URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635

FOR OFFICE USE ONLY:

Date Received _____ ☐ Initial Submittal

Paid _____ ☐ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed Land Use Application and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 18, 20, 22, and 30 North Carroll Street

Title: Wisconsin History Center

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested September 20, 2023

☒ New development ☐ Alteration to an existing or previously-approved development

☐ Informational ☐ Initial Approval ☒ Final Approval

3. Project Type

☐ Project in an Urban Design District

☒ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

☐ Planned Development (PD)

- ☐ General Development Plan (GDP)
- ☐ Specific Implementation Plan (SIP)

☐ Planned Multi-Use Site or Residential Building Complex

Signage

☐ Comprehensive Design Review (CDR)

☐ Modifications of Height, Area, and Setback

☐ Sign Exceptions as noted in Sec. 31.043(3), MGO

Other

☐ Please specify

_____

4. Applicant, Agent, and Property Owner Information

Applicant name Wisconsin Historical Society Company Wisconsin Historical Society

Street address 816 State Street City/State/Zip Madison, WI 53703

Telephone _____ Email _____

Project contact person George Austin Company Agency Representative, WHS

Street address 6120 University Avenue City/State/Zip Middleton, WI 53562

Telephone 608/692-6398 Email _____

Property owner (if not applicant) _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

URBAN DESIGN COMMISSION APPROVAL PROCESS

UDC

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☐ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials
- ☐ Proposed sign areas and types (if applicable)

4. Signage Approval *(Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

5. Required Submittal Materials

☒ **Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ **Development Plans** (Refer to checklist on Page 4 for plan details)

☒ **Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)

☒ **Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ **Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 3/6/23 and 3/23/23.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Wisconsin Historical Society Relationship to property Owner

Authorizing signature of property owner Mary E Carter, AGENCY REP. Date Aug 24, 2023

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

☐ Urban Design Districts: $350 *(per §33.24(6) MGO)*.

☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : $150 *(per §33.24(6)(b) MGO)*

☐ Comprehensive Design Review $500 *(per §31.041(3)(d)(1)(a) MGO)*

☐ Minor Alteration to a Comprehensive Sign Plan: $100 *(per §31.041(3)(d)(1)(c) MGO)*

☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: $300 *(per §31.041(3)(d)(2) MGO)*

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

WISCONSIN HISTORICAL SOCIETY

URBAN DESIGN COMMITTEE SUBMITTAL

WISCONSIN'S HISTORY CENTER

continuum ARCHITECTS + PLANNERS SMITHGROUP

This addendum is developed specifically towards the recommendations received at initial approval:

1) **Show an alternate to the materials selection using zinc panels more consistently, one that the design team would be open to and comfortable presenting.**

(Façade Conceptualization)

The lenticular façade of the building serves a dual purpose. Firstly, it adds a dynamic element, infusing the building's massing with movement and energy. Secondly, it symbolizes the fluidity of our collective perspectives on history, mirroring how our understanding evolves with knowledge and experience.

The façade visually transforms as one moves around the building, much like our evolving understanding of history. This transformation offers diverse views and interpretations from various angles, providing a visual representation of how our perspectives evolve through exploration and engagement.

Furthermore, the exterior design layers the narrative of humans and heavy industry, deeply rooted in Wisconsin's history. Consequently, the exterior takes on the appearance of a machined box. In contrast, the interior places a stronger emphasis on the notion of 'hand' craftsmanship.

(Materiality Logic & Importance)

We acknowledge that certain committee members expressed a preference for increased zinc usage in the design through consistency. Additional renderings have been included within the submission to better reflect key arrival perspectives from State Street, Mifflin St, and along Carroll St. in which the Zinc will appear higher in quantity. We hope this better communicates the project's intent to appropriately balance the material palette while certainly letting the Zinc be more prominent at times as some on the commission seeked. We have intentionally chosen to incorporate these two prominent materials due to their extensive history of mining in Wisconsin by various cultures.

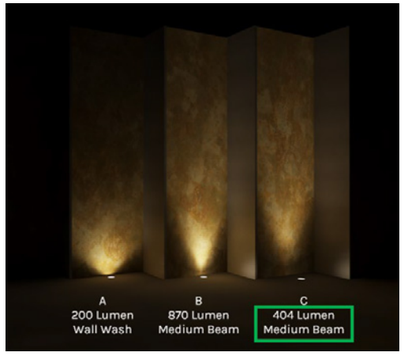
The design seeks to harmonize the unique qualities of both materials. Situated at the intersection of Carroll, State, and Mifflin Streets, our primary objective is to establish an inviting and "bright" gateway to downtown Madison's cultural district. Although weathered Zinc possesses its own aesthetic appeal, using it as the predominant material would result in a visually imposing and dark building structure.

Stainless steel allows the building to subtly reflect the surrounding context, symbolically paying homage to downtown Madison and allowing one to feel physically and metaphorically part of the museum.

By incorporating weathered zinc and bead blasted stainless steel into the building's design, we pay homage to the historical significance of these materials in Wisconsin. They not only add aesthetic appeal but also evoke a sense of longevity, endurance, and the evolving narrative of the state. Through their visual and symbolic presence, these materials become an integral part of the building's identity, connecting it with Wisconsin's heritage and the enduring spirit of its people.

2) **Provide additional information to the Commission to better understand the resolution of the proposed exterior lighting.**

The design team has proposed a compliant yet higher lumen output fixture and its supporting detailed documentation related to the installation. We feel this solution provides a great balance of accent lighting reaching higher on the façade panels through soft illumination while remaining below the required lumen threshold.



404 Lumen
Medium Beam

Recommended for compliance, maintained effect

September 5, 2023

Urban Design Commission

Re: Final Approval Application, Letter of Intent

To Whom It May Concern:

The Wisconsin Historical Society is proposing to replace its current museum at 30 North Carroll Street on the Capitol Square with a new 100,000 square foot Wisconsin History Center. The History Center will be a flagship venue for the Society and a center for American history and community engagement. The current museum and the adjoining properties at 20 and 22 North Carroll Street will be demolished for the new facility. Construction is slated to commence in early 2024 with completion in 2026. Below is a description of how WHC complies with Downtown Urban Design Guidelines and Zoning Requirements.

URBAN DESIGN GUIDELINES | SITE DESIGN + BUILDING PLACEMENT

Orientation

The History Center sits at the prominent intersection of Carroll, Mifflin, and State Street. The design of the building mass has taken this into consideration and intentionally shifts the volume to offer a **strong corner presence** and **respects vistas identified in the Downtown Plan**. The base of the History Center aligns to the urban context, while the rotated upper volume effectively helps the building mass visually turn the corner, opening up views from the capitol towards the Northwest as well as from the State Street pedestrian arrival towards the Capitol. This shift in plan intentionally preserves, for the public, into the future, opportunities to appreciate these planned vistas from a series of exterior building terraces. At grade, the building arrival is intentionally aligned to Carroll Street as the "Primary Street." The building mass holds the corner at Carroll and Mifflin, with a tall glazed interior lobby volume intentionally placed here to maximize Capitol sightlines for pedestrians arriving west from Mifflin. The lobby façade also offers significant transparency from Carroll to maximize pedestrians' opportunity to visually engage with the Wisconsin Historical Society's collection presented within this public lobby, further activating the pedestrian experience.

The project will pursue a reduced loading requirement for its limited back of house service requirements, and the single loading dock door along Mifflin is intended to be integrated into the building façade as to not be highly visible.

Access + Circulation

The site surrounding Wisconsin's History Center will be studied to properly resolve the intensive pedestrian and bicycle traffic, and activities anticipated in this location. Access to the loading dock will be provided via the Mifflin Street cul-de-sac.

Landscaping

The project intends to replace the Mifflin Plaza in-kind following its use as the construction staging space. Carrol Street pedestrian zone modifications are seen as opportunities to **strengthen the urban landscape**. The project team has been working with the City of Madison to coordinate expectations for tree replacement within the plaza, as well as the public right of way improvements along Carroll Street.

Lighting

The design team has integrated architectural lighting as an opportunity to **reinforce key architectural and site elements** while creating a unique and appropriate nighttime identity. Overall project light levels are wholistically considered to ensure positive contribution to the urban **ambiance**, while considering the latest research in safety perception, control technology, and integration with smart systems.

URBAN DESIGN GUIDELINES | ARCHITECTURE

Massing

Wisconsin's History Center building mass responds to numerous contextual cues, **articulating the building in plan and profile** to best **respond to the scale within the vicinity.** Its base sits aligned to its urban context and keeps the volume down towards the scale and datum set by the existing architecture along State Street. At its top, the project aligns with the cornice of the adjacent Churchill building while incorporating an intentional reveal where the two structures meet, celebrating the Churchill Building's verticality and resolving the dynamic moves within the History Center volume. Each of these moves considers the building's contribution and impact toward important **viewsheds**, as discussed within "orientation."

Building Components

The project is considering arrival and **vantage points of this project** from all directions. Final materiality and façade details achieve a dynamic, engaging, and inviting experience. A lenticular façade allows for a thoughtful cladding strategy that is dynamic and changing from all perspectives. An enclosed penthouse is provided at the roof level, not above the Capitol View Preservation Limit, to **screen MEP equipment** not able to be located within the lower level.

Visual Interest

Wisconsin's History Center has been designed from an interior experience expressed outward. Significant transparency within the façade is utilized pointedly to express key public spaces within the building program while exhibit spaces are clad to ensure controlled light levels to protect the collection on display. A lenticulated façade composed of **quality materials** (Zinc and Stainless Steel) creates visual interest from multiple vantage points within the **urban environment**. All three sides of the building volume will share similar approach. Special attention has been paid to the relationship of this project to the existing Churchill building. An increased setback has been incorporated where the buildings meet to allow each building to stand separate and proud. In consultation with the State Historic Preservation Office, this strategy was seen as appropriate and successful.

Building Materials

The project uses a **simple palette** of **durable materials.** Materials proposed include glass, fluted concrete, granite, pre-patinaed zinc, and bead blasted stainless steel. These materials enrich **the pedestrian environment through use of scale, color texture, + details.** The design intends to respect the surrounding material context of the Capitol Square while ensuring the History Center as a uniquely identifiable landmark.

Terminal Views and Highly Visible Corners

Wisconsin's History Center sits at a prime location to be bold and achieve this guideline. The building parti distinctly **emphasizes** its unique **location** in the urban context while respecting its context.

Signage

The project team is at the early stages of studying the **simple and clear** exterior signage approach for this project with the intent to a propose an **architecturally compatible** and **integrated** solution.

PROJECT SPECIFIC ZONING CONSIDERATIONS + APPROACHES

Zoning District : *DC Downtown Core*

Capitol View Preservation Limit: *Project Approach: One elevator penthouse and photovoltaic equipment may be above the Capitol View Preservation Limit by ~3'-0''. The current zoning code does not speak to allowing photovoltaic equipment projection into the Capitol View Preservation limit. The project team would intend to use roof screening to conceal the elevator penthouse and rooftop photovoltaic equipment, and a conditional use would be pursued if incorporated.*

Setback Requirements : *No setback requirements on either street.*

Loading : *WHC is in compliances as their loading is off Mifflin Plaza.*

Entrance Orientation: Primary building entrances on all new buildings shall be oriented to the primary abutting public street and have a functional door. *Project Approach: WHC's entrance is designed off of Mifflin Plaza due to need for queuing as numerous large student groups will be traversing the entry hourly for school field trips. Because no business currently opens up onto Mifflin Plaza, the Plaza is challenged from a safety and welcoming perspective. By creating more traffic on Mifflin Plaza the new WHC entry will contribute to a more activated and comfortable urban environment for all. Additionally, WHC and the adjoining plaza will act as the gateway and connection between the Capitol and the Cultural District that includes the Library, Overture Center, MMOCA, and Veterans Museum. By placing our entry on Mifflin Plaza, WHC acknowledges the importance of this corridor. A conditional use approval will be pursued.*

Story Heights + Treatments : *The City of Madison has noted that they are currently rewriting this story height requirements portion of the Zoning Ordinance. The new WHC will comply the updated ordinance.*

For non-residential uses, the average ground story floor elevation shall not be lower than the front sidewalk elevation nor higher than eighteen (18) inches above the sidewalk elevation. *Project Approach: Due to the slope on the site, there will be portions of Level 01 that will be both below the sidewalk elevation and more than 18'' above the sidewalk elevation. By increasing the ground floor glazing, WHC activates the façade to views in to the 3-level lobby space, even if it floor elevation is offset from the sidewalk.*

Door and Window Openings . For street-facing facades with ground story non-residential uses, the ground story door and window openings shall comprise a minimum of fifty percent (50%) of the facade area. *Project Approach: WHC's street-facing ground floor façade is ~65% glazing.*

For all buildings, upper story openings shall comprise a minimum of fifteen percent (15%) of the facade area per story. *Project Approach: The upper stories are 20%. Due to the possible future development along the private alley as well as fire rating requirements due to being adjacent to the property line, WHC focuses its glazing on the two street-facing facades – when only considering those facades our glazing percentage is 28.5%. The exterior wall adjacent to Churchill Building is not included in the calculation as it will be hidden. The design team is also meeting requirements set by the DFD design standards.*

Glass on all windows and doors shall be clear or slightly tinted, allowing views into and out of the interior. Spandrel glass may be used on service areas on the building. *Project Approach: WHC complies per recent ordinance changes.*

Equipment and Service Area Screening: Outdoor loading areas or mechanical equipment are not permitted in the front yard. When visible from an abutting public street or walkway, they shall be screened by a decorative fence, wall, or screen of plant material. *Project Approach: All equipment and screening will occur within the building or on the roof.*

Screening of Rooftop Equipment: All rooftop equipment, with the exception of solar and wind equipment, shall be screened from view from adjacent streets and public rights-of-way. Rooftop equipment shall be screened from view from adjacent buildings to the extent possible. *Project Approach: Screening provided at rooftop equipment.*

The equipment shall be within an enclosure. This structure shall be set back a distance of one and one-half (1½) times its height from any primary facade fronting a public street. Screens shall be of durable, permanent materials (not including wood) that are compatible with the primary building materials. (Am. by ORD-15-00104, 10-15-15) *Project Approach: Screening will be held off of Carroll Street and Mifflin plaza by a minimum of 27'-0'' as this is 1 ½ times the height.*

Bird Safe Glass Requirements: *Project Approach: WHC will use a combination of frit patterns and metal screens to accommodate bird safe glass requirements and will comply with % requirements listed.*

Parking Requirements: *Project Approach: No automobile parking is required and WHC is not providing any. Bicycle parking is required at 1 per 2,000 SF. WHC is ~110,000 GSF and so requires 55 bicycle parking spots. WHC will provide a portion of the requirement interior to the building, and the WHC will pursue working with the City of Madison to locate the remainder of these bicycle parking spots within the re-designed Mifflin Plaza.*

Off-Street Loading Requirements: *Project Approach: Based on the loading requirements table and GSF of the building, 3 loading spaces should be provided. Due to the infrequency of deliveries because of the use of the building, only 1 interior, conditioned loading space will be provided. This loading space meets the loading size requirements. A conditional use approval will be pursued for the reduction in number of spaces.*

Landscape Requirements: *Project Approach: All landscape requirements will be considered when designing the Mifflin Plaza.*

Screening of Other Site Elements: *Project Approach: None of the items listed in this section are positioned on grade.*

Development Adjacent to a Landmark or Landmark Site: *Project Approach: WHC will require a review from the Landmark Commission due to its proximity to the State Capitol Building.*

Encroachments : *Project Approach: Soil retention systems and MG&E Electrical vault and Main Electrical Room along Mifflin Street. WHC will work with the city to determine an appropriate agreement.*

Thank you for your consideration,

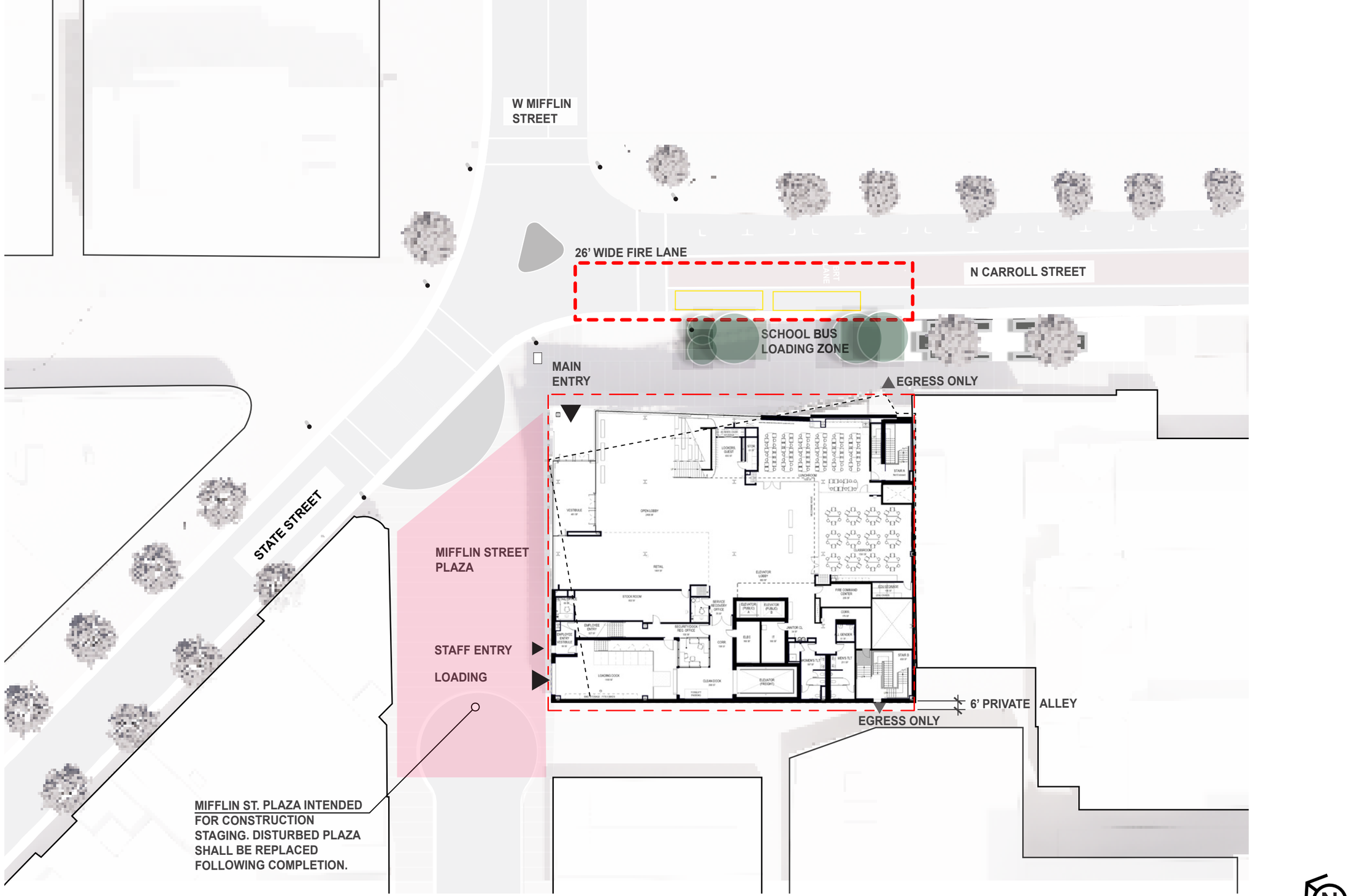
George Austin

CAPITOL SQUARE CHARACTER - MIFFLIN STREET

CAPITOL SQUARE CHARACTER - CARROLL STREET

09/05/2023

SITE CONTEXT



09/05/2023

SITE PLAN

SHEET NOTES

1. ALL STREET IMPROVEMENTS AND FURNISHINGS SHALL MATCH EXISTING CITY OF MADISON STANDARDS ON THE CAPITOL SQUARE.
2. ALL WORK IN R.O.W. MUST MEET CITY OF MADISON REQUIREMENTS.
3. EXISTING SIGNAGE AND SIGNALS TO REMAIN UNLESS OTHERWISE INDICATED.

KEYED NOTES

- (A) RAISED GRANITE PLANTER, L500
- (B) BIKE RACK, L500
- (C) TREE GRATE, SEE SPECIFICATION SECTION 32 92 00
- (D) SALVAGED BIKE RACK FROM PHASE I, CONTRACTOR TO COORDINATE SALVAGE RACK SELECTION WITH CITY
- (E) LIGHTING, SEE E.01 ELECTRICAL SITE PLAN FOR FINAL LOCATION AND QUANTITY, CONTINUED COORDINATION IN FINAL DESIGN
- (F) SALVAGED GRANITE PAVERS VIA PHASE I DEMO, CONTRACTOR TO COORDINATE REPLACEMENT IN KIND WITH CITY TO MATCH EXISTING
- (G) CONCRETE STEPS, CONTINUED COORDINATION WITH ARCH IN FINAL DESIGN

LEGEND

- PROPERTY LINE
- EASEMENT
- EXPANSION JOINT
- ASPHALT PAVEMENT
- EXPOSED AGGREGATE HEAVY DUTY CONCRETE PAVEMENT, C502
- EXPOSED AGGREGATE CONCRETE PAVEMENT, C502 , SPECIFICATION 03 30 00
- STANDARD CONCRETE PAVEMENT, C502
- MOUNTABLE CURB, C502
- LITTER RECEPTACLE, SEE SPECIFICATION 32 33 00
- RECYCLING RECEPTACLE, SEE SPECIFICATION 32 33 00

N. CARROLL STREET

STATE STREET

W. MIFFLIN STREET

PROPOSED WISCONSIN HISTORY CENTER

EXISTING CHURCHILL BUILDING

UNDERGROUND UTILITY VAULT, SEE SITE UTILITY PLANS

ALIGN WITH EXISTING CONCRETE BAND

ALIGN WITH EXISTING PAVER LAYOUT

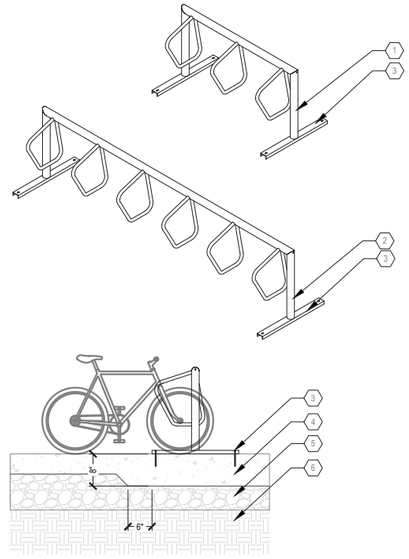
BUILDING OVERHANG

MAIN ENTRANCE

LOADING ZONE (58' X 13')

LOADING DOCK

PROPERTY LINE



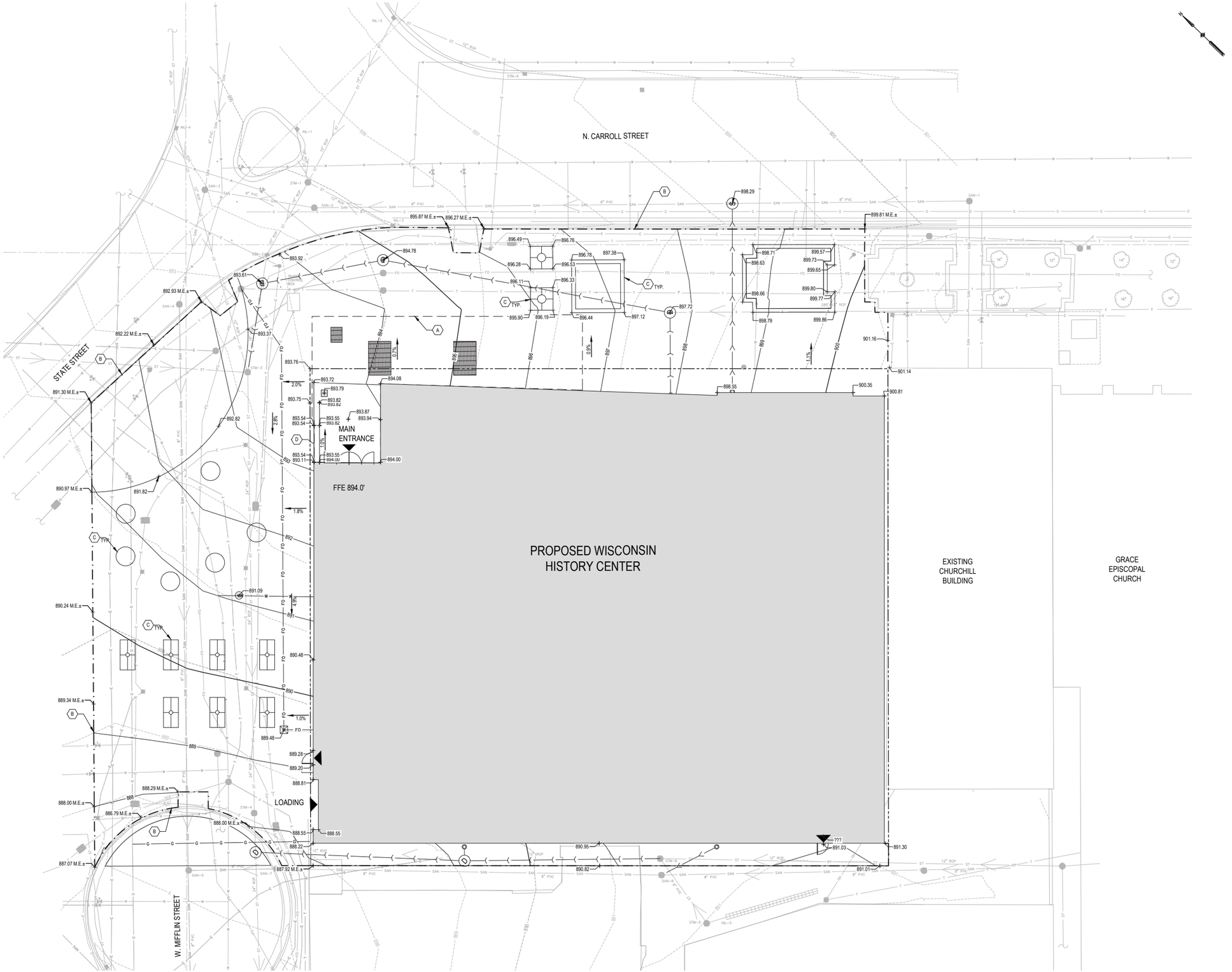
NOTE:
1. DERO CAMPUS RACK SHOWN FOR REFERENCE, DERO CAMPUS RACK OR APPROVED EQUAL AS SPECIFIED IN SPECIFICATION SECTION 32 33 00
2. (3) OR (6) BIKE STALLS, SEE SITE PLAN LAYOUT FOR LOCATION AND LAYOUT

5 BIKE RACK (3 OR 6)
3/4"=1'-0"

NOT TO SCALE

09/05/2023

LAYOUT AND MATERIALS PLAN



SHEET NOTES

1. PRIOR TO COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS RESULT OF CONSTRUCTION.
2. SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.

