

# Redevelopment for Smart Stay ApartHotel LLC

Plan Commission Review

**owner:**  
Smart Stay ApartHotel LLC  
1 Sunfish Ct. Apt 4  
Madison WI 53713  
608-640-9618  
Contact: Amir Katif

**architect:**  
Bouril Design Studio LLC  
579 D'Onofrio Dr Suite 16  
Madison WI 53719  
608-833-3400  
Contact: Robert Lackore

**civil engineer:**  
Burse Surveying and Engineering Inc  
2801 International Ln Suite 101  
Madison WI 53704  
608-250-9263  
Contact: Brian Beaulieu

**landscape architect**  
Paul Skidmore  
13 Red Maple Trl  
Madison WI 53717  
608-826-0032  
Contact: Paul Skidmore

**drawing sheet index**

<u>civil drawings</u>	<u>architectural drawings, cont.</u>
C001 civil details and notes	A1.2 lot plans
C100 existing conditions	A1.3 lot lighting plan
C101 removals plan	A1.4 lot lighting cut sheets
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C300 grading plan	A4.0 basement floor plan
C400 erosion control plan	A4.1 first floor plan
EX-1 truck turning movement exhibit	A4.2 second floor plan
EX-2 usable open space exhibit	A4.3 roof plan
	A5.0 exterior elevations
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<u>landscape drawings</u>	
L1 landscape plan	
<u>architectural drawings</u>	
A1.0 title page	
A1.1 perspective reference images	

**project summary**

**parcel data**  
property address: 6302 Odana Rd, Madison, WI, 53719  
parcel number: 070825101119  
zoning district: SE Suburban Employment  
aldermanic district: 19, Kristen Slack

**existing design standards**  
occupancy classification: Business Group B  
use: professional offices  
construction classification: Type VB, unsprinklered

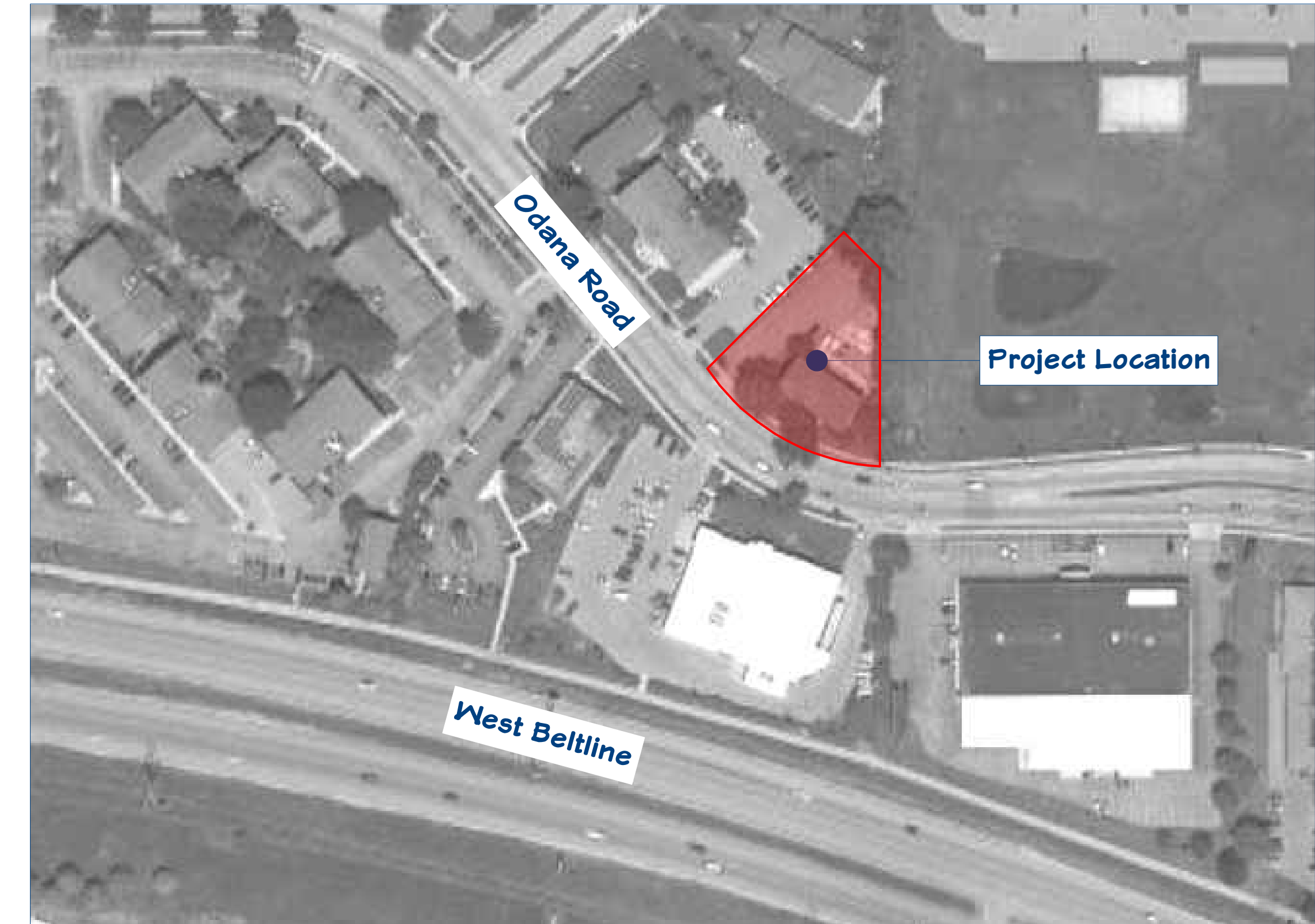
**proposed design standards**  
occupancy classification: Residential Group R-1  
use: hotel  
construction classification: Type VB, fully sprinklered  
classification of work: Alteration Level 3, Change of Occupancy

**land use summary**

building footprint: 3,825 square feet (sf)  
building area: 12,015 sf, including balconies  
suites: 14 Type B, 1 Accessible, from 369 sf to 552 sf  
lot area: 25,030 sf (as surveyed)  
lot coverage: 13,553 sf, or 54% (75% max)  
paved area: 10,833 sf, includes all asphalt and concrete  
landscaped area: 12,006 sf, excludes the north and east drainage swale  
usable open space: 6,315 sf, or 421 sf/unit (400 sf/unit min)



street view



vicinity plan

revision index		
date	reason	
3/4/23	plan comm rev	

project #: 23002  
contact: Robert Lackore  
rob@bourilstudio.com  
608-833-3400

2023 Smart Stay New 8/4/2023 - 10:36:02 AM

NOT FOR CONSTRUCTION

EROSION CONTROL NOTES/SPECIFICATIONS:

- 1. EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
2. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES.
3. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED.
4. CONSTRUCTION ENTRANCES - PROVIDE A TRACKOUT CONTROL PRACTICE AT EACH POINT OF ACCESS IF CONSTRUCTION VEHICLE TIRES WILL COME INTO CONTACT WITH THE SUBGRADE MATERIAL.
5. SOIL STOCKPILES - A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES.
6. DEWATERING - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE.
7. STORM SEWER INLETS - PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT.
8. BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
9. NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
10. EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT:
11. ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPPED CLEAN BY THE END OF EACH WORKDAY.
12. ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
13. ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED.
14. ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH.
15. FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

EMERGENCY CONTACT
AMIR KATIR
(608) 640-9618

ESTIMATED SCHEDULE:

Table with 2 columns: Date and Activity. Includes dates from October 9, 2023 to July 15, 2024.

GENERAL NOTES:

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
2. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO.
3. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
4. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
5. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE.

SITE PLAN NOTES:

- 1. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATIONS OF THE MOST RECENT VERSION OF THE WISCONSIN ASPHALT PAVEMENT ASSOCIATION DESIGN GUIDE.
2. TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
3. NEW APRONS SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.

GRADING PLAN NOTES:

- 1. ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

UTILITY PLAN NOTES:

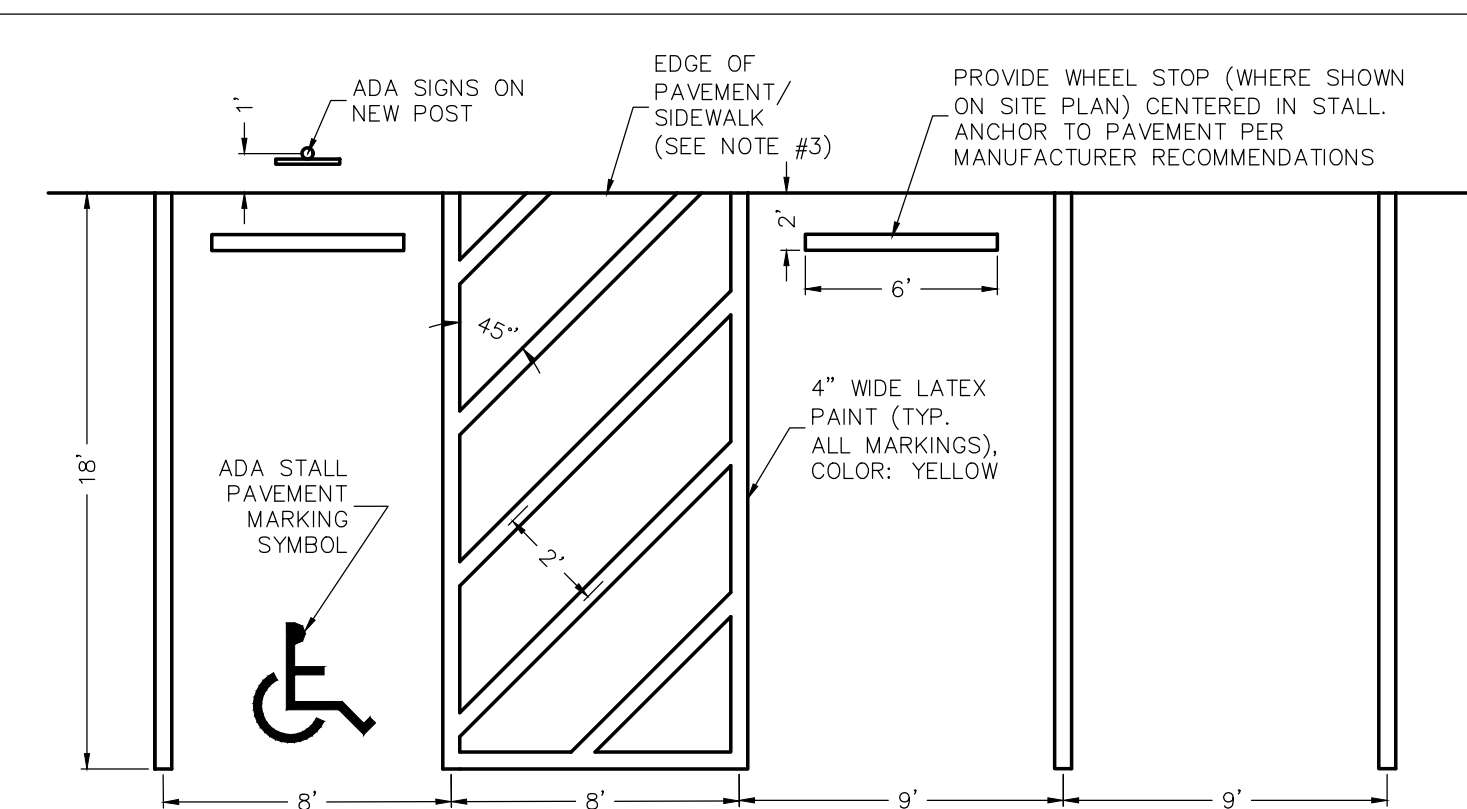
- 1. ALL WORK WITHIN THE CITY RIGHT OF WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.
2. UTILITY INSTALLATION SHALL BE COORDINATED WITH ENGINEER AT LEAST 4 WEEKS PRIOR TO INSTALLATION TO ENSURE BUILDING INSPECTION APPROVAL IS OBTAINED.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC.
8. PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC.
10. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

