

MILWAUKEE | MADISON | TUCSON | CHICAGO

MULTIFAMILY HOUSING

3100 E WASHINGTON AVENUE MADISON, WI 53704

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET

PROJECT NUMBER

KENOSHA, WI 53142

ER 233606.00

SE

CIVIL-LANDSCAPE

161 HORIZON DRIVE, SUITE 101 VERONA, WI 53593 PH 608-848-5060

ALTA/NSPS LAND TITLE SURVEY C100 NOTES AND LEGEND C200 DEMOLITION PLAN C300 SITE PLAN - ANNOTATIVE C301 SITE PLAN - DIMENSIONED C302 SITE PLAN - COURTYARD C400 GRADING AND EROSION CONTROL C401 DETAILED GRADING C500 UTILITY PLAN C600

DETAILED GRADING
UTILITY PLAN
DETAILS-EROSION CONTROL
DETAILS-UTILITIES
DETAILS-SITE

OVERALL LANDSCAPE PLAN

L101 LANDSCAPE PLAN - COURTYARD
L200 LANDSCAPE DETAILS

FAE FIRE ACCESS EXHIBIT

PHOTOMETRICS

SPECTRUM

N8 W22520 JOHNSON DRIVE UNIT E
WAUKESHA, WI 53186

PH 262-970-0300

SITE PLAN LIGHTING
SITE PLAN LIGHT LEVELS
LIGHTING CUTSHEETS
PARKING GARAGE LIGHTING PLAN
PARKING GARAGE LIGHT LEVELS

904 PARKING GARAGE LIGHTING PLAN
 905 PARKING GARAGE LIGHT LEVELS
 906 LIGHTING CUT SHEETS

ARCHITECTURAL

ENGBERG ANDERSON ARCHITECTS
320 E BUFFALO ST

SUITE 500 MILWAUKEE, WI 53202 PH 414-944-9000

G000 TITLE SHEET G001 DEMO SITE PLAN ARCHITECTURAL SITE PLAN A100 LOWER LEVEL PLAN A101 FIRST FLOOR PLAN TYPICAL FLOOR PLAN A104 **ROOF PLAN** ENLARGED UNIT PLANS ENLARGED UNIT PLANS A302 **ENLARGED UNIT PLANS** A303 ENLARGED UNIT PLANS ENLARGED UNIT PLANS ENLARGED UNIT PLANS ENLARGED UNIT PLANS **ENLARGED UNIT PLANS** BUILDING ELEVATIONS BUILDING ELEVATIONS **BUILDING ELEVATIONS**

BUILDING ELEVATIONS
BUILDING SECTIONS

ISSUED FOR:

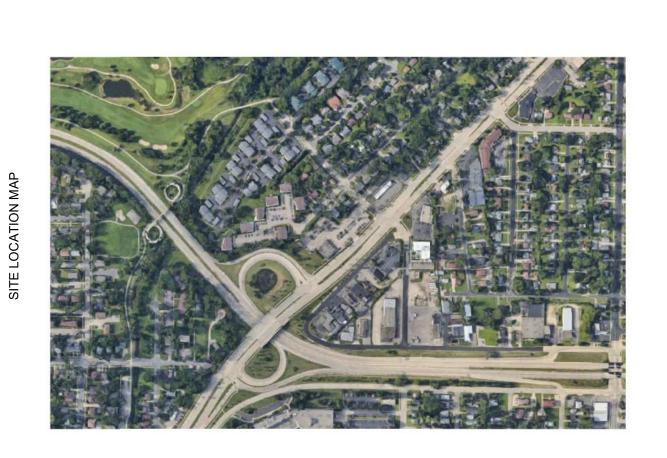
LAND USE APPLICATION

REVISION FOR:

NO. DESCRIPTION DATE

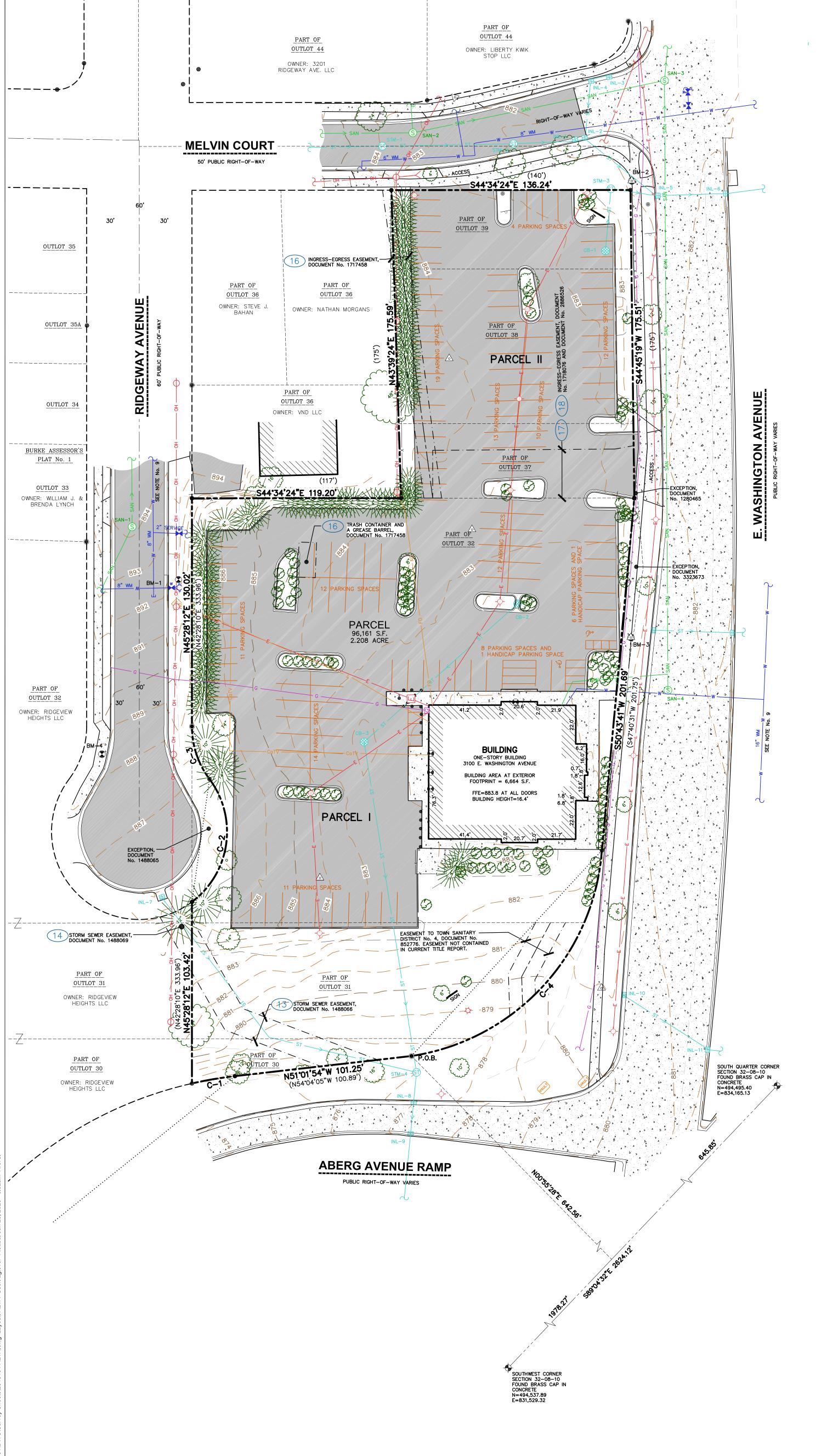
LAND USE SUBMITTA

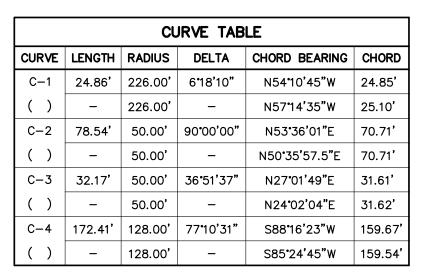












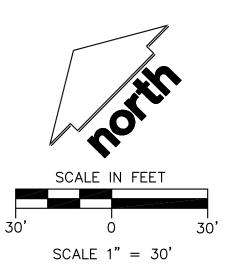
	SANITARY	SEWER	MANHOL	ES.	
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYP
SAN-1	894.22	SW	885.52	8"	PVC
		NE	884.72	8"	PVC
SAN-2	883.22	NW	872.47	8"	PVC
		NE	874.47	8"	PVC
		SE	872.23	8"	PVC
SAN-3	881.26	NW	873.52	8"	PVC
		SW	871.54	8"	PVC
		NE	871.48	8"	PVC
SAN-4	881.51	SW	873.06	8"	PVC
		NE	872.98	8"	PVC

	STORM	SEWER	MANHOLE	S	
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	883.94	NW	878.88	24"	RCP
		SE	878.87	24"	RCP
STM-2	881.93	NW	878.37	24"	RCP
		SE	878.16	24"	RCP
STM-3	882.56	SW	879.42	12"	RCP
		SE	879.35	12"	RCP
STM-4	877.00	NW	873.88	12"	RCP
		NE	874.32	12"	RCP
		SW	873.83	18"	RCP
STM-5	881.47	NE	873.77	24"	RCP
		SW	873.92	18"	RCP
		Е	873.72	24"	RCP
CB-1	882.53	NE	880.00	12"	HDPE
CB-2	881.83	NW	878.25	12"	VCP
CB-3	881.70	SE	877.02	12"	VCP
		SW	876.95	12"	RCP

	STORI	M SEWE	R INLETS		
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	881.28	NW	877.14	24"	RCP
		SE	877.25	24"	RCP
INL-2	881.28	NW	876.89	24"	RCP
		NE	876.98	18"	RCP
		SE	876.94	24"	RCP
INL-3	881.10	NW	877.93	15"	RCP
INL-4	881.18	SE	877.44	15"	RCP
		SW	877.04	18"	RCP
INL-5	881.21	NW	876.46	24"	RCP
		NW	876.71	12"	RCP
		SE	875.93	24"	RCP
INL-6	881.79	NW	875.56	24"	RCP
		SE	875.55	24"	RCP
INL-7	886.46	SW	883.66	12"	RCP
INL-8	876.78	NE	873.08	18"	RCP
		SW	873.03	18"	RCP
INL-9	877.21	NE	872.96	18"	RCP
		SW	872.90	24"	RCP
INL-10	880.20	SE	876.57	12"	RCP
INL-11	880.91	NW	876.08	12"	RCP
		SE	876.05	15"	RCP

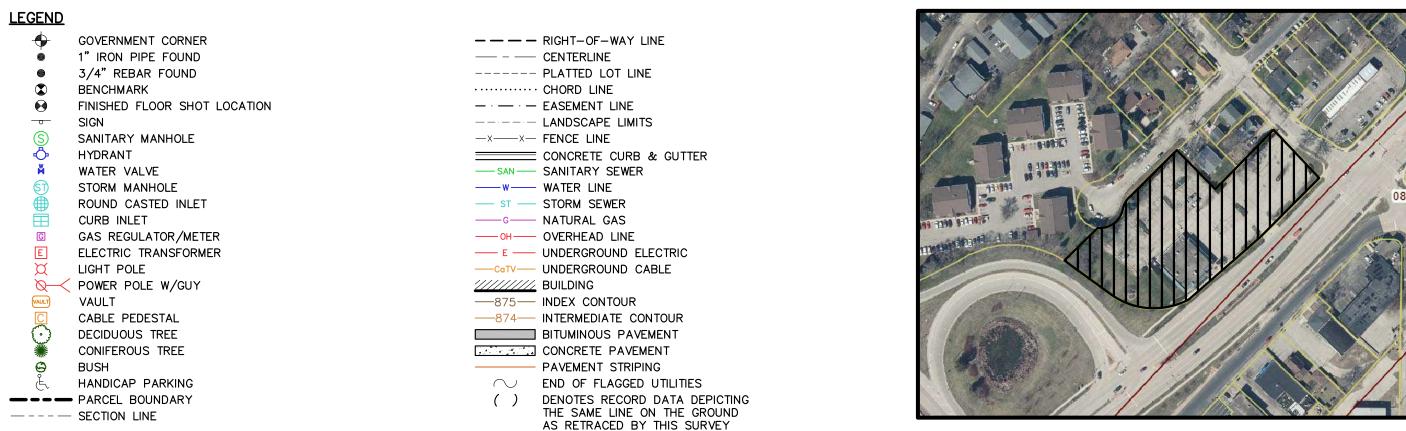
BENCHMARKS						
BENCH MARK	ELEVATION	DESCRIPTION				
BM-1	894.20	BURY BOLT ON HYDRANT SE SIDE OF RIDGEWAY AVE., NW CORNER OF SITE				
BM-2	881.80	CUT CROSS IN SIDEWALK, NE CORNER OF SITE				
BM-3	882.18	CUT CROSS IN SIDEWALK SW OF DRIVEWAY ENTRANCE ON E. WASHINGTON AVE.				
BM-4	888.75	CUT CROSS IN SIDEWALK NW SIDE OF RIDGEWAY AVE. NEAR CUL—DE—SAC				

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



ALTA/NSPS LAND TITLE SURVEY

PART OF OUTLOTS 30, 31, 32, 37, 38 AND 39, BURKE ASSESSOR'S PLAT No. 1, LOCATE IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.





SIGN

VAULT

1. FIELD WORK PERFORMED ON APRIL 17, 2023.

6. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:

2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (COUNTY) ZONE THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 32-08-10, RECORDED AS S89'04'32"E.

- 3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE SOUTH QUARTER CORNER OF SECTION 32, TO8N, R10E, ELEVATION = 867.38'
- 4. CONTOUR INTERVAL IS ONE FOOT.
- 5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No. 20231511181 WITH A CLEAR DATE OF APRIL 14, 2023.

CITY OF MADISON ENGINEERING MADISON GAS AND ELECTRIC COMPANY, MG&E (ELECTRIC AND GAS)

CHARTER COMMUNICATIONS AT&T DISTRIBUTION

7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.

- 8. JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
- 9. SHOWN PER THE CITY OF MADISON GIS (GTWEB) FOR SANITARY AND STORM SEWER, WATER MAINS AND CITY ELECTRICAL SERVICES. GTWEB DOES NOT SHOW A WATER SERVICE FROM EAST WASHINGTON AVENUE TO THE SITE. SERVICE IS SHOWN TO BE FROM RIDGEWAY AVENUE.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP NUMBER 55025C0427H, EFFECTIVE DATE SEPTEMBER 17, 2014.

ITEM 9 THERE ARE 132 PARKING SPACES AND 2 HANDICAP SPACES FOR A TOTAL OF 134 PARKING SPACES.

ITEM 11(b) PRIVATE LOCATE PERFORMED BY GLS UTILITY LLC-NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY. COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

ITEM 14 PARCEL LIES AT THE INTERSECTION OF E. WASHINGTON AVENUE AND MELVIN COURT.

ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.

ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES PER CITY OF MADISON ENGINEERING DEPARTMENT. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT

ITEM 19 THERE IS AN INSURANCE POLICY ON FILE.

ITEM 20 DIGGERS HOTLINE WAS CONTACTED.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS (FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-1170489-MAD, COMMITMENT DATE: MARCH 16, 2023 AT 7:30 AM)

THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

- 9 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON JUNE 01, 1962 IN VOLUME 740 OF DEEDS, PAGE 553, AS DOCUMENT No. 1049343. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (NOW PART OF MELVIN COURT)
- 10 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE QUIT CLAIM DEED RECORDED ON FEBRUARY 05, 1964 IN VOLUME 772, PAGE 255, AS DOCUMENT No. 1093795. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (ALL UTILITIES ARE NOW IN THE PUBLIC RIGHT OF WAY OF EAST WASHINGTON AVENUE)
- 11) TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE LAND CONTRACT RECORDED ON MARCH 31, 1971 IN VOLUME 237 OF RECORDS, PAGE 369, AS DOCUMENT No. 1286184.
- THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (12) TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON MARCH 15, 1976 IN VOLUME 660, PAGE 46, AS DOCUMENT No. 1461295.
- THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON. (13) SEWER EASEMENT TO THE CITY OF MADISON, A MUNICIPAL CORPORATION, DATED AUGUST 30, 1976, RECORDED/FILED SEPTEMBER 21, 1976 IN VOLUME 727, PAGE 528 AS DOCUMENT NO. 1488066.
- 14) SEWER EASEMENT TO THE CITY OF MADISON, A MUNICIPAL CORPORATION, DATED AUGUST 22, 1976, RECORDED/FILED SEPTEMBER 21, 1976 IN VOLUME 727, PAGE 533 AS DOCUMENT NO. 1488069. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- (15) TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE QUIT CLAIM DEED RECORDED ON FEBRUARY 07, 1977 IN VOLUME 772, PAGE 410, AS DOCUMENT No. 1504924. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- 16 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON AUGUST 27, 1981 IN VOLUME 3050, PAGE 15, AS DOCUMENT No. 1717458.
- 17 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED RECORDED ON SEPTEMBER 01, 1981 IN VOLUME 3064, PAGE 92, AS DOCUMENT No. 1718076. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 18 TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE SPECIAL WARRANTY DEED RECORDED ON SEPTEMBER 05, 1997 AS DOCUMENT No. 2886526. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- 19 DEED RESTRICTION AGREEMENT UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN: DATED: FEBRUARY 24, 1999; PARTIES: LLS ENTERPRISES, LLC, A WISCONSIN LIMITED LIABILITY COMPANY; RECORDED: FEBRUARY 25, THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- 1 LIENS, HOOK-UP CHARGES OR FEES, DEFERRED CHARGES, RESERVE CAPACITY ASSESSMENTS, IMPACT FEES, OR OTHER CHARGES OF FEES DUE AND PAYABLE ON THE DEVELOPMENT OR IMPROVEMENT OF THE LAND. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- (21) RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED) (FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-1170489-MAD, COMMITMENT DATE: MARCH 16, 2023 AT 7:30 AM)

PARCEL I:

PART OF OUTLOTS THIRTY (30), THIRTY-ONE (31) AND THIRTY-TWO (32), BURKE ASSESSOR'S PLAT NO. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, AS LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 32 TOWNSHIP 8 NORTH, RANGE 10 EAST, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT NO. 1; THENCE SOUTH 47*23'50" EAST, ALONG THE NORTHEAST LINE OF SAID OUTLOT 32, 253.98 FEET TO THE NORTHWEST RIGHT-OF-WAY LINE OF EAST WASHINGTON AVENUE (U.S.H. 151); THENCE SOUTH 37'51'50" WEST, ALONG SAID NORTHWEST RIGHT OF WAY LINE, 40.16 FEET; THENCE SOUTH 50'47'25" WEST, ALONG SAID NORTHWEST RIGHT OF WAY LINE, 162.60 FEET TO POINT OF CURVE; THENCE ALONG THE NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF 128.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 85°24'45" WEST, 159.54 FEET; THENCE NORTH 54°04'05" WEST, ALONG SAID NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY, 100.89 FEET TO A POINT OF CURVE; THENCE CONTINUE ALONG SAID NORTHWEST LINE OF THE HIGHWAY RIGHT OF WAY ON THE ARC OF A 226.00 FOOT RADIUS CURVE TO THE LEFT, WHOSE LONG CHORD BEARS NORTH 57"14"35" WEST, 35.10 FEET; THENCE NORTH 42"28"10" EAST, ALONG THE SOUTHWESTERLY PROLONGATION OF RIDGEWAY AVENUE, 333.96 FEET TO THE NORTHWEST CORNER OF SAID OUTLOT 36 AND THE POINT OF BEGINNING, EXCEPT THAT PART DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF OUTLOT 36, BURKE ASSESSOR'S PLAT NO. 1; THENCE SOUTH 42°28'10" WEST, 129.93 FEET TO A POINT OF CURVE AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS SOUTH 24°02'04" WEST, 31.62 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS SOUTH 50°35'57.5" WEST, 70.71 FEET; THENCE NORTH 42°28'10" EAST, 100.00 FEET TO THE POINT OF BEGINNING OF THIS EXCEPTION.

ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN INSTRUMENT RECORDED MAY 22, 20011 AS AS DOCUMENT NO. 3323673.

PARCEL II:

OUTLOTS 37, 38 AND 39, BURKE ASSESSOR'S PLAT NO. 1, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT THAT PART CONVEYED TO THE CITY OF MADISON RECORDED IN VOLUME 221 OF RECORDS, PAGE 214, OCUMENT NO.

FOR INFORMATIONAL PURPOSES ONLY: PROPERTY ADDRESS: 3100 E WASHINGTON AVE, MADISON, WI 53704

TAX KEY NUMBER: 251/0810-323-0401-6

SURVEYOR'S CERTIFICATE

i) BEAR CAPITAL, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,

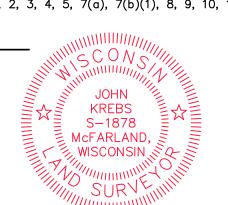
DATE

ii) LLS ENTERPRISES LLC, a/k/a LLS ENTERPRISES, L.L.C., A WISCONSIN LIMITED LIABILITY COMPANY, iii) FIRST AMERICAN TITLE INSURANCE COMPANY,

06/29/2023

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 10, 11(b), 13, 14, 16, 17, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 17, 2023.

UNI treto JOHN KREBS, S-1878 PROFESSIONAL LAND SURVEYOR Email: john.krebs@jsdinc.com Website: www.jsdinc.com





CREATE THE VISION TELL THE STOR'

isdinc.com MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593

BEAR DEVELOPMENT, LLC

P. 608.848.5060

CLIENT ADDRESS: **4011 80th STREET KENOSHA, WI 53142-4955**

> NOTE: GTWEB DOES NOT SHOW A WATER SERVICE FROM EAST WASHINGTON AVENUE TO THE SITE. IT SHOWS SERVICE FROM RIDGEWAY AVENUE.

MULTI-FAMILY DEVELOPMENT

SEE NOTE No. 9.

ROJECT LOCATION: 3100 E. WASHINGTON AVE. MADISON, WI **DANE COUNTY**

DDIFICATIONS:		
Date:	Description:	
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epared By: JK 04/24/23 Reviewed By: TJB 04/25/23 TJB 04/26/23 Approved By:

ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER:

GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- 2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS. 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION
- 4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.

- . THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S /BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS. INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BI LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO
- 2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- 3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- 4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT
- OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION. 5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.

REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

- 6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE
- 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR: EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK
- SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED. 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
- 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- 8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- 9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- 10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- 11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN. 12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- 13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- 14. FXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- 15. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- 16. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- 17. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- 18. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- 19. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- 20. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL.

CONSTRUCTION SEQUENCING

- 1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE. 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS

THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

- 4. INSTALL UTILITY PIPING, STRUCTURES, AND UNDERGROUND DETENTION, IMMEDIATELY INSTALL INLET
- 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- COVER IS ESTABLISHED. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE

PAVING NOTES

- 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY FIRM DATED DATE.
- 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE. 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT
- BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET
- MUNICIPALITY REQUIREMENTS.

ASPHALTIC CONCRETE PAVING SPECIFICATIONS

- 2.1. CODES AND STANDARDS THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
- 2.2. WEATHER LIMITATIONS APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C) .
- 2.3. GRADE CONTROL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
- 2.4. CRUSHED AGGREGATE BASE COURSE THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
- 2.5. BINDER COURSE AGGREGATE THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315. STATE HIGHWAY SPECIFICATIONS.

2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM

- O SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS. 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460,
- STATE HIGHWAY SPECIFICATIONS. 3. CONCRETE PAVING SPECIFICATIONS
- 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.

3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER

- REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD. 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
- 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.

4. PAVEMENT MARKING SPECIFICATIONS

- 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING

4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.

PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE

4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH 1 BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFET AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- 3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED. 4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE
- APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING
- ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- 6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- . CONTRACTOR SHALL CHISEL—PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- 9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR 10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF
- COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE 11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR. REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL

STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

12. STORM SEWER SPECIFICATIONS -

13. WATER MAIN SPECIFICATIONS -

14. SANITARY SEWER SPECIFICATIONS -

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
- OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY. VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS
 - AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF
- CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION ORSERVATION COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY,

AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE

- 3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS.
- 4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS. 7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN
- OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY 8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS,
- VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE

THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER

- CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- PIPE REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE
- INLETS INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE. NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL. BACKFILL AND BEDDING — STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL

ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL

- IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. FIELD TILE CONNECTION — ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- PIPE DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 "STANDARD SPECIFICATIONS". POLYVINYI CHLORIDE (PVC) PIPE SHALL MEFT REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h)
- VALVES AND VALVE BOXES GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES. HYDRANTS — HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN
- 23-INCHES (SEE DETAIL). BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- PIPE SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
- BEDDING AND COVER MATERIAL BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD
- MANHOLES MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON. MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH
- TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL. 15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVFR IS LESS. THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN

– GREEN, STORM SEWER – BROWN, WATER – BLUE, NON-POTABLE WATER – PURPLE.

WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.). 16. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(H), SPS 382.36(7)(C)10., AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- 2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- 5. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED FROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- 6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- 7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- . PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- 10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIFR."
- 11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION. 12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. . DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- 13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS
- 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068. 15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION
- ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NO COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION
- 16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS: THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION
- ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION
- ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION MEÀSURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED. INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE
- ACCEPTABLE STABILIZATION MEASURES: PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION • TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE) HYDRO-MULCHING WITH A TACKIFIER

STORMWATER FACILITIES CONSTRUCTION NOTES

RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.

GEOTEXTILE EROSION MATTING

THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.

- ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY
- STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
- AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
- 4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION
- 6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR

MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004. CITY FORESTRY NOTES

TO A TREE REMOVAL PERMIT BEING ISSUED.

17. STABILIZATION PRACTICES:

- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: HTTPS: //WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
- 3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL

SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE. 6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1

BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH

STANDARDS FOR PRUNING. ADDITIONAL STREET TREES ARE NEEDED FOR THIS PROJECT. TREE PLANTING SPECIFICATIONS CAN BE FOUND IN SECTION 209 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM) - ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT OF WAY SHALL BE DETERMINED BY CITY FORESTRY, A LANDSCAPE PLAN AND STREET TREE PLANTING PLAN SHALL BE SUBMITTED IN PDE FORMAT TO CITY FORESTRY FOR APPROVAL OF PLANTING LOCATIONS WITHIN THE RIGHT OF WAY AND

TREE SPECIES. ALL AVAILABLE STREET TREE PLANTING LOCATIONS SHALL BE PLANTED WITHIN THE

8. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE

STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

CITY TRAFFIC ENGINEERING NOTES

PROJECT BOUNDARIES.

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

GEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	BUILDING SETBACK LINE
	SAWCUT EXISTING PAVEMENT
	DEMOLITION — REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION - PAVEMENT MILL AND OVERLAY
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
XXXXXXX	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
	PROTECT EXISTING TREE
X	TREE REMOVAL
\otimes	SHRUB REMOVAL
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	8" CONCRETE RIBBON CURB
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
+ + + + + + + + + + + + + + +	HEAVY DUTY CONCRETE PAVEMENT

959———PROPOSED 1 FOOT CONTOUR -----960-------PROPOSED 5 FOOT CONTOUR - - 959 - EXISTING 1 FOOT CONTOUR ----960--- EXISTING 5 FOOT CONTOUR DRAINAGE DIRECTION - - GRADE BREAK

RETAINING WALL RAILING **——X—** FENCE LIGHT POLE (REFER TO PHOTOMETRIC PLAN) ADA PARKING SIGN

BOLLARD BOLLARD WITH ADA PARKING SIGN BIKE RACK SANITARY SEWER WATERMAIN

D STORM SEWER 8'x4'x4" INSULATION (PLAN VIEW) 8'x4'x4" INSULATION (PROFILE VIEW) RIP-RAP

EROSION MATTING

FG: XXX.XX

DITCH CHECK

INLET PROTECTION

SPOT ELEVATION

CONSTRUCTION ENTRANCE

TURF REINFORCEMENT MATTING

FG — FINISH GRADE

HP - HIGH POINT

SW - SIDEWALK

EP - EDGE OF PAVEMENT

C - EDGE OF CONCRETE

MATCH - MATCH EXISTING GRADE

BOC - BACK OF CURB

MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE

OWNER BEAR DEVELOPMENT 4011 80TH STREET

KENOSHA, WI 53142

NO. DESCRIPTION

MADISON, WI 53704

PROJECT NUMBER

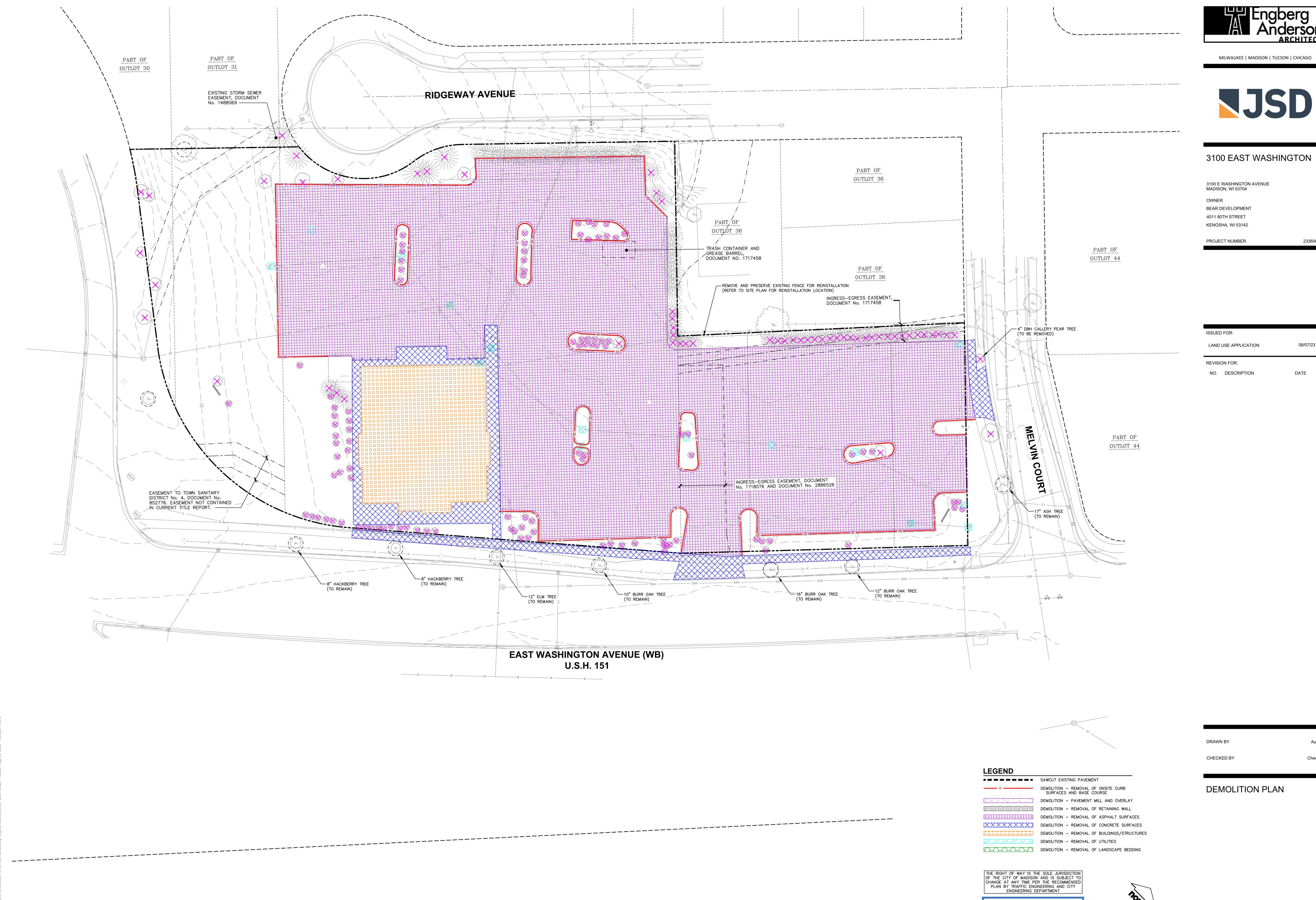
ISSUED FOR: LAND USE APPLICATION **REVISION FOR:**

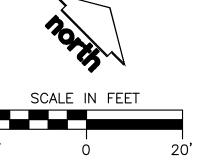
NOTES AND LEGEND

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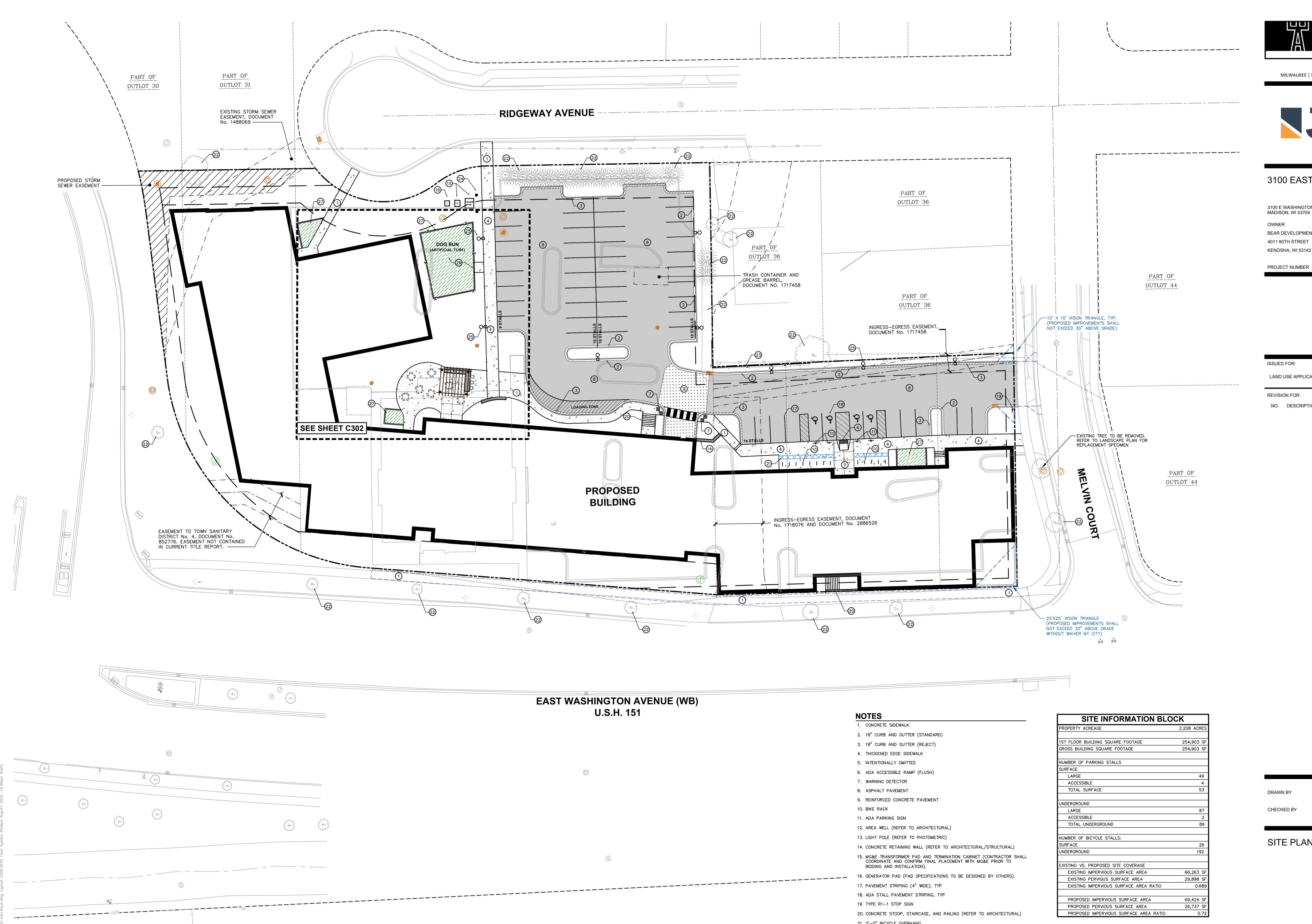
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ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS

TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



21. 2'-0" BICYCLE OVERHANG

22. EXISTING TREE TO REMAIN

24. CONCRETE BOLLARD, TYP

23. REFURBISHED/REINSTALLED PRIVACY FENCE

25. LIGHT POLE, TYP (REFER TO PHOTOMETRIC)

26. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATE

27. ARTIFICIAL TURF AND EDGING (REFER TO LANDSCAPE)

THE RIGHT OF WAY IS THE SOLE JURISDICTION

OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED

PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS

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IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)

£ 5,3

MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

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BEAR DEVELOPMENT 4011 80TH STREET

KENOSHA, WI 53142

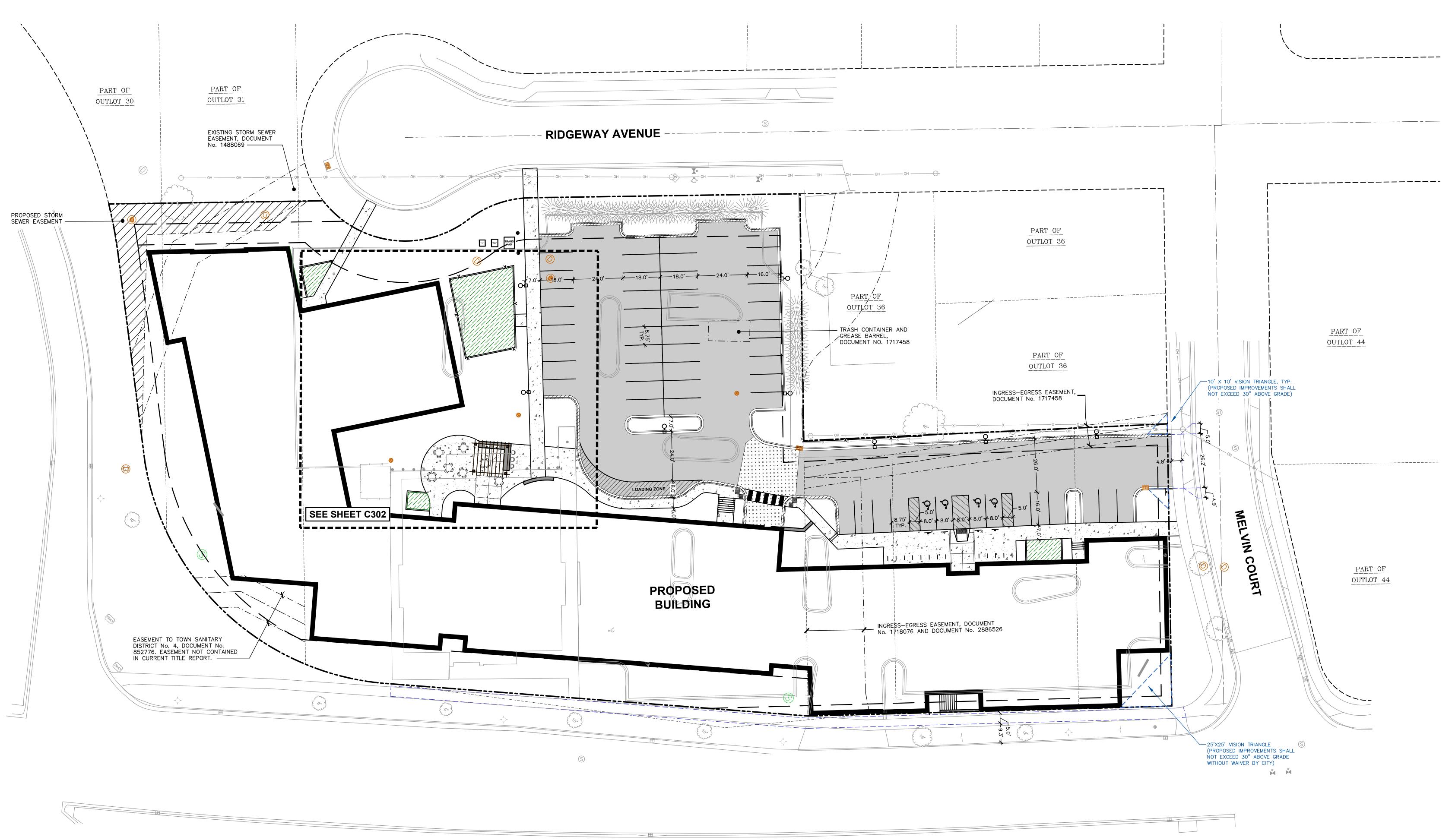
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SITE PLAN - ANNOTATED



Engberg Anderson

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OWNER
BEAR DEVELOPMENT

4011 80TH STREET KENOSHA, WI 53142

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ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO. DESCRIPTION DATE

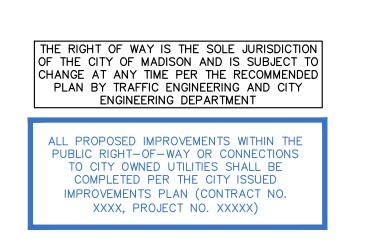
EAST WASHINGTON AVENUE (WB) U.S.H. 151

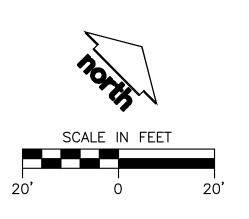
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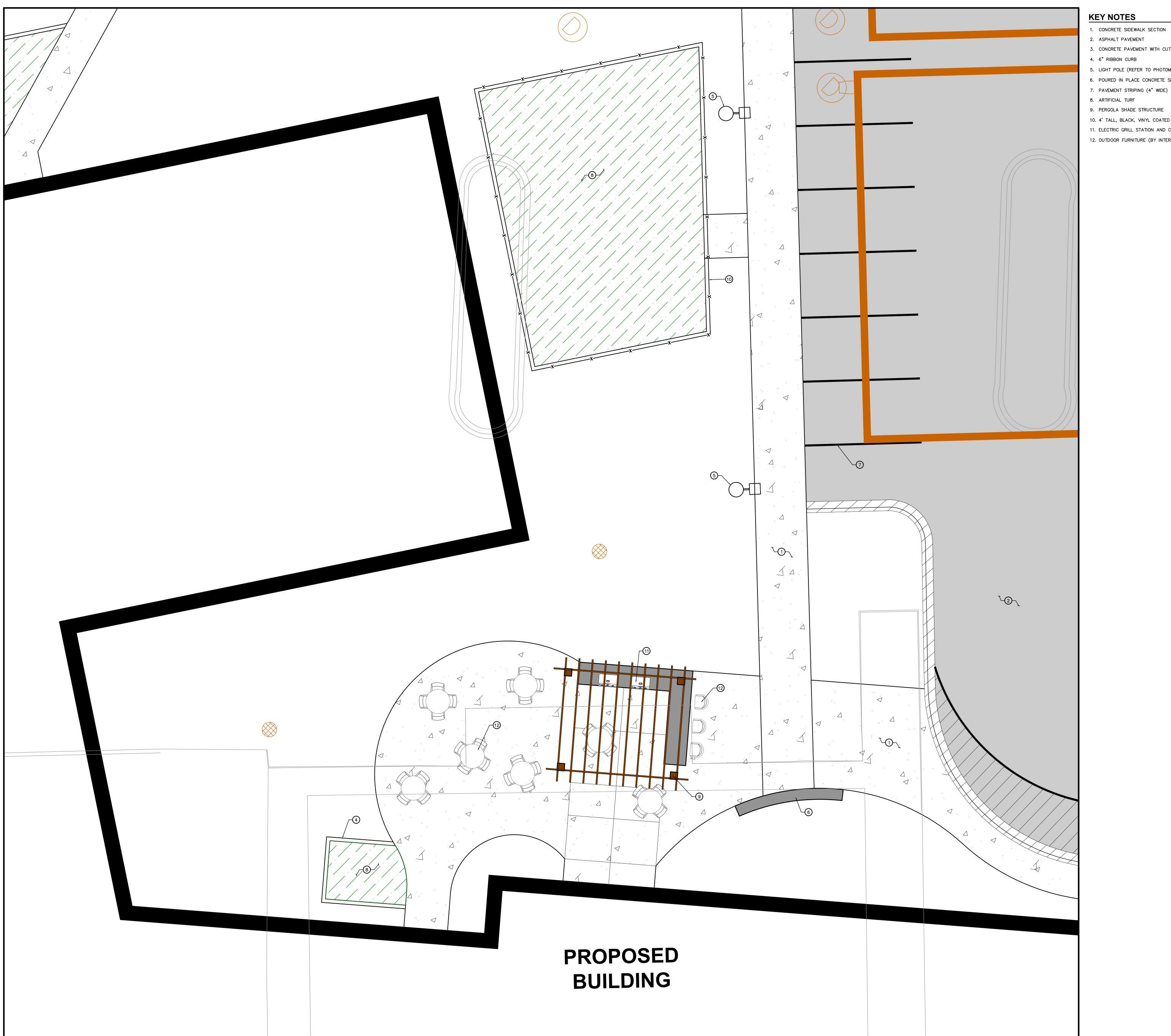
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SITE PLAN - DIMENSIONED

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KEY NOTES

- 2. ASPHALT PAVEMENT 3. CONCRETE PAVEMENT WITH CUT CONTROL JOINTS
- 4. 6" RIBBON CURB 5. LIGHT POLE (REFER TO PHOTOMETRIC)
- 6. POURED IN PLACE CONCRETE SEAT WALL W/ VENEER AND CAP
- 7. PAVEMENT STRIPING (4" WIDE)
- 8. ARTIFICIAL TURF
- 9. PERGOLA SHADE STRUCTURE 10. 4' TALL, BLACK, VINYL COATED CHAIN LINK FENCE AND GATE
- 11. ELECTRIC GRILL STATION AND COUNTERTOP
- 12. OUTDOOR FURNITURE (BY INTERIOR DESIGN TEAM)



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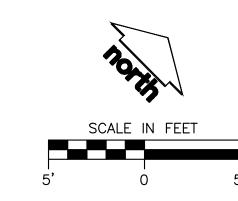
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REVISION FOR:

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SITE PLAN - COURTYARD







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4011 80TH STREET KENOSHA, WI 53142

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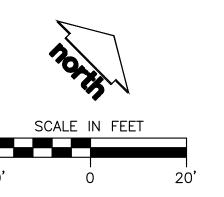
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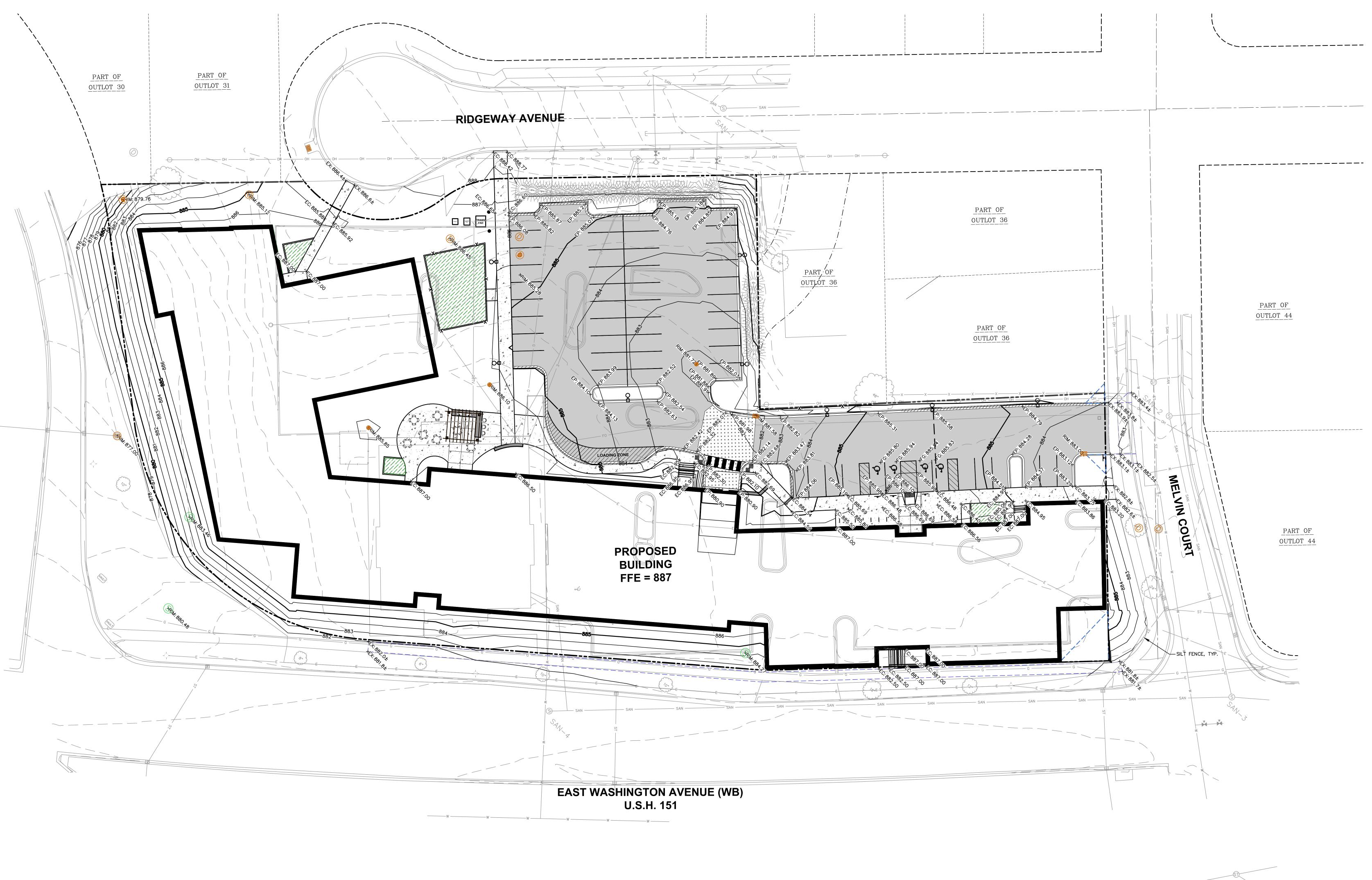
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GRADING AND

EROSION CONTROL

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY
ENGINEERING DEPARTMENT ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)





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4011 80TH STREET

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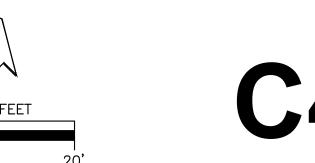
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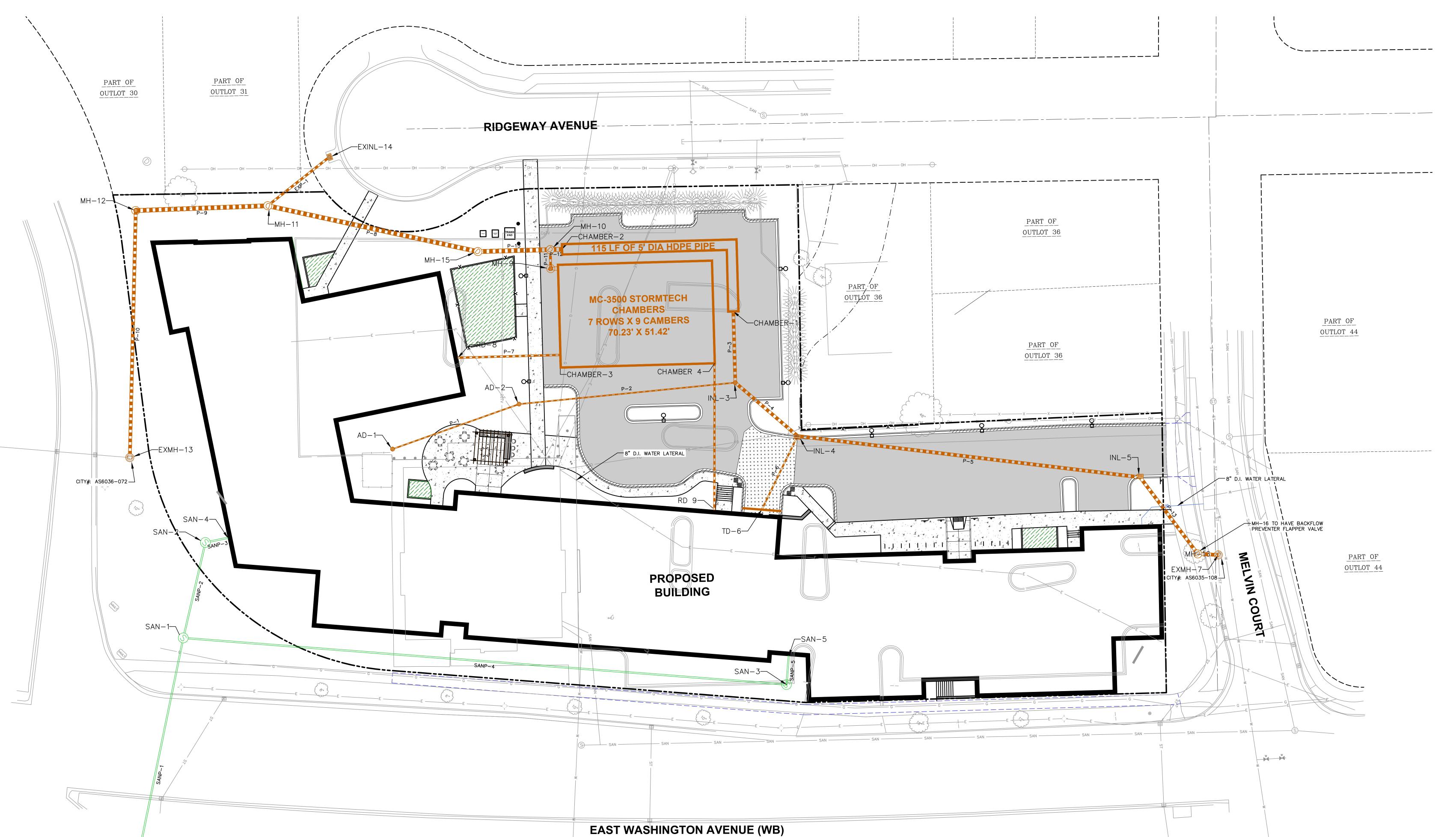
REVISION FOR: NO. DESCRIPTION

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DETAILED GRADING

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Engberg Anderson
MILWAUKEE MADISON TUCSON CHICAGO



3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER BEAR DEVELOPMENT

4011 80TH STREET KENOSHA, WI 53142

ISSUED FOR:

REVISION FOR:

LAND USE APPLICATION

NO. DESCRIPTION

CHECKED BY

UTILITY PLAN

LABEL RIM EL. (FT) INVERT EL. (FT) DEPTH (FT) STRUCTURE DESC. FRAME & GRATE NE INV: 871.48 (8") NW INV: 871.48 (8") 876.08 R-1550 SOLID LID SE INV: 871.48 (8") NE INV: 871.98 (8") 876.58 48 IN MH R-1550 SOLID LID SE INV: 871.98 (8") NW INV: 874.54 (8") 48 IN MH R-1550 SOLID LID SW INV: 874.54 (8"

PROPOSED SANITARY SEWER STRUCTURE TABLE

		F	ROPOSE	ED SANITARY S	SEWER PIPE TABLE	<u>-</u>	
LABEL	FROM	ТО	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
SANP-1		SAN-1	135'	868.66	871.48	2.08%	8 IN PVC
SANP-2	SAN-1	SAN-2	48'	871.48	871.98	1.04%	8 IN PVC
SANP-3	SAN-2	SAN-4	11'	871.98	872.10	1.04%	8 IN PVC
SANP-4	SAN-1	SAN-3	294'	871.48	874.54	1.04%	8 IN PVC
SANP-5	SAN-3	SAN-5	14'	874.54	874.69	1.04%	8 IN PVC

	PR	OPOSED STORM SE	WER STRUC	TURE TABLE	
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
AD-1	885.85	NE INV: 879.45 (6")	6.4	12 IN DB	Standard Standard
AD-2	886.10	SW INV: 878.82 (6") NE INV: 878.82 (6")	7.3	12 IN DB	Standard Standard
EXMH-7 (3)	880.03	SW INV: 878.20 (18")	1.8	3'X3' BOX	R-2050 TYPE D
EXMH-13	883.16	NW INV: 874.00 (18")	2.2	48 IN MH (FLAT)	R-1550 SOLID LID
INL-3	881.72	SW INV: 877.64 (6") E INV: 877.64 (18") NW INV: 877.64 (18")	4.1	36 IN MH (FLAT)	R-2050 TYPE D
INL-4	881.78	NE INV: 877.76 (18") S INV: 877.76 (8") W INV: 877.76 (18")	4.0	2 x 3 INLET	R-3067 TYPE L
INL-5	883.00	SW INV: 878.26 (18") E INV: 880.50 (18")	4.7	2 x 3 INLET	R-3067 TYPE L
MH-9	885.52	NW INV: 877.50 (12")	8.0	36 IN MH (FLAT)	R-2050 TYPE D
MH-10	885.73	SW INV: 877.50 (24") NE INV: 877.50 (24") SE INV: 877.50 (12")	8.2	60 IN MH (FLAT)	R-1550 SOLID LID
MH-11	885.12	NE INV: 875.92 (24") N INV: 881.55 (12") SW INV: 875.92 (24")	9.2	48 IN MH (FLAT)	R-1550 SOLID LID
MH-12	879.76	NE INV: 875.25 (24") SE INV: 875.25 (18")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID
MH-16	884.03	W INV: 878.45 (18") NE INV: 878.20 (18")	5.8	48 IN MH	R-2050 TYPE D
TD-6	881.14	N INV: 877.92 (8")	1.2	10"X16' TRENCH	GRATE COVER

U.S.H. 151

-/-	1 """ ' ' '		30	001.00	000.00	1 0.00%	12 111 1101
P-1	AD-2	AD-1	65'	878.82	879.45	0.96%	6 IN HDPE
P-2	INL-3	AD-2	106'	877.64	878.82	1.12%	6 IN HDPE
P-3	CHAMBER-1	INL-3	35'	877.50	877.64	0.40%	18 IN HDPE
P-4	INL-4	INL-3	40'	877.76	877.64	0.30%	18 IN HDPE (HP)
P-5	INL-4	INL-5	168'	877.76	878.26	0.30%	18 IN HDPE
P-6	INL-4	TD-6	40'	877.76	877.92	0.40%	8 IN HDPE
P-7	CHAMBER-3	RD-8	50'	877.50	882.00	9.01%	10 IN HDPE
P-8	MH-11	MH-15	105'	875.92	877.01	1.04%	24 IN RCP
P-9	MH-12	MH-11	64'	875.25	875.92	1.04%	24 IN RCP
P-10	EXMH-13	MH-12	120'	874.00	875.25	1.04%	18 IN RCP
P-11	MH-10	MH-9	9'	877.50	877.50	0.00%	12 IN HDPE
P-12	MH-10	CHAMBER-2	6'	877.50	877.50	0.00%	24 IN HDPE
P-13	MH-16	INL-5	47'	878.45	880.50	4.39%	18 IN HDPE
P-14	MH-16	EXMH-7	10'	878.20	878.35	1.50%	18 IN HDPE
P-15	MH-10	MH-15	35'	877.50	875.50	5.67%	24 IN RCP
P-16			71'	878.50	877.50	1.40%	10 IN HDPE

PROPOSED STORM SEWER PIPE TABLE

EXP-1 MH-11 EXINL-14 38'

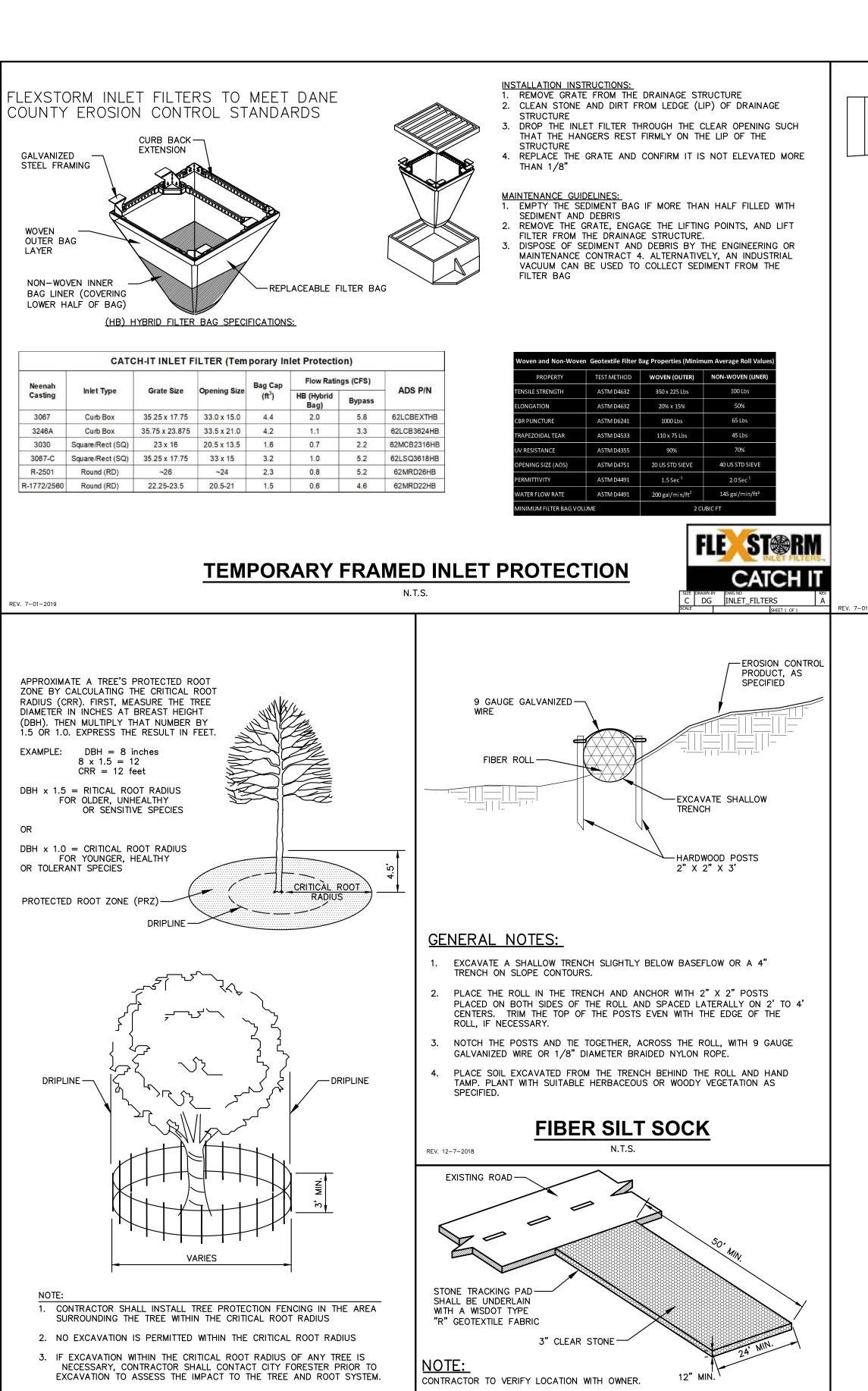
LENGTH INVERT EL. (FT) DISCHARGE EL. (FT) SLOPE SIZE & MATERIAL

5.55% 12 IN RCP

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REV. 12-10-2018

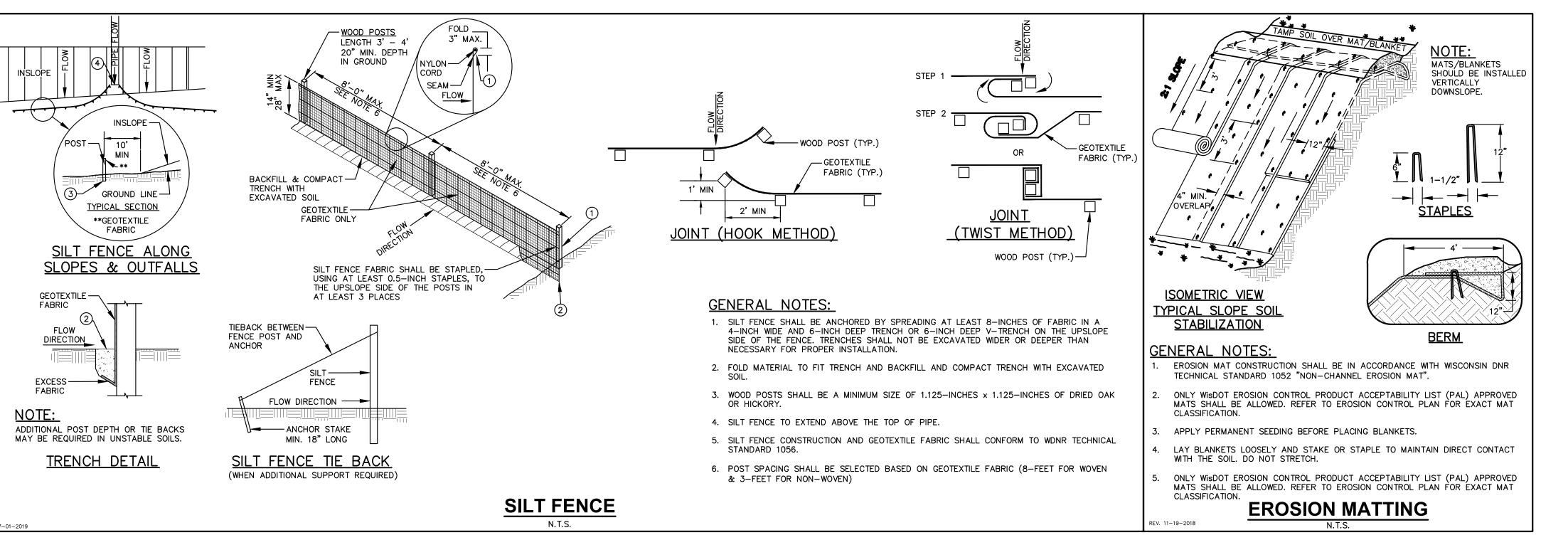
CONSTRUCTION ENTRANCE

N.T.S.

TREE PROTECTION DETAIL

N.T.S.