KEYED NOTES

- (A) UNDERGROUND VAULT LOCATION
- (B) MATCH EXISTING GRADES ALONG SIDEWALK AND TOP OF CURB.
- (C) LANDSCAPE AREAS OR TREE PLANTERS. REFER TO LANDSCAPE PLAN
- (D) STAGGERED STEPS

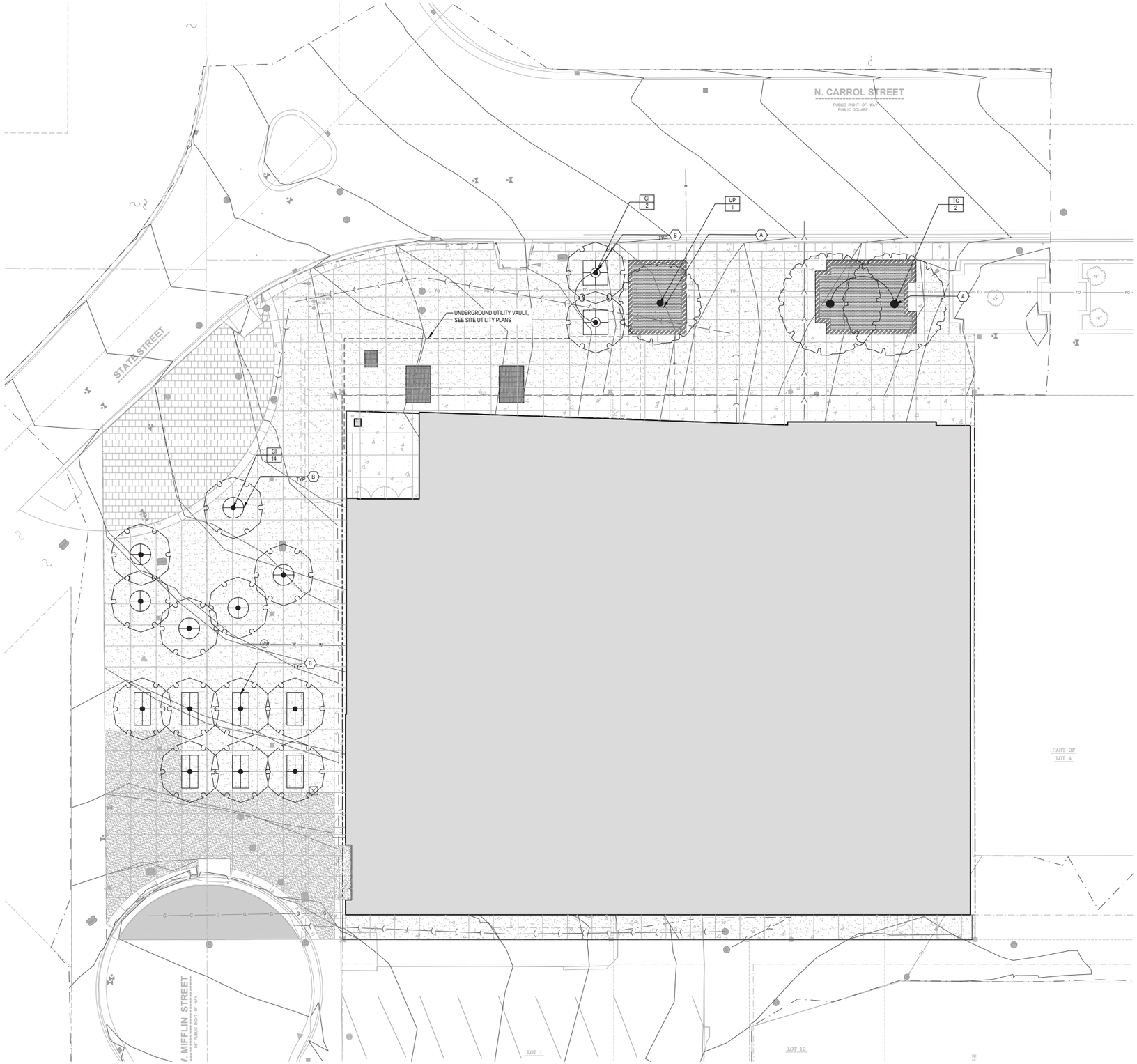
LEGEND

- PROPERTY BOUNDARY
- 865 EXISTING MAJOR CONTOUR
- 864 EXISTING MINOR CONTOUR
- 861.50 × EXISTING SPOT ELEVATION
- EXTENT OF GRADING
- 865 PROPOSED MAJOR CONTOUR
- 864 PROPOSED MINOR CONTOUR
- 2.5% DRAINAGE SLOPE
- 861.50 × PROPOSED SPOT ELEVATION

NOT TO SCALE

09/05/2023

GRADING PLAN



SHEET NOTES

1. THE FINAL STREET TREE SPECIES SELECTION WILL BE DETERMINED BY CITY FORESTRY IN FINAL DESIGN.
2. CONTRACTOR SHALL NOTIFY CITY FORESTRY (BRAD HOFFMAN) PRIOR TO TREE INSTALLATION FOR MATERIAL SIGN OFF AND INSTALLATION METHOD. BHOFMANN@CITYOFMADISON.COM - PHONE: 608.220.6796
3. IRRIGATION SHALL BE PROVIDED AT ALL LAWN AREAS.
4. SUBSURFACE TERRA SUPPORT SYSTEMS (EX. BLUE GREEN URBAN, CELLS OR SILVA CELLS) SHALL BE PROVIDED AT ALL TREES IN GRATES.

KEYED NOTES

A DECIDUOUS TREE IN GRANITE PLANTER, L500

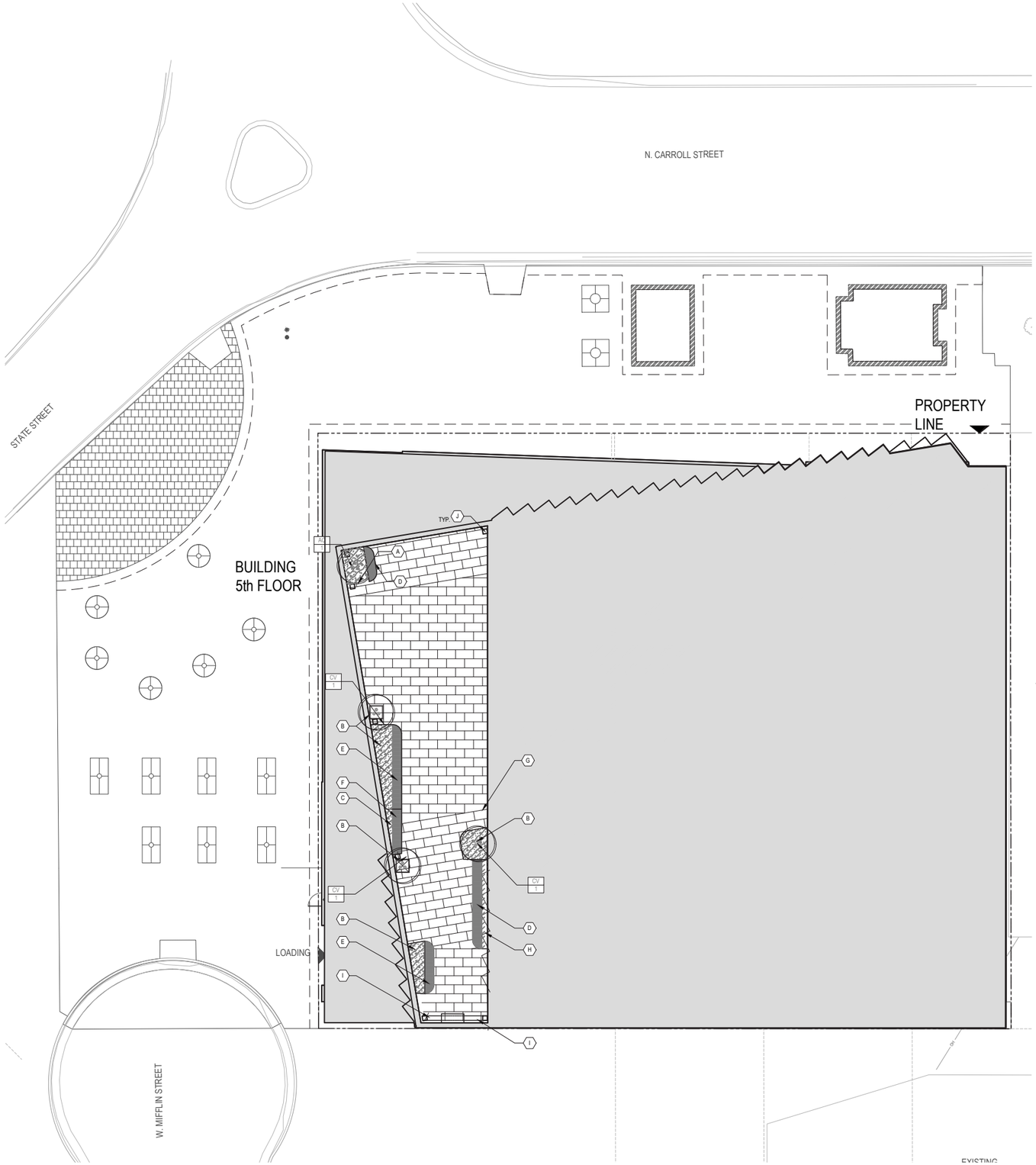
B DECIDUOUS TREE IN GRATE/GROUND WITH TERRA SUPPORT SYSTEM (SOIL CELL), L500

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FORM		REMARKS
	GI	15	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' / SKYLINE® HONEY LOCUST	2.5" CAL.	B&B		
	TC	2	TILIA CORDATA / LITTLELEAF LINDEN	2.5" CAL.	B&B		
	UP	1	ULMUS X 'NEW HORIZON' / NEW HORIZON ELM	2.5" CAL.	B&B		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FORM	SPACING	REMARKS
		521 SF	LAWN	---			

NOT TO SCALE

LANDSCAPE PLAN



SHEET NOTES

1. ALL INTENSIVE PLANTERS SHALL HAVE LIGHTWEIGHT SOIL.
2. ALL INTENSIVE PLANTERS (SOIL DEPTH 12" OR GREATER) SHALL BE IRRIGATED.
3. VEGETATED WALL SHALL BE IRRIGATED WITH SMART SENSOR IRRIGATION.
4. WATER LINE PROVIDED AT WATER SCULPTURE AND (2) HOSE BIBS PROVIDED AT NORTH AND SOUTH ENDS OF TERRACE SPACE RESPECTIVELY, SEE PLUMBING DRAWINGS.
5. FOR ELECTRICAL OUTLET PROVIDED IN BENCHES, PLANTERS AND AND ACCENT LIGHTING, SEE ELECTRICAL DRAWINGS.
6. ROOFTOP FURNISHINGS, SEE AF2.1.5 - FIFTH LEVEL FURNITURE PLAN

KEYED NOTES

- (A) MODULAR, METAL PLANTER, 18" HEIGHT, L500
- (B) MODULAR, METAL PLANTER, 30" HEIGHT, L500
- (C) MODULAR, METAL PLANTER, 42" HEIGHT, L500
- (D) CANTILEVERED, WOOD BENCH, 18" HEIGHT, L500
- (E) CANTILEVERED, WOOD TABLE, 30" HEIGHT
- (F) CANTILEVERED, WOOD TABLE, 40" HEIGHT
- (G) PAVER ON PEDESTAL SYSTEM, L500 AND SEE ARCHITECTURE
- (H) VEGETATED, LIVING WALL, SEE SPECIFICATION 07 33 63.01
- (I) WATER SCULPTURE, PENDING INPUT FROM NATIVE NATIONS, TO BE COORDINATED IN FINAL DESIGN
- (J) COLUMN, SEE ARCHITECTURE

LEGEND

PROPERTY LINE

PAVER ON PEDESTAL SYSTEM, SEE ARCHITECTURE

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FORM		REMARKS
	AC	1	AMELANCHIER X GRANDIFLORA 'COLE'S SELECT' / COLE'S SELECT APPLE SERVICEBERRY	6` HT.	B&B		MULTI-STEM
	CV	3	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORN	6 - 8` HT.	CONT.		MULTI-STEM
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FORM	SPACING	REMARKS
		128 SF	PERENNIAL PLANTING BED				12-24" OF GROWING MEDIA AND SEPARATION FABRIC
	AM	8	ACHILLEA MILLEFOLIUM / COMMON YARROW	12" SPD.	PLUG	6% @ 12" o.c.	
	AF	2	AGASTACHE X 'BLUE FORTUNE' / BLUE FORTUNE ANISE HYSSOP	24" SPD.	NO. 1 CONT.	4% @ 24" o.c.	
	AC3	7	ALLIUM CANADENSE / MEADOW GARLIC	12" SPD.	PLUG	5% @ 12" o.c.	
	AC2	6	ALLIUM CERNUUM / NODDING ONION	12" SPD.	PLUG	4% @ 12" o.c.	
	AT	2	ASCLEPIAS TUBEROSA / BUTTERFLY MILKWEED	18" SPD.	PLUG	2% @ 18" o.c.	
	BA	1	BAPTISIA ALBA / WHITE WILD INDIGO	36" SPD.	NO. 1 CONT.	2% @ 36" o.c.	
	CM	2	CALAMINTHA NEPETA 'MONTROSE WHITE' / MONTROSE WHITE LESSER CALAMINT	18" SPD.	NO. 1 CONT.	3% @ 18" o.c.	
	DC	8	DALEA CANDIDA / WHITE PRAIRIE CLOVER	12" SPD.	PLUG	6% @ 12" o.c.	
	DP	8	DALEA PURPUREA / PURPLE PRAIRIE CLOVER	12" SPD.	PLUG	6% @ 12" o.c.	
	EP	8	ECHINACEA PALLIDA / PALE PURPLE CONEFLOWER	36" HT..	PLUG	6% @ 12" o.c.	
	FV	16	FRAGARIA VIRGINIANA / WILD STRAWBERRY	6" HT..	PLUG	12% @ 12" o.c.	
	GT	32	GEUM TRIFLORUM / PRAIRIE SMOKE	6" HT..	PLUG	6% @ 6" o.c.	
	LC	8	LIATRIS CYLINDRACEA / CYLINDRICAL BLAZING STAR	24" HT..	PLUG	6% @ 12" o.c.	
	MB	8	MONARDA FISTULOSA / BERGAMOT	24" HT..	PLUG	6% @ 12" o.c.	
	SS	18	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVATION LITTLE BLUESTEM	24" HT..	NO. 1 CONT.	13% @ 12" o.c.	
	ST	8	SPOROBOLUS HETEROLEPIS 'TARA' / TARA PRAIRIE DROPSEED	18" HT..	NO. 1 CONT.	13% @ 18" o.c.	

NOT TO SCALE

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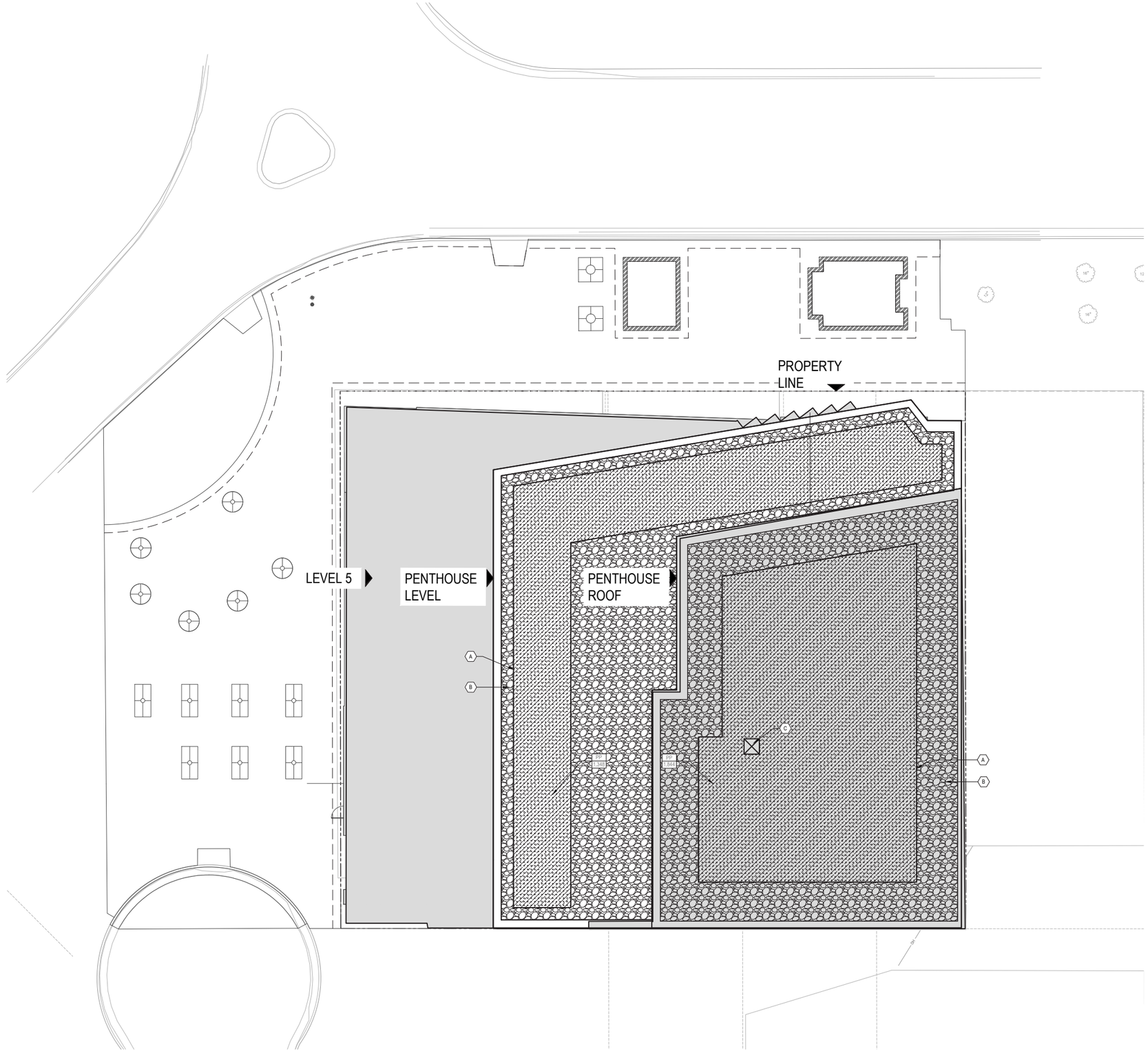
LANDSCAPE PLAN - LEVEL 5



SHEET NOTES

1. EXTENSIVE PLANTING SHALL HAVE LIGHTWEIGHT SOIL MEDIUM.
2. WATER AND POWER ACCESS SHALL BE PROVIDED AT PENTHOUSE LEVEL, SEE ELECTRICAL AND PLUMBING DRAWINGS.

KEYED NOTES

- (A) 12" HIGH METAL ANGLE, L500, SEE SPECIFICATION 07 33 63.01
- (B) GRAVEL BALLAST, SEE SPECIFICATION 07 33 63.01
- (C) HATCH ACCESS TO ROOF, SEE ARCHITECTURE

LEGEND

PROPERTY LINE

PLANT SCHEDULE

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	FORM	SPACING	REMARKS
	PP	3,278	PERENNIAL PLUG / PERENNIAL PLUG	2.5" PLUG	PLUG	18" o.c.	

