

1 ENLARGED SITE PLAN SCALE: 1/8" = 1'-0"



3100 EAST WASHINGTON

Engberg Anderson Project No. 233606.00

SITE PLAN EXHIBIT SCALE: 1/8" = 1'-0"

MELVIN COURT

MADISON - 3100 EAST WASHINGTON DEVELOPMENT DATA								
UNIT TOTALS	(UNIT MIX	44.8% 1-	BD & 55.2%	6 2-BD)			PROJECT GRO	SS SQUARE FOOTAGES
	STUDIO	1BR	2BR	3BR	TOTAL			
1ST FL	0	14	17	0	31		BLDG 01	GSF / FLOOR
2ND FL	0	18	22	0	40		LL	43,374
3RD FL	0	18	22	0	40		1ST FL	42,365
4TH FL	0	18	22	0	40		2ND FL	42,291
5TH FL	0	18	23	0	41		3RD FL	42,291
SUBTOTAL	0	86	106	0			4TH FL	42,291
TOTAL					192		5TH FL	42,291
				0 = 0				
PARKING TO	TALS (UNIT	TOSTAL	LL RATIO 1.	:0.74)	BIKE PARKING	i	TOTAL	254,903 GSF
LOWER LEVEL 89			192					
SURFACE			53		26 GUEST SI	PACES		
TOTAL 142								





GENERAL NOTES - ZONING GENERAL NO CITY OF MADISON CITY OF MADISON STANDARD REQUIRED (MIN.) PROVIDED NOTES STANDARD AUTOMOBILE NO MINIMUM 89 (LOWER LEVEL) LOT AREA REQ. PER ZONING PARKING 53 (SURFACE) LOT WIDTH 142 FRONT YARD SETBACK **BIKE PARKING** 1 PER BEDROOM 192 LONG TERM (*UP TO 2BD*) + 1 **GUEST SPACE** 26 GUEST PER 10 UNITS 218 SIDE YARD ELECTRIC VEHICLE CHARGING TOTAL PARKING SETBACK EV READY 14 EV READY SPACES: 17 SPACES: 10% 1 EV INSTALLED SPACE TO BE STATIONS REAR YARD EV INSTALLED 3 EV INSTALLED SPACES: 2% SETBACK ACCESSIBLE MAXIMUM LOT BIRD SAFE GLASS ALL GLAZING PANELS ARE CHAPTER 28, COVERAGE SUBCHAPTER 281 28.129 UNDER 50 SQ FT MINIMUM HEIGHT (THRESHOLD FOR BIRD-SAFE GLASS) STEPBACKS USABLE OPEN

1. COMMERCIAL CORRIDOR 2. TRANSIT ORIENTED DEVE REC 500 \$ 40 FT. 0' (CC 30% 20 F 10 FT 20 F 85% 2 ST MAXIMUM HEIGHT 5 ST N/A

SPACE

NOTES - ZONING						
RIDOR - TRANSITIONAL DISTRICT D DEVELOPMENT OVERLAY DISTRICT						
REQUIRED (MIN.)	PROVIDED	NOTES				
500 SQ. FT./ UNIT	501 SQ. FT./ UNIT	PER CCT DISTRICT				
40 FT.	132.54 FT. (WIDTH)	190.87 <i>LENGTH</i>				
0' (CCT DISTRICT)	18' (E. WASHINGTON)	MAJORITY OF E. WASHINGTON IS 18'				
30% OF FACADE @ 20 FT.(TOD)	0' (30% OF E. WASH & MELVIN)	FROM PROPERTY LINE. PROPERY LINE IS >15' FROM STREET				
10 FT.	10'-0"	ABERG RAMP & ADJACENT RESIDENTIAL LOTS				
20 FT	20'-0"	RIDGEWAY AVENUE				
85% (MAX.)	44%					
2 STORIES	5 STORIES	PER TOD				
5 STORIES	5 STORIES	PER CCT				
N/A	N/A					
PER TOD: USABLE OPEN SPACE IS NOT REQUIRED	GRADE LEVEL >9500 SQ FT	192 UNITS				
PER CCT: 40 SF/UNIT (40*192= 7,680 SF)						







ARCHITECTURAL SITE PLAN

CHECKED BY

DRAWN BY

Author Checker

DATE

08/07/23

ISSUED FOR: LAND USE APPLICATION

REVISION FOR:

NO. DESCRIPTION

KENOSHA, WI 53142

PROJECT NUMBER

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE BEAR DEVELOPMENT

MADISON, WI 53704 OWNER 4011 80TH STREET

233606.00

derson ARCHITECTS MILWAUKEE | MADISON | TUCSON | CHICAGO

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LOWER LEVEL PLAN





GENERAL NOTES - FLOOR PLANS

- 887'-0" CIVIL = 100'-0" ARCHITECTURAL
 DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
- DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
 DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
- 5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL,
- UNLESS NOTED OTHERWISE. 6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
- 7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS. 8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR
- ASSEMBLIES.
- MECHANICAL EQUIPMENT FOR COODINATION ONLY.
 10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION. 11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH
- INFORMATION. 12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH
- PRODUCT MANAUFACTURERS. 13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER
- AND FIRE EXTINGUISHER CABINET LOCATIONS. 14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND



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FIRST FLOOR PLAN





G	ENERAL NOTES - FLOOR PLANS
1.	887'-0" CIVIL = 100'-0" ARCHITECTURAL
2.	DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO
3.	DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE
	TO EXTERIOR FACE OF SHEATHING.
4.	DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF
	FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5.	4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL,
	UNLESS NOTED OTHERWISE.
6.	REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR
-	TAGS.
1.	UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22
	AND UNIT TO CORRIDOR WALLS ARE TIPE RZZ. SEE WALL TIPES
8	REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR
0.	ASSEMBLIES.
9.	MECHANICAL EQUIPMENT FOR COODINATION ONLY.
10.	DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED
	UNIT PLANS FOR DWELLING UNIT INFORMATION.
11.	SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH
	INFORMATION.
12.	VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH
40	PRODUCT MANAUFACTURERS.
13.	
11	

- 14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
- MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
 ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.





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TYPICAL FLOOR PLAN



1 (A401)

0 8' 16'



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SCALE: 1/16" = 1'-0"









4 SOUTHWEST ELEVATION - DESIGN SCALE: 1/16" = 1'-0"



EAST ELEVATION 1 - DESIGN SCALE: 1/16" = 1'-0"

	LFC SIDING 1	\neg		G
PATIO SLIDEIX				
FC SIDING 4				
FC SIDING 2				
VINYL PREFINISHED				
FC SIDING 3				_
PREFABRICATED HUNG BALCONY SYSTEM				
MASONRY (RUNNING BOND)				



MASONRY (RUNNING BOND)

ALUMINUM STOREFRONT _____ CONCRETE _____

PREFABRICATED HUNG BALCONY SYSTEM

FC SIDING 2 -FC SIDING 3

FC SIDING 4

VINYL PREFINISHED _ WINDOW

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE)

MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR) FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR) FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR) FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR) FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)





0 8' 16'

0 8' 16'



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3 NORTH ELEVATION 2 - DESIGN SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



WEST ELEVATION INSET 2 - DESIGN SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE) MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR) FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR) FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR) FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR) FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

0 8' 16'

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SCALE: 1/16" = 1'-0"

— FC SIDING 1

0 8' 16'

4 SOUTHWEST ELEVATION - DESIGN SCALE: 1/16" = 1'-0"

VINYL PREFINISHED

PATIO SLIDER -

EAST ELEVATION 1 - DESIGN SCALE: 1/16" = 1'-0"

- FC SIDING 5

VINYL PREFINISHED PATIO SLIDER	LFC SIDING 1	FC SIDING 2	- FC SIDING 5
FC SIDING 4			
VINYL PREFINISHED			
FC SIDING 3			
PREFABRICATED HUNG BALCONY SYSTEM			
MASONRY (RUNNING BOND)			

MASONRY (RUNNING BOND)

ALUMINUM STOREFRONT CONCRETE

FC SIDING 2 -FC SIDING 3 PREFABRICATED HUNG BALCONY SYSTEM

FC SIDING 4 VINYL PREFINISHED _ WINDOW

	0 8' 16'
A501 FC SIDING 4	
FC SIDING 3	FC SIDING 1
	HIGH PARAPET
	МАІЛ ROOF 157'-1"
	LEVEL FIVE 146 4
	9-1-1-1 1-2-1
	LEVEL FOUR 134'-0"
	LEVEL THREE 122'-8"
	89 - U [*]

WINDOWS: BOD: PREFINISHED VINYL (WHITE) MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR) FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR) FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR) FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

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WEST ELEVATION INSET 1 - DESIGN SCALE: 1/16" = 1'-0"

WEST ELEVATION INSET 2 - DESIGN SCALE: 1/16" = 1'-0"

0 8' 16'

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE) MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR) FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR) FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR) FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR) FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

0 8' 16'

0 8' 16'

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GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- 2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION
- MATCH EXISTING GRADES AT CONSTRUCTION LIMITS. 4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND
- DISTURBANCE BEYOND PROPERTY LINES.
- 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- . THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S /BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS. INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS. IN THEIR OPINION. MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT F LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE
- 2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS. 3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED
- OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE. 4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND
- ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- 5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED. 6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR: EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION. 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK
- SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
- 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES. 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION. 8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER
- OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE 9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- 10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- 11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- 12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL. 13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- 14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- 15. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS. 16. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD
- SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS. 17. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR
- OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS. 18. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- 19. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL". 20. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL.

CONSTRUCTION SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.

THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

- 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- PROTECTION
- 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- GENERAL
- & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY FIRM DATED DATE.
- 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
- 1.3. SURFACE PREPARATION NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT
- BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
- 2.1. CODES AND STANDARDS THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
- 2.2. WEATHER LIMITATIONS APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C)AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F(1°C)FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
- 2.3. GRADE CONTROL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
- 2.4. CRUSHED AGGREGATE BASE COURSE THE TOP LAYER OF BASE COURSE SHALL CONFORM TO
- SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
- SECTIONS 460 AND 315. STATE HIGHWAY SPECIFICATIONS.
- 2.6. SURFACE COURSE AGGREGATE THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM D SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS. 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460,
- STATE HIGHWAY SPECIFICATIONS. 3. <u>CONCRETE PAVING SPECIFICATIONS</u>
- 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND
- 416 OF THE STATE HIGHWAY SPECIFICATIONS. 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER
- REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
- 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER
- CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER. 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT. 4. PAVEMENT MARKING SPECIFICATIONS
- 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
- 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
- GRADING AND SEEDING NOTES
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH 1 BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFET AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- 3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING
- WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- 6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN. . CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS
- WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL. 9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING. 10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE
- 11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR. REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

- 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS 4. INSTALL UTILITY PIPING, STRUCTURES, AND UNDERGROUND DETENTION, IMMEDIATELY INSTALL INLET

UTILITY NOTES

1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY

- 2.5. BINDER COURSE AGGREGATE THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO
- 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
- 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION. THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO
- THE START OF CONSTRUCTION. OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY. • VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY
- DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION
- OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER
- AND WATER CONSTRUCTION IN WISCONSIN AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES. 4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS. 7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY
- 8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER,
- OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF
- REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES. 12. STORM SEWER SPECIFICATIONS -
- PIPE REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL—WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE
- INLETS INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE. NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL. BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS
- "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH
- TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER. 13. WATER MAIN SPECIFICATIONS -
- PIPE DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET T REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h)
- VALVES AND VALVE BOXES GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES. HYDRANTS — HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
- BEDDING AND COVER MATERIAL PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS". BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0
- OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". 14. SANITARY SEWER SPECIFICATIONS -
- PIPE SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
- BEDDING AND COVER MATERIAL BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
- MANHOLES MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON. MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- 15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- 16. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(H), SPS 382.36(7)(C)10., AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.

EROSION CONTROL NOTES

- APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- PRIOR TO DEVIATION OF THE APPROVED PLAN.
- REQUEST
- . INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER
- REPLACED IMMEDIATELY UPON INSPECTION.
- SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- DEPOSITION WITHIN STORM SEWER SYSTEMS.
- "TACKIFIFR."
- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED 1052 AND 1053.
- OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068. COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES
- REQUIREMENTS

7. <u>STABILIZ</u>	ATION PRACTICES:
17.1.	STABILIZATION MEASURES SHALL BE THE SITE WHERE CONSTRUCTION ACT NO MORE THAN SEVEN (7) DAYS SH PORTION OF THE SITE HAS CEASED U
17.2.	THE INITIATION STABILIZATION MEASU ACTIVITY HAS CEASED IS PRECLUDE SHALL BE INITIATED AS SOON AS PR
17.3.	CONSTRUCTION ACTIVITY WILL RESUM DAYS FROM WHEN ACTIVITY CEASED, ACTIVITY IS TEMPORARILY CEASED IS STABILIZATION MEASURES DO NOT H
17.4.	STABILIZATION MEASURES SHALL BE OF CONSTRUCTION ACTIVITY HAS CONDITIONS AND LENGTH OF TIME ACCEPTABLE STABILIZATION MEASURE: • PERMANENT SEEDING; IN ACCO • TEMPORARY SEEDING; MAY CO OR CEREAL RYE (150LB/ACRE)
	 GEOTEXTILE EROSION MATTING SODDING

STORMWATER FACILITIES CONSTRUCTION NOTES ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES.

- FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
- CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.

CITY FORESTRY NOTES

- TO A TREE REMOVAL PERMIT BEING ISSUED.
- SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:
- HTTPS: //WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
- ZONE IS PROHIBITED.

REQUIRED

- 5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL
- 6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING STANDARDS FOR PRUNING.
- ADDITIONAL STREET TREES ARE NEEDED FOR THIS PROJECT. TREE PLANTING SPECIFICATIONS CAN BE FOUND IN SECTION 209 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS PROJECT BOUNDARIES.

CITY TRAFFIC ENGINEERING NOTES

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF DEPARTMENT.

CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND

2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE

5. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED FROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON

4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF

WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. 6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR

7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED. . PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR

INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT

10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A

11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION. 12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. . DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM 13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING

WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION

15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NO

16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WONR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WONR

> SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF RUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. 7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT S CEASED UNLESS ATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SOON AS PRACTICABLE. WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) TY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION CEASED IS LESS THAN FOURTEEN (14) DAYS IN THAT EVENT DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIN VITY HAS CEASED. INCLUDING BUT NOT LIMITED TO WEATHER OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE N MEASURES: IG: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION NG; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT 150LB/ACRE) WITH A TACKIFIER

CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER 4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES. 6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER

INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR

AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY. THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION

3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE

SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES. CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION

BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND. EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1

CONSTRUCTION (WEBSITE: <u>HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM</u>) - ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT OF WAY SHALL BE DETERMINED BY CITY FORESTRY, A LANDSCAPE PLAN AND STREET TREE PLANTING PLAN SHALL BE SUBMITTED IN PDE FORMAT TO CITY FORESTRY FOR APPROVAL OF PLANTING LOCATIONS WITHIN THE RIGHT OF WAY AND TREE SPECIES. ALL AVAILABLE STREET TREE PLANTING LOCATIONS SHALL BE PLANTED WITHIN THE

8. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING

LEGEND

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_____W_____ DELETION SEWER [///] RIP-RAP

EROSION MATTING

FG: XXX.XX

PROPERTY LINE
RIGHT-OF-WAY
EASEMENT LINE
BUILDING OUTLINE
BUILDING OVERHANG
BUILDING SETBACK LINE
SAWCUT EXISTING PAVEMENT
DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
DEMOLITION - PAVEMENT MILL AND OVERLAY
DEMOLITION - REMOVAL OF RETAINING WALL
DEMOLITION - REMOVAL OF ASPHALT SURFACES
DEMOLITION - REMOVAL OF CONCRETE SURFACES
DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURE
DEMOLITION - REMOVAL OF UTILITIES
DEMOLITION - REMOVAL OF LANDSCAPE BEDDING

PROTECT EXISTING TREE

TREE REMOVAL SHRUB REMOVAL EDGE OF PAVEMENT STANDARD CURB AND GUTTER REJECT CURB AND GUTTER MOUNTABLE CURB AND GUTTER 8" CONCRETE RIBBON CURB ASPHALT PAVEMENT CONCRETE PAVEMENT HEAVY DUTY CONCRETE PAVEMENT PROPOSED 1 FOOT CONTOUR PROPOSED 5 FOOT CONTOUR EXISTING 1 FOOT CONTOUR EXISTING 5 FOOT CONTOUR DRAINAGE DIRECTION GRADE BREAK RETAINING WALL RAILING FENCE LIGHT POLE (REFER TO PHOTOMETRIC PLAN) ADA PARKING SIGN BOLLARD BOLLARD WITH ADA PARKING SIGN BIKE RACK SANITARY SEWER WATERMAIN 8'x4'x4" INSULATION (PLAN VIEW) 8'x4'x4" INSULATION (PROFILE VIEW) CONSTRUCTION ENTRANCE TURF REINFORCEMENT MATTING SPOT ELEVATION EP - EDGE OF PAVEMENT

FG – FINISH GRADE EC – EDGE OF CONCRETE BOC – BACK OF CURB MATCH - MATCH EXISTING GRADE HP - HIGH POINT SW – SIDEWALK DITCH CHECK

INLET PROTECTION

MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

ISSUED FOR:

LAND USE APPLICATION

REVISION FOR: NO. DESCRIPTION 08/07/23

DATE

DRAWN BY CHECKED BY

Author Checker

NOTES AND LEGEND

)	
	SAWCUT EXISTING PAVEMEN
	DEMOLITION - REMOVAL OI SURFACES AND BASE CO
	DEMOLITION - PAVEMENT

	SURFACES AND BASE COURSE
	DEMOLITION - PAVEMENT MILL AND OVERLAY
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
XXXX	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURE
	DEMOLITION - REMOVAL OF UTILITIES
\succ	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING

3100 EAST WASHINGTON

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DEMOLITION PLAN

SITE INFORMATION BLC	OCK
PROPERTY ACREAGE	2.208 ACRES
1ST FLOOR BUILDING SQUARE FOOTAGE	254,903 SF
GROSS BUILDING SQUARE FOOTAGE	254,903 SF
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	49
ACCESSIBLE	4
TOTAL SURFACE	53
UNDERGROUND	
LARGE	87
ACCESSIBLE	2
TOTAL UNDERGROUND	89
NUMBER OF BICYCLE STALLS:	
SURFACE	26
UNDERGROUND	192
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	66,263 SF
EXISTING PERVIOUS SURFACE AREA	29,898 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.689
PROPOSED IMPERVIOUS SURFACE AREA	69.424 SF
PROPOSED PERVIOUS SURFACE AREA	26.737 SF
	0.70

CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO

MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

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SITE PLAN - ANNOTATED

EAST WASHINGTON AVENUE (WB) U.S.H. 151

ST

ST

MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

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SITE PLAN - DIMENSIONED

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

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LAND USE APPLICATION

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DATE

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Author

Checker

SITE PLAN - COURTYARD

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

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GRADING AND EROSION CONTROL

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

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Author Checker

DETAILED GRADING

PROPOSED SANITARY SEWER STRUCTURE TABLE							
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE		
SAN-1	876.08	NE INV: 871.48 (8") NW INV: 871.48 (8") SE INV: 871.48 (8")	4.6	48 IN MH	R-1550 SOLID LID		
SAN-2	876.58	NE INV: 871.98 (8") SE INV: 871.98 (8")	4.6	48 IN MH	R-1550 SOLID LID		
SAN-3	879.15	NW INV: 874.54 (8") SW INV: 874.54 (8")	4.6	48 IN MH	R-1550 SOLID LID		