REV. 01-04-2019





MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER

BEAR DEVELOPMENT

4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

ISSUED FOR:

LAND USE APPLICATION 08/07/23

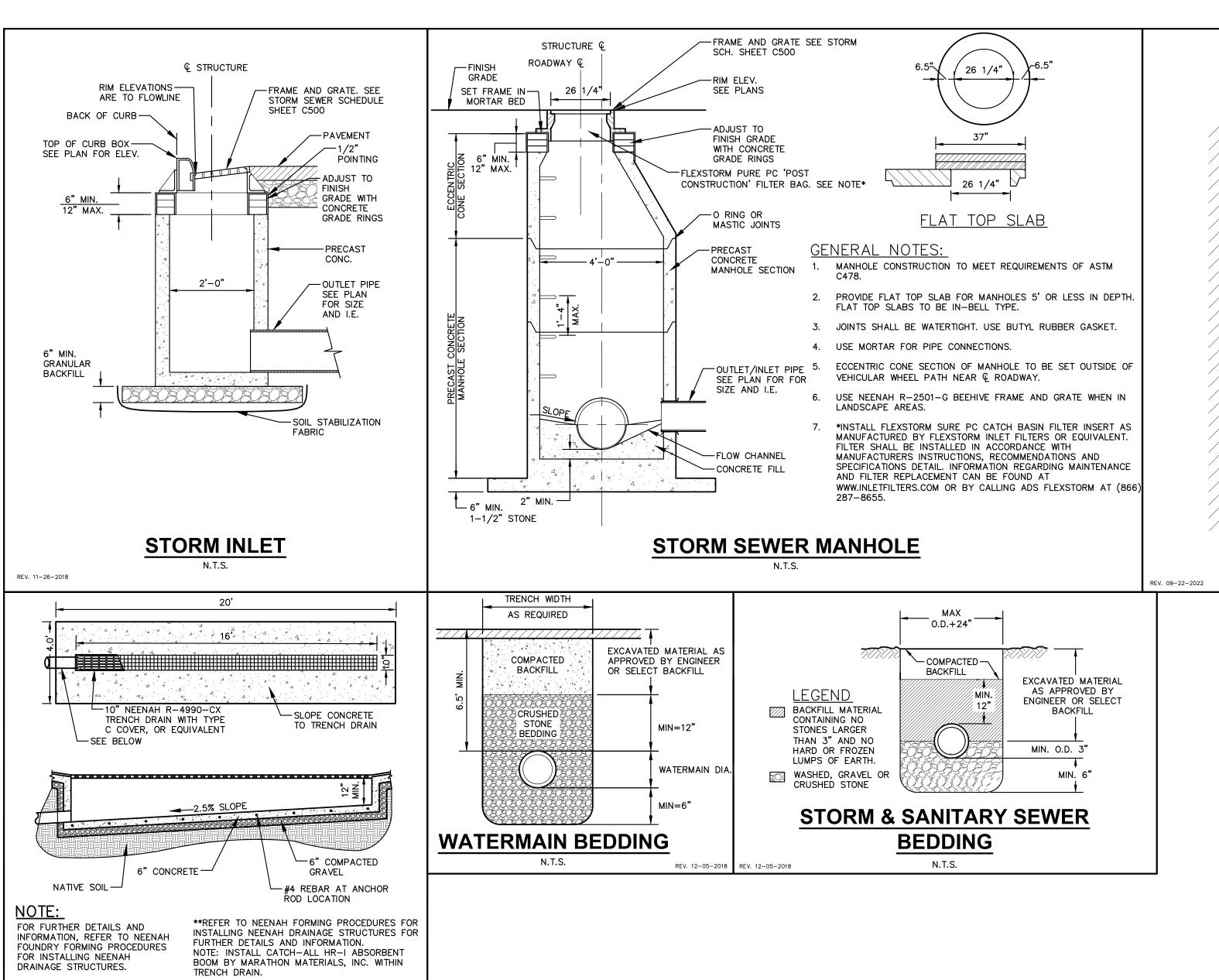
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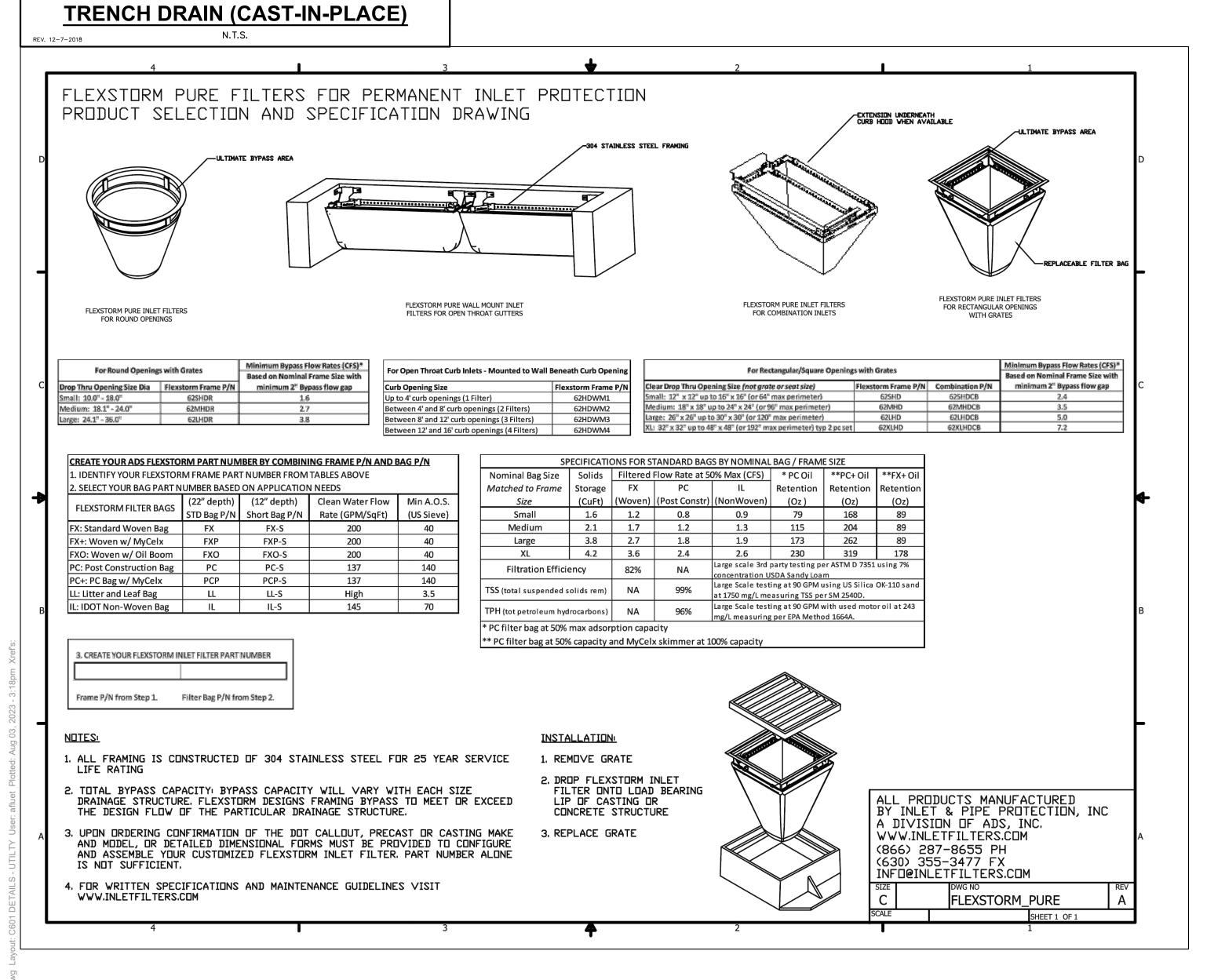
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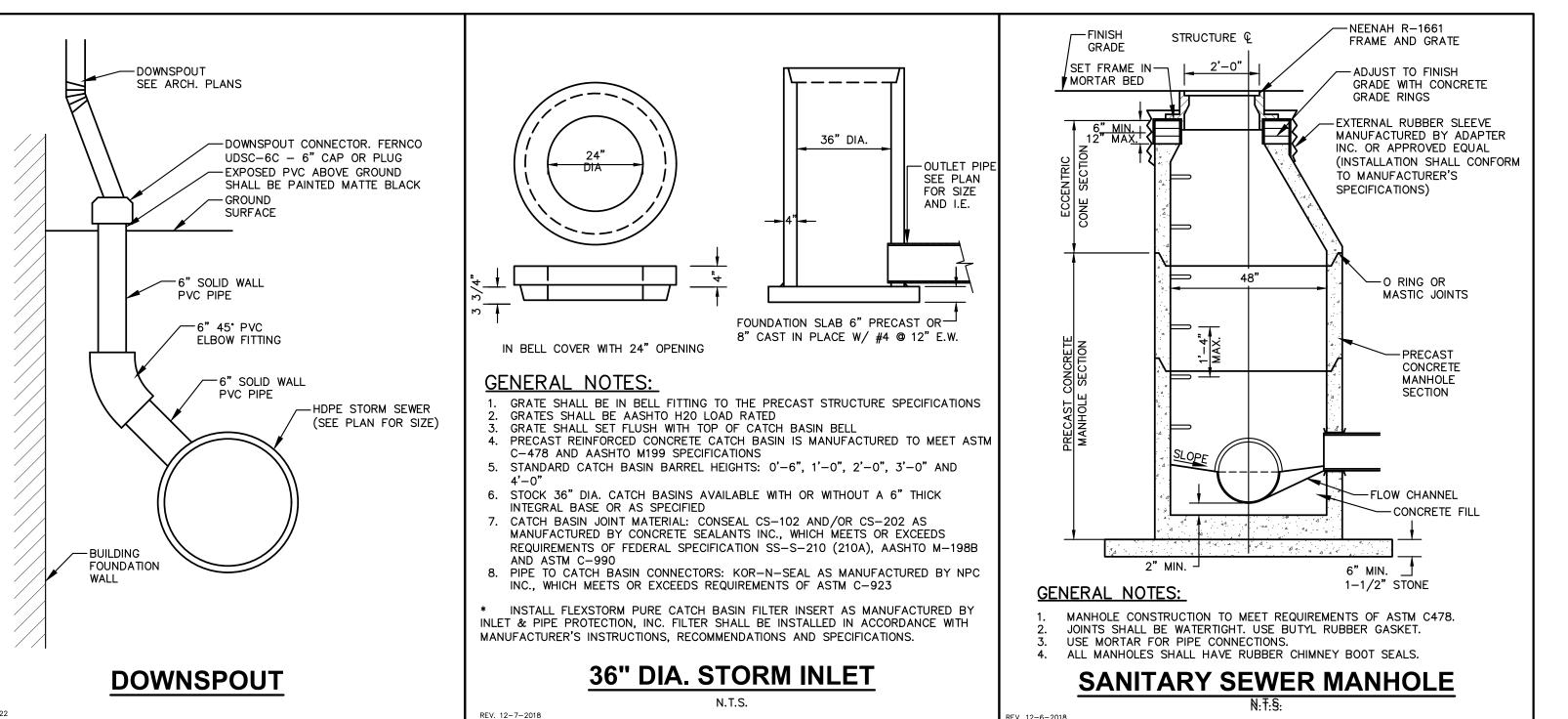
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DETAILS - EROSION CONTROL











3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET

KENOSHA, WI 53142

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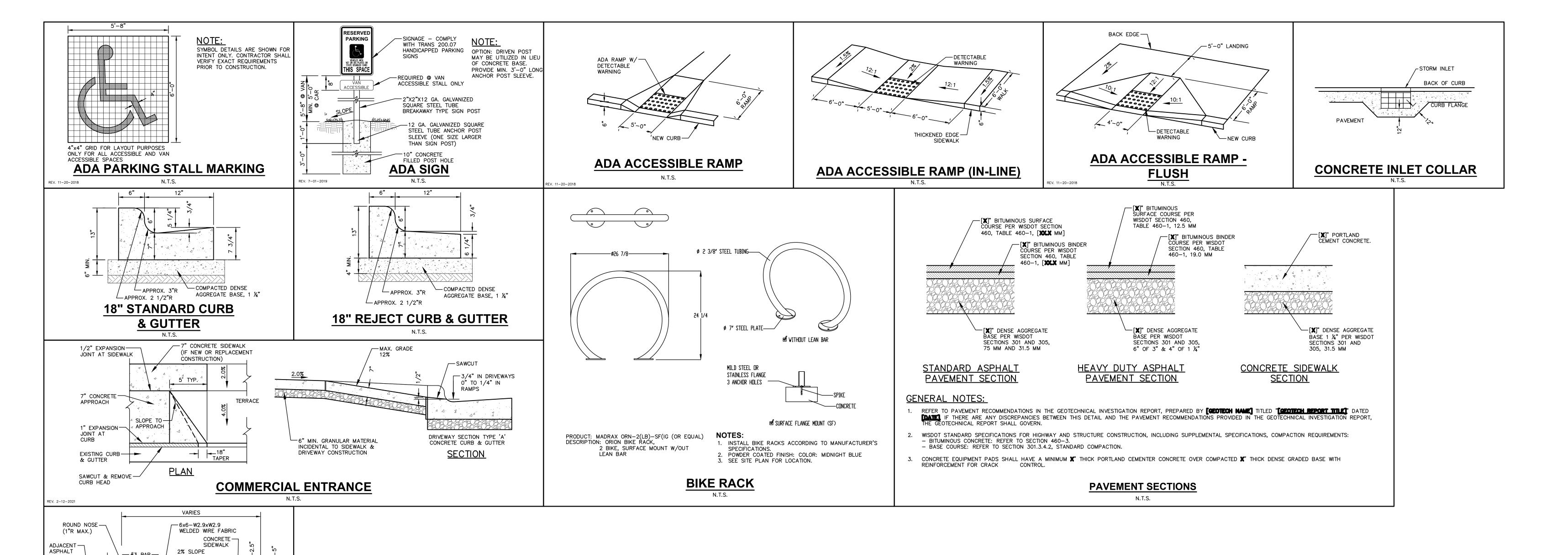
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DETAILS - UTILITIES

INTENDED FOR ALL OPEN GRATES EXCEPTING PARKING LOT STORMWATER AFTER CONSTRUCTION



AGGREGATE BASE MATERIAL

EXTEND GRAVEL BASE—/
6" PAST CONCRETE

THICKENED EDGE SIDEWALK



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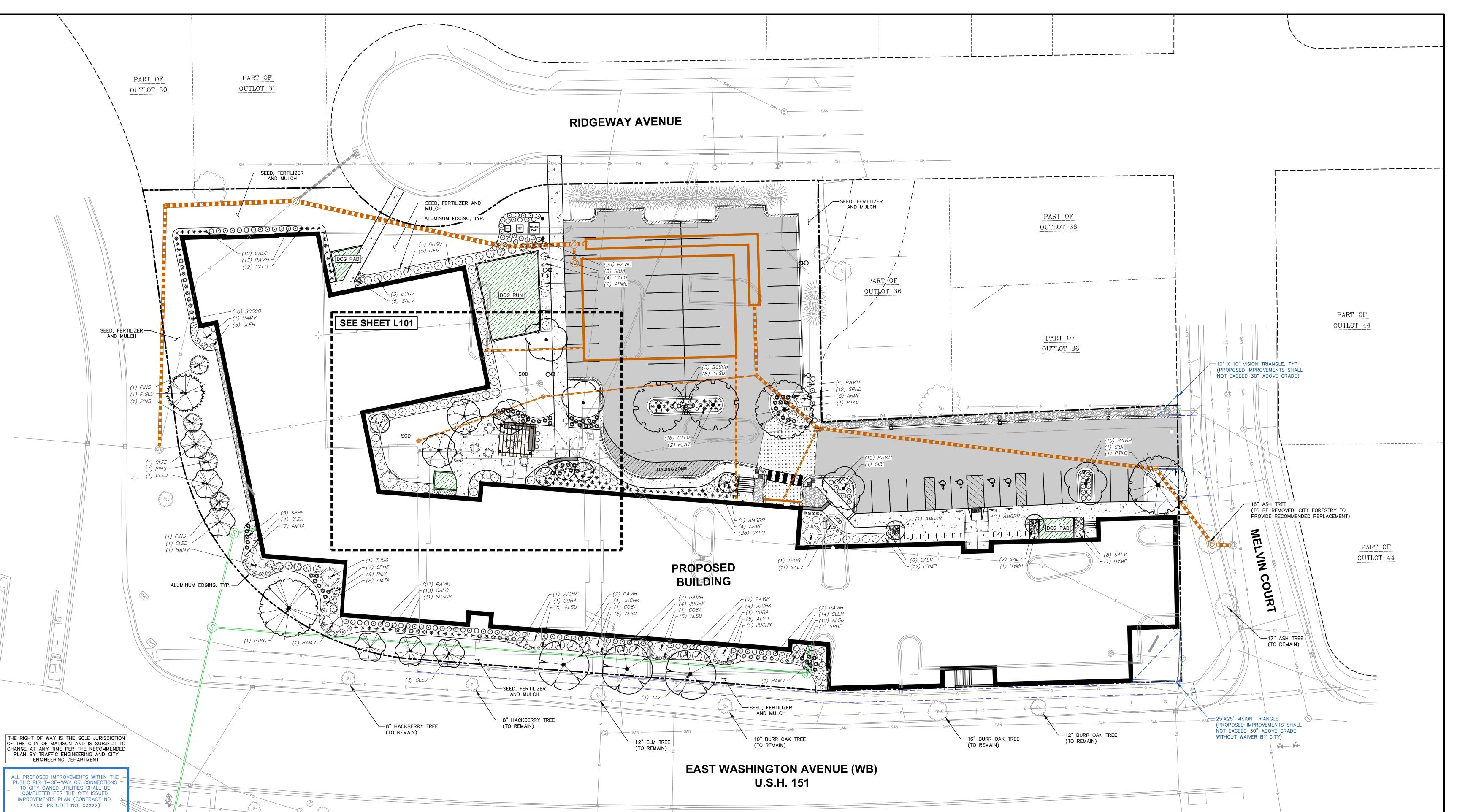
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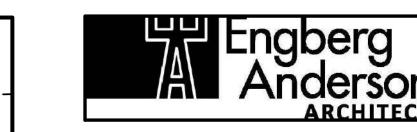
DATE

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DETAILS - SITE







3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE

MADISON, WI 53704 OWNER

BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

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NO. DESCRIPTION DATE

PLANT SCHEDULE					
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
AND THE RESERVE TO THE PARTY OF	PIGLD	Picea glauca 'Densata' Black Hills Spruce	B & B	5 ft tall min.	1
Man	PINS	Pinus cembra 'Short Stuff' Short Stuff Swiss Stone Pine	B & B	5' Tall	4
PRNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMGRR	Amelanchier x grandiflora 'Robin Hill' (Multi-Stem) Robin Hill Apple Serviceberry	B & B	6' Tall (Multi-Stem)	7
	CARC	Carpinus caroliniana 'J.N. Select A' Fire King™ American Hornbeam	B & B	2"Cal	3
VERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
\odot	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree	B & B	2.5"Cal	4
	GLED	Gleditsia triacanthos inermis 'Draves' Street Keeper® Honey Locust	B & B	2.5"Cal	6
	PTKC	Gymnocladus dioica 'J.C. McDaniel' TM Prairie Titan Kentucky Coffeetree	B & B	2.5"Cal	3
Exercise Services	PLAT	Platanus x acerifolia 'Morton Circle' TM Exclamation London Plane Tree	B & B	2.5"Cal	2
	TILA	Tilia americana 'Kromm' Sweet Street™ American Linden	B & B	2.5"Cal	3

•	ARME	Aronia melanocarpa 'Morton' TM Iroquis Beauty Black Chokeberry	#3	Min. 12"-24"	23
	CLEH	Clethra alnifolia 'Hummingbird' Hummingbird Summersweet	#3	Min. 12"-24"	23
+	COBA	Cornus baileyi Bailey's Red-twig Dogwood	#5	36" Ht.	4
	HAMV	Hamamelis vernalis Ozark Witchhazel	#5	Min. 36" tall	4
	HYMP	Hydrangea macrophylla 'PIIHM—II' Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	25
+	ITEM	ltea virginica 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15
5 - 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	RIBA	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	#3	Min. 24"	19
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
£	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 24"	21
	JUCHK	Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14
	THUG	Thuja x 'Green Giant' Green Giant Arborvitae	B & B	Min, 6' tall	3
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
\odot	ALSU	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"-18"	38
\bigoplus	AMTA	Amsonia tabernaemontana 'Storm Cloud' Strom Cloud Eastern Bluestar	#1	Min 12" Ht.	15

CONT SIZE

CODE BOTANICAL / COMMON NAME

DECIDUOUS SHRUBS

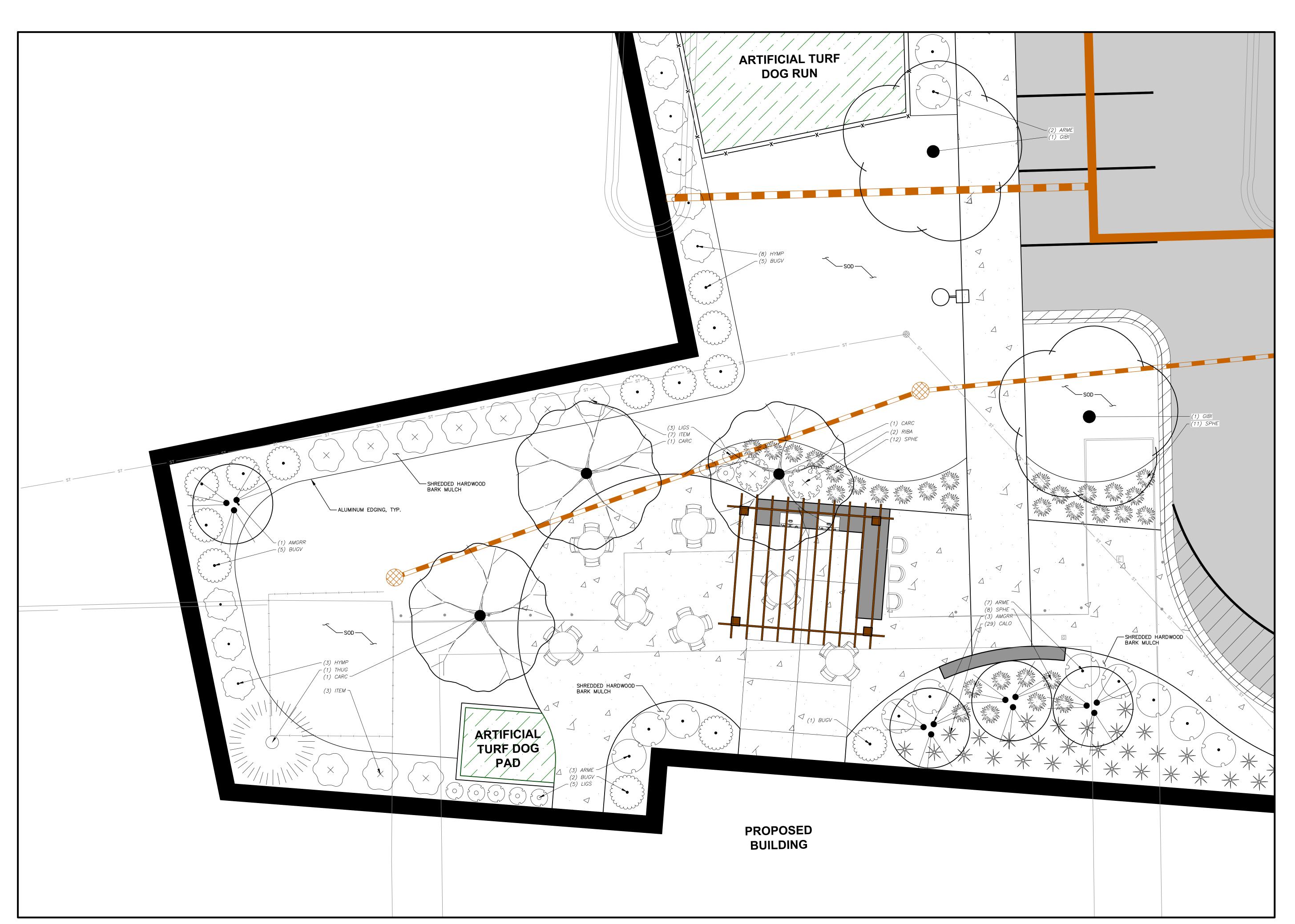
*	CALO	Calamagrostis x acutiflora 'Overdam' Overdam Feather Reed Grass	#1	Min 8"-18"	112
Ó	LIGS	Ligularia stenocephala 'Little Rocket' Little Rocket Ligularia	#1	Min. 8"-18"	8
3,3400,17,12 20,000 3,00	PAVIH	Panicum virgatum 'Heavy Metal' Heavy Metal Switch Grass	#1	Min. 12"-24"	122
1 +2	SALV	Salvia nemorosa 'Haeumanarc' Marcus® Meadow Sage	#1	Min 8"-18"	38
ZWZ ZWZ	SCSCB	Schizachyrium scoparium 'MinnblueA' Blue Heaven® Little Bluestem	#1	Min. 8"-18"	31
South South	SPHE	Sporobolus heterolepis Prairie Dropseed	#1	Min. 8"-18"	62

- O'Mare							
LEGEND					С	ONTRACTOR N	IOTES
	PROPERTY LINE	S	<u>S</u>	SANITARY SEWER			
	RIGHT-OF-WAY		W	WATERMAIN	1.	ALL PLANTING AREAS SHA HARDWOOD BARK MULCH	
_ · _ · _ · _ · _ · _	EASEMENT LINE	D		STORM SEWER		SPECIFIED (SEE L200 MA	
	BUILDING OUTLINE		SAN	EXISTING SANITARY SEWER	2.	ALL DISTURBED AREAS TO	
	BUILDING OVERHANG		W	EXISTING WATERMAIN		FERTILIZER, AND MULCH SPECIFIED. (SEE L200 SI	
	EDGE OF PAVEMENT		ST	EXISTING STORM SEWER			
	STANDARD CURB AND GUTTER		x	FENCE			
	REJECT CURB AND GUTTER	~ □	D-0-D	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)			
	ASPHALT PAVEMENT			ADA PARKING SIGN			
4 A A	CONCRETE PAVEMENT		•	BOLLARD			
+ + + + + + + + + + + + + + + + + + + +	HEAVY DUTY CONCRETE PAVEMENT		_	BIKE RACK			
959	PROPOSED 1 FOOT CONTOUR			ALUMINUM EDGING			_
960——	PROPOSED 5 FOOT CONTOUR			KAFKA GRANITE AGGREGATE PATH			
— ·959· — —	EXISTING 1 FOOT CONTOUR	1///	!;/!:/!://://:	ARTIFICIAL TURF (SPECIFICATION TBD)			
- -960 -	EXISTING 5 FOOT CONTOUR	\$0000	25252525252525252525252525252525252525	DECORATIVE STONE MULCH			3
							▼



OVERALL LANDSCAPE PLAN

L100

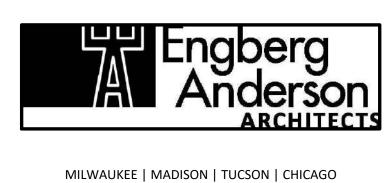


EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
A STATE OF THE STA	PIGLD	Picea glauca 'Densata' Black Hills Spruce	B & B	5 ft tall min.	1
But the land the	PINS	Pinus cembra 'Short Stuff' Short Stuff Swiss Stone Pine	B & B	5' Tall	4
DRNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMGRR	Amelanchier x grandiflora 'Robin Hill' (Multi-Stem) Robin Hill Apple Serviceberry	B & B	6' Tall (Multi-Stem)	7
	CARC	Carpinus caroliniana 'J.N. Select A' Fire King™ American Hornbeam	B & B	2"Cal	3
DVERSTORY DECIDUOUS TRE	EES CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
$\overline{(\cdot)}$	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree	B & B	2.5"Cal	4
	GLED	Gleditsia triacanthos inermis 'Draves' Street Keeper® Honey Locust	B & B	2.5"Cal	6
	PTKC	Gymnocladus dioica 'J.C. McDaniel' TM Prairie Titan Kentucky Coffeetree	B & B	2.5"Cal	3
500 m	PLAT	Platanus x acerifolia 'Morton Circle' TM Exclamation London Plane Tree	B & B	2.5"Cal	2
	TILA	Tilia americana 'Kromm' Sweet Street™ American Linden	B & B	2.5"Cal	3

CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
ARME	Aronia melanocarpa 'Morton' TM Iroquis Beauty Black Chokeberry	#3	Min. 12"-24"	23
CLEH	Clethra alnifolia 'Hummingbird' Hummingbird Summersweet	#3	Min. 12"-24"	23
COBA	Cornus baileyi Bailey's Red-twig Dogwood	#5	36" Ht.	4
HAMV	Hamamelis vernalis Ozark Witchhazel	#5	Min. 36" tall	4
HYMP	Hydrangea macrophylla 'PIIHM—II' Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	25
ITEM	ltea virginica 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15
RIBA	Ribes alpinum 'Green Mound' Green Mound Alpine Currant	#3	Min. 24"	19
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 24"	21
JUCHK	Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14
THUG	Thuja x 'Green Giant' Green Giant Arborvitae	B & B	Min, 6' tall	3
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
ALSU	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 8"-18"	38
AMTA	Amsonia tabernaemontana 'Storm Cloud' Strom Cloud Eastern Bluestar	#1	Min 12" Ht.	15
	CLEH COBA HAMV HYMP ITEM RIBA CODE BUGV JUCHK THUG CODE ALSU	ARME Aronia melanocarpa 'Morton' TM Iroquis Beauty Black Chokeberry CLEH Clethra alnifolia 'Hummingbird' Hummingbird Summersweet COBA Cornus baileyi Bailey's Red—twig Dogwood HAMV Hamamelis vernalis Ozark Witchhazel HYMP Hydrangea macrophylla 'PIIHM—II' Endless Summer® BloomStruck® Hydrangea ITEM Itea virginica 'Morton' Scarlet Beauty™ Sweetspire RIBA Ribes alpinum 'Green Mound' Green Mound Alpine Currant CODE BOTANICAL / COMMON NAME BUGV Buxus x 'Green Velvet' Green Velvet Boxwood JUCHK Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper THUG Thuja x 'Green Giant' Green Giant Arborvitae CODE BOTANICAL / COMMON NAME ALSU Allium x 'Summer Beauty' Summer Beauty Allium AMTA Amsonia tabernaemontana 'Storm Cloud'	ARME Aronia melanocarpa 'Morton' TM Iroquis Beauty Black Chokeberry CLEH Clethra alnifolia 'Hummingbird' Hummingbird Summersweet COBA Cornus baileyi Bailey's Red—twig Dogwood HAMV Hamamelis vernalis Ozark Witchhazel HYMP Hydrangea macrophylla 'PIIHM—II' Endless Summer® BloomStruck® Hydrangea ITEM Itea virginica 'Morton' Scarlet Beauty ™ Sweetspire RIBA Ribes alpinum 'Green Mound' Green Mound Alpine Currant CODE BOTANICAL / COMMON NAME CONT BUGV Buxus x 'Green Velvet' Green Velvet Boxwood JUCHK Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper THUG Thuja x 'Green Giant' Green Giant Arborvitae CODE BOTANICAL / COMMON NAME CONT BUGV Buxus x 'Green Giant' Green Giant Arborvitae CODE BOTANICAL / COMMON NAME CONT BUCHK Summer Beauty Allium 'Summer Beauty Allium 'Summer Beauty Allium 'Storm Cloud' #1	ARME Aronia melanocarpa 'Morton' TM Iroquis Beauty Black Chokeberry CLEH Clethra alnifolia 'Hummingbird' #3 Min. 12" – 24" COBA Cornus baileyi Bailey's Red—twig Dogwood #5 36" Ht. HAMV Hamamelis vernalis Ozark Witchhazel #5 Min. 36" tall HYMP Hydrangea macrophylla 'PIIHM—II' #3 Min. 24" ITEM Itea virginica 'Morton' #3 Min. 24" RIBA Ribes alpinum 'Green Mound' #3 Min. 24" CODE BOTANICAL / COMMON NAME CONT SIZE BUGV Buxus x 'Green Velvet' #3 Min. 24" JUCHK Juniperus chinensis 'Pfitzerana Kallays Compacta' #5 Min. 24" wide THUG Thuja x 'Green Giant' Green Giant Arborvitae CODE BOTANICAL / COMMON NAME CONT SIZE THUG Thuja x 'Green Giant' Green Giant Arborvitae CODE BOTANICAL / COMMON NAME CONT SIZE ALSU Allium x 'Summer Beauty' #1 Min. 8"−18" AMIA Amsonia tabernaemontana 'Storm Cloud' #1 Min. 12" Ht.