BOTANICAL NAME / COMMON NAME	QTY	
SEDUM BLANKET MIX	7,095 SF	
SEDUM ACRE 'AUREUM' / GOLDEN STONECROP	993 SF	14%
SEDUM ALBUM 'CORAL CARPET' / CORAL CARPET STONECROP	993 SF	14%
SEDUM HISPANICUM / SPANISH STONECROP	993 SF	14%
SEDUM KAMTSCHATICUM 'VARIEGATUM' / VARIEGATED STONECROP	993 SF	14%
SEDUM SPURIUS SEMPER GREEN / SEDUM MIX BLANKET	993 SF	14%
SEDUM STEFCO / STONECROP	993 SF	14%
SEDUM X 'ANGELINA' / ANGELINA SEDUM	1,135 SF	16%

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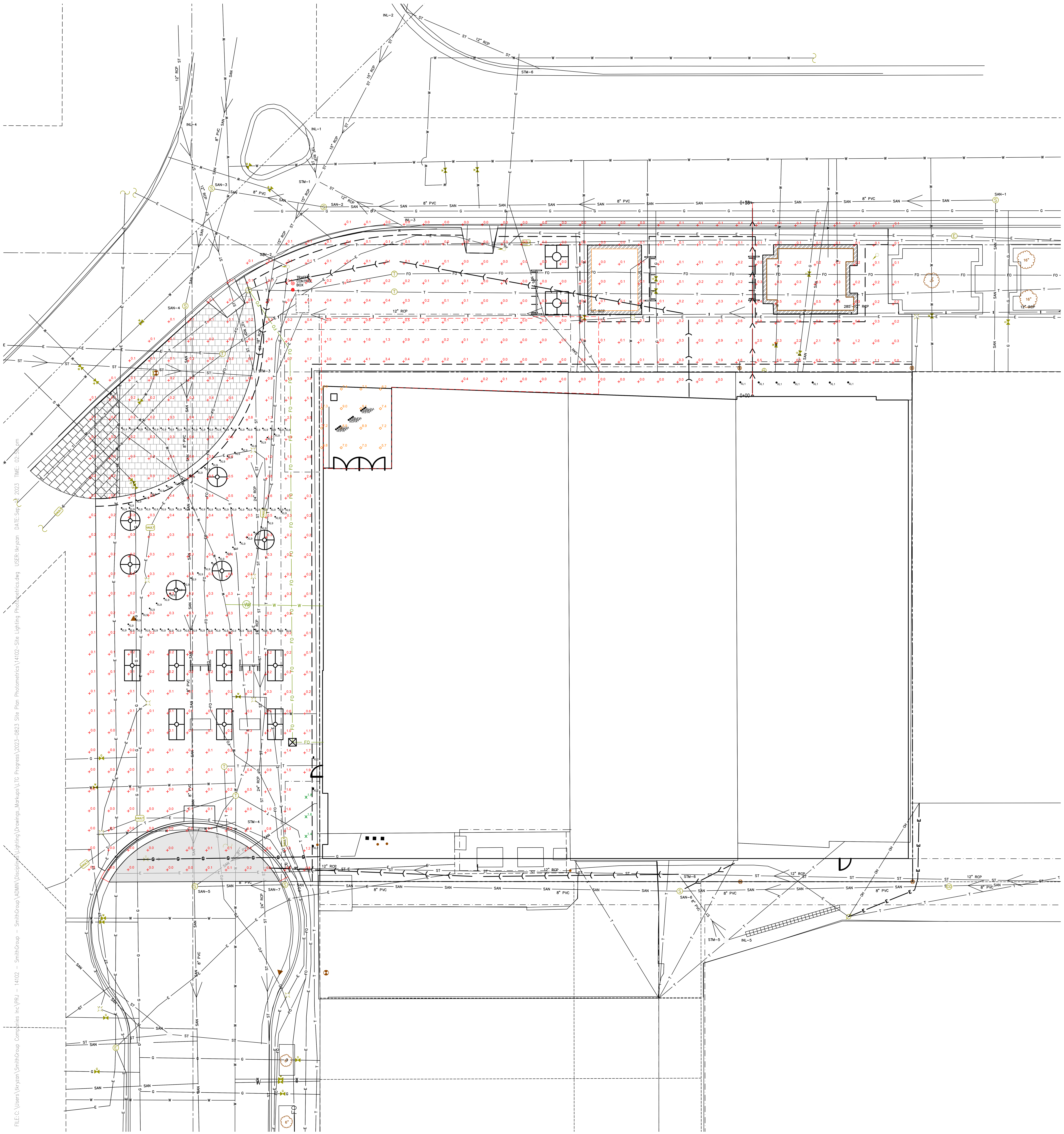
LANDSCAPE PLAN - PENTHOUSE



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
○	XL1	7	WE-EF USA	134-1631_us	DOC110 LED, Ceiling Luminaires DOC110 [VN] IP66:LED-6/12W/3K;DOC110 LED, Ceiling Luminaires	6	249	0.7	14.5
▭	XL2	3	WE-EF	131-9960	RLS410 LED, Wall Luminaires / Surface Mounted RLS410 [R45] IP66:LED-3/6W/3K;RLS410 LED, Wall Luminaires / Surface Mounted	3	183	0.7	7.5
○	XL9	109	ALUZ	A5-ZOZO-STN-27K-GSF-1W	A5-ZOZO-STN-27K-GSF-1W	1	48	0.7	0.73
○	SL21 A	12	3G LIGHTING-TORONTO.ONTARIO	3G-M5-10-H90-35K-40D	MADISON (50MM FIXTURE HEAD)	1	867	0.85	10.18

Statistics						
Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg
LOADING DOCK	✳	1.8 fc	1.4 fc	1.3:1	1.1:1	1.6 fc
PAVING	+	6.6 fc	0.0 fc	N/A	N/A	0.4 fc
ENTRANCE	◇	9.1 fc	5.7 fc	1.6:1	1.3:1	7.3 fc

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CONSULTANT:

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State of Wisconsin
Department of Administration
Division of Facilities Development

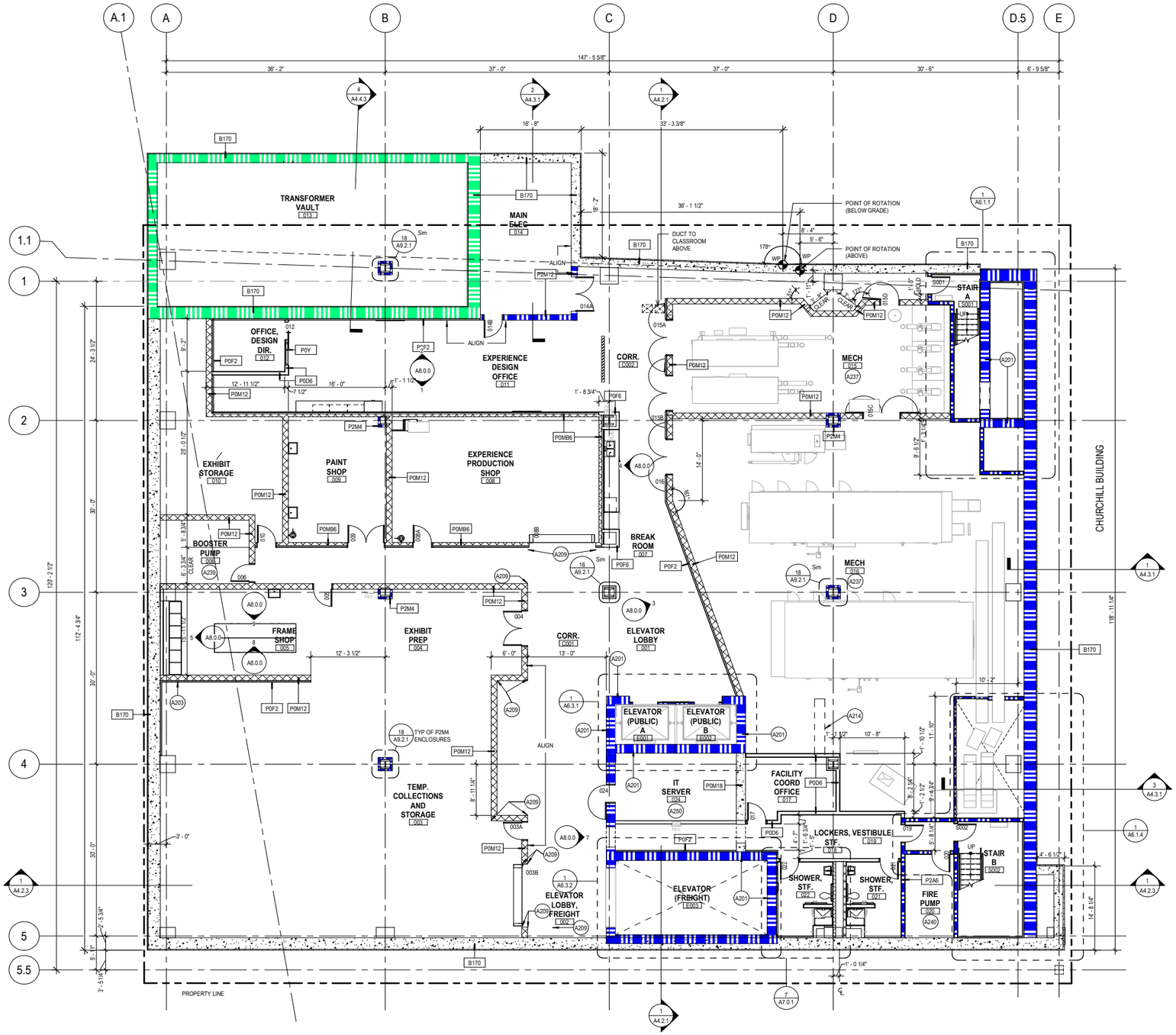
30 N CARROLL ST, MADISON, WI 53703

WISCONSIN HISTORY CENTER
WISCONSIN HISTORICAL SOCIETY
MADISON, WISCONSIN

Sheet Title:

Revisions		
No.	Date:	Description:

Graphic Scale	
DFD Number	19K2R-20
Set Type	PR
Date Issued	AUG 09, 2023
Sheet Number	



GRAPHIC LEGEND

- EXSITING BUILDING
- GREEN ROOF
- CONCRETE PAVERS
- GRAVEL
- 3 HOUR RATED WALL
- TRANSFORMER VAULT, BELOW
- 2 HOUR RATED WALL
- 1 HR RATED WALL

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
A710A	FLAT METAL MECHANICAL SCREEN ON SCREEN TUBES
A437	PRECAST PANELS ON CMU WITH SHEAR WALL BACKUP, CHARCOAL COLORED WITH FLUTING
A027	INSULATED CMU ADJACENT TO EXISTING
A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WTIH FLUTING
A712	ARTICULATED RAINSCREEN METAL FACADE ON CMU BACKUP, ZINC AND STEEL
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A203	20'W X 15'T GRIDWALL PANELS AND STANDOFF HOOKS
A209	BULLNOSE CMU CORNER
A214	SHAFT ABOVE
A237	MECHANICAL EQUIPMENT; RE: MECHANICAL
A239	PLUMBING EQUIPMENT; RE: PLUMBING
A240	FIRE PROTECTION EQUIPMENT; RE: FIRE PROTECTION
A250	IT EQUIPMENT; RE: TECHNOLOGY

NOT TO SCALE

LOWER LEVEL FLOOR PLAN

GRAPHIC LEGEND

▨	EXSITING BUILDING	▦	GREEN ROOF
▦	CONCRETE PAVERS	▩	GRAVEL
🟩	3 HOUR RATED WALL	▨	TRANSFORMER VAULT, BELOW
🟦	2 HOUR RATED WALL		
🟥	1 HR RATED WALL		

ASSEMBLY LEGEND

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X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
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A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WTIH FLUTING
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B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
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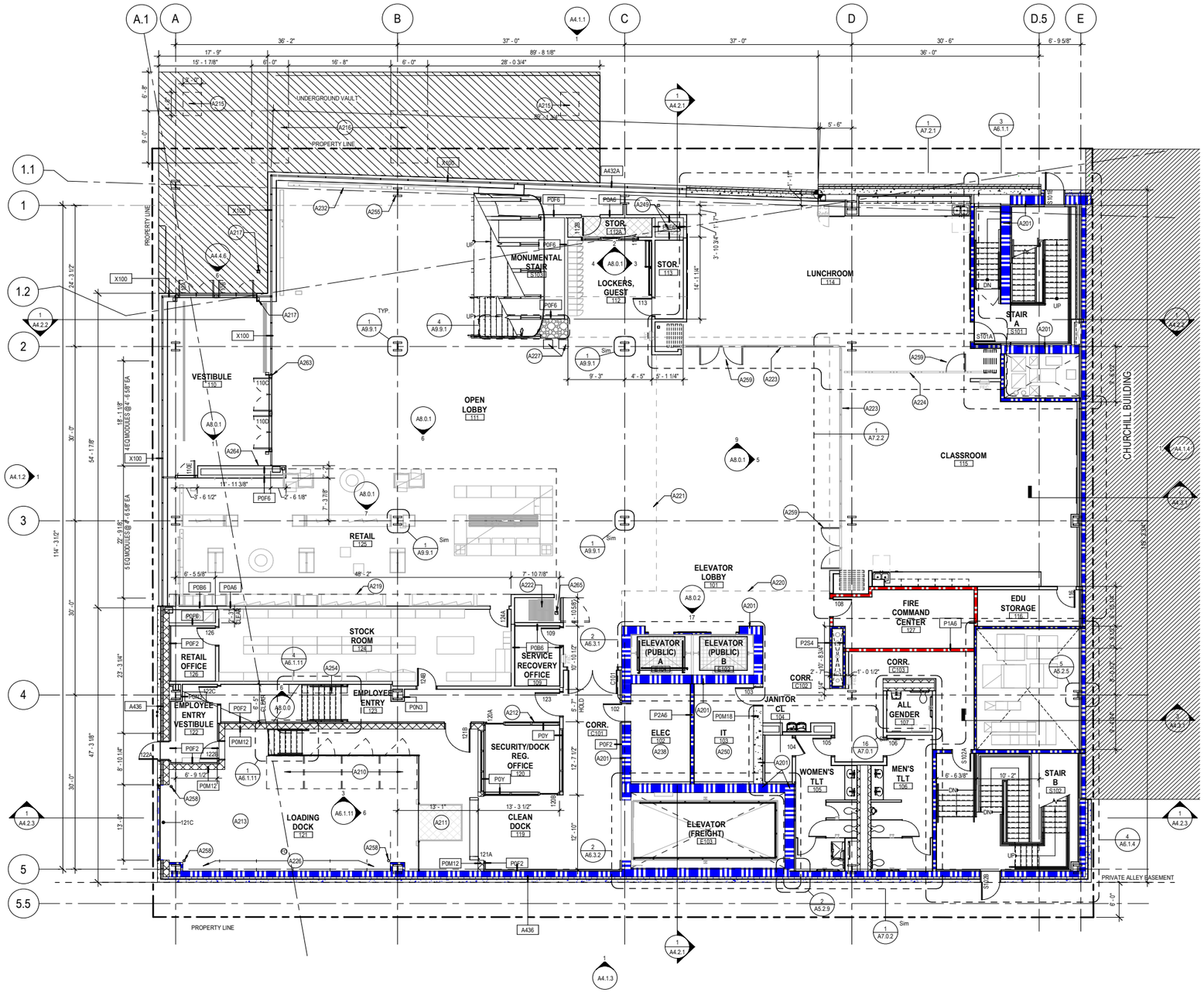
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

○ SHEET KEYNOTES

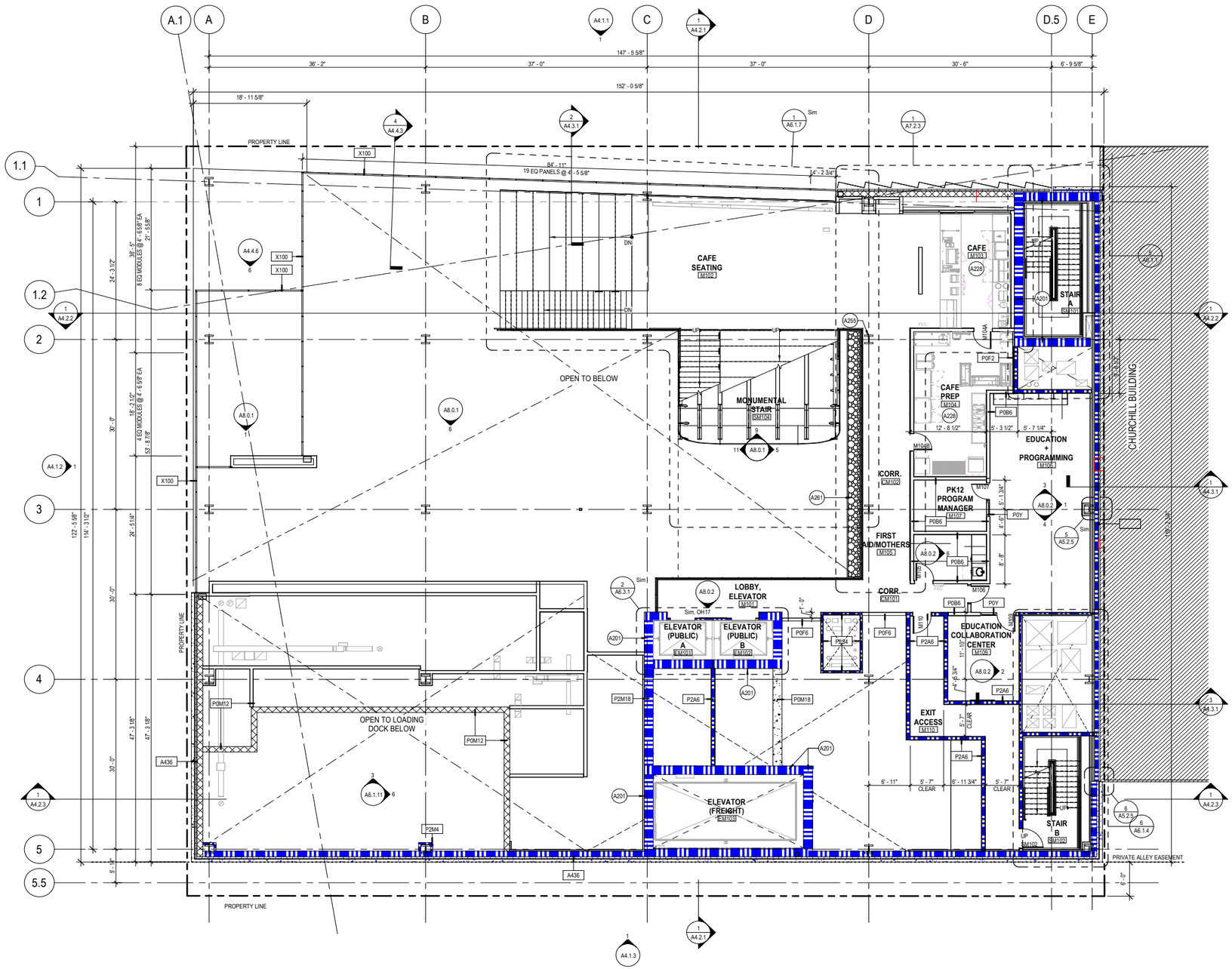
A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A210	TRASH AND RECYCLING DUMPSTERS PROVIDED BY OWNER
A211	DOCK LEVELER
A212	PASS THROUGH WINDOW AT 2'-10"
A213	4" SPRAY INSULATION BELOW LOADING DOCK COMPOSITE DECK
A215	ACCESS DOOR TO UNDERGROUND MG&E VAULT
A216	GALVANIZED BAR GRATING TO UNDERGROUND MG&E VAULT
A217	ADA OPERATOR ON POST
A219	LINE OF SOFFIT ABOVE
A220	LINE OF SLAB EDGE ABOVE
A221	LINE OF STAIR ABOVE
A222	GLASS OPERABLE PARTITION
A223	ACOUSTIC GLASS OPERABLE PARTITION
A224	ACOUSTIC OPERABLE PARTITION
A226	BIKE PARKING W/ WALL MOUNTED RACK
A227	MOBILE TICKETING KIOSK PROVIDED BY OWNER, RE: IT AND ELECTRICAL FOR CONNECTIONS
A232	RADIANT FIN TUBE RECESSED IN SLAB; RE: MECHANICAL
A238	ELECTRICAL EQUIPMENT; RE: ELECTRICAL
A249	MECHANICAL DUCTWORK; RE: MECHANICAL
A250	IT EQUIPMENT; RE: TECHNOLOGY
A254	INCLINED PLATFORM LIFT
A255	EXPOSED COLUMNS TO RECEIVE INTUMESCENT PAINT UL263 2-HOUR RATED, TYP
A258	BOLLARD
A259	DOOR NOT SHOWN IN DOOR SCHEDULE AS PART OF OPERABLE WALL SYSTEM, REFER TO SPECIFICATION FOR MORE INFORMATION
A263	ADA OPERATOR CENTERED ON MULLION
A264	ADA OPERATOR ON WALL
A265	STEEL POST LOCATION TO BE COORDINATED IN FINAL DESIGN



NOT TO SCALE

LEVEL 01 FLOOR PLAN

09/05/2023



GRAPHIC LEGEND

- EXSITING BUILDING
- GREEN ROOF
- CONCRETE PAVERS
- GRAVEL
- 3 HOUR RATED WALL
- 2 HOUR RATED WALL
- 1 HR RATED WALL
- TRANSFORMER VAULT, BELOW

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
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X300	5TH FLOOR TERRACE CURTAIN WALL
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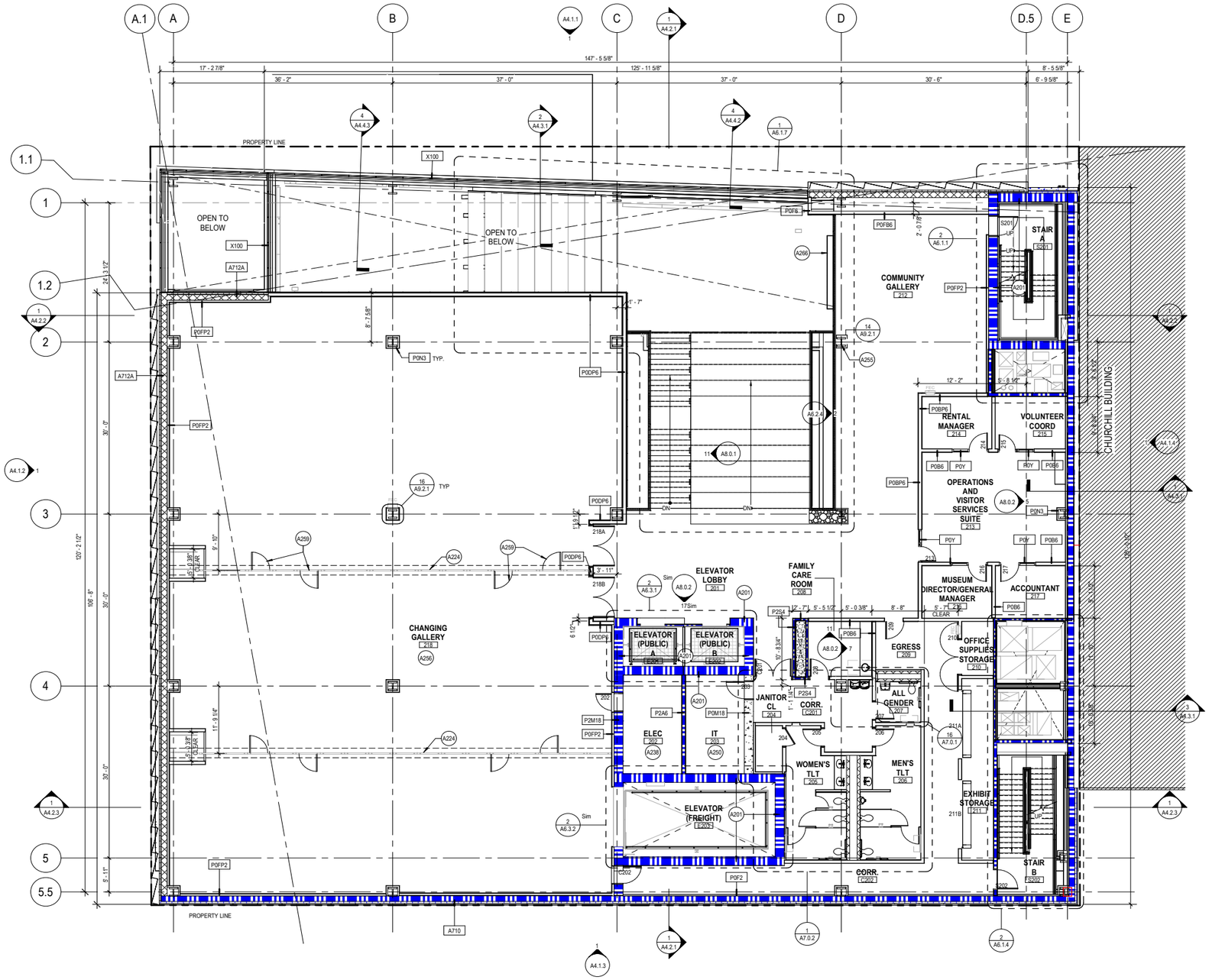
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A228	FOOD SERVICE EQUIPMENT, TYP; RE: FOOD SERVICE DRAWINGS
A255	EXPOSED COLUMNS TO RECEIVE INTUMESCENT PAINT UL263 2-HOUR RATED, TYP
A261	NATIVE NATION FLAG DISPLAY, MOUNTED IN GRAVEL BED WITH METAL ANGLE AT SOFFIT EDGE

NOT TO SCALE

MEZZANINE PLAN



GRAPHIC LEGEND

- EXSITING BUILDING
- CONCRETE PAVERS
- 3 HOUR RATED WALL
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- TRANSFORMER VAULT, BELOW

ASSEMBLY LEGEND

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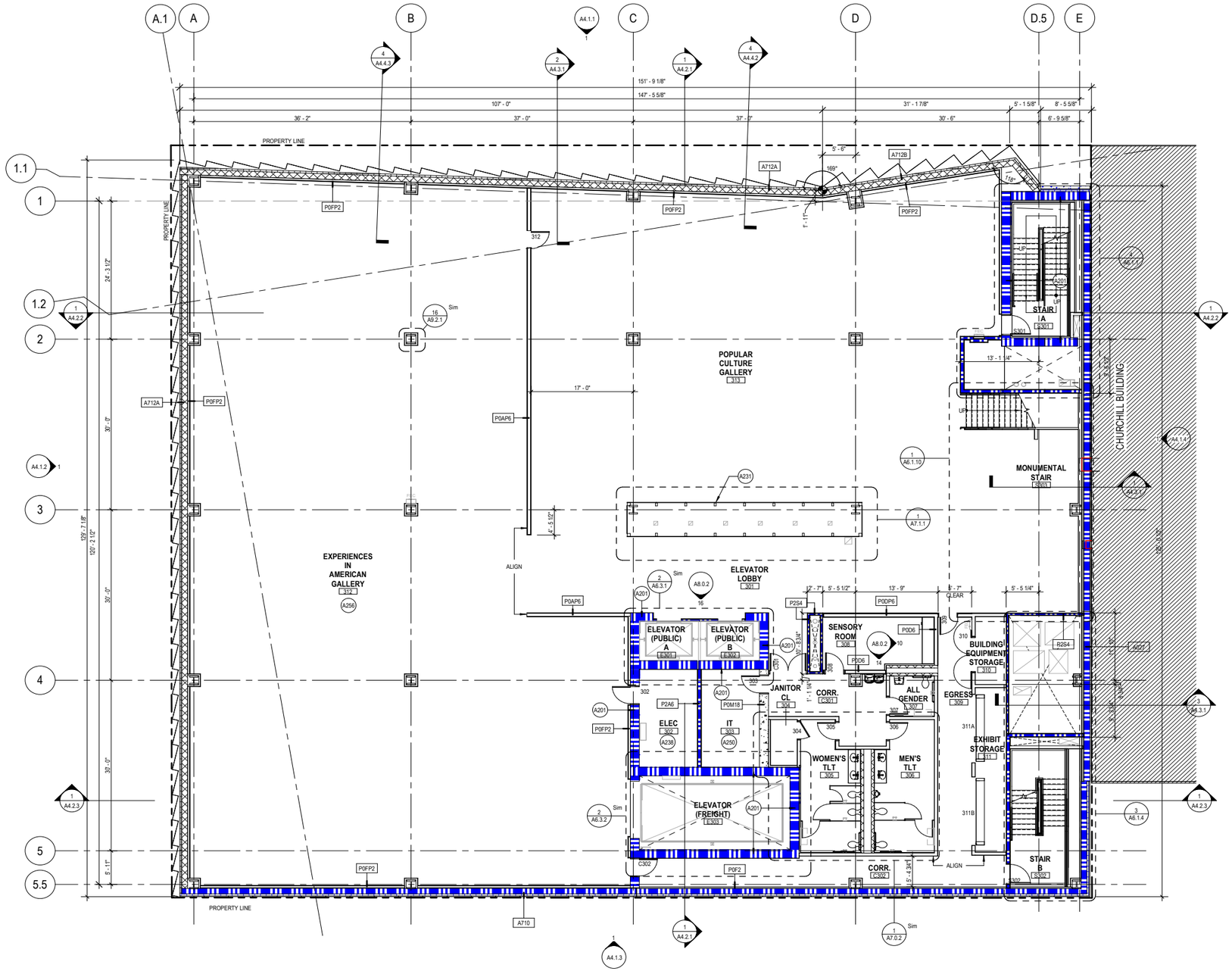
SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A224	ACOUSTIC OPERABLE PARTITION
A238	ELECTRICAL EQUIPMENT; RE: ELECTRICAL
A250	IT EQUIPMENT; RE: TECHNOLOGY
A255	EXPOSED COLUMNS TO RECEIVE INTUMESCENT PAINT UL263 2-HOUR RATED, TYP
A256	BEAMS TO RECEIVE CEMENTITIOUS FIREPROOFING 2-HOUR RATED, TYP OF ROOM
A259	DOOR NOT SHOWN IN DOOR SCHEDULE AS PART OF OPERABLE WALL SYSTEM. REFER TO SPECIFICATION FOR MORE INFORMATION
A266	CAFE CEILING BELOW