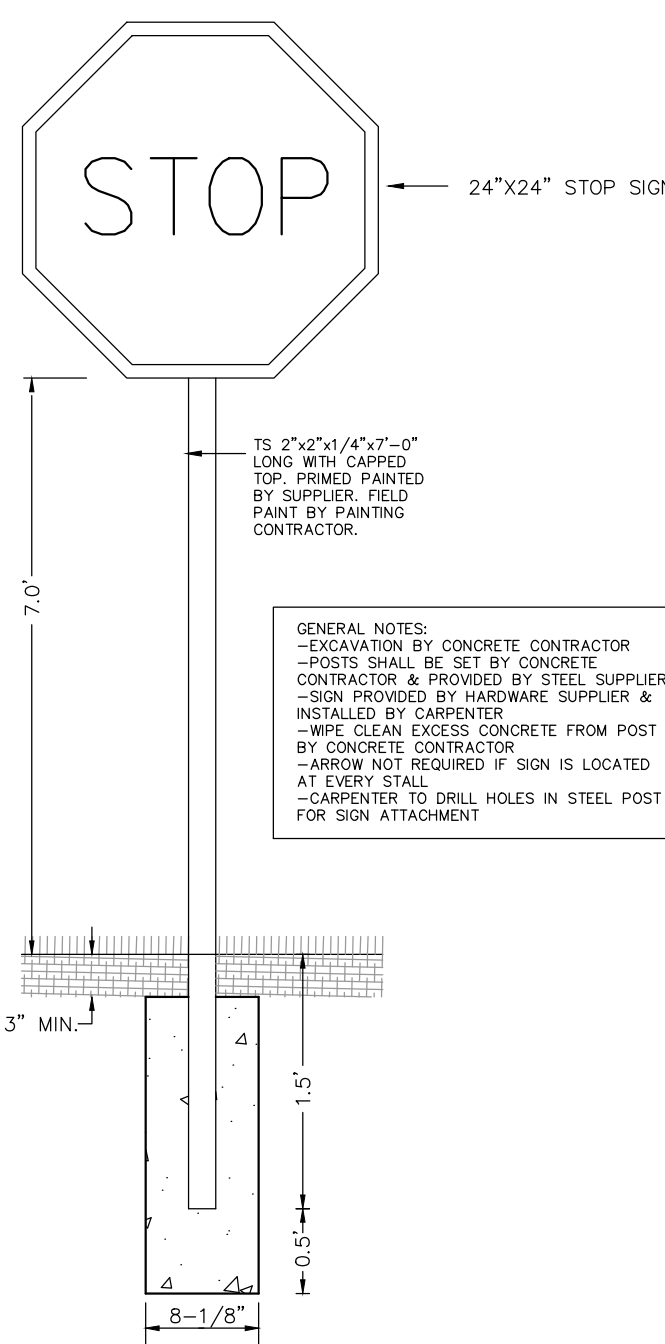
LEGEND/ ABBREVIATIONS

Legend table listing symbols and abbreviations for various features like ACCESSIBLE ROUTE, EXISTING EASEMENT, PROPERTY BOUNDARY, PARKING STALL COUNT, LANDSCAPED AREA, BITUMINOUS PAVEMENT, CONCRETE PAVEMENT, SPOT GRADE, FINISH GRADE, EXISTING GRADE, EDGE OF CONCRETE, EDGE OF PAVEMENT, FLOW LINE, LOW POINT, HIGH POINT, TOP OF CURB, TOP OF WALL, BOTTOM OF WALL, BACK OF WALK, FRONT OF WALK, EXPOSURE, PROPOSED SANITARY SEWER, PROPOSED STORM SEWER, PROPOSED WATER LATERAL, UTILITY LINE DEMOLITION, TREE REMOVAL, EXISTING MINOR CONTOUR, EXISTING MAJOR CONTOUR, PROPOSED MINOR CONTOUR, PROPOSED MAJOR CONTOUR, PROPOSED RIDGE LINE, PROPOSED SWALE/DITCH, ACCESSIBLE PARKING SIGN, VISION TRIANGLE, RIPRAP, CONSTRUCTION ENTRANCE, SAW CUT / REMOVAL LIMITS, DISTURBANCE LIMITS, SILT FENCE, CHECK DAM, DIVERSION BERM, INLET PROTECTION, USLE FLOW PATH.

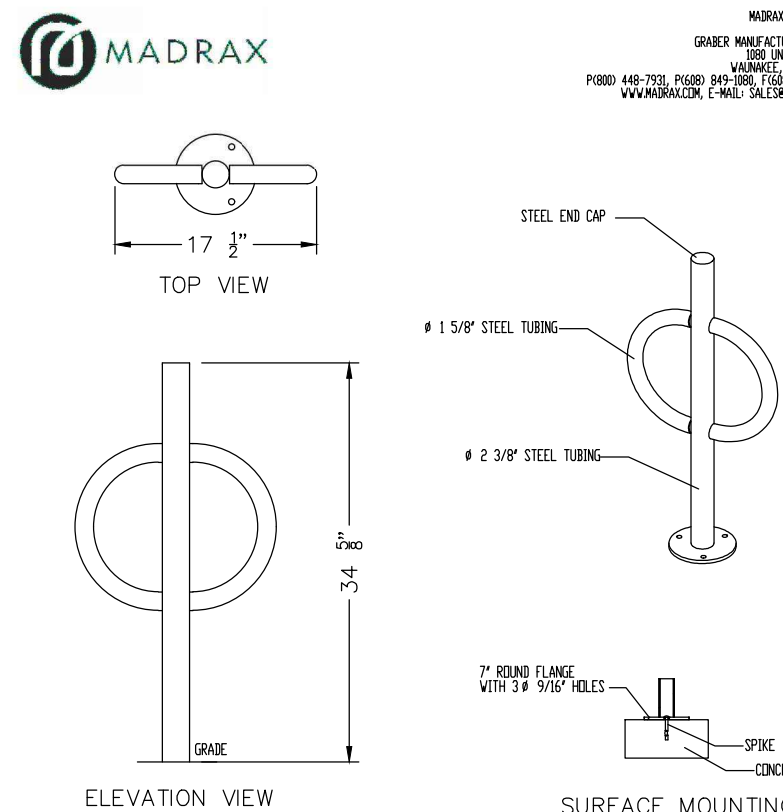


- NOTES:
1. PROVIDE A MINIMUM OF TWO COATS FOR ALL MARKINGS SUCH THAT THE MARKING COLOR IS NOT VISIBLE THROUGH THE PAVEMENT COLOR IS NOT VISIBLE THROUGH THE MARKINGS.
2. ADA SIGNS SHALL BE CONSTRUCTED OF MSDOT TYPE 'H' (PARTIAL CUBED PRISMATIC) REFLECTIVE SHEETING ATTACHED TO AN ALUMINUM PANEL HAVING A MINIMUM THICKNESS OF 0.08-INCHES.
3. WHERE THE PARKING STALL DOES NOT ABUT THE EDGE OF PAVEMENT OR SIDEWALK, PROVIDE A 4" WIDE PAINTED LINE TO MARK THE END OF THE STALL.

PARKING STALL DETAILS

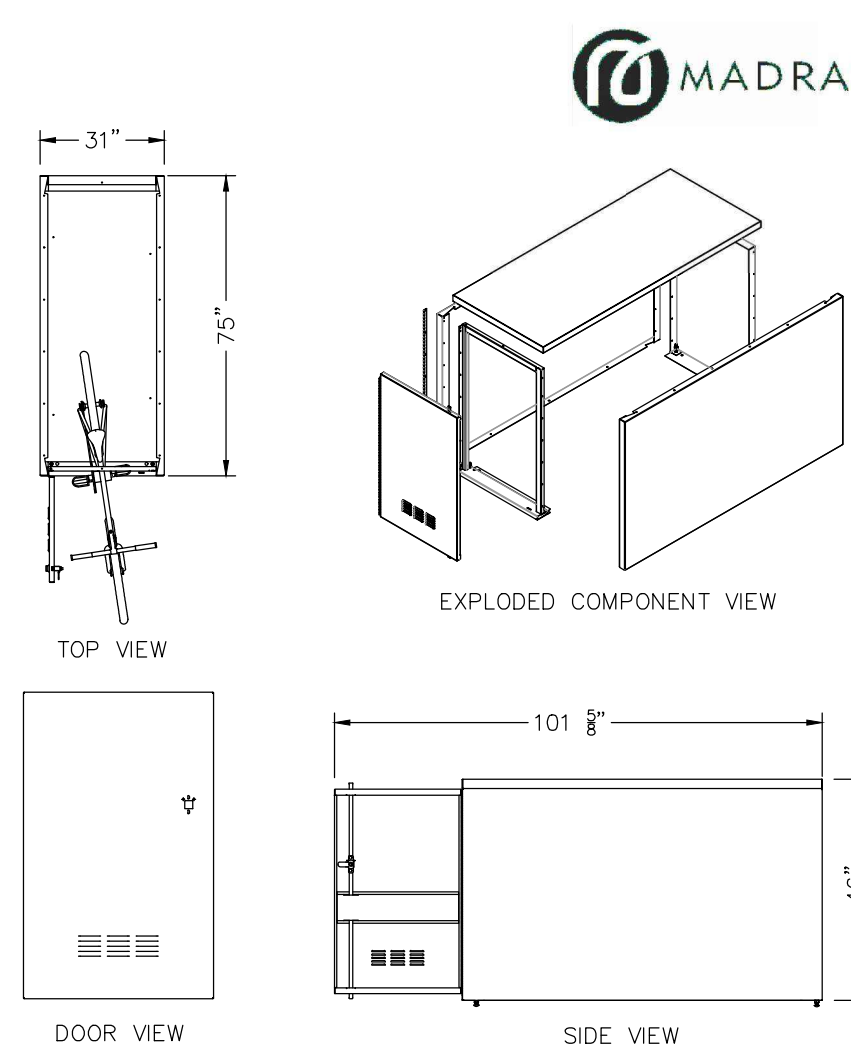


STOP SIGN & POST DETAIL



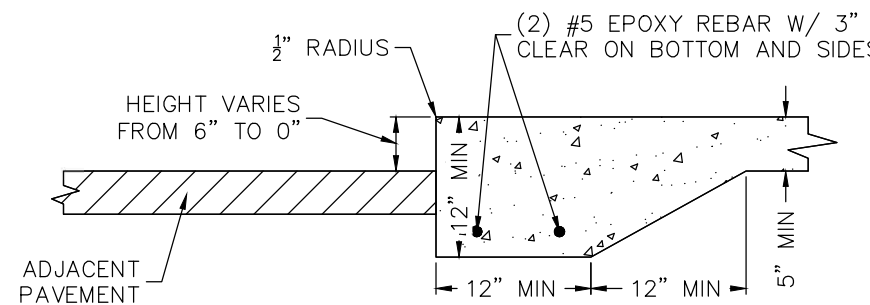
- PRODUCT INFORMATION:
• MODEL NUMBER PAR-2-SF-P
• POST AND RING BIKE RACK WITH FLAT CAP
• SURFACE MOUNTED
• POWDER COATED BLACK
• INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
• SEE SITE PLAN FOR LOCATION.

BIKE RACK DETAIL



- PRODUCT INFORMATION:
• PRODUCT NUMBER MLN-1, ML-PADLOCK
• NARROW BIKE LOCKER
• 1 UNIT, 1 BIKE CAPACITY
• NOT TOP STACKING
• SURFACE MOUNTED W/O FLOOR
• SOLID DOOR WITH PADLOCK/U-LOCK HANDLE
• POWDER COATED BLACK
• INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
• SEE SITE PLAN FOR LOCATION.