*	CALO	Calamagrostis x acutiflora 'Overdam' Overdam Feather Reed Grass	#1	Min 8"-18"	112
	LIGS	Ligularia stenocephala 'Little Rocket' Little Rocket Ligularia	#1	Min. 8"-18"	8
Juluville management	PAVIH	Panicum virgatum 'Heavy Metal' Heavy Metal Switch Grass	#1	Min. 12"-24"	122
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	SALV	Salvia nemorosa 'Haeumanarc' Marcus® Meadow Sage	#1	Min 8"-18"	38
ZWZ	SCSCB	Schizachyrium scoparium 'MinnblueA' Blue Heaven® Little Bluestem	#1	Min. 8"-18"	31
Solver So	SPHE	Sporobolus heterolepis Prairie Dropseed	#1	Min. 8"-18"	62

	PROPERTY LINE	<u>S</u>	SANITARY SEWER
	RIGHT-OF-WAY	——————————————————————————————————————	WATERMAIN
	EASEMENT LINE		STORM SEWER
	BUILDING OUTLINE	SAN	EXISTING SANITARY SEWER
	BUILDING OVERHANG		EXISTING WATERMAIN
	EDGE OF PAVEMENT	ST	EXISTING STORM SEWER
	STANDARD CURB AND GUTTER	X	FENCE
	REJECT CURB AND GUTTER	o-0	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ASPHALT PAVEMENT	_	ADA PARKING SIGN
4 4 4	CONCRETE PAVEMENT	•	BOLLARD
+ + + + + + + + + + + + + + + + + + + +	HEAVY DUTY CONCRETE PAVEMENT	_	BIKE RACK
959	PROPOSED 1 FOOT CONTOUR		ALUMINUM EDGING
960——	PROPOSED 5 FOOT CONTOUR		KAFKA GRANITE AGGREGATE PATH
— ·959· — —	EXISTING 1 FOOT CONTOUR		ARTIFICIAL TURF (SPECIFICATION TBD)
960	EXISTING 5 FOOT CONTOUR	はんりんりんりんりんりんりんりん	DECORATIVE STONE MULCH



JJSD

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER

BEAR DEVELOPMENT

4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

ISSUED FOR:

LAND USE APPLICATION

DATE

REVISION FOR:

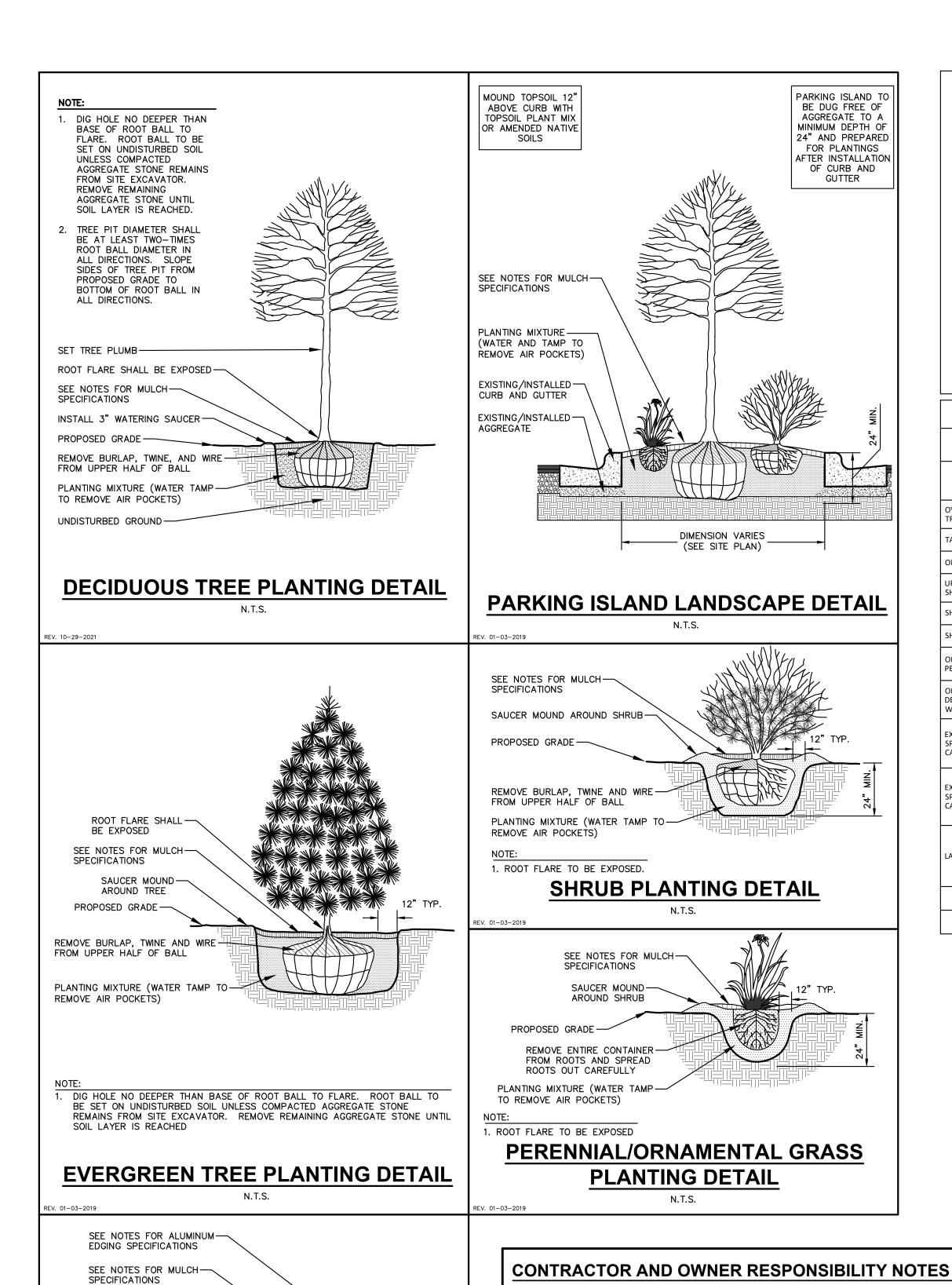
NO. DESCRIPTION

DRAWN BY MRA

LANDSCAPE PLAN -COURTYARD

CHECKED BY

N FEET



PROPOSED GRADE —

EXISTING SOIL

ALUMINUM LANDSCAPE EDGING

DETAIL

N.T.S.

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

- Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the
- (A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
- Total square footage of developed area: 26,284 SF
- 438 POINTS Total landscape points required:
- (B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first Five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres. -----Total square footage of developed area: ----
- Five (5) acres =-First five (5) developed acres =

size of the lot and Zoning District.

- (C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
- ------Total square footage of developed area:-----

------Total landscape points required:

GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S

AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)—YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.

PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.

SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.

REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD.

REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING

MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT

CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND

MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE

CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH.

DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS

MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL

CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD.

CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF

LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS

THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION

TABULATION OF LANDSCAPE CREDITS AND POINTS

				'EXISTING CAPING		ROPOSED CAPING
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	18	630
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	5	175
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	10	150
UPRIGHT EVERGREEN SHRUB	3-4' TALL, MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	115	345
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	32	128
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	490	980
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE > 14" CALIPER	> 14" CALIPER (TREES GREATER THAN MAXIMUM POINTS ALLOWED)	200	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE < 13" CALIPER	< 13" CALIPER (14 POINTS PER CALIPER INCH DBH - CANNOT COMPRISE MORE THAN 30% OF TOTAL REQUIRED POINTS	14*4	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA. CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
		SUBTOTAL		0		2,408
то	TAL NUMBER OF POINT	rs provided		2,4	408	

GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND. 2. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE
- OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTION'S BY ANY OR ALL REGULATORY AGENCIES. 3. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- 4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL
- 5. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- 6. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE
- 7. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- 8. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL. MULCH. HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- 9. MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- 10. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- 11. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS. ANY REJECTED PLANTS. AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- 12. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 13. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

LANDSCAPE AREAS PER SOIL TEST.

- 1. MATERIALS PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- 2. MATERIALS TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL
- 3. MATERIALS SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION, FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- 4. MATERIALS STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- 5. MATERIALS TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE. ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- 6. MATERIALS ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING & SODDING NOTES

- 1. MATERIALS TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE
- 2. MATERIALS SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.



MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER BEAR DEVELOPMENT 4011 80TH STREET

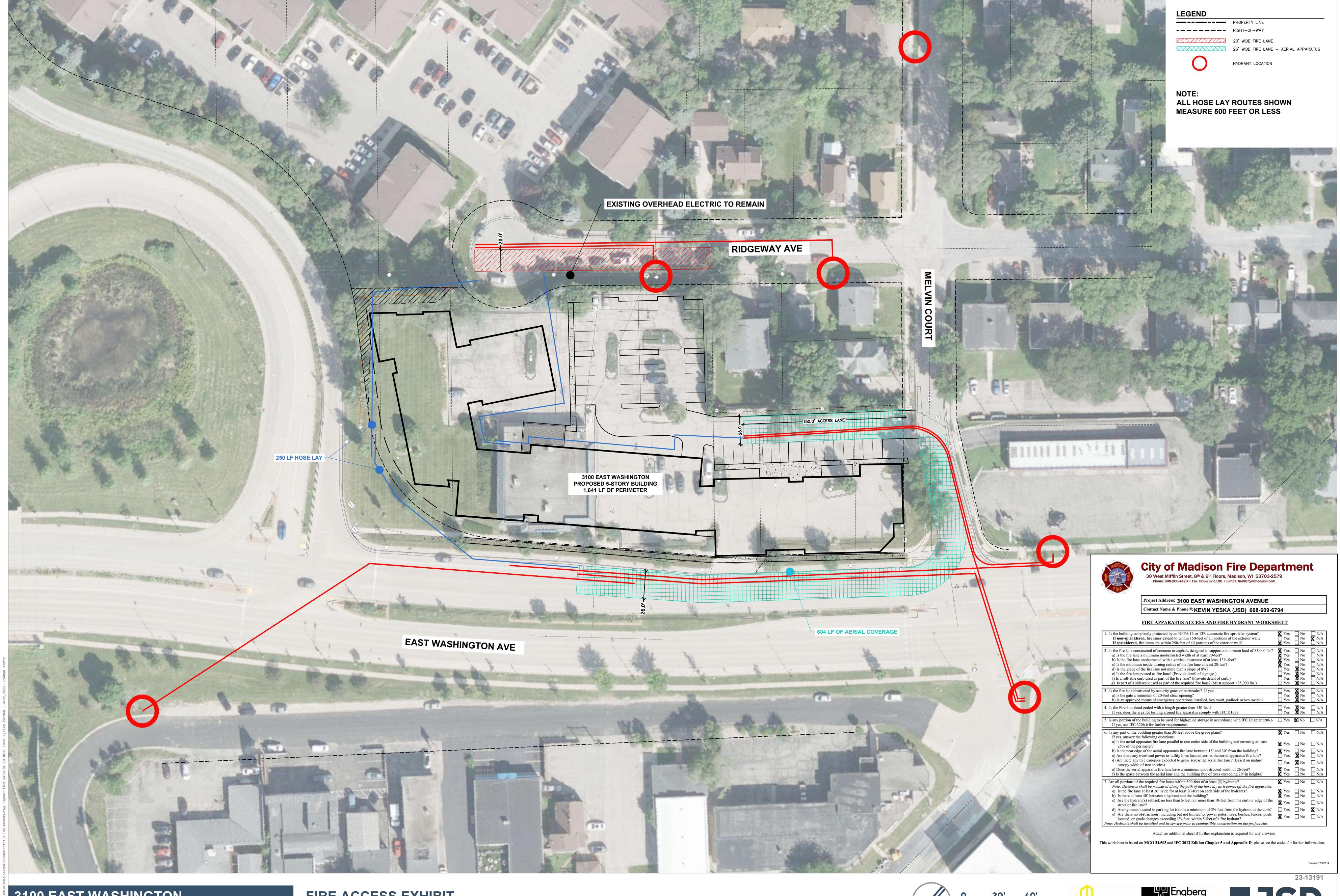
PROJECT NUMBER

KENOSHA, WI 53142

ISSUED FOR: LAND USE APPLICATION REVISION FOR: NO. DESCRIPTION

DRAWN BY CHECKED BY

LANDSCAPE DETAILS













Designer
BGG
Date
08/02/2023
Scale
Not to Scale
Drawing No.

1 of 3

All light levels are approximate.

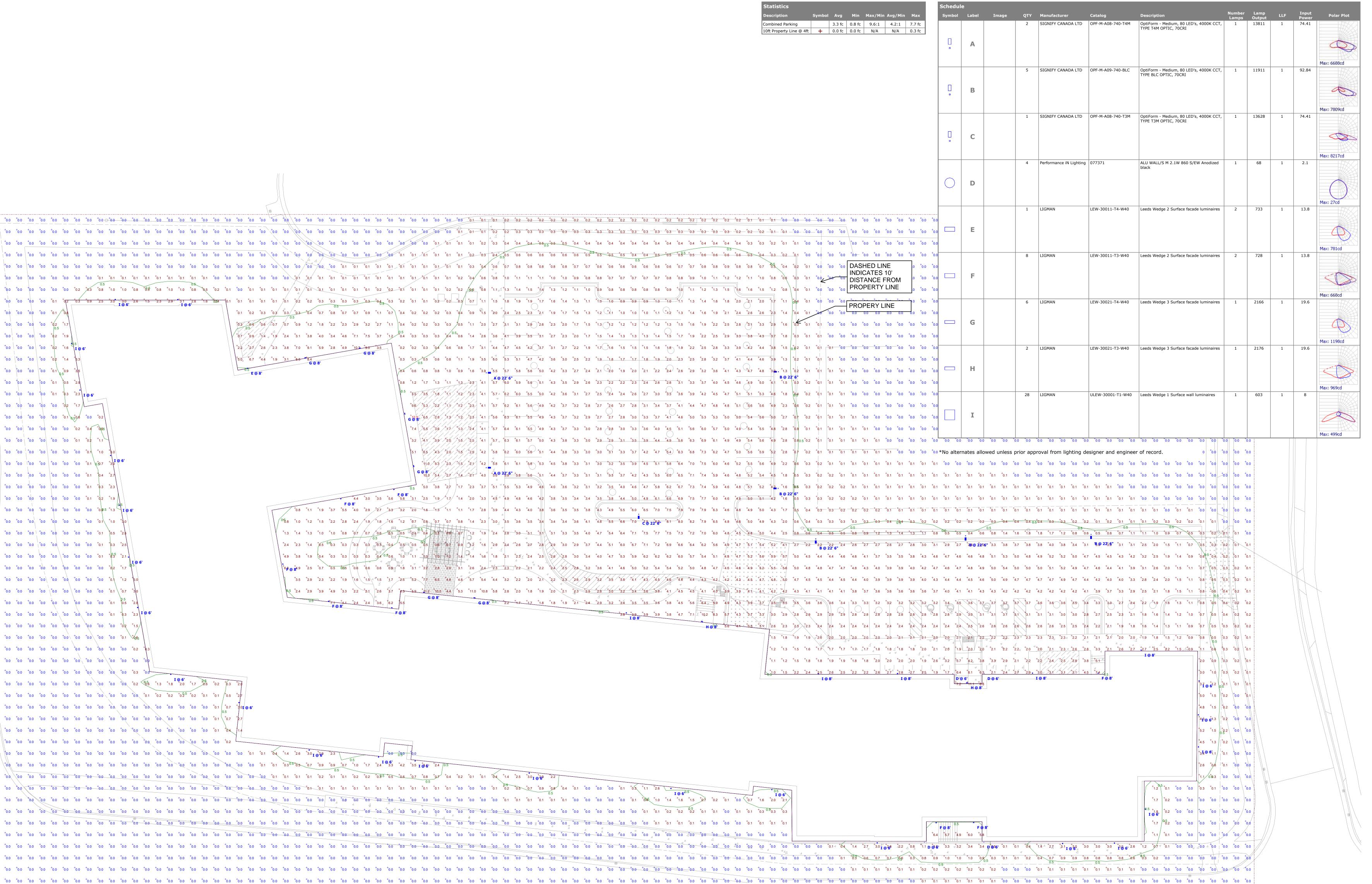
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.

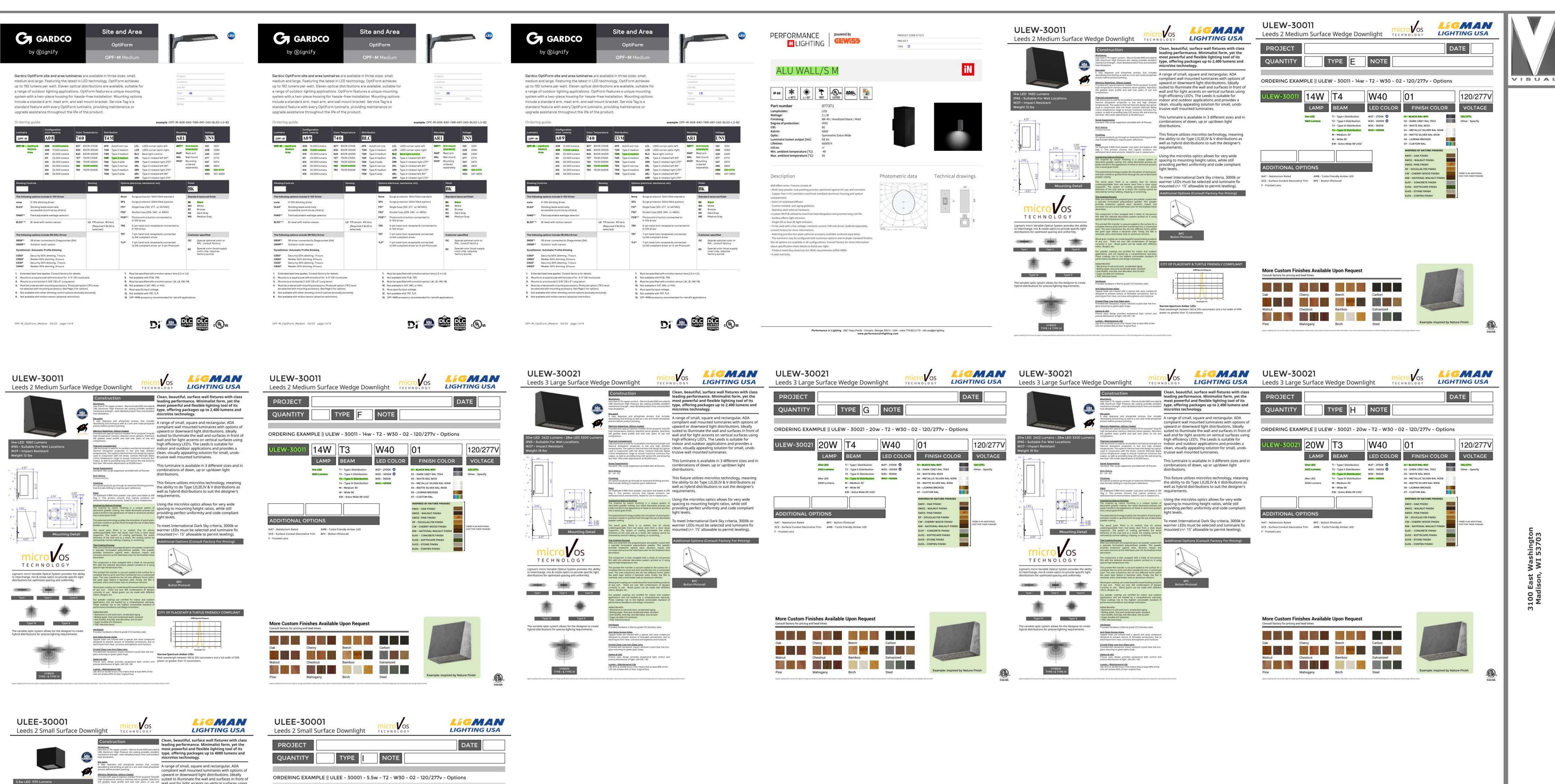
Calculations are based on our interpretation of information provided to us.

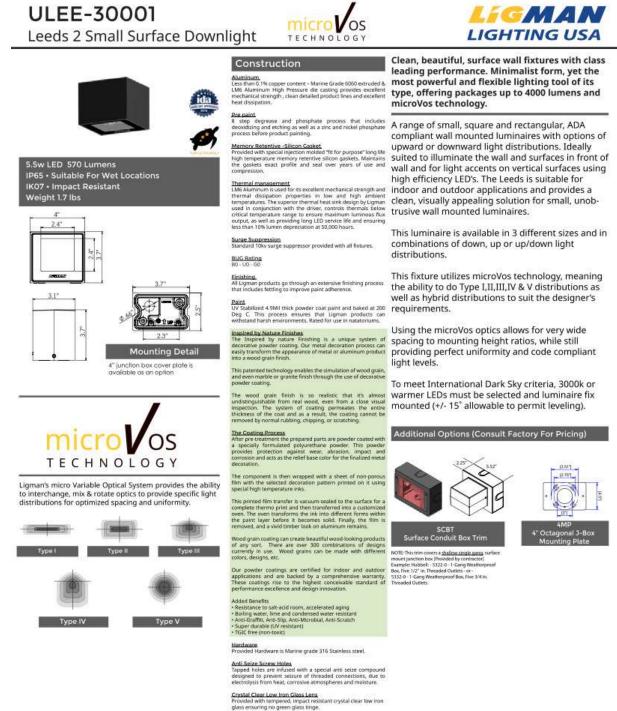
Calculations are based on a 4' x 4' spacing This design remains the property of Spectrum



Lighting and may not be altered without written

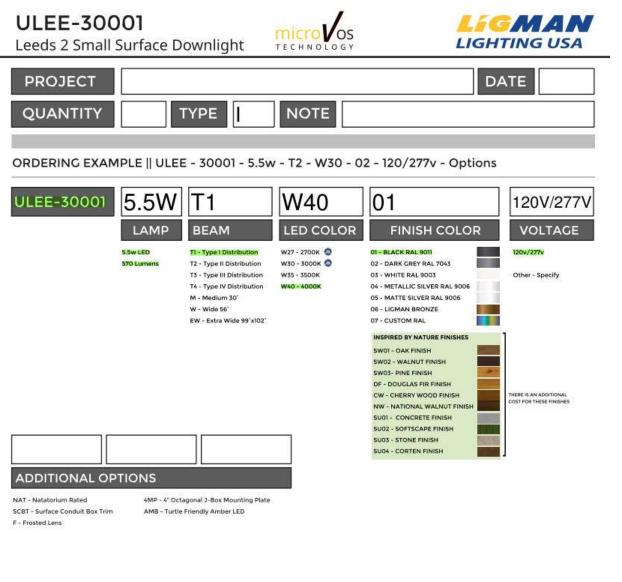


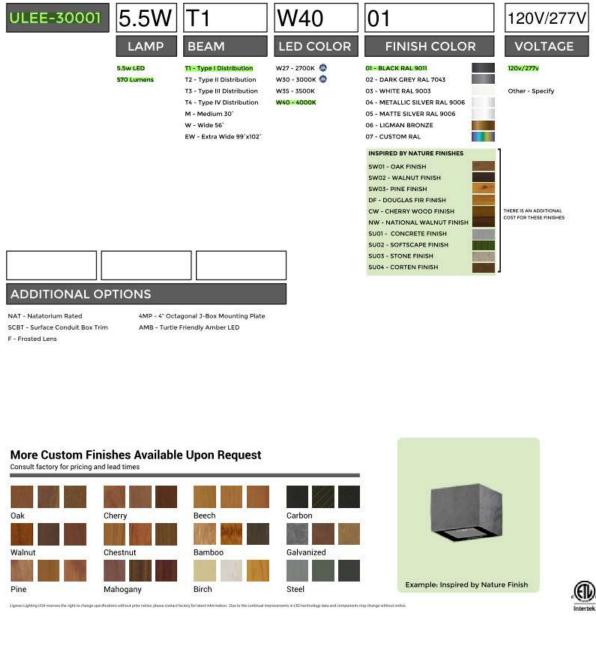




Optics 8 LED
Precise optic design provides exceptional light control and
precise distribution of light. LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the
LED still achieve 80% of their original flux)





All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions. Calculations are based on our interpretation of information provided to us. This design remains the property of Spectrum Lighting and may not be altered without written



Not to Scale Drawing No. Summary



2 SD 5.0

Plan View
Scale - 1/16" = 1ft

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
			31	GARDCO	SVPG-A03-840-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	5995	1	52	
	J										Max: 1612cd
			11	GARDCO	SVPG-A02-840-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	4153	1	36	
	K										Max: 1117cd
			4	DAY-BRITE / CFI	FSSEZ440L840-UNV-DIM	4' FLUXSTREAM STRIP 2-SLIMC 2.26L8 4000K BOARDS 37W CERTA DRIVE	1	3993	1	31.1	
	L										0

*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

All light levels are approximate.
Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and obstructions.
Calculations are based on our interpretation of information provided to us.
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1 of 3



28 +5.3 +7.4 +6.8 +3.9 87 4 +6.6 +4.3 +3.4 +4.2 +6.6 +7.5 +6.7 +6.9 +7.7 +6.1 +4.0 +3.5 +5.3 +6.1 +5.9 +7.1 +6.9 +7.5 +7.0 +4.5 +3.1 +3.0 +4.0 +3.5 +4.6 +6.9 +7.5 +7.1 +6.9 +7.5 +7.0 +4.5 +3.1 +3.0 +4.0 +3.5 +4.6 +6.9 +7.5 +7.1 +6.9 +7.5 +7.0 +4.5 +3.1 +3.0 +4.0 +3.5 +4.6 +4.9 +7.2 +7.3 +6.9 +7.7 +5.8 +3.8 +3.5 +4.8 +7.2 +7.3 +6.9 +7.3 +7.2 +7.3 +6.9 +7.3 +7.2 +7.3 +6.9 +7.3 +7.2 +7.3 +6.9 +7.3 +7.2 +7.3 +6.9 +7.3 +7.2 +7.3 +6.9 +7.3 +7.2 +7.3 +6.9 +7.3 +7.2 +7. +3.1 +2.7 +2.2 +1.8 +1.8 +2.4 +3.5 +5.0 +6.0 +5.9 +4.8 +3.4 +2.6 +2.6 +3.6 +5.0 +5.0 +6.0 +5.9 +4.8 +3.4 +2.6 +2.6 +3.6 +5.0 +3.4 +2.8 +3.2 +2.8 +3.4 +4.1 +4.7 +5.1 +4.8 +3.9 +3.0 +2.8 +3.4 +4.1 +4.7 +5.1 +4.8 +3.9 +3.0 +2.8 +3.4 +4.1 +4.7 +5.1 +4.8 +3.9 +3.0 +2.8 +3.4 +4.9 +6.7 +7.5 +7.1 +5.6 +3.8 +3.0 +3.4 +4.9 +6.7 +7.5 +7.1 +5.6 +3.8 +3.0 +3.4 +4.9 +6.7 +7.5 +7.1 +5.6 +3.8 +3.4 +4.9 +6.7 +7.5 +7.1 +5.6 +3.2 +2.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 +4.9 +6.7 +3.8 +3.4 + 32 + 2.7 + 2.1 + 1.8 + 1.9 + 2.4 + 3.5 + 3.6 + 4.6 + 5.1 + 4.6 + 3.6 + 2.6 + 3.9 + 5.9 + 7.2 + 7.4 + 6.8 + 5.0 + 3.4 + 2.9 + 3.6 + 3.6 + 2.8 + 3.7 + 4.7 + 5.1 + 4.7 + 3.7 + 2.8 + 2.4 + 2.4 + 3.0 + 4.0 + 4.9 + 3.1 + 2.7 + 2.3 + 2.5 + 3.8 + 3.2 + 3.2 + 3.8 + 3.2 + 3

1 4.4 +6.8 +7.5 +6.8 +7.0 +7.6 +5.5 +3.7 +3.6 +5.0 +7.4 +7.3 +6.8 +7.3 +7.3 +6.8 +7.3 +7.3 +4.9 +3.5 +3.7 +5.5 +7.6 +7.1 +8.8 +7.5 +6.8 +4.4 +3.4 +4.0 +6.2 +7.6 +6.9 +6.9 +7.6 +6.1 +4.0 +3.4 +4.9 +6.8 +7.4

** The state of th

19 + 16 + 19 + 2.7 + 3.7 + 4.5 + 4.4 + 3.7 + 2.7 + 2.0 + 1.9 + 2.7 + 3.7 + 4.5 + 4.4 + 3.7 + 2.7 + 2.0 + 1.9 + 2.5 + 3.9 + 5.4 + 5.1 + 5.5 + 4.8 + 5.8 + 6.0 + 4.9 + 3.6 + 3.3 + 3.5 + 3.7 + 3.5 + 3.0 + 2.4 + 2.1 + 2.5 + 3.1 + 3.7 + 4.0 + 3.6 + 3.3 + 3.6 + 2.9 + 2.6 + 3.3 + 3.6 + 2.9 + 2.6 + 3.3 + 3.8 + 4.0 + 3.6 + 2.9 + 2.4 + 2.1 + 2.3 + 2.8 + 3.4 + 3.9 + 3.9 + 3.6 + 3.8 + 3.6 + 2.9 + 3.6 + 3.8 + 3.6 + 2.9 + 2.8 + 3.8 + 3.6 + 2.9 + 2.8 + 3.8 + 3.8 + 3.6 + 2.9 + 2.8 + 3.8

*1.4 *1.8 *\frac{1}{2}8 *\frac{1}{4}1 *\frac{1}{5}.0 *\frac{1}{5}.1 *\frac{1}{4}.4 *\frac{1}{5}.0 *\frac{1}{5}.1 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.2 *\frac{1}{5}.5 *\frac{1}{6}.0 *\frac{1}{5}.4 *\frac{1}{4}.2 *\frac{1}{5}.5 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.2 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.6 *\frac{1}{5}.7 *\frac{1}{5}.9 *\frac{1}{5}.2 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.2 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.2 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.6 *\frac{1}{5}.7 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.6 *\frac{1}{5}.7 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.6 *\frac{1}{5}.7 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.6 *\frac{1}{5}.6 *\frac{1}{5}.4 *\frac{1}{4}.

<u>Plan View</u>

Schedul	le										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	J		31	GARDCO	SVPG-A03-840-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	5995	1	52	Max: 1612cd
	K		11	GARDCO	SVPG-A02-840-G2-5RD	SoftView Parking Garage (SVPG), 196 LED's, 4000K CCT, TYPE 5RD OPTIC, 3000K & 4000K 80CRI / 5000K 70CRI	1	4153	1	36	Max: 1117cd
	L		4	DAY-BRITE / CFI	FSSEZ440L840-UNV-DIM	4' FLUXSTREAM STRIP 2-SLIMC 2.26L8 4000K BOARDS 37W CERTA DRIVE	1	3993	1	31.1	

*No substitutes allowed. No alternate fixture allowed without prior approval from lighting designer and engineer of record.

\ \biggred \tau_{4.7} \biggred \tau_{5.2} \biggred \tau_{6.0} \biggred \tau_{5.1} \biggred \tau_{4.7} \biggred \tau_{5.9} \biggred \tau_{6.1} \biggred \tau_{5.7} \biggred \tau_{6.9} \biggred \tau_{7.0} \biggred \tau_{7.3} \biggred \tau_{6.4} \biggred \tau_{3.2} \biggred \tau_{5.7} \biggred \tau_{6.9} \biggred \tau_{7.0} \biggred \tau_{7.3} \biggred \tau_{6.4} \biggred \tau_{3.2} \biggred \tau_{5.7} \biggred \tau_{6.9} \biggred \tau_{7.0} \biggred \tau_{7.3} \biggred \tau_{6.4} \biggred \tau_{3.2} \biggred \tau_{5.7} \biggred \tau_{6.9} \biggred \tau_{7.0} \biggred \tau_{7.3} \biggred \tau_{6.4} \biggred \tau_{7.7} \big 5.2 5.6 6.1 6.9 5.7 5.8 6.7 7.3 6.9 6.6 6.0 4.7 8.0 8.8 8.7 7.1 48 52 55 61 6.9 74 74 6.8 5.9 5.1 4.9 5.8 7.7 8.8 8.5 7.4 +311 +39 +52 +68 +64 +6.6 +7.2 +6.2 +4.8 +4.0 +4.2 +5.4 7.2 7.1 +6.7 +6.6

+5.6 +7.6 +6.9 +9.0 87.7 +7.1 +4.7 +3.7 +4.1 +5.8 +7.6 +8.2 +8.1 +6.8 +4.8 +3.5 +2.8 +3.1 +3.5

+2.8 +3.9 +4.7 +4.9 +4.5 +3.8 +3.2 +2.8 +2.7 +2.8 +3.0 +3.3 +3.7 +4.4 +5.1 +4.9 +4.3 +3.2

+4.7 +7.3 +7.6 +7.7 +8.0 +6.2 +4.1 +3.2 +3.3 +4.1 +5.3 +6.1 +5.9 +4.9 +3.8 ⁺3.4 ⁺5.3 ⁺6.8 ⁺7.2 ⁺6.3 ⁺4.8 ⁺3.4 ⁺2.8 ⁺2.7 ⁺3.2 ⁺3.9 ⁺4.6 ⁺4.8 ⁺4.4 ⁺3.3 ⁺2. +2.4 +3.5 +4.6 +5.0 +4.7 +3.9 +3.2 +2.7 +2.6 +3.0 +3.9 +4.9 +5.7 +5.5 +4.5 +3 1 2.0 +2.9 +3.9 +4.6 +4.9 +4.4 +3.6 +3.0 +2.8 +3.4 +4.8 +6.7 +7.8 +7.8 +6.7 +4.6 1.9 3.1 4.6 6.2 6.9 6.4 5.0 3.8 3.3 3.9 5.9 7.9 7.3 7.1 7.6 6.0 +3.7 +6.3 +7.8 +7.8 +7.9 +7.0 +4.8 +3.8 +4.3 +6.4 +7.9 +6.9 +6.4 +7.4 +6.6 +4.3 +7.2 +7.3 +6.7 +7.3 +7.9 +5.6 +4.0 +4.1 +5.8 +7.9 +7.3 +7.2 +7.7 +6.0 +4.2 +7.1 +7.2 +6.7 •8' +7.8 +5.5 +3.8 +3.6 +4.6 +6.4 +7.5 +7.6 +6.6 +4.7 +8.1 +3.5 +6.0 +7.6 +7.8 +8.0 +7.1 +4.8 +3.4 +3.0 +3.4 +4.2 +5.0 +5.1 +4.5 +3.6 +28 +2.6 +4.1 +5.8 +6.8 +6.5 +5.3 +3.9 +3.0 +2.7 +2.7 +3.0 +3.4 +3.5 +3.5 +3.5 +3.8 +3.8

+36 +56 78 +82 78 63 746 3.8 44 +6.5 8.5 +7.8 +7.5 +8.4 +8.9 +6.1 +6.2 +8.1 +7.9 +7.4 +7.8 +7.9 +5.6 +4.6 +5.2 +6.8 +7.9 +8.0 +7.1 +5.0 +3.4 +4.X +5.6 +5.0 +4.8 +3.8 +3.0 +2.7 +2.9 +3.5 +4.5 +5.4 +5.9 +5.5 +4.6 +4.1 +4.4 +5.8 +7.9 +8.3 +8.2 +8.1 +6.3 +4.9 +5.4 +7.5 +7.6 +6.6 +6.9 +7.4 +5.4 +2.4 +3.7 +5.2 +6.4 +6.5 +5.6 +4.3 +3.4 +3.4 +3.4 +4.6 +7.0 +8.1 +7.7 +8.0 +8.1 +6.1 5.4 +6.9 +8.1 +7.2 10 85.7 +7.1 4.9 +4.6 +6.0 +7.5 +7.5 +7.4 +6.4 +3.9 +2.1

Description	S	Symbol	Avg	M	ax	Min	Max/Min	Avg
General Parking and Pede	estrian	+	5.0 fc	9.0) fc	1.3 fc	6.9:1	3.8
Power Statistics								п
	# Lum	inaires	Total W	atts		\rea	Density	ı
Power Statistics Description	# Lum	inaires	Total W			Area 78.4 ft²	Density	

0.7 +1.4 +1.8 +2.4 +2.8 +2.9 +2.5 +1.9 +1.4

All light levels are approximate. Values will vary due to actual LED/driver combinations, reflectances (currently set at 80/50/20), environmental conditions, and Calculations are based on our interpretation of information provided to

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Not to Scale

SoftView_Gen3_parking_garage_luminaire 05/23 page 1 of 7

Garage & Canopy

Cart.No.

