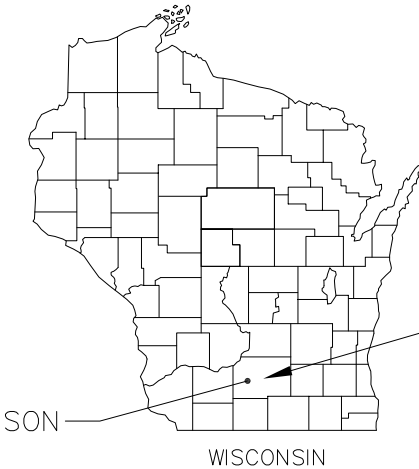


VOIT FARM REDEVELOPMENT

CITY OF MADISON, WISCONSIN



CITY OF MADISON

WISCONSIN

—DANE COUNTY |

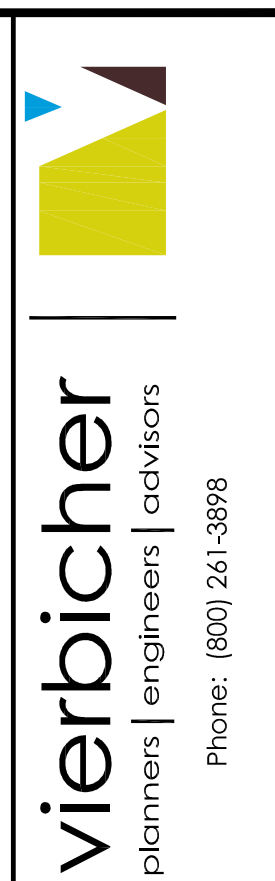
PROJECT LOCATION

Sheet List Table	
Sheet Number	Sheet Title
C0.0	Title Sheet
C1.0-C1.2	Existing Conditions
2.0	Demolition Plan
3.0	Grading and Erosion Control Plan
4.0	Overall Utility Plan
4.1	Sanitary and Water Utility Plan - North
4.2	Sanitary and Water Utility Plan - South
4.3	Storm Sewer Utility Plan - North
4.4	Storm Sewer Utility Plan - South
C5.0-C5.1	Plan & Profile - Chicago Avenue
C5.2-C5.3	Plan & Profile - Harding Street
C5.4-C5.5	Plan & Profile - Leon Street
C5.6-C5.7	Plan & Profile - Slow Street
C5.8-C5.9	Plan & Profile - Starkweather Street
C5.10-C5.11	Plan & Profile - Walter Street
6.0	Construction Notes and Legends
6.1	Construction Details
6.2	Construction Details



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

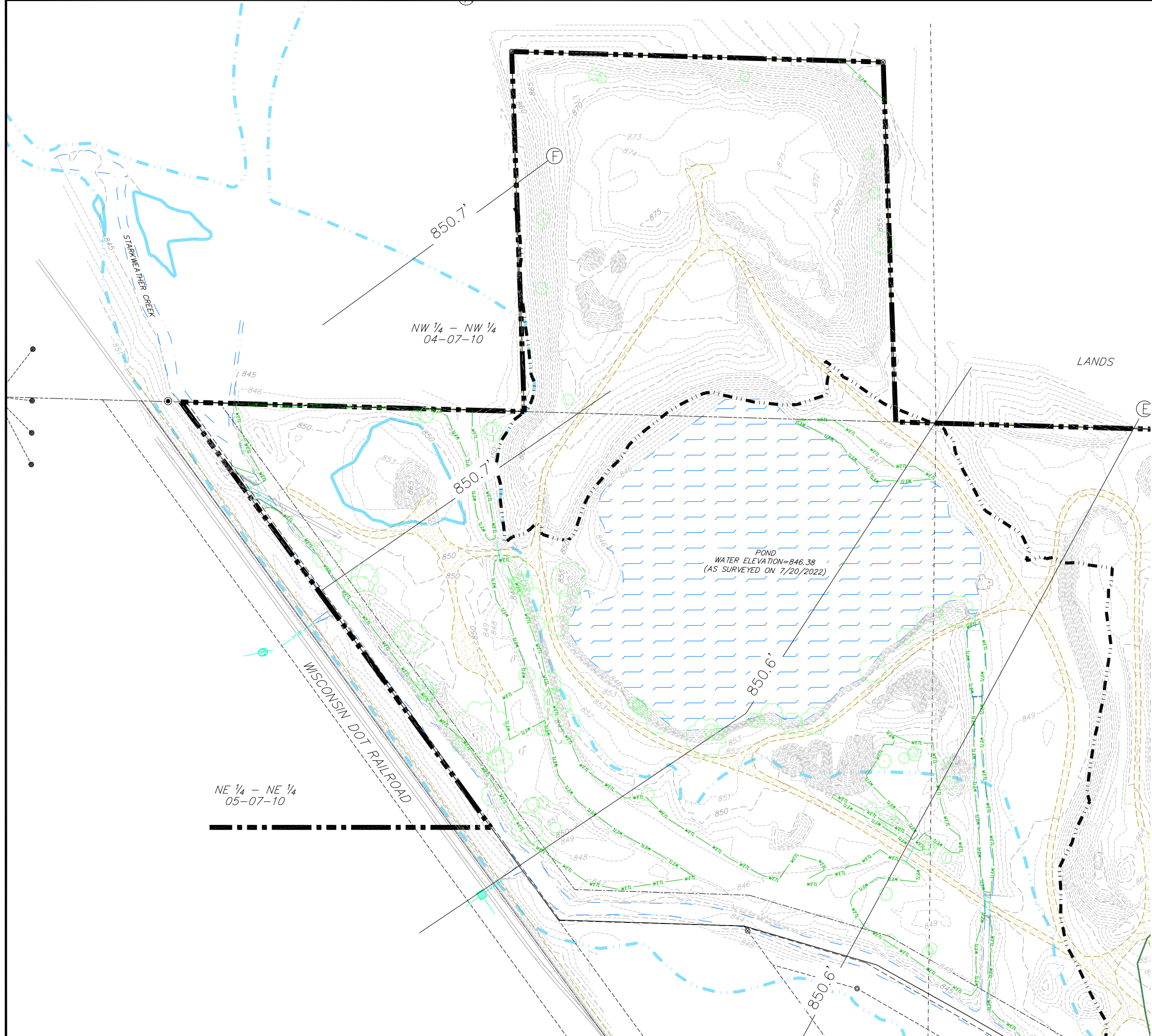
CALL DIGGER'S HOTLINE
1-800-242-8511



vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

26 Jun 2023 - 11:09a M:\Stone House Development\220031_Voil Farm\CADD\220031_Topo.dwg by: jdel



SYMBOL LEGEND

- EXISTING POST
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING RECTANGULAR FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING TV MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING LIGHT POLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING UTILITY POLE
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING TRAFFIC SIGNAL
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE

SURVEY LEGEND

- BENCHMARK
- FOUND CHISELED "X"
- PUBLIC LAND CORNER AS NOTED
- FOUND 1" # IRON PIPE
- FOUND 2" # IRON PIPE
- FOUND 1 1/4" # IRON ROD
- FOUND 3/4" # IRON ROD
- FOUND RAILROAD SPIKE
- SET CHISELED "X"
- SET NAIL
- SET P.K. NAIL

HATCHING LEGEND

- EXISTING CONCRETE PAVEMENT/SIDEWALK
- EXISTING ASPHALT
- EXISTING GRAVEL
- DETECTABLE WARNING PAVER

LINEWORK LEGEND

- SAN SAN EXISTING SANITARY SEWER LINE
- ST ST EXISTING STORM SEWER LINE
- WM WM EXISTING WATER MAIN
- G G EXISTING GAS LINE
- UE UE EXISTING UNDERGROUND ELECTRIC LINE
- FO FO EXISTING FIBER OPTIC LINE
- UT UT EXISTING UNDERGROUND TELEPHONE
- OHU OHU EXISTING OVERHEAD GENERAL UTILITIES
- GUY GUY EXISTING GUY LINE
- EXISTING RETAINING WALL
- * * EXISTING GENERAL FENCE
- x x EXISTING WIRE FENCE
- o o EXISTING CHAIN LINK FENCE
- EXISTING CORPORATE BOUNDARY LINE
- 100-YEAR FLOODPLAIN BOUNDARY FROM WDNR
- EXISTING EDGE OF WATER AS SURVEYED ON 7/20/2022
- WETL WETL EXISTING WETLAND DELINEATION
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR
- 850.7' 100-YEAR FLOODPLAIN ELEVATION CROSS SECTIONS

GRAPHIC SCALE FEET

0 40 80 160

North Arrow

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

Existing Conditions - North

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

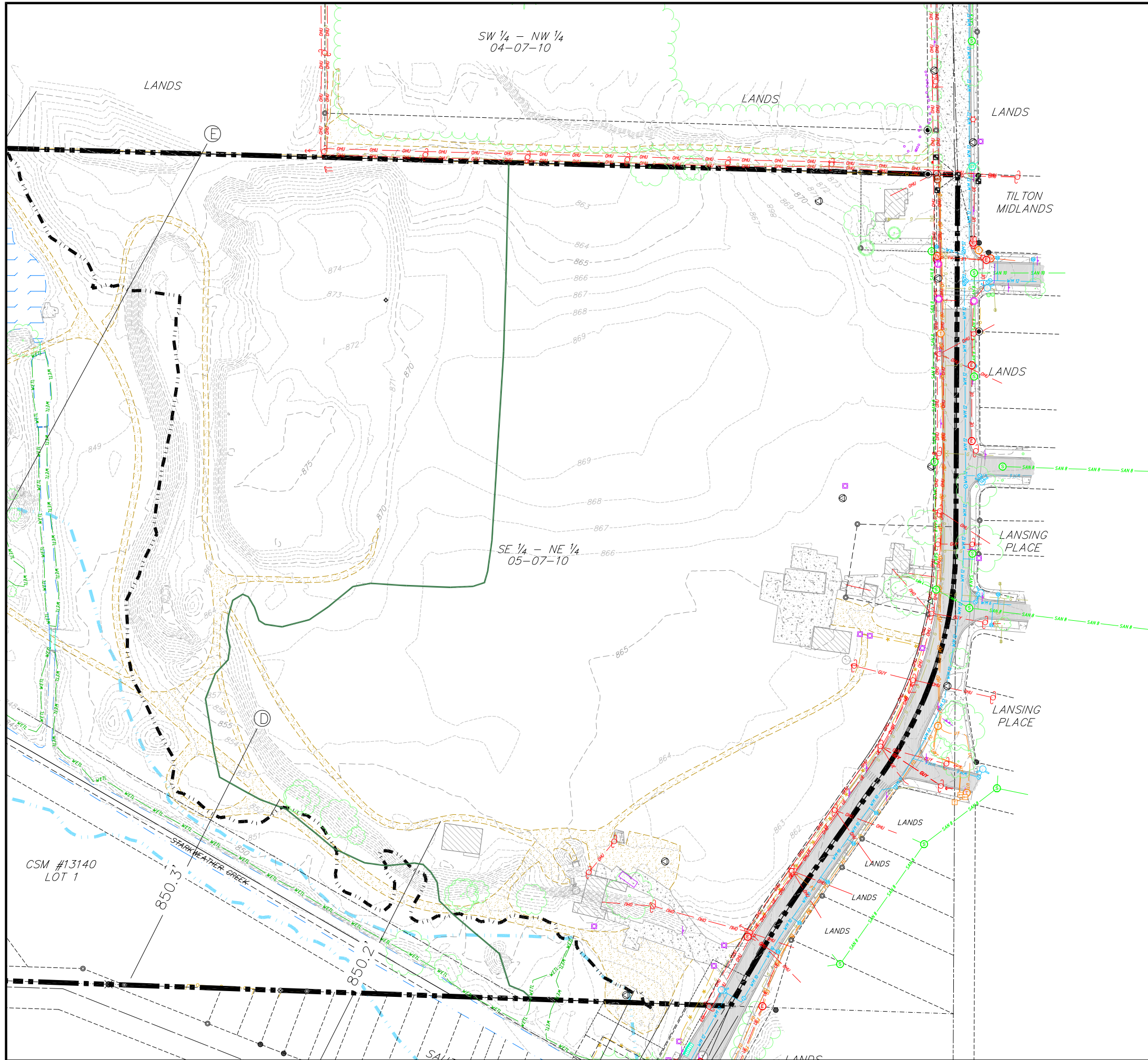
DATE
06/26/2023

DRAFTER
ZDRE/JDEL

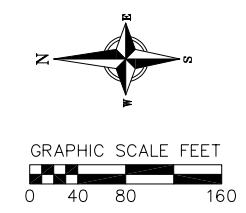
CHECKED
RKOL

PROJECT NO.
220031

C1.1



- ### SYMBOL LEGEND
- | | |
|---|-------------------------------------|
|  | EXISTING POST |
|  | EXISTING SIGN |
|  | EXISTING CURB INLET |
|  | EXISTING ENDWALL |
|  | EXISTING RECTANGULAR FIELD INLET |
|  | EXISTING STORM MANHOLE |
|  | EXISTING SANITARY MANHOLE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING WATER MAIN VALVE |
|  | EXISTING CURB STOP |
|  | EXISTING WATER MANHOLE |
|  | EXISTING GAS VALVE |
|  | EXISTING DOWN GUY |
|  | EXISTING ELECTRIC MANHOLE |
|  | EXISTING TV MANHOLE |
|  | EXISTING ELECTRIC PEDESTAL |
|  | EXISTING TELEPHONE MANHOLE |
|  | EXISTING LIGHT POLE |
|  | EXISTING UNIDENTIFIED UTILITY VAULT |
|  | EXISTING UTILITY POLE |
|  | EXISTING TELEPHONE MANHOLE |
|  | EXISTING TELEPHONE PEDESTAL |
|  | EXISTING UNIDENTIFIED MANHOLE |
|  | EXISTING UNIDENTIFIED UTILITY VAULT |
|  | EXISTING TRAFFIC SIGNAL |
|  | EXISTING DECIDUOUS TREE |
|  | EXISTING CONIFEROUS TREE |