NOT TO SCALE

LEVEL 02 FLOOR PLAN



GRAPHIC LEGEND

- EXSITING BUILDING
- CONCRETE PAVERS
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ASSEMBLY LEGEND

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R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A231	TWO-STORY VITRINE
A238	ELECTRICAL EQUIPMENT; RE: ELECTRICAL
A250	IT EQUIPMENT; RE: TECHNOLOGY
A256	BEAMS TO RECEIVE CEMENTITIOUS FIREPROOFING 2-HOUR RATED; TYP OF ROOM

NOT TO SCALE

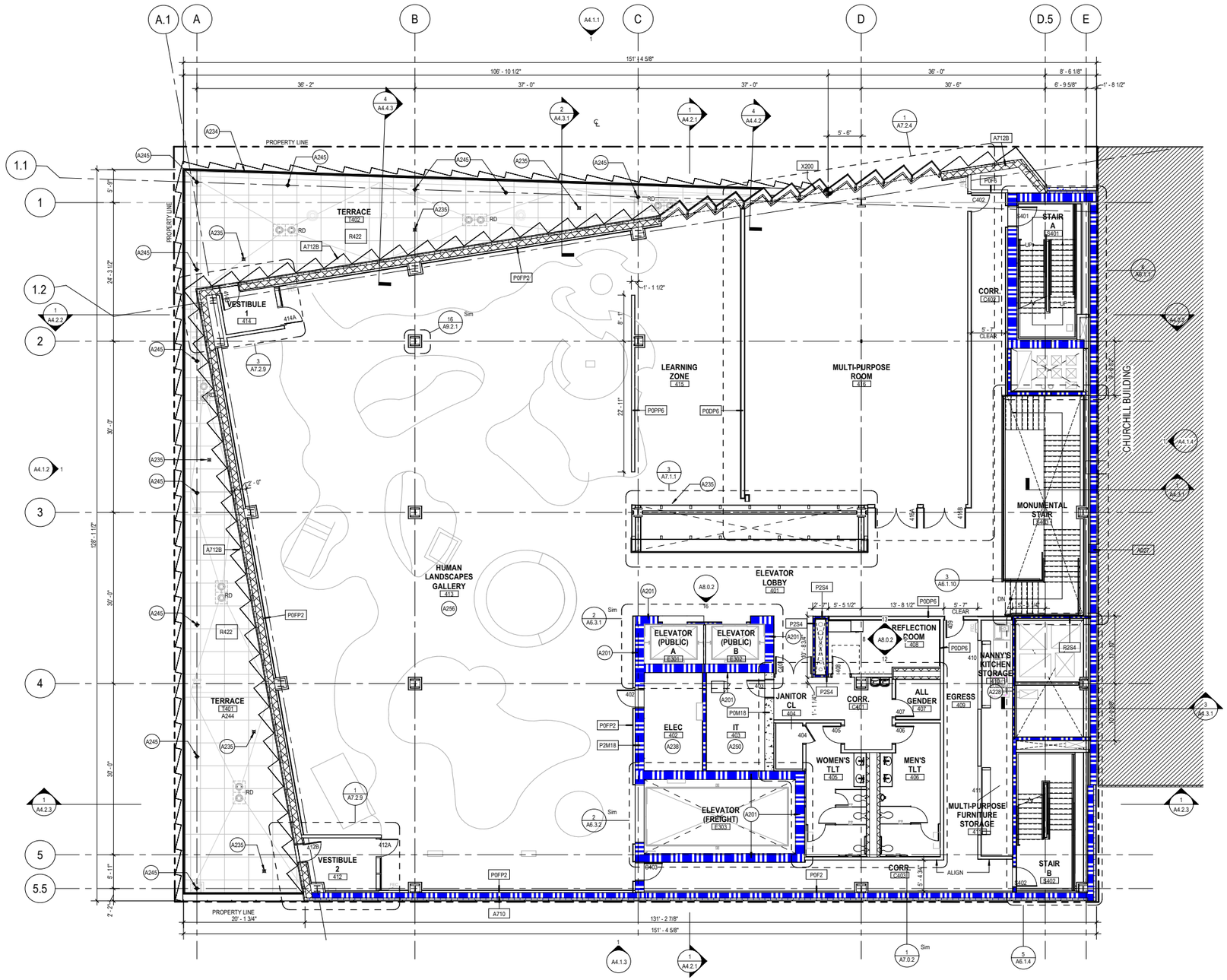
09/05/2023

LEVEL 03 FLOOR PLAN

WISCONSIN HISTORICAL SOCIETY

▪ NO 19K2R-02 Wisconsin History Center

continuum SMITHGROUP ARCHITECTS + PLANNERS



GRAPHIC LEGEND

▨	EXSITING BUILDING	▦	GREEN ROOF
▦	CONCRETE PAVERS	▩	GRAVEL
🟩	3 HOUR RATED WALL	▧	TRANSFORMER VAULT, BELOW
🟦	2 HOUR RATED WALL		
🟥	1 HR RATED WALL		

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
A710A	FLAT METAL MECHANICAL SCREEN ON SCREEN TUBES
A437	PRECAST PANELS ON CMU WITH SHEAR WALL BACKUP, CHARCOAL COLORED WITH FLUTING
A027	INSULATED CMU ADJACENT TO EXISTING
A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WTIH FLUTING
A712	ARTICULATED RAINSCREEN METAL FACADE ON CMU BACKUP, ZINC AND STEEL
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

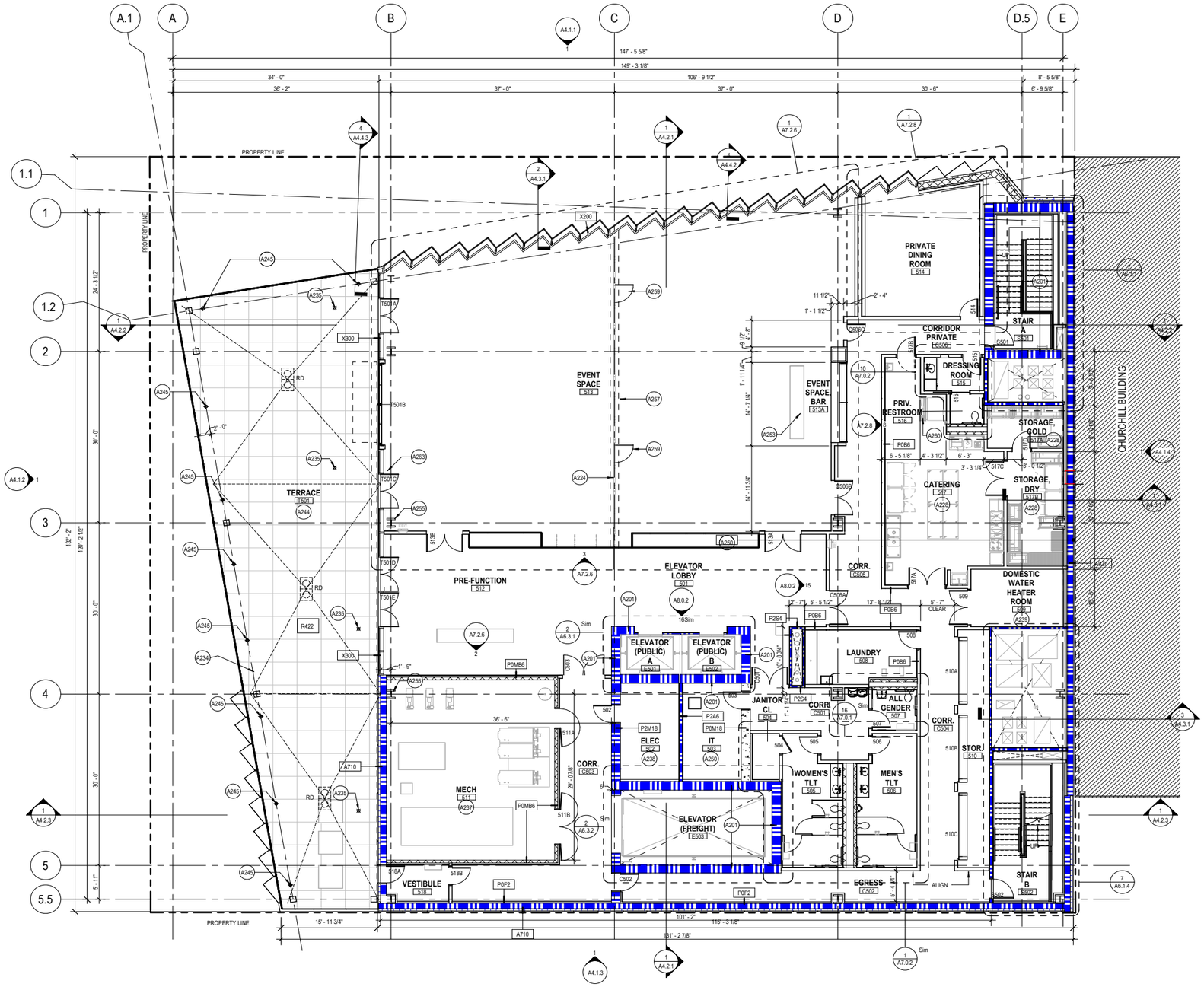
○ SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A228	FOOD SERVICE EQUIPMENT, TYP; RE: FOOD SERVICE DRAWINGS
A234	(6) 2'-10"T STEEL POSTS ANCHORED BACK TO SUPERSTRUCTURE WITH FLASHING AT ROOFING MEMBRANE SPACE 4'-0" OC FOR INTERPRETIVE CONTENT
A235	FALL ARREST DAVIT ANCHORED TO COMPOSITE DECK
A238	ELECTRICAL EQUIPMENT; RE: ELECTRICAL
A244	ACCESSIBLE TERRACE WITH CONCRETE TILES ON PEDESTALS; RE: LANDSCAPE FOR LAYOUT
A245	ROOF DAVIT, TYP
A250	IT EQUIPMENT; RE: TECHNOLOGY
A256	BEAMS TO RECEIVE CEMENTITIOUS FIREPROOFING 2-HOUR RATED, TYP OF ROOM

NOT TO SCALE

09/05/2023

LEVEL 04 FLOOR PLAN



GRAPHIC LEGEND

- EXSITING BUILDING
- CONCRETE PAVERS
- 3 HOUR RATED WALL
- 2 HOUR RATED WALL
- 1 HR RATED WALL
- GREEN ROOF
- GRAVEL
- TRANSFORMER VAULT, BELOW

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
A710A	FLAT METAL MECHANICAL SCREEN ON SCREEN TUBES
A437	PRECAST PANELS ON CMU WITH SHEAR WALL BACKUP, CHARCOAL COLORED WITH FLUTING
A027	INSULATED CMU ADJACENT TO EXISTING
A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WITH FLUTING
A712	ARTICULATED RAINSCREEN METAL FACADE ON CMU BACKUP, ZINC AND STEEL
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE WITH COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

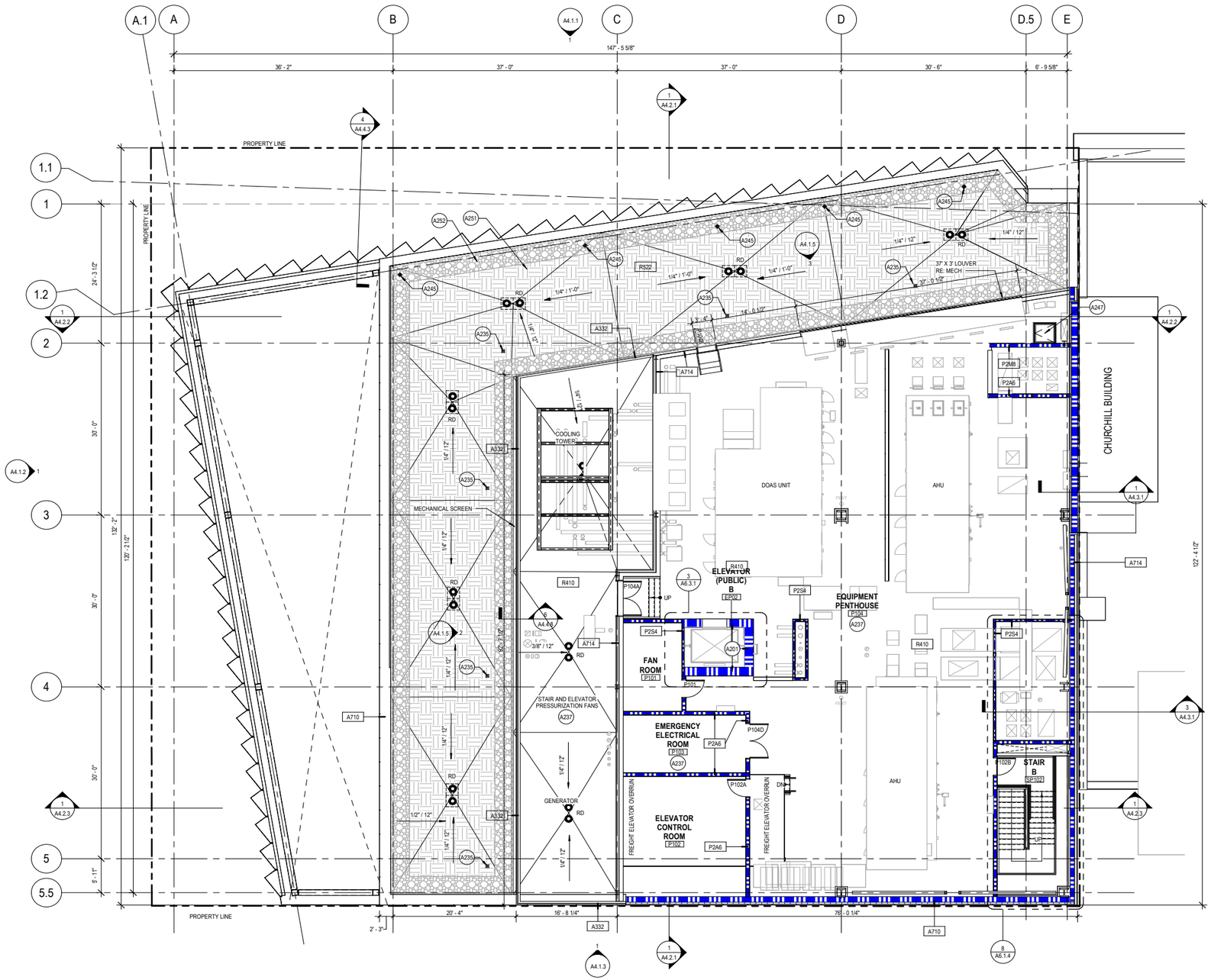
SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A224	ACOUSTIC OPERABLE PARTITION
A228	FOOD SERVICE EQUIPMENT, TYP; RE: FOOD SERVICE DRAWINGS
A234	(6) 2'-10"T STEEL POSTS ANCHORED BACK TO SUPERSTRUCTURE WITH FLASHING AT ROOFING MEMBRANE SPACE 4'-0" OC FOR INTERPRETIVE CONTENT
A235	FALL ARREST DAVIT ANCHORED TO COMPOSITE DECK
A237	MECHANICAL EQUIPMENT; RE: MECHANICAL
A238	ELECTRICAL EQUIPMENT; RE: ELECTRICAL
A239	PLUMBING EQUIPMENT; RE: PLUMBING
A244	ACCESSIBLE TERRACE WITH CONCRETE TILES ON PEDESTALS; RE: LANDSCAPE FOR LAYOUT
A245	ROOF DAVIT, TYP
A250	IT EQUIPMENT; RE: TECHNOLOGY
A253	SALVAGED BAR BY OWNER, PLUMBING AND POWER HOOK-UPS; RE: PLUMBING AND ELECTRICAL
A255	EXPOSED COLUMNS TO RECEIVE INTUMESCENT PAINT UL263 2-HOUR RATED, TYP
A257	LINE OF BEAM ABOVE
A259	DOOR NOT SHOWN IN DOOR SCHEDULE AS PART OF OPERABLE WALL SYSTEM. REFER TO SPECIFICATION FOR MORE INFORMATION
A260	SPRAY FIREPROOFING, 2-HOUR RATED, REQUIRED AT SLAB DUE TO FOOD SERVICE EQUIPMENT PENETRATION, RE: FOOD SERVICE
A263	ADA OPERATOR CENTERED ON MULLION

NOT TO SCALE

09/05/2023

LEVEL 05 FLOOR PLAN



GRAPHIC LEGEND

- EXSITING BUILDING
- GREEN ROOF
- CONCRETE PAVERS
- GRAVEL
- 3 HOUR RATED WALL
- 2 HOUR RATED WALL
- 1 HR RATED WALL
- TRANSFORMER VAULT, BELOW

ASSEMBLY LEGEND

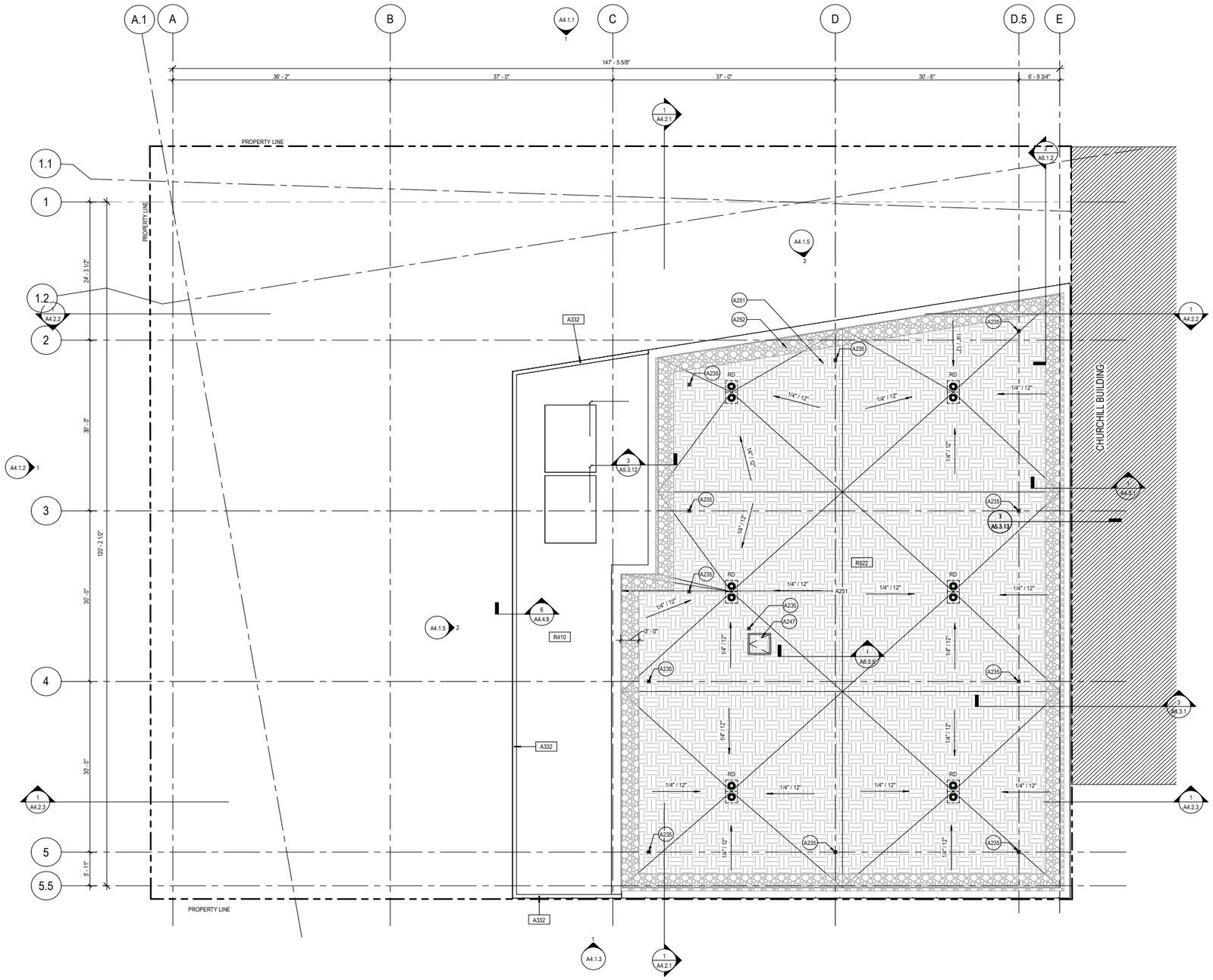
X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
A710A	FLAT METAL MECHANICAL SCREEN ON SCREEN TUBES
A437	PRECAST PANELS ON CMU WITH SHEAR WALL BACKUP, CHARCOAL COLORED WITH FLUTING
A027	INSULATED CMU ADJACENT TO EXISTING
A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WTIH FLUTING
A712	ARTICULATED RAINSCREEN METAL FACADE ON CMU BACKUP, ZINC AND STEEL
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A201	CONCRETE SHEAR WALL; RE: STRUCTURAL
A235	FALL ARREST DAVIT ANCHORED TO COMPOSITE DECK
A237	MECHANICAL EQUIPMENT; RE: MECHANICAL
A245	ROOF DAVIT, TYP
A247	ROOF HATCH
A251	GREEN ROOF; RE: LANDSCAPE
A252	GRAVEL; RE: LANDSCAPE

NOT TO SCALE

PENTHOUSE LEVEL FLOOR PLAN



GRAPHIC LEGEND

- EXSITING BUILDING
- GREEN ROOF
- CONCRETE PAVERS
- GRAVEL
- 3 HOUR RATED WALL
- 2 HOUR RATED WALL
- 1 HR RATED WALL
- TRANSFORMER VAULT, BELOW

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
A710A	FLAT METAL MECHANICAL SCREEN ON SCREEN TUBES
A437	PRECAST PANELS ON CMU WITH SHEAR WALL BACKUP, CHARCOAL COLORED WITH FLUTING
A027	INSULATED CMU ADJACENT TO EXISTING
A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WTIH FLUTING
A712	ARTICULATED RAINSCREEN METAL FACADE ON CMU BACKUP, ZINC AND STEEL
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A235 FALL ARREST DAVIT ANCHORED TO COMPOSITE DECK
A247 ROOF HATCH
A251 GREEN ROOF; RE: LANDSCAPE
A252 GRAVEL; RE: LANDSCAPE

NOT TO SCALE

09/05/2023

ROOF FLOOR PLAN

PERSPECTIVE VIEW FROM MIFFLIN STREET

09/05/2023

PERSPECTIVE VIEW FROM CORNER OF MIFFLIN AND CARROLL

PERSPECTIVE VIEW FROM CARROLL STREET

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PERSPECTIVE VIEW FROM CAPITOL LAWN

PERSPECTIVE VIEW FROM MIFFLIN STREET

PERSPECTIVE VIEW FROM MIFFLIN PLAZA

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PERSPECTIVE VIEW FROM STATE STREET