							0;	ptions		
SVPG	Configuration (nom. lumens)	Color Temp 840	Distribution 5 RD	PEN PEN	Voltage UNV	Dimming Controls ¹⁴ BL20	Sensing!	Electrical	Emergency ^a	Finish BZ
svPe SoftView Parking Garage	2,400 A02 % 8 4,100 A03 % 8 6,000 A04 % 8 8,000 A05 % 9,500 A06 % 8 8,000 A07 % 8 8,200 A08 % 11,400 A10,1400 A11,400 A11,400 A14,800	830 80CRI 3000K 840 80CRI 4000K 750°2 70CRI 5000K	TIR Type 1 Rectangular T3A Type 3 Asymmetric SRD Type 5 Round SCD Type 5 Concentrated Downlight	SUR Surface Mount / indirect pendant Mount, Normal vibration rated (pendant and junction box by others) SBO Surface Mount, Bridge / Overpass vibration rated vibration rated (pendant and junction box by others) TRN ^{2,8} Trunnion Mount (must also order separate line item TM mounting kit, see Accessories)	120 120V 208 208V 240 240V 277V 347'V 480'0 480'0 120-277V HVU 11 Universal 120-277V HV 12 480V	none leave blank (0-10V direming diver standard) DLEA 254A50 Dimming Leads Externally Accessible (controls by others) SRD RANA SR Driver connected to SR Receptacle (Chaga 4-pin) BL20 14A50 Bi-level with motion sensor. Biletooth programming, set at 20% dimming WiAp1AA450 WiReless Interact	MW4.19 Microwese Sensor L2 PR Sensor, #2 lens L3 PR Sensor, #7 lens (All sensing is factory customizable, contract factory) LW* Low (7-15 mounting height)	Fusing * none leave blank FS1* Single Fuse (120W, 277W, or 347W) FS2* Double Fuse (20W, 240W, or 480W) FS3* Double Fuse Canadian double Fuse (20RW, 240W, or 480W) Surge Protection blank SP1 Surge Protection blank SP1 Surge Protection SP2 Surge Protection SP3 Surge Protection SP4 Surge Protection SP4 Surge Protection SP5 Surge Protection SP7 Surge Protection	mone leave blank EM 24.8.4.1 U. 924 Listed Emergency Battery Pack. (0°C to 4.0°C / 32°F to +10.4°F) EC 4.8°M U. 924 Listed Emergency Battery Pack. Cold Rated (-20°C to 440°C / -4°F to +10.4°F) ER100° U.924 Listed Emergency Telay to bypass WIAP wireless dimming bensor, integral	BZ Bronze MG Medium Gn WH White OC® Optional Cr (specify optional color or RAL conts factory) SC® Special Col (must supp color chip, requires factory que
T3A no	t available with	A06 A07 A	OB. A09. A10 or A11	8. Available with 12	OV 208V 1	(includes SR driver and SR receptacle - do NOT select SRDR)	sensor, White color housing HW* High (15-40' mounting height) sensor, White color housing	SRDR or WIAP not	available with Eme	oency options E

4. O-10V dimming driver standard.

5. BL20 must be combined with 1MW Microwave Sensor.
BLBT must be combined with Sensing option L2, L3 or L7.
WIAP must be combined with Sensing option L2, L3 or L7.
WIAP must be combined with Sensing option LW or HW.
Choose only 1: either BL20-MW or BLBT-L# or WIAP-xW).

6. DLEA luminaire has 0-10V dimming wires exiting the luminaire for dimming controls by others.

7. MW available with 120V, 208V, 240V, 277V, UNV or 347V only.

8. BL20-MW or BLBT-L# due to fit restrictions; EM is switch at the electrical panel) and only for use with Wireless interact dimming sensor (WIAP-xW). ER100

8. BL20-MW or BLBT-L# due to fit restrictions; EM is switch at the electrical panel) and only for use with Wireless interact dimming sensor (WIAP-xW). ER100

8. Sextended lead times apply. Contact factory for details.

13. A09, A10, A11 each have 2 drivers therefore due to fit restrictions not available with 347V, 480V, HVU, BL20-MW or BLBT.

14. Wireless interact dimming sensor (WIAP-xW). ER100

Special must be wired at factory.

15. Wireless interact dimming sensor (WIAP-xW). ER100

Special must be wired at factory.

16. Extended lead times apply. Contact factory for details.

17. Wireless interact dimming sensor (WIAP-xW). ER100

Special must be wired at factory.

18. EXTENDED AVAILABET AV

Garage & Canopy G GARDCO

Gardco SoftView LED parking garage luminaires feature edge lit technology, providing visual comfort with minimal glare to enhance the user experience. An added uplight feature reduces the cave effect for an increased sense of security. SoftView features multiple optical distributions, lumen packages and mounting options providing you with the ideal solution for your garage lighting and low bay needs. Optional emergency battery backup available for path of egress lighting and is integral to the luminaire.

SoftView_Gen3_parking_garage_luminaire 05/23 page 1 of 7

840 800RI 800RI 800RI 4000K 750°2 700RI 5000K	Olstroution 5 RD Tilk Type 1 Rectangular T3A 1 Type 3 Asymmetric SRD Type 5 Round SCD Type 5 Concentrated Downlight	Mounting PEN SUR Surface Mount / indirect pendant Mount, Normal vibration rated (pendant and junction box by others) SBO Surface Mount, Bridge / Overpass vibration rated PEN Direct Pendant Mount, Bridge / Overpass vibration rated (pendant and junction rated (pendant and junction rated)	Voltage UNV 120 1200 208 208V 240 2410V 277 277V 347° 347V 480° 480V	Dimiling Controls** BL20 none leave blank (0-10V dimiling driver standard) DLEA 25AA90 DIMINING Leads Externally Accessible (controls by others) SR Driver	Sensing* MW none leave blank	none is	eave blank single Fuse 120V, 277V, or 347V) Double Fuse	none leave blank EM 2.6.6.H UL 924 Listed Emergency Battery Pack	BZ Bronze MG Medium Gray WH White OC® Optional Colo (specify
80CRI 3000K 840 80CRI 4000K 750 °2 70CRI	Rectangular T3A 1 Type 3 Asymmetric SRD Type 5 Round 5CD Type 5 Concentrated	indirect pendant Mount, Normal vibration rated (pendant and junction box by others) S80 Surface Mount, Bridge / Overpase vibration rated PEN Direct Pendant Mount, Bridge / Overpass vibration rated	120V 208 208V 240 240V 277 277V 347° 347V 480°	leave blank (0-10V dimming driver standard) DLEA 254A30 Dimming Leads Externally Accessible (controls by others) SRDR XRXX0	none-leave blank	none is	eave blank Single Fuse 120V, 277V, or 347V) Jouble Fuse	blank EM 24.45.44 UL 924 Listed Emergency Battery Pack	MG Medium Gray WH White OC® Optional Cold
		box by others)	UNV Universal	leave blank (G-10V disming driver standard) DLEA 23.4.4.2 Disming Leads Externally Accessible (controls by others) SRD RASHE SRD RASHE SR Briver connected to SR Receptacia ((Zhaga 4-pin)	None leave blank EM 2.6.16.14 FS1* Single Fuse (120V, 271V, or 347V) FS2* Double Fuse (200V, 240V, or 480V) FS3* Double Fuse Canadian double pole (200V, 240V, or 480V) Cold Rated (-20°C to Surce Protection 40°C /		32°F to +104°F) EC ***: *** UL 924 Listed Emergency Battery Pack, Cold Rated (-20°C to +40°C /	MG Medium Gray WH White OC® Optional Colo (specify optional color or RAL contact factory) SC® Special Color (must supply color chip, requires factory quote	
		TRN ^{1,0} Trunnion Mount (must also order separate line item TM mounting kit.	HVU ^{II} Universal 347-	Bi-level set at 20% dimming	MW L10 Microwave Sensor	blank	SP1 Surge Protector 10kV / 10kA	-4°F to +104°F) ER100 ** UL924 Listed Emergency	
A10 10.16 200 WAL Wal 13,400 (mm. 5 14,600 WM 5 14,600 (mm. 5 14,600 (mm	see Accessories) 480V WAL Wall Mount (must also order separate line item WM mounting kit. see Accessories)	480V	BLBT AAAWES Bi-level with motion sensor, Bluetooth pregramming, set at 20% dimming	L2 PR Sensor, #2 lens L3 PR Sensor, #3 lens L7 PR Sensor, #7 lens (All sensing is factory customizable, contact factory")	[standard] SP2 Surge Protector 20x7 / 10xA (option)	relay to bypess WIAP wireless dimming sensor,integral			
		WIAP***Aux* Wireless Interact (includes SR driver and SR receptacle - do NOT select SRDR)	LW* Low (7*-15 mounting height) sensor, White color housing HW* High (15-40' mounting height) sensor, White color housing						
֡	thermal an a combination trictions; TR EA or EM). g Controls of F or WIAP. standard. ed with MW ed with Sen	trictions; TRN is available with ea EA or EM). g Controls option; either DLEA o For WIAP. standard. ed with MW Microwave Sensor. ed with Sensing option L2, L3 or	AG6, AO7, AO8, AO9, A10 or A11 thermal and fit restrictions. Carobination of both DLEA and EM crictions; TRN is available with each 10 Choose either 6 or 10 Years 10	A06. A07, A08, A09, A10 or A11 thermal and fit restrictions. combination of both DLEA and EM trictions; TRN is available with each EA or EM). g Controls option: either DLEA or for WIAP standard. de with MW Microwave Sensor. ed with Sensing option 1.2, L3 or L7. Improved the sensing	Imput also order Imput also	(must also order segistrife line litem WM mounting ait, see Accessories) Single out 13 PR Sensor. #3 lens programming. set at 20% dimming WI PR Sensor. #7 lens Wireless Interact (includes SR driver and SR receptacle - do NOT select NOT select NOT select SRDR) WINTER Wireless Interact (includes SR receptacle - do NOT select SRDR) WINTER Wireless Interact (includes SR receptacle - do NOT select SRDR) WINTER Wireless Interact (includes SR receptacle - do NOT select SRDR) WINTER Wireless Interact (includes SR receptacle - do NOT select SRDR) WINTER Wireless Interact (includes SR receptacle - do NOT select SRDR) WINTER Wireless Interact (includes SR receptacle - do NOT select SRDR) WINTER WINTER	### Note of the many state of the mounting hit, see Accessories) ### Note of the many state of the mounting hit, see Accessories) ### Note of the many state of the mounting hit, see Accessories) ### Note of the mounting hit, see Accessories) ### Note of the mounting hit, see Accessories) ### Note of the mounting his factory customizable, contact factory'i) ### Low 17-15 ### Note of the mounting height) ### Low 17-15 ### Low 17-1	Martin Station order Separate line item Will mounting air. See Accessories)	Marticlines Marticlines

Linear CFI by §ignify

residential applications with unparalleled energy efficiency.

FluxStream EZ LED strip

Day-Brite / CFI FluxStream EZ LED Strip is a high performing luminaire delivering smooth diffuse light ideal for light industrial, commercial and

Example: FSSEZ440L840-UNV-DIM Length Lumens¹ Color temp. Voltage Driver Options (nominal) (nominal) (K) | Recommendary | FSSEZ | FluxStream strip EZ | 4 4 length | 40L 4000 lumens | 830 80 CRI, 3000K 835 80 CRI, 3500K 840 80 CRI, 3500K 850 80 CRI, 5000K | 81 8 length | 80L 8000 lumens | 82 8 CRI, 3500K 850 80 CRI, 5000K | 850 80

1 Nominal delivered lumens at 25°C ambient.
2 8' is tandem (2) 4' lenses with single piece 8' body.
3 EMLED on 8' model illuminates 4' section in emergency mode.
4 Failure to properly select the "BAC" suffix could result in you receiving product that is not BAA compliant product with no recourse for an RMA or refund. This BAC designation hereunder does not address (1) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies.
5 Consult Signify to confirm whether specific accessories are BAA-compliant.

Accessories⁵ (order separately) - FSSD4L - 4' Diffuse replacement lens (order 2 for 8' models)
- LSXR10 - Low bay PIR motion sensor, 120-277V
- FSSWG4 - 4' Wire guard (order two for 8' model)
- FSTH - Sliding hanger bracket (set of 2)
(See last page for details and more options)

General notes Many luminaire components, such as reflectors, refractors, lenses, sockets, lampholders, and LEDs are made from various types of plastics which can be adversely affected by airborne contaminants. If sulfur based chemicals, petroleum based products, cleaning solutions, or other contaminants are expected in the intended area of use, consult factory for compatibility. PAF (Paint after fabrication) option is required for all products that will be used in a damp or humid location, such as under a canopy or covered parking area.

FluxStream_LED_Strip_EZ 10/22 page 1 of 4

Not all product variations listed on this page are DLC qualified. To ensure that a specific model is qualified, visit www.designlights.org/search



VISUAL



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET

KENOSHA, WI 53142

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO. DESCRIPTION

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DEMO SITE PLAN

EAST WASHINGTON AVENUE

EXISTING BUILDING AND ASSOCIATED ELEMENTS TO

BE DEMOLISHED

RIDGEWAY AVENUE

EXISTING PARKING LOT AND ASSOCIATED ELEMENTS TO BE DEMOLISHED. SEE CIVIL DRAWINGS.

EXISTING BLDG

PROPERTY LINE

|----

EXISTING BLDG

SITE PLAN - DEMO
SCALE: 1/16" = 1'-0'

UNIT TOTALS (UNIT MIX 44.8% 1-BD & 55.2% 2-BD)					PROJECT GRO	SS SQUARE FOOTAGES	
	STUDIO	1BR	2BR	3BR	TOTAL		
1ST FL	0	14	17	0	31	BLDG 01	GSF / FLOOR
2ND FL	0	18	22	0	40	LL	43,374
3RD FL	0	18	22	0	40	1ST FL	42,365
4TH FL	0	18	22	0	40	2ND FL	42,291
5TH FL	0	18	23	0	41	3RD FL	42,291
SUBTOTAL	0	86	106	0		4TH FL	42,291
TOTAL					192	5TH FL	42,291
PARKING TO	TALS (UNIT	TO STAL	L RATIO 1.	:0.74)	BIKE PARKING	TOTAL	254,903 GSF
LOWER LEVEL 89 192							
SURFACE 53 26 GUEST SPACES		26 GUEST SPACES					

142

CITY OF MADISON			
STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
AUTOMOBILE PARKING	NO MINIMUM REQ. PER	89 (LOWER LEVEL)	
	ZONING	53 (SURFACE)	
		142	
BIKE PARKING	1 PER BEDROOM (<i>UP TO 2BD</i>) + 1	192 LONG TERM	
	GUEST SPACE PER 10 UNITS	26 GUEST	
		218	
ELECTRIC VEHICLE CHARGING STATIONS	EV READY SPACES: 10%	14 EV READY	TOTAL PARKING SPACES: 17
	EV INSTALLED SPACES: 2%	3 EV INSTALLED	1 EV INSTALLED SPACE TO BE ACCESSIBLE
BIRD SAFE GLASS	CHAPTER 28, SUBCHAPTER 281 28.129	ALL GLAZING PANELS ARE UNDER 50 SQ FT (THRESHOLD FOR BIRD-SAFE GLASS)	

CITY OF MADISON			
	RRIDOR - TRANSITIONAL D DEVELOPMENT OVER		
STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
LOT AREA	500 SQ. FT./ UNIT	501 SQ. FT./ UNIT	PER CCT DISTRICT
LOT WIDTH	40 FT.	132.54 FT. (WIDTH)	190.87 <i>LENGTH</i>
FRONT YARD SETBACK	0' (CCT DISTRICT) 30% OF FACADE @ 20 FT.(TOD)	18' (E. WASHINGTON) 0' (30% OF E. WASH & MELVIN)	MAJORITY OF E. WASHINGTON IS 18 FROM PROPERTY LINE. PROPERY LINE IS >15' FROM STREET
SIDE YARD SETBACK	10 FT.	10'-0"	ABERG RAMP & ADJACENT RESIDENTIAL LOTS
REAR YARD SETBACK	20 FT	20'-0"	RIDGEWAY AVENUE
MAXIMUM LOT COVERAGE	85% (MAX.)	44%	
MINIMUM HEIGHT	2 STORIES	5 STORIES	PER TOD
MAXIMUM HEIGHT	5 STORIES	5 STORIES	PER CCT
STEPBACKS	N/A	N/A	
USABLE OPEN SPACE	PER TOD: USABLE OPEN SPACE IS NOT REQUIRED	GRADE LEVEL >9500 SQ FT	192 UNITS
	PER CCT: 40 SF/UNIT (40*192= 7,680 SF)		



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3100 EAST WASHINGTON

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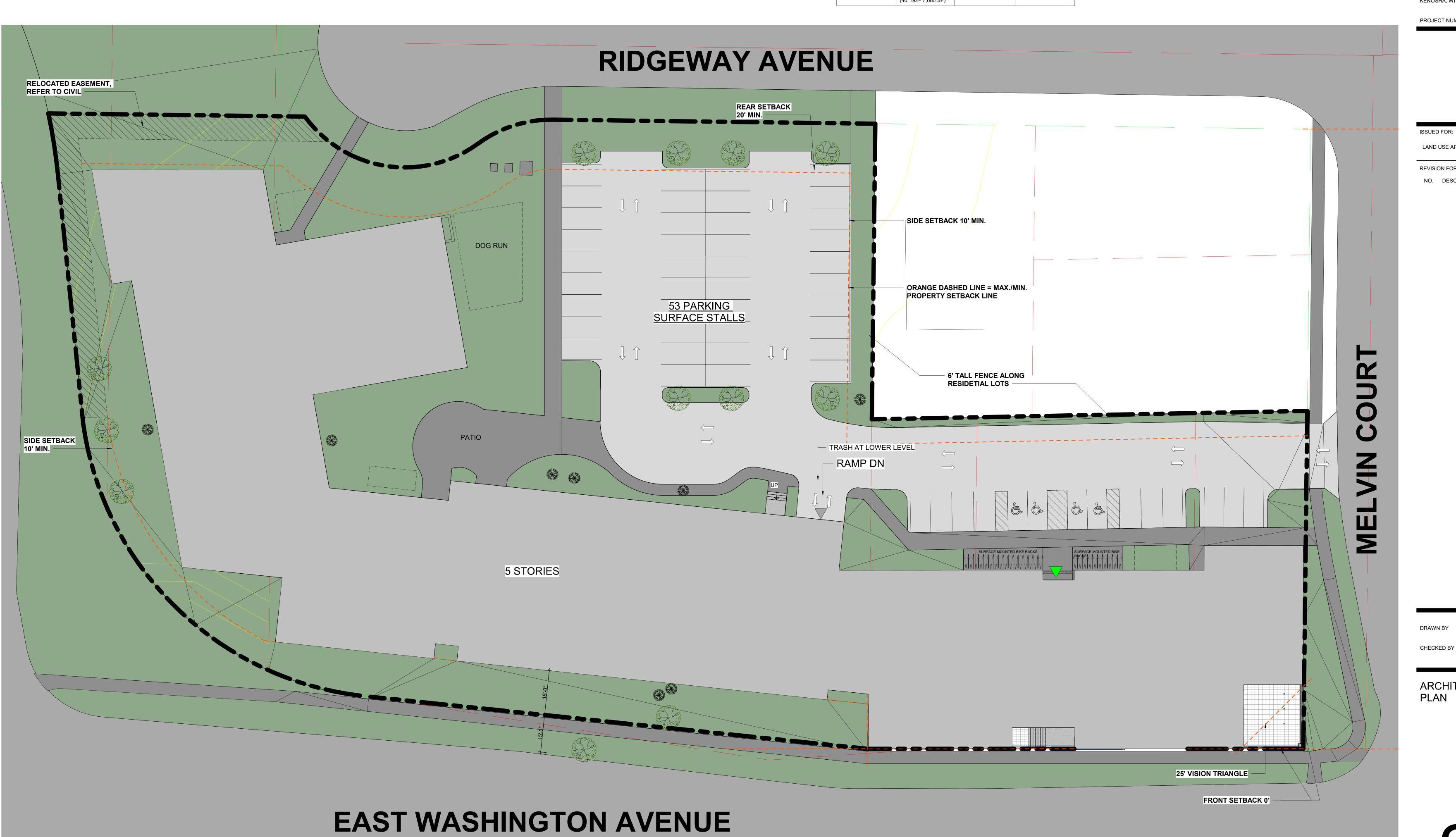
BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

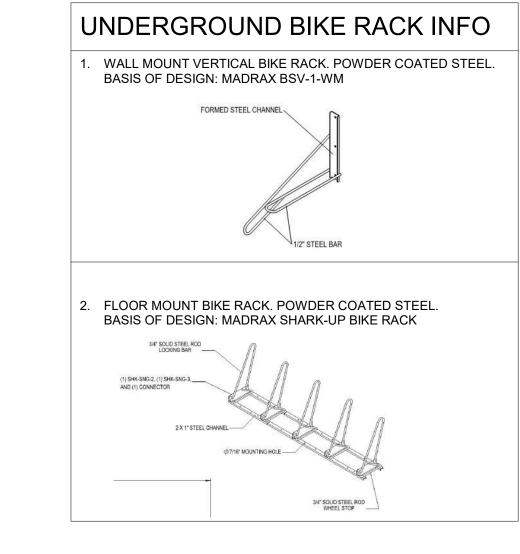
PROJECT NUMBER

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ARCHITECTURAL SITE PLAN

G002



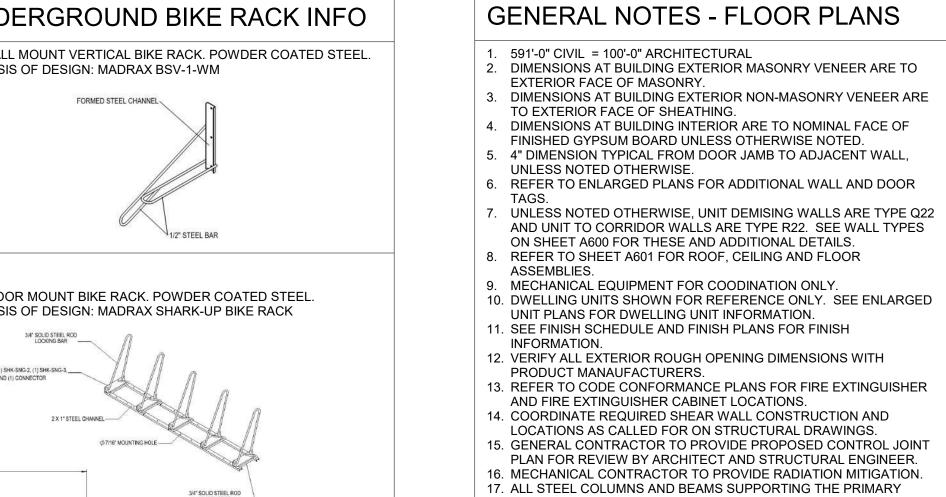


WHEDA STORAGE LOCKERS

 $\qquad \qquad \Longrightarrow$

89 PARKING STALLS & 62

WHEDA LOCKERS AT LOWER LEVEL



WHEDA STORAGE LOCKERS

STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.



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KENOSHA, WI 53142

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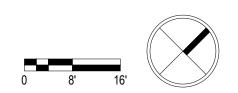
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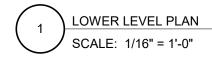
LOWER LEVEL PLAN



MEP

EV READY EV READY EV READY

 $\qquad \qquad \Box \\$



192 TOTAL BIKES

48 WALL HUNG BIKES (25%

40' - 6 1/2" +/-





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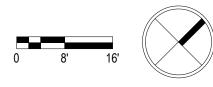
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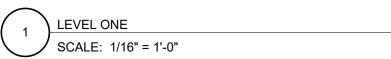
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FIRST FLOOR PLAN





GENERAL NOTES - FLOOR PLANS

- 887'-0" CIVIL = 100'-0" ARCHITECTURAL
 DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO
- EXTERIOR FACE OF MASONRY.

 3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE
- TO EXTERIOR FACE OF SHEATHING.
 DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
- 5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
 6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR
- 7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22
 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES
 ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS
- ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.

 8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.

 9. MECHANICAL FOLIBMENT FOR COODINATION ONLY.
- MECHANICAL EQUIPMENT FOR COODINATION ONLY.
 DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
- 11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
- 12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANAUFACTURERS.
 13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER
- AND FIRE EXTINGUISHER CABINET LOCATIONS.

 14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND
- LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.

 15. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT
- PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.

 16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
- 17. ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.



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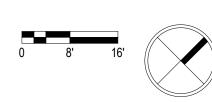
LAND USE APPLICATION 08/07/23

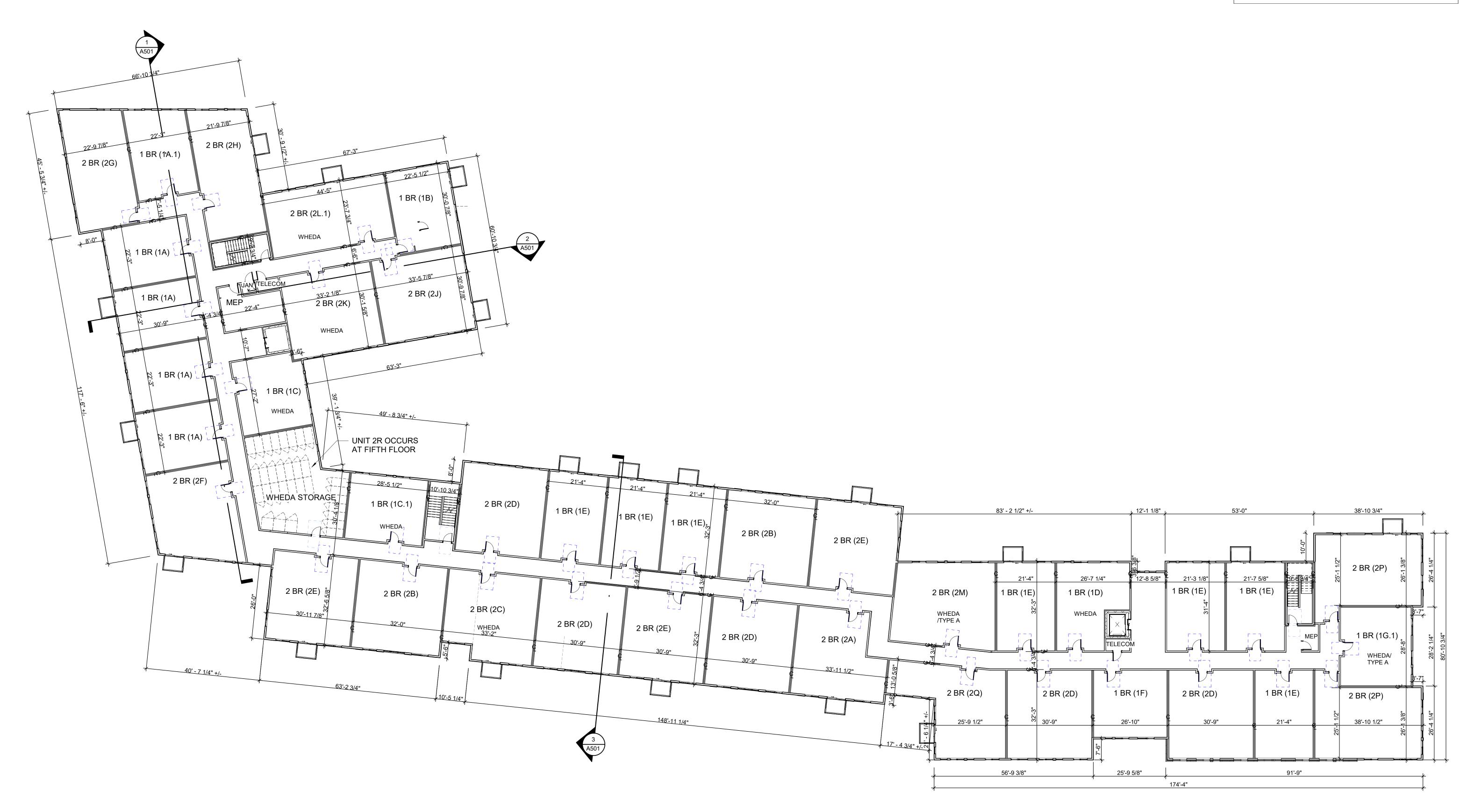
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TYPICAL FLOOR PLAN





GENERAL NOTES - ROOF PLAN

- ALL ROOF EQUIPMENT TO BE CENTRALIZED AT THE MIDDLE OF ROOF. NOTHING TO BE LOCATED WITHIN 10 FEET OF THE ROOF EDGE. GUARDRAILS ARE REQUIRED AT ROOF EDGES WHEN MECHANICAL EQUIPMENT, HATCHES, ETC. ARE CLOSER THAN 10 FEET FROM ROOF EDGE.
 SLOPE ROOF TO DRAINS, TYPICAL.
 ROOF DRAINS SHOWN FOR INTENT ONLY. FINAL DESIGN AND QUANTITIES TO BE PROVIDED BY DESIGN-BUILD CONTRACTOR & COORDINATED WITH ROOFER.
 SOLAR PANELS BY OWNER.