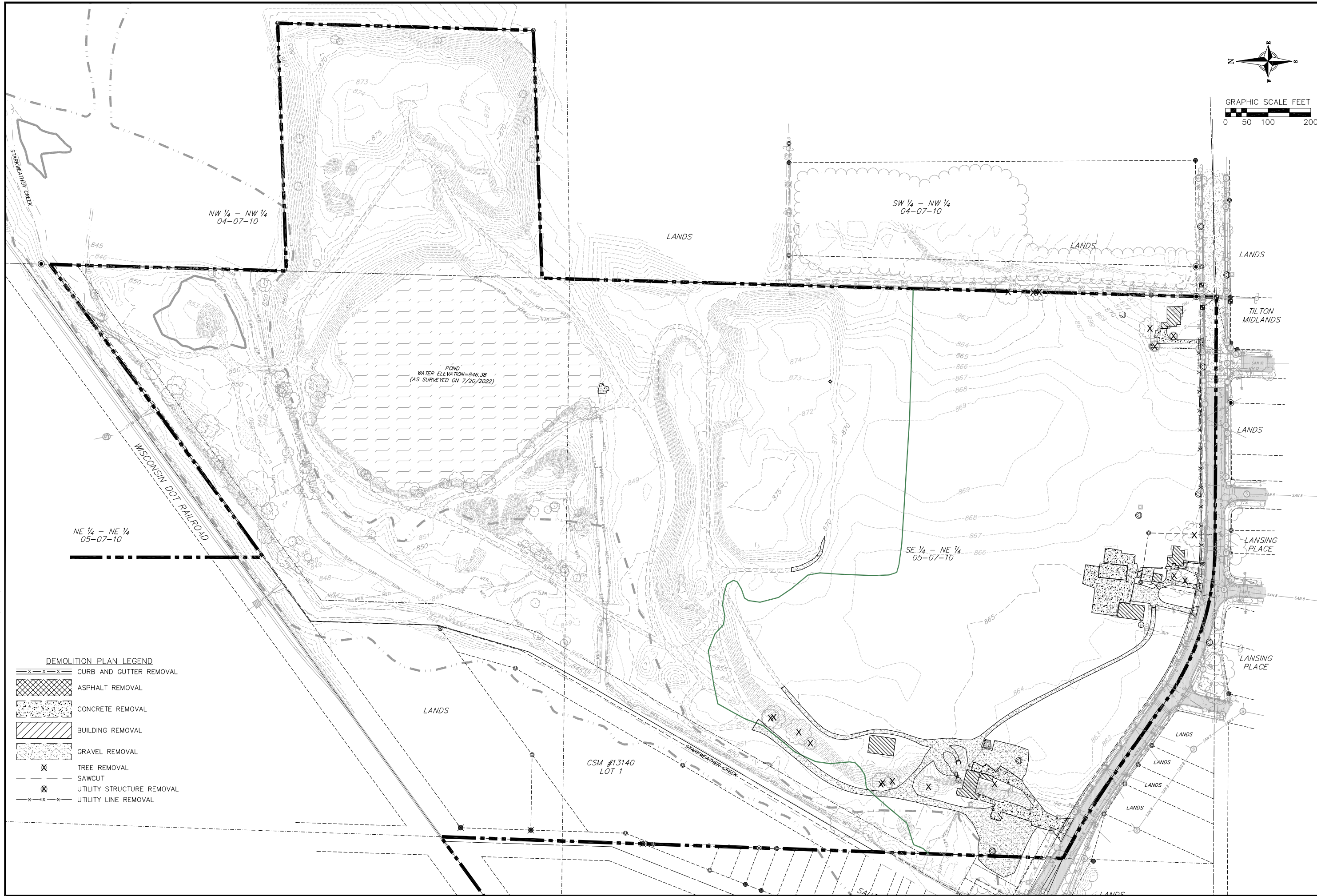


- ### SURVEY LEGEND
- | | |
|---|-----------------------------|
| ① | BENCHMARK |
| ✕ | FOUND CHISELED "X" |
| ■ | PUBLIC LAND CORNER AS NOTED |
| ◎ | FOUND 1" Ø IRON PIPE |
| ⊗ | FOUND 2" Ø IRON PIPE |
| ● | FOUND 1 1/4" Ø IRON ROD |
| ● | FOUND 3/4" Ø IRON ROD |
| ✕ | FOUND RAILROAD SPIKE |
| ✕ | SET CHISELED "X" |
| △ | SET NAIL |
| △ | SET P.K. NAIL |

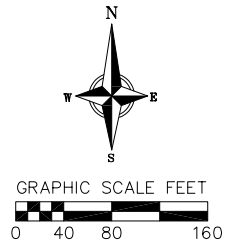
- ### HATCHING LEGEND
- | | |
|---|--|
|  | <i>EXISTING CONCRETE PAVEMENT/SIDEWALK</i> |
|  | <i>EXISTING ASPHALT</i> |
|  | <i>EXISTING GRAVEL</i> |
|  | <i>DETECTABLE WARNING PAVER</i> |

- ### LINEWORK LEGEND
- | | |
|--|---|
| | EXISTING SANITARY SEWER LINE |
| | EXISTING STORM SEWER LINE |
| | EXISTING WATER MAIN |
| | EXISTING GAS LINE |
| | EXISTING UNDERGROUND ELECTRIC LINE |
| | EXISTING FIBER OPTIC LINE |
| | EXISTING UNDERGROUND TELEPHONE |
| | EXISTING OVERHEAD GENERAL UTILITIES |
| | EXISTING GUY LINE |
| | EXISTING RETAINING WALL |
| | EXISTING GENERAL FENCE |
| | EXISTING WIRE FENCE |
| | EXISTING CHAIN LINK FENCE |
| | EXISTING CORPORATE BOUNDARY LINE |
| | 100-YEAR FLOODPLAIN BOUNDARY FROM WDNR |
| | EXISTING EDGE OF WATER AS SURVEYED ON 7/20/2022 |
| | EXISTING WETLAND DELINEATION |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | 100-YEAR FLOODPLAIN ELEVATION CROSS SECTIONS |

DATE		REVISIONS		REVISIONS	
06/26/2023		NO.	DATE	NO.	DATE
DRAFTER		REMARKS		REMARKS	
ZDRE/JDEL					
CHECKED					
RKOL					
PROJECT NO.					
220031					
C1.2					



DATE 06/26/2023 DRAFTER ZDRC/JDEL CHECKED RKOL PROJECT NO. 220031 C2.0	REVIEWS			REVIEWS		
	NO.	DATE	REMARKS	NO.	DATE	REMARKS



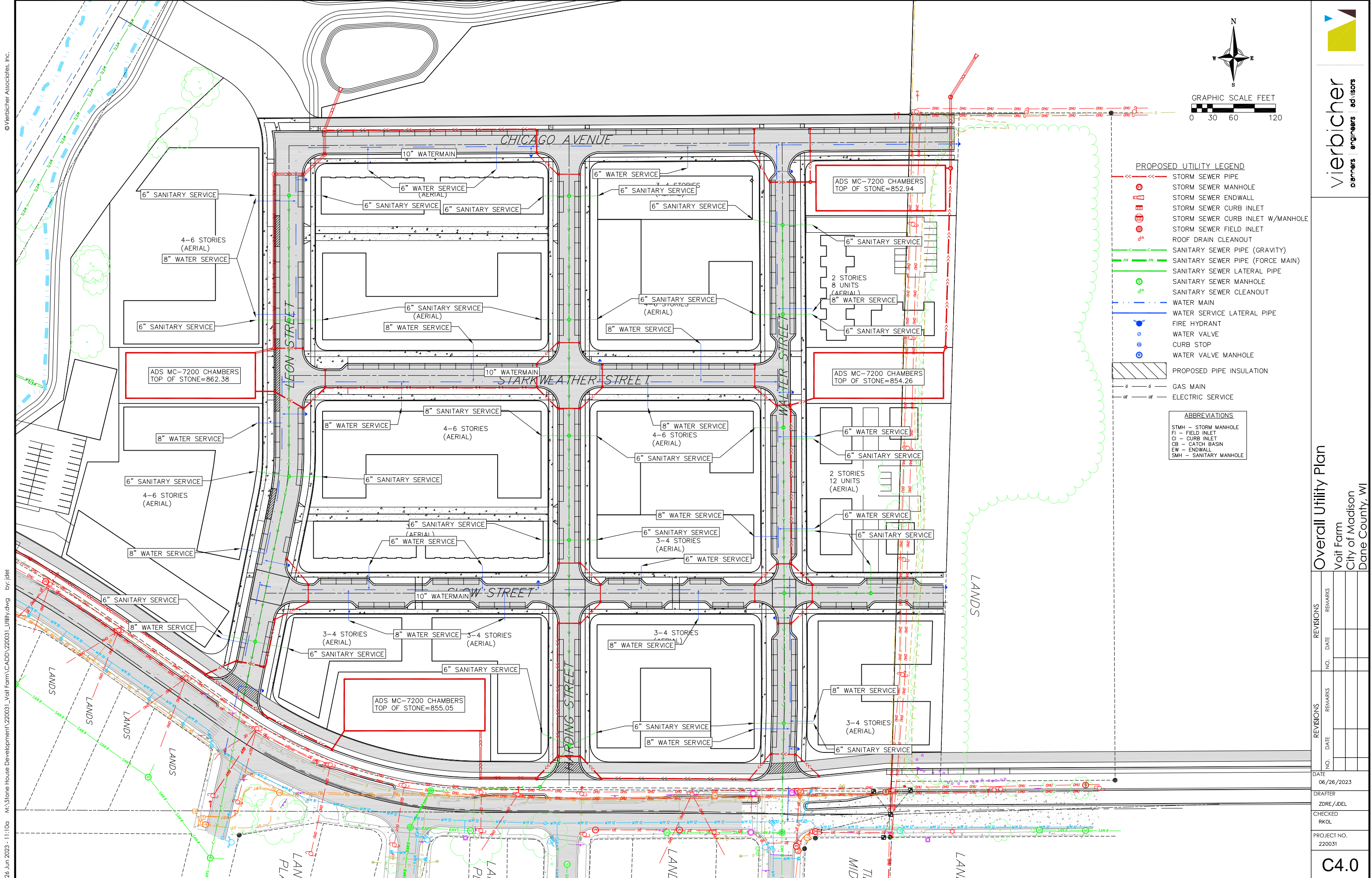
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	DITCH CENTERLINE
	SILT FENCE
	DISTURBED LIMITS
	BERM
	DRAINAGE DIRECTION
	PROPOSED SLOPE ARROWS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS

- | | |
|---|-------------------------------|
|  | STONE WEEPER |
|  | VELOCITY CHECK |
|  | INLET PROTECTION |
|  | EROSION MAT CLASS I, TYPE A |
|  | EROSION MAT CLASS II, TYPE B |
|  | EROSION MAT CLASS III, TYPE C |
|  | EROSION MAT CLASS II, TYPE A |
|  | TRACKING PAD |
|  | RIP RAP |

DATE 06/26/2023 DRAFTER ZDRE/JDEL CHECKED RKOL PROJECT NO. 220031 C3.0	REVISIONS			REVISIONS		
	NO.	DATE	REMARKS	NO.	DATE	REMARKS

Grading and Erosion Control Plan

Voit Farm
City of Madison
Dane County, WI



PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE



vierbichler
planners engineers advisors

Overall Utility Plan
Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
06/26/2023

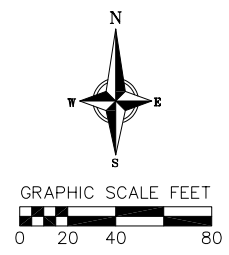
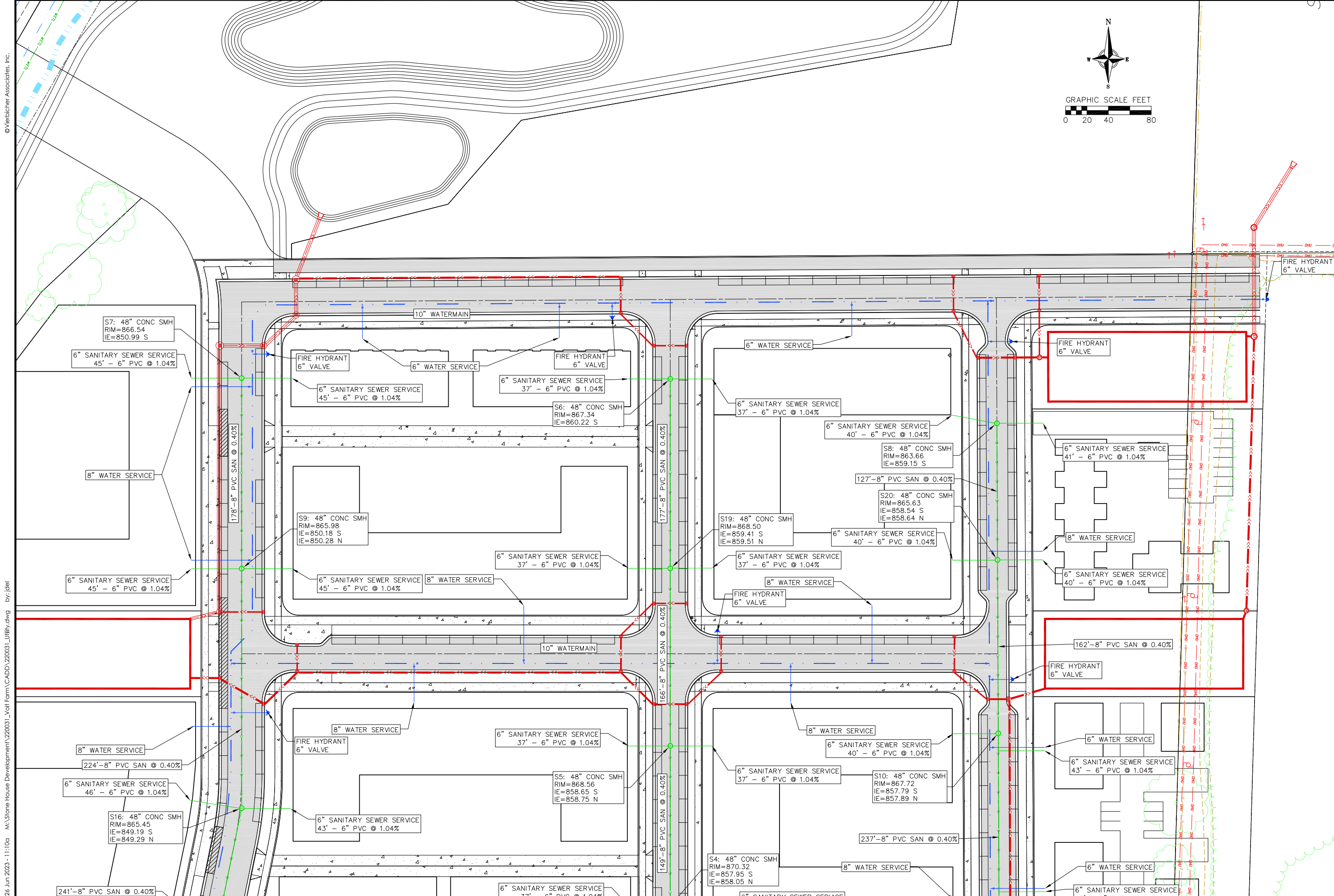
DRAFTER
ZDRE/JDEL