	PROPOSED SANITARY SEWER PIPE TABLE								
LABEL	FROM	то	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL		
SANP-1		SAN-1	135'	868.66	871.48	2.08%	8 IN PVC		
SANP-2	SAN-1	SAN-2	48'	871.48	871.98	1.04%	8 IN PVC		
SANP-3	SAN-2	SAN-4	11'	871.98	872.10	1.04%	8 IN PVC		
SANP-4	SAN-1	SAN-3	294'	871.48	874.54	1.04%	8 IN PVC		
SANP-5	SAN-3	SAN-5	12'	874.54	874.69	1.21%	8 IN PVC		

PROPOSED STORM SEWER STRUCTURE TABLE									
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE				
AD-1	885.85	NE INV: 879.45 (6")	6.4	12 IN DB	Standard Standard				
AD-2	886.10	SW INV: 878.82 (6") NE INV: 878.82 (6")	7.3	12 IN DB	Standard Standard				
EXMH-7 (3)	880.03	SW INV: 878.20 (18")	1.8	3'X3' BOX	R–2050 TYPE D				
EXMH-13	883.16	NW INV: 874.00 (18")	2.2	48 IN MH (FLAT)	R-1550 SOLID LID				
INL-3	881.72	SW INV: 877.64 (6") E INV: 877.64 (18") NW INV: 877.64 (18")	4.1	36 IN MH (FLAT)	R-2050 TYPE D				
INL-4	881.78	NE INV: 877.76 (18") S INV: 877.76 (8") W INV: 877.76 (18")	4.0	2 x 3 INLET	R-3067 TYPE L				
INL-5	883.00	SW INV: 878.26 (18") E INV: 880.50 (18")	4.7	2 x 3 INLET	R-3067 TYPE L				
MH-9	885.52	NW INV: 877.50 (12")	8.0	36 IN MH (FLAT)	R–2050 TYPE D				
MH-10	885.73	SW INV: 877.50 (24") NE INV: 877.50 (24") SE INV: 877.50 (12")	8.2	60 IN MH (FLAT)	R-1550 SOLID LID				
MH-11	885.12	NE INV: 875.92 (24") N INV: 881.55 (12") SW INV: 875.92 (24")	9.2	48 IN MH (FLAT)	R-1550 SOLID LID				
MH-12	879.76	NE INV: 875.25 (24") SE INV: 875.25 (18")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID				
MH-16	884.03	W INV: 878.45 (18") NE INV: 878.20 (18")	5.8	48 IN MH	R-2050 TYPE D				
TD-6	881.14	N INV: 877.92 (8")	1.2	10"X16' TRENCH	GRATE COVER				

LABEL	FROM
EXP-1	MH—11
P-1	AD-2
P-2	INL-3
P-3	CHAMBER-1
P-4	INL-4
P-5	INL-4
P-6	INL-4
P-7	CHAMBER-3
P-8	MH-11
P-9	MH-12
P-10	EXMH-13
P-11	MH-10
P-12	MH-10
P-13	MH-16
P-14	MH-16
P-15	MH-10
P-16	

PROPOSED STORM SEWER PIPE TABLE								
то	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SIZE & MATERIAL				
EXINL-14	38'	881.55	883.66	5.55%	12 IN RCP			
AD-1	65'	878.82	879.45	0.96%	6 IN HDPE			
AD-2	106'	877.64	878.82	1.12%	6 IN HDPE			
INL-3	35'	877.50	877.64	0.40%	18 IN HDPE			
INL-3	40'	877.76	877.64	0.30%	18 IN HDPE (HP)			
INL-5	168'	877.76	878.26	0.30%	18 IN HDPE			
TD-6	40'	877.76	877.92	0.40%	8 IN HDPE			
6 RD-8	50'	877.50	882.00	9.01%	10 IN HDPE			
MH-15	105'	875.92	877.01	1.04%	24 IN RCP			
MH-11	64'	875.25	875.92	1.04%	24 IN RCP			
MH-12	120'	874.00	875.25	1.04%	18 IN RCP			
MH-9	9'	877.50	877.50	0.00%	12 IN HDPE			
CHAMBER-2	6'	877.50	877.50	0.00%	24 IN HDPE			
INL-5	47'	878.45	880.50	4.39%	18 IN HDPE			
EXMH-7	10'	878.20	878.35	1.50%	18 IN HDPE			
MH-15	35'	877.50	875.50	5.67%	24 IN RCP			
	71'	878.50	877.50	1.40%	10 IN HDPE			