PERSPECTIVE VIEW OF NORTHEAST FACADE 1

PERSPECTIVE VIEW OF NORTHEAST FACADE 2

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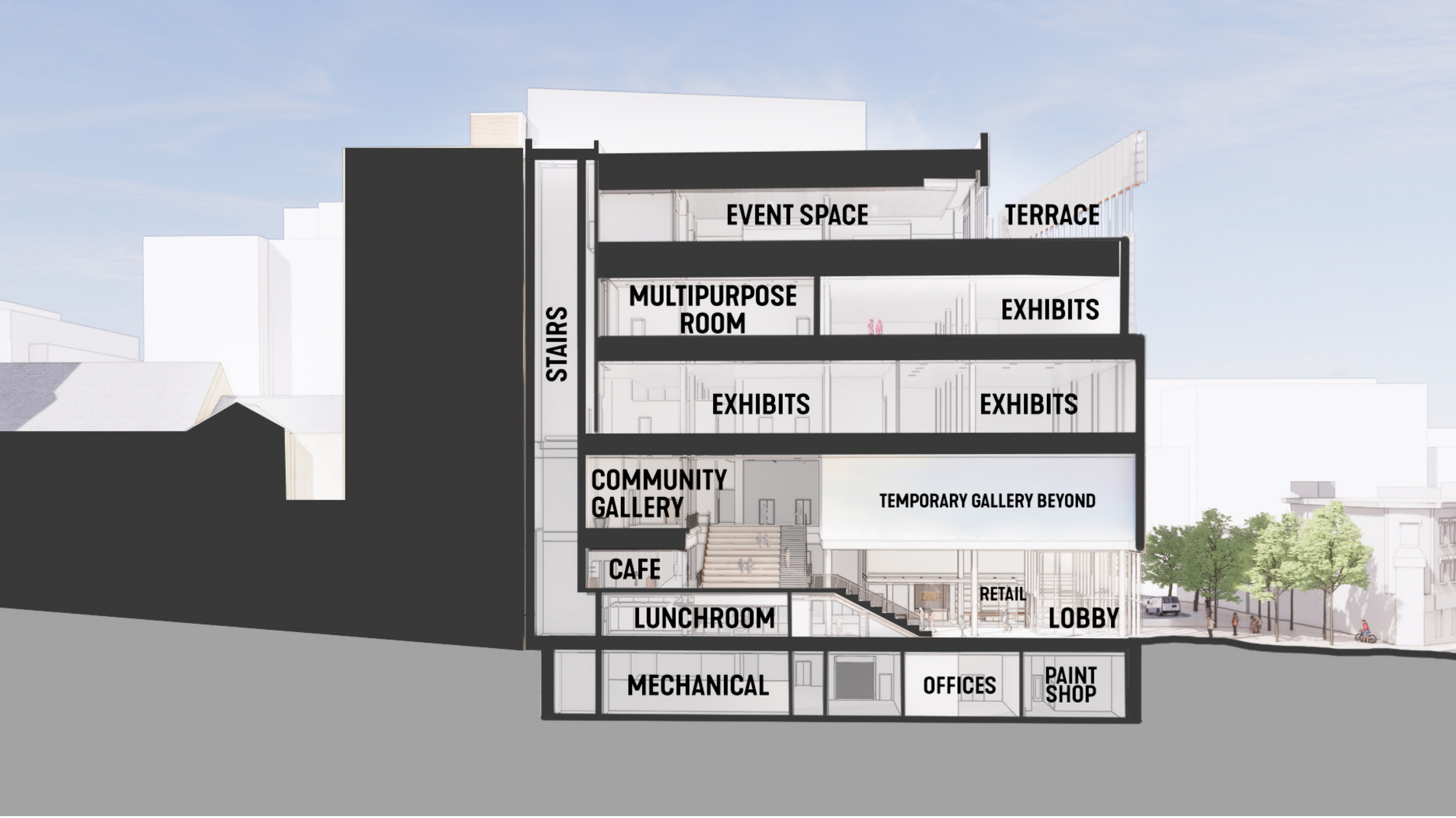
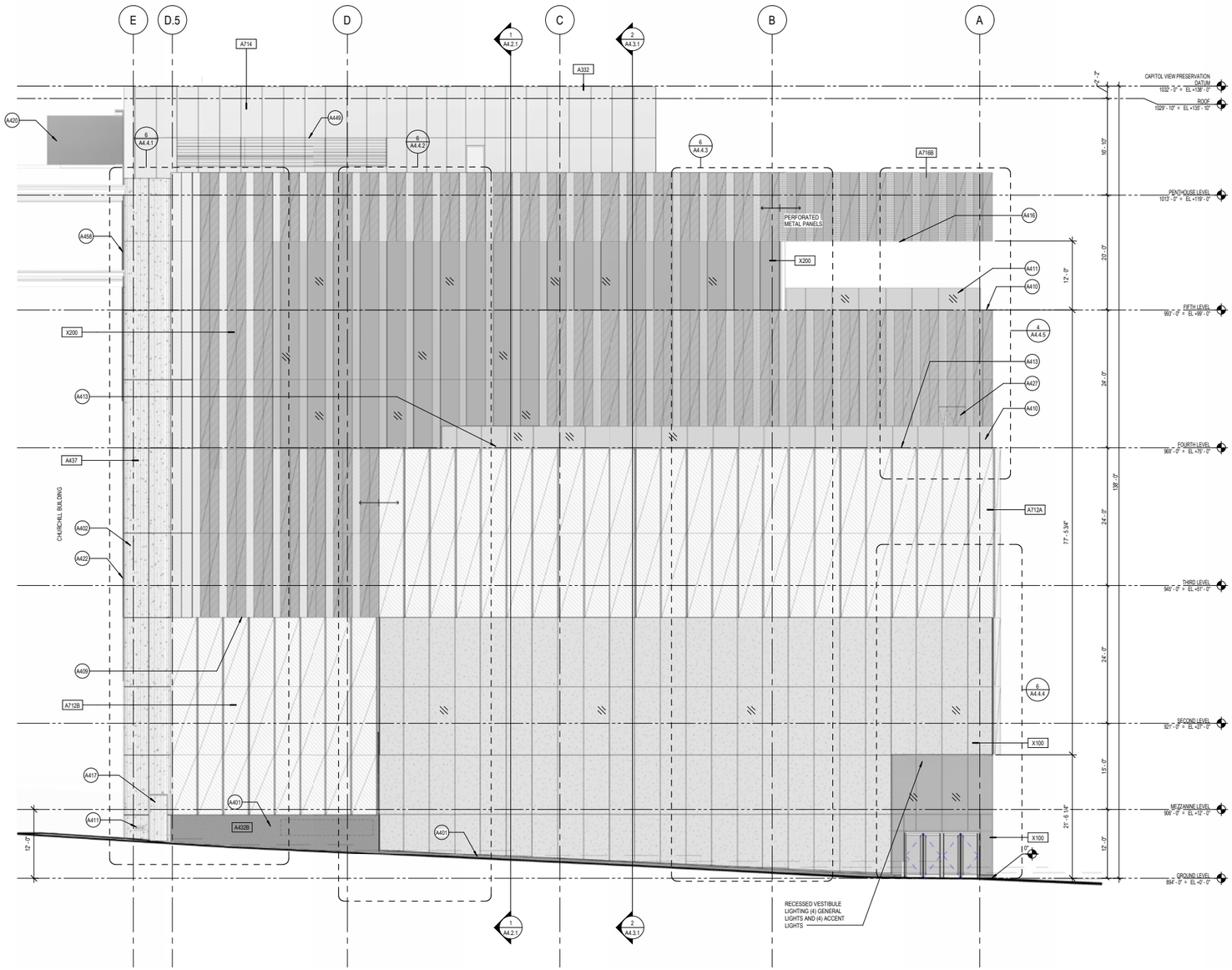
PERSPECTIVE VIEW OF NORTHEAST FACADE 3



NOT TO SCALE

PROGRAMMATIC BUILDING SECTION



BIRD SAFE GLAZING REQUIREMENTS

(4) Bird-Safe Glass Treatment Requirements. Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collisions by incorporating a pattern of visual markers that are either (i) dots or other isolated shapes that are ¼" in diameter or larger and spaced at no more than a two-inch (2") by two-inch (2") pattern; or b) lines that are ¼" in width or greater and spaced no more than 2" apart; low reflectance opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator. Will provide a frit in accordance with option A.

(a) Buildings or structures over 10,000 square feet. For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

1. For building façades where the first sixty (60) feet (see REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
   a. At least eighty-five percent (85%) of the glass must be treated; and
      Will provide 85% of glass as treated, refer to elevations.
   b. All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. Will comply.
2. For building façades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
   Not Applicable.
   a. At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
   b. Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated. Will comply.
3. All glass railings must be treated. Will comply.
4. All glass on enclosed building connections shall be treated up to sixty (60) feet above-grade. Not Applicable.

(b) Sky-bridges. For buildings and structures of any size, all glass on above-ground bridges must be treated. Not Applicable.

(c) At-grade glass. For buildings and structures of any size, all at-grade glass features such as sound walls or glass screens must be treated. Not Applicable.

GRAPHIC LEGEND

- BIRD GLASS; LOCATIONS WHERE REQUIRED
- STAINLESS STEEL
- PERFORATED STAINLESS STEEL
- ZINC
- PERFORATED ZINC
- GRANITE CURB
- ALUM. METAL PANEL PT-E1
- PRECAST
- ALUM. METAL PANEL PT-E2
- ALUMINUM METAL PANEL
- PRECAST PAVERS

GENERAL SHEET NOTES

A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.

B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS SHEET.

C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.

D. REFER TO THE A4.4.X SERIES SHEETS FOR ENLARGED EXTERIOR ELEVATIONS.

E. REFER TO THE A5.0.X SERIES SHEETS FOR THE EXTERIOR ASSEMBLY SYSTEMS.

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
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B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A401	STN-01, GRANITE CURB
A402	PRCST-01, PRECAST PANELS
A409	ZINC SOFFIT
A410	ZINC CLOSURE PANEL
A411	48" HIGH GLASS GUARDRAIL
A413	METAL PANEL ACENT UP LIGHTING RECESSED IN TERRACE PAVERS. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A416	TERRACE LIGHTING. PROVIDE BUILDING-MOUNTED GENERAL LIGHTING, LOW LEVEL UNDER BENCH LIGHTING AND LANDSCAPE ACCENT LIGHTING. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A417	PRECAST CLAD EGRESS DOOR
A420	EXISTING ADJACENT BUILDING
A422	EJ-E1 WALL EXPANSION JOINT WITH COVER
A427	DOOR HIDDEN BEHIND HINGED METAL PANEL. FINAL DETAILING TO BE COORDINATED DURING FINAL DESIGN.
A449	LVR-02, HORIZONTAL LOUVER, PAINTED TO MATCH MP-05
A458	BUILDING EXPANSION JOINT

NOT TO SCALE

NORTHEAST ELEVATION

NOT TO SCALE

NORTHEAST ELEVATION

BIRD SAFE GLAZING REQUIREMENTS

(4) Bird-Safe Glass Treatment Requirements. Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collisions by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are ¼" in diameter or larger and spaced at no more than a two-inch (2") by two-inch (2") pattern; or b) lines that are ⅛" in width or greater and spaced no more than 2" apart; low reflectance opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator. Will provide a frit in accordances with option A.

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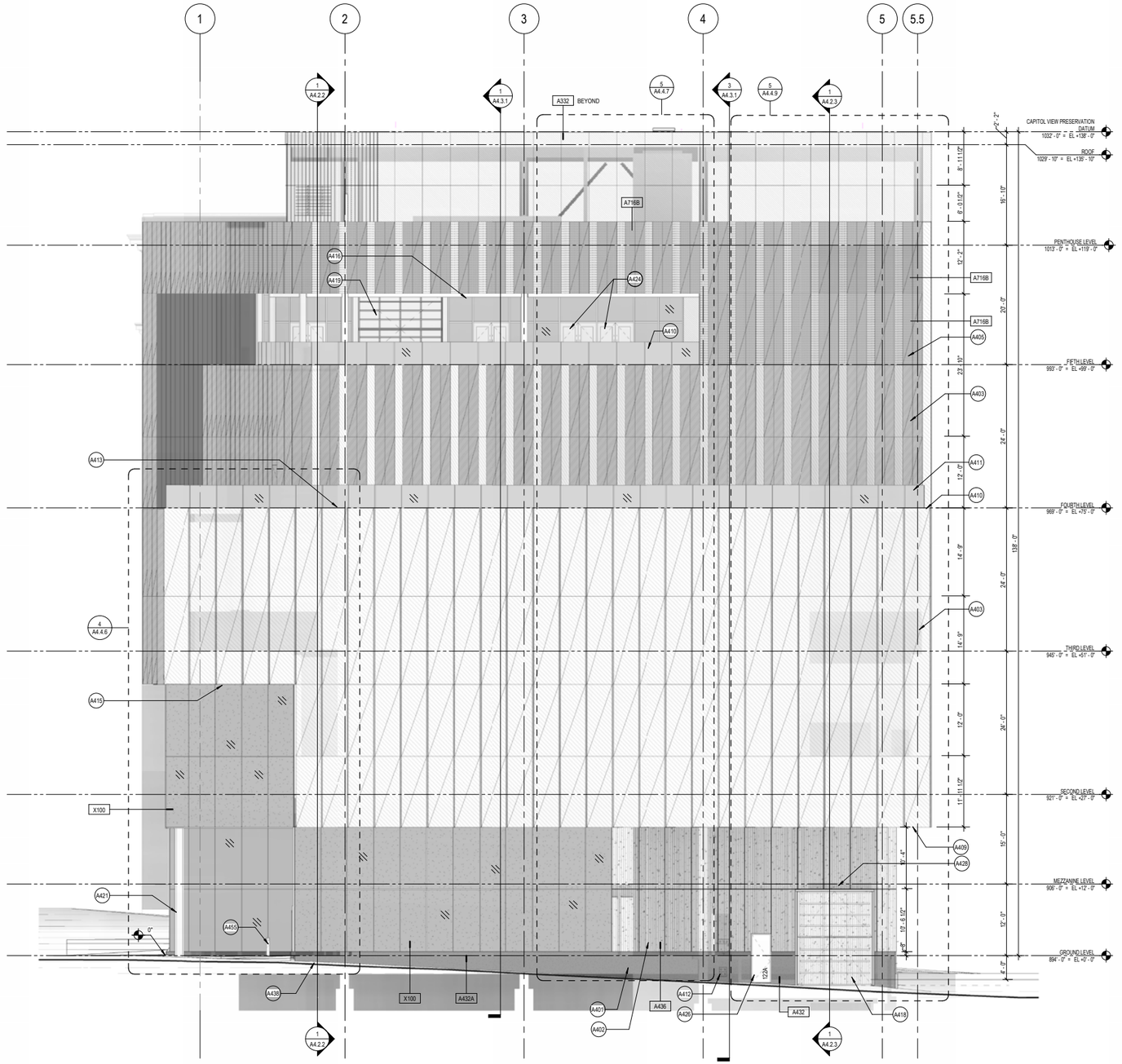
    - a.At least eighty-five percent (85%) of the glass must be treated; and
      Will provide 85% of glass as treated, refer to elevations.
    - b.All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. Will comply.
2. For building façades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
    Not Applicable.
    - a.At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
    - b.Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated. Will comply.
3. All glass railings must be treated. Will comply.
4. All glass on enclosed building connections shall be treated up to sixty (60) feet above-grade. Not Applicable.

(b) Sky-bridges. For buildings and structures of any size, all glass on above-ground bridges must be treated. Not Applicable.

(c) At-grade glass. For buildings and structures of any size, all at-grade glass features such as sound walls or glass screens must be treated. Not Applicable.



GRAPHIC LEGEND

⁙	BIRD GLASS; LOCATIONS WHERE REQUIRED		
▨	STAINLESS STEEL	▦	PERFORATED STAINLESS STEEL
▨	ZINC	▦	PERFORATED ZINC
▩	GRANITE CURB	▨	ALUM. METAL PANEL PT-E1
▥	PRECAST	▨	ALUM. METAL PANEL PT-E2
▨	ALUMINUM METAL PANEL	⊞	PRECAST PAVERS

GENERAL SHEET NOTES

A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.

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D. REFER TO THE A4.4.X SERIES SHEETS FOR ENLARGED EXTERIOR ELEVATIONS.

E. REFER TO THE A5.0.X SERIES SHEETS FOR THE EXTERIOR ASSEMBLY SYSTEMS.

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
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R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

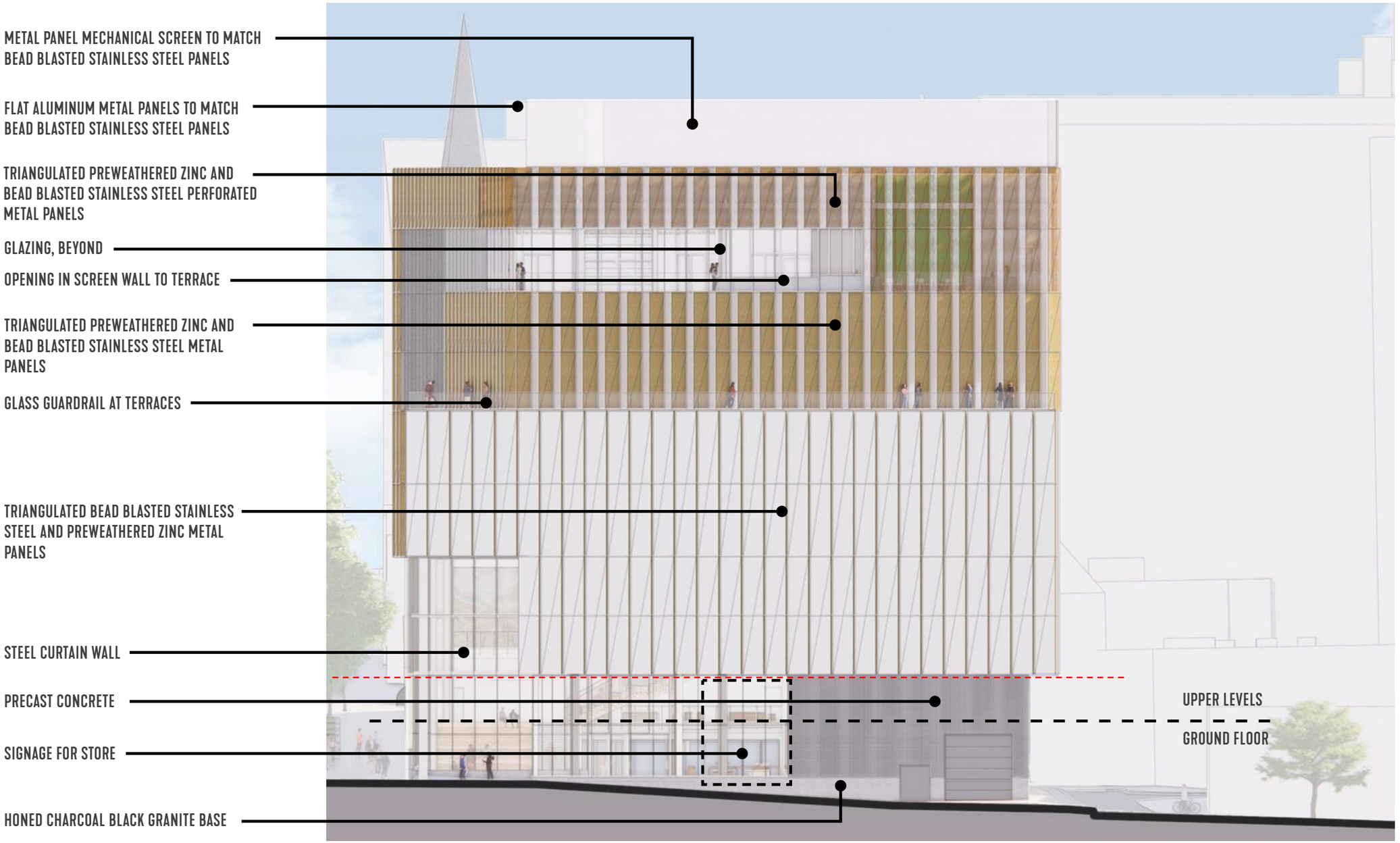
○ SHEET KEYNOTES

A401	STN-01, GRANITE CURB
A402	PRCST-01, PRECAST PANELS
A403	MP-01, RAINSCREEN METAL PANEL "VARIABLE A" - STAINLESS STEEL PRIMARY FACE WITH ZINC SECONDARY FACE
A405	MP-03, PERFORATED METAL PANEL "VARIABLE A" - STAINLESS STEEL PRIMARY FACE WITH ZINC SECONDARY FACE
A409	ZINC SOFFIT
A410	ZINC CLOSURE PANEL
A411	46" HIGH GLASS GUARDRAIL
A412	FIRE DEPARTMENT CONNECTION
A413	METAL PANEL ACCENT UP LIGHTING RECESSED IN TERRACE PAVERS. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A415	VESTIBULE DOWN LIGHTING RECESSED IN SOFFIT. PROVIDE FOUR (4) GENERAL LIGHTING FIXTURES AND FOUR (4) ACCENT LIGHTING FIXTURES. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A416	TERRACE LIGHTING. PROVIDE BUILDING-MOUNTED GENERAL LIGHTING, LOW LEVEL UNDER BENCH LIGHTING AND LANDSCAPE ACCENT LIGHTING. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A418	PRECAST CLAD OVERHEAD DOOR
A419	GLASS OVERHEAD DOOR
A421	STRUCTURAL STEEL COLUMN, INTUMESCENT PAINT UL263 2-HOUR RATED, COLOR TO MATCH PT-XX.
A424	GLASS ENTRY DOOR
A426	PAINTED HM DOOR, PAINT TO MATCH ADJACENT WALL CLADDING SYSTEM
A428	SURFACE MOUNTED LINEAR DOCK LIGHTING, REFER TO LIGHTING.
A438	CONCRETE WALKWAY - REFER TO CIVIL / SITE DRAWINGS.
A455	ADA DOOR OPERATOR PUSH BUTTON - CENTER ON METAL PANEL.

NOT TO SCALE

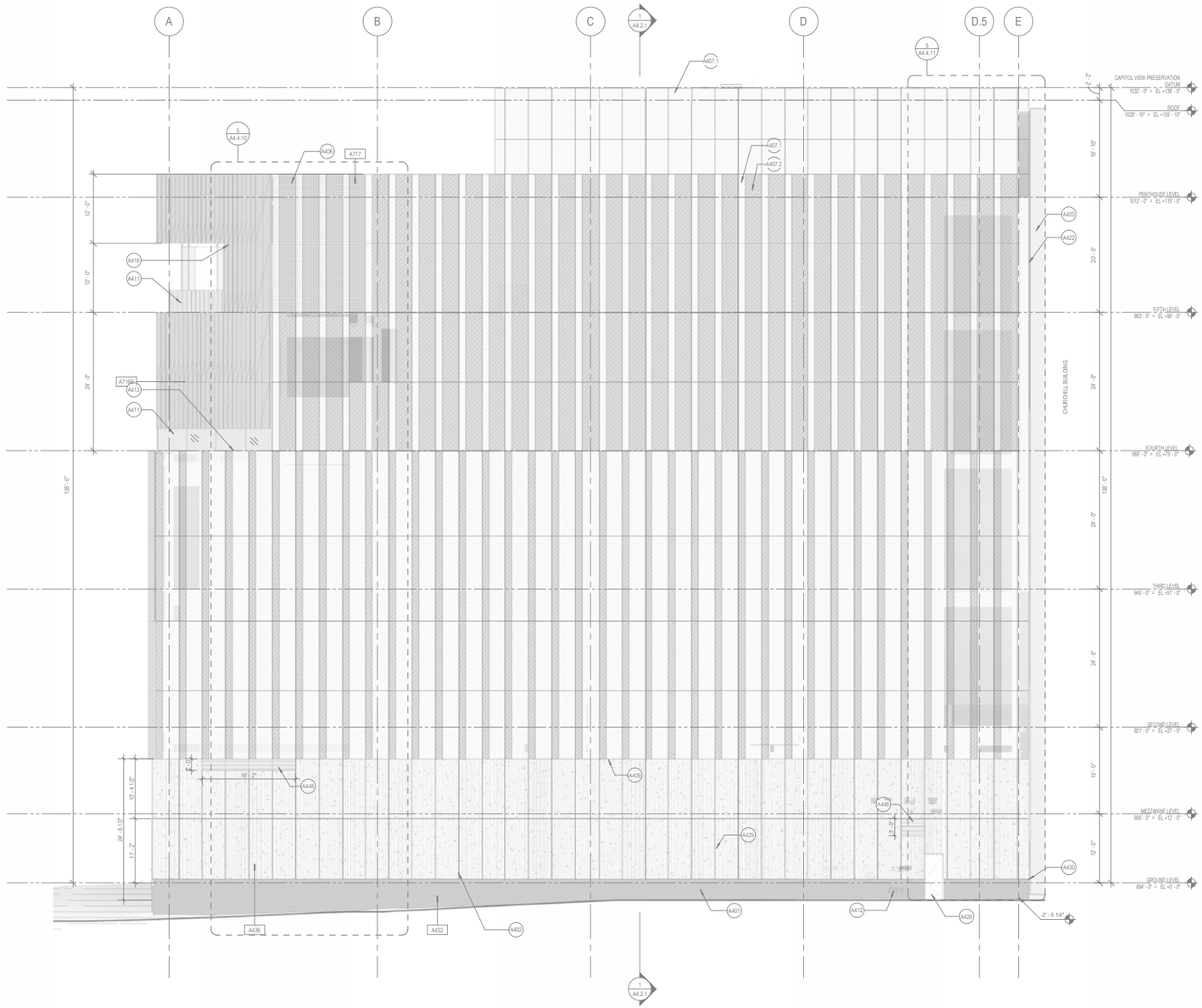
09/05/2023

NORTHWEST ELEVATION



NOT TO SCALE

NORTHWEST ELEVATION



**NOT A STREET FACING FACADE
NOT TO SCALE

SOUTHWEST ELEVATION

GRAPHIC LEGEND

- BIRD GLASS; LOCATIONS WHERE REQUIRED
- STAINLESS STEEL
- PERFORATED STAINLESS STEEL
- ZINC
- PERFORATED ZINC
- GRANITE CURB
- ALUM. METAL PANEL PT-E1
- PRECAST
- ALUM. METAL PANEL PT-E2
- ALUMINUM METAL PANEL
- PRECAST PAVERS

GENERAL SHEET NOTES

A. REFER TO THE A0.X SERIES SHEETS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS, ABBREVIATIONS, AS WELL AS DIMENSIONING CONVENTIONS USED ON THIS SHEET.