BIKE LOCKER DETAIL



THICKENED EDGE CONCRETE DETAIL



CIVIL SHEET INDEX table listing sheet numbers and titles: C001 CIVIL NOTES & DETAILS, C100 EXISTING CONDITIONS, C101 REMOVALS PLAN, C200 SITE PLAN, C300 GRADING PLAN, C400 EROSION CONTROL PLAN, EX-1 TRUCK TURNING MOVEMENT EXHIBIT, EX-2 USABLE OPEN SPACE EXHIBIT.

Burse Surveying and Engineering, Inc. logo and contact information: 2801 International Lane, Suite 101, Madison, WI 53704.

APPROVALS table with columns for PROJECT ENG, DESIGNER, CHECKED BY, DATE, and MLB.

Smart Stay ApartHotel and Bourll Design Studio, LLC logos and addresses: 6302 Odana Road, Madison, WI 53719.

PROJECT #: BSE2708
PLOT DATE: 08/03/2023

REVISION DATES:

ISSUE DATES:

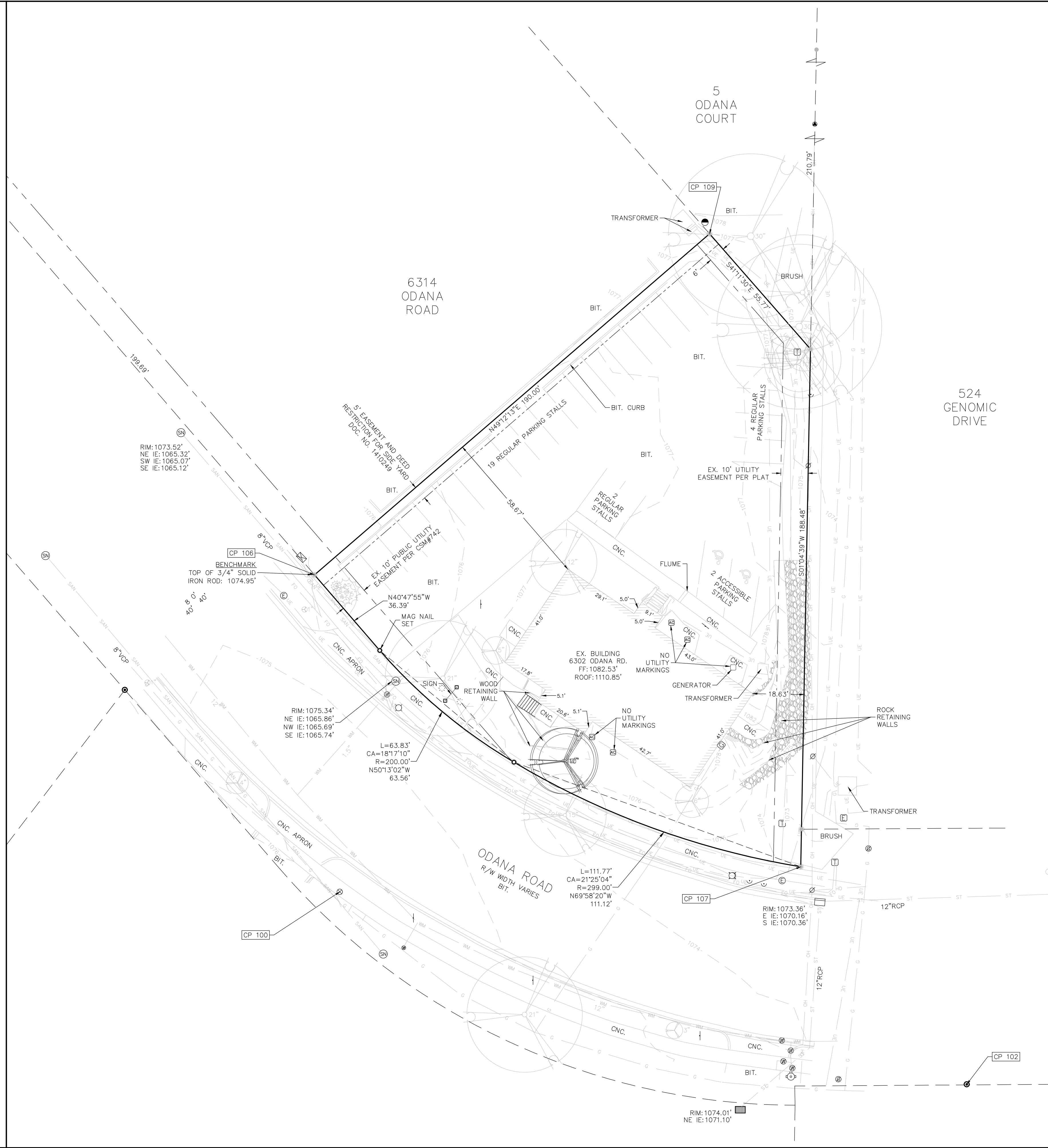
CIVIL DETAILS AND NOTES

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DRAWING NUMBER

C001

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**LEGEND**

● 1.25" IRON PIPE FOUND	AC AIR CONDITIONER
● 3/4" SOLID IRON ROD FOUND	TV PEDESTAL
○ 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.	ELECTRIC PEDESTAL
● MAG NAIL FOUND	UTILITY POLE
● 1.25" SOLID IRON ROD FOUND	LIGHT POLE
X 1075.2 SPOT ELEVATION	GROUND LIGHT
— OH OVERHEAD UTILITY WIRE	TELEPHONE PEDESTAL
— G BURIED GAS LINE	FIRE HYDRANT
— WM WATER MAIN	SIGN
— SAN SANITARY SEWER	GUY WIRE
— ST STORM SEWER	MAILBOX
— UT BURIED TELEPHONE	BOLLARD
— UE BURIED ELECTRIC	STORM SEWER INLET
— UV BURIED CABLE ACCESS TELEVISION LINE	ELECTRIC MANHOLE
— FO BURIED FIBER OPTIC	TELEPHONE MANHOLE
● WATER VALVE	STORM SEWER MANHOLE
● GAS VALVE	ROUND CATCH BASIN
⊗ GAS METER	STORM SEWER STRUCTURE
⊗ DECIDUOUS TREE (DBH IN INCHES)	SANITARY SEWER MANHOLE
⊗ CONIFEROUS TREE (DBH IN INCHES)	BIT. BITUMINOUS PAVEMENT
⊗ ROCK RETAINING WALL	CNC. CONCRETE PAVEMENT
	( ) INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT - BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

- NOTES:**
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
  - No attempt has been made as a part of this survey to obtain or show data concerning depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies. A private utility locator was not utilized for this survey.
  - Date of field work: March 08 & 09, 2023
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
  - All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
  - All trees, hedges and ground cover on the site may not necessarily be shown hereon.
  - Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Number 20231002536 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
  - Total parcel area = 25,029 square feet
  - Elevations are based upon NAVD83 datum. Elevations are transferred to the site utilizing RTK GPS surveying while observing the WISCONSIN Network. WI GEOID 12B
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number 1402.06 dated 8/30/2022 from First American Title Insurance Company, which references the following (numbers in parenthesis match items in Schedule B of Commitment):  
 (7) Reservations for easements, building setback lines and other matters shown on Plat of Odana Office Park recorded at Vol. 38, Page 32, as Document No. 1324361.  
 (8) Declaration of Covenants, Conditions and Restrictions of 6300 Odana Office Park recorded at Vol. 362, Page 109, as Document No. 1334118.  
 (9) Easement and Deed Restriction recorded September 18, 1974, at Vol. 534, Page 268, as Document No. 1410249.  
 (10) Right of Way Grant Underground recorded December 17, 1971, at Vol. 306, Page 210, as Document No. 1312691. [Does not impact parcel]

**DESCRIPTION FURNISHED:**

Lot Eleven (11), 6300 Odana Office Park Plat, in the City of Madison, Dane County, Wisconsin. Excepting therefrom the land described in Warranty Deed to City of Madison, recorded October 29, 1990, as Document No. 2231287.

**CONTROL POINTS:**

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
100	475174.510	793225.086	1075.94	CHISELED X
102	475104.433	793453.349	1073.06	1.25" IRON PIPE
106	475289.900	793215.892	1074.95	0.75" IRON ROD
107	475183.623	793392.916	1073.75	0.75" IRON ROD
108	475181.801	793483.104	1072.66	0.75" IRON ROD
109	475414.046	793359.723	1076.63	0.75" IRON ROD

**Burse**  
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 e-mail: Mburse@BSE-INC.net  
 www.bursesurveyengr.com

**APPROVALS:**

PROJECT ENG.	DRW/CHK/APP	DESIGNED BY	DRW/CHK/APP	DESIGNED BY	DRW/CHK/APP
PROJECT ENG.	DRW/CHK/APP	DESIGNED BY	DRW/CHK/APP	DESIGNED BY	DRW/CHK/APP

**Smart Stay Apartment Hotel**  
 6302 Odana Road  
 Madison, WI 53719

**Bourli Design Studio, LLC**  
 579 D'Oncio Drive  
 Madison, WI 53719

**PROJECT #:** BSE2708  
**CLIENT:** Smart Stay Apartment Hotel  
**DATE:** 08/03/2023

**REVISION DATES:**


**ISSUE DATES:**


**EXISTING CONDITIONS**

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**DRAWING NUMBER**

**C100**

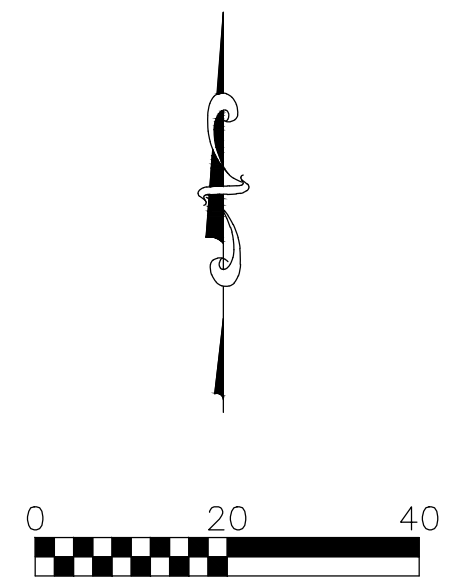
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 M:\BSE2708\dwg\Engineering\BSE2708 ENG v2018.dwg

NOT FOR CONSTRUCTION



LEGEND

	REMOVE ASPHALT PAVEMENT (PROVIDE FULL-DEPTH SANCUT ALONG ALL REMOVAL EDGES)
	REMOVE CONCRETE SIDEWALK
	DEMOLISH BUILDING
	DISTURBED TURF/LANDSCAPE AREA
	EXISTING ASPHALT (TO REMAIN)
	TREE AND STUMP REMOVAL



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APPROVALS
PROJECT ENG:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED:

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Madison, WI 53719

**Bouril Design Studio, LLC**  
579 D'Onofrio Drive  
Madison, WI 53719

PROJECT #: BSE2708  
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ISSUE DATES:


REMOVALS PLAN

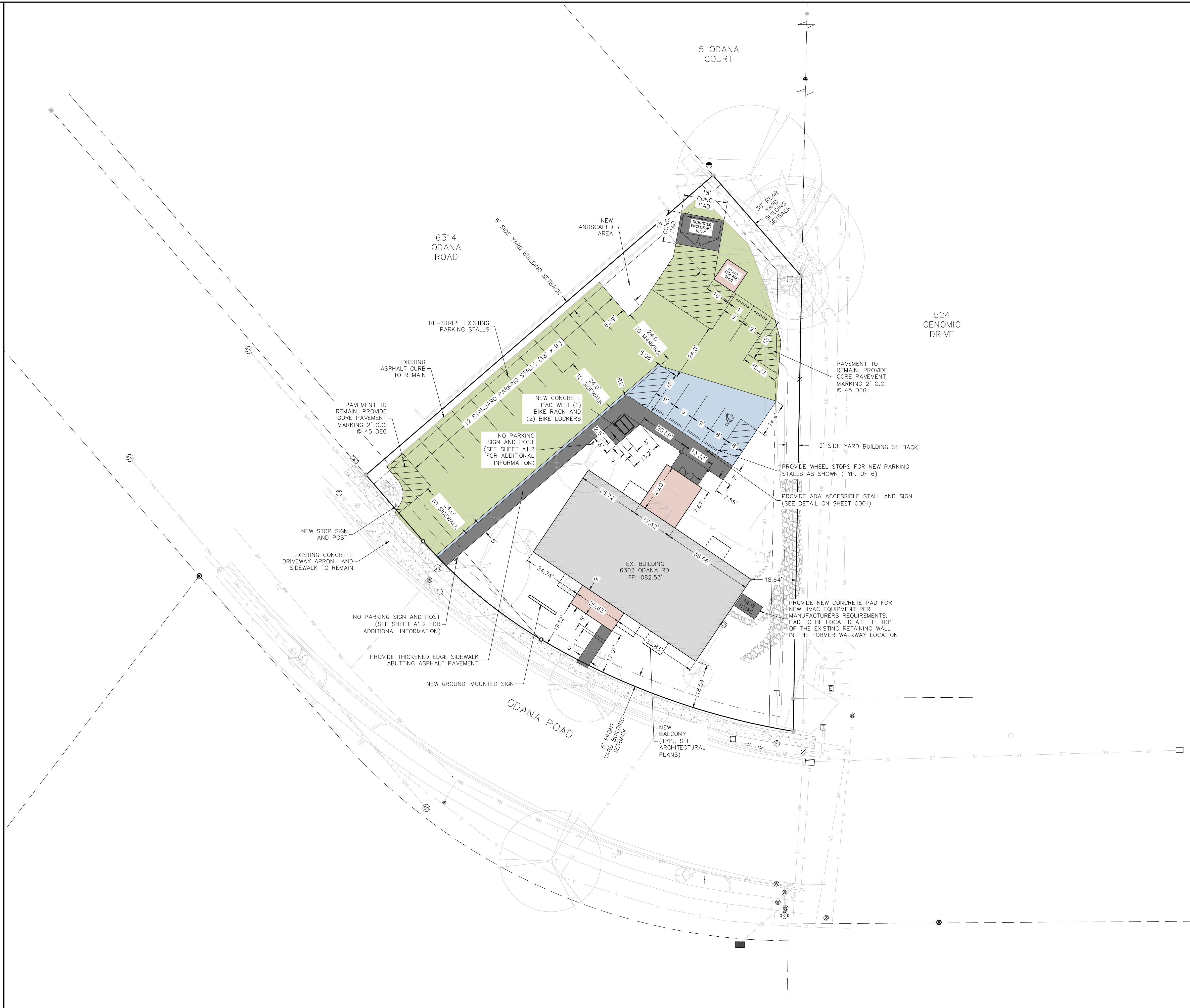
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DRAWING NUMBER  
**C101**

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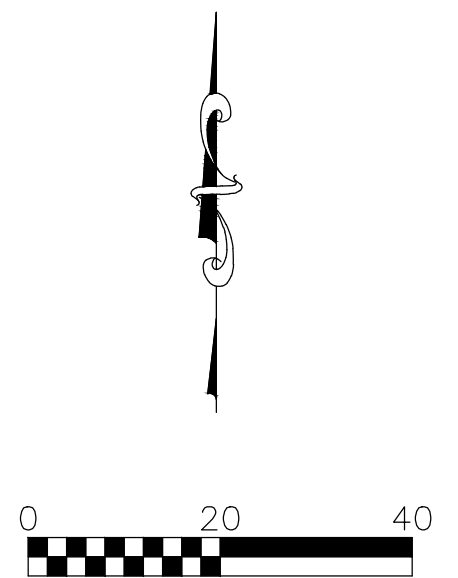


LEGEND

[Blue Box]	NEW ASPHALT PAVEMENT
[Dark Grey Box]	NEW CONCRETE PAVEMENT/SIDEWALK
[Light Grey Box]	NEW BUILDING/ADDITION
[Grey Box]	EXISTING BUILDING
[Green Box]	EXISTING ASPHALT (TO REMAIN)
[Patterned Box]	EXISTING CONCRETE (TO REMAIN)
[Patterned Box]	EXISTING RETAINING WALL (TO REMAIN)

PARKING SUMMARY

LAND USE:	HOTEL
NUMBER OF BEDROOMS:	15
LOCATED IN TRANSIT ORIENTED DEVELOPMENT OVERLAY DISTRICT?	YES
MIN STALL COUNT RATIO:	0.75 PER BEDROOM
MAX STALL COUNT RATIO:	1.25 PER BEDROOM
MIN BICYCLE STALL RATIO:	1 PER 10 BEDROOMS
STANDARD STALLS PROVIDED:	17
ADA STALLS PROVIDED:	1
TOTAL STALLS:	18 (1.20 PER BR)
SHORT-TERM BIKE STALLS:	2
LONG-TERM BIKE STALLS:	2
TOTAL BIKE STALLS:	4



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www.bursesurveyengr.com

APPROVALS

PROJECT ENG:	DRH/HJB
DESIGNED BY:	DRH/HJB
DRAWN BY:	DRH/HJB
CHECKED BY:	DRH/HJB
APPROVED:	BJB
DATE:	MLB

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SITE PLAN

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DRAWING NUMBER  
**C200**

**NOT FOR CONSTRUCTION**

6314 ODANA ROAD

524 GENOMIC DRIVE



LEGEND

	NEW ASPHALT PAVEMENT
	NEW CONCRETE PAVEMENT/SIDEWALK
	NEW BUILDING
	EXISTING BUILDING
	EXISTING ASPHALT (TO REMAIN)
	EXISTING CONCRETE (TO REMAIN)

**Burse**  
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www.bursesurveyengr.com

APPROVALS	PROJECT ENG.	DRW/APP.	DESIGNED BY	DRW/APP.	CHECKED BY	APP. DATE

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REVISION DATES:

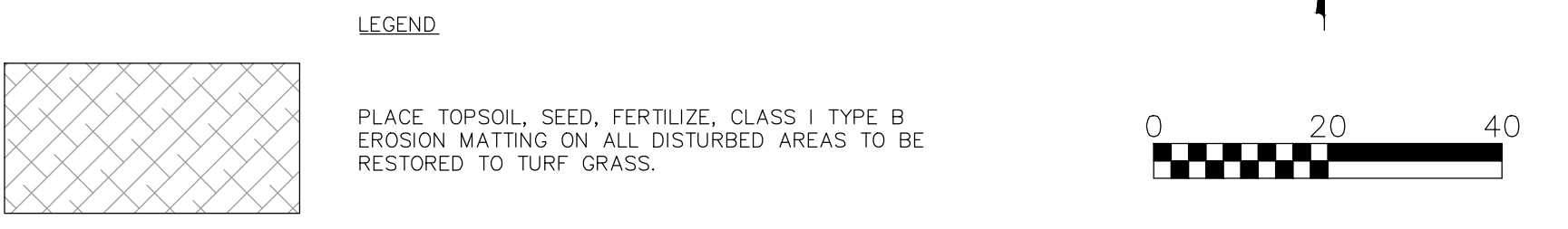
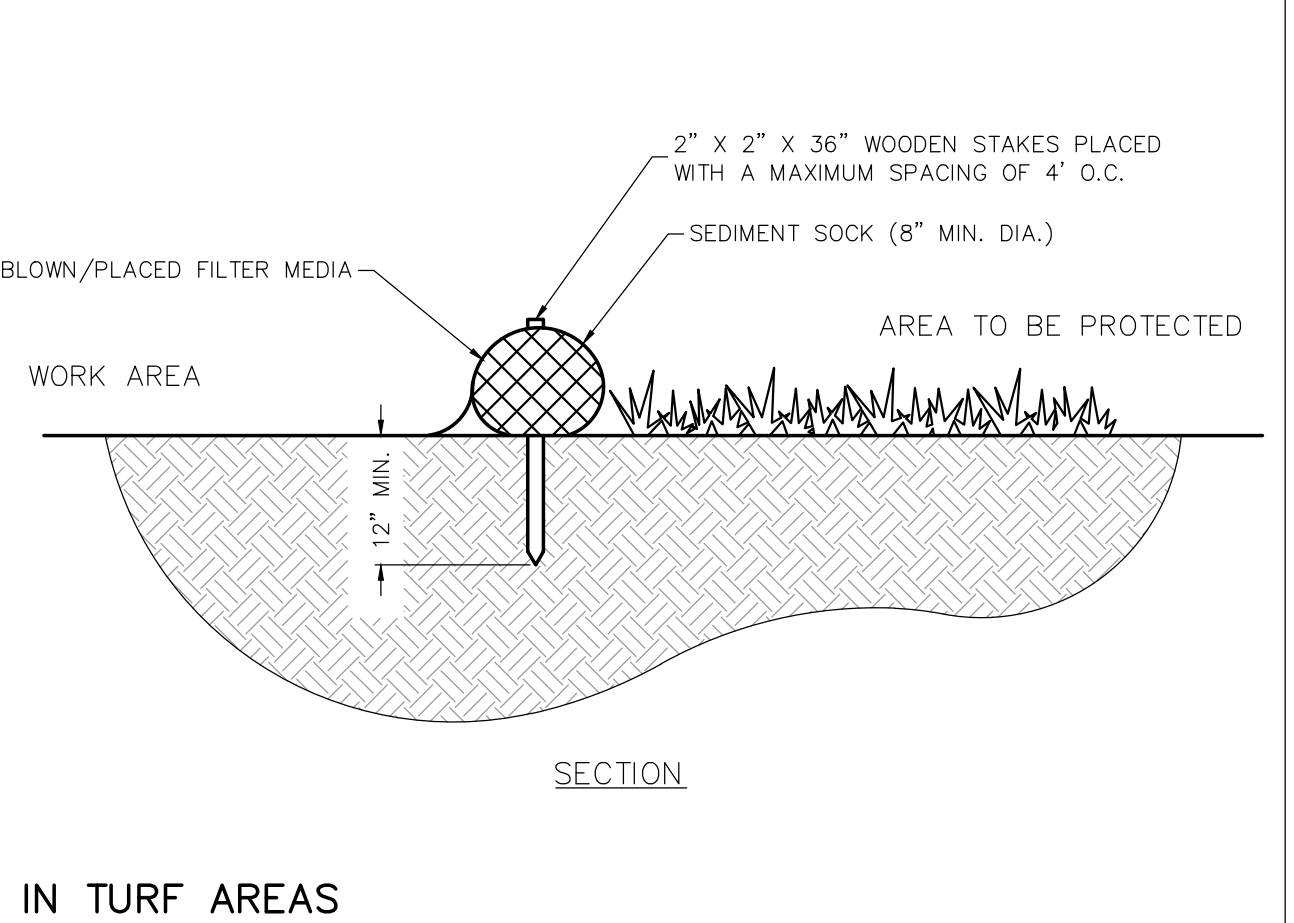
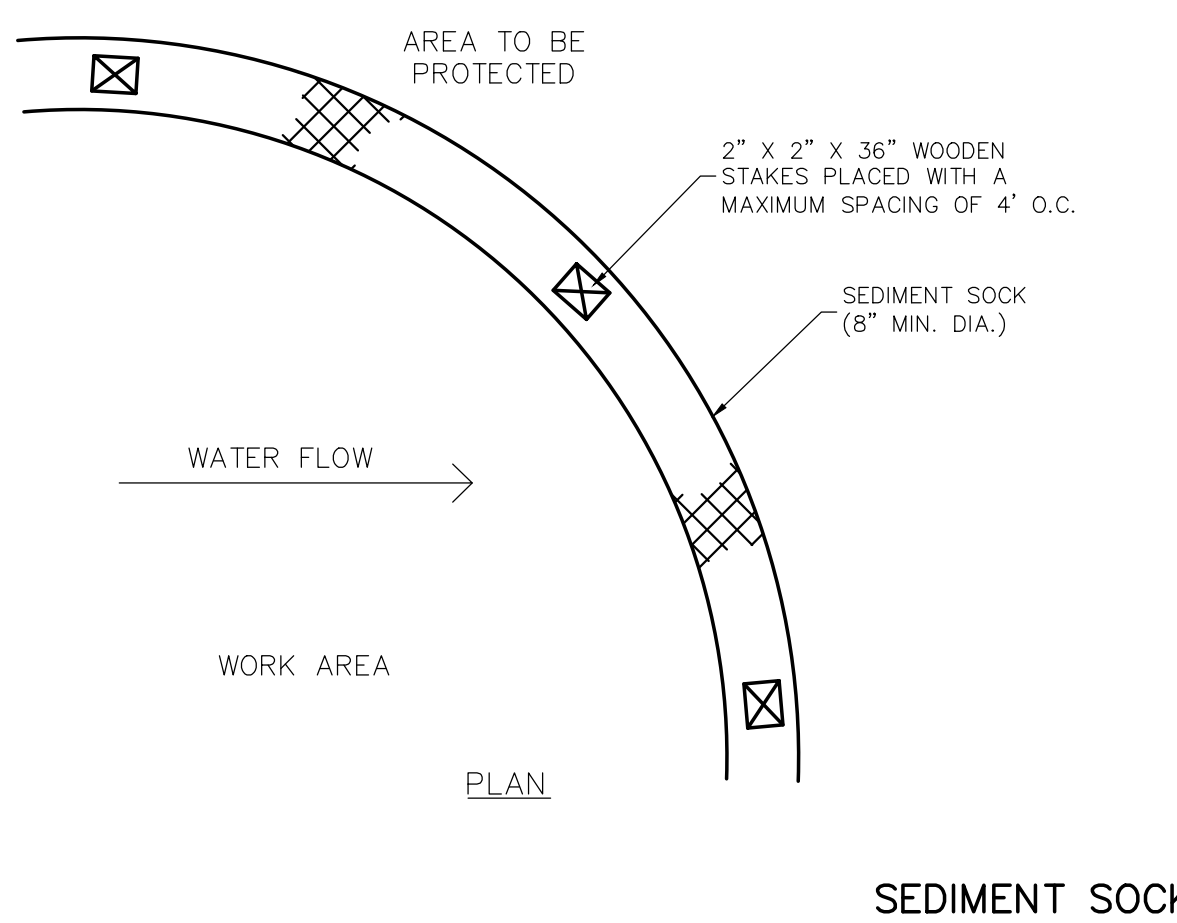
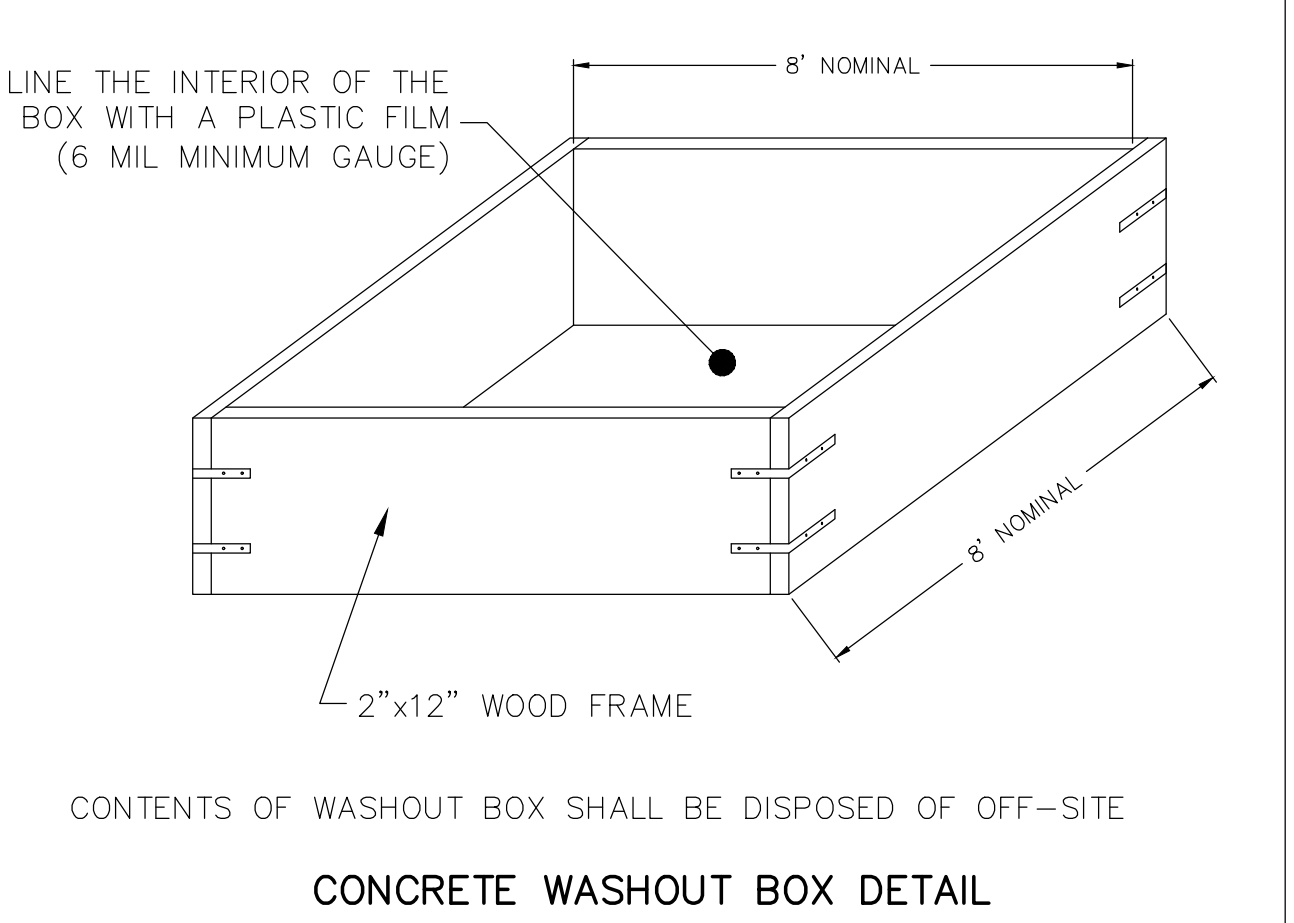
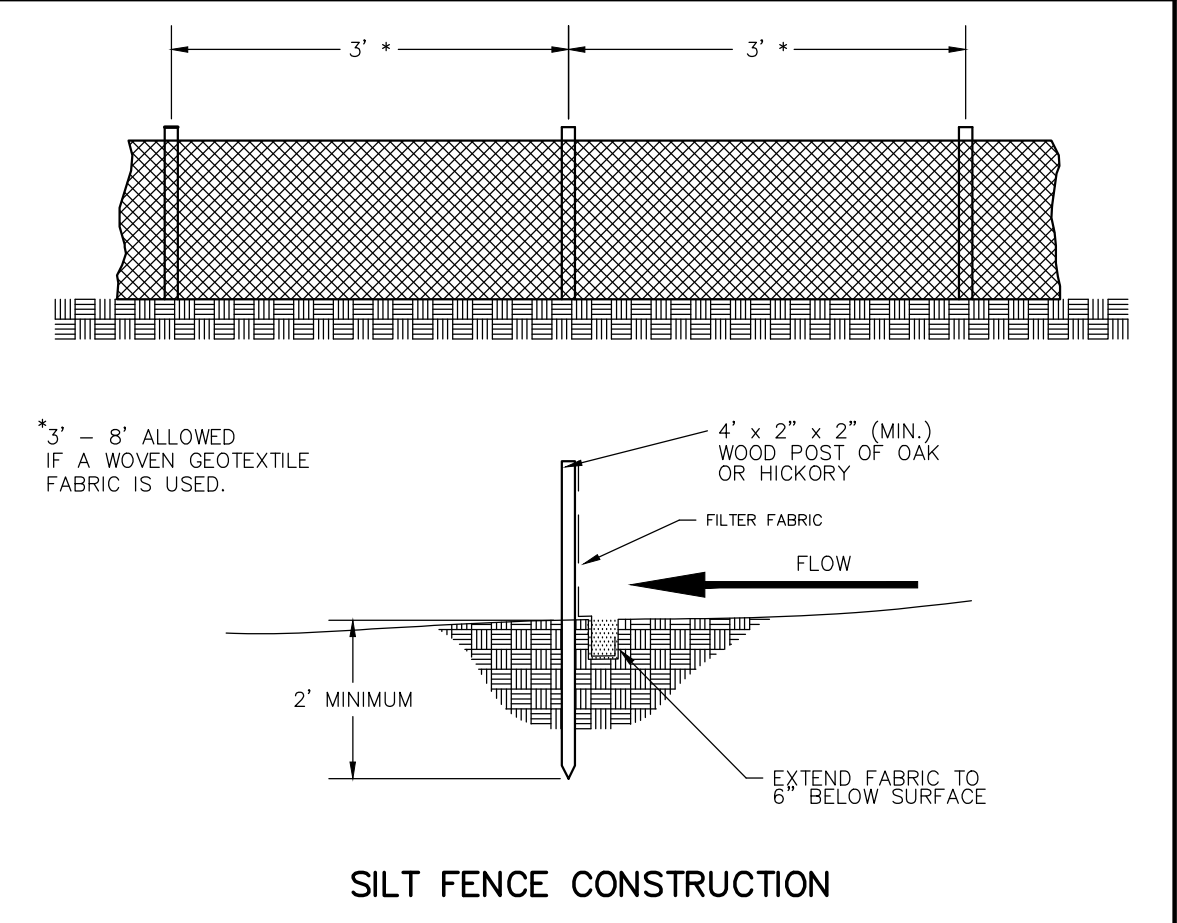
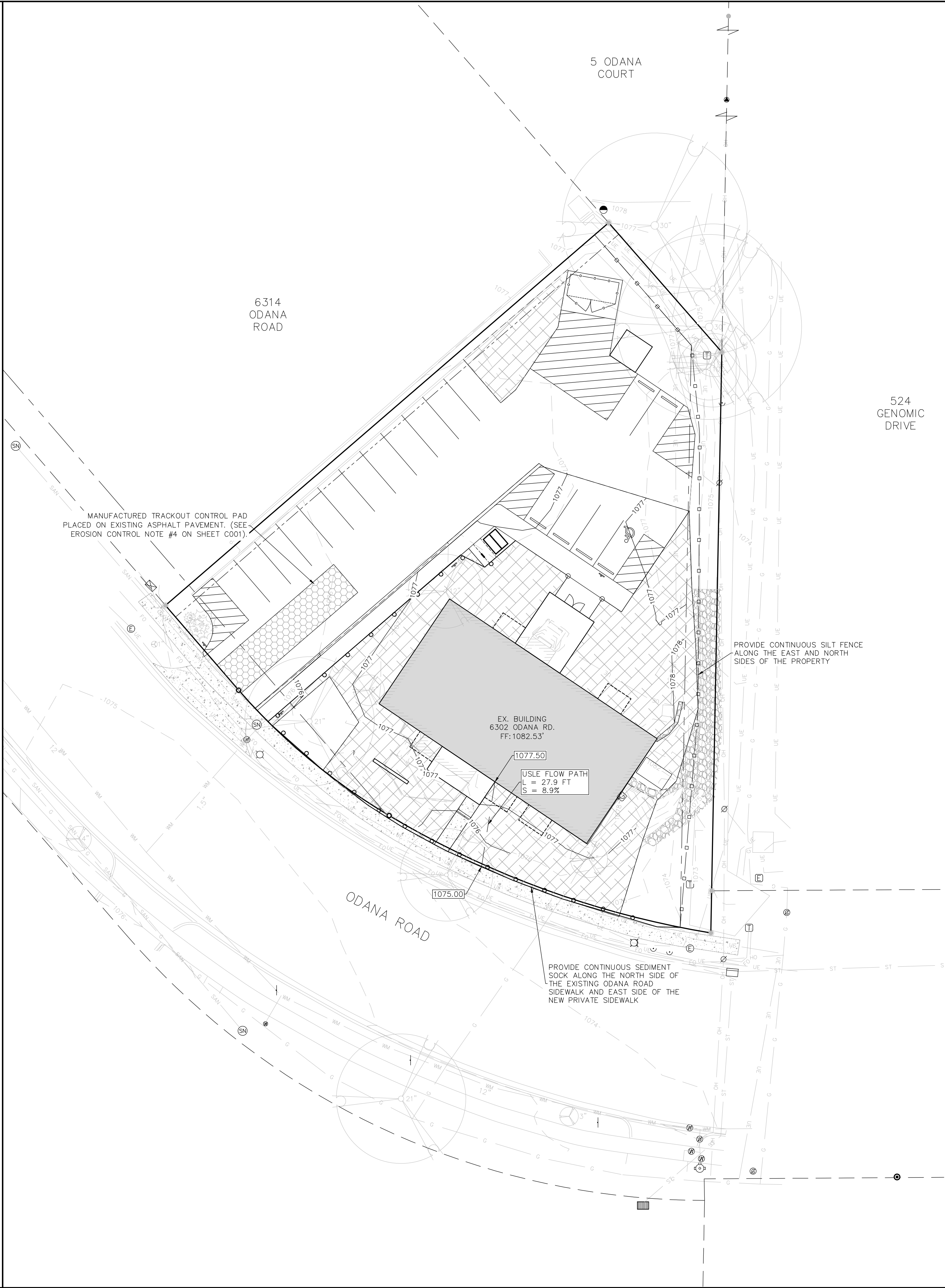

