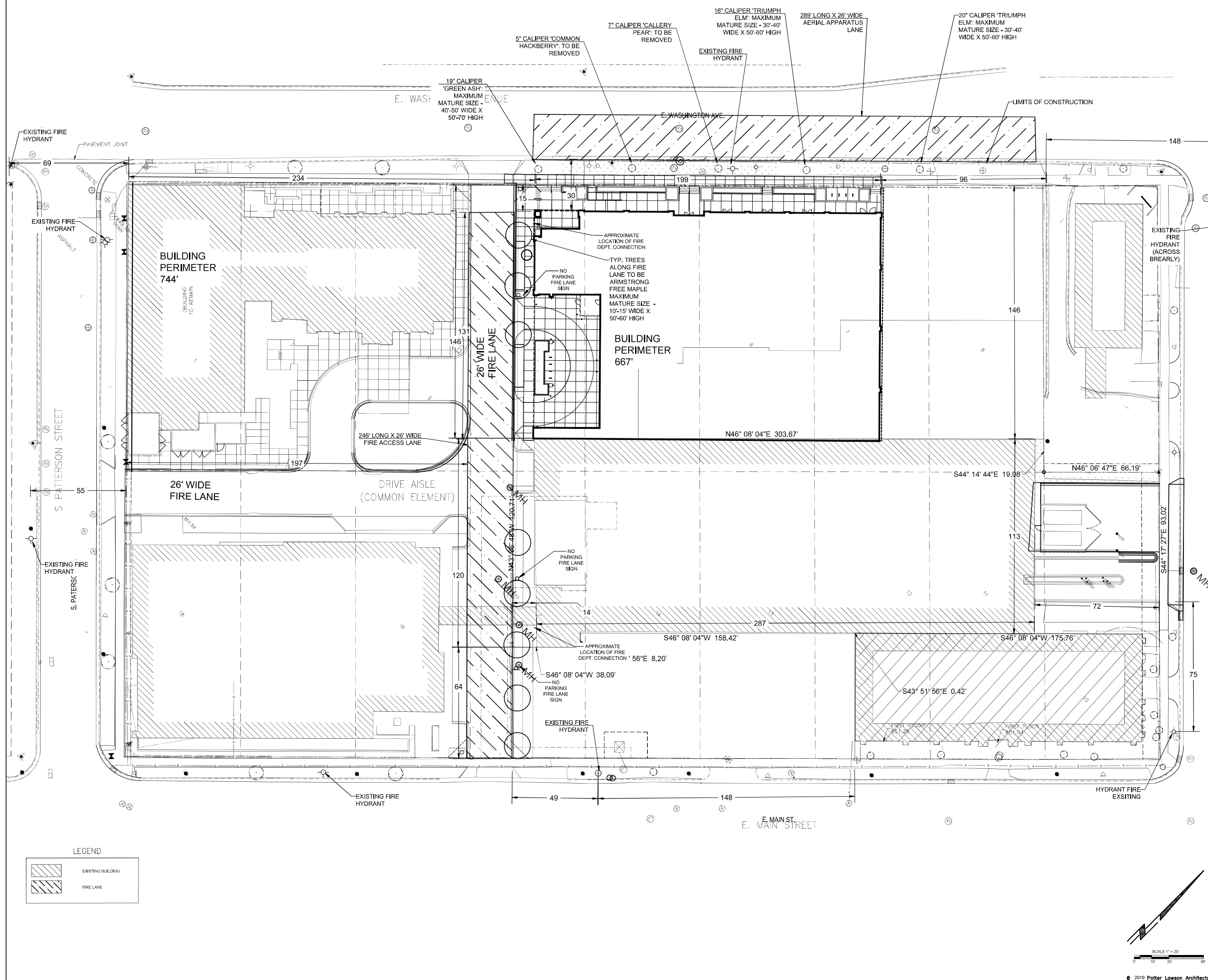
929 E Washington Ave
Madison, Wisconsin

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SITE FIRE PROTECTION PLAN

C103



Notes: _____

929 EAST WASHINGTON
AVENUE HOTEL

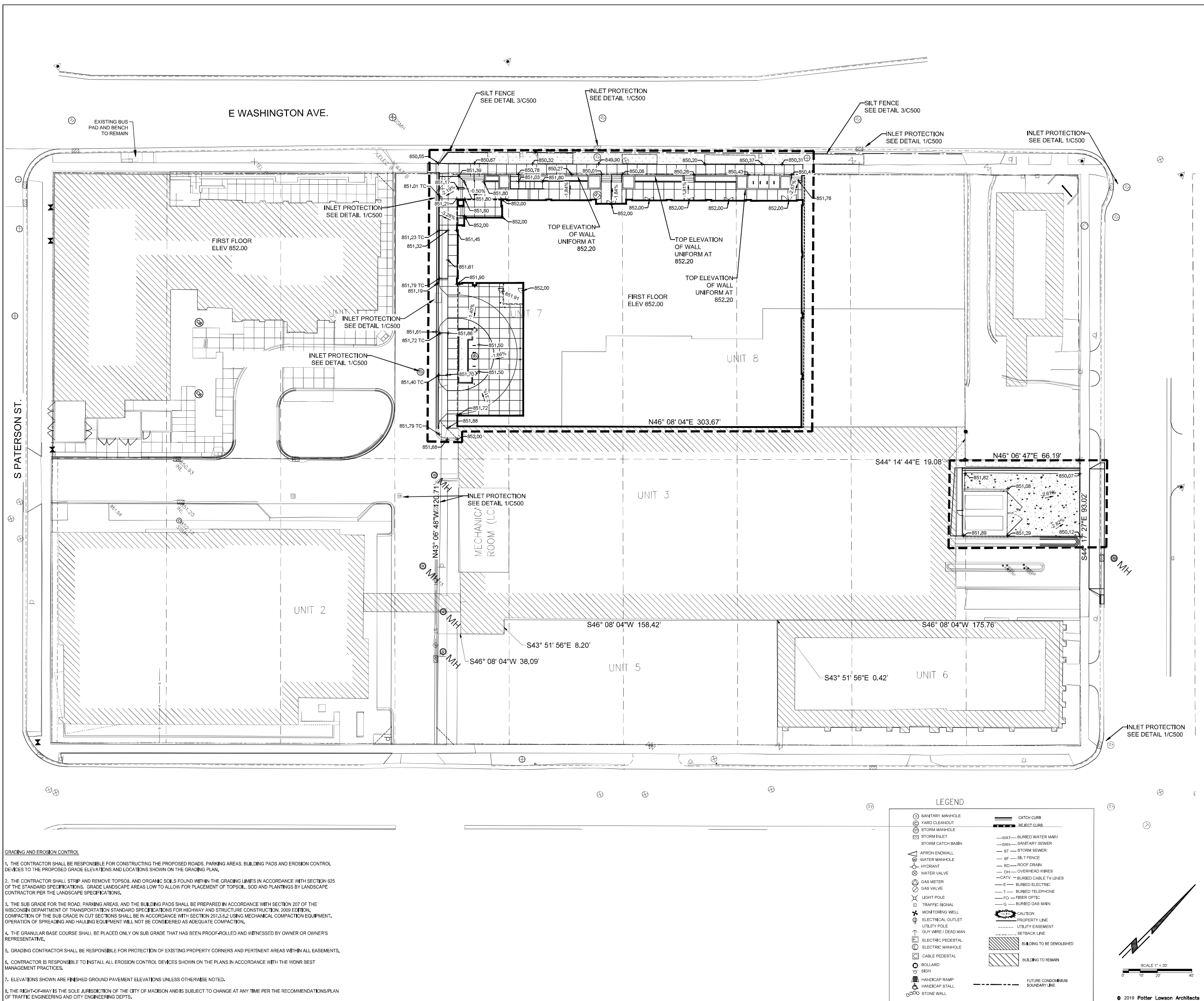
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Date	Issuance/Revisions	Symbol
11/22/2023	LAND USE SUBMITTAL	

**SITE
GRADING PLAN**

C104



GENERAL NOTES:
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

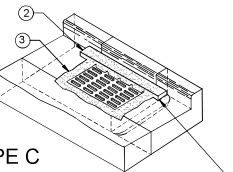
③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4.

INSTALLATION NOTES:
TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

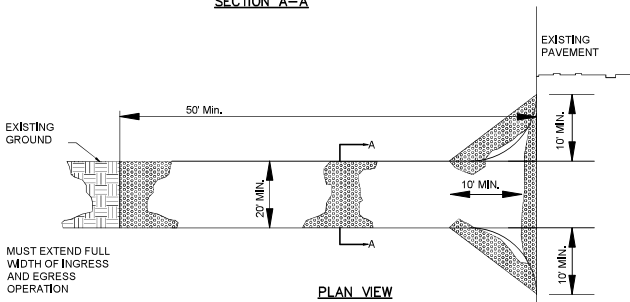
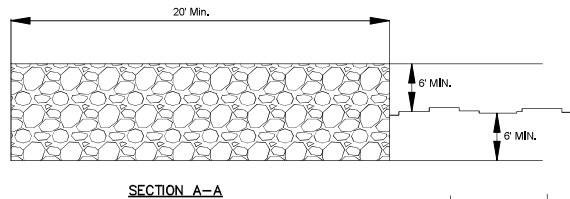


TYPE C
(WITH CURB BOX)

WOOD 2" X 4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES. LENGTH VARIES, SECURE TO GRATE WITH WIRE OR PLASTIC TIES.