UTILITY PLAN

CHECKED BY

DRAWN BY

Author Checker

DATE

REVISION FOR:

ISSUED FOR: LAND USE APPLICATION

NO. DESCRIPTION

OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142 PROJECT NUMBER

3100 E WASHINGTON AVENUE

MADISON, WI 53704

JSD

3100 EAST WASHINGTON

08/07/23

233606.00

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

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DETAILS - EROSION CONTROL

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

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DETAILS - UTILITIES

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

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LAND USE APPLICATION

REVISION FOR: NO. DESCRIPTION 08/07/23

DATE

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Author Checker

DETAILS - SITE

																1		
PLANT SCHEDULE						DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		CALO	Calamagrostis ;	x acutiflora 'Overdam'	#1	Min 8"-18"	112
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	•	ARME	Aronia melanocarpa 'Morton' TM Iroauis Beauty Black Chokeberry	#3	Min. 12"-24"	31	1						
and the second s	PIGLD	Picea glauca 'Densata' Black Hills Spruce	B & B	5 ft tall min.	1		CLEH	Clethra alnifolia 'Hummingbird'	#3	Min. 12"-24"	32		LIGS	Ligularia stenoc Little Rocket Li	cephala 'Little Rocket' igularia	#1	Min. 8"—18"	10
	PINS	Pinus cembra 'Short Stuff'	B & B	5' Tall	4		COBA	Cornus baileyi	#5	36" Ht.	4	Shanker	PAVIH	Panicum virgati Heavy Metal Sv	um 'Heavy Metal' witch Grass	#1	Min. 12"-24'	" 122
A THE ALL AND A A CARE AND A CAR		Short Stuff Swiss Stone Pine					HAMV	Bailey's Red-twig Dogwood Hamamelis vernalis	#5	Min .36" tall	4	۲۰۰۰ ۲+۲	SALV	Salvia nemoros Marcus® Meado	sa 'Haeumanarc' w Sage	#1	Min 8"-18"	26
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY			Ozark Witchhazel	/// 0				SCSCB	Schizachyrium	scoparium 'MinnblueA'	#1	Min. 8"-18"	31
	AMGRR	Amelanchier x grandiflora 'Robin Hill' (Multi–Stem) Robin Hill Apple Serviceberry	B & B	6' Tall (Multi—Stem)	6	$\overline{\bigcirc}$	HYMP	Hydrangea macrophylla 'PlIHM—II' Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	24		SPHE	Blue Heaven® L	Little Bluestem		Min. 8"-18"	58
	CARC	Carpinus caroliniana 'J.N. Select A' Fire King™ American Hornbeam	B & B	2"Cal	3	+	ITEM	ltea virginica 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15			Prairie Dropsee	ed '			
						~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	RIBA	Ribes alpinum 'Green Mound'	#3	Min. 24"	19	LEGEND						CONTRACT
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY			Green Mound Alpine Currant	//			• • • <b></b> • • <b></b>	PROPERTY LINE		SS	SANITARY SEWER		
	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree	B & B	2.5"Cal	4	EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		RIGHT-OF-WAY		W			HARDWOOD BARK
						لار بر ب	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 24"	2Ø		BUILDING OUTLINE	_		EXISTING SANITARY SEWER		2. ALL DISTURBED A
	GLED	Gleditsia triacanthos inermis "Draves" Street Keeper® Honey Locust	ВЖВ	2.5°Cal	6		JUCHK	Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14		BUILDING OVERHAN EDGE OF PAVEMEN STANDARD CURB A	G T ND GUTTER	ST	EXISTING WATERMAIN EXISTING STORM SEWER FENCE		SPECIFIED. (SEE
	PTKC	Gymnocladus dioica 'J.C. McDaniel' TM Prairie Titan Kentucky Coffeetree	B & B	2.5"Cal	3		THUG	Thuja x 'Green Giant' Green Giant Arborvitae	B & B	Min, 6' tall	3		REJECT CURB AND ASPHALT PAVEMEN	GUTTER T		LIGHT POLE (REFER TO PHO ADA PARKING SIGN	TOMETRIC PLAN)	
				0.5"0.1	2	PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		CONCRETE PAVEME	NT	۲	BOLLARD		
	PLAT	Exclamation London Plane Tree		2.5 Cal	2	$\langle \cdot \rangle$	ALSU	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"-18"	38	+ * * * * * * * * * * * * * * * * * * *	HEAVY DUTY CONC PROPOSED 1 FOOT	RETE PAVEMENT CONTOUR	<b>—</b>	BIKE RACK ALUMINUM EDGING		
	TILA	Tilia americana 'Kromm' Sweet Street™ American Linden	B & B	2.5"Cal	3	$\bigcirc$	AMTA	Amsonia tabernaemontana 'Storm Cloud' Strom Cloud Eastern Bluestar	#1	Min 12" Ht.	15	960 959	PROPOSED 5 FOOT EXISTING 1 FOOT C	CONTOUR ONTOUR	·/////////////////////////////////////	KAFKA GRANITE AGGREGATE ARTIFICIAL TURF (SPECIFICA	PATH TION TBD)	
							I		I	1		- — — 960— — –	EXISTING 5 FOOT C	CONTOUR	189589595959595 1995	DECORATIVE STONE MULCH		