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D. REFER TO THE A4.4.X SERIES SHEETS FOR ENLARGED EXTERIOR ELEVATIONS.

E. REFER TO THE A5.0.X SERIES SHEETS FOR THE EXTERIOR ASSEMBLY SYSTEMS.

ASSEMBLY LEGEND

X100	LOBBY CURTAIN WALL - HORIZONTALLY SUSPENDED GIRT SYSTEM
X200	NORTH FACADE - SAWTOOTH CURTAIN WALL
X300	5TH FLOOR TERRACE CURTAIN WALL
A710	FLAT METAL COMPOSITE WALL ON CMU BACKUP (A710A ON STEEL TUBE BACKUP)
A710A	FLAT METAL MECHANICAL SCREEN ON SCREEN TUBES
A437	PRECAST PANELS ON CMU WITH SHEAR WALL BACKUP, CHARCOAL COLORED WITH FLUTING
A027	INSULATED CMU ADJACENT TO EXISTING
A436	PRECAST PANELS ON 12 INCH CMU BACKUP, CHARCOAL COLORED WITH FLUTING
A712	ARTICULATED RAINSCREEN METAL FACADE ON CMU BACKUP, ZINC AND STEEL
A432	GRANITE ON 8 INCH CAST-IN-PLACE CONCRETE
B170	BELOW GRADE FOUNDATION WALL ASSEMBLY
R432	PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R422	PROTECTED ROOF MEMBRANE WITH PAVERS ON PEDISTALS ON COMPOSITE STEEL STEEL DECK WITH SLOPPED TOPPING SLAB
R412	CONCRETE WITH PROTECTED ROOF MEMBRANE ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB
R343	FULLY ADHEARED SINGLE PLY THERMOSET (EPDM) MEMBRANE ON LEVEL STEEL DECK WITH SHEATHING
R522	VEGITATIVE ROOF ON COMPOSITE STEEL DECK WITH SLOPPED TOPPING SLAB

SHEET KEYNOTES

A401	STN-01, GRANITE CURB
A402	PRCST-01, PRECAST PANELS
A406	MP-04, PERFORATED METAL PANEL "VARIABLE 8" - ZINC PRIMARY FACE WITH STAINLESS STEEL SECONDARY FACE
A407.1	MP-05, RAINSCREEN ALUMINUM METAL PANEL, PAINTED PT-E1 TO MATCH STAINLESS STEEL.
A407.2	MP-06, RAINSCREEN ALUMINUM METAL PANEL, PAINTED PT-E2 TO MATCH ZINC.
A409	ZINC SOFFIT
A411	46" HIGH GLASS GUARDRAIL
A412	FIRE DEPARTMENT CONNECTION
A413	METAL PANEL ACCENT UP LIGHTING RECESSED IN TERRACE PAVERS. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A416	TERRACE LIGHTING. PROVIDE BUILDING-MOUNTED GENERAL LIGHTING, LOW LEVEL UNDER BENCH LIGHTING AND LANDSCAPE ACCENT LIGHTING. REFER TO LIGHTING DRAWINGS FOR MORE INFORMATION.
A420	EXISTING ADJACENT BUILDING
A422	EJ-E1 WALL EXPANSION JOINT WITH COVER.
A426	PAINTED HM DOOR. PAINT TO MATCH ADJACENT WALL CLADDING SYSTEM
A429	FULL CUTOFF EGRESS LIGHT. REFER TO LIGHTING.
A430	DUE TO DISCOVERY OF CHURCHILL BUILDING'S EXISTING EXTERIOR WALL SHARING A FOOTING WITH 18 N CARROLL OVER THE PROPERTY LINE. FURTHER COORDINATION IN THIS AREA IS REQUIRED IN FINAL DESIGN.
A448	LVR-01, HORIZONTAL LOUVER, PAINTED TO MATCH PRCST-01

FLAT ALUMINUM METAL PANELS TO MATCH BEAD BLASTED STAINLESS STEEL PANELS

METAL PANEL MECHANICAL SCREEN TO MATCH BEAD BLASTED STAINLESS STEEL PANELS

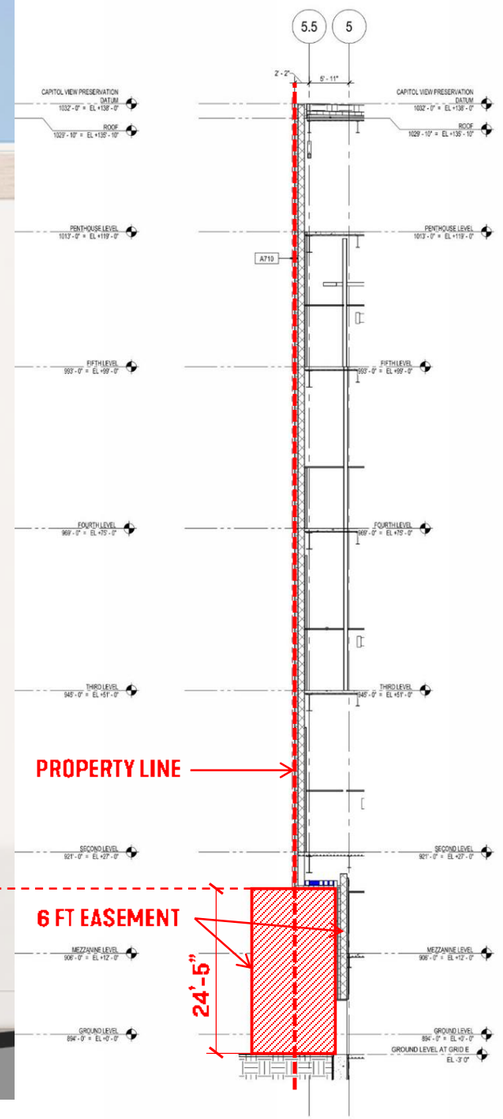
FLAT PREWEATHERED ZINC AND BEAD BLASTED STAINLESS STEEL PERFORATED METAL PANELS

FLAT ALUMINUM METAL PANELS TO MATCH PREWEATHERED ZINC PANELS

FLAT ALUMINUM METAL PANELS TO MATCH BEAD BLASTED STAINLESS STEEL PANELS

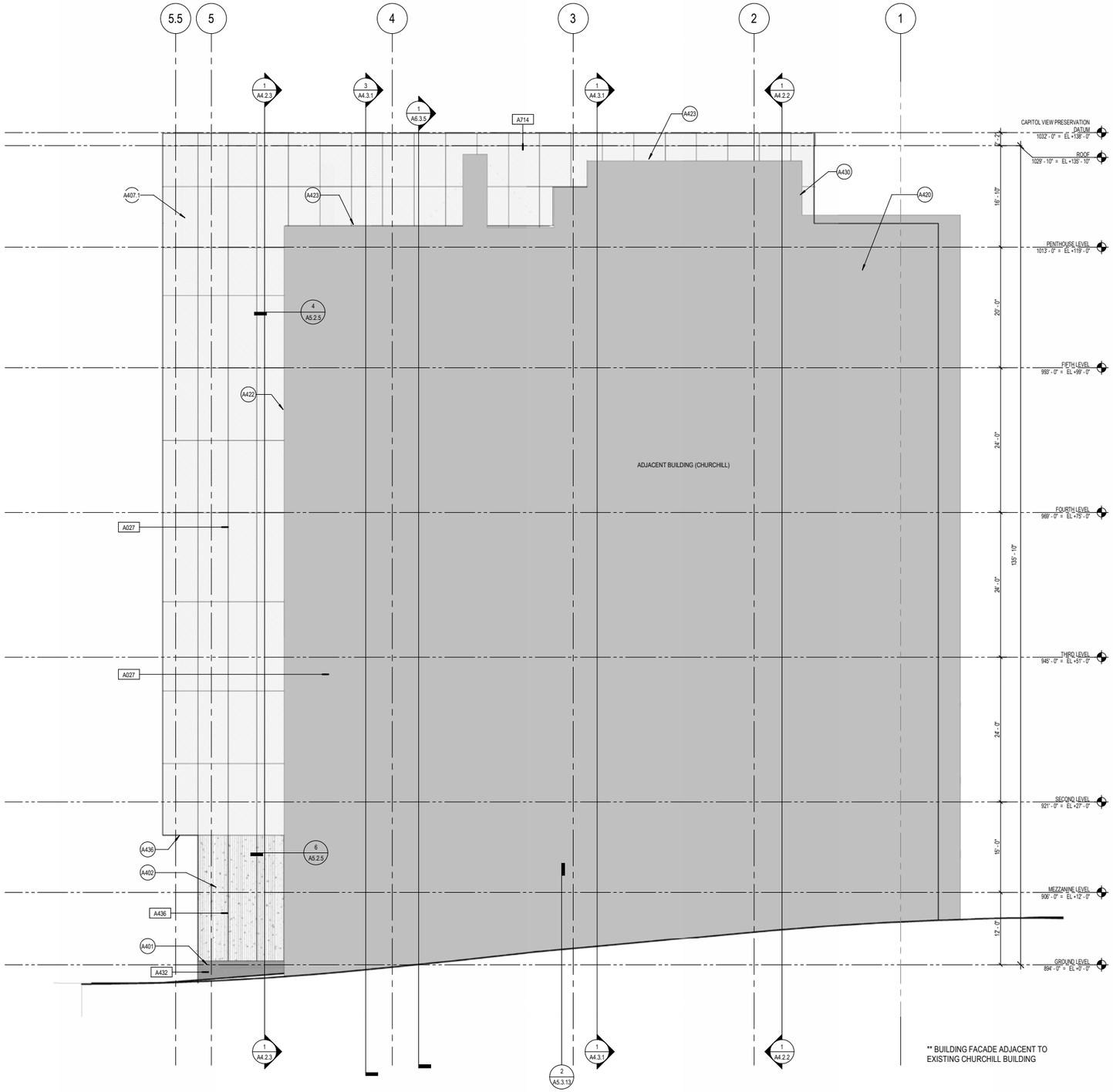
PRECAST CONCRETE

HONED CHARCOAL BLACK GRANITE BASE



**NOT A STREET FACING FACADE
NOT TO SCALE

SOUTHWEST ELEVATION



** BUILDING FACADE ADJACENT TO EXISTING CHURCHILL BUILDING

**NOT A STREET FACING FACADE
NOT TO SCALE

SOUTHEAST ELEVATION

GRAPHIC LEGEND

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- STAINLESS STEEL
- PERFORATED STAINLESS STEEL
- ZINC
- PERFORATED ZINC
- GRANITE CURB
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A423	EJ-E2 ROOF EXPANSION JOINT WITH COVER.
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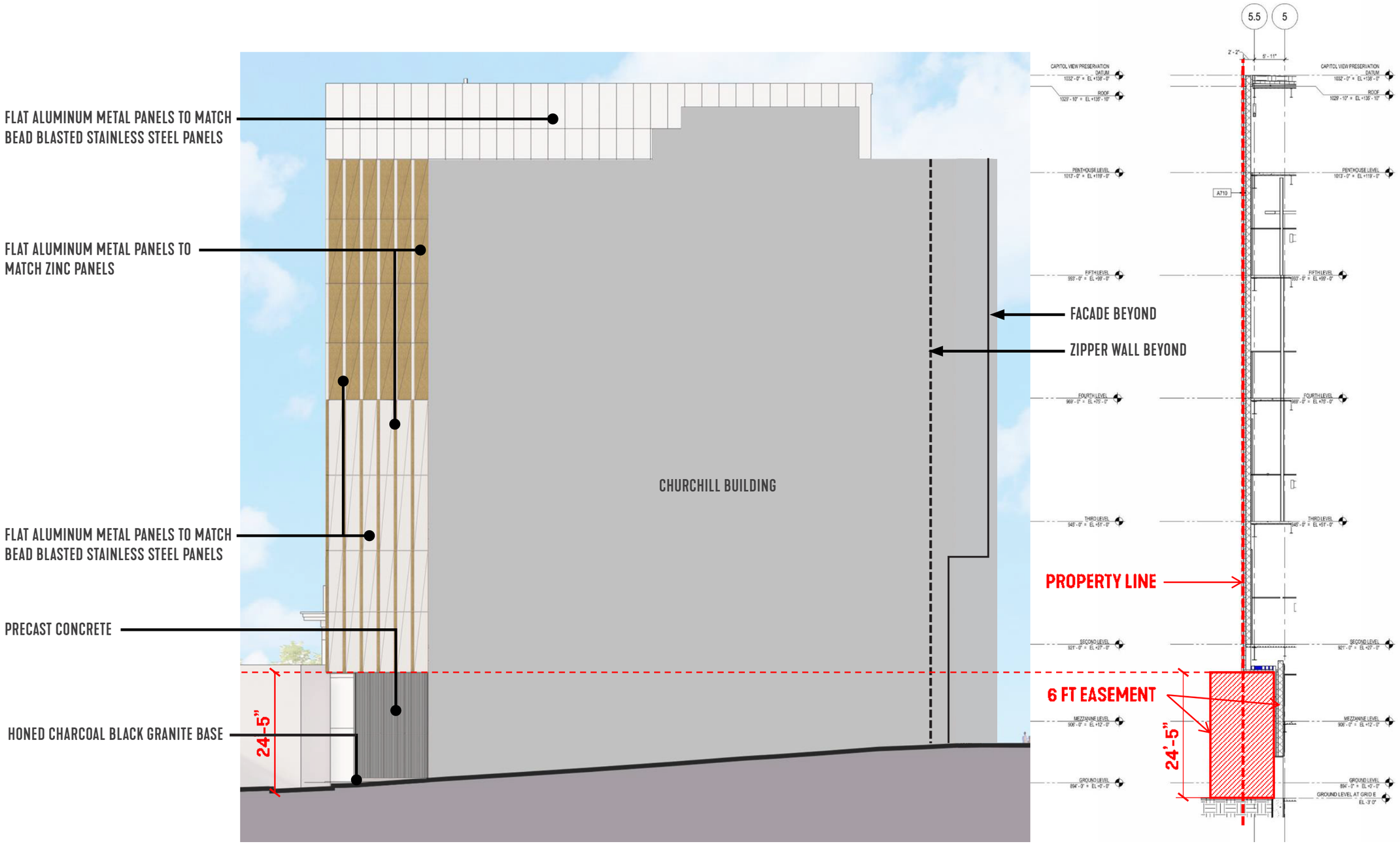
A436	PL-E2, EIFS SOFFIT, R-30 RIGID INSULATION ON COLD FORMED FRAMING



**NOT A STREET FACING FACADE
NOT TO SCALE

SOUTHEAST ELEVATION

TRIANGULATED PREWEATHERED ZINC AND BEAD BLASTED STAINLESS STEEL PERFORATED METAL PANELS

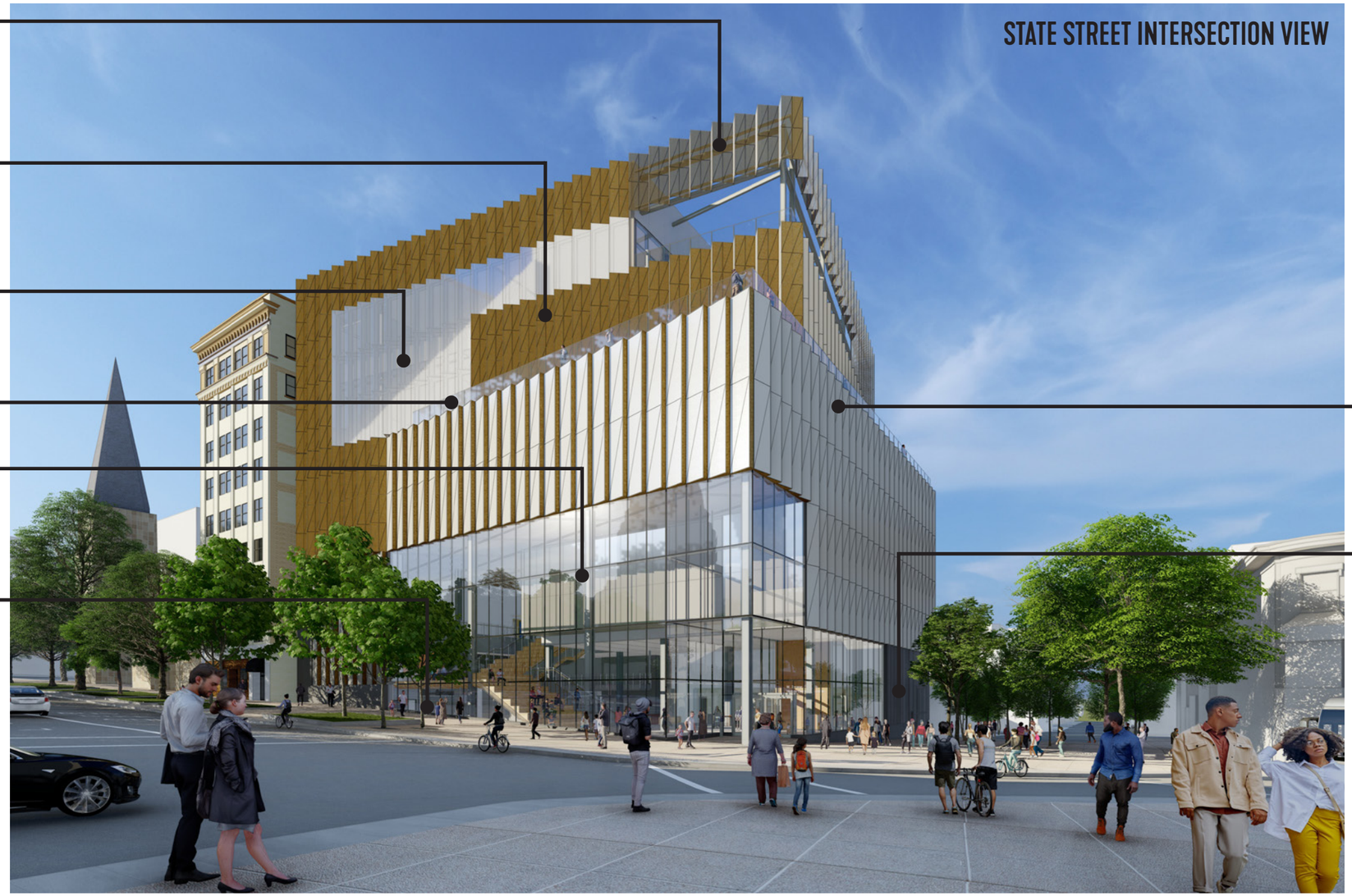
TRIANGULATED PREWEATHERED ZINC AND BEAD BLASTED STAINLESS STEEL METAL PANELS

TRIANGULATED CURTAIN WALL WITH FRIT

GLASS GUARDRAIL AT TERRACES

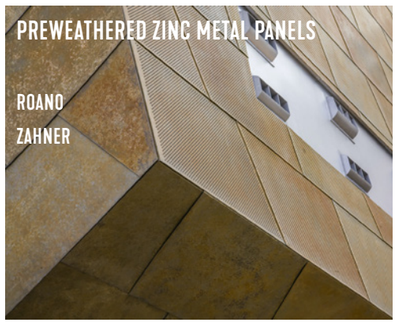
STEEL CURTAIN WALL

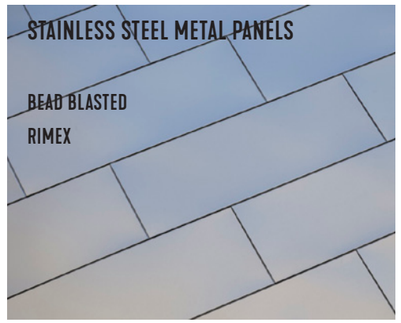
8" HONED CHARCOAL BLACK GRANITE BASE BELOW CURTAIN WALL

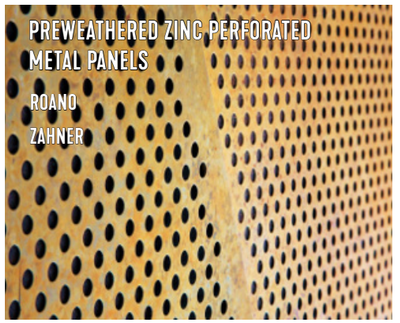


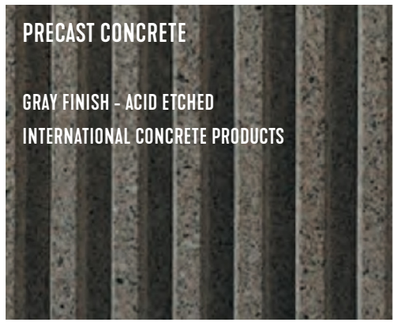
TRIANGULATED BEAD BLASTED STAINLESS STEEL AND PREWEATHERED ZINC METAL PANELS

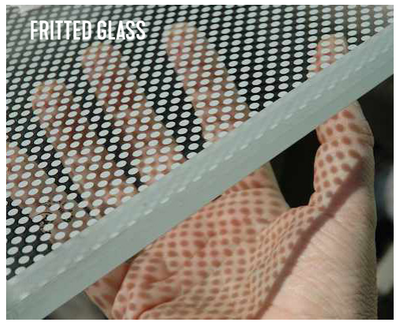
PRECAST CONCRETE





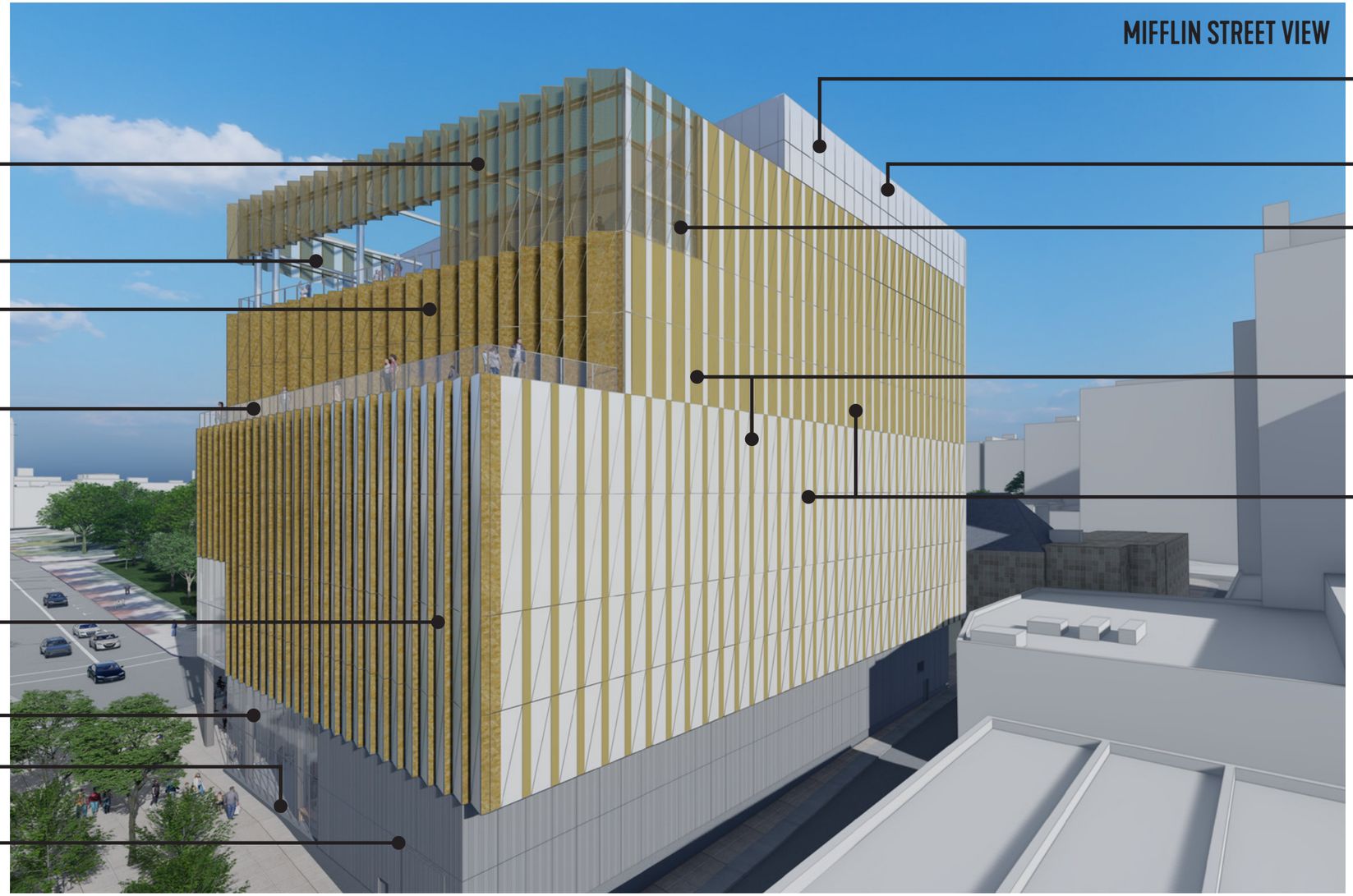






EXTERIOR MATERIALITY

MIFFLIN STREET VIEW



TRIANGULATED PREWEATHERED ZINC AND BEAD BLASTED STAINLESS STEEL PERFORATED METAL PANELS

OPENING IN SCREEN WALL TO TERRACE

TRIANGULATED PREWEATHERED ZINC AND BEAD BLASTED STAINLESS STEEL METAL PANELS

GLASS GUARDRAIL AT TERRACES

TRIANGULATED BEAD BLASTED STAINLESS STEEL AND PREWEATHERED ZINC METAL PANELS

STEEL CURTAIN WALL

8" HONED CHARCOAL BLACK GRANITE BASE BELOW CURTAIN WALL

PRECAST CONCRETE

METAL PANEL MECHANICAL SCREEN TO MATCH BEAD BLASTED STAINLESS STEEL PANELS

FLAT ALUMINUM METAL PANELS TO MATCH BEAD BLASTED STAINLESS STEEL PANELS

FLAT PREWEATHERED ZINC AND BEAD BLASTED STAINLESS STEEL PERFORATED METAL PANELS

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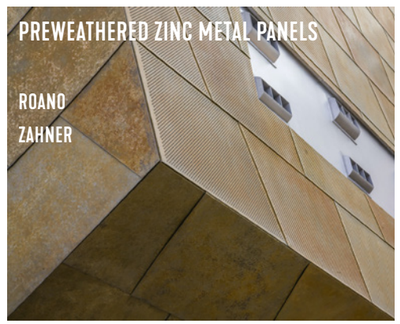
FLAT ALUMINUM METAL PANELS TO MATCH BEAD BLASTED STAINLESS STEEL PANELS