CHECKED
RKOL

PROJECT NO.
220031

C4.0

26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voit Farm\CADD\220031_Utility.dwg by: jdel



26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voil Farm\CADD\220031_Utility.dwg by: jdei



vierbicher
planners engineers advisors

Sanitary and Water Utility Plan - North

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 06/26/2023

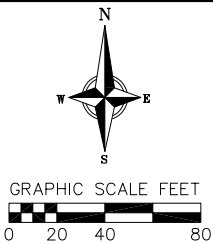
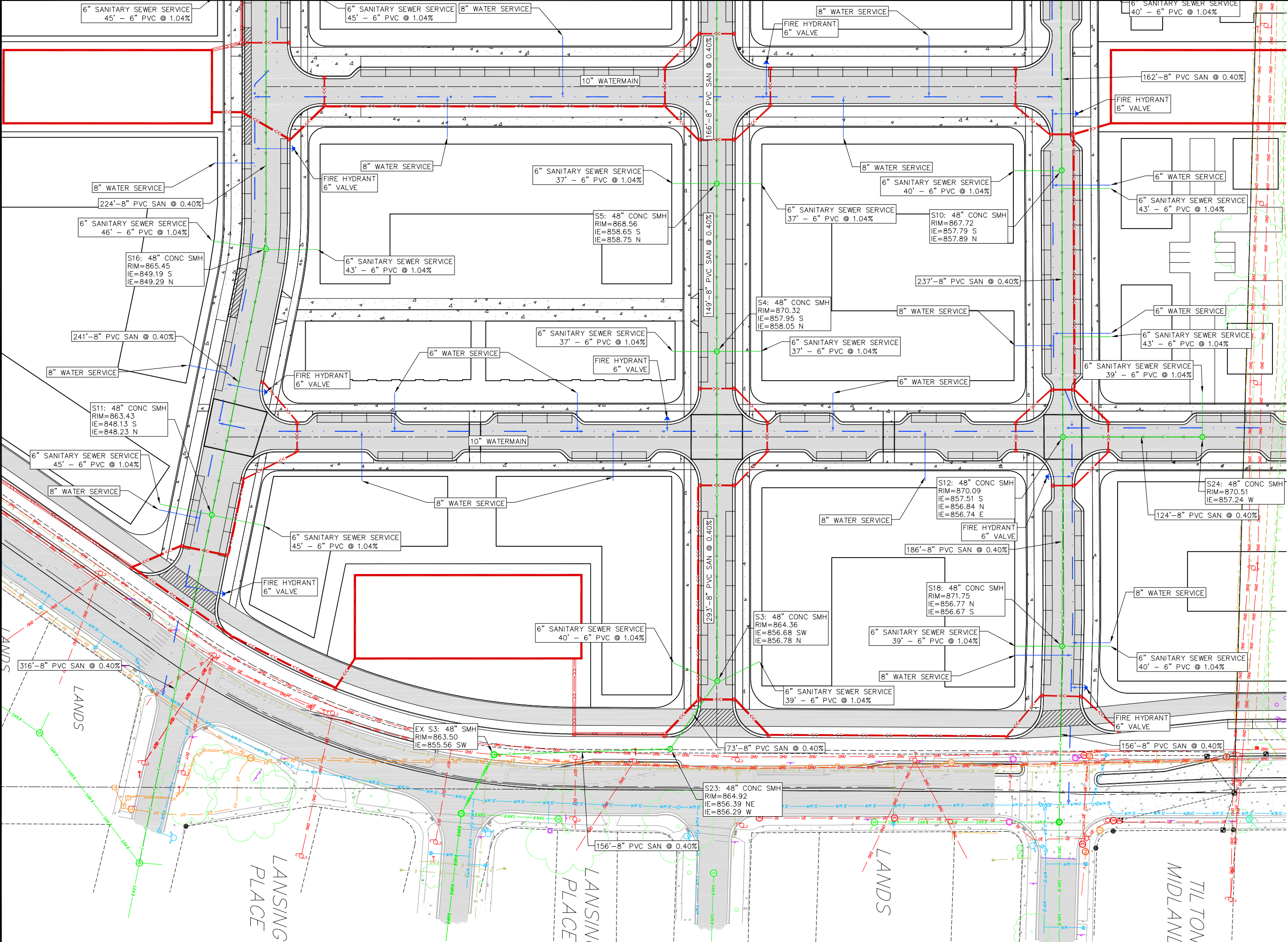
DRAFTER: ZDRE/JDEI

CHECKED: RKOL

PROJECT NO.: 220031

C4.1

26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voil Farm\CADD\220031_Utility.dwg by: jdel





vierbicher
planners engineers advisors

Sanitary and Water Utility Plan - South

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
06/26/2023

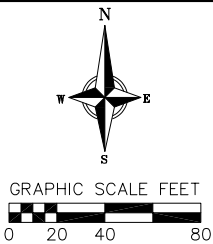
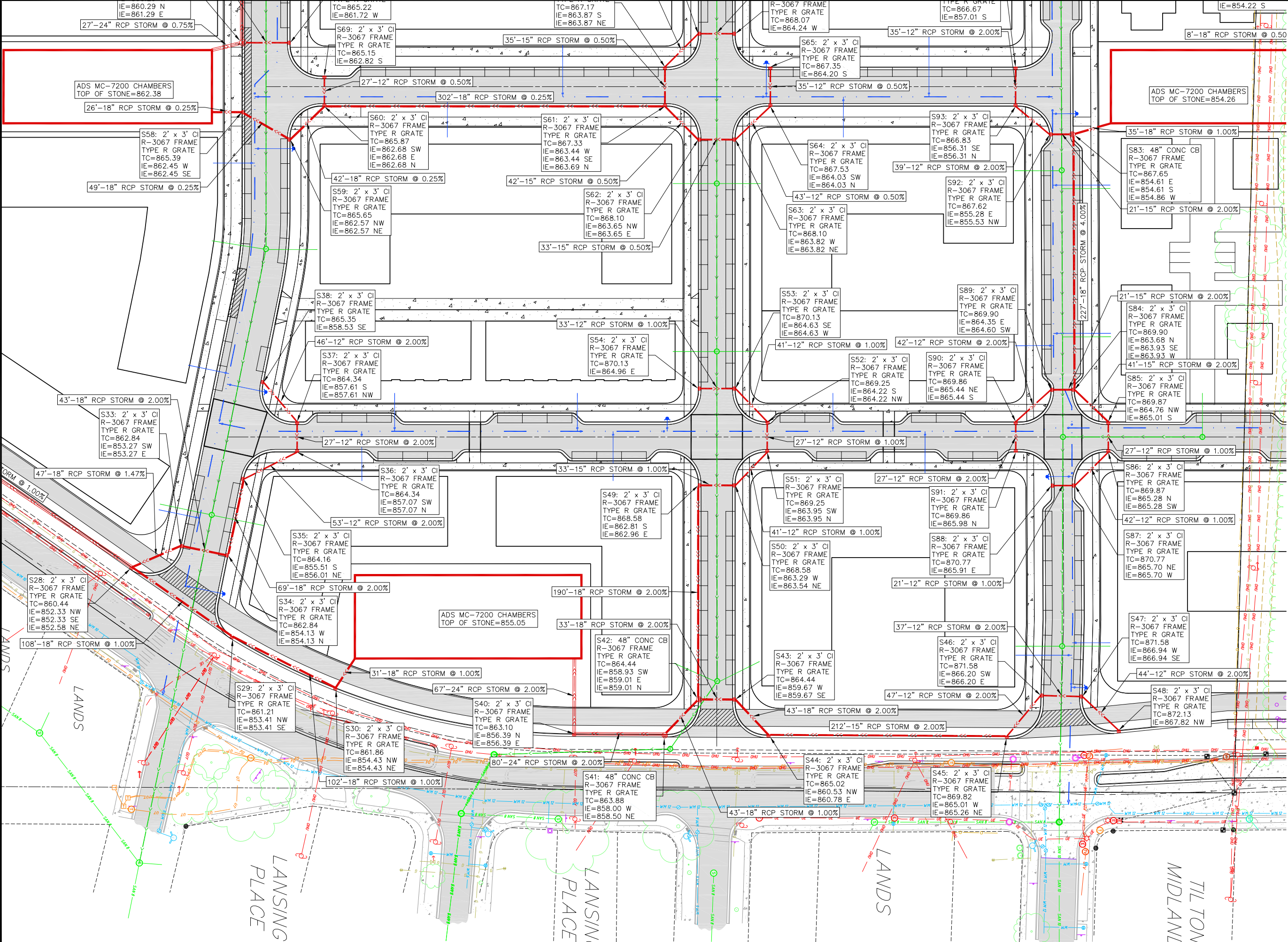
DRAFTER
ZDRE/jdel

CHECKED
RKOL

PROJECT NO.
220031

C4.2

26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voit Farm\CADD\220031_Utilities.dwg by: jdel © Vierbicher Associates, Inc.





vierbicher
planners engineers advisors

Storm Sewer Utility Plan - North

Voigt Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
06/26/2023

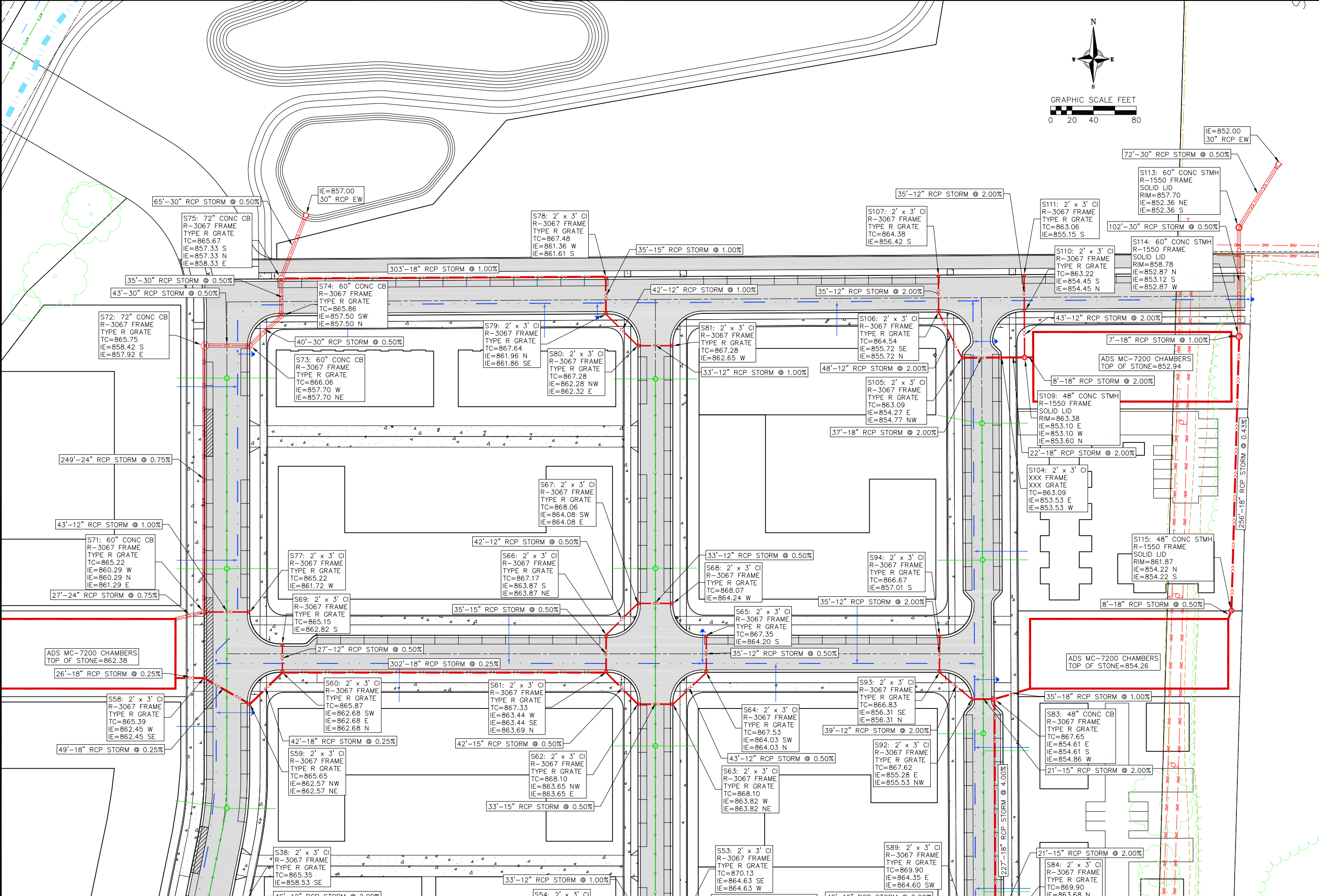
DRAFTER
ZDRE/jdel

CHECKED
RKOL

PROJECT NO.
220031

C4.3

26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voit Farm\CADD\220031_Utilities.dwg by: jdel