# TOR NOTES

- AREAS SHALL RECEIVE SHREDDED K MULCH UNLESS OTHERWISE L200 MATERIAL NOTES)
- AREAS TO RECEIVE SEED, MULCH UNLESS OTHERWISE E L200 SEEDING NOTES)

![](_page_20_Picture_8.jpeg)

![](_page_20_Picture_9.jpeg)

![](_page_20_Figure_10.jpeg)

### 3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

ISSUED FOR:

LAND USE APPLICATION

**REVISION FOR:** NO. DESCRIPTION 08/07/23

DATE

DRAWN BY	MRA
CHECKED BY	KJY

OVERALL LANDSCAPE PLAN

![](_page_20_Picture_22.jpeg)

![](_page_21_Figure_0.jpeg)

PLANT SCHEDULE					DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		CALO CO	alamagrostis x acutiflora 'Overdam'	#1 Min 8"-18	" 112
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT SIZE	QTY		ARME	Aronia melanocarpa 'Morton' TM Iroquis Beauty Black Chokeberry	#3	Min. 12"-24"	31	*		veraam Feather Reed Grass		~ 10
and the second sec	PIGLD	Picea glauca 'Densata' Black Hills Spruce	B&B 5 ft to	all min. 1		CLEH	Clethra alnifolia 'Hummingbird'	#3	Min. 12"-24"	32			gularia stenocephala. Little Rocket ttle Rocket Ligularia	#1 Min. 8 – 18	3 10
July Maryen	PINS	Pinus cembra 'Short Stuff'	B & B 5' Tall	4				#5	36" LI+		3) UUUUUUUUUUUUUUUUUUUUUUUUUUUUUUUUUUUU	PAVIH Po He	anicum virgatum 'Heavy Metal' eavy Metal Switch Grass	#1 Min. 12"-2	24" 122
a start with the star		Short Stuff Swiss Stone Pine					Bailey's Red-twig Dogwood	#5	50 m.	,		SALV Sc	alvia nemorosa 'Haeumanarc'	#1 Min 8"-18	<i>"</i> 26
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT SIZE	QTY		HAMV	Hamamelis vernalis Ozark Witchhazel	#5	Min. 36" tall	4	5+7 	M	arcus® meadow Sage		
$\square$	AMGRR	Amelanchier x grandiflora 'Robin Hill' (Multi–Stem) Robin Hill Apple Serviceberry	B & B 6' Tall	(Multi-Stem) 6		HYMP	Hydrangea macrophylla 'PllHM—ll'	#3	Min. 24"	24	N.M.	SCSCB Sc Bl	chizachyrium scoparium 'MinnblueA' lue Heaven® Little Bluestem	$\#1$ Min. $8^{"}-18$	3″ 31
							Endless Summer® BloomStruck® Hydrangea					SPHE SP	porobolus heterolepis rairie Dropseed	#1 Min. 8"-18	3" 58
	CARC	Carpinus caroliniana 'J.N. Select A' Fire King™ American Hornbeam	B & B 2"Cal	3		ITEM	ltea virginica 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15	Solution				
						RIBA	Ribes alpinum 'Green Mound'	#3	Min. 24"	19	LEGEND				_
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT SIZE	QTY			Green Mound Alpine Currant	// -			• • • • •	PROPERTY LINE	SS SANI	ARY SEWER	
	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree	B & B 2.5"Ca	1 4	EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		RIGHT-OF-WAY	WATE		
					<u> </u>	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 24"	20		BUILDING OUTLINE	SAN EXIST	NG SANITARY SEWER	
	GLED	Gleditsia triacanthos inermis 'Draves' Street Keeper® Honey Locust		1/ b		JUCHK	Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14		BUILDING OVERHANG EDGE OF PAVEMENT		NG WATERMAIN NG STORM SEWER	
	PTKC	Gymnocladus dioica 'J.C. McDaniel' TM Prairie Titan Kentucky Coffeetree	B & B 2.5"Ca	1/ 3		THUG	Thuja x 'Green Giant' Green Giant Arborvitae	B & B	Min, 6' tall	3		STANDARD CURB AND G REJECT CURB AND GUTT	GUTTERX	POLE (REFER TO PHOTOMETRIC PLAN	I
						CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		ASPHALT PAVEMENT	→ ADA ● BOLL	PARKING SIGN	
La contra de la co	PLAT	Platanus x acerifolia 'Morton Circle' TM Exclamation London Plane Tree	B & B 2.5"Ca	1/ 2		ALSU	Allium x 'Summer Beauty'	#1	Min. 8"-18"	38		HEAVY DUTY CONCRETE	PAVEMENT BIKE	RACK	
2 rd										15	959	PROPOSED 1 FOOT CONT	TOUR ALUM		
$\square$	TILA	Tilia americana 'Kromm' Sweet Street™ American Linden	B & B 2.5"Ca	1 3		AMIA	Amsonia tabernaemontana 'Storm Cloud' Strom Cloud Eastern Bluestar	#1	Min 12" Ht.	15	960 959	EXISTING 1 FOOT CON	TOUR (7////////////////////////////////////	GRANITE AGGREGATE PATH	
											- — — — 960— — — -	EXISTING 5 FOOT CONTO	DUR COSCOSCOSCOSCOSCOSCOSCOSCOSCOSCOSCOSCOSC	RATIVE STONE MULCH	E