ALUMINUM COMPOSITE METAL PANELS

RAL 8001 - MICA

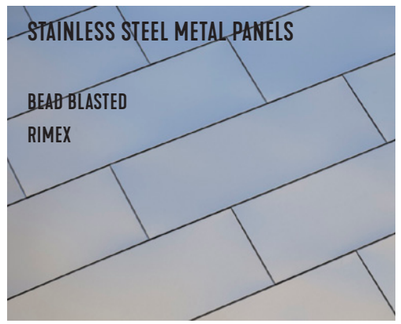
FINISHED TO MATCH PREWEATHERED ZINC



PREWEATHERED ZINC METAL PANELS

ROANO

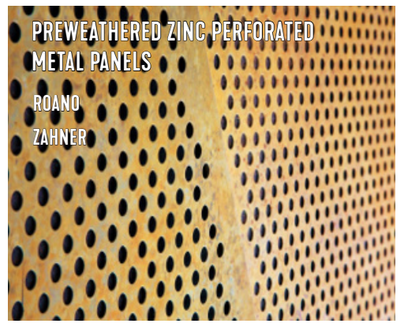
ZAHNER



STAINLESS STEEL METAL PANELS

BEAD BLASTED

RIMEX



PREWEATHERED ZINC PERFORATED METAL PANELS

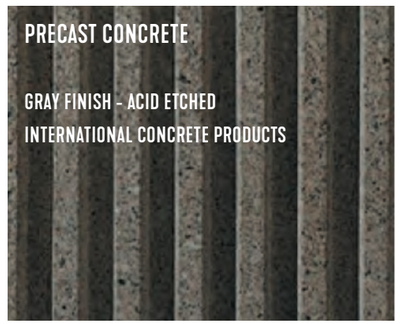
ROANO

ZAHNER

CHARCOAL BLACK GRANITE BASE

HONED FINISH

COLDSPRING



PRECAST CONCRETE

GRAY FINISH - ACID ETCHED

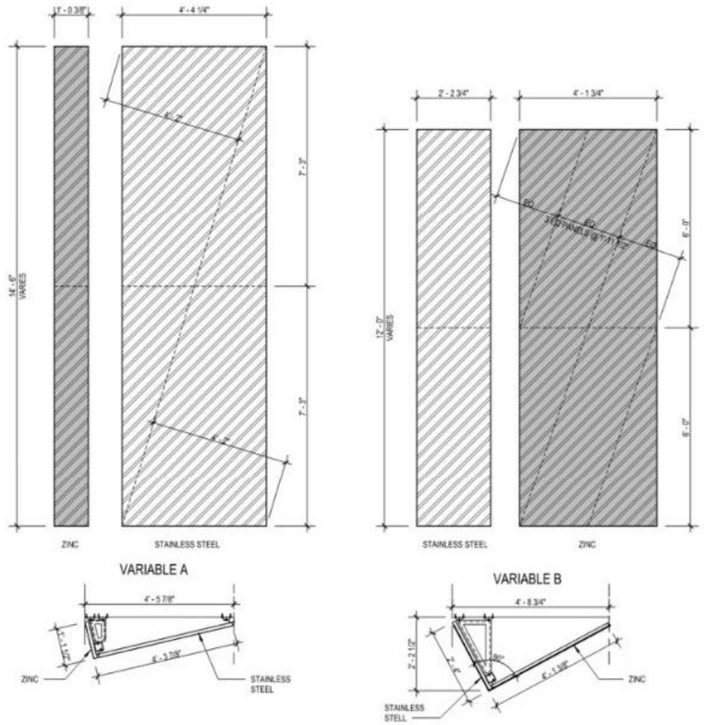
INTERNATIONAL CONCRETE PRODUCTS

ALUMINUM COMPOSITE METAL PANELS

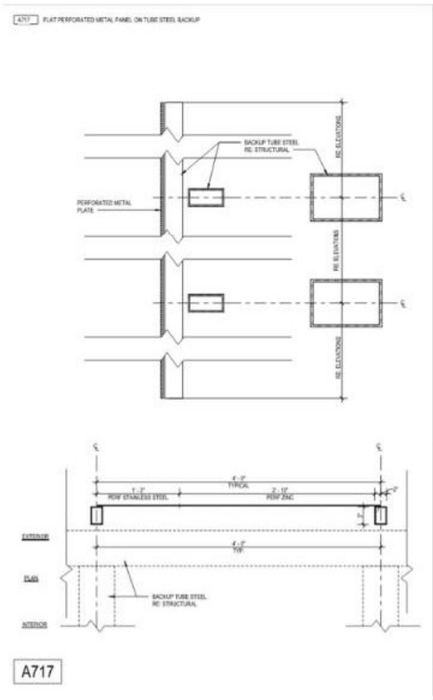
DURANAR XL

FINISHED TO MATCH BEAD BLASTED STAINLESS STEEL

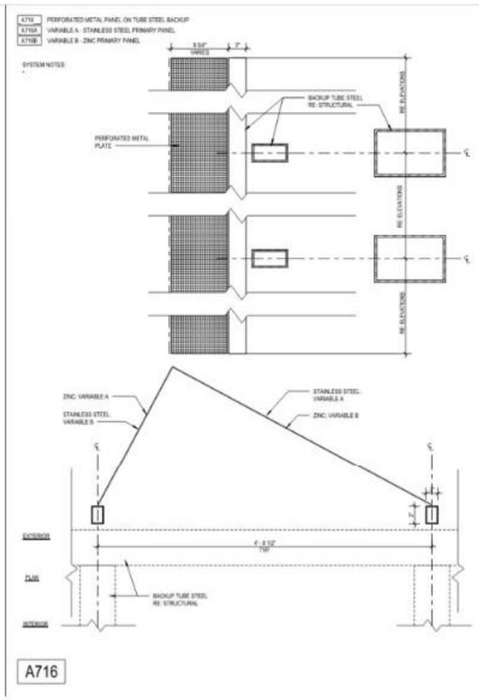
EXTERIOR MATERIALITY



TYPICAL PANEL DIVISIONS

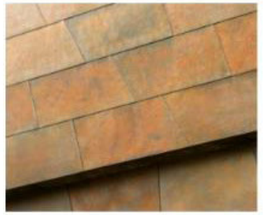


FLAT PANELS

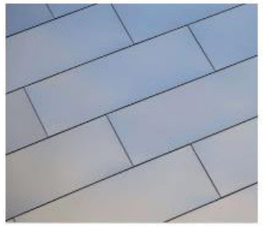


PERFORATED PANELS

METAL PANEL FINISHES



PREWEATHERED ZINC



BEAD BLASTED STAINLESS STEEL

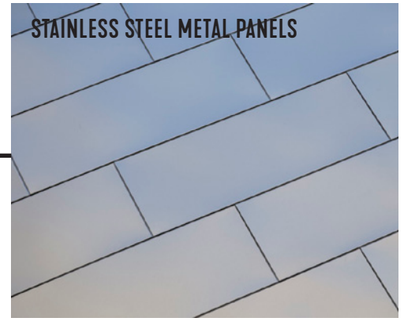
ALUMINUM PANEL FINISHES

RAL 8001 - MICA

FINISHED TO MA TCH PREWEATHERED ZINC TONE

DURANAR XL

FINISHED TO MATCH BEAD BLASTED STAINLESS STEEL



ZIPPER WALL BEHIND CHURCHILL WINDOWS

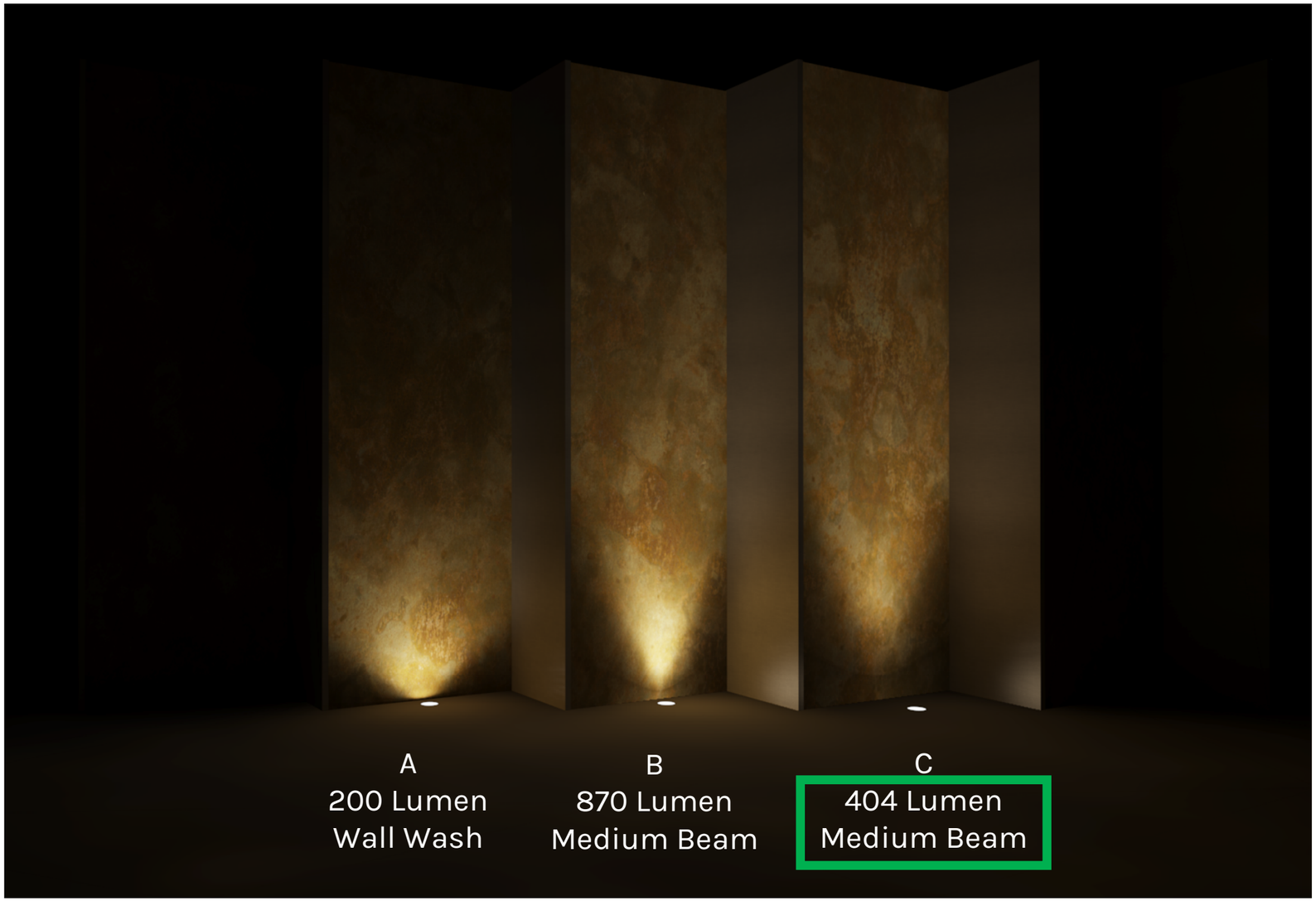
EXECUTIVE SUMMARY

As per Madison Wisconsin Code of Ordinances, Section 29.36 - Outdoor Lighting, all fixtures greater than 500 initial lumens must be full cutoff and shielded from direct view. This applies to fixture XL3, XL6, XL6A and XL7. XL3 is a flush mount paver accent light located within each sawtooth formation of the façade on the fourth floor. The purpose of this fixture is to highlight the primary architectural expression and material. To meet the code, XL3 was changed from a We-ef 591 lumen output LED ingrade to a similar We-ef 404 lumen ingrade fixture. The proposed lower lumen fixture has a medium beam optic, directing light onto the vertical element. This meets the ordinance without sacrificing the design intent. Fixture XL6 is a small-scale floodlight used to softly uplight trees. Fixture XL6A is the same as XL6, except with a wider beam distribution to backlight the perforated architectural screen paneling on the terrace. XL6 and XL6A have an initial lumens of 175 and 156 respectively, thereby compliant with city ordinance. XL7, which is used to illuminate the outdoor green wall on the fifth-floor terrace, is proposed to change to XL6. These adjustments and fixture selections meet the city's ordinance for outdoor lighting.

Point by point illuminance calculations are updated based on the latest lighting layout from 08.09.23. Per comments, and City of Madison Building Code – 29.36, type XL2 loading dock fixture has been modified to We-ef "RLS410 LED" full cut-off wall pack to achieve 1.5 fc average.