vierblicher
planners engineers advisors

Storm Sewer Utility Plan - South

Voigt Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

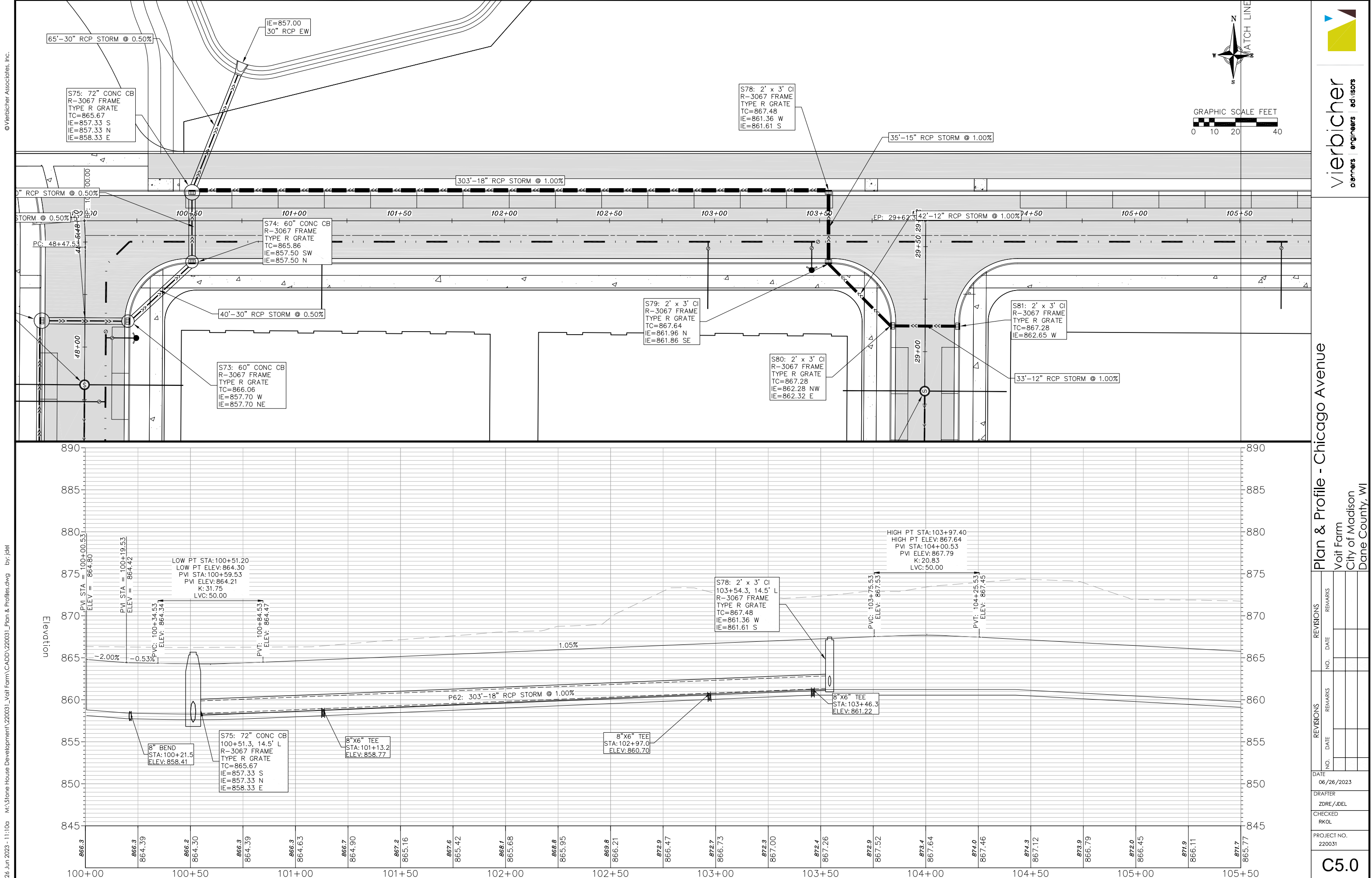
DATE: 06/26/2023

DRAFTER: ZDRE/jdel

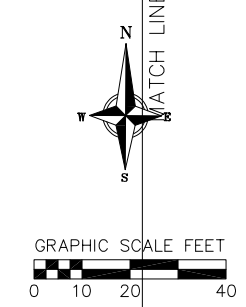
CHECKED: RKOL

PROJECT NO.: 220031

C4.4



26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voil Farm\CADD\220031_Plan & Profiles.dwg by: jdel





vierbicher
planners engineers advisors

Plan & Profile - Chicago Avenue

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 06/26/2023

DRAFTER: ZDRE/jdel

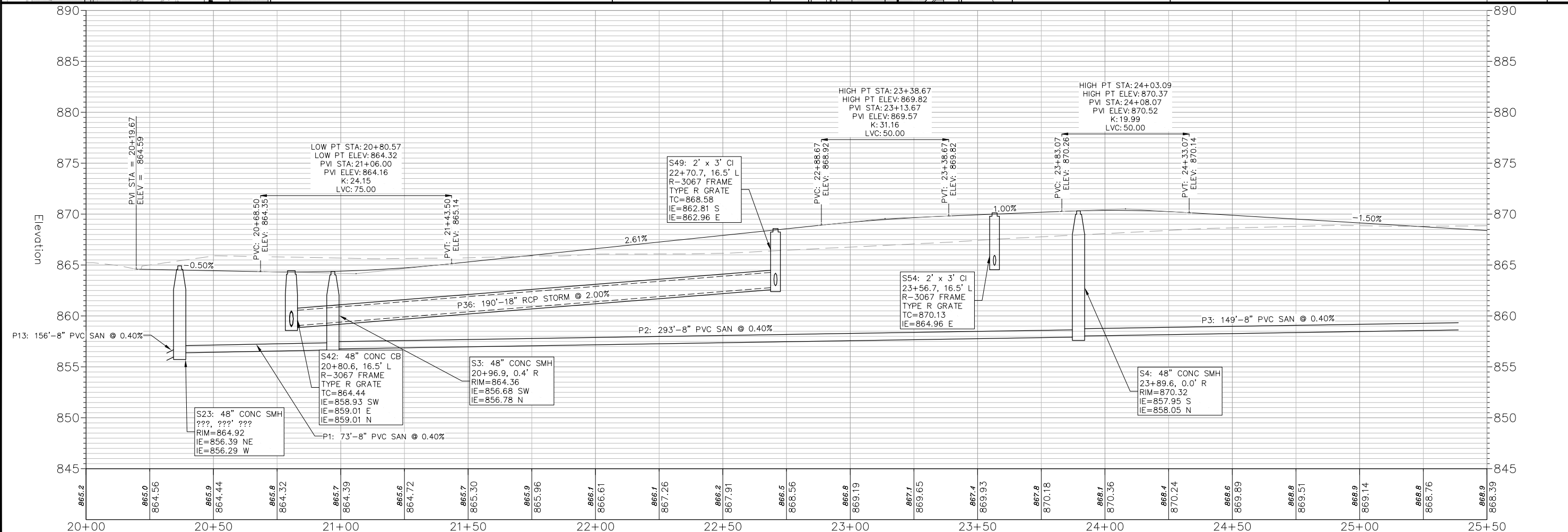
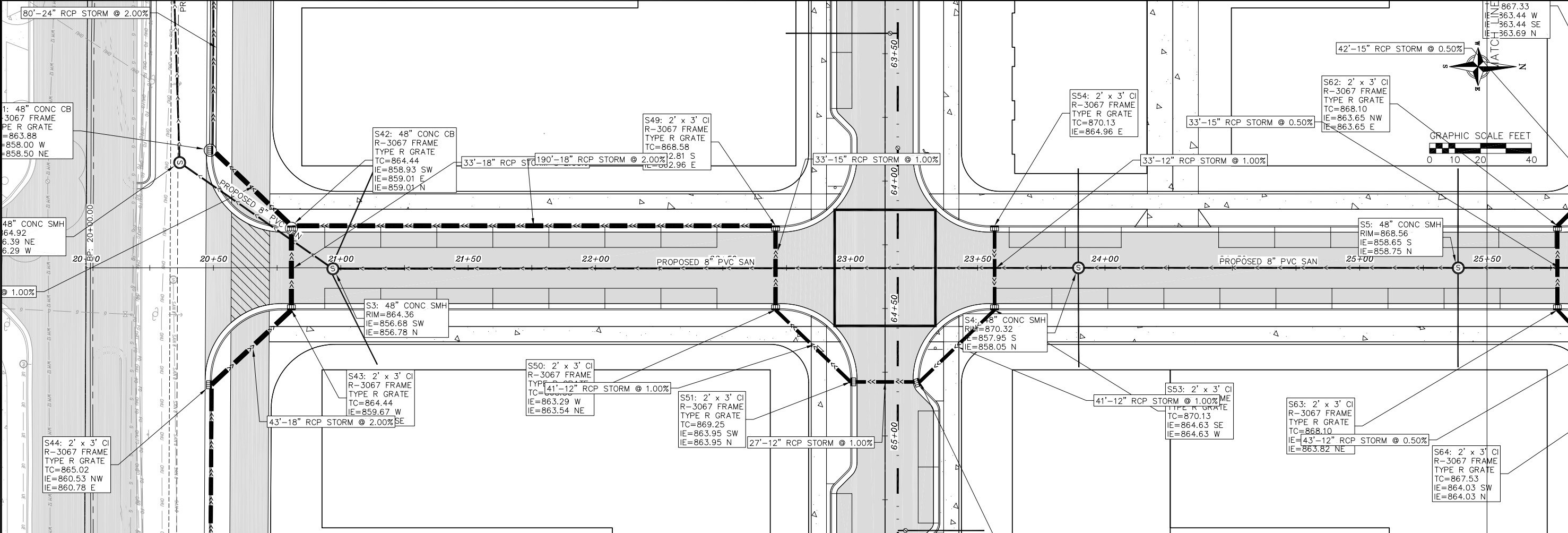
CHECKED: RKOL

PROJECT NO.: 220031

C5.0



26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voit Farm\CADD\220031_Plan & Profiles.dwg by:jdal © Vierbicher Associates, Inc.





vierbicher
planners engineers advisors

Plan & Profile - Harding Street

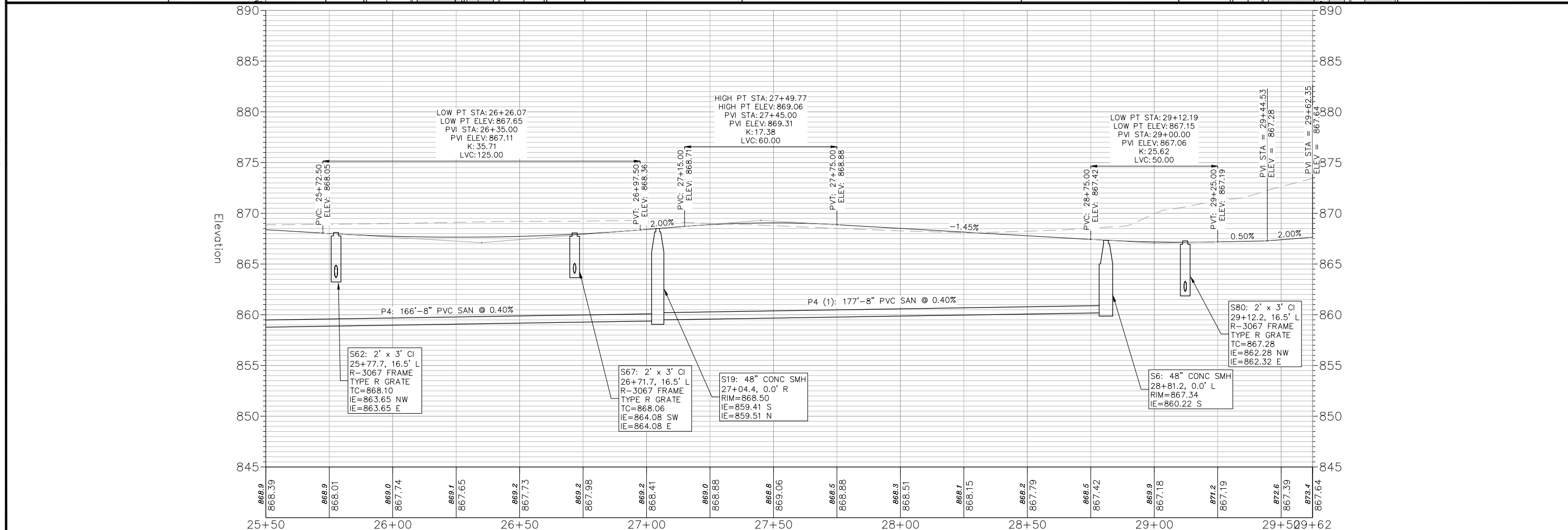
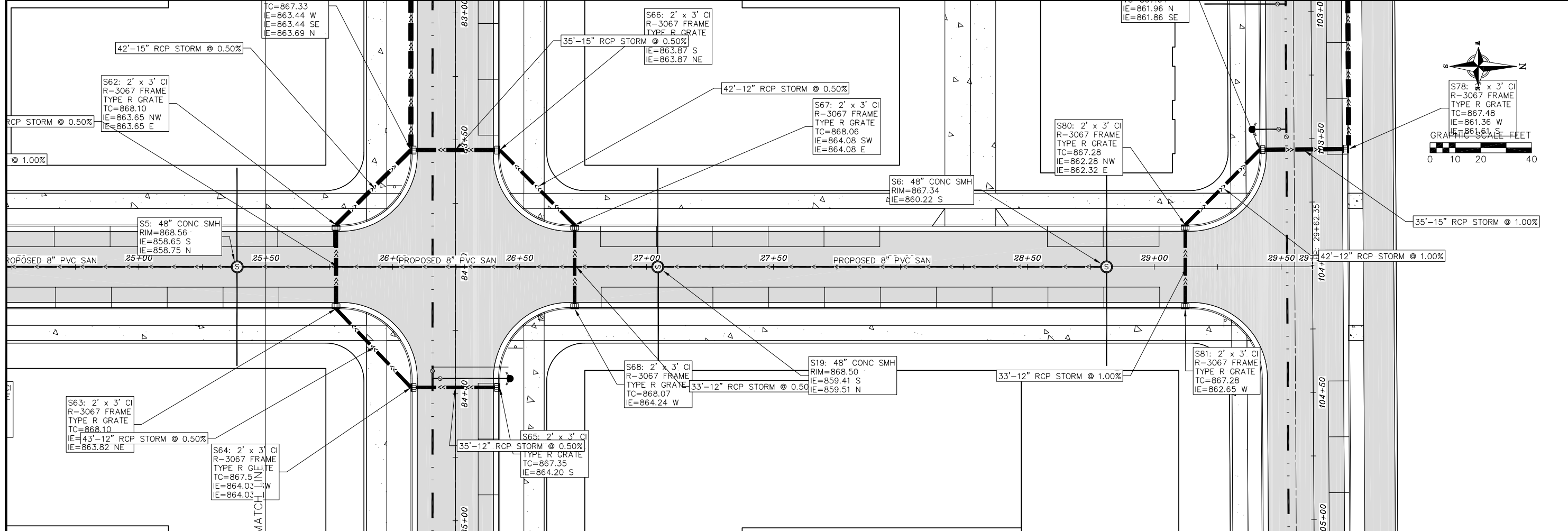
Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	06/26/2023
DRAFTER	ZDRE/JDEL
CHECKED	RKOL
PROJECT NO.	220031