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OWNER BEAR DEVELOPMENT

4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

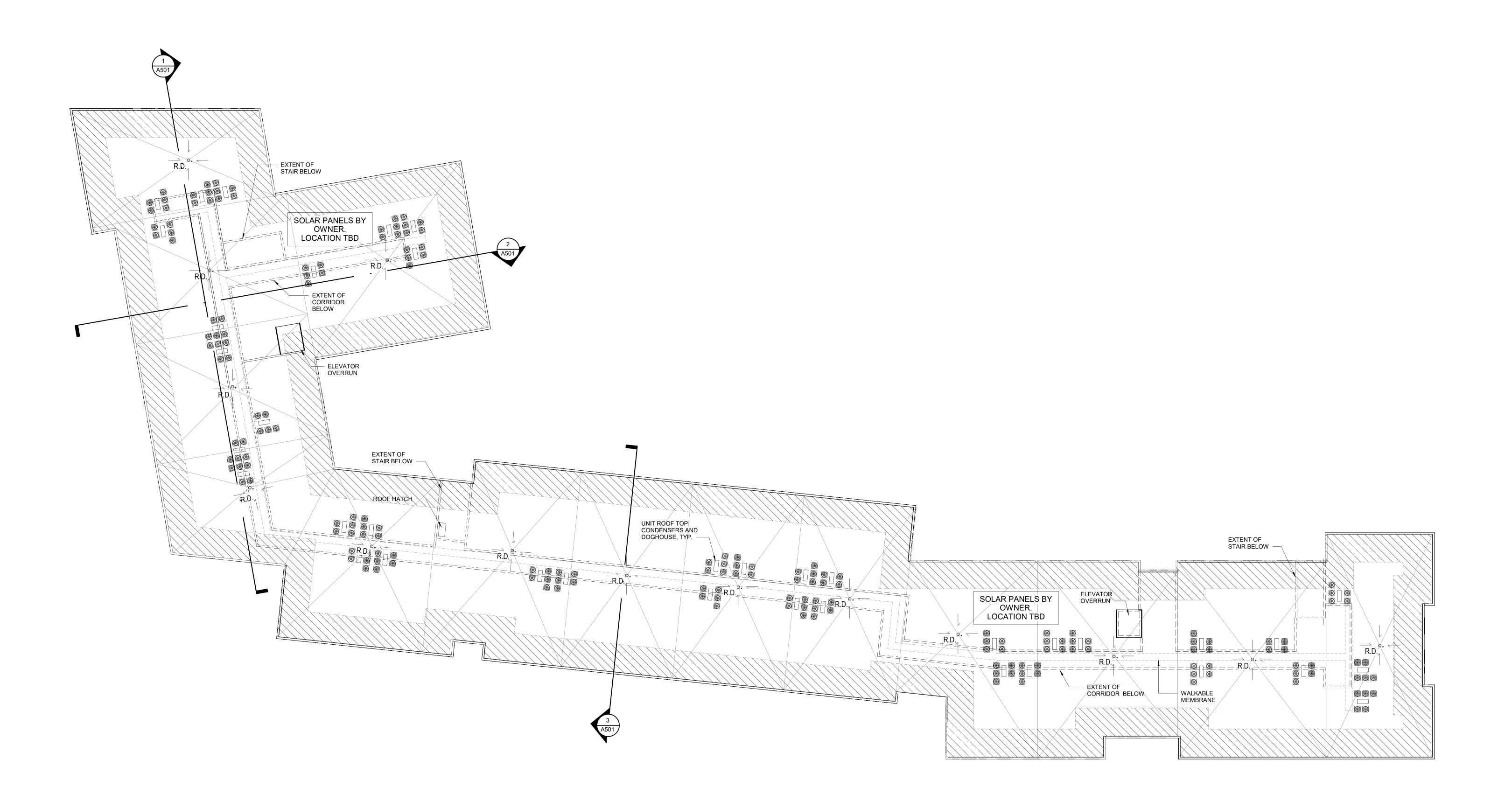
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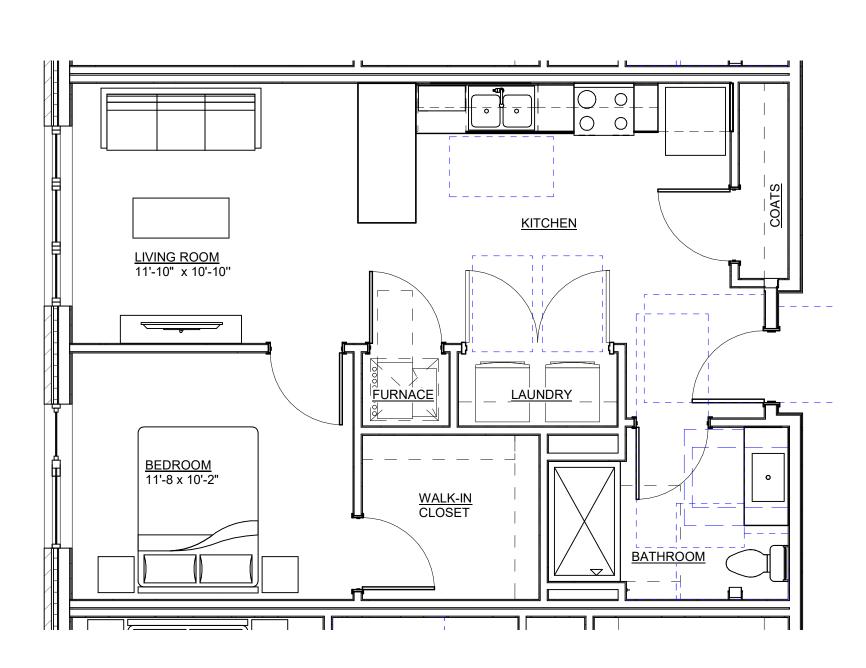
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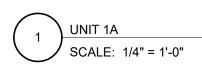
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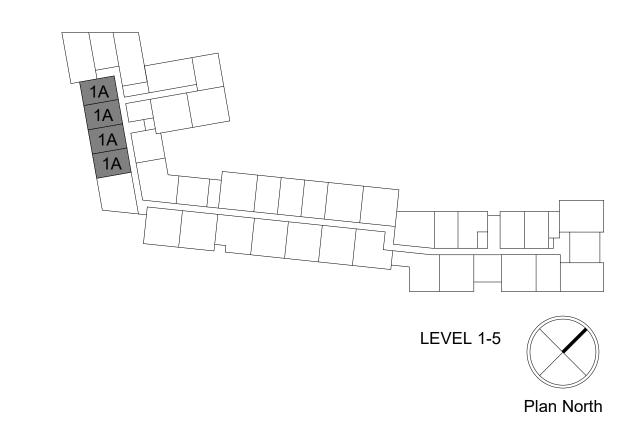
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ROOF PLAN









GENERAL NOTES - UNIT PLANS

PLACEMENT OF NEW CONSTRUCTION.

- 1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS.
 2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR
- 3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE. 4. ALL WALLS TO BE Q02 UNLESS OTHERWISE NOTED.
- 5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL (STUD) UNLESS OTHERWISE NOTED. 6. WOOD CASING AROUND INTERIOR SWING DOORS (BOTH SIDES).
- 7. VERIFY CABINET, APPLIANCE, AND PLUMBING FIXTURE CLEARANCE REQUIREMENTS W/ MANUFACTURER. INSULATE WALLS SURROUNDING MECHANICAL CLOSETS AND BATHROOMS.
 PROVIDE FINISHED SURFACE AT ALL EXPOSED CABINET ENDS, INCLUDING UNDERNEATH CABINETS OVER SINKS IF

- EXPOSED.

 10. GYPSUM WALL BOARD SHALL CONTINUE BEHIND CABINETRY.

 11. PROVIDE GYPSUM BOARD RATED FOR WET LOCATIONS BEHIND SHOWERS STALLS AND OTHER WET LOCATIONS.

 12. PROVIDE GYPSUM BOARD RETURNS AT ALL SLIDING DOOR OPENINGS.

 13. PROVIDE TENSION ROD AT ALL TUBS AND SHOWERS.

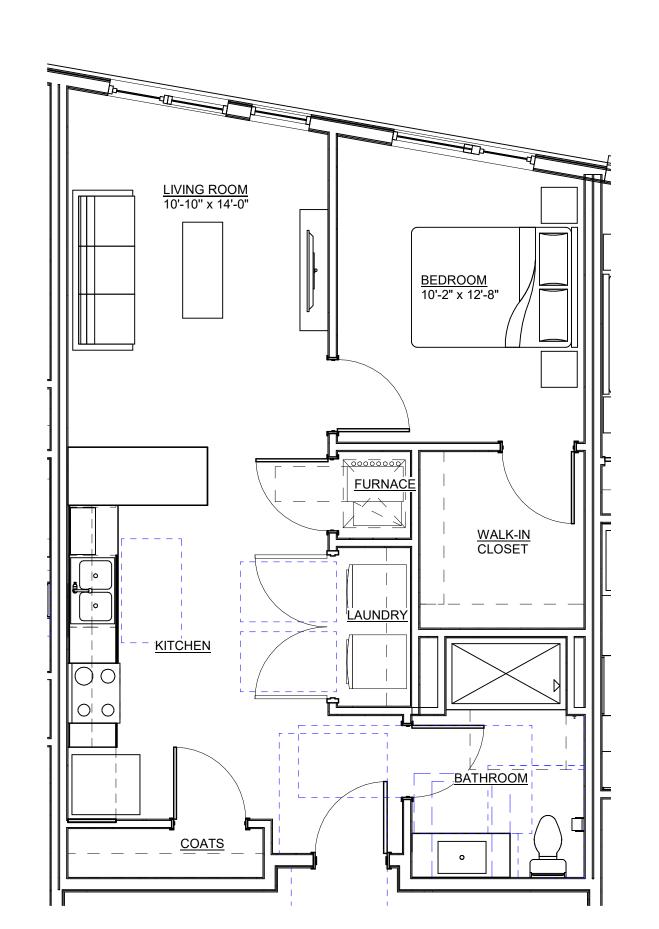
 14. PROVIDE ROBE HOOK ON WALL AT SAME END AS SHOWER HEAD.

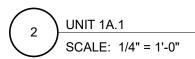
 15. WHENEVER POSSIBLE, INSTALL TOILET PAPER ON DRYWALL RATHER THAN CABINETRY.

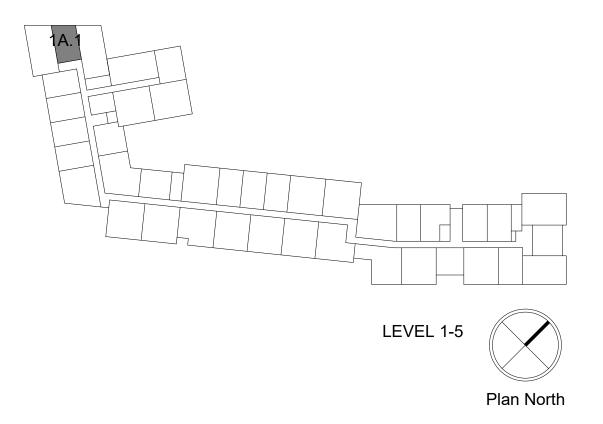
 16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
- 17. SEE OVERALL PLANS FOR UNIT DEMISING WALL LOCATIONS AND WALL TAGS.
 18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE R22 UNLESS OTHERWISE NOTED; SEE SHEET A600.
- 19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.
 20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
 21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

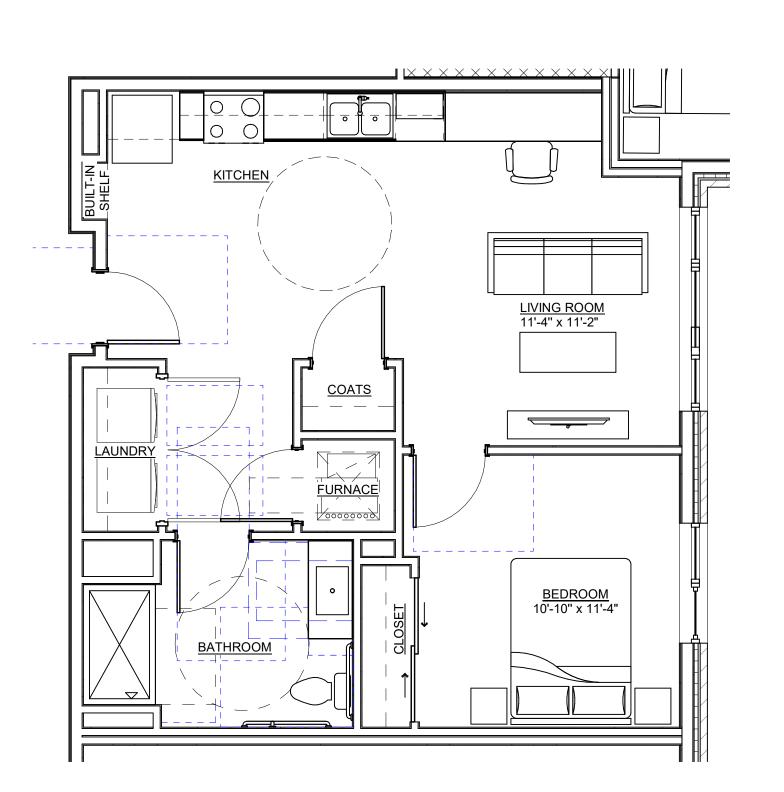
KEY NOTES - UNIT PLANS

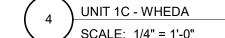
SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER

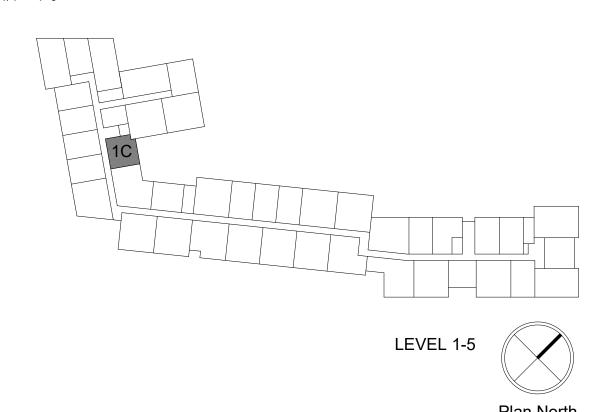


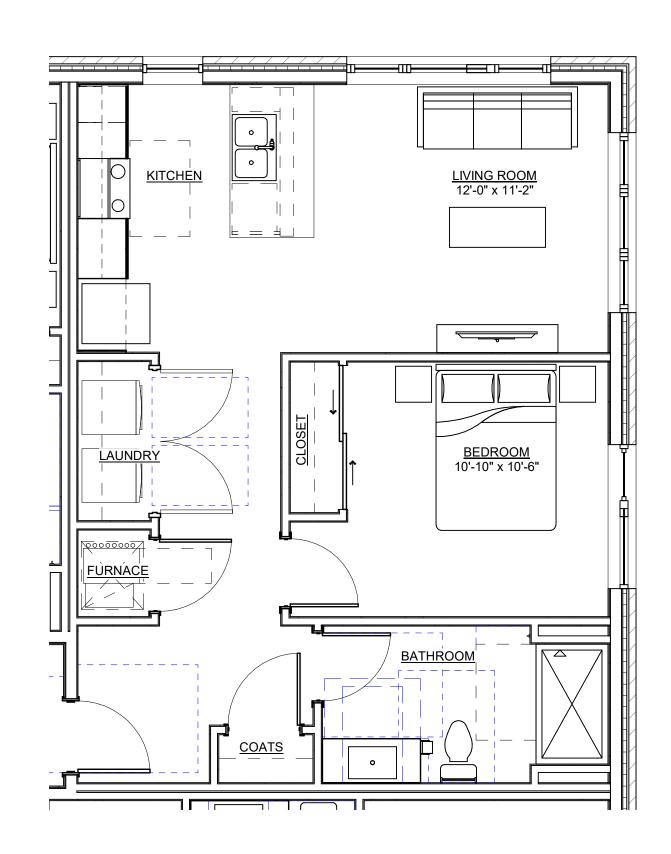




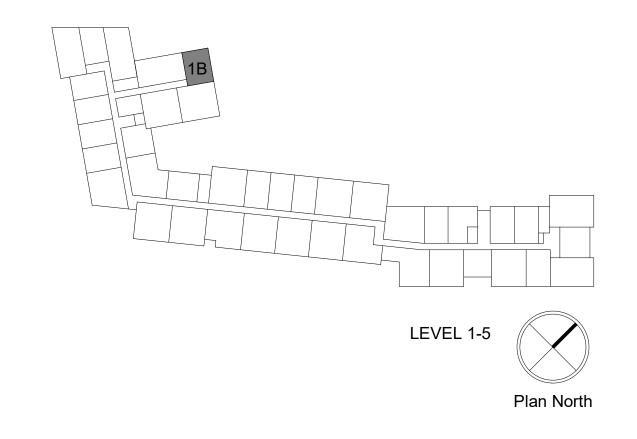


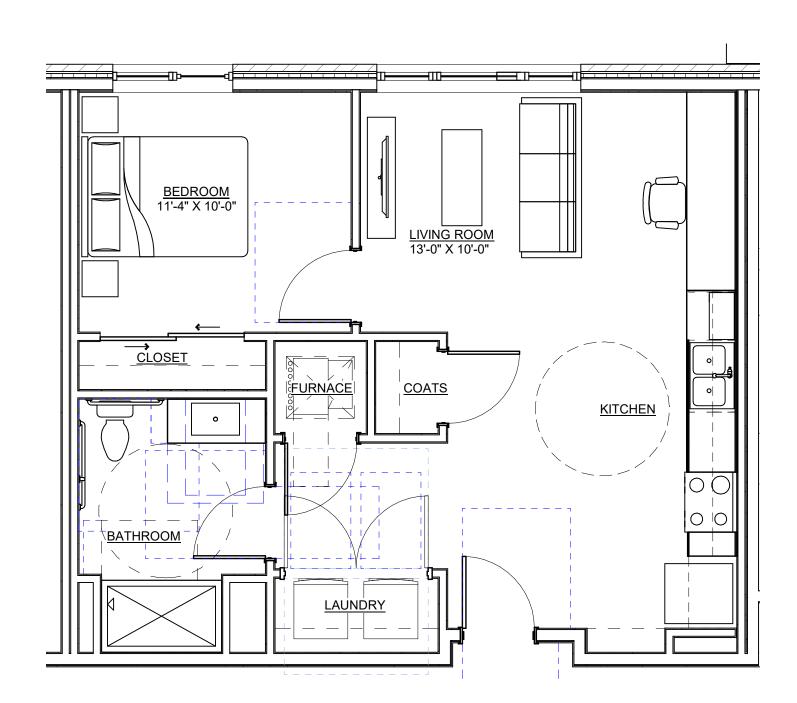


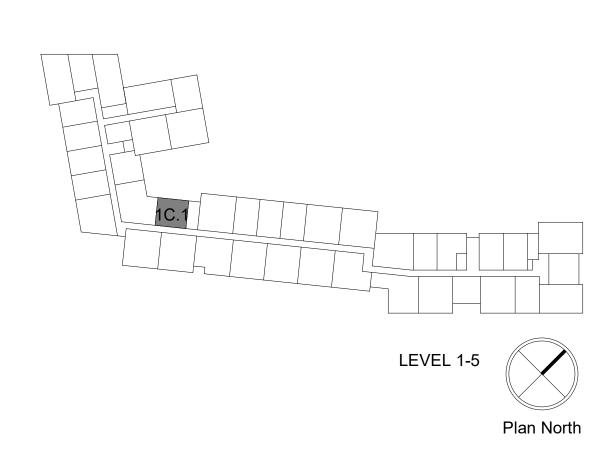














MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER BEAR DEVELOPMENT 4011 80TH STREET

PROJECT NUMBER

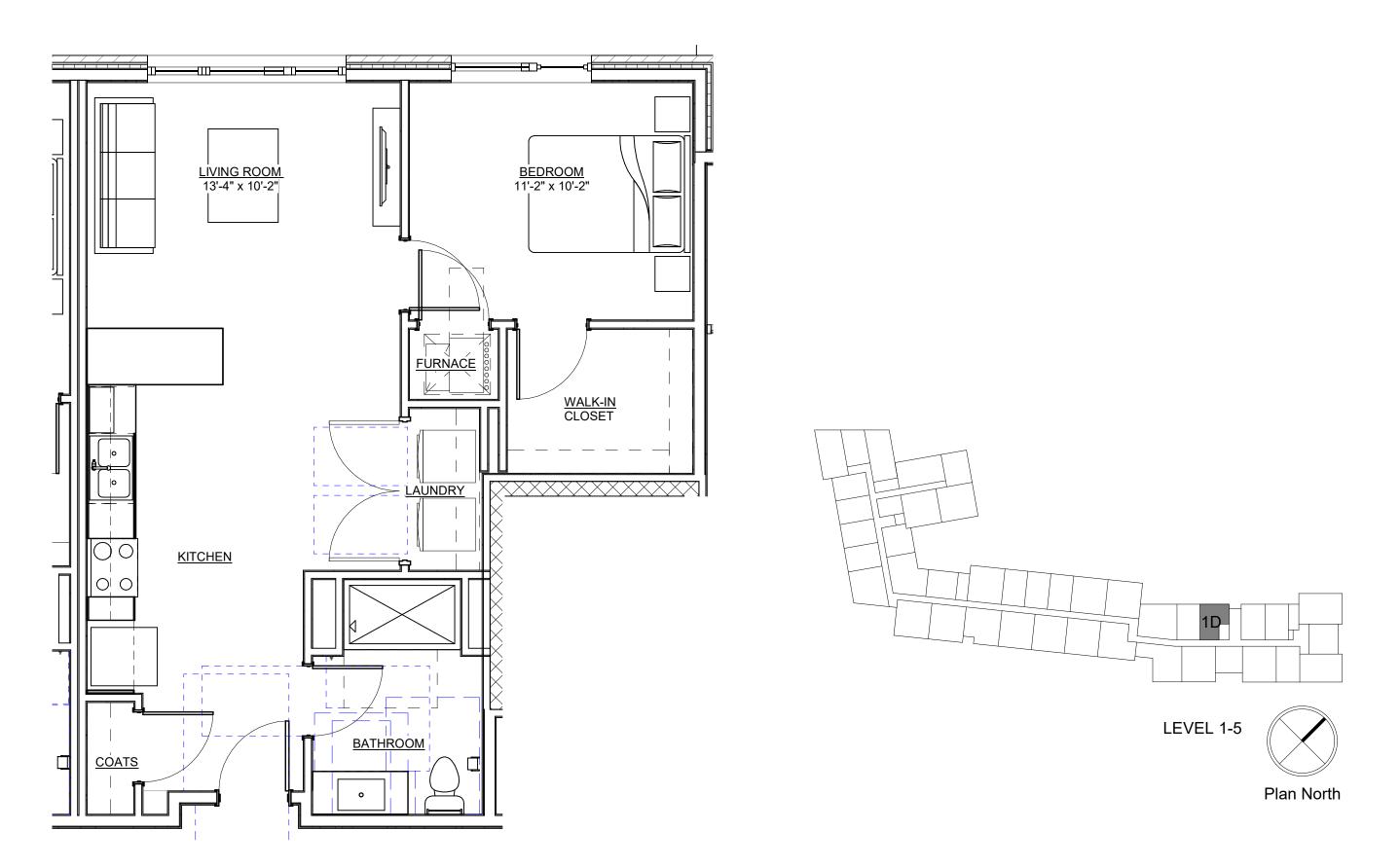
KENOSHA, WI 53142

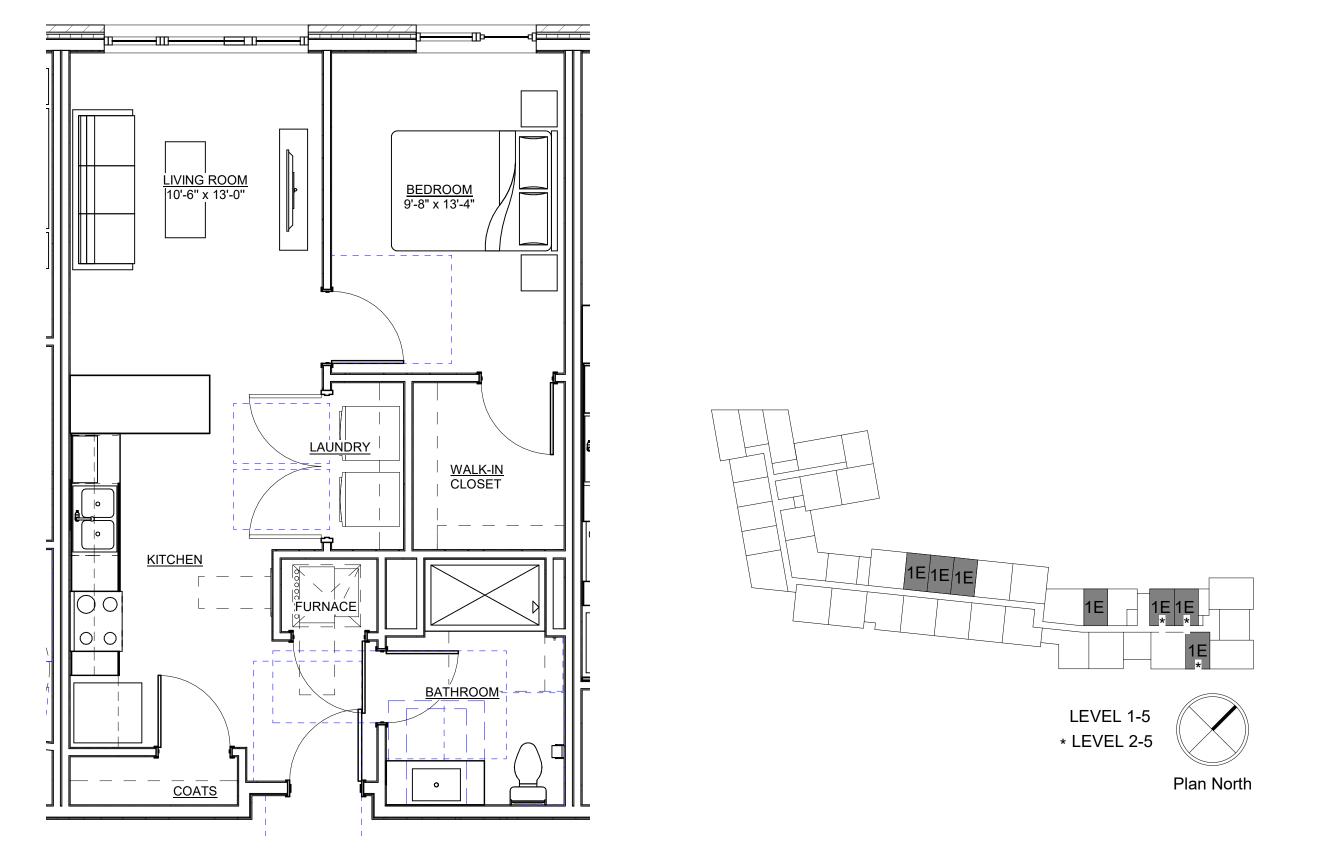
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ENLARGED UNIT PLANS







3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

BEAR DEVELOPMENT 4011 80TH STREET

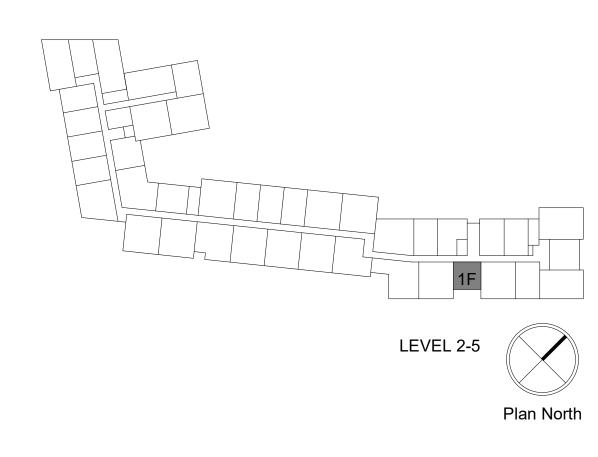
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<u>KITCHEN</u> LIVING ROOM 14'-0" x 10'-6" BEDROOM 11'-4" x 10'-6"



1 UNIT 1D - WHEDA SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

- 1. VERIFY LOCATION AND SIZES OF COLUMNS, BEAMS, AND FLOOR SLAB THICKNESS PRIOR TO CORING. COORDINATE WITH STRUCTURAL ENGINEER FOR CORING RESTRICTIONS IN ALL FLOORS, BEAMS, COLUMNS AND EXTERIOR WALLS. 2. BUILDING GRID DIMENSIONS MAY DIFFER SLIGHTLY FROM ACTUAL LOCATIONS. FIELD VERIFY AS REQUIRED FOR
- PLACEMENT OF NEW CONSTRUCTION. 3. ALL DIMENSIONS ON PLANS SHOWN ARE TO THE FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
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- 16. REFER TO SHEETS G004 & G005 FOR ADDITIONAL WHEDA REQUIREMENTS, ACCESSIBILITY INFORMATION, AND REQUIRED BLOCKING IN WALLS FOR FUTURE GRAB BAR INSTALLATIONS.
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 20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER

CHECKED BY Checker

ENLARGED UNIT PLANS





3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER

LEVEL 2-5

Plan North

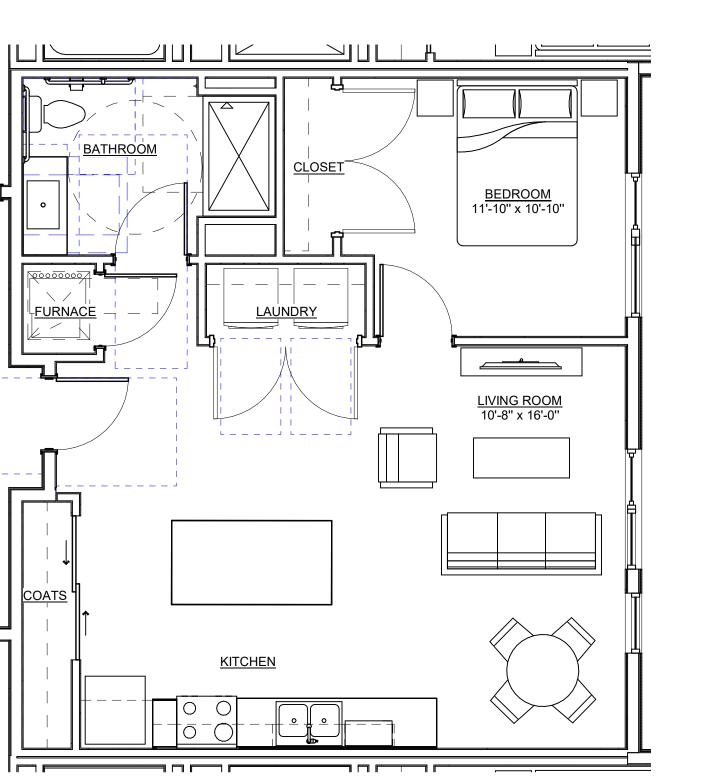
ISSUED FOR: LAND USE APPLICATION

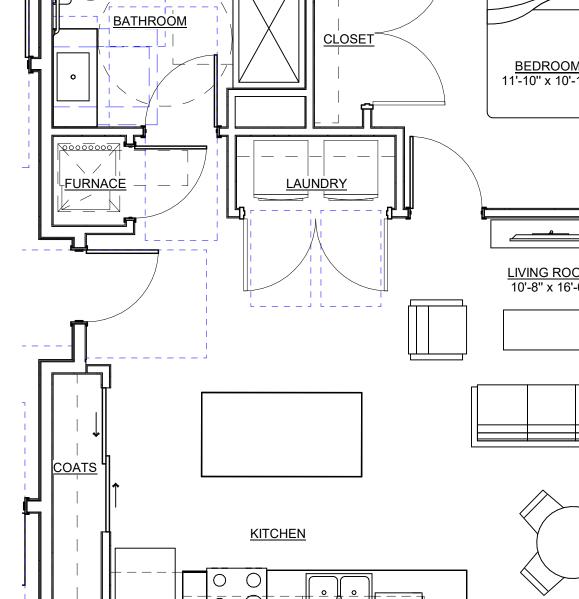
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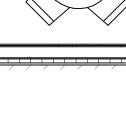
NO. DESCRIPTION

DRAWN BY

CHECKED BY







<u>LIVING ROOM</u> 11'-6" X 16'-0"

LEVEL 1

Plan North

1 UNIT 1G - WHEDA SCALE: 1/4" = 1'-0"

UNIT 1G.1 - WHEDA/ TYPE A SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

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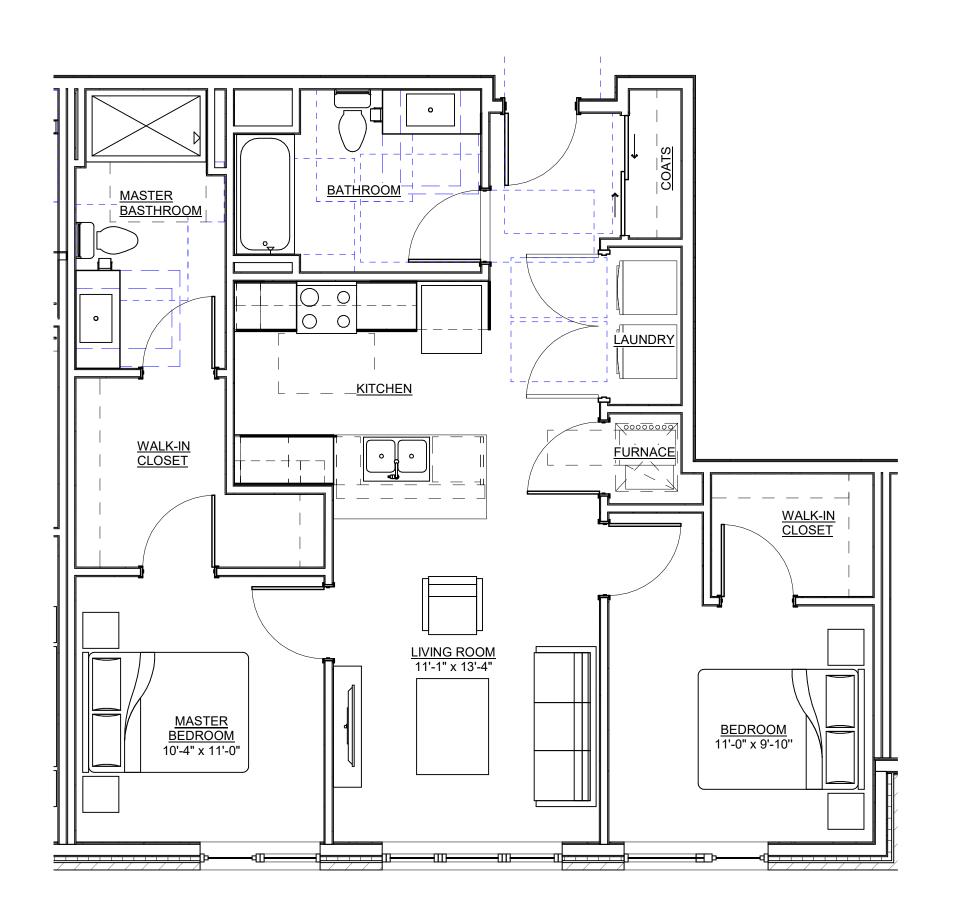
KEY NOTES - UNIT PLANS

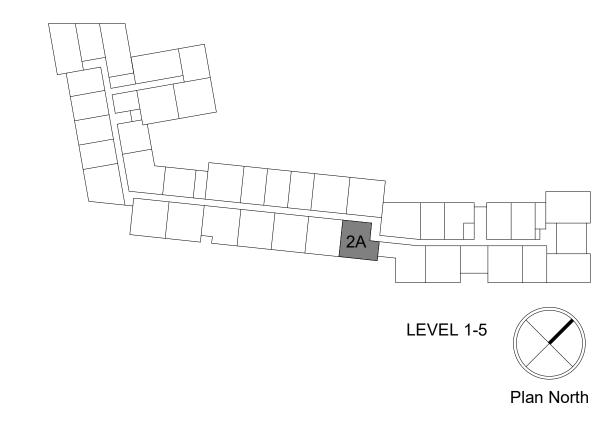
SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER

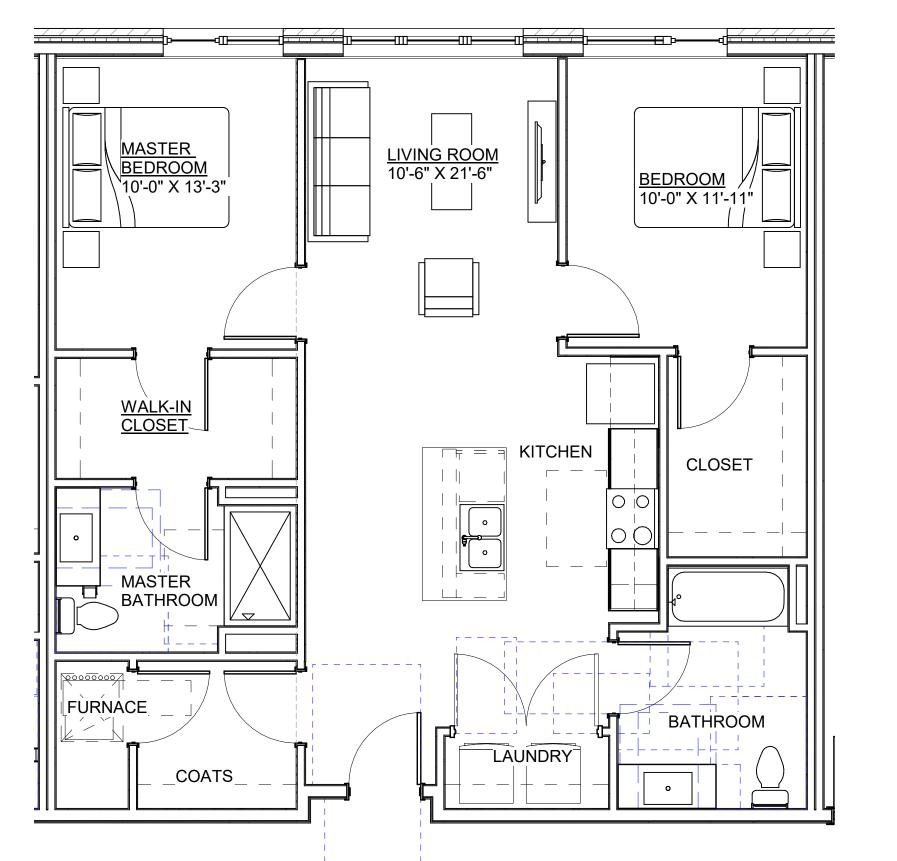
ENLARGED UNIT PLANS

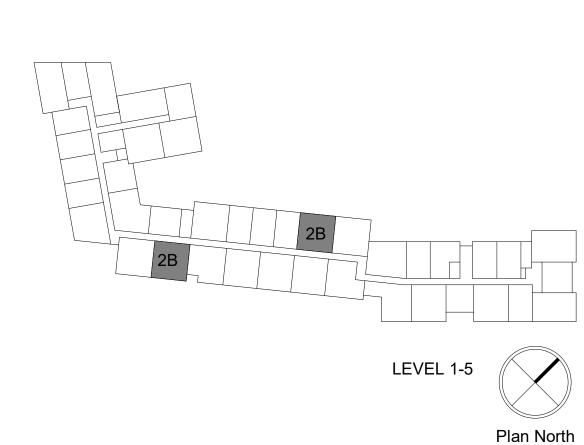
Author

Checker









3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT

4011 80TH STREET KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

NO. DESCRIPTION DATE

1 UNIT 2A SCALE: 1/4" = 1'-0" 2 UNIT 2B SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

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21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER



DRAWN BY Author

CHECKED BY Checker

ENLARGED UNIT PLANS

4) UNIT 2C - WHEDA SCALE: 1/4" = 1'-0'





3100 E WASHINGTON AVENUE MADISON, WI 53704

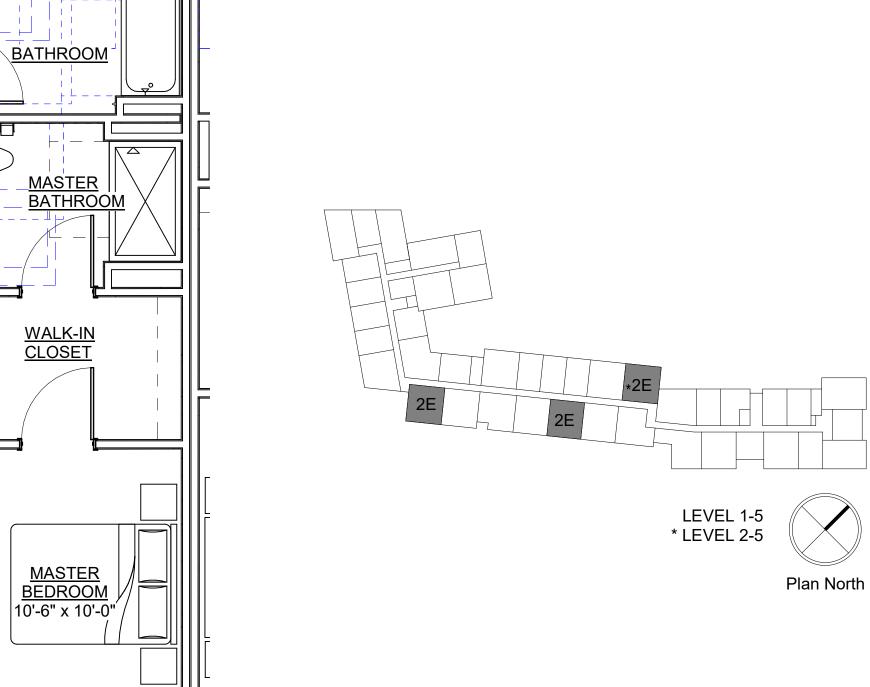
BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

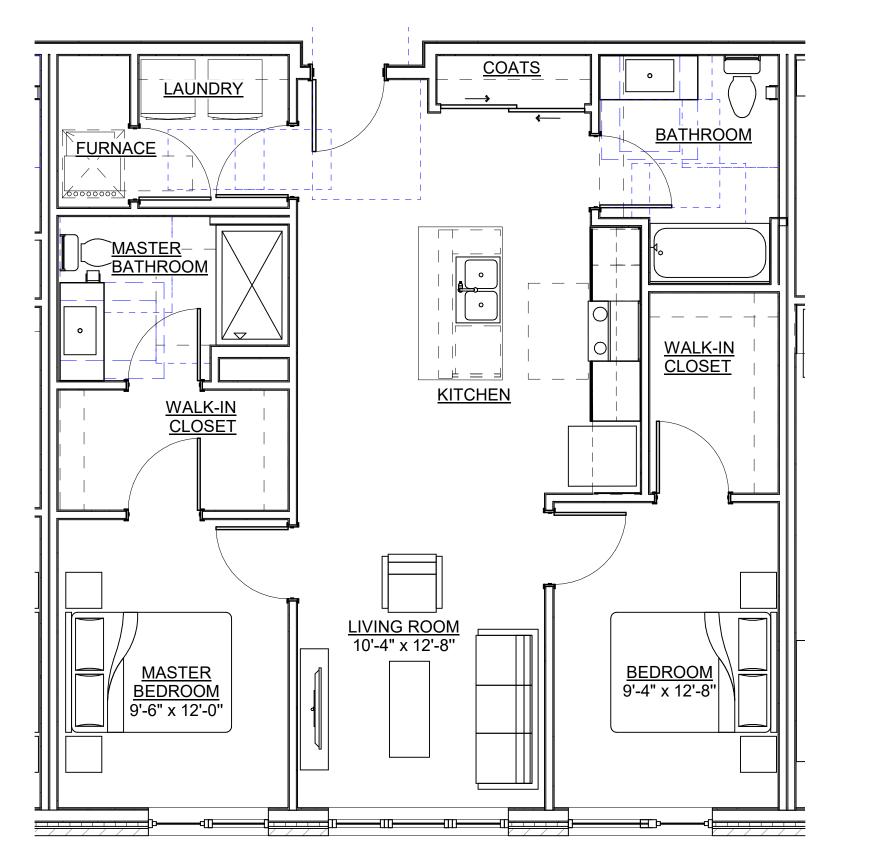
PROJECT NUMBER

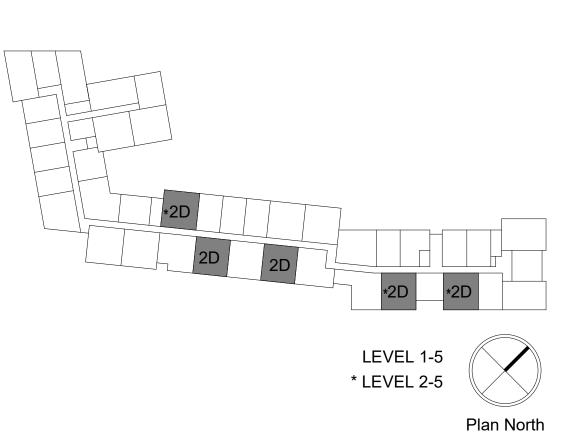
ISSUED FOR: LAND USE APPLICATION

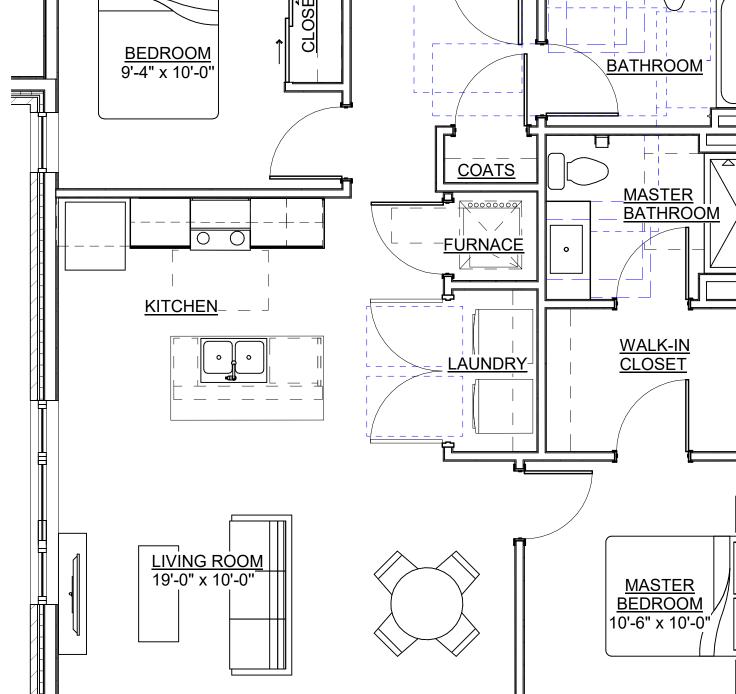
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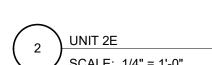
NO. DESCRIPTION











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KEY NOTES - UNIT PLANS

1 UNIT 2D

SCALE: 1/4" = 1'-0"

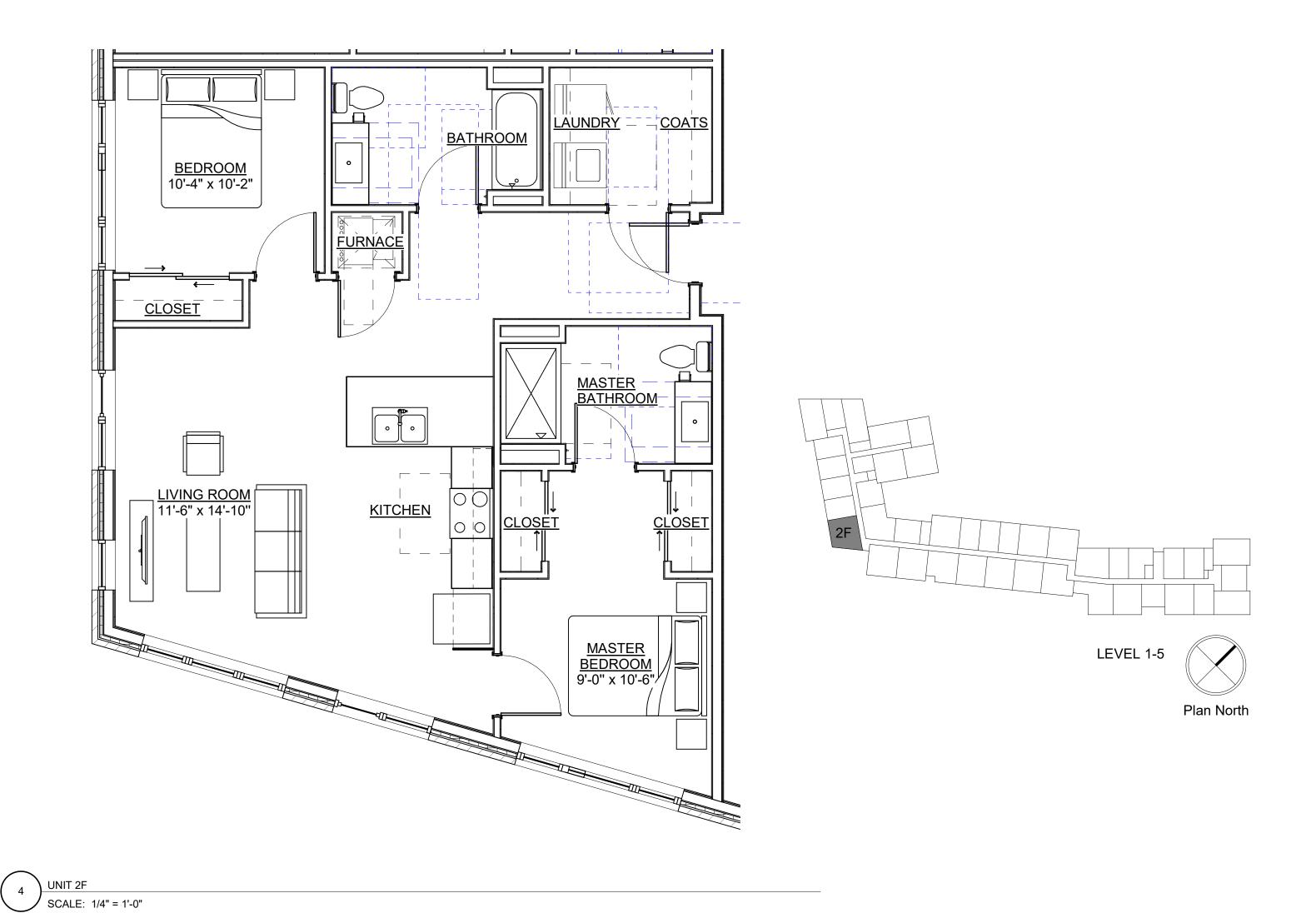
SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER

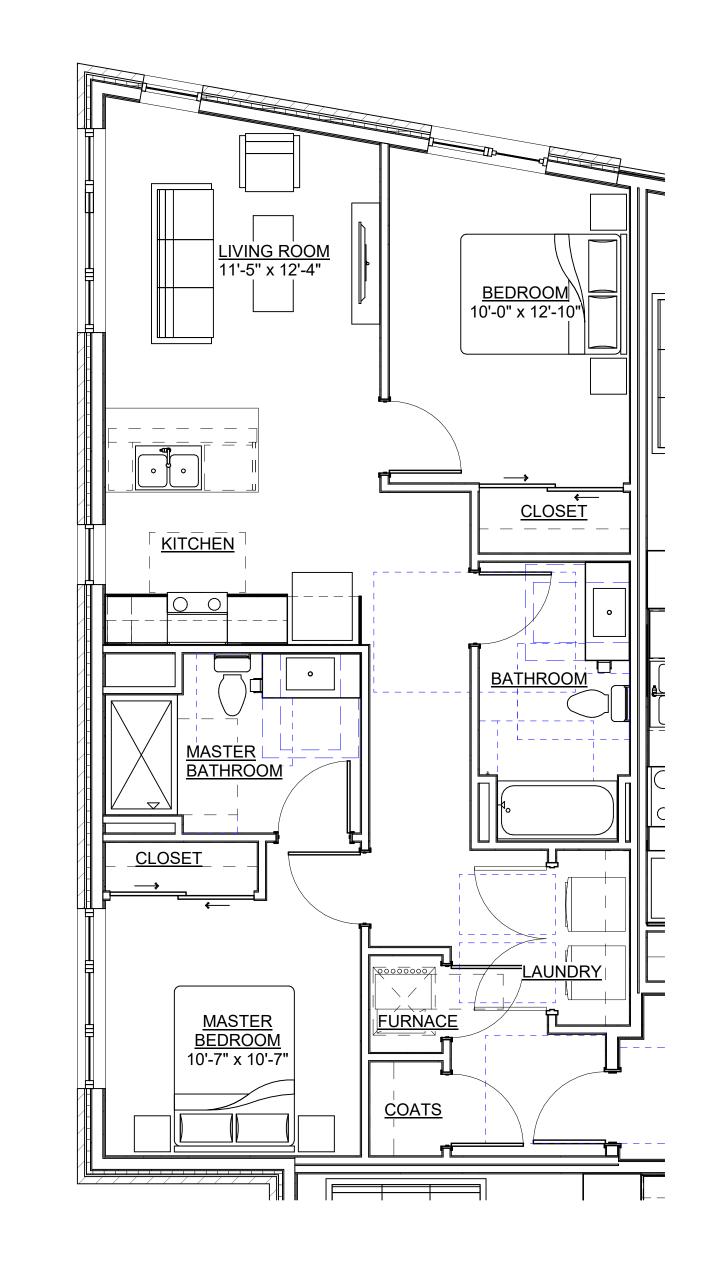
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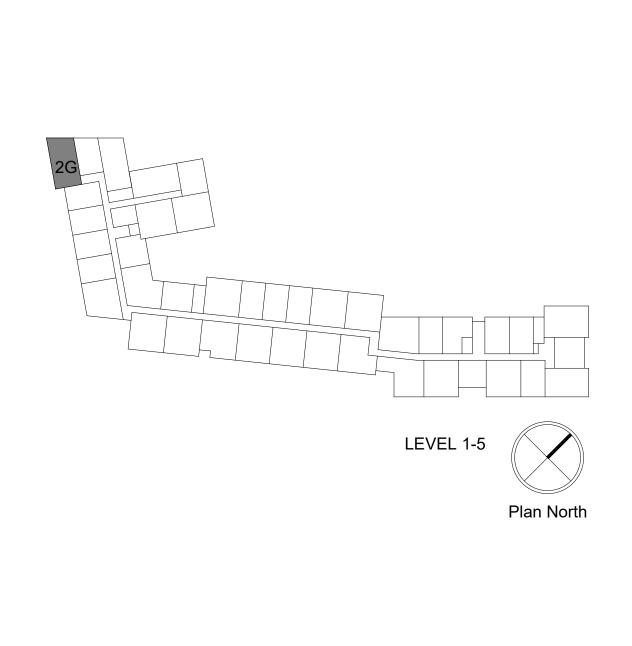
Author

DRAWN BY

ENLARGED UNIT PLANS









3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET

KENOSHA, WI 53142

PROJECT NUMBER

NO. DESCRIPTION

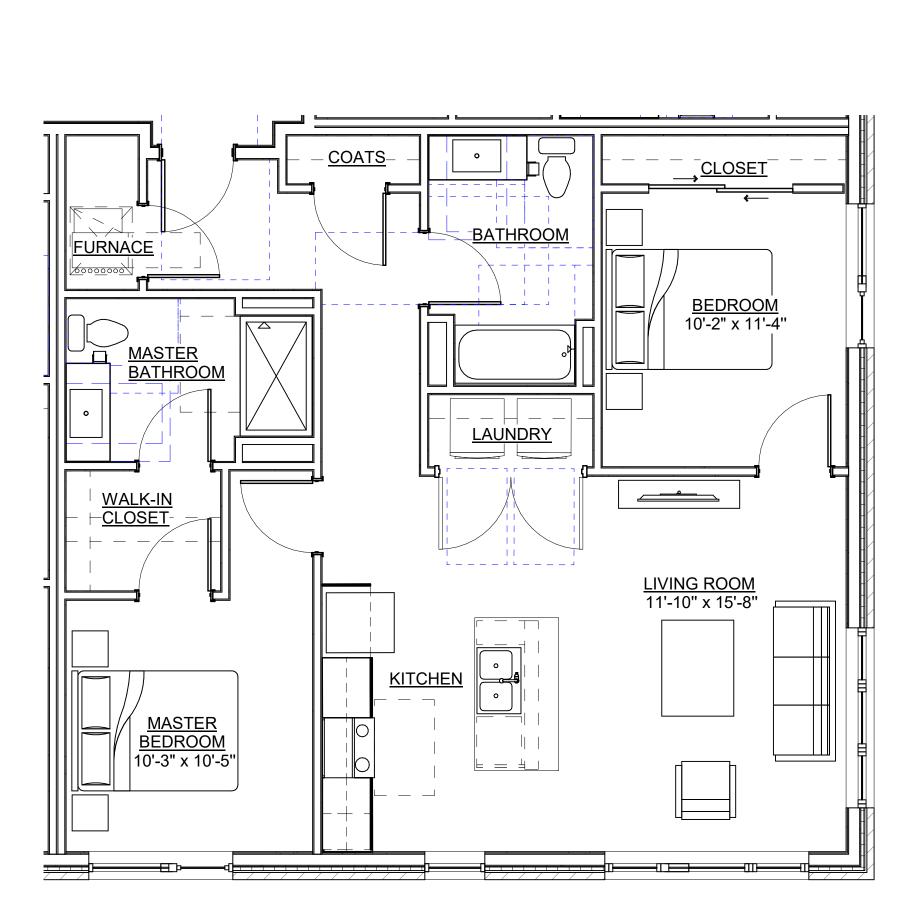
ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

233606.00

NIT 2G





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LEVEL 1-5

KEY NOTES - UNIT PLANS

SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER

DRAWN BY Author

CHECKED BY Checker

ENLARGED UNIT PLANS

2 UNIT 2H

BEDROOM 10'-0" x 10'-10'

<u>KITCHEN</u>

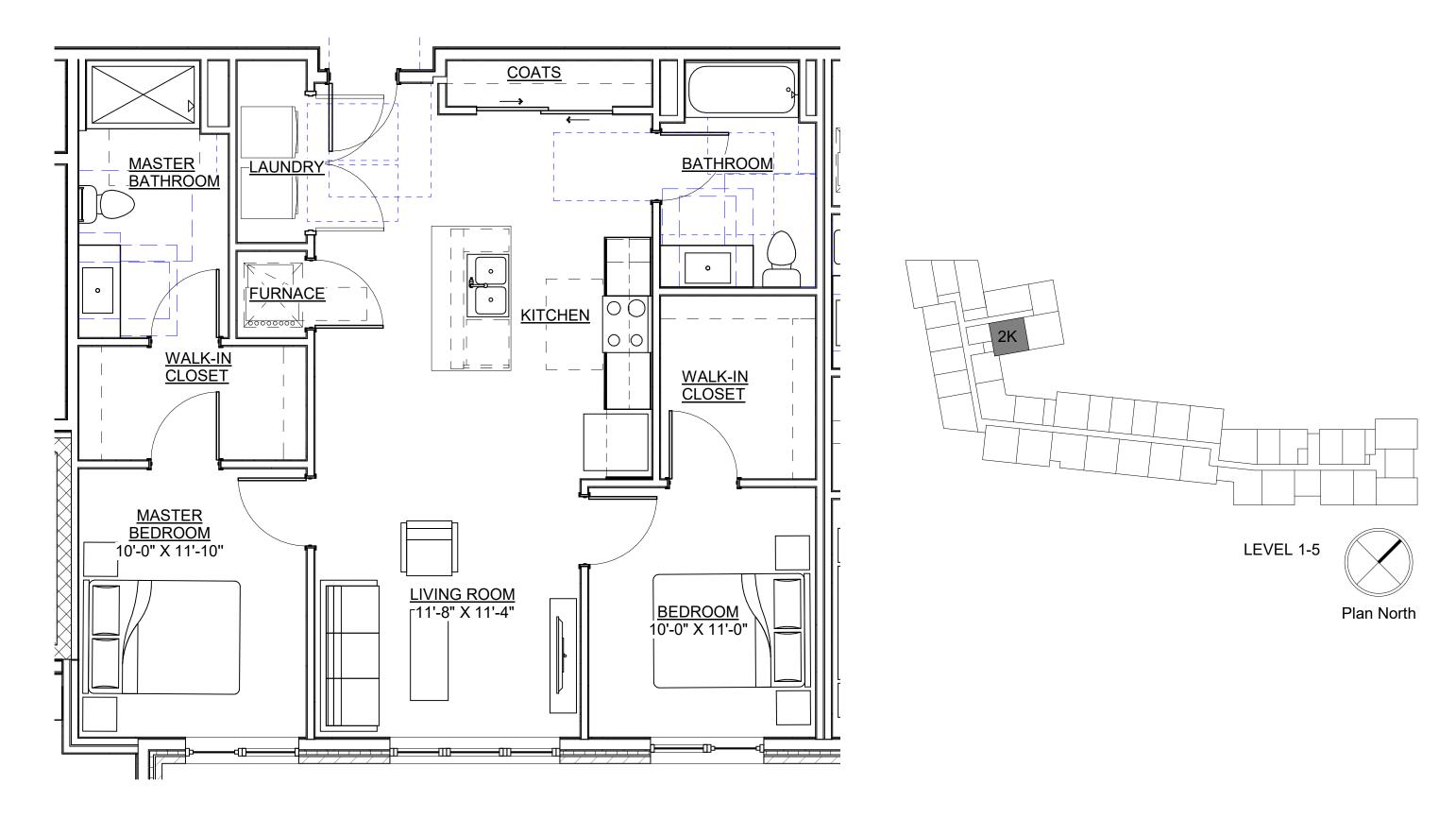
LIVING ROOM

BEDROOM 13'-0" x 9'-11"

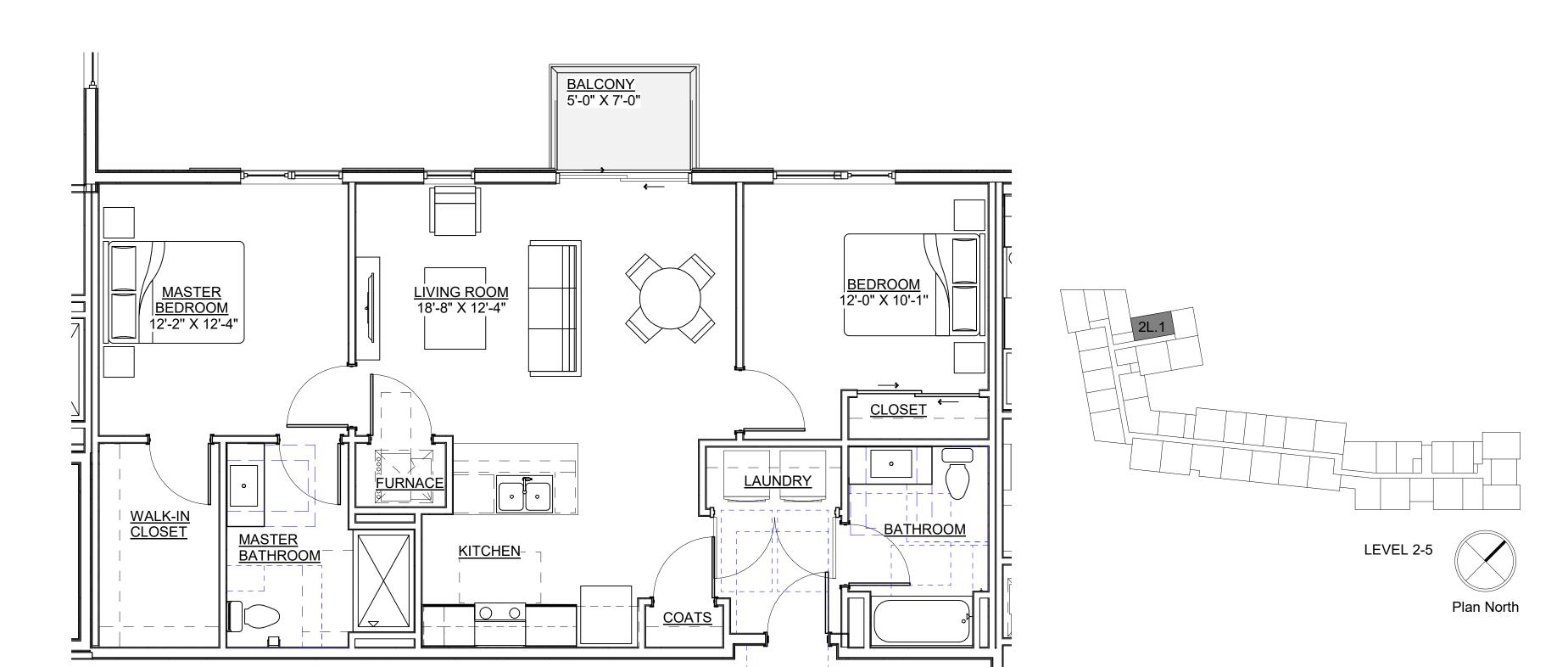
1 UNIT 2J
SCALE: 1/4" = 1'-0"

LEVEL 1-5

A305



1 UNIT 2K - WHEDA
SCALE: 1/4" = 1'-0"



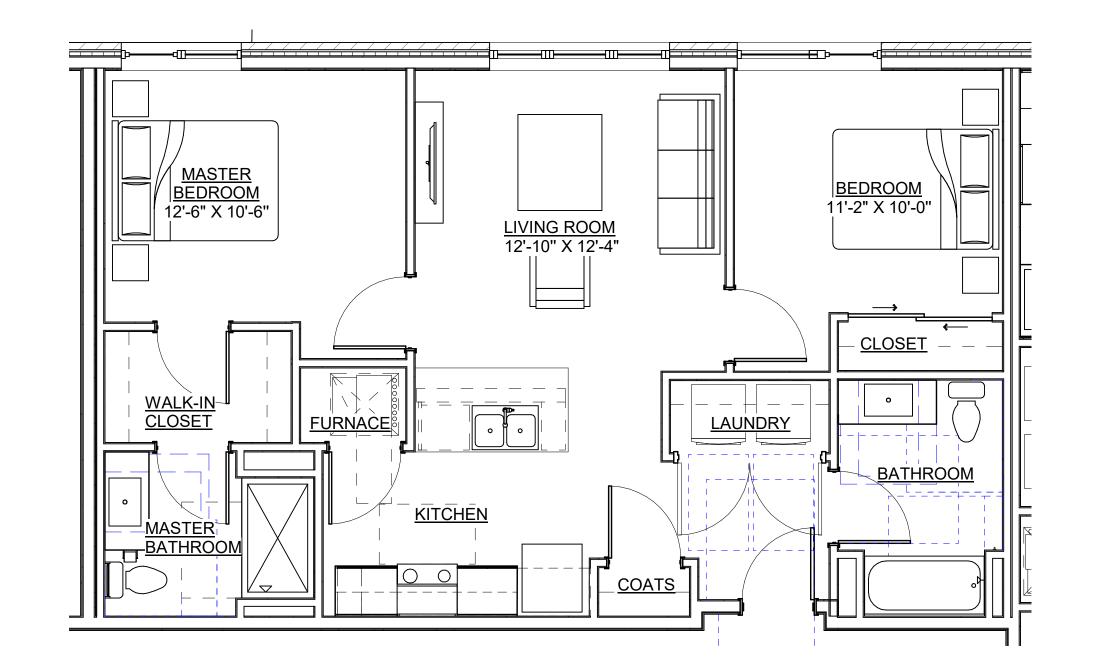
3 UNIT 2L.1 - WHEDA SCALE: 1/4" = 1'-0"

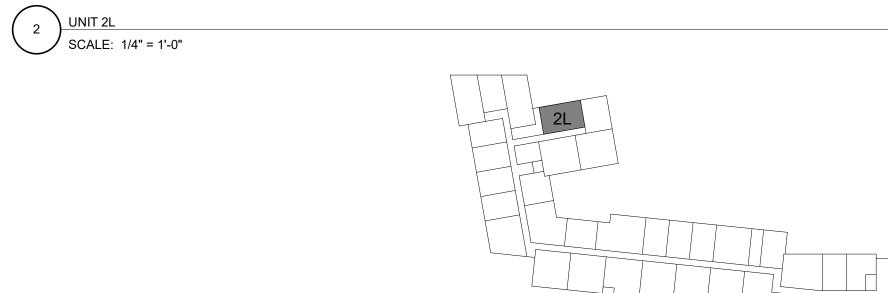
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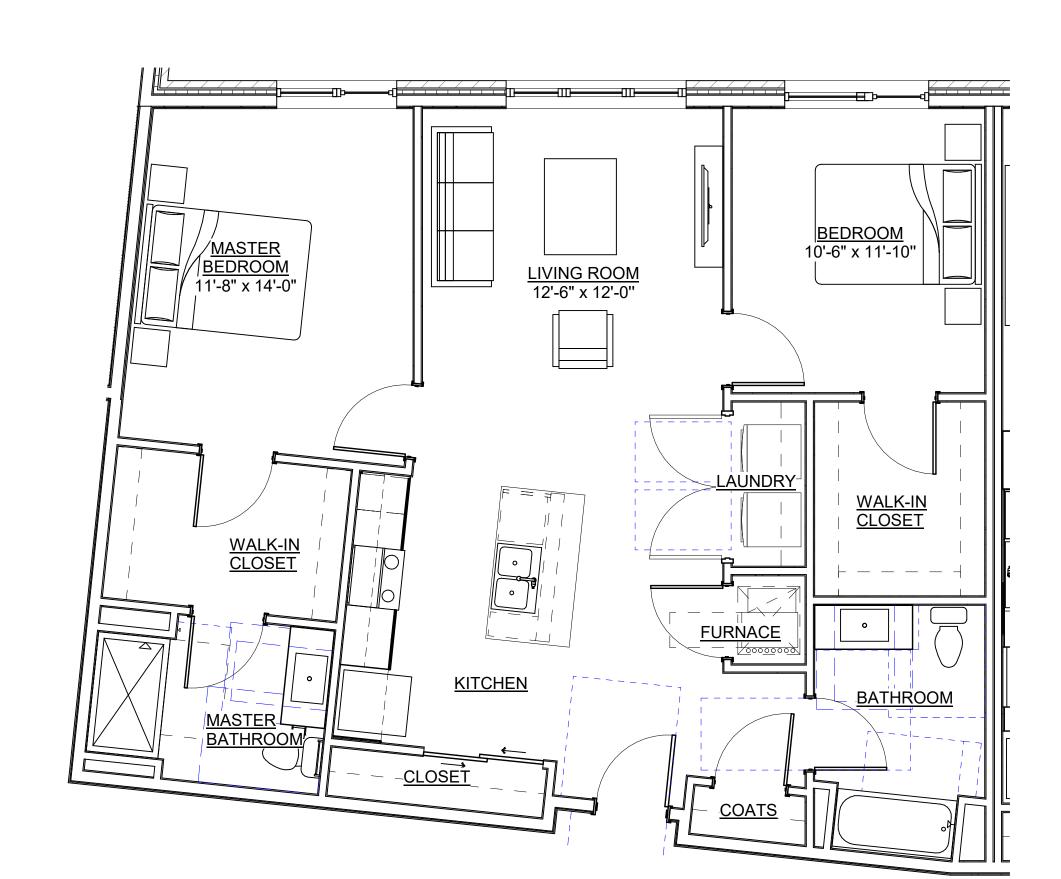
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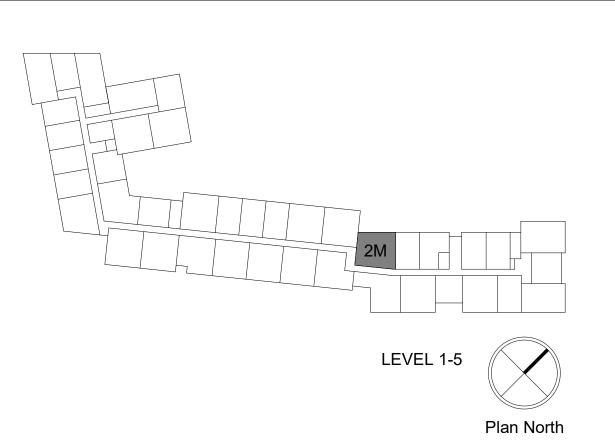




LEVEL 1 Plan North



4 UNIT 2M - WHEDA/ TYPE A
SCALE: 1/4" = 1'-0"





MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER BEAR DEVELOPMENT 4011 80TH STREET

KENOSHA, WI 53142

PROJECT NUMBER

NO. DESCRIPTION

ISSUED FOR: LAND USE APPLICATION REVISION FOR:

DRAWN BY CHECKED BY

ENLARGED UNIT PLANS



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE

MADISON, WI 53704 BEAR DEVELOPMENT LEVEL 1-5 * LEVEL 2-5 4011 80TH STREET KENOSHA, WI 53142 Plan North PROJECT NUMBER

<u>KITCHEN</u>

<u>LIVING ROOM</u> 19'-7" x 12'-8"

3 UNIT 2P SCALE: 1/4" = 1'-0"

BEDROOM 11'-4" x 9'-7"

MASTER BATHROOM

LIVING ROOM 13'-8" x 13'-10"

-

<u>MASTER</u> <u>BEDROOM</u> 11'-5" x 10'-7"

ISSUED FOR: LAND USE APPLICATION REVISION FOR: NO. DESCRIPTION

BATHROOM LAUNDRY BEDROOM 11'-10 x 9'-5" BATHROOM BALCONY 5'-0" X 7'-0" LIVING ROOM 13'-10" x 14'-0" MASTER BEDROOM 10'-8" x 11'-8"

BEDROOM 10'-6" x 11'-0"

<u>BATHROOM</u>

LEVEL 2-5 Plan North

LEVEL 1

MASTER BEDROOM 11'-6" x 10'-5" MASTER \
BATHROOM <u>LIVING ROOM</u> 12'-10" x 12'-8" LAUNDRY BEDROOM 11'-10" x 10'-3" COATS FURNACE WALK-IN F

1 UNIT 2Q SCALE: 1/4" = 1'-0"

2 UNIT 2N SCALE: 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

PLACEMENT OF NEW CONSTRUCTION.