1 INLET PROTECTION

NTS



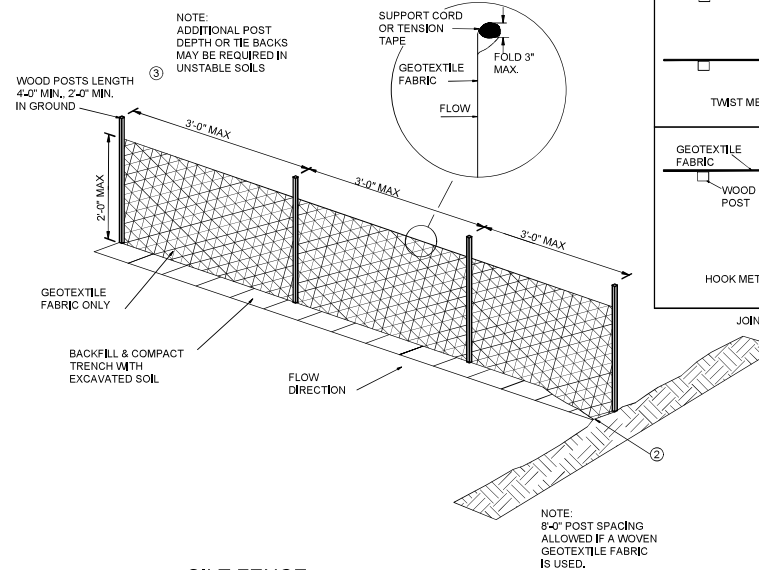
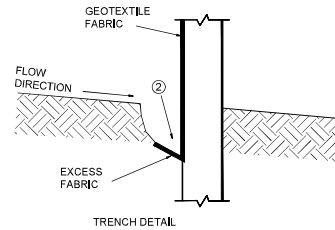
NOTES:

- 1) TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- 2) LENGTH - MINIMUM OF 50'
- 3) WIDTH - 20' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDED A TURNING RADIUS.
- 4) STONE - CLEAR OR WASHED (3"-6") SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
- 5) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
- 6) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

2 STABILIZED CONST. ENTRANCE

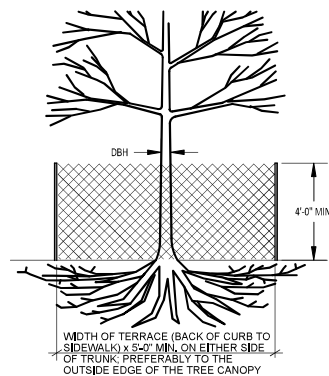
NTS

- GENERAL NOTES:
DETAILS OF CONSTRUCTION NOT SHOWN SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
 4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
A) OVERLAP THE END POSTS AND TWIST, OR
B) HOOK THE END OF EACH SILT FENCE LENGTH.



3 SILT FENCE

NTS



NOTES:

1. ALL TREES SHOWN TO BE RETAINED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED DURING CONSTRUCTION WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31.13.16 "SELECTIVE TREE PROTECTION AND REMOVAL" AND PERFORM ALL WORK IN THE RIGHT-OF-WAY IN ACCORDANCE WITH CITY OF MADISON STANDARD 107.13 "TREE PROTECTION SPECIFICATION".
2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. NO CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES MAY BE STORED IN THE TREE PROTECTION AREA.
3. INSTALL TREE PROTECTION FENCE STAKES AT 6'-0" O.C., MAX.
4. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. PREFERABLY TO THE OUTSIDE EDGE OF THE TREE CANOPY (OVERHEAD). NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL COORDINATED WITH CITY FORESTRY. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

4 TREE PROTECTION

NTS

Potter
Lawson

Success by Design



5100 Eastpark Blvd., Suite 300, Madison, WI
53718, ph. 608-243-6470 Job# 2017136

Notes: _____

929 EAST WASHINGTON
AVENUE HOTEL

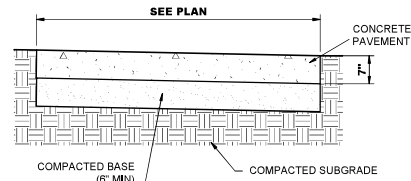
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2016.36.02.4

Date	Issuance/Revisions	Symbol
11/22/2023	LAND USE SUBMITTAL	

EROSION
CONTROL DETAILS

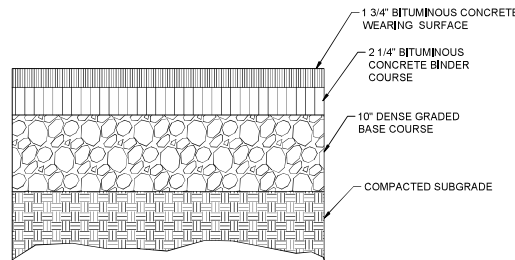
C500



1. DENSE GRADED BASE COURSE SHALL CONFORM TO WISDOT 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
2. BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).
3. SEE DETAIL 9/C501 FOR CONTROL JOINTS
4. SEE DETAIL 11/C501 FOR EXPANSION JOINTS
5. SEE SCORING PATTERN IN PLANS FOR CROSSWALK.

1 HD CONCRETE CROSSWALK

NTS

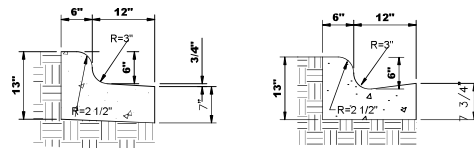


NOTES

1. HMA PAVEMENT WISDOT SUPERPAVE TYPE E-1 MIX DESIGN, WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 12.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2041.
2. DENSE GRADED BASE COURSE SHALL CONFORM TO WISDOT STANDARD SPECIFICATIONS 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
3. BASE COURSE MATERIAL SHALL BE PLACED IN INDIVIDUAL 5" LIFTS COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).

2 HMA PAVEMENT - HEAVY DUTY DRIVE AREAS

NTS



REJECT CURB

STANDARD CURB

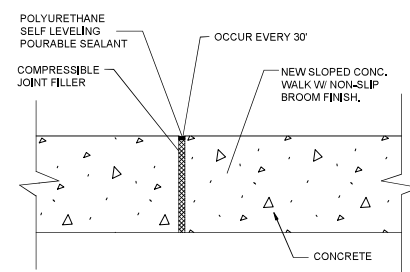
GENERAL NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

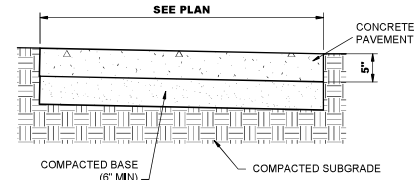
8 18" CURB AND GUTTER

NTS



11 EXPANSION JOINT

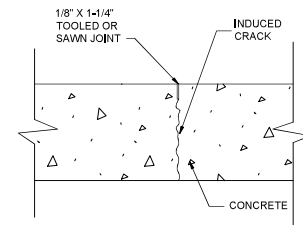
NTS



1. DENSE GRADED BASE COURSE SHALL CONFORM TO WISDOT 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
2. BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).
3. SEE DETAIL 9/C501 FOR CONTROL JOINTS
4. SEE DETAIL 11/C501 FOR EXPANSION JOINTS

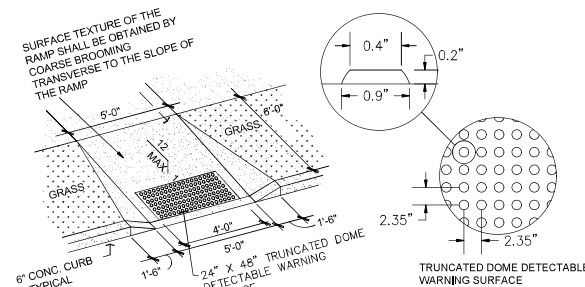
7 CONCRETE SIDEWALK

NTS



9 CONTROL JOINT

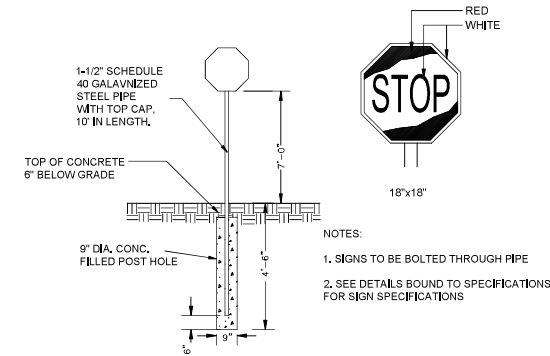
NTS



1. DETECTABLE WARNING SURFACE SHALL BE STAMPED INTO THE CONCRETE OR ARMOR-TILE MODEL ADA-C248YW MAY BE CAST IN PLACE RAMP AT THE TIME OF CONSTRUCTION.
2. DETECTABLE WARNING SURFACE SHALL BE PAINTED YELLOW.
3. ALTERNATE METHODS OF CREATING THE DETECTABLE WARNING SURFACE MUST BE APPROVED BY THE ENGINEER.
4. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