C5.2

26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voil Farm\CADD\220031_Plan & Profiles.dwg by:jdal © Vierbicher Associates, Inc.





vierbicher
planners engineers advisors

Plan & Profile - Harding Street

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 06/26/2023

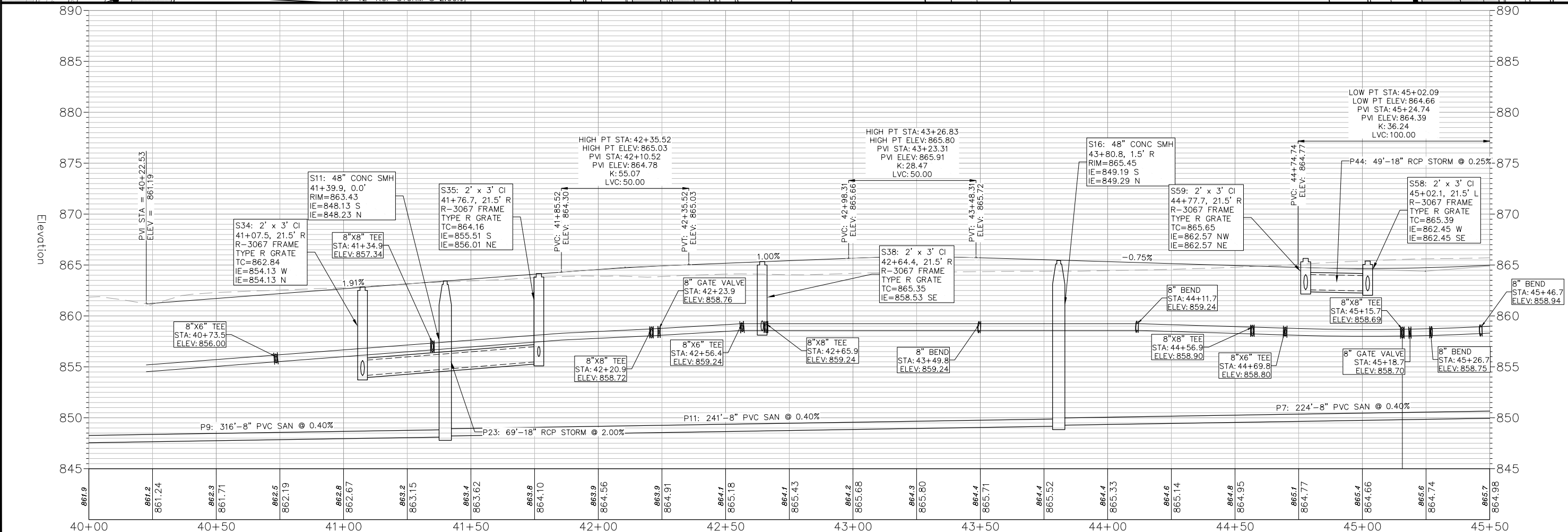
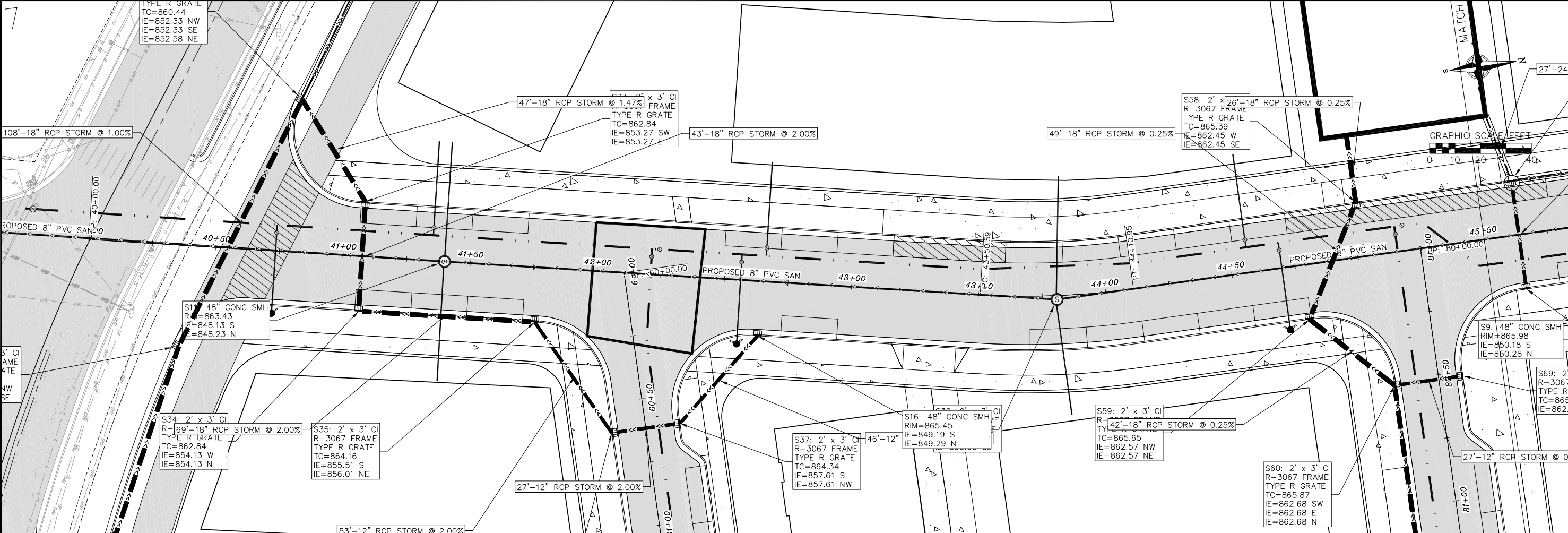
DRAFTER: ZDRE/JDEL

CHECKED: RKOL

PROJECT NO.: 220031

C5.3

26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voil Farm\CADD\220031_Plan & Profiles.dwg by:jdjel





vierbicher
planners engineers advisors

Plan & Profile - Leon Street

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

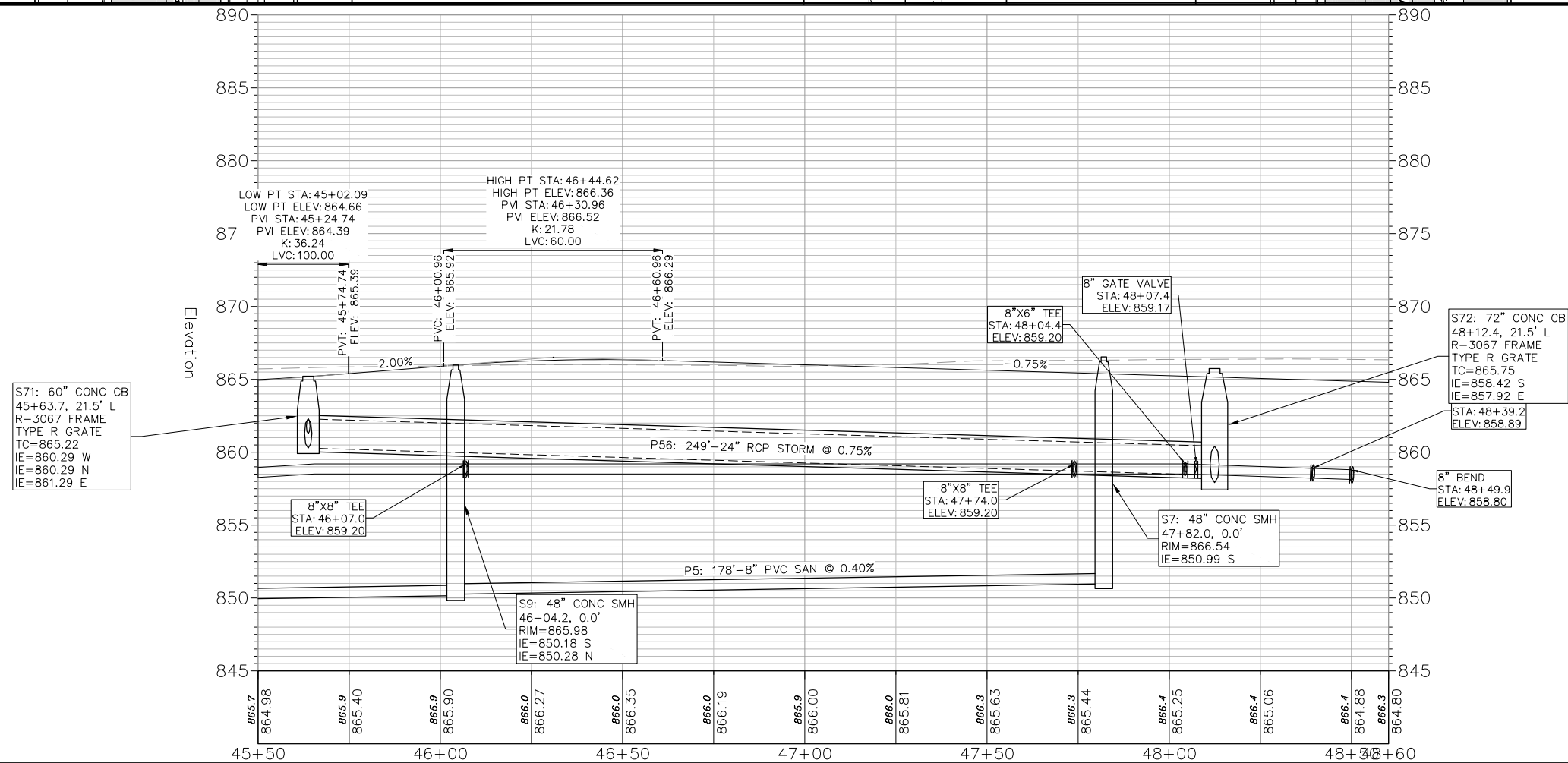
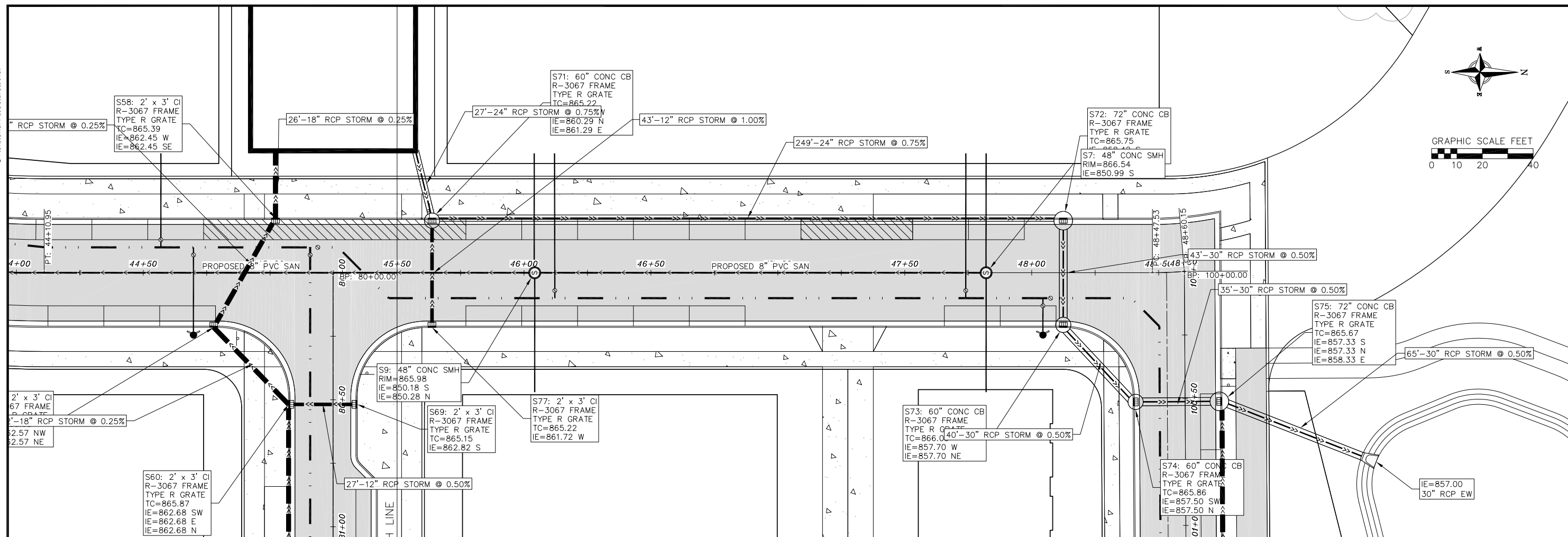
DATE: 06/26/2023