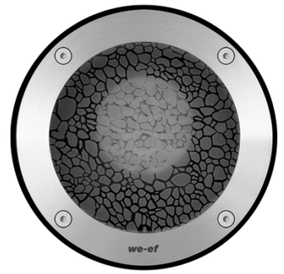
EXTERIOR LIGHTING COMPARISON

LUMEN OUTPUT AND DISTRIBUTION COMPARISON – 404 LUMEN MEDIUM BEAM RECOMMENDATION



A

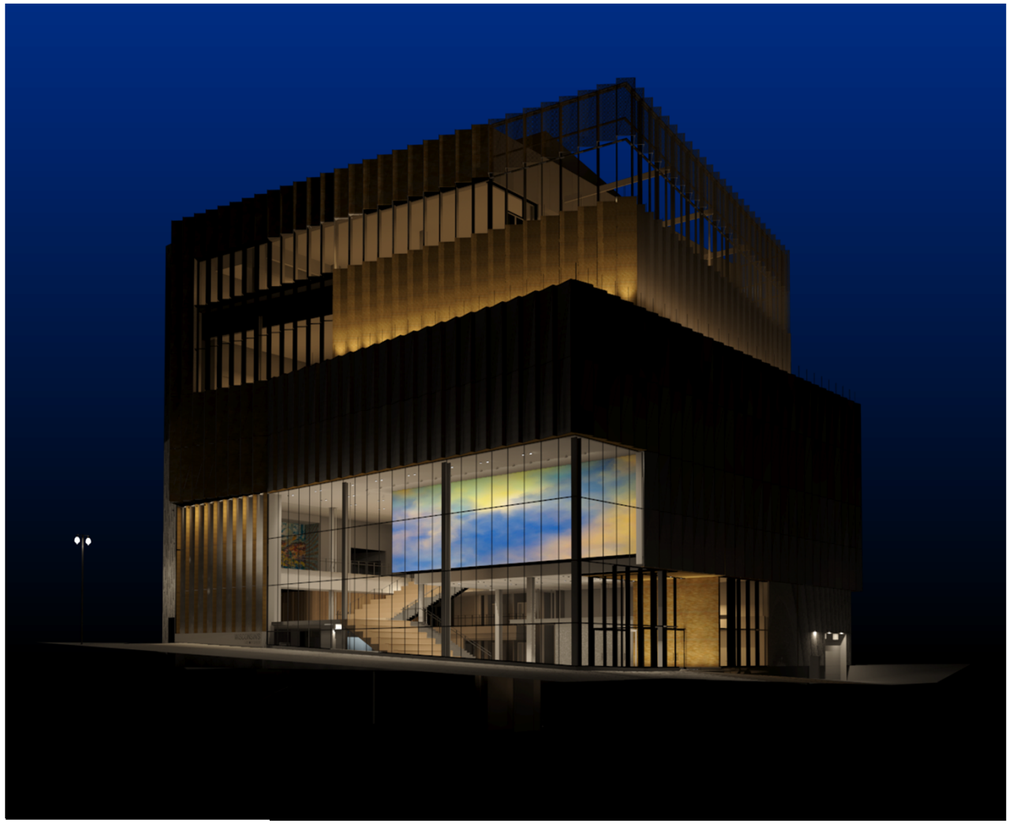
B

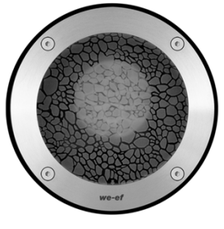


C

EXTERIOR LIGHTING COMPARISON

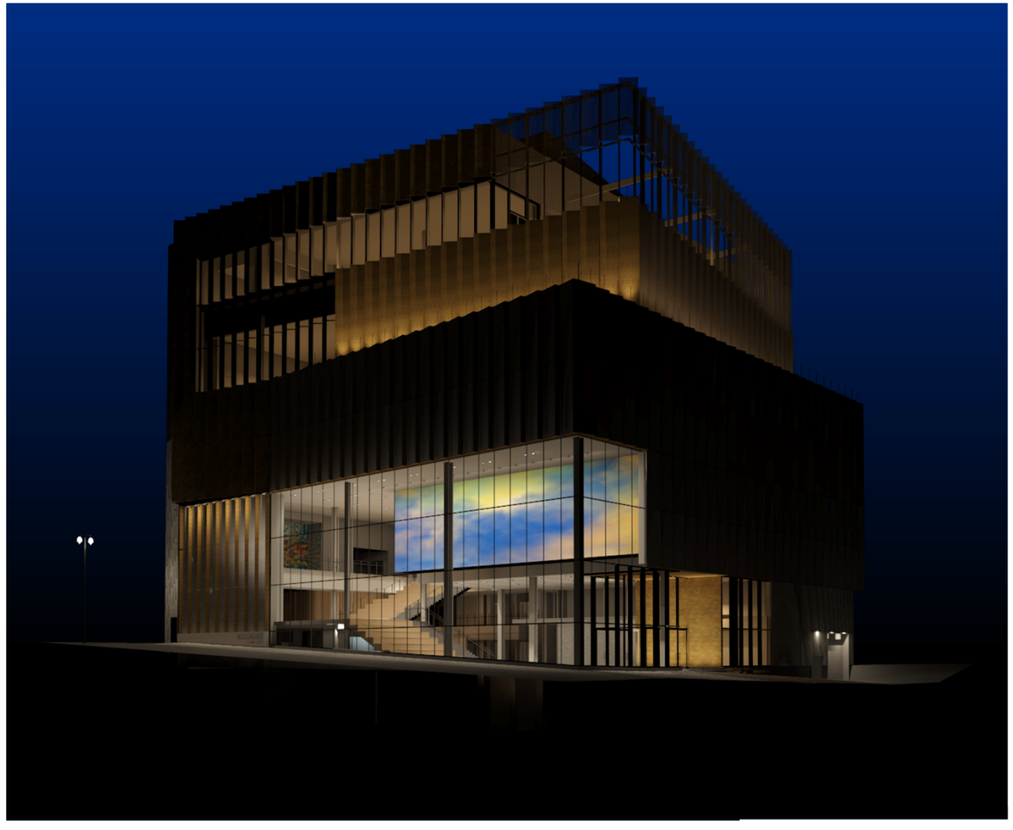
870 LUMEN UPLIGHT VS. 404 LUMEN UPLIGHT – PRESERVED EVENING EFFECT





870 Lumen
Medium Beam

Previously documented

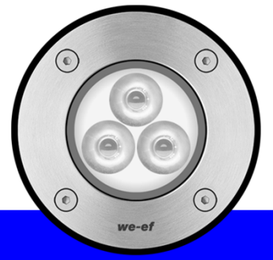


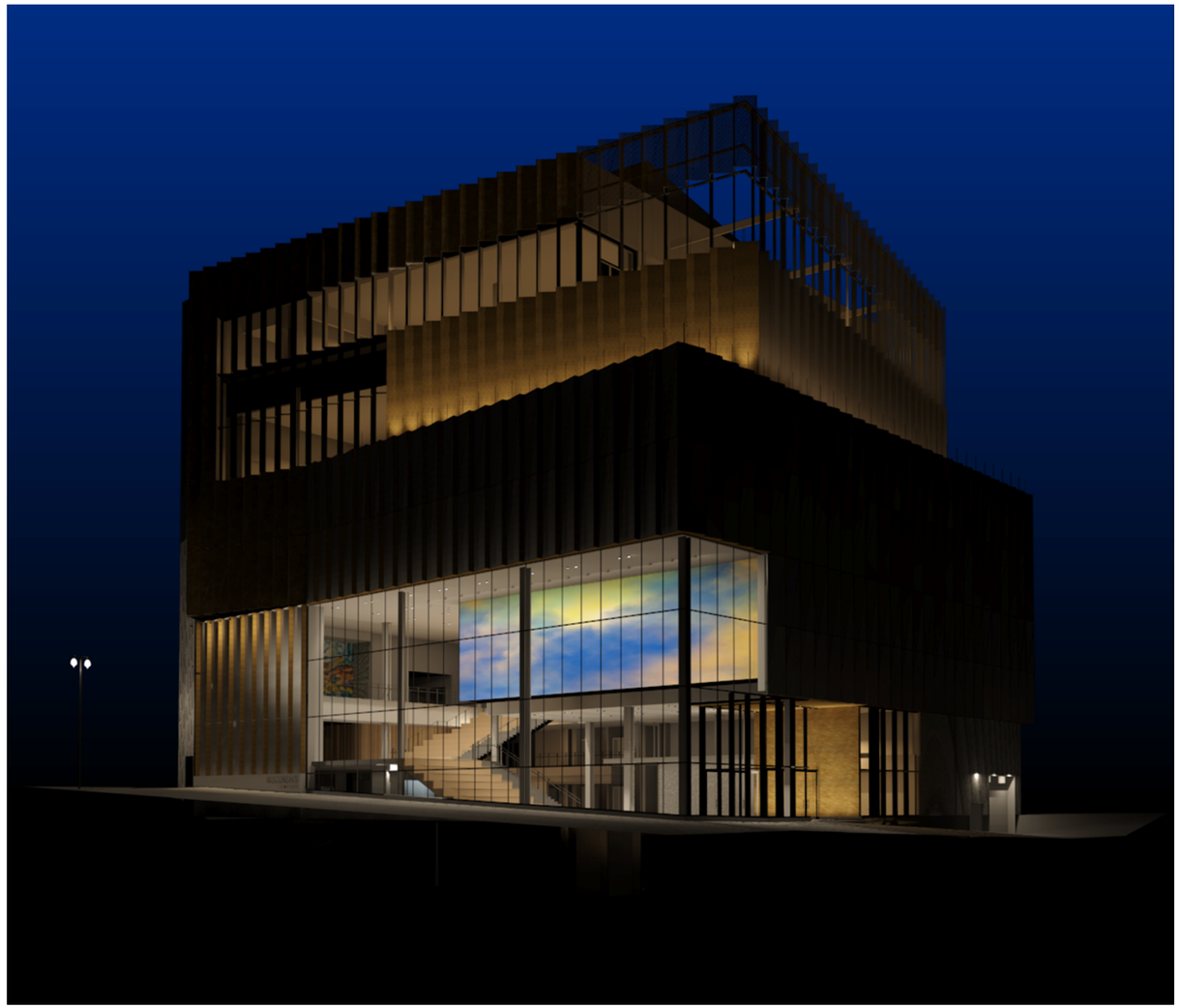
404 Lumen
Medium Beam

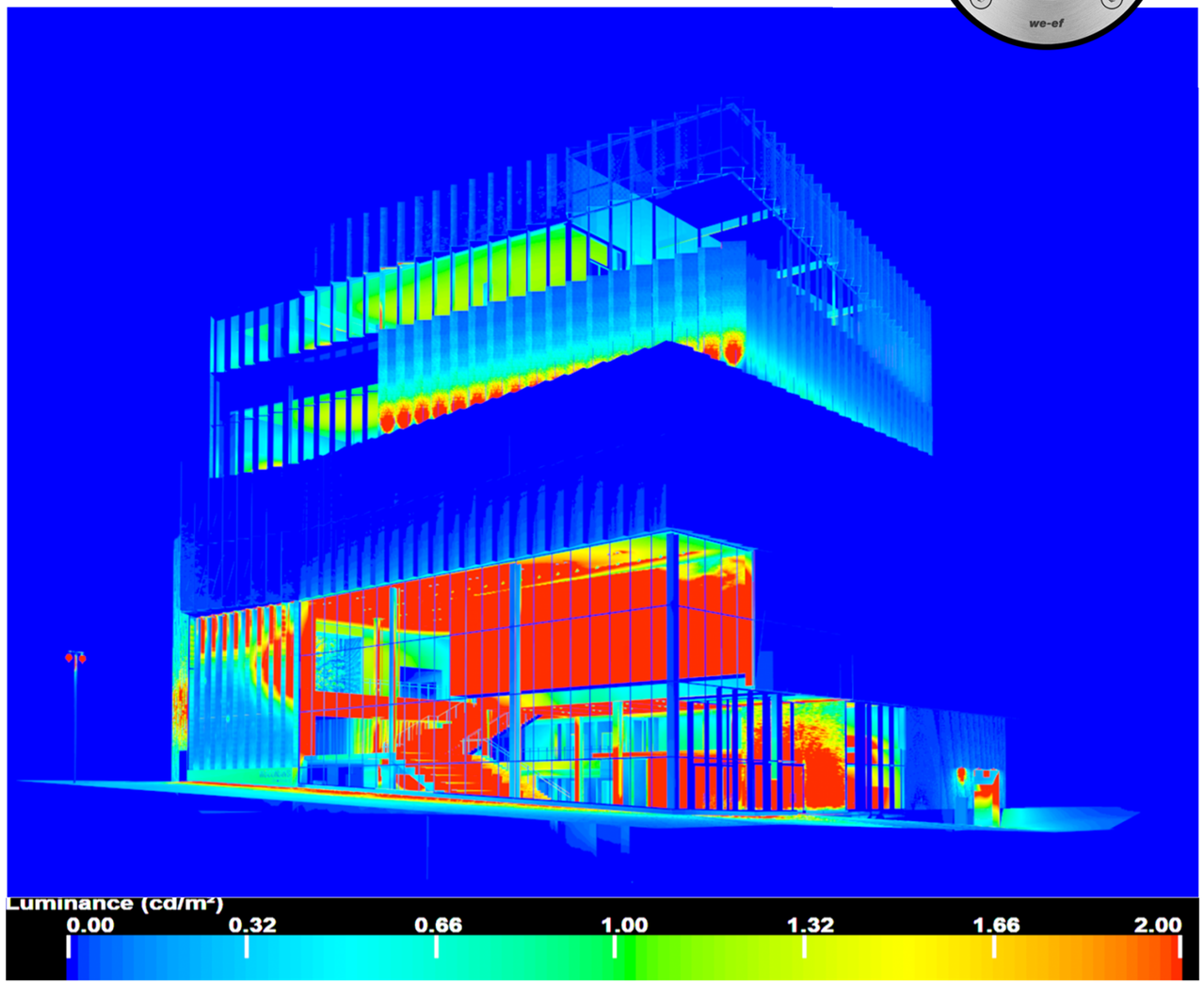
Recommended for compliance, maintained effect

EXTERIOR LIGHTING

PHOTOMETRICS WITH UPDATED FIXTURE FOR ORDINANCE COMPLIANCE | 404 LUMEN







continuum ARCHITECTS + PLANNERS SMITHGROUP

FIXTURE TYPE “XL3” PHOTOMETRIC STATISTICS

TERRACE FAÇADE LIGHTING

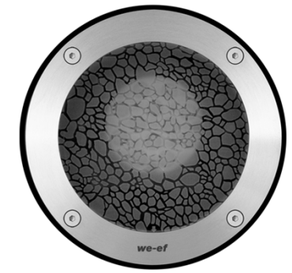
Previously documented

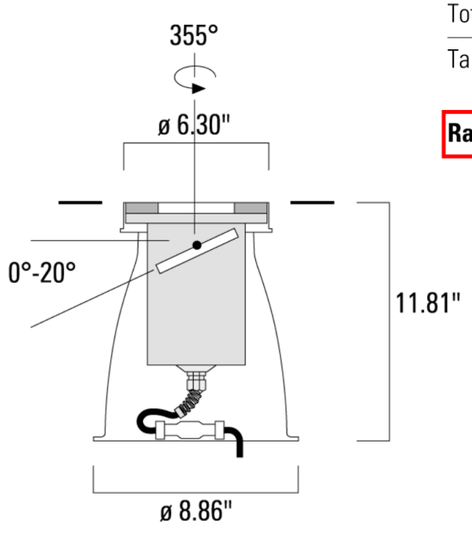
Beam Type	symmetric, medium beam [M]
Light Source	LED-3/6W / 700 mA - 3000 K
CRI	80
Gear Type	electronic gear

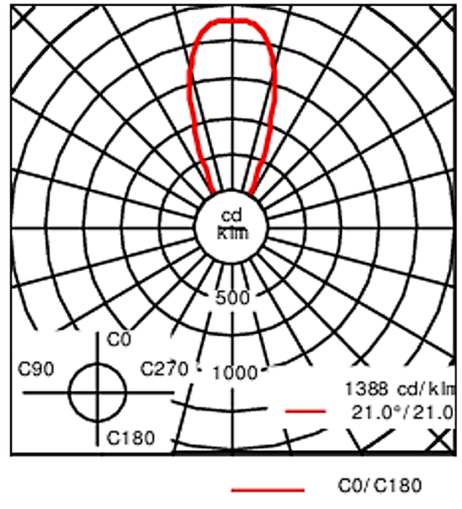
Nominal Luminous Flux (lm)	
LED Lumens	290 lm
LEDs	3
Total Lumens	870 lm
Tj	85 °C

Delivered Lumens Flux (lm)	
LED Lumens	197.3 lm
Total Lumens	591.9 lm
Ta	25 °C

Rated Input Power	7.5 W







continuum ARCHITECTS + PLANNERS SMITHGROUP

FIXTURE TYPE “XL3” PHOTOMETRIC STATISTICS

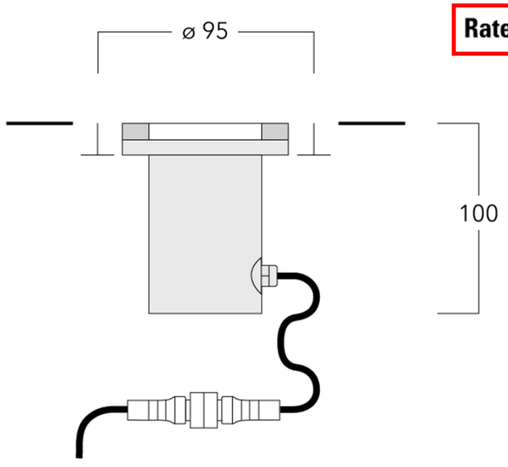
TERRACE FAÇADE LIGHTING

Beam Type	symmetric, medium beam [M]
Light Source	LED-3/3W / 24V AC/DC - 2700 K
CRI	80

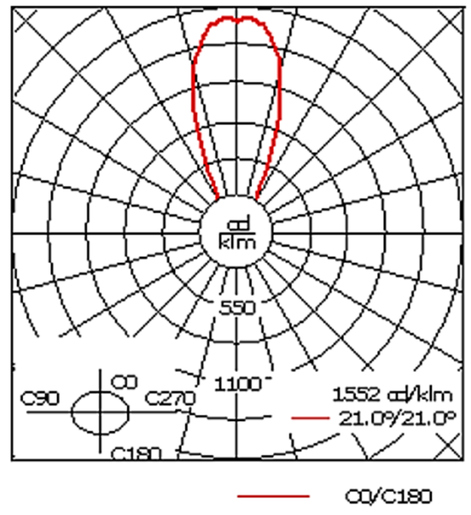
Nominal Luminous Flux (lm)	
LED Lumens	134.7 lm
LEDs	3
Total Lumens	404 lm
Tj	85 °C

Delivered Lumens Flux (lm)	
LED Lumens	102.4 lm
Total Lumens	307.1 lm
Ta	25 °C

Rated Input Power	3.8 W



Recommended for compliance, maintained effect



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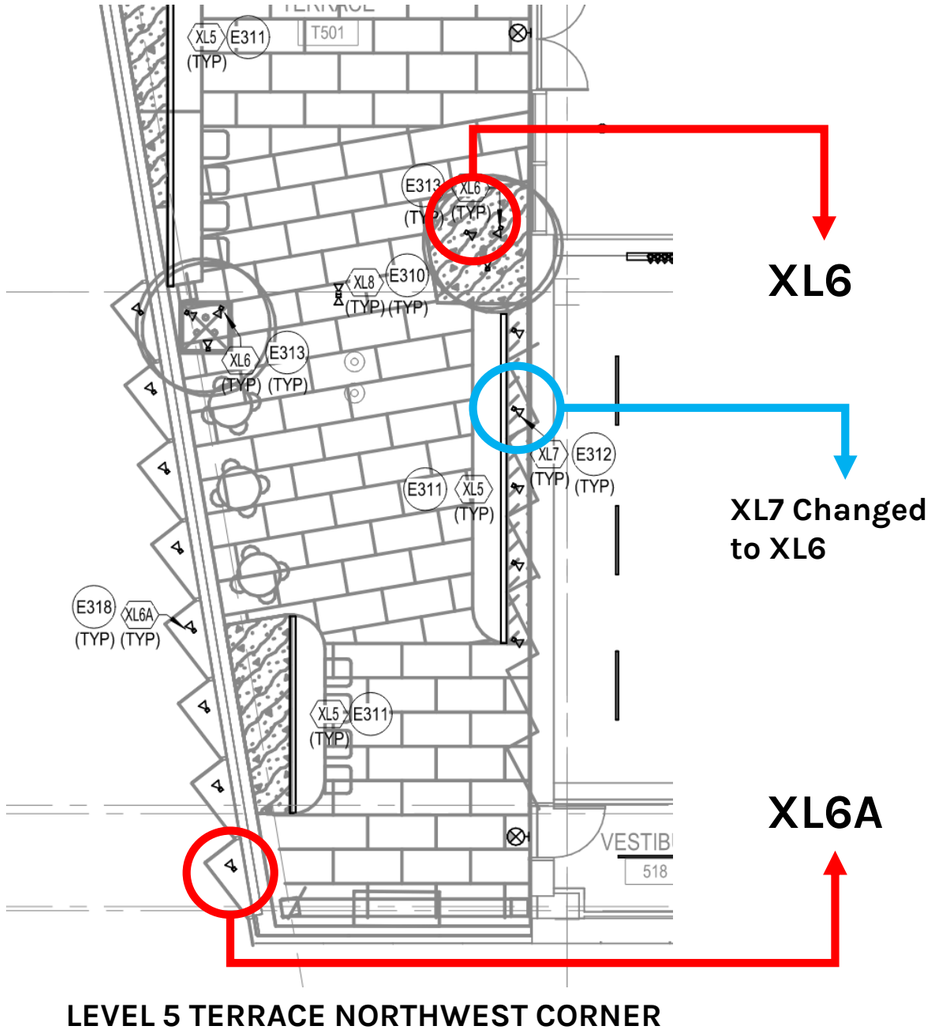
FIXTURE TYPE “XL6/XL6A” PHOTOMETRIC STATISTICS

TERRACE LIGHTING



LEVEL 5 TERRACE NORTHWEST CORNER

XL6

	LM79 DATA			L70 DATA	OPTICAL DATA		
BK No.	CCT (Typ.)	CRI (Typ.)	Input Watts (Typ.)	Minimum Rated Life (hrs.) 70% of initial lumens (L_{70})	Angle	CBCP	Delivered Lumens
e70	2700K	80	3	50,000	17°	1347	167
	2700K	80	3	50,000	21°	664	139
	2700K	80	3	50,000	28°	524	149
	2700K	~	3	50,000	17°x31°	613	151
e71	3000K	80	3	50,000	17°	1411	175
	3000K	80	3	50,000	21°	695	146
	3000K	80	3	50,000	28°	548	156
	3000K	~	3	50,000	17°x31°	642	158
	4000K	80	3	50,000	17°	1585	197

XL6A

	LM79 DATA			L70 DATA	OPTICAL DATA		
BK No.	CCT (Typ.)	CRI (Typ.)	Input Watts (Typ.)	Minimum Rated Life (hrs.) 70% of initial lumens (L_{70})	Angle	CBCP	Delivered Lumens
e70	2700K	80	3	50,000	17°	1347	167
	2700K	80	3	50,000	21°	664	139
	2700K	80	3	50,000	28°	524	149
	2700K	~	3	50,000	17°x31°	613	151
e71	3000K	80	3	50,000	17°	1411	175
	3000K	80	3	50,000	21°	695	146
	3000K	80	3	50,000	28°	548	156
	3000K	~	3	50,000	17°x31°	642	158
	4000K	80	3	50,000	17°	1585	197

LOADING DOCK | SITE LIGHTING

POINT BY POINT CALCULATION -CRITERIA

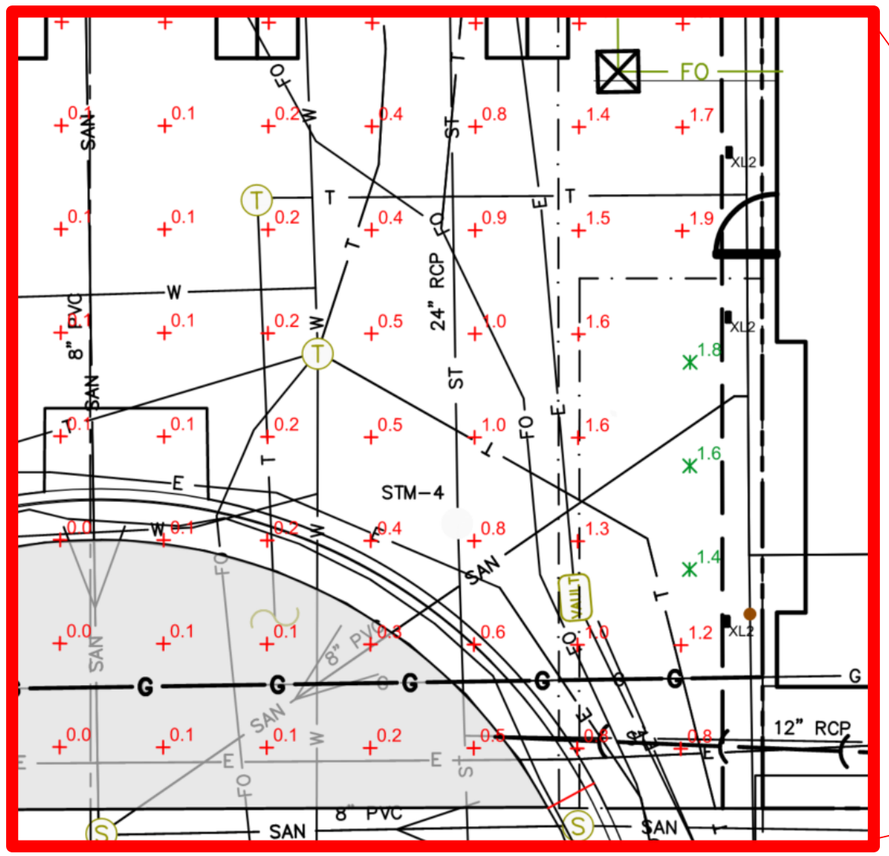
General Parking & Pedestrian Area					Vehicle Use Area (Driveway)		
Level of Activity	Min. Footcandles[1] on Pavement	Max Avg Footcandles on Pavement	Max Uniformity Ratio[1](Avg: Min)	Max. Watts[3]/ Sq. Foot Lighting Load[2]	Minimum Footcandles[1]on Pavement	Max Avg Footcandles on Pavement	Maximum Uniformity Ratio[1](Avg: Min)
High	0.6 fc	3.75 fc	5:1	.12	.67 fc	2.5 fc	5:1
Med	0.4 fc	2.5 fc	5:1	.10	.33 fc	1.5 fc	5:1
Low	0.2 fc	1.5 fc	5:1	.08	.125 fc	1.0 fc	5:1

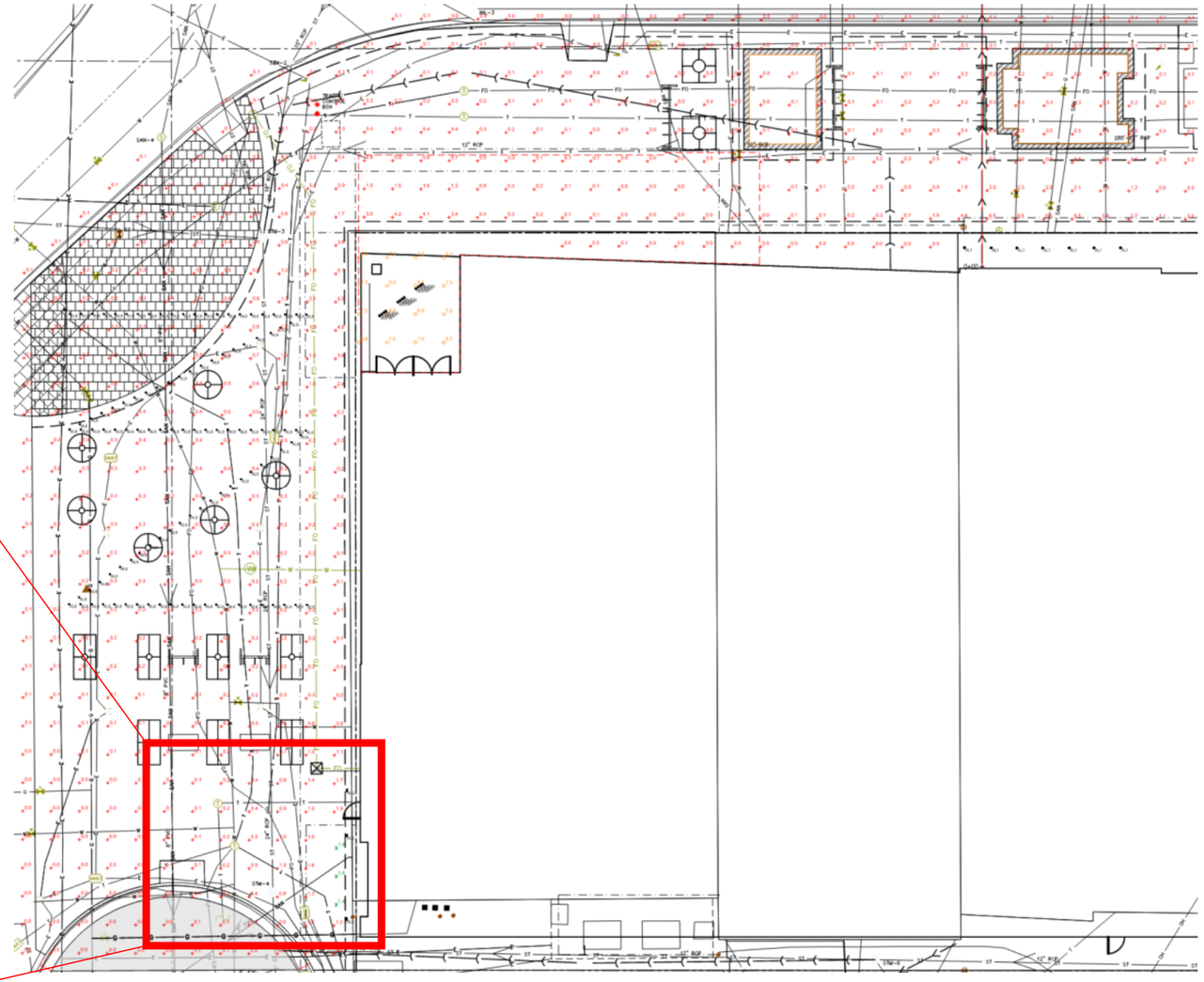
29.36 - OUTDOOR LIGHTING.

LOADING DOCK | SITE LIGHTING

POINT BY POINT CALCULATION

Statistics						
Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg
LOADING DOCK	✳	1.8 fc	1.4 fc	1.3:1	1.1:1	1.6 fc





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RLS410 LED

131-9960

XL2

Description

IP66. Class I. Class II on request. IK08. Marine-grade, die-cast aluminium alloy. 5CE superior corrosion protection including PCS hardware. Safety glass lens. Silicone CCG® Controlled Compression Gasket. Luminaire is factory-sealed and does not need to be opened during installation. Optional 2200 K version up to max. 1050mA available. To be specified at time of ordering. Integral EC electronic converter. Advanced thermal management protects LEDs while optimising lumens output. CAD-optimised optics for superior illumination and glare control. OLC® One LED Concept. Luminaire can be mounted for up or down lighting.

Beam Type	rectangular, 'side throw' [R45]
Light Source	LED-3/6W / 700 mA - 3000 K
CRI	80
Gear Type	EC

Nominal Luminous Flux (lm)

LED Lumens	290 lm
LEDs	3
Total Lumens	870 lm
Tj	85 °C

Rated Luminous Flux (lm)

LED Lumens	182.7 lm
Total Lumens	548.2 lm
Ta	25 °C

Rated Input Power	7.5 W

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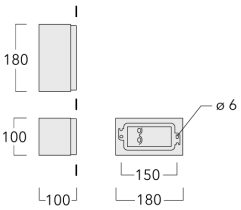
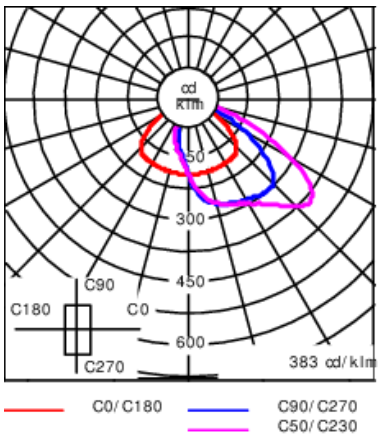
RLS410 LED

131-9960





Material Specification

Body:	Marine-grade, die-cast aluminium alloy
Weight (kg):	1.90
Lens:	Safety glass lens
Colours:	RAL9004 Signal black RAL9006 White aluminium RAL9007 Grey aluminium RAL7016 Anthracite grey RAL9016 Traffic white
Gasket:	Silicone CCG® Controlled Compression Gasket
Fasteners:	PCS Polymer Coated Stainless Steel Hardware
Ingress protection:	IP66
Impact protection:	IK08
Corrosion protection:	5CE
Surge protection:	1/2 kV

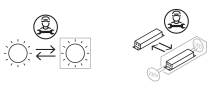
Electrical Specification

Power supply:	220-240V / 50-60 Hz
Power factor:	> 0.9
Driver / Ballast:	Standard. Optional DALI version available. To be specified at time of ordering.

Lifetime

Ta=25° L90B10 > 90000h

LED and LED driver can be exchanged by qualified personnel.

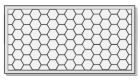


Optical Accessories

Honeycomb louvre
Honeycomb louvre. Suitable for luminaires with [E] light distribution. Factory-installed, must be specified at time of ordering.

Honeycomb louvre IW

131-9555



Control

DALI interface
The luminaire is equipped with a DT6 Dali driver (Dali 2.0). Dali 2.0 - Application controllers and Input devices defined - Single-masters and multi-masters allowed - Event priorities defined - Separate addressing & grouping from control gear Note: Mixing Dali 1 and Dali 2.0 drivers can cause problems because the addressing and the command scope has changed!

DALI interface

430-0013