12 CURB RAMP

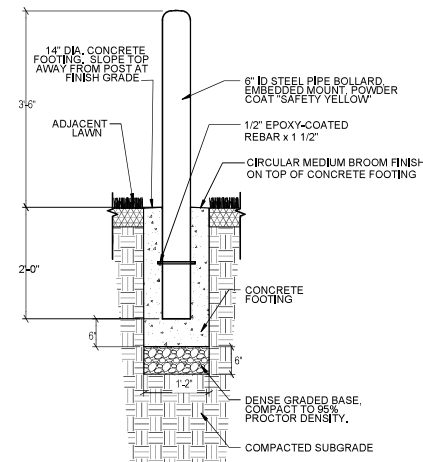
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5 STOP SIGN

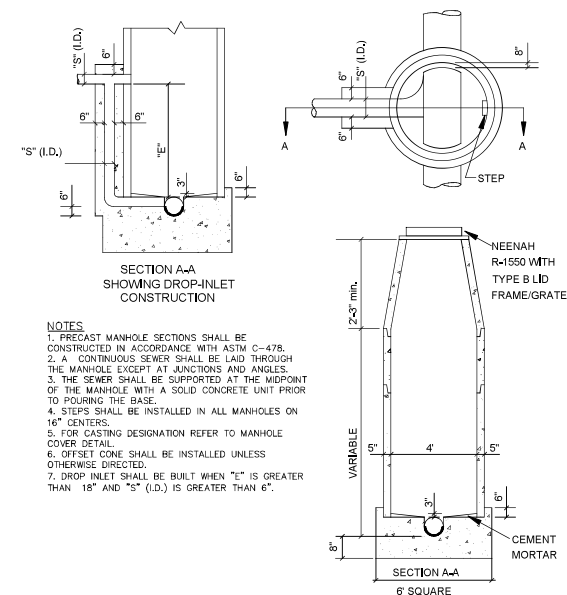
NTS

1. SIGNS TO BE BOLTED THROUGH PIPE
2. SEE DETAILS BOUND TO SPECIFICATIONS FOR SIGN SPECIFICATIONS



10 BOLLARD

NTS



1. PRECAST MANHOLE SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C-478.
2. A CONTINUOUS SEWER SHALL BE LAID THROUGH THE MANHOLE EXCEPT AT JUNCTIONS AND ANGLES.
3. THE SEWER SHALL BE SUPPORTED AT THE MIDPOINT OF THE MANHOLE WITH A SOLID CONCRETE UNIT PRIOR TO POURING THE BASE.
4. STEPS SHALL BE INSTALLED IN ALL MANHOLES ON 16" CENTERS.
5. FOR CASTING DESIGNATION REFER TO MANHOLE COVER DETAIL.
6. OFFSET CONE SHALL BE INSTALLED UNLESS OTHERWISE DIRECTED.
7. DROP INLET SHALL BE BUILT WHEN "E" IS GREATER THAN 18" AND "S" (I.D.) IS GREATER THAN 6".

13 SANITARY MANHOLE

NTS

Potter
Lawson

Success by Design



5100 Eastpark Blvd., Suite 300, Madison, WI
53718, ph. 608-243-6470 Job# 2017136

Notes: _____

929 EAST WASHINGTON
AVENUE HOTEL

929 E Washington Ave
Madison, Wisconsin

2016.36.02.4

Date	Issuance/Revisions	Symbol
11/22/2023	LAND USE SUBMITTAL	

EROSION
CONTROL DETAILS

C501

LEGEND

- CONCRETE PAVING - PEDESTRIAN
- CONCRETE PAVING - VEHICULAR
- DECORATIVE CONCRETE PAVING - VEHICULAR
- SEEDED BLUEGRASS LAWN
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
① METAL EDGE
② SHOVEL CUT EDGE
- PROJECT BOUNDARY
- EXISTING TREE
- X

EXISTING TREE TO BE REMOVED
- BOLLARD - TYP. OF (13)

NOTES

1.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
2.

CONTRACTOR SHALL PROTECT BENCHMARKS.
3.

PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES AND OTHER IMPROVEMENTS THAT ARE INTENDED TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IF DAMAGE OCCURS, FULLY AND COMPLETELY RESTORE DAMAGED AREAS TO MATCH PRE-CONSTRUCTION CONDITIONS UNLESS OTHERWISE INDICATED BY OWNER'S PROJECT REPRESENTATIVE OR CITY REPRESENTATIVE.
4.

ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION UNLESS OTHERWISE DIRECTED BY CITY FORESTRY FOR RIGHT-OF-WAY TREES OR LANDSCAPE ARCHITECT FOR TREES ON PRIVATE PROPERTY.
6.

ANY LAWN OR LANDSCAPED AREA OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT IS DISTURBED SHALL BE RE-SEEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
7.

CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL AND LAWNS - SEE SPECIFICATIONS.
8.

THIS PROJECT PROPOSES THE REMOVAL OF (2) TREES IN THE EAST WASHINGTON AVE. TERRACE: (1) 5" CAL. HACKBERRY AND (1) 7" CAL. CALLERY PEAR. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT 608-266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR THESE (2) TREES DUE TO CONSTRUCTION STAGING AND ACCESS CONFLICTS ALONG EAST WASHINGTON AVE.
9.

ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
10.

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY 608-266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:
11.

WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
12.

CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 608-266-4816. PENALTIES AND REMEDIATION WILL BE ASSESSED TO THE CONTRACTOR.
13.

SECTION 107.13(5) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
14.

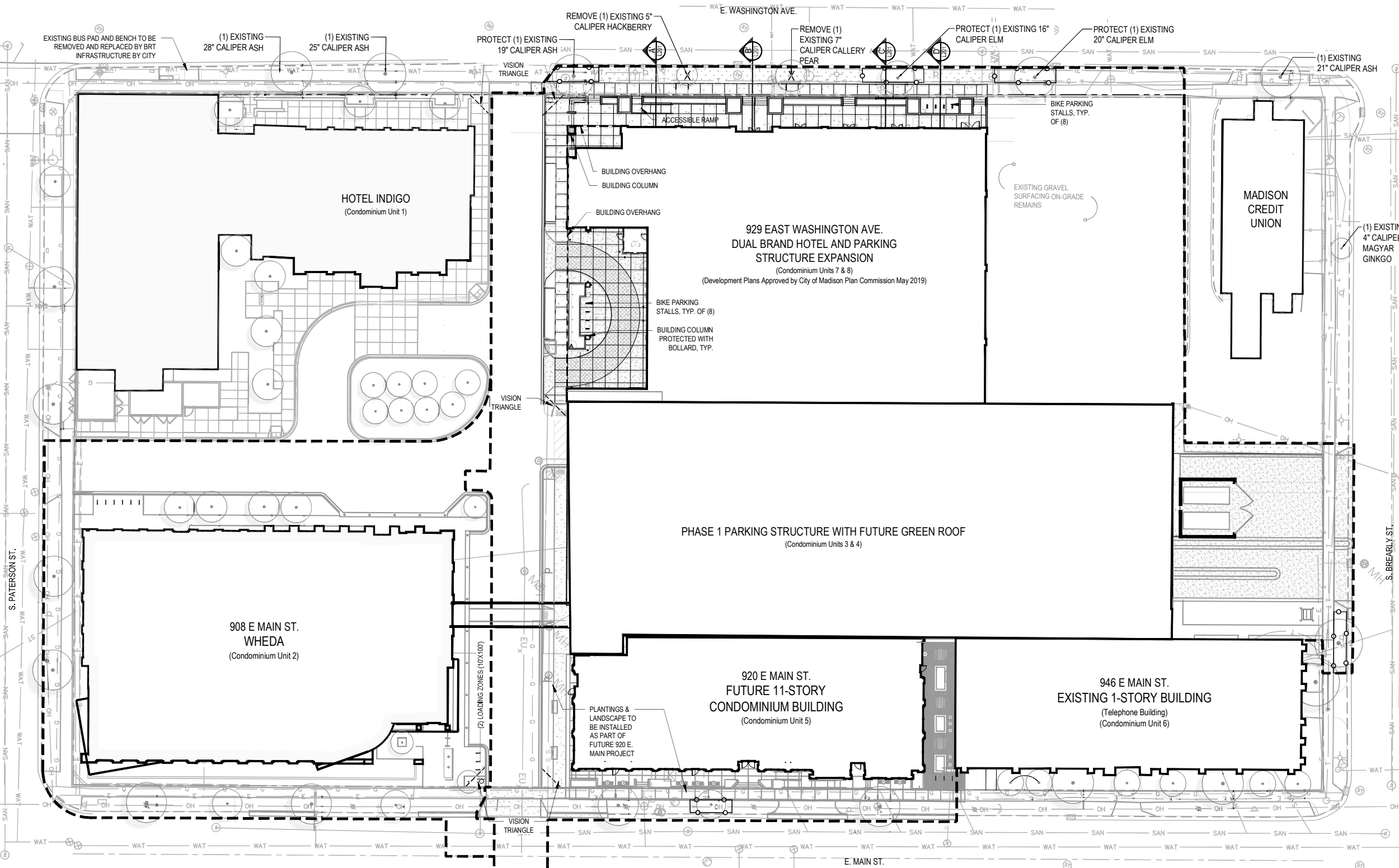
ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND A MIN. OF 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK, PREFERABLY EXTENDING TO THE OUTSIDE EDGES OF THE TREE
15.