DRAFTER: ZDRE/JDEL

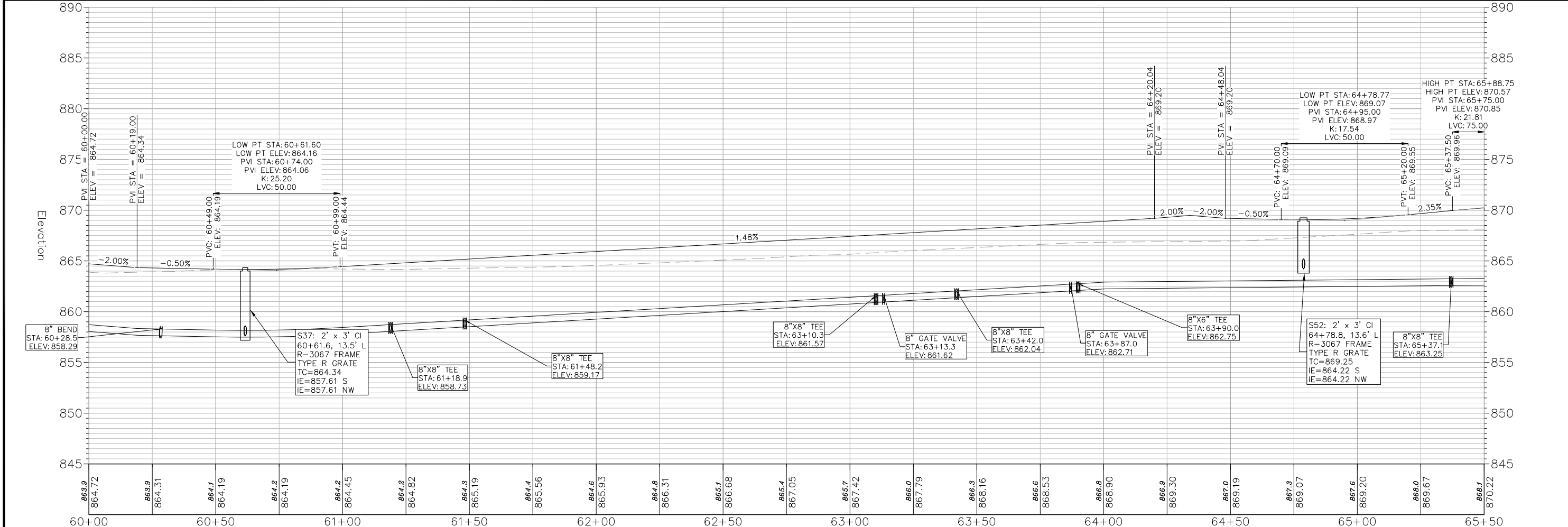
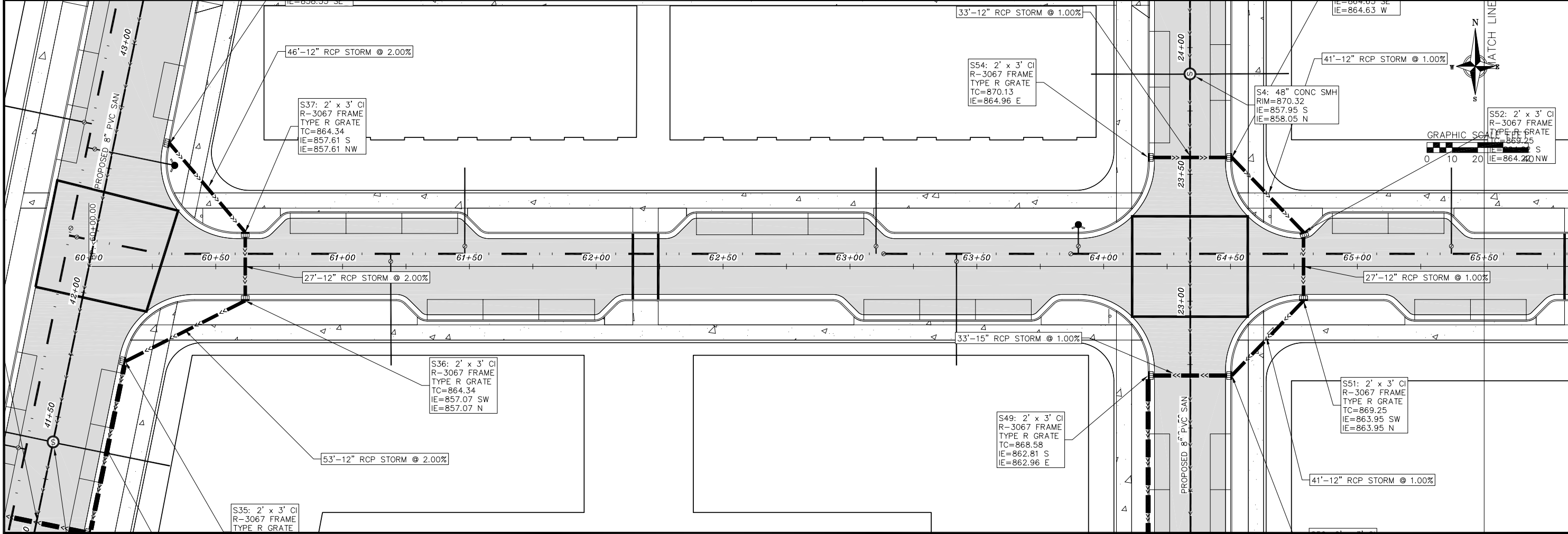
CHECKED: RKOL

PROJECT NO.: 220031

C5.4



26 Jun 2023 - 11:10a M:\Stone House Development\220031_Voil Farm\CADD\220031_Plan & Profiles.dwg by:jdjel © Vierbicher Associates, Inc.