ISSUE DATES:


GRADING PLAN

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DRAWING NUMBER  
**C300**

NOT FOR CONSTRUCTION



**Burse**  
Surveying and Engineering, Inc.  
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e-mail: Mburse@BSE-INC.net  
www.bursesurveyengr.com

---

**Smart Stay ApartHotel**  
6302 Odana Road  
Madison, WI 53719

**Bouril Design Studio, LLC**  
579 D'Onofrio Drive  
Madison, WI 53719

---

PROJECT #: BSE2708  
PLOT DATE: 08/03/2023

REVISION DATES:

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ISSUE DATES:

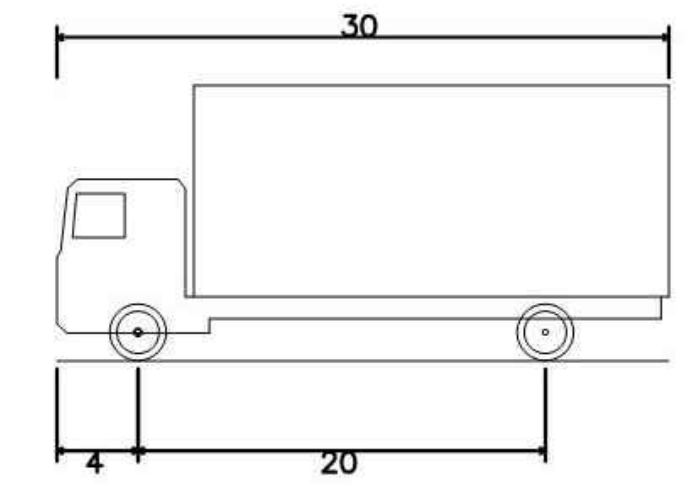
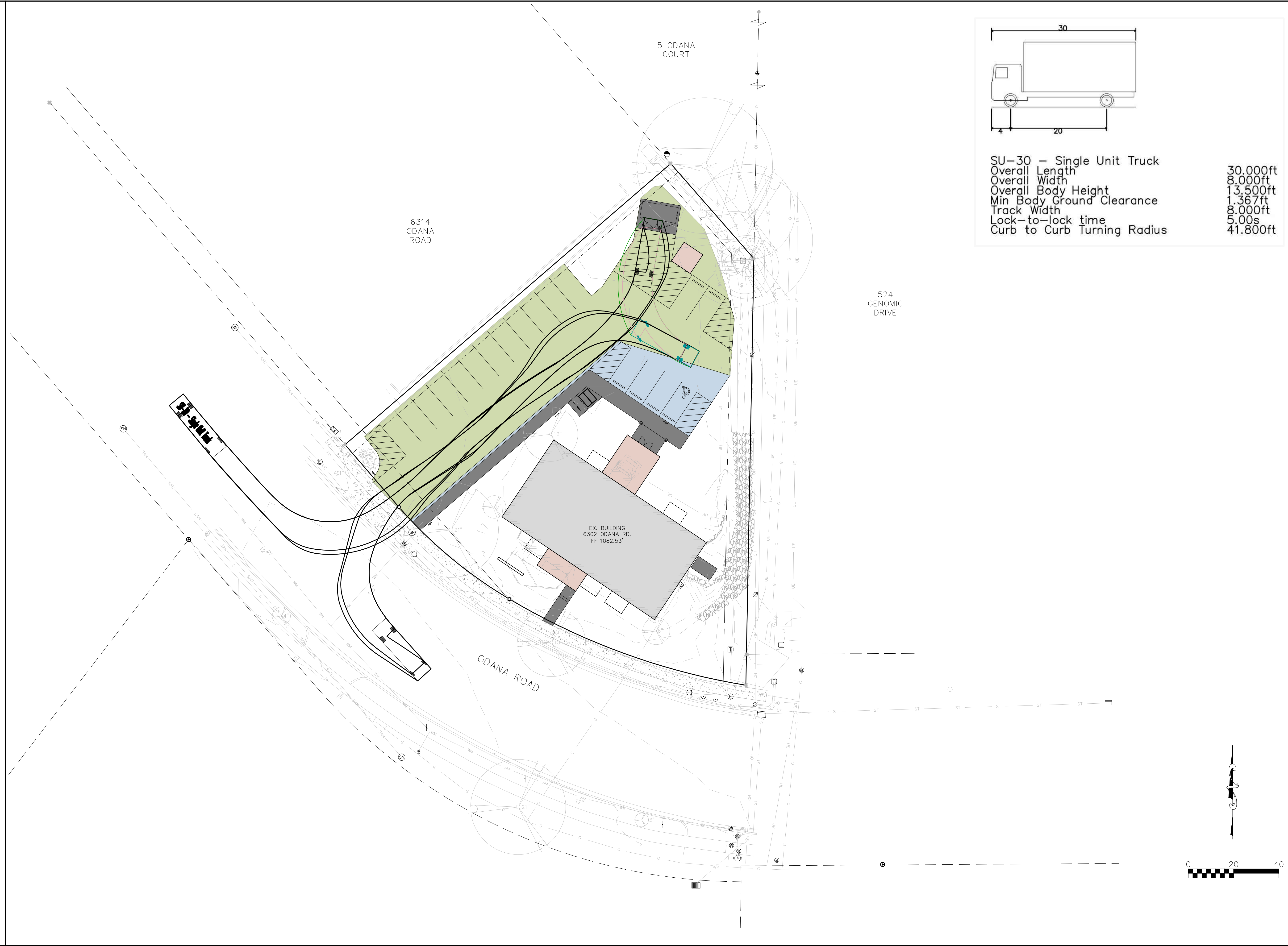
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EROSION CONTROL PLAN

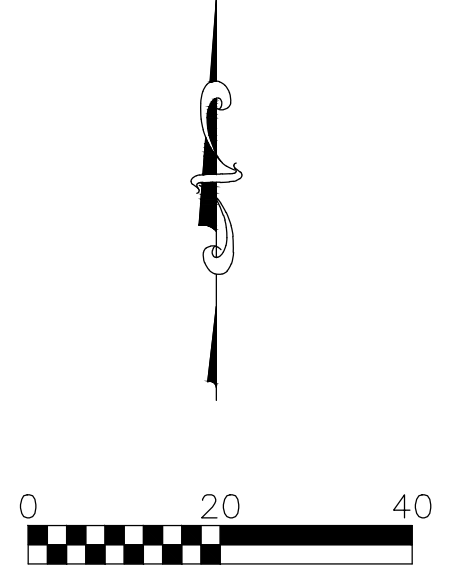
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DRAWING NUMBER  
**C400**

**NOT FOR CONSTRUCTION**



SU-30 – Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Curb to Curb Turning Radius	41.800ft



**Burse**  
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 Fax: 608-250-9266  
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 Mburse@BSE-INC.net  
 www.bursesurveyengr.com

APPROVALS	PROJECT ENG.	DRW/BJB	DESIGNED BY	DRW/BJB	DRW/BJB	BJB	MLB

**Smart Stay ApartHotel**  
 6302 Odana Road  
 Madison, WI 53719

**Bouril Design Studio, LLC**  
 579 D'Onofrio Drive  
 Madison, WI 53719

PROJECT #: BSE2708  
 PLOT DATE: 08/03/2023

REVISION DATES:

ISSUE DATES:

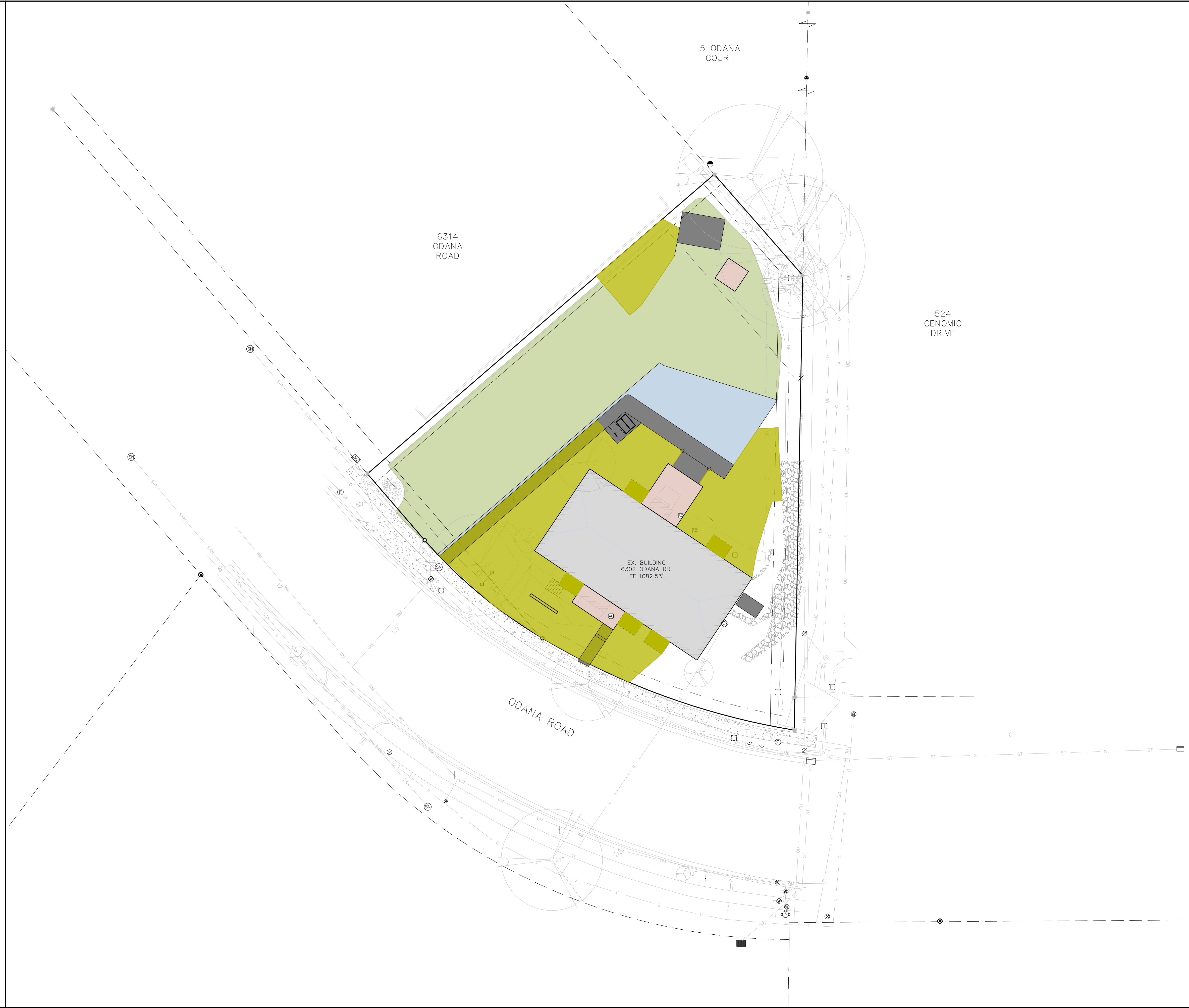
**TRUCK TURNING  
 MOVEMENT EXHIBIT**

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DRAWING NUMBER  
**EX-1**



**NOT FOR CONSTRUCTION**

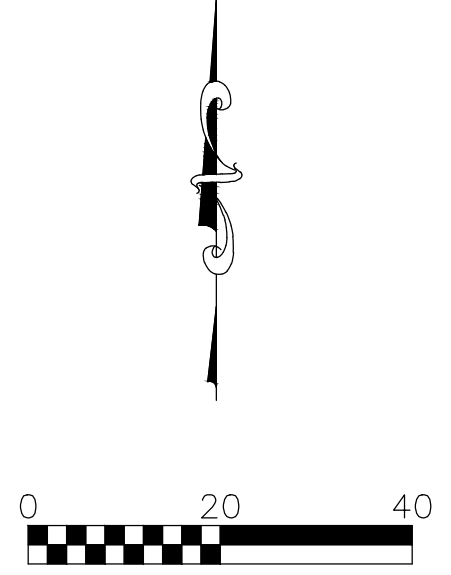


**LEGEND**

- [Light Blue Box] NEW ASPHALT PAVEMENT
- [Grey Box] NEW CONCRETE PAVEMENT/SIDEWALK
- [Blue Box] NEW BUILDING
- [Grey Box] EXISTING BUILDING
- [Light Green Box] EXISTING ASPHALT (TO REMAIN)
- [Dotted Grey Box] EXISTING CONCRETE (TO REMAIN)
- [Yellow Box] USABLE OPEN SPACE PER SECTION 28.140 OF THE CITY ZONING CODE

**USABLE OPEN SPACE SUMMARY**

ZONING DISTRICT:	SUBURBAN EMPLOYMENT
NUMBER OF UNITS:	15
MIN USABLE SPACE RATIO:	400 SF/UNIT
BALCONY SPACE (1st FLOOR):	265 SF
BALCONY SPACE (2nd FLOOR):	265 SF
AT-GRADE SPACE:	5,785 SF
<b>TOTAL USABLE SPACE:</b>	<b>6,315 SF (421 SF/UNIT)</b>



**Burse**  
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**APPROVALS**

PROJECT ENG:	DRH/HJB	DESIGNED BY:	DRH/HJB	DRAWN BY:	DRH/HJB	CHECKED BY:	B.J.B.	APPROVED:	MLB
--------------	---------	--------------	---------	-----------	---------	-------------	--------	-----------	-----

**Smart Stay ApartHotel**  
 6302 Odana Road  
 Madison, WI 53719

**Bouril Design Studio, LLC**  
 579 D'Onofrio Drive  
 Madison, WI 53719

**PROJECT #:** BSE2708  
**PLOT DATE:** 08/03/2023

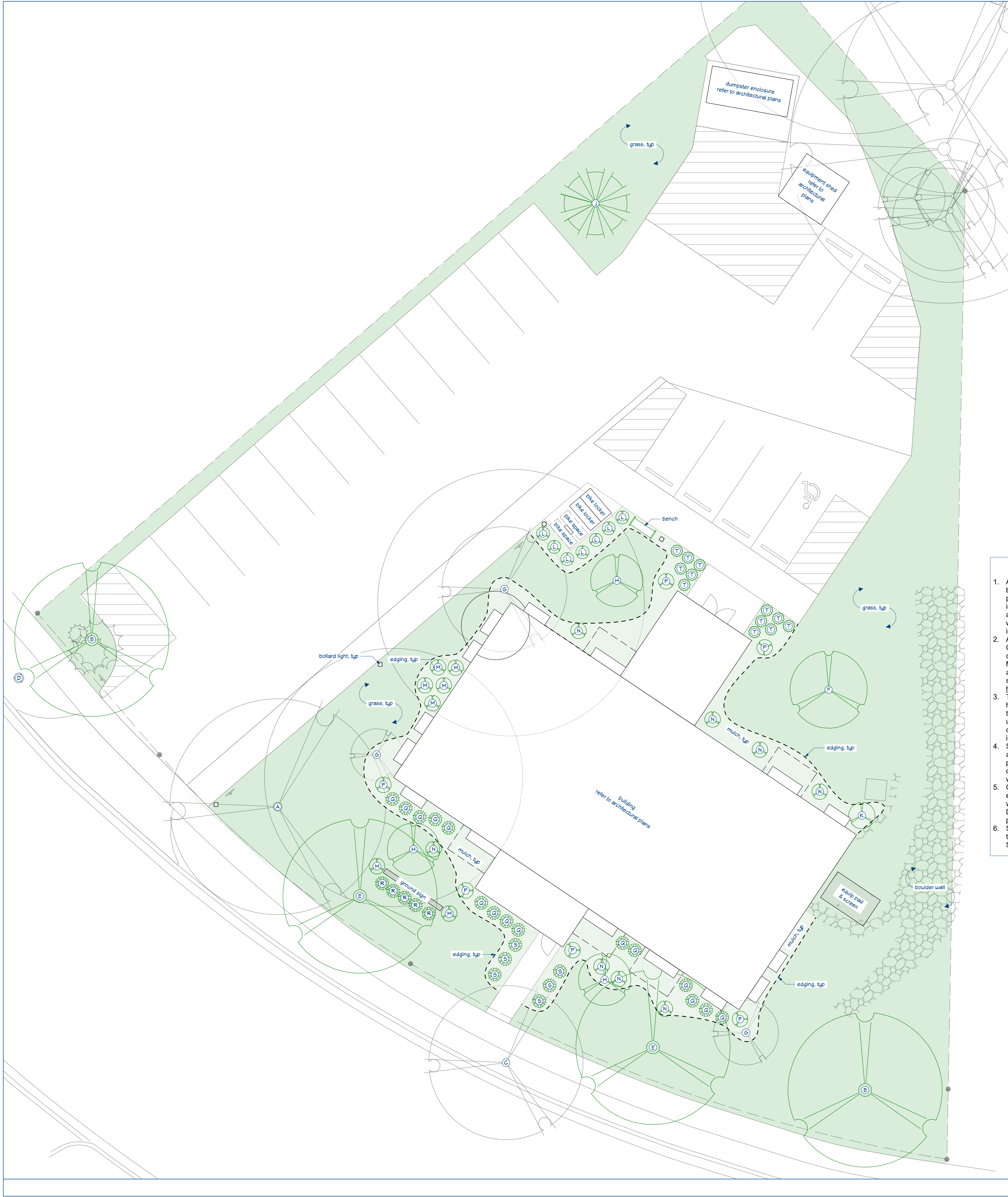
**REVISION DATES:**


**ISSUE DATES:**


**USABLE OPEN SPACE EXHIBIT**

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**DRAWING NUMBER**  
**EX-2**



**landscape plan notes**

1. Related Specification Divisions: 31-Earth Work; 32-Exterior Improvements; 33-Utilities.
2. Contractor to verify with the owner and the utility companies the locations and elevations of all utilities prior to the start of work.
3. Stockpile excavated material in locations to provide proper drainage and to minimize erosion. Coordinate use or removal of excess cut material with site work and the Owner.
4. Uniformly grade areas to achieve a smooth finished surface with uniform levels or slopes between existing and new grades. Existing grades outside the area of land disturbing activity shall be maintained and repaired if damaged during the course of work. Finish grades shall be formed to provide positive drainage away from the building.
5. Examine finish surface, grades, topsoil, quality and depth of planting substrate. Do not begin work until unsatisfactory conditions have been corrected.
6. Terrace trees must be protected during construction activity, including preventing root cutting, bark abrasion, and soil compaction. Coordinate with the City of Madison Forestry.

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### LANDSCAPE WORKSHEET

<b>Landscape Points Required</b>	
Developed Area =	10,802 SF
Landscape Points: 10,802/300 x 5 =	<b>180 points</b>
<b>Total Landscape Points Required 180 points</b>	
<b>Landscape Points Supplied</b>	
Existing canopy trees - 1 @ 35 =	35 points
Proposed canopy trees - 4 @ 35 =	140 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 1 @ 35 =	35 points
Existing ornamental trees - 3 @ 15 =	45 points
Proposed ornamental trees - 3 @ 15 =	45 points
Existing upright evergreen shrubs - 0 @ 10 =	0 points
Proposed upright evergreen shrubs - 0 @ 10 =	0 points
Existing deciduous shrubs - 0 @ 3 =	0 points
Proposed deciduous shrubs - 27 @ 3 =	81 points
Existing evergreen shrubs - 0 @ 4 =	0 points
Proposed evergreen shrubs - 27 @ 4 =	108 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 12 @ 2 =	24 points
<b>Total landscape points supplied = 513 points</b>	
<b>Lot Frontage Landscape Required</b> (Section 28.142(5) Development Frontage Landscaping)	
*One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.*	
Odana Road =	212 LF
Over story trees required 212/30 = 7.06	<b>7 trees</b>
Shrubs required (1,194/30) x 5 = 35.3	<b>35 shrubs</b>
Over story trees supplied	<b>5 trees</b>
Ornamental trees supplied	<b>4 trees</b>
Shrubs supplied	<b>35 shrubs</b>

**Plan Commission Review not for construction**

**S+P+S**  
Paul Skidmore, Landscape Architect LLC  
13 Red Maple Trail  
Madison, WI 53717  
(608) 826-0032  
(608) 335-1529

**City of Madison Forestry Notes:**

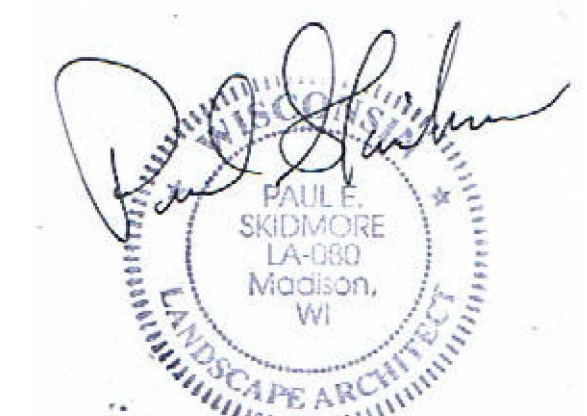
1. All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being issued.
2. As defined by Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>
3. The contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. The contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation will be required.
4. Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
5. On this project, street tree protection zone fencing is (not) required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
6. Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.