CANOPY TAKING CARE NOT TO ENCRONCH ON ANY VISION TRIANGLES. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
16.

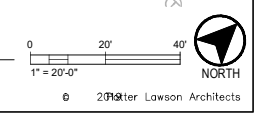
IF PRUNING IS REQUIRED PRIOR TO OR DURING CONSTRUCTION AS A RESULT OF DAMAGE TO EXISTING STREET TREES THAT ARE TO REMAIN, THE CONTRACTOR SHALL IMMEDIATELY CONTACT CITY FORESTRY AND SHALL COORDINATE WITH FORESTERS TO HAVE PRUNING WORK PERFORMED BY CITY FORESTRY PERSONNEL.
17.

AT LEAST ONE WEEK PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT 608-266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
18.

CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO SOIL PREPARATION, TURF AND GRASSES, AND PLANTS (SECTIONS 32.91.13, 32.92.00 & 32.93.00). THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.



1 OVERALL SITE RESTORATION PLAN
SCALE: 1" = 20'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:

WISCONSIN

Abbie Molien

LA-673

Madison

Wisconsin

Landscape Architect

Abbie Molien

11/27/2023

PRELIMINARY
NOT FOR CONSTRUCTION

929 East Washington Avenue
Hotel

929 E Washington Ave.
Madison, Wisconsin

2016.36.02.4

Date	Issuance/Revisions	Symbol
10/25/2023	SD PRICING SET	

OVERALL SITE
RESTORATION PLAN

L100

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
DECIDUOUS TREES					
	AF	Acer x freemani 'Armstrong' / Armstrong Freeman Maple	B & B	2.5" Cal	3
	CO	Celtis occidentalis / Common Hackberry NOTE: Inspection by City Forestry required prior to planting.	B & B	2" Cal	1
	GT	Gleditsia triacanthos 'Draves' PP 21688 / Street Keeper Honey Locust	B & B	2" Cal	5
	UP	Ulmus x 'New Horizon' / New Horizon Elm NOTE: Inspection by City Forestry required prior to planting.	B & B	2" Cal	1
SYMBOL CODE BOTANICAL / COMMON NAME SIZE SIZE QTY					
DECIDUOUS SHRUBS					
	Am	Aronia melanocarpa 'Low Scape Hedger' / Low Scape Hedger Chokeberry	3 gal	24" HT (MIN.)	4
	Hy	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	30" HT (MIN.)	5
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	8
	Sc	Stephanandra incisa 'Crispa' / Cutleaf Stephanandra	2 gal	18" SPR. (MIN.)	23
GRASSES					
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	8
	ses	Sesleria autumnalis / Autumn Moor Grass	1 qt	CONT.	59
PERENNIALS					
	amb	Ansonia tabernaemontana 'Blue Ice' / Blue Ice Star Flower	1 qt	CONT.	87

LEGEND

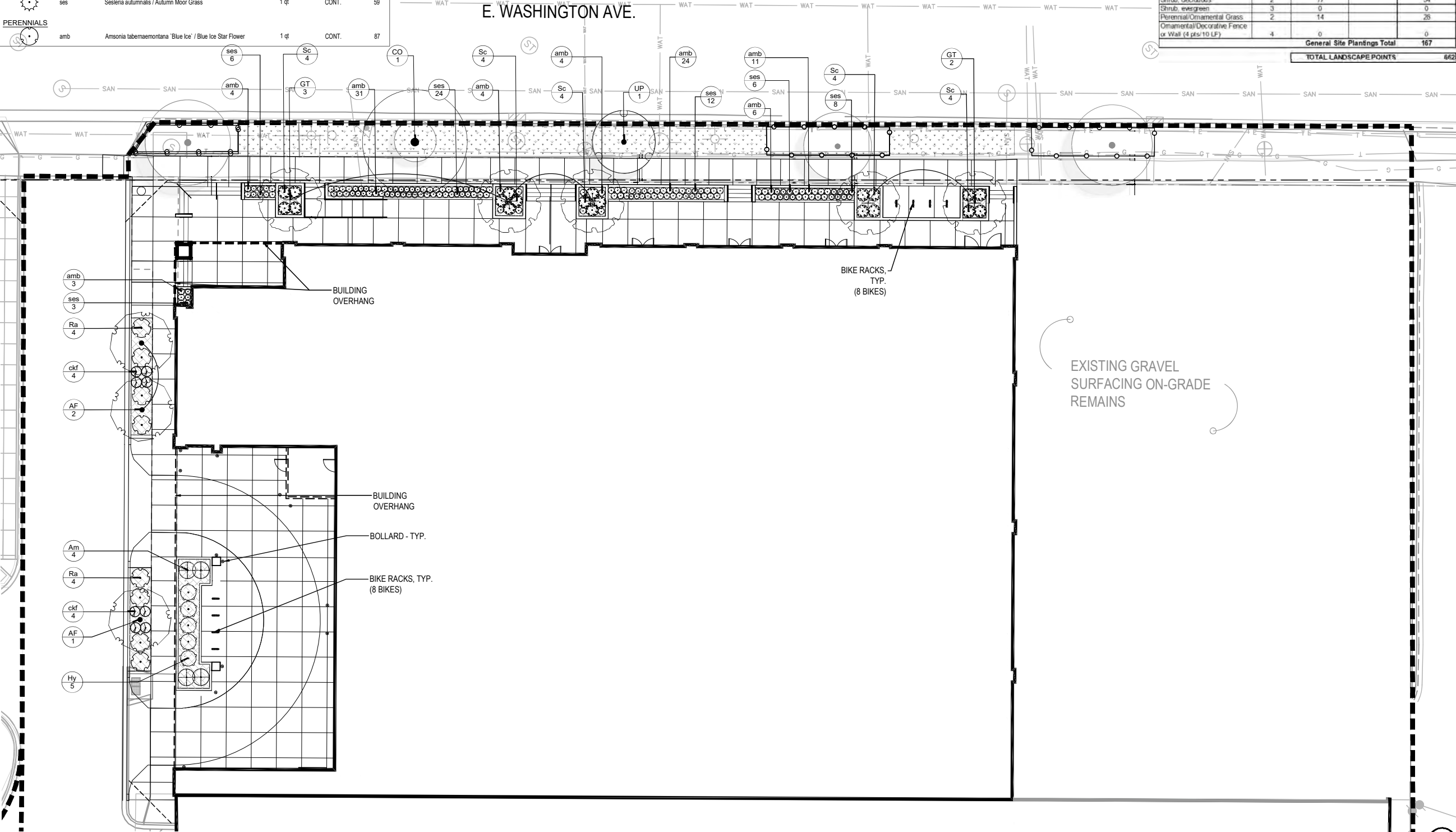
- SEEDED BLUEGRASS LAWN
- PLANTING BED
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
 - ① METAL EDGE
 - ② SHOVEL CUT EDGE
- PROJECT BOUNDARY

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS. PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES AND OTHER IMPROVEMENTS FROM CONSTRUCTION RELATED ACTIVITIES.
- TOPSOIL AND PLANTING SOILS USED FOR THIS PROJECT MUST BE HIGH-QUALITY. REFER TO SECTION 32 91 13 FOR TOPSOIL QUALITY AND TESTING REQUIREMENTS.
- COMPACTED CONSTRUCTION AREAS MUST BE EXCAVATED AND DECOMPACTED PRIOR TO TOPSOIL OR PLANTING SOIL PLACEMENT. VERIFY THAT THESE REQUIREMENTS HAVE BEEN MET AND THAT THE SPECIFIED DEPTH OF TOPSOIL OR PLANTING SOIL HAS
- BEEEN PROVIDED PRIOR SEEDING OR PLANTING; REFER TO SECTION 32 91 13.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETELY AND THOROUGHLY REVIEWING ALL INFORMATION IN DIVISION 31 AND 32 AND CONFORMING THE WORK TO THOSE ADDITIONAL PROJECT REQUIREMENTS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDED AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- REFER TO L100 FOR NOTES ON TREE PROTECTION AND RIGHT-OF-WAY TREES.