vierbicher
planners engineers advisors

Plan & Profile - Slow Street

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

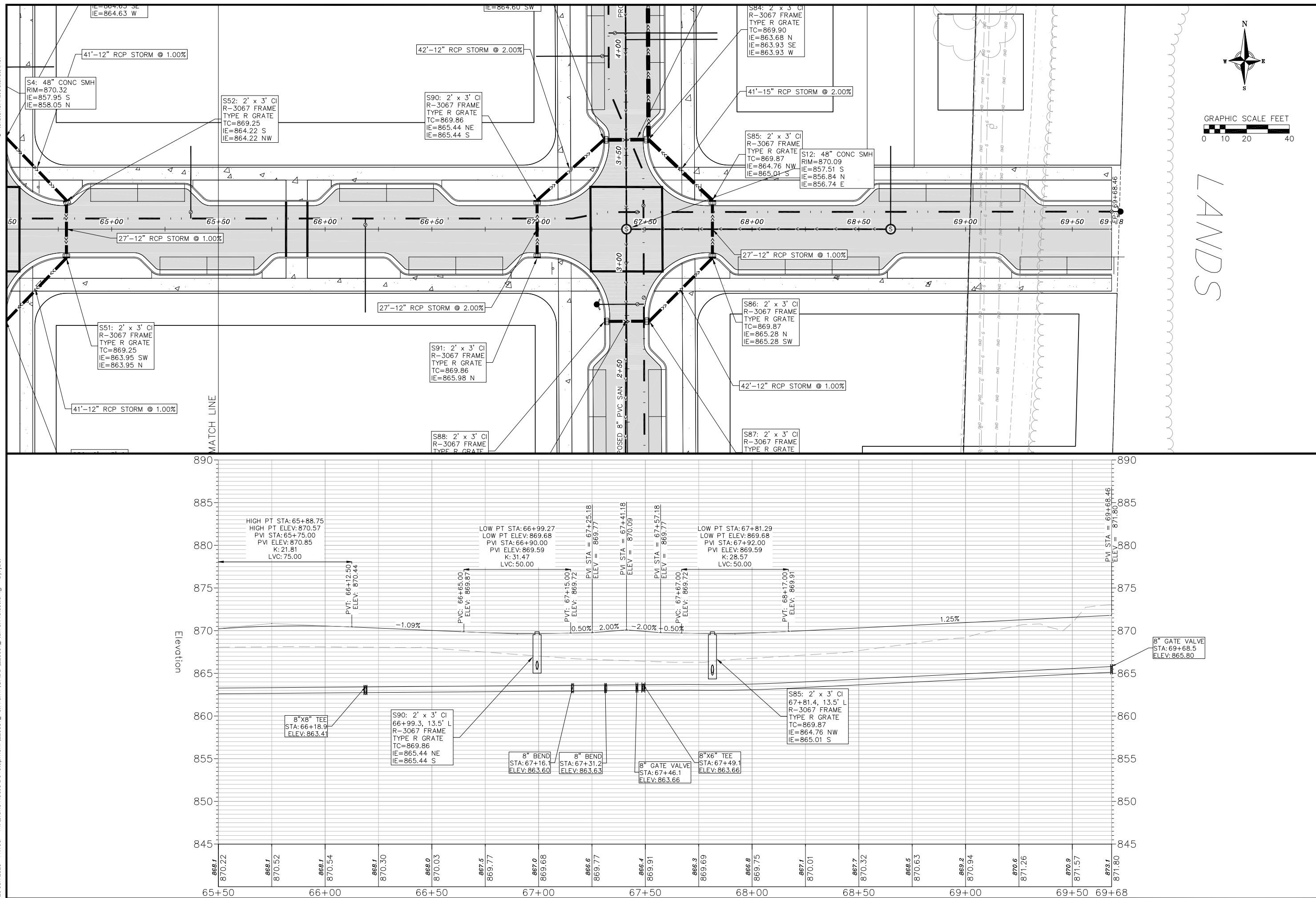
DATE
06/26/2023

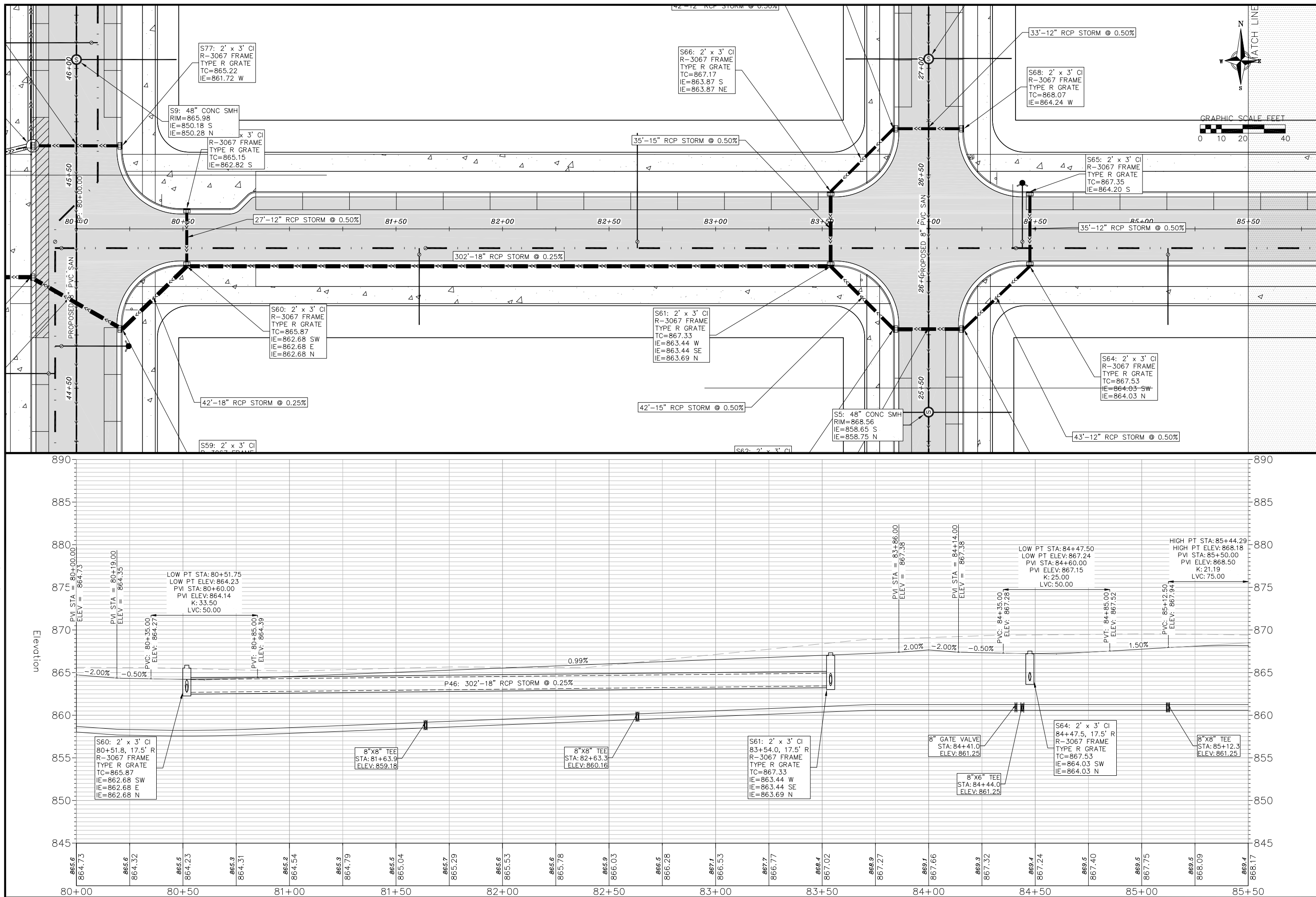
DRAFTER
ZDRE/JDEL

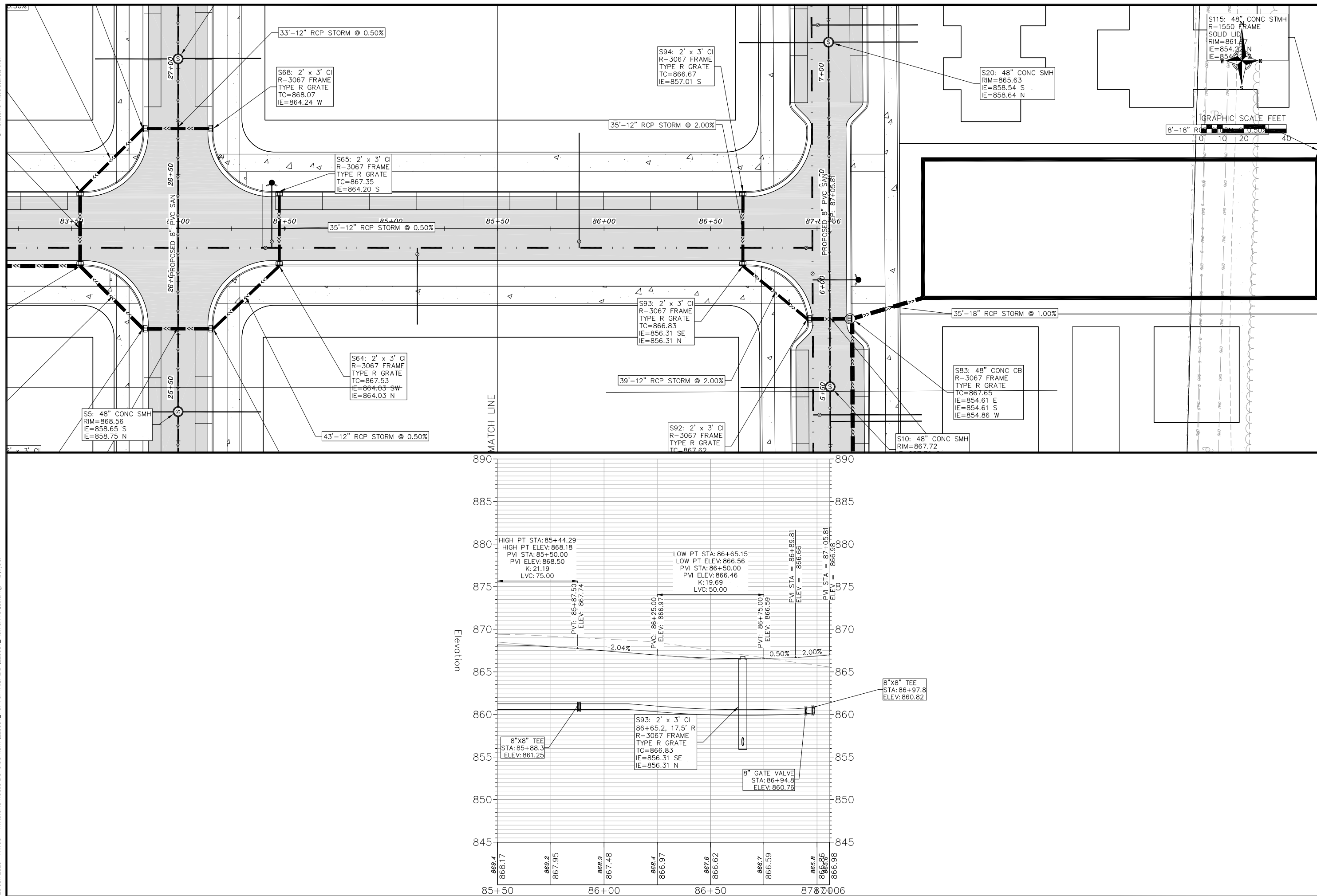
CHECKED
RKOL

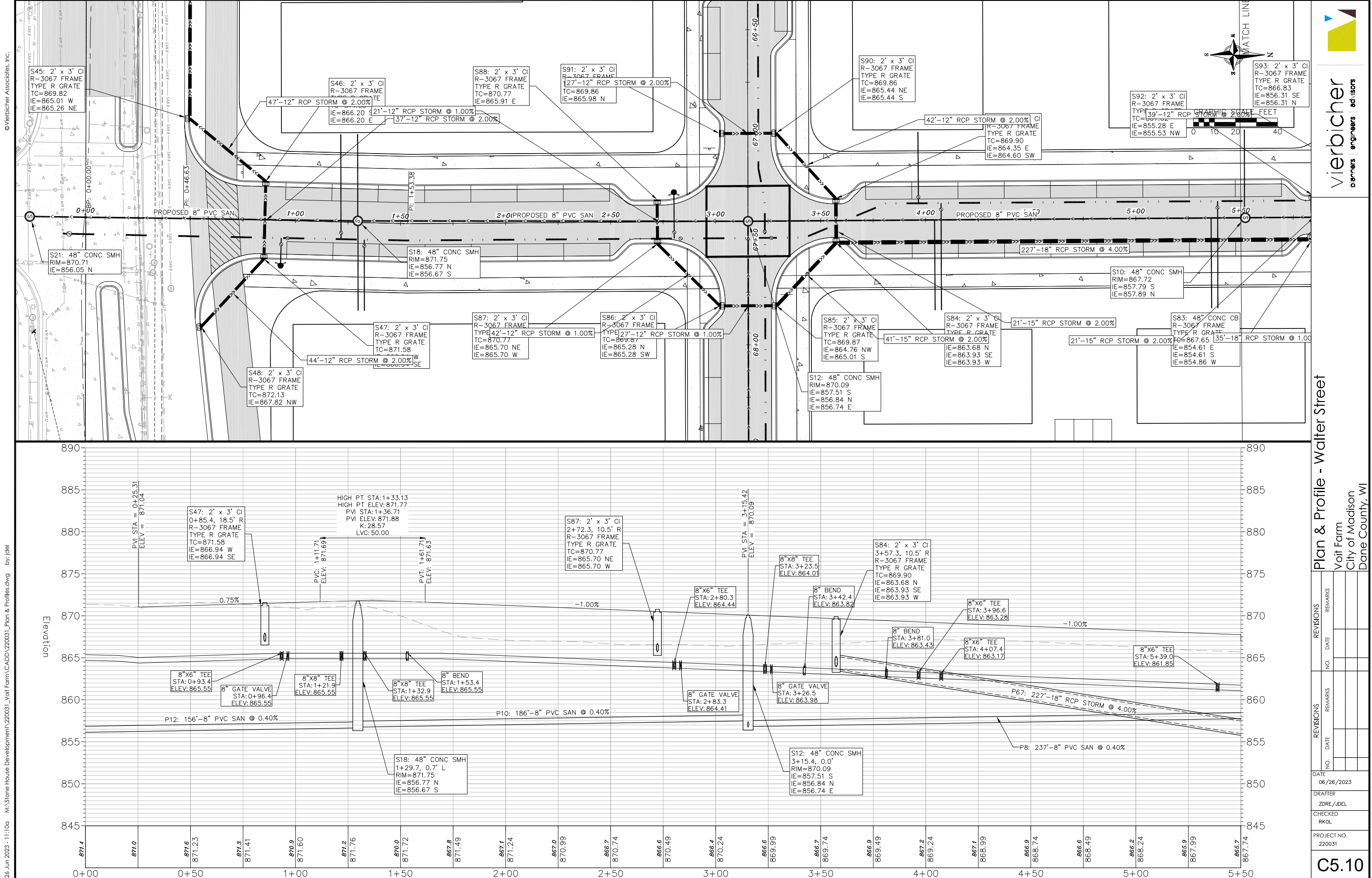
PROJECT NO.
220031

C5.6









26 Jun 2023 - 11:10a M:\Stone House Development\220031_Volf Farm\CADD\220031_Plan & Profiles.dwg by:jdal



vierbicher
planners engineers advisors

Plan & Profile - Walter Street

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

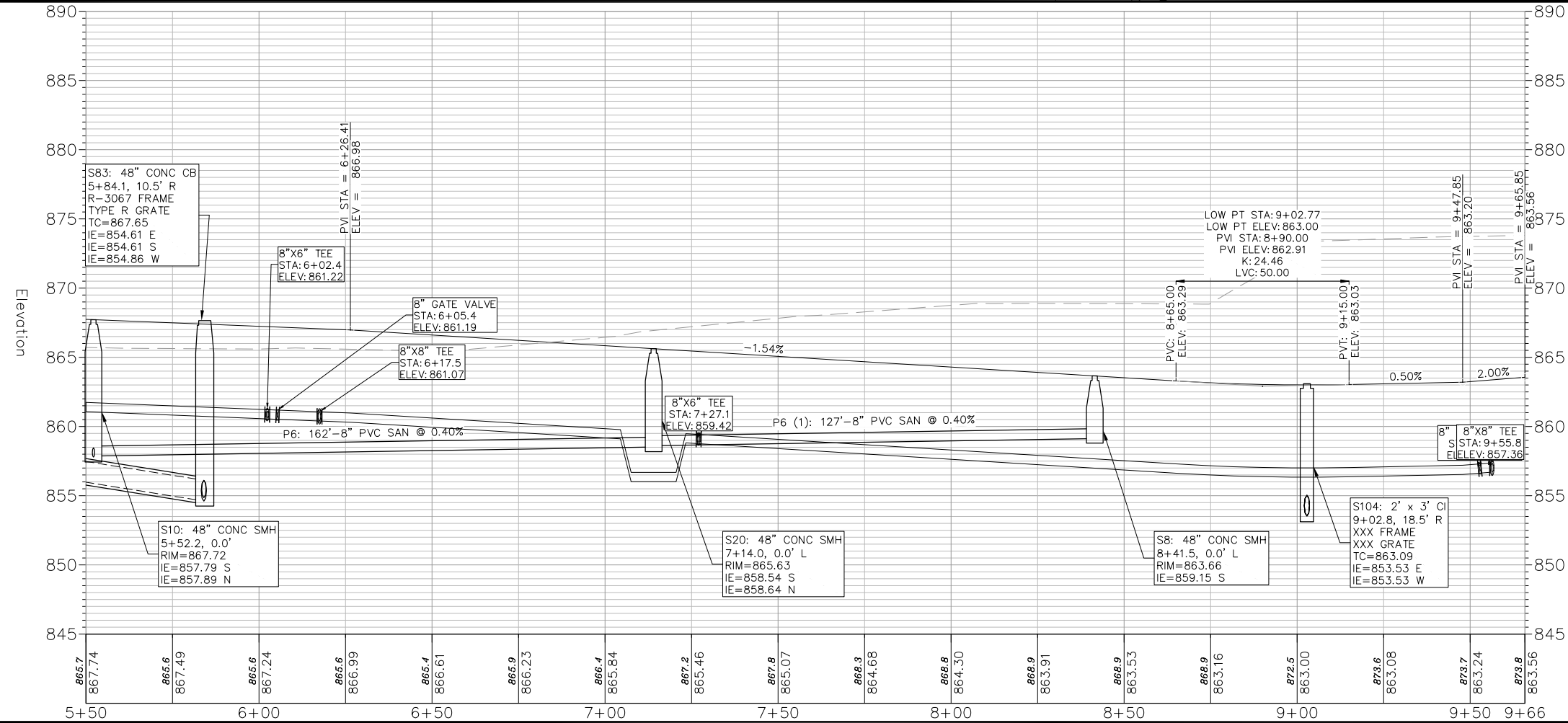
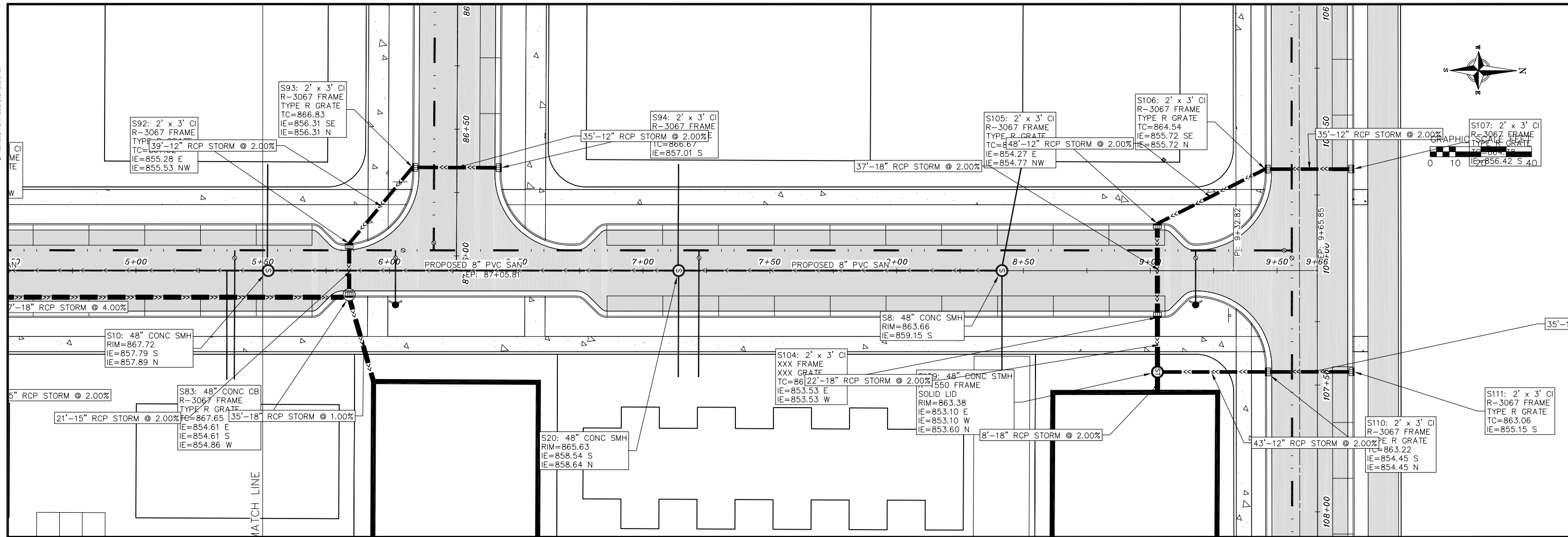
DATE
06/26/2023

DRAFTER
ZDRE/JDEL

CHECKED
RKOL

PROJECT NO.
220031

C5.10



EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
13. USE DETENTION BASINS AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION (IF LOCATED WITHIN THE FOOTPRINT OF A PROPOSED INFILTRATION AREA, THE BOTTOM OF THE EXCAVATION MUST BE LOCATED ONE FOOT ABOVE THE BOTTOM OF THE PROPOSED BASIN ELEVATION). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 18" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
16. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
17. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
18. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
19. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
20. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
21. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
22. INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
23. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
24. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
25. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
26. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
27. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY WISCONSIN DEPARTMENT OF NATURAL RESOURCES OR PERMITTING MUNICIPALITY.
28. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE, INLET PROTECTION AND TRACKING PAD.
2. STRIP TOPSOIL.
3. ROUGH GRADE STREETS & LOTS TO SUBGRADE (PER PLAN)
4. INSTALL SILT FENCE AROUND TOPSOIL STOCK PILE.
5. CONSTRUCT TEMPORARY SEDIMENT TRAPS, AS NECESSARY.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION IN NEW STORM SEWER STRUCTURES.
8. DEEP TILL PERVIOUS AREAS COMPACTED DURING CONSTRUCTION.
9. RESTORE LOT AREAS – TOPSOIL, SEED, FERTILIZE AND MULCH.
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK AND ASPHALTIC PAVEMENT).
11. RESTORE TERRACES – TOPSOIL, PERMANENT SEED AND FERTILIZE.
12. CONSTRUCT STORMWATER MANAGEMENT FACILITIES AND RESTORE.
13. REMOVE TRACKING PAD, SILT FENCE AND INLET PROTECTION AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