![](_page_21_Picture_6.jpeg)

![](_page_21_Picture_8.jpeg)

![](_page_21_Picture_9.jpeg)

### 3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

ISSUED FOR:

LAND USE APPLICATION

**REVISION FOR:** NO. DESCRIPTION 08/07/23

DATE

DRAWN BY	MRA
CHECKED BY	KJY

# LANDSCAPE PLAN -COURTYARD

![](_page_21_Picture_21.jpeg)

BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED. TREE PIT DIAMETER SHAL BE AT LEAST TWO-TIMES ROOT BALL DIAMETER IN ALL DIRECTIONS. SLOPE SIDES OF TREE PIT FROM PROPOSED GRADE TO BOTTOM OF ROOT BALL II ALL DIRECTIONS.

SET TREE PLUMB-ROOT FLARE SHALL BE EXPOSED-SEE NOTES FOR MULCH-SPECIFICATIONS INSTALL 3" WATERING SAUCER-PROPOSED GRADE -FROM UPPER HALF OF BALL PLANTING MIXTURE (WATER TAMF TO REMOVE AIR POCKETS) UNDISTURBED GROUND-

FV 10-29-2021

ROOT FLARE SHALL-BE EXPOSED SEE NOTES FOR MULCH SPECIFICATIONS SAUCER MOUND-AROUND TREE PROPOSED GRADE -

FROM UPPER HALF OF BALL

PLANTING MIXTURE (WATER TAMP REMOVE AIR POCKETS)

SOIL LAYER IS REACHED

/ 01-03-2019

FV. 01-03-2019

SPECIFICATIONS PROPOSED GRADE ----

EXISTING SOIL

![](_page_22_Figure_11.jpeg)

#### LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

e same zoning t.	lot. There are three methods for calculating landscape points depending on the
escribed in (B) ped area.	and (C) below, five (5) landscape points shall be provided for each three hundred
veloped area:	26,284 SF
red:	438 POINTS
<del>cres, points sha</del> <del>d one (1) point p</del>	II be provided at five (5) points per three hundred (300) square feet for the first per one hundred (100) square feet for all additional acres.
loped area:	-
	-

- (C) For the Industrial Limited (IL) and Industrial General (IG) districts, one (1) point shall be provided

N OF LANDSCAPE CREDITS AND POINTS								
		CREDITS / LANDS	' EXISTING CAPING	NEW / PROPOSED LANDSCAPING				
NIMUM LATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED			
1IN.	35	0	0	18	630			
/IN.	35	0	0	5	175			
IIN.	15	0	0	10	150			
MIN.	10	0	0	0	0			
MIN. 12"-24"	3	0	0	115	345			
MIN. 12"-24"	4	0	0	32	128			
MIN. 8"-18"	2	0	0	490	980			
′ 10 LF	.4	0	0	0	0			
PER (TREES THAN 1 POINTS )	200	0	0	0	0			
IPER (14 POINTS RINCH DBH - IMPRISE MORE DF TOTAL POINTS	14*4	0	0	0	0			
PER SEAT BLICALLY DEVELOPED AREA. MPRISE MORE TOTAL REQUIRED	5	0	0	0	0			
	SUBTOTAL		0		2,408			
BER OF POINT	S PROVIDED	2,408						

#### **GENERAL NOTES**

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- 2. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- 3. DRAWING FOR REVIEW NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK. 4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- 5. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- 6. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE). AND FINISH GRADING ARE COMPLETE
- 7. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE T UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- 8. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- 9. MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- 10. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- 11. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON
- 12. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 13. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

#### LANDSCAPE MATERIAL NOTES

ADJACENT PRIVATE PROPERTY.

- 1. MATERIALS PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- 2. MATERIALS TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- 3. MATERIALS SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- 4. MATERIALS STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- 5. MATERIALS TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE. ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- 6. MATERIALS ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

#### **SEEDING & SODDING NOTES**

- 1. MATERIALS TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE
- 2. MATERIALS SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36–48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

![](_page_22_Picture_42.jpeg)

### 3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

233606.00

ISSUED FOR:

LAND USE APPLICATION

**REVISION FOR:** NO. DESCRIPTION 08/07/23

DATE

DRAWN BY	MRA
CHECKED BY	KJY

#### LANDSCAPE DETAILS

![](_page_22_Picture_54.jpeg)