City of Madison Landscape Worksheet

929 East Washington Avenue November 27, 2023 Traditional Employment Urban Design District 8				
Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	31,115	n/a	104	519
Landscape Points Required				519
Development Frontage				
LF	Overstory Tree Req. (or x2 for Orn./Evrgm. Tree Sub.)		Shrubs Required	
Total LF of Street Frontage Between Bldg./Parking & Streets	200	7	33	
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	5		175
Ornamental Tree	15	0		0
Evergreen Tree	15	0		0
Shrub, deciduous	2	20		40
Shrub, evergreen	3	0		0
Perennial/Ornamental Grass	2	140		280
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	18		7
Development Frontage Points Total				495
Interior Parking Lots				
Total Parking Lot Area	N/A			
General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	3		105
Ornamental Tree	15	0		0
Evergreen Tree	15	0		0
Shrub, deciduous	2	17		34
Shrub, evergreen	3	0		0
Perennial/Ornamental Grass	2	14		28
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0		0
General Site Plantings Total				167
TOTAL LANDSCAPE POINTS				662



1 PLANTING & LANDSCAPE RESTORATION PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



PRELIMINARY
NOT FOR CONSTRUCTION

929 East Washington Avenue
Hotel

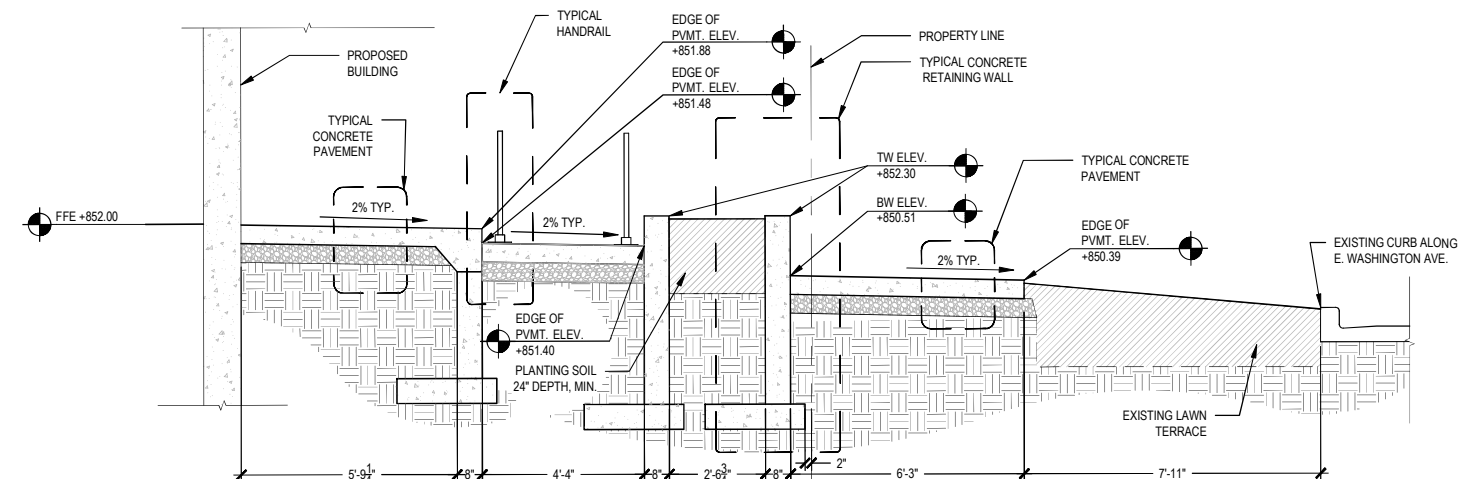
929 E Washington Ave.
Madison, Wisconsin

2016.36.02.4

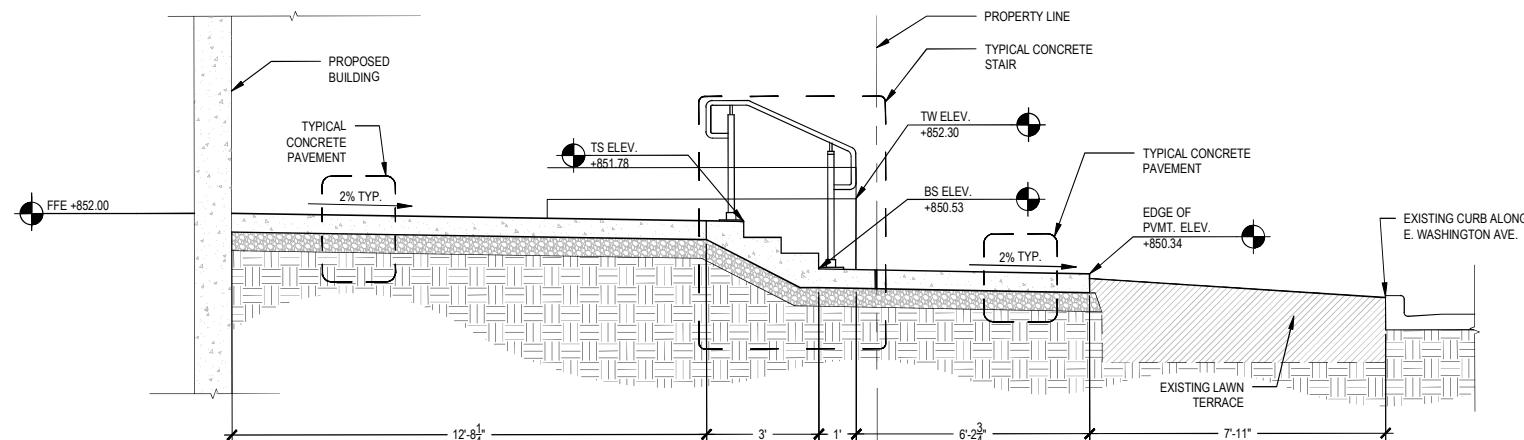
Date	Issuance/Revisions	Symbol
11/27/2023	LAND USE SUBMITTAL	

PLANTING & LANDSCAPE
RESTORATION PLAN

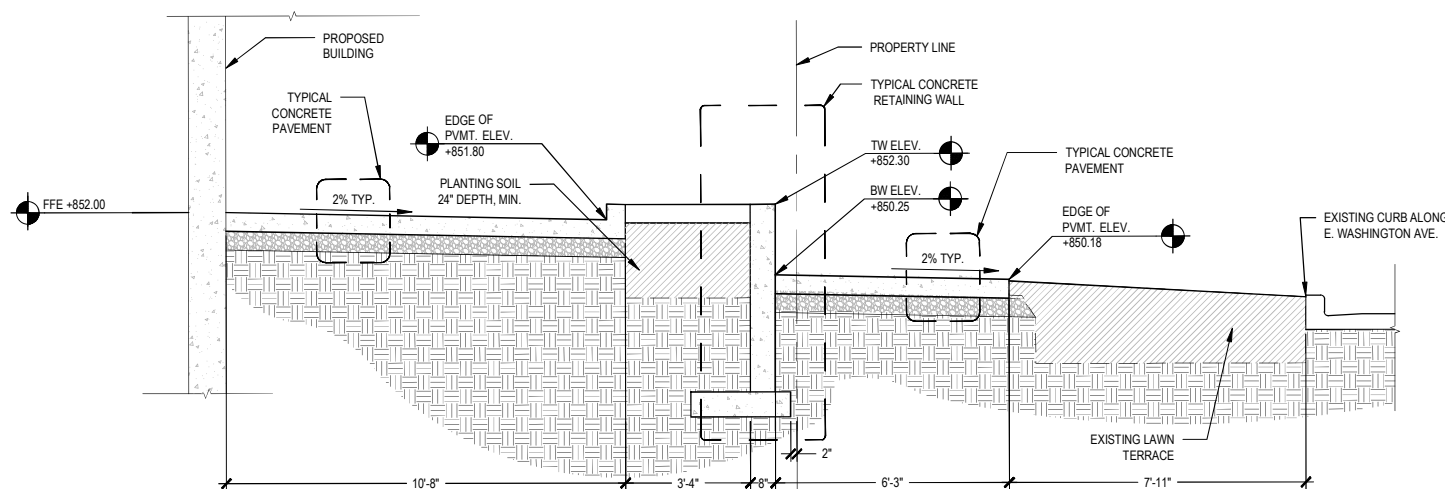
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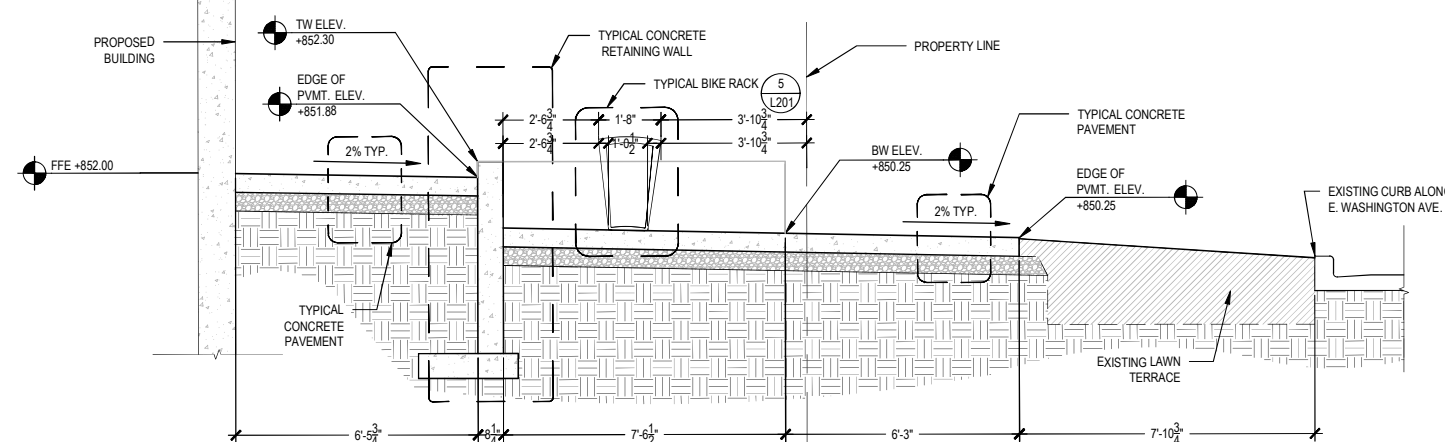
1 SECTION A-A'
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