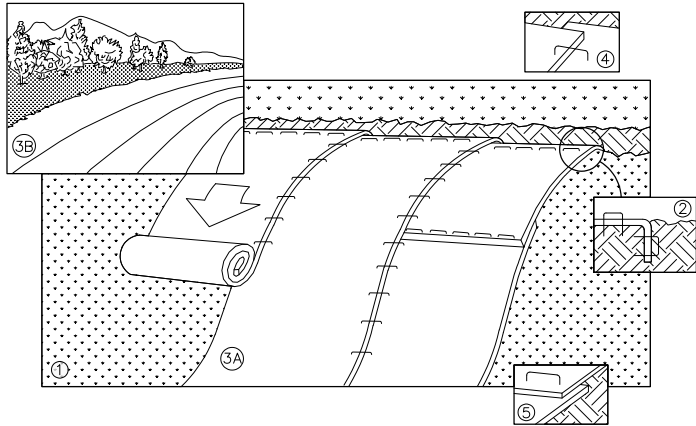


vierbicher
planners | engineers | advisors

Construction Notes and Legends

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
DATE 06/26/2023			
DRAFTER ZDRE/JDEL			
CHECKED RKOL			
PROJECT NO. 220031			
C6.0			

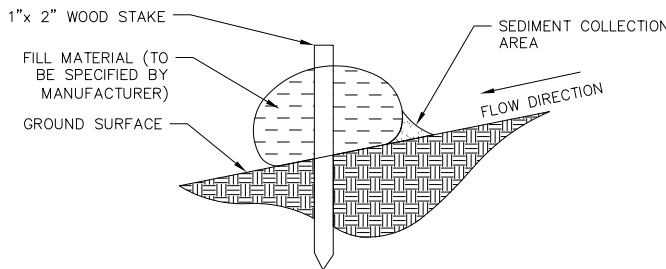


NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

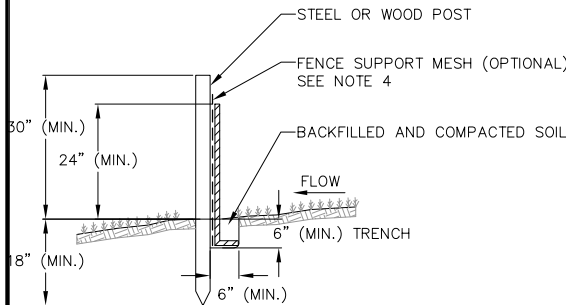
1 EROSION MAT

6 NOT TO SCALE



2 SILT SOCK

6 NOT TO SCALE

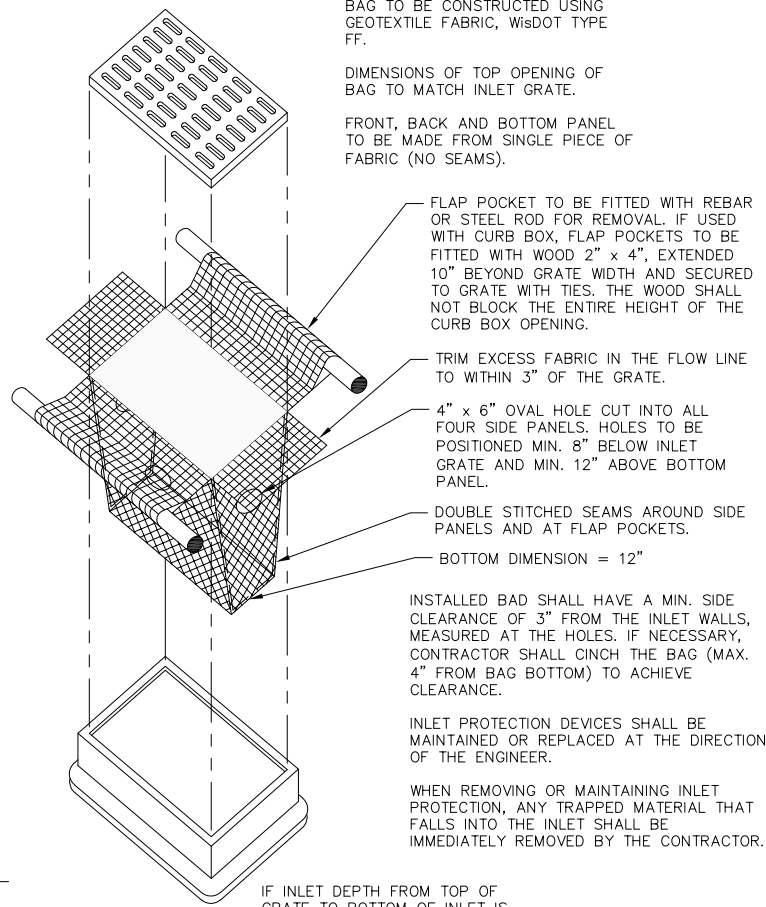


NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

3 SILT FENCE

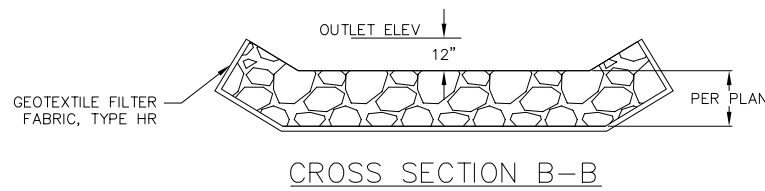
6 NOT TO SCALE



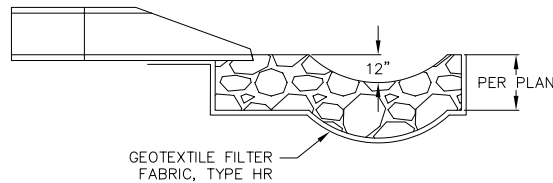
IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WisDOT TYPE C INLET PROTECTION.

4 INLET PROTECTION TYPE D

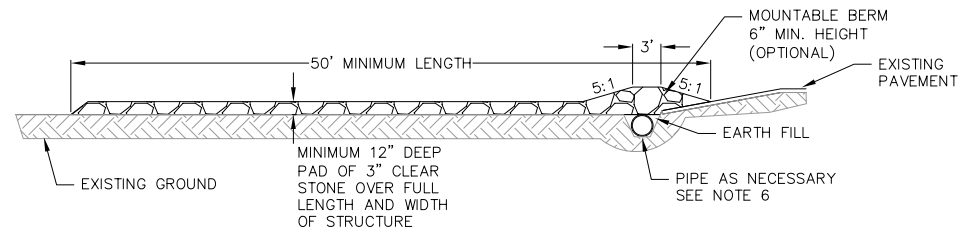
6 NOT TO SCALE



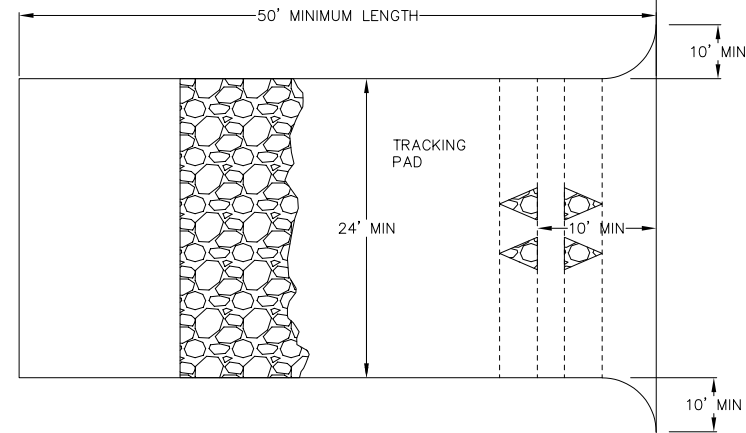
CROSS SECTION B-B



CROSS SECTION A-A



PROFILE VIEW

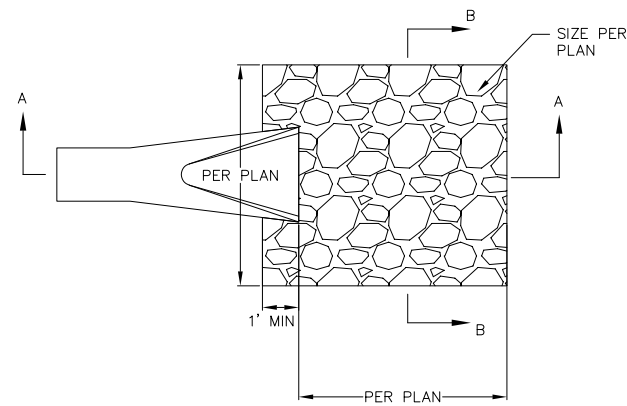


PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

5 TRACKING PAD

6 NOT TO SCALE



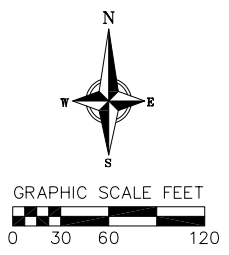
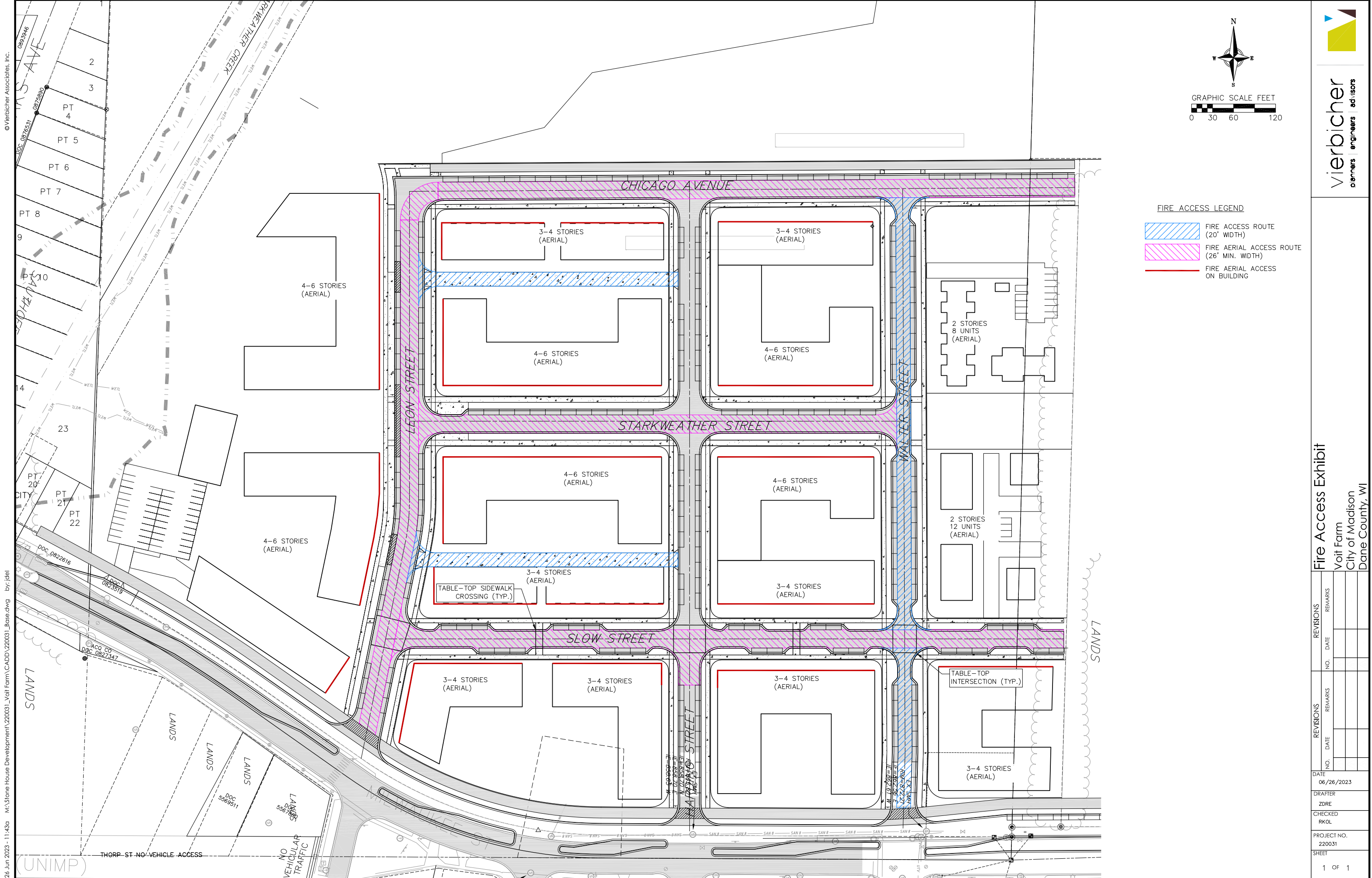
PLAN VIEW

6 RIP-RAP OUTLET

6 NOT TO SCALE

REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO.	DATE	REMARKS
DATE			06/26/2023		
DRAFTER			ZDRE/JDEL		
CHECKED			RKOL		
PROJECT NO.			220031		
C6.1					

[illegible]





vierbicher
planners engineers advisors

Fire Access Exhibit

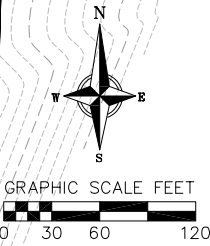
Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	06/26/2023
DRAFTER	ZDRE
CHECKED	RKOL
PROJECT NO.	220031
SHEET	1 OF 1

26 Jun 2023 - 11:53a M:\Stone House Development\220031_Voil Farm\CADD\220031_Base.dwg by: jdel

© Vierbicher Associates, Inc.





vierbicher
planners engineers advisors

04-07-10

OFFICIAL MAPPED RESERVATION

Voit Farm
City of Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE
06/26/2023

DRAFTER
JDEL

CHECKED
RKOL

PROJECT NO.
220031

SHEET
1 OF 1