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 18. ALL UNIT-TO-UNIT DEMISING WALLS TO BE Q22 UNLESS OTHERWISE NOTED; UNIT-TO-CORRIDOR DEMISING WALLS TO BE
- R22 UNLESS OTHERWISE NOTED; SEE SHEET A600. 19. PROVIDE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION AT ALL INBOARD BEDROOMS AS REQUIRED BY CODE.20. REFER TO STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
- 21. PROVIDE SINGLE-LEVER FAUCETS IN BATHS AND KITCHENS.

KEY NOTES - UNIT PLANS

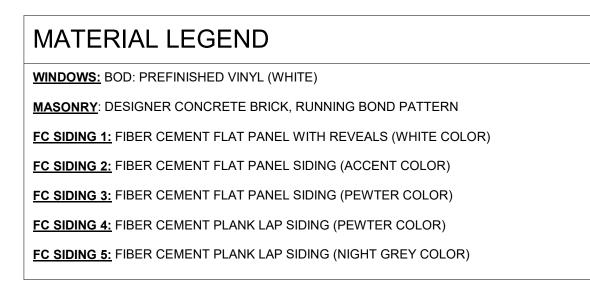
SH-1: TYPE B SHOWER SH-2: TYPE B BATHTUB SH-3: TYPE A ROLL-IN SHOWER

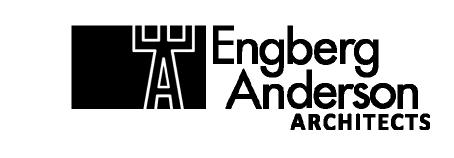
Plan North

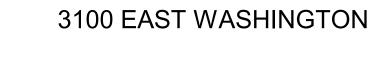
CHECKED BY

DRAWN BY

ENLARGED UNIT PLANS







3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT

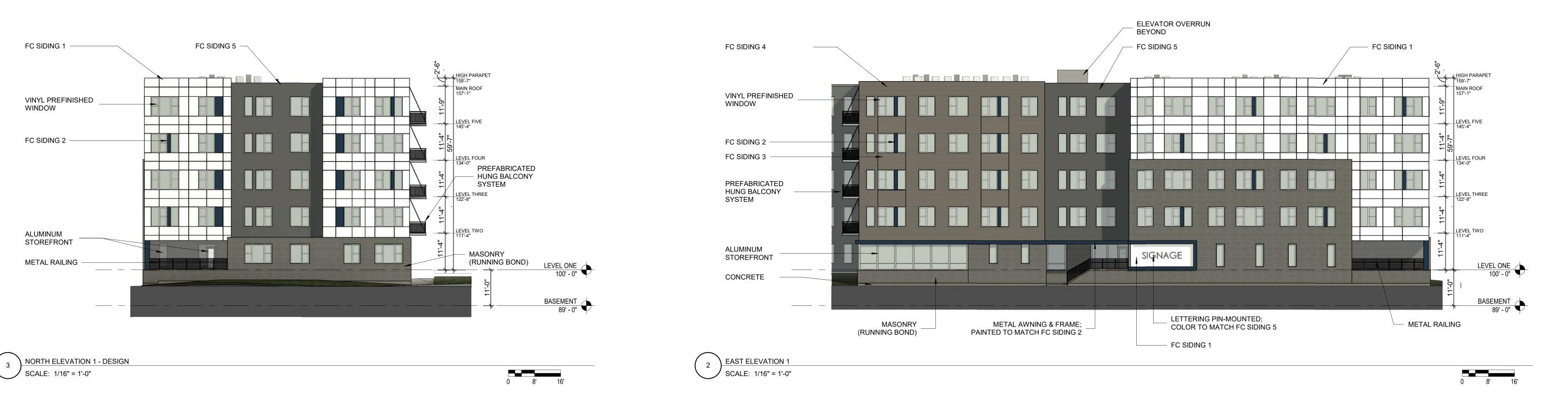
4011 80TH STREET KENOSHA, WI 53142

NO. DESCRIPTION

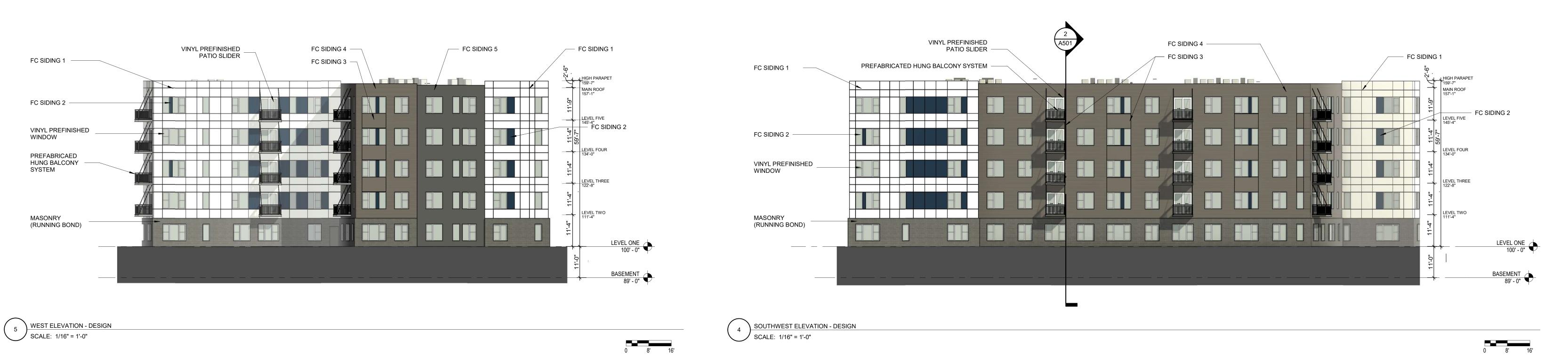
PROJECT NUMBER

ISSUED FOR: LAND USE APPLICATION REVISION FOR:

233606.00







0 8' 16'

DRAWN BY Author CHECKED BY Checker

BUILDING ELEVATIONS

MATERIAL LEGEND

WINDOWS: BOD: PREFINISHED VINYL (WHITE)

MASONRY: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN

<u>MASONRY</u>: DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN

<u>FC SIDING 1:</u> FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)

FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



WEST ELEVATION INSET 1 - DESIGN

SCALE: 1/16" = 1'-0"

FC SIDING 1 ——



0 8' 16'

BASEMENT 89' - 0"

0 8' 16'

2 WEST ELEVATION INSET 2 - DESIGN
SCALE: 1/16" = 1'-0"

0 8' 16'

VINYL PREFINISHED

PATIO SLIDER

PREFABRICATED HUNG BALCONY

VINYL PREFINISHED

MECHANICAL LOUVER (DESIGN-BUILD MEP)

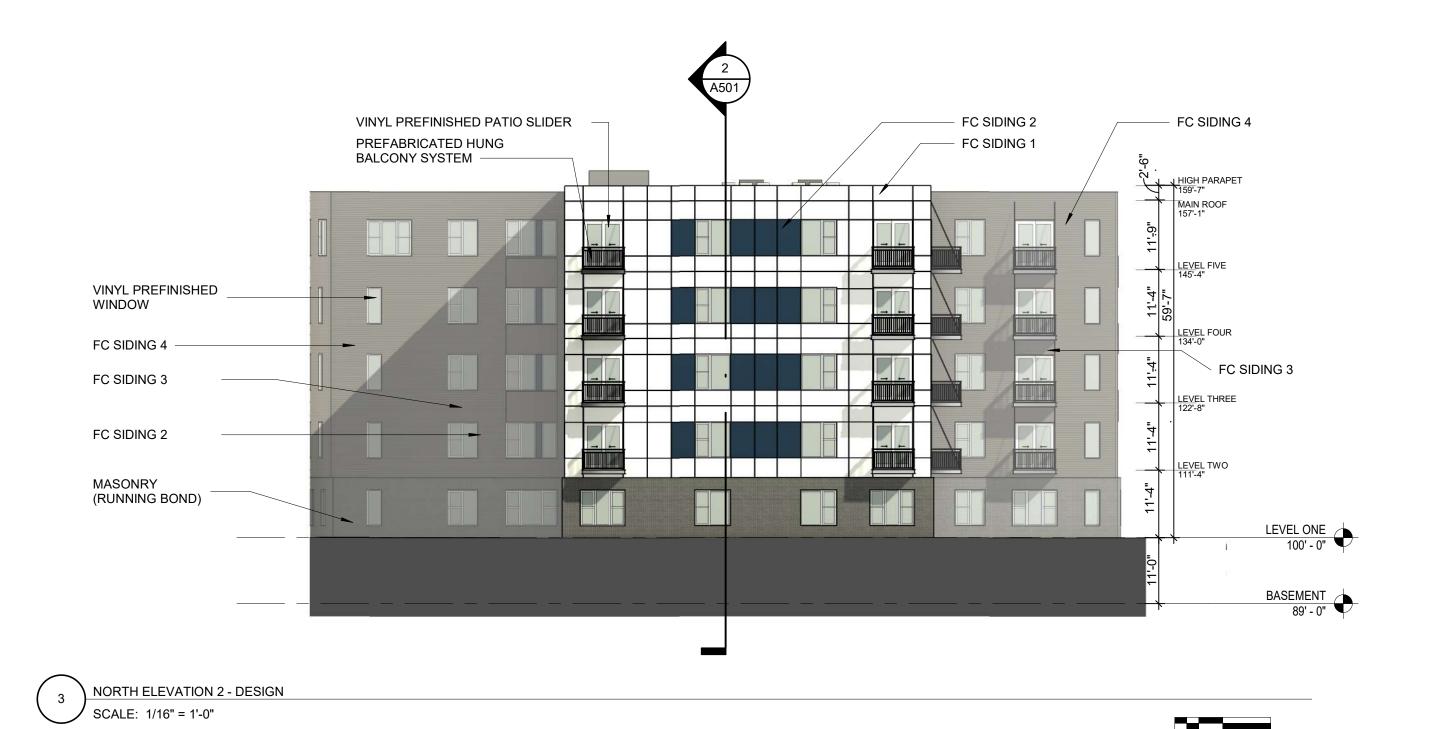
SYSTEM

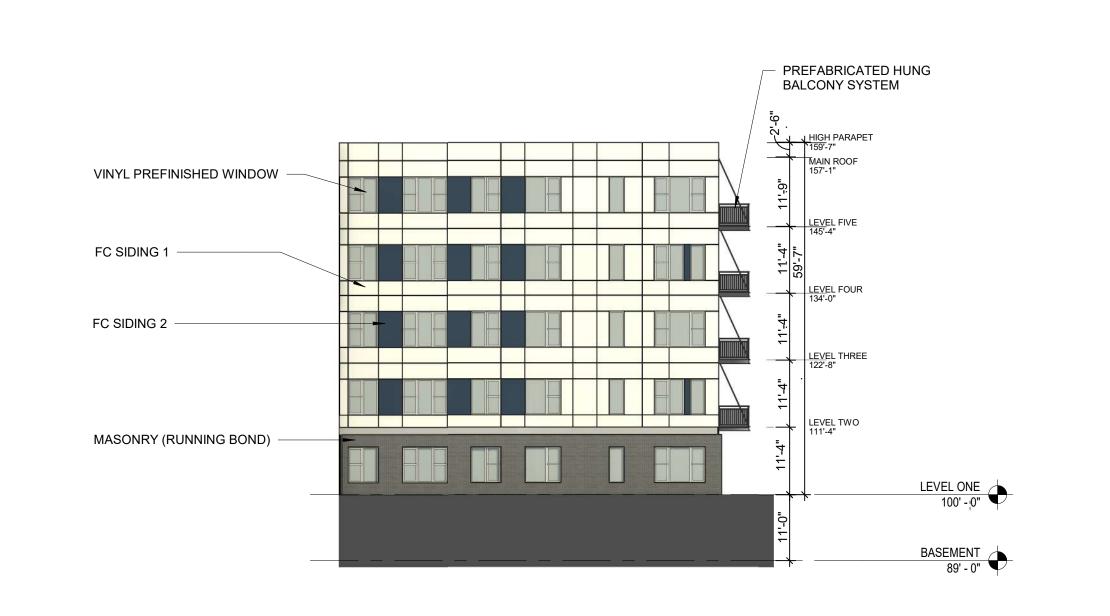
WINDOW

FC SIDING 2 -

MASONRY RUNNING BOND

PREFINISHED GARAGE DOOR





EAST ELEVATION 3 - DESIGN

SCALE: 1/16" = 1'-0"

0 8' 16'



MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET

KENOSHA, WI 53142

PROJECT NUMBER

NO. DESCRIPTION

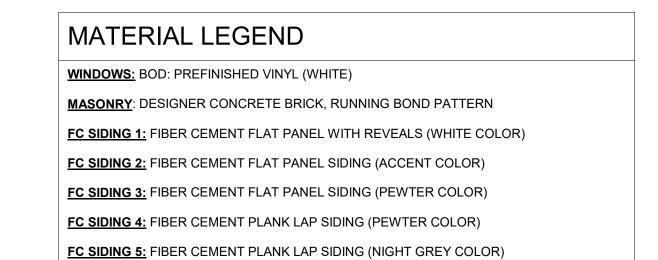
ISSUED FOR:	
LAND USE APPLICATION	08/07/23
REVISION FOR:	

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BUILDING ELEVATIONS



FC SIDING 1

— FC SIDING 2

BASEMENT 89' - 0"

0 8' 16'



MILWAUKEE | MADISON | TUCSON | CHICAGO



233606.00

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER BEAR DEVELOPMENT 4011 80TH STREET

PROJECT NUMBER

KENOSHA, WI 53142

ISSUED FOR:

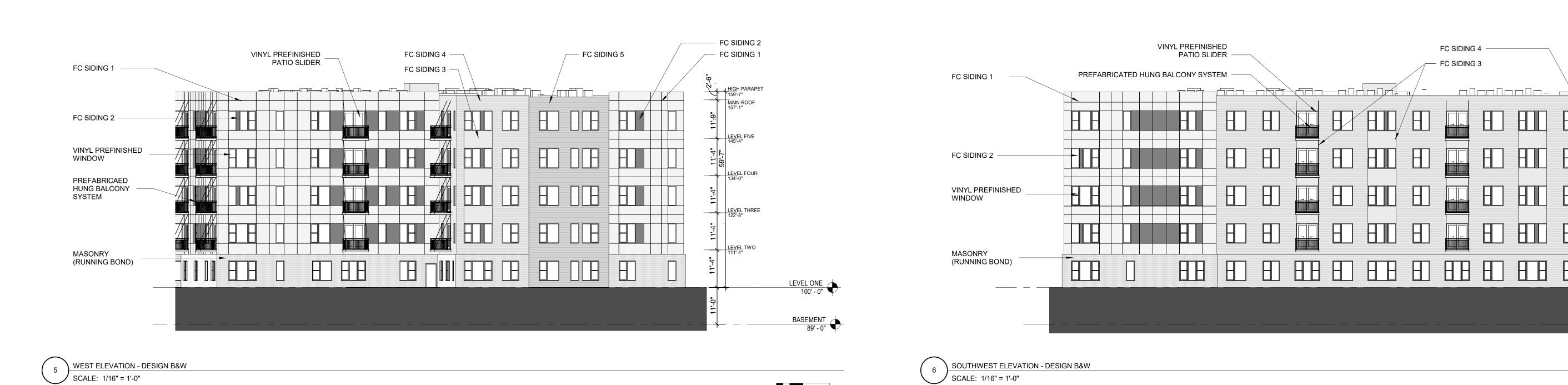
REVISION FOR:

LAND USE APPLICATION

NO. DESCRIPTION







0 8' 16'

PREFABRICATED
- HUNG BALCONY
SYSTEM

100' - 0"

BASEMENT 89' - 0"

0 8' 16'

MASONRY (RUNNING BOND)

FC SIDING 1

FC SIDING 2

ALUMINUM STOREFRONT

METAL RAILING

NORTH ELEVATION 1 - DESIGN B&W

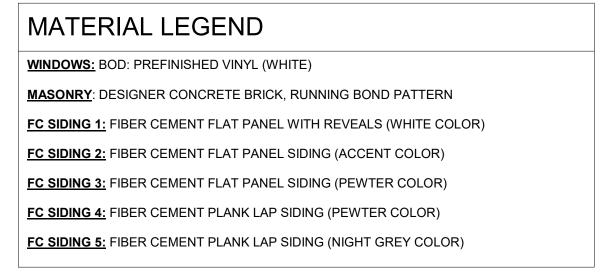
SCALE: 1/16" = 1'-0"

5 WEST ELEVATION - DESIGN B&W
SCALE: 1/16" = 1'-0"

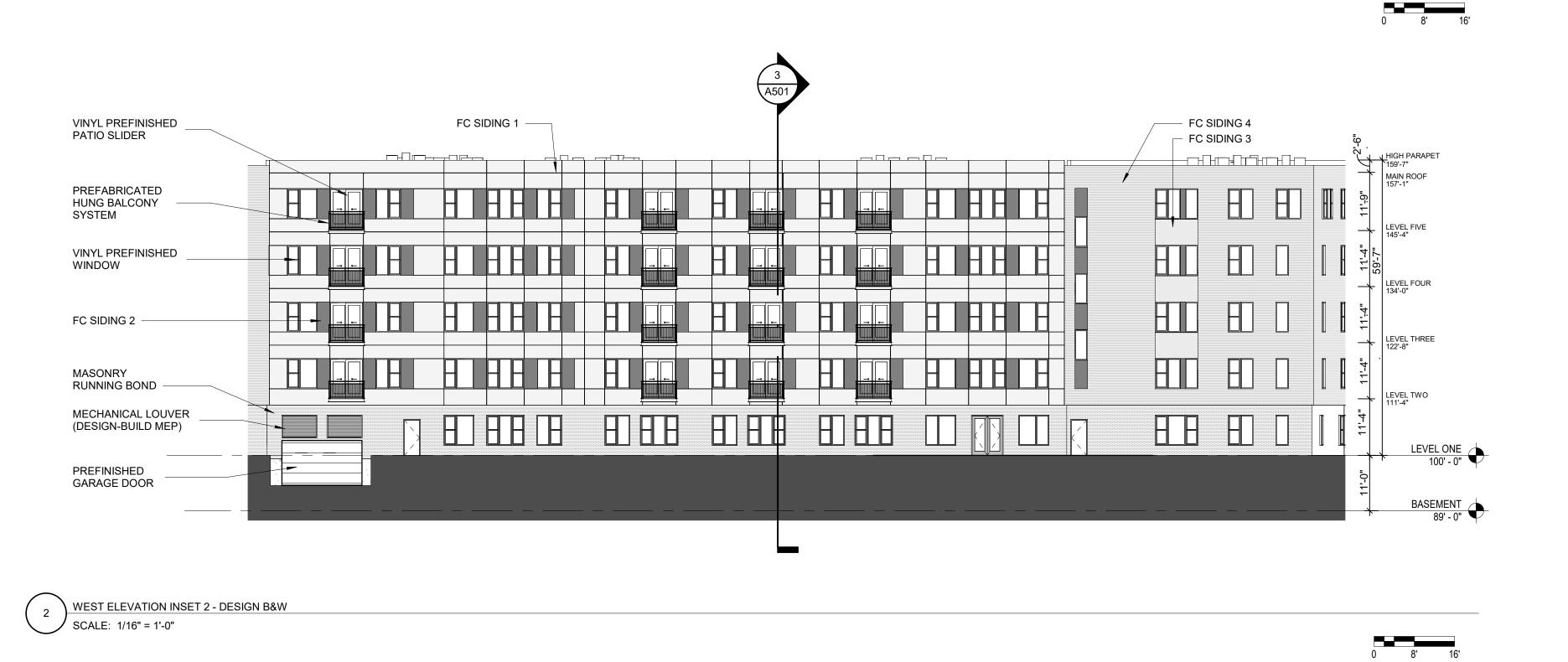
VINYL PREFINISHED WINDOW

FC SIDING 5

DRAWN BY Author CHECKED BY **BUILDING ELEVATIONS**









SCALE: 1/16" = 1'-0"



MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET

KENOSHA, WI 53142

PROJECT NUMBER

NO. DESCRIPTION

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LAND USE APPLICATION 08/07/23

REVISION FOR:

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BUILDING ELEVATIONS



3100 EAST WASHINGTON

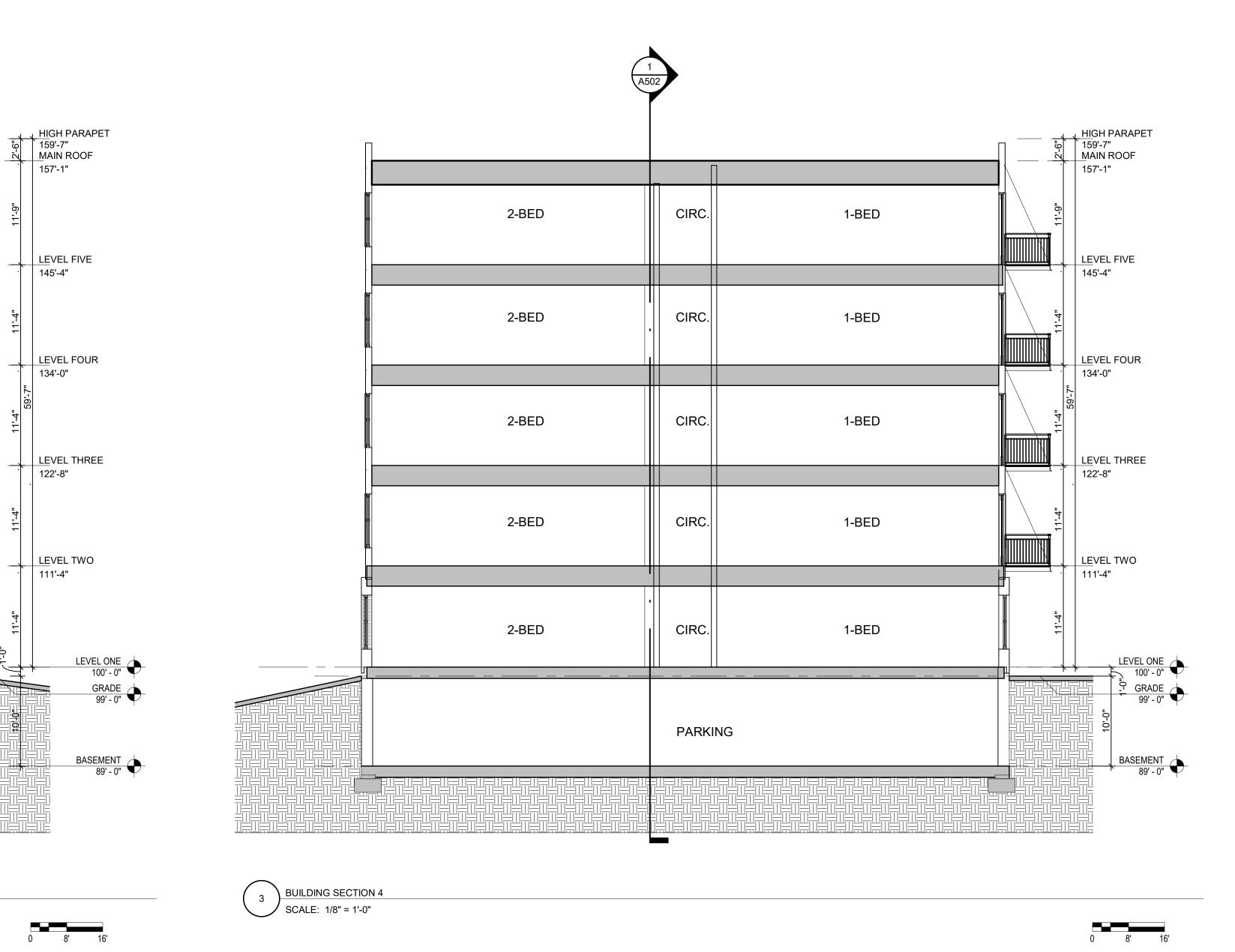
233606.00

DATE

Author

ISSUED FOR: 08/07/23 LAND USE APPLICATION

3100 E WASHINGTON AVENUE MADISON, WI 53704 OWNER BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142 PROJECT NUMBER REVISION FOR: NO. DESCRIPTION



HIGH PARAPET 5 159'-7" MAIN ROOF

LEVEL FIVE 145'-4"

LEVEL FOUR 134'-0"

LEVEL THREE

LEVEL TWO

BASEMENT 89' - 0"

111'-4"

0 8' 16'

122'-8"

157'-1"

2-BED

2-BED

2-BED

2-BED

2-BED

1-BED

1-BED

1-BED

1-BED

1-BED

PARKING

1-BED

1-BED

1-BED

1-BED

1-BED

PARKING

1-BED

CIRC.

CIRC.

CIRC.

CIRC.

CIRC.

MEP

MEP

MEP

√1-BED

1-BED

1-BED

CIRC.

CIRC.

CIRC.

CIRC.

CIRC.

PARKING

2-BED

2-BED

2-BED

2-BED

2-BED

PARKING

TELECOM

TELECOM |

TELECOM

TELECOM

TELECOM |

1-BED

1-BED

1-BED

1-BED

1-BED

2-BED

2-BED

2-BED

2-BED

2-BED

BUILDING SECTION 3

SCALE: 1/8" = 1'-0"

1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"

A501

DRAWN BY

CHECKED BY

BUILDING SECTIONS

FC SIDING 4: FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
 FC SIDING 3: FIBER CEMENT FLAT PANEL SIDING (PEWTER COLOR)

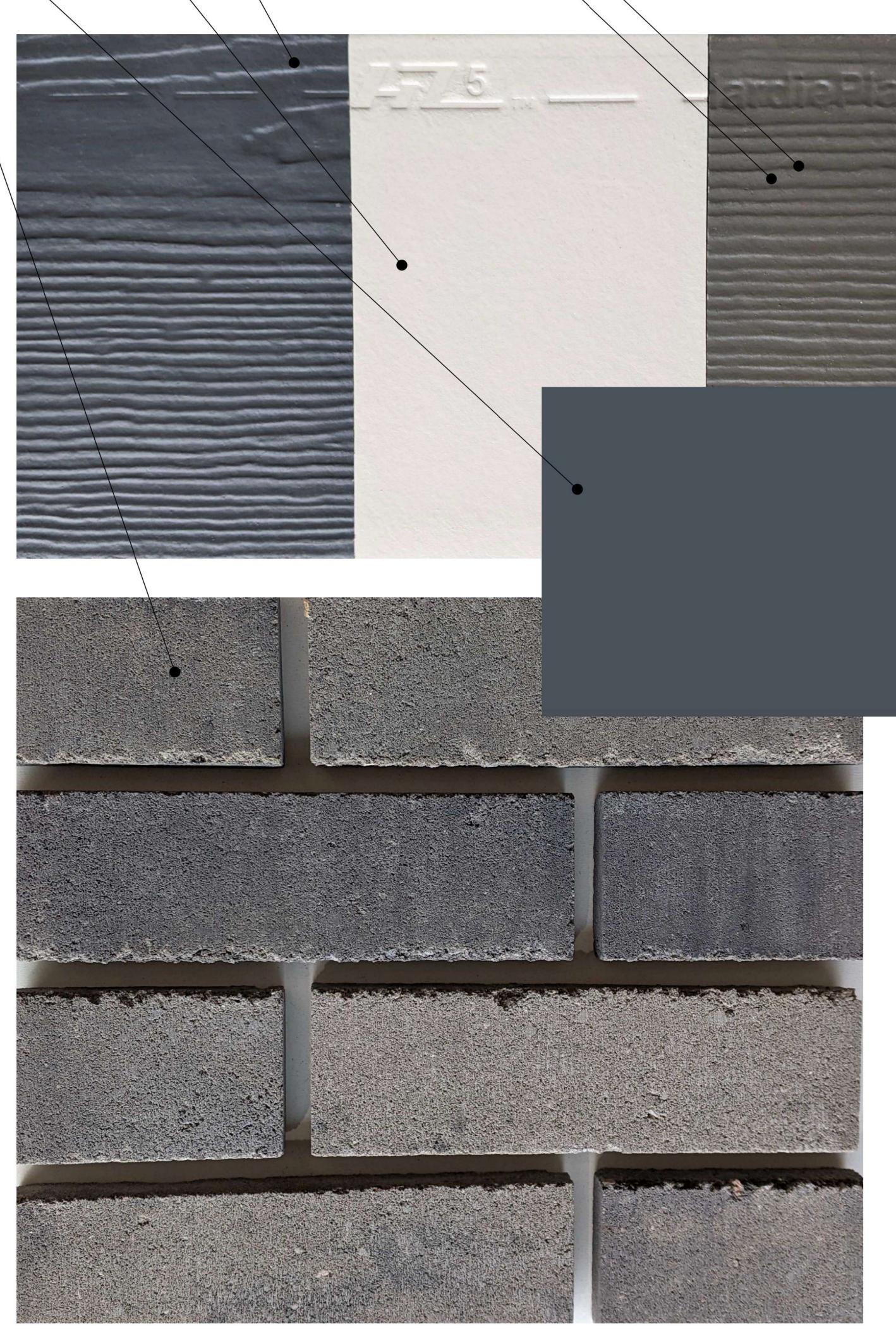
FC SIDING 5: FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)

FC SIDING 1: FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)

FC SIDING 2: FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)

MASONRY: DESIGNER CONCRETE BRICK (RUNNING BOND)







3100 EAST WASHINGTON





EXTERIOR RENDERINGS

SCALE:

Engberg Anderson Project No. 233606.00









EXTERIOR RENDERINGS