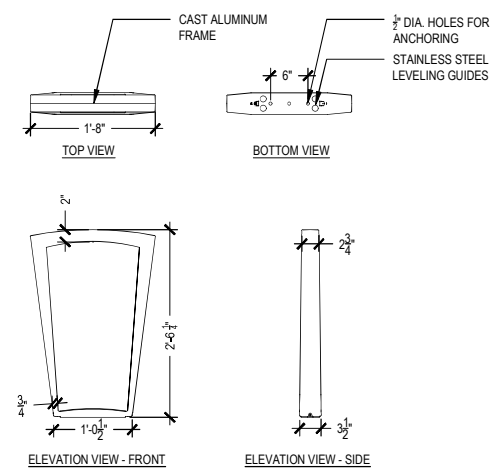
2 SECTION B-B'
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



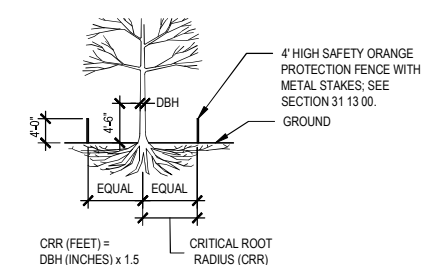
3 SECTION C-C'
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



4 SECTION D-D'
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



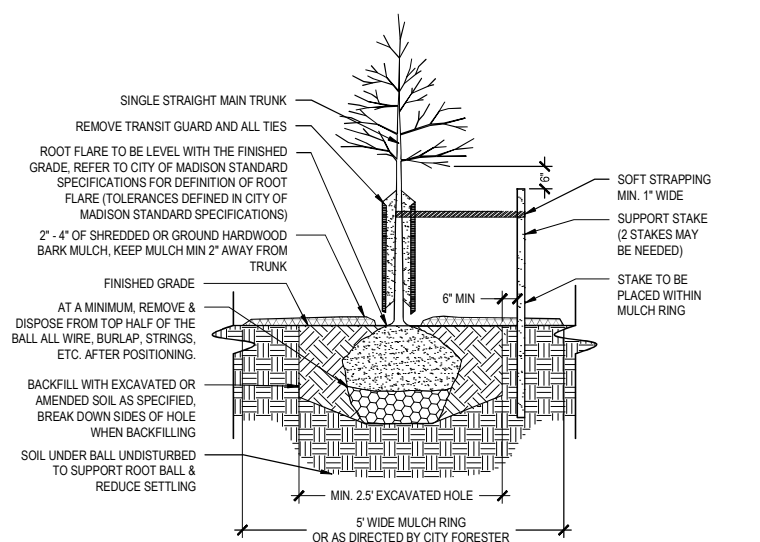
5 TYPICAL BIKE RACK
SCALE: 1" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



NOTE:

1. REFER TO SECTION 31 13 00, "TREE PROTECTION" FOR SPECIFIC INFORMATION RELATED TO TREE PROTECTING, INCLUDING CITY OF MADISON FORESTRY STANDARDS AND COORDINATION OF TREE PROTECTION MEASURES AND CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
2. ALL TREES SHOWN TO BE RETAINED ON THE PLANS SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING.
3. PROTECT TREE CANOPIES FROM OVERHEAD DAMAGE.
4. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE DEMOLITION OR PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
5. INSTALL FENCING TO THE OUTSIDE EDGES OF THE TREE CANOPY WHEREVER POSSIBLE; DO NOT INSTALL FENCING ANY CLOSER THAN 5' FROM THE TRUNK OF THE TREE.
6. NO STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES PERMITTED WITHIN TREE PROTECTION ZONES.
7. NO DISPOSAL OF CONSTRUCTION MATERIALS, BYPRODUCTS, OR SOLUTIONS PERMITTED WITHIN TREE PROTECTION ZONES.
8. TRUNK DIAMETER AT BREAST HEIGHT (DBH) MEASURED AT 4'-6" ABOVE THE GROUND.
9. TREE PROTECTION FENCE STAKES 6' O.C. MAX.

6 TREE PROTECTION FENCE
SCALE: 1/2" = 1'-0" (AT 30"x42" FULL SIZE SHEET)

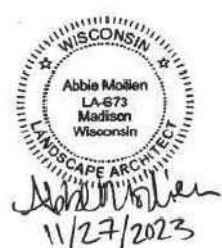


7 CITY TERRACE TREE PLANTING
SCALE: 1" = 1'-0" (AT 30"x42" FULL SIZE SHEET)

GENERAL NOTES

1. ALL EXPOSED SITE WALLS ALONG EAST WASHINGTON ELEVATED PATIO SHALL HAVE A BOARD FORMED FINISH ON ALL EXPOSED FACES, INCLUDING INSIDE FACING RAMPS, PATIOS AND STAIRS (WHERE WALLS ARE EXPOSED TO VIEW ABOVE ANY SITE / TERRACE PAVEMENTS)
2. THESE SECTIONS ARE GRAPHIC IN NATURE TO CONVEY DESIGN INTENT AND RELATIONSHIPS FOR SITE CONSTRUCTION. WALL FOOTINGS, REINFORCING AND CONNECTIONS TO ADJACENT WORK WILL BE REQUIRED; CONTRACTOR SHALL ASSUME WALL CONSTRUCTION TO BE TYPICAL OF EXTERIOR CIP RETAINING WALLS IN MADISON IN THE ABSENCE OF DIMENSIONS OR REINFORCING SIZE AND SPACING INFORMATION INCLUDED IN THIS SET. CD DRAWINGS WILL PROVIDE ADDITIONAL INFORMATION ON FOOTING SIZE, REINFORCING SIZE AND SPACING, AND CONNECTION SIZE AND SPACING.
3. ALL CONCRETE FLATWORK FOR SIDEWALKS, PATIOS, STAIRS AND RAMPS SHALL HAVE A MEDIUM BROOM FINISH.
4. REFER TO CIVIL NOTES FOR ADDITIONAL INFORMATION ON HAND-TOOLED VS. SAW-CUT JOINTS.
5. ALL WORK WITHIN THE CITY OF MADISON RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS FOR THICKNESS, DETAILING, QUALITY CONTROL, ETC.

Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

929 East Washington Avenue
Hotel

929 E Washington Ave.
Madison, Wisconsin

2016.36.02.4

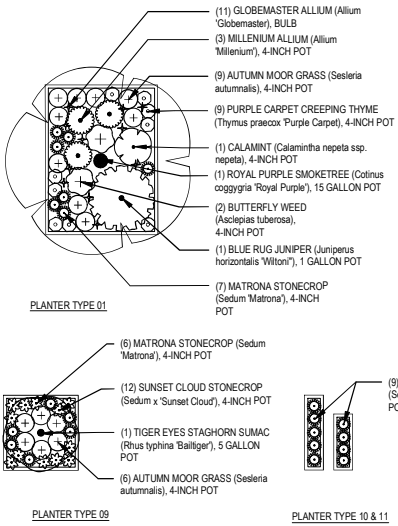
Date	Issuance/Revisions	Symbol
11/27/2023	LAND USE SUBMITTAL	

EAST WASHINGTON TERRACE
SECTIONS AND DETAILS

L201

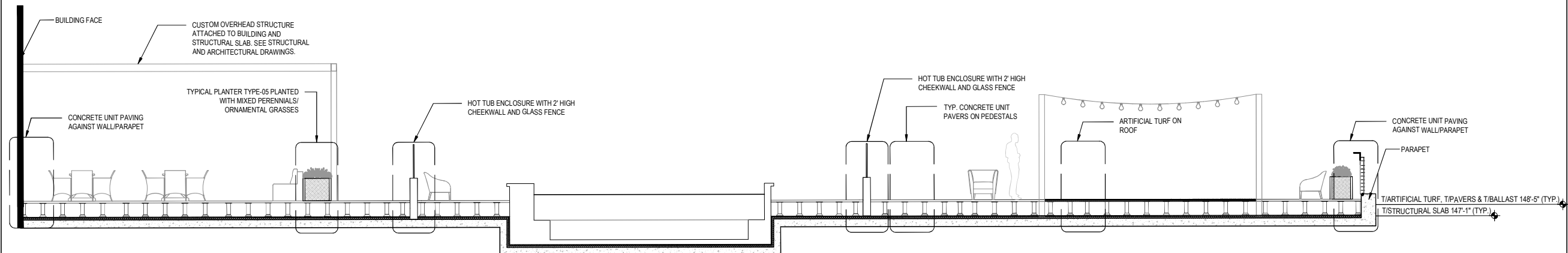
NOTES

- ARTIFICIAL TURF ON PEDESTALS
- 24"X24" PRECAST UNIT PAVERS ON PEDESTALS
- HEATED PAVEMENT EXTENTS
- MODULAR / MOVEABLE PLANTER WITH DIVERSE PERENNIAL AND SHRUB PLANTINGS
- FIRE TABLE W/ PLUMBED GAS LINE AND SAFETY GRATE

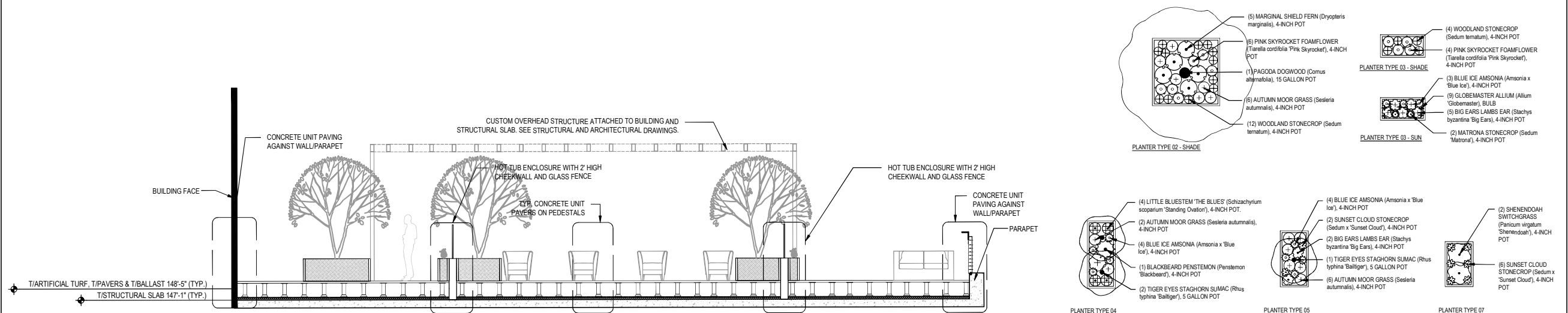


4 PLANTER PLANTING PROTOTYPES - NORTH TERRACE
SCALE: 1/4" = 1'-0"

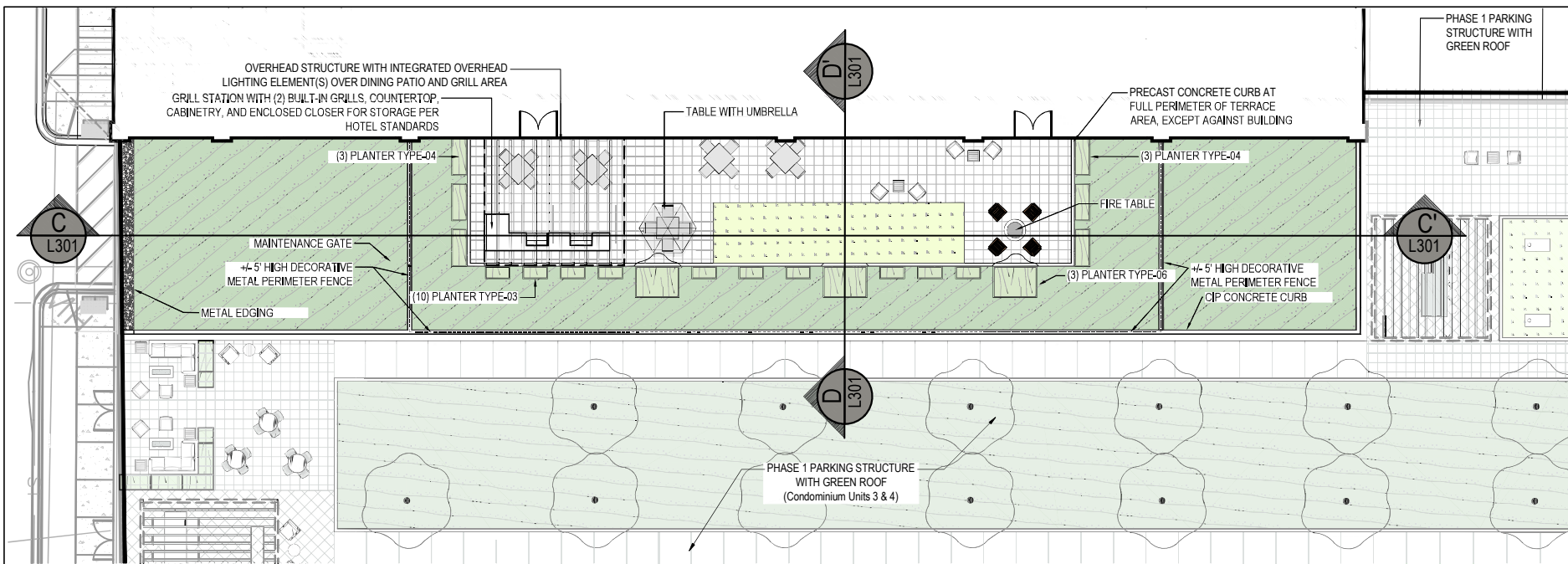
6TH FLOOR NORTH ROOF TERRACE PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



LEGEND

- SUN SEDUM CARPET IN BLUE-GREEN TRAY SYSTEM
- ARTIFICIAL TURF ON PEDESTALS
- 24"x24" PRECAST UNIT PAVERS ON PEDESTALS
- METAL EDGING
- PRECAST CONCRETE CURB
- STONE MULCH BALLAST
- MODULAR / MOVEABLE PLANTER
- FIRE TABLE W/ PLUMBED GAS LINE AND SAFETY GRATE

SUN (FULL TO PART SUN) SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS PRE-VEGETATED TRAYS:

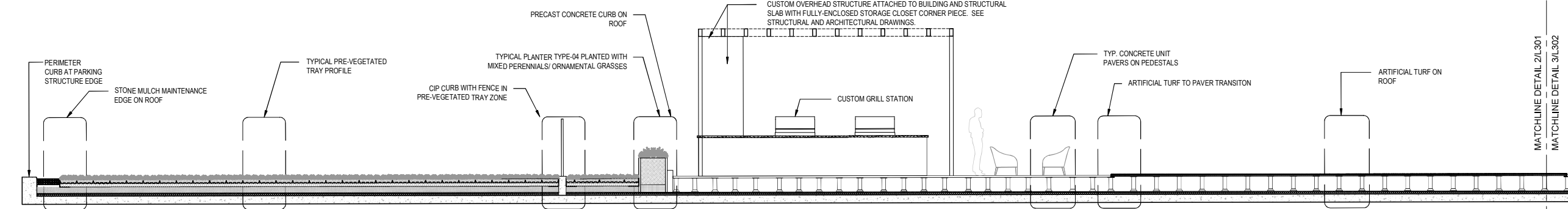
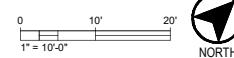
- Sedum spurius 'Fuldaglut'
- Sedum spurius 'John Creech'
- Sedum spurius 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
- Sedum acre 'Aureum'
- Sedum album 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Mural'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

NOTES

1. ROOFING CONTRACTOR SHALL EXAMINE WATERPROOF MEMBRANE AND DETERMINE IF ANY REPAIR OR OTHER WORK IS NECESSARY PRIOR TO INSTALLATION OF ROOF TERRACE IMPROVEMENTS / GREEN ROOF. ROOF ASSEMBLY AND ASSOCIATED WARRANTIES PER ROOFING CONTRACTOR.
2. A CONTIGUOUS SLIP SHEET/ROOT BARRIER SHALL BE LAID OVER ENTIRE WATERPROOF MEMBRANE (WITH OVERLAPPING SEAMS AND TURNED VERTICALLY ALONG ALL VERTICAL CONSTRUCTIONS) TO FULL EXTENT OF PROPOSED IMPROVEMENTS FOR PROTECTION DURING AND AFTER CONSTRUCTION. SEE SPECIFICATIONS.
3. CERTAIN EXISTING CONDITIONS AT THE INTERFACE OF THE EXISTING PHASE 1 PARKING STRUCTURE AND THE NEW 929 BUILDING MAY REQUIRE PATCHING, CUTTING AND FITTING. CONTRACTOR SHALL COMPARE PROPOSED IMPROVEMENTS WITH ACTUAL SITE CONDITIONS AND REPORT ANY DISCREPANCIES FOR RESOLUTION PRIOR TO CONSTRUCTION.
4. WATERPROOFING, INSULATION, FLASHING, SEALANTS AND OTHER ROOFING COMPONENTS PER ROOFING CONTRACTOR.
5. ADHERE LAYERS OF INSULATION TO ONE ANOTHER USING COMPATIBLE CONSTRUCTION ADHESIVE.

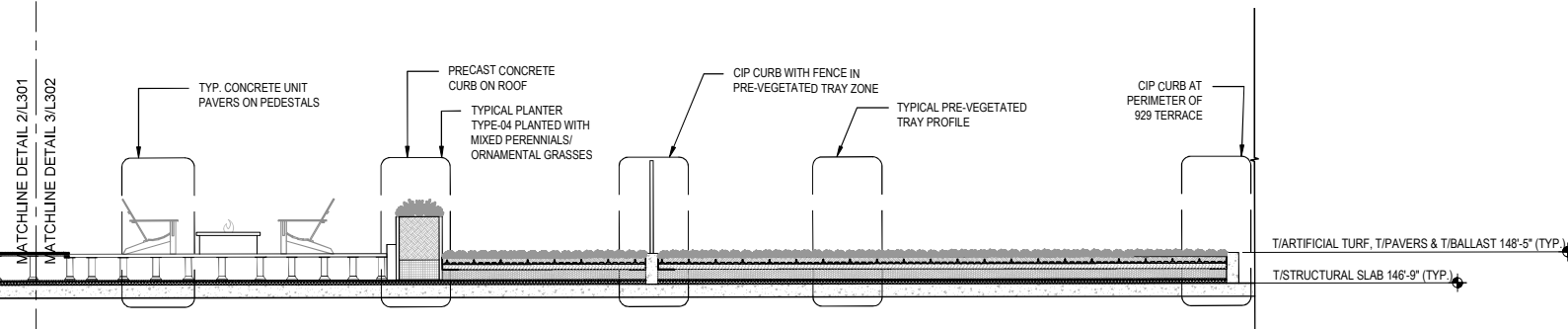
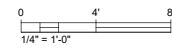
1 6TH FLOOR SOUTH ROOF TERRACE PLAN

SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



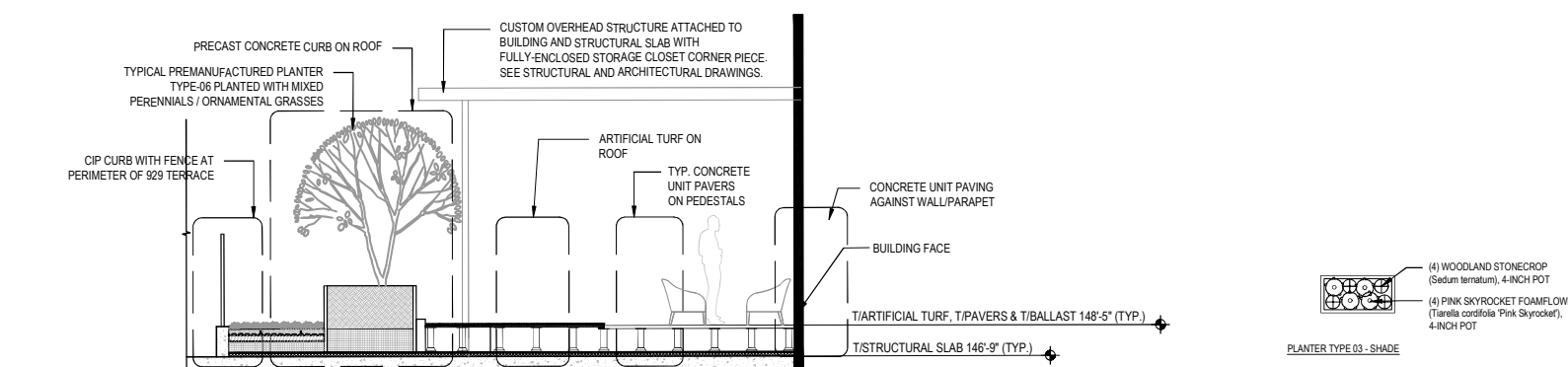
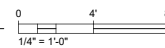
2 SECTION C-C'

SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



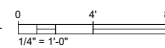
3 SECTION C-C'

SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



4 SECTION D-D'

SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



5 PLANTER PLANTING PROTOTYPE - SOUTH TERRACE

SCALE: 1/4" = 1'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:



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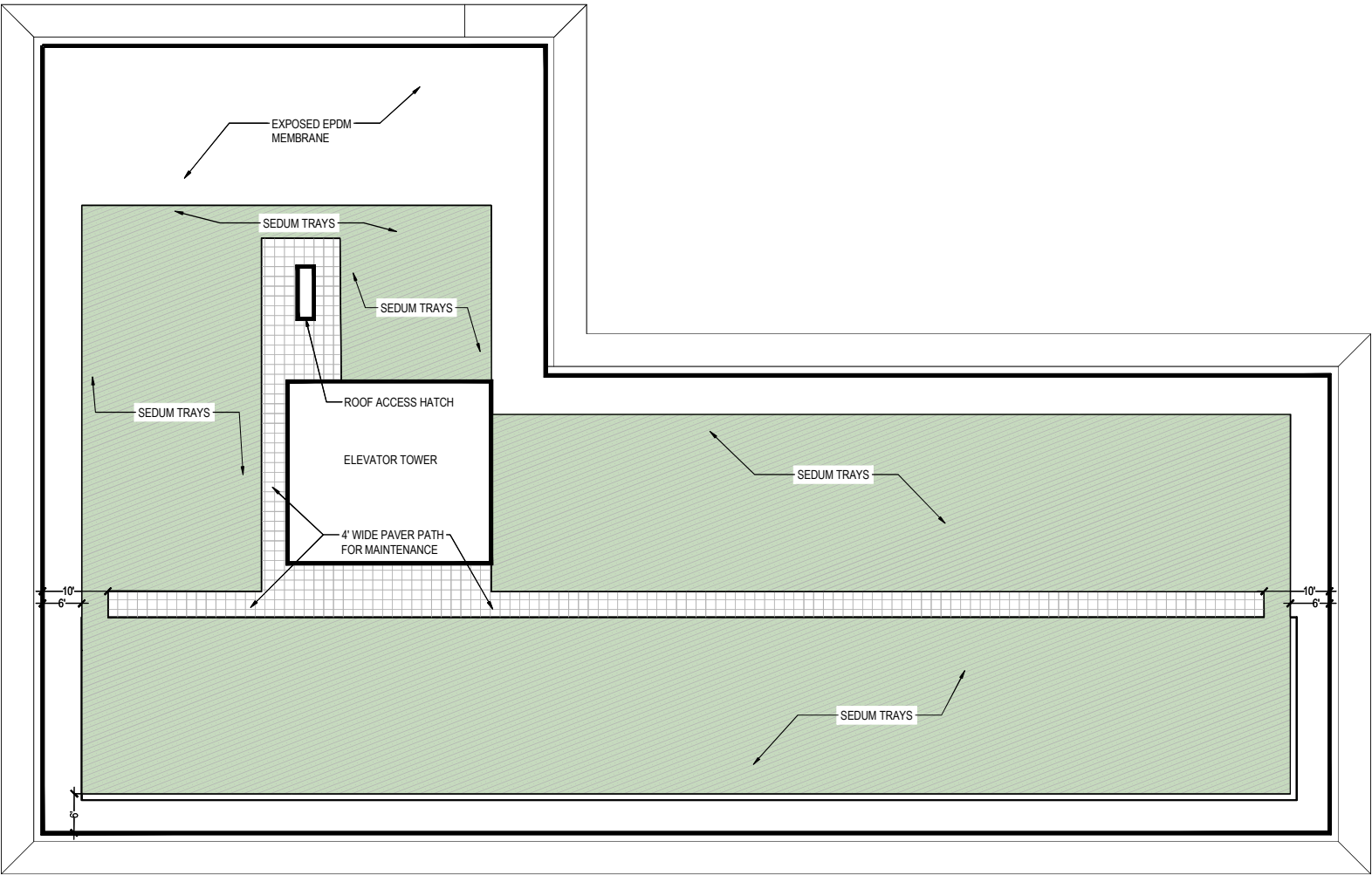
2016.36.02.4

Date Issuance/Revisions Symbol

11/27/2023 LAND USE SUBMITTAL

6TH FLOOR SOUTH
ROOF TERRACE PLAN

L301



LEGEND

- PRE-VEGETATED SEDUM TRAYS - BLUE GREEN TRAY SYSTEM
- MAINTENANCE PAVERS PER ARCH. DRAWINGS

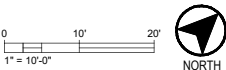
SUN [FULL TO PART SUN] SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A PRE-VEGETATED TRAYS:

- Sedum spurium 'Fuldaglut'
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- Sedum spurium 'Red Carpet'
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- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunnen
- Sedum subsp. rupestre 'Angelina'
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- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Mural'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

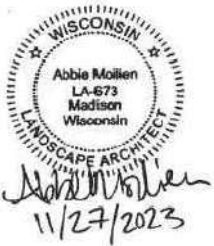
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1. ROOFING CONTRACTOR SHALL EXAMINE WATERPROOF MEMBRANE AND DETERMINE IF ANY REPAIR OR OTHER WORK IS NECESSARY PRIOR TO INSTALLATION OF ROOF TERRACE IMPROVEMENTS / GREEN ROOF. ROOF ASSEMBLY AND ASSOCIATED WARRANTIES PER ROOFING CONTRACTOR.
2. A CONTIGUOUS SLIP SHEET/ROOT BARRIER SHALL BE LAID OVER ENTIRE WATERPROOF MEMBRANE (WITH OVERLAPPING SEAMS AND TURNED VERTICALLY ALONG ALL VERTICAL CONSTRUCTIONS) TO FULL EXTENT OF PROPOSED IMPROVEMENTS FOR PROTECTION DURING AND AFTER CONSTRUCTION. SEE SPECIFICATIONS.
3. WATERPROOFING, INSULATION, FLASHING, SEALANTS AND OTHER ROOFING COMPONENTS PER ROOFING CONTRACTOR.
4. ADHERE LAYERS OF INSULATION TO ONE ANOTHER USING COMPATIBLE CONSTRUCTION ADHESIVE.

1 PENTHOUSE LEVEL GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



Notes: _____



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PENTHOUSE LEVEL
GREEN ROOF PLAN

L302