### PLANT LIST

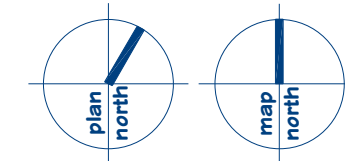
TAG	KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
<b>(7) Canopy Trees</b>						
A	EHL	1	21"	Existing Honeylocust	Gleditsia Tricanthos	EX
B	EP	2	2 1/2"	Exclamation Planetree	Platanus Occidentalis	BB
C	ES-A	1	12"	Ash (Street Tree)	Fraxinus	EX
D	ES-K	1	1 1/2"	Coffee Tree (Street Tree)	Gymnocladus	EX
E	SHL	2	2 1/2"	Skyline Honeylocust	Gleditsia Tricanthos 'Skyline'	BB
<b>(7) Ornamental Trees</b>						
F	ACH	1	2"	Amur Chokecherry	Prunus Americana	BB
G	EFC	3	6"+	Existing Flowering Crab	Malus	EX
H	TSC	3	2"	Tina Sargent Crab	Malus Sargentii 'Tina'	BB
<b>(1) Evergreen Trees</b>						
J	BHS	1	5'	Black Hills Spruce	Picea Glauca 'Densata'	BB
<b>(27) Deciduous Shrubs</b>						
K	AVB	1	4'	Arrowwood Viburnum	Viburnum Dentatum	Pot
L	DBH	7	18"	Dwarf Bush Honeysuckle	Dierivilla Lonicera	Pot
M	GDP	5	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
N	LDN	8	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
P	LQFH	6	24"	Little Quick Fire Hydrangea	Hydrangea P 'Little Quick Fire'	Pot
<b>(27) Evergreen Shrubs</b>						
Q	KCJ	16	18"	Kallay Compact Juniper	Juniperus P 'Kallay Compact'	Con
R	BCJ	5	15"	Blue Chip Juniper	Juniperus H 'Blue Chip'	Con
S	BRJ	6	18"	Blue Rug Juniper	Juniperus Horizontalis	Con
<b>(12) Perennials</b>						
T	SWD	12	1 G	Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Con

**NOTES:**

- 1) New lawn areas and existing lawn areas disturbed by construction to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mat.
- 2) Foundation planting beds to be mulched with 2 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3"
- 4) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.



August 4, 2023



**landscape plan**

0 10 20 30 40 50 scale: 1" = 10'-0"

revision index		
date	reason	plan comm rev
8/4/23		

project #: 23002  
contact: Robert Lackore  
rob@courtsdesign.com  
608-833-3400

**L1**





south perspective, street view



north perspective



southwest perspective



northeast perspective



west perspective



east perspective



northwest perspective



southeast perspective

- exterior perspective notes**
- These perspective images are intended to assist the contractor in visualizing the architectural design intent, including material types and transitions, window and door placement, exterior elements such as downspouts and light fixtures, etc.
  - Material colors and patterns are approximate. Refer to the exterior elevations for material specifications and other important information. The information presented in the rest of the drawing set takes precedent over these images, though gross discrepancies should be brought to the attention of the architect for clarification.
  - Grading is simplified. Locations of landscape features, e.g. mulch, plantings, etc. is approximate. Plant species, habit, and growth are approximate. Refer to the landscape plan for species identification and specifications.
  - Location of utility and service equipment must be coordinated with the utility provider and the relevant trades.
- material and finish key**
- A. horizontal siding: Viewest, Bellara formed metal wall panels, Deep Walnut finish
  - B. horizontal siding, accent: Viewest, 719 corrugated exposed fastener formed metal wall panel, Espresso finish
  - C. vertical siding: Viewest AD 300 formed metal wall panel, Cambridge White finish
  - D. adhered stone veneer: Eldorado Stone, Vantage30 style, White Elm blend
  - E. roof shingles: CertainTeed, Landmark asphalt shingles, Burnt Sienna color
  - F. architecturally exposed structural steel: Tnemec, Endurstone acrylic polymer top coat, Black 356R color

**special note**  
for clarity, trees which obscure the view of the building are not shown

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**Plan Commission Review**  
not for construction

**Bouril Design Studio, LLC**  
579 D'Arbonne Drive, Suite 16, Madison, Wisconsin  
53719  
608-833-3400 www.bourilstudio.com

**Redevelopment for Smart Stay Aparthotel LLC**  
6302 Odana Rd, Madison, WI, 53719

date	revision index	reason
5/2/23	1	Plan/Issue
5/4/23	2	plan comm rev

project #: 23002  
contact: Robert Lackore  
rob@bourilstudio.com  
608-833-3400

**A1.1**

perspective reference images

no scale  
print date: 5/4/2023  
full size: ARCH D 24x36



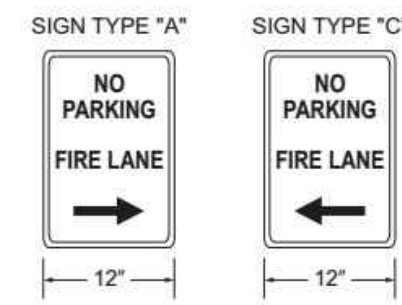
# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703  
Phone: 608-266-4420 • Fax: 608-267-1100 • Email: fire@cityofmadison.com

Project Address: 6302 Odana Road  
Contact Name & Phone #: Amir Kalif, Real Estate Vision LLC, 608-640-9618

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6? If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? (Only hydrants) Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A



### fire apparatus access plan notes

- Lot plan information is taken from a survey commissioned and provided by the Owner and performed by Burse Surveying and Engineering.
- This building will be equipped throughout with an NFPA 13R automatic sprinkler system, including at exterior balconies. The fire protection systems (sprinklers, alarms, notification devices, detection devices, portable fire extinguishers, etc.) must be designed by a qualified fire protection specialist. The location of alarm, detection, and supervision panels, and the key vault, are to be coordinated with the Fire Protection Engineering Unit.



street view elevation  
no scale

### lot accessible route plan notes

- Lot plan information is taken from a survey commissioned and provided by the Owner and performed by Burse Surveying and Engineering.
- Van parking spaces shall be marked to define the width. Access aisles shall be marked with diagonal striping. Van parking spaces shall be identified with a sign that includes the International Symbol of Accessibility with the designation "van accessible".
- The running slope of the accessible route walking surface shall not be steeper than 1:20, and the cross slope shall not be steeper than 1:48.

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Plan Commission  
Review  
not for construction

**Bouril Design Studio, LLC**  
579 D'Oroville Drive, Suite 16, Madison, Wisconsin  
53719  
608-833-3400 www.bourilstudio.com

Redevelopment for  
**Smart Stay Aparthotel LLC**  
6302 Odana Rd, Madison, WI, 53719

revision index	date	reason
01/23	01/23	Plan/Issue
01/23	01/23	plan comm rev

project #: 23002  
contact: Robert Lackore  
rob@bourilstudio.com  
608-833-3400

**A1.2**

print date: 01/23/2023  
full size: ARCH D 24x36

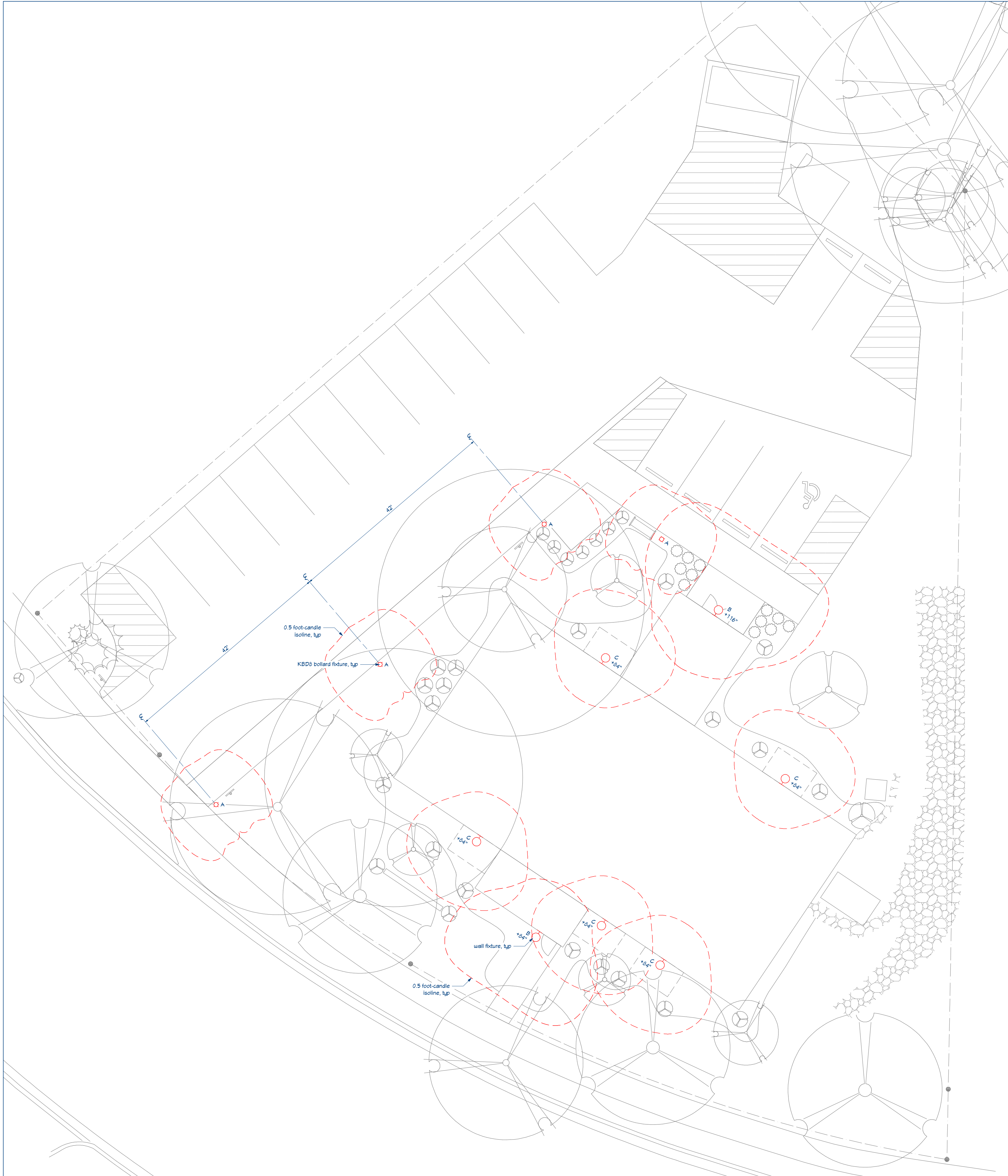
1 fire apparatus access plan

2 lot accessible route plan

lot plans

0 20 40 60 80 100 scale: 1" = 20'-0"

2022 Smart Stay New 8/4/2023 - 10:36:01 AM



**site lighting plan notes**

1. Electrical equipment and lighting layout is schematic only - coordinate the final locations of ground fixtures with the landscape contractor and field conditions. Coordinate control schema with the Owner.
2. Related Specification Divisions: 10-Specialties; 11-Equipment; 26-Electrical.

**electrical symbol schedule**

symbol	description	typical notations and modifiers
(Symbol: circle with a dot)	wall fixture (surface mounted)	enclosure and mounting +12" mounting height in inches
(Symbol: circle with a dot and a line)	pole fixture (arm mounted)	fixture information A fixture type (uppercase)
(Symbol: circle with a dot and a line, different orientation)	pole fixture (top mounted)	
(Symbol: circle with a dot and a line, different orientation)	bollard fixture	

**site fixture schedule**

- A. bollard path light
- Lithonia KBD0 LED
  - photoelectric cell control
  - Dark Bronze finish
- B. wall pack
- Lithonia WPK1 LED
  - emergency battery backup and photoelectric cell control
  - Dark Bronze finish
  - mounting height is measured above the adjacent walking surface or door landing
- C. wall pack
- Lithonia WPK0 LED
  - Dark Bronze finish
  - mounting height is measured above the balcony surface; center on the balcony width, not on the patio door

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**Plan Commission Review**  
**not for construction**



**Redevelopment for**  
**Smart Stay Aparthotel LLC**  
6302 Odana Rd, Madison, WI, 53719

revision index	
date	reason
8/4/23	plan comm rev

project #: 23002  
contact: Robert Lackore  
rob@bourilstudio.com  
608-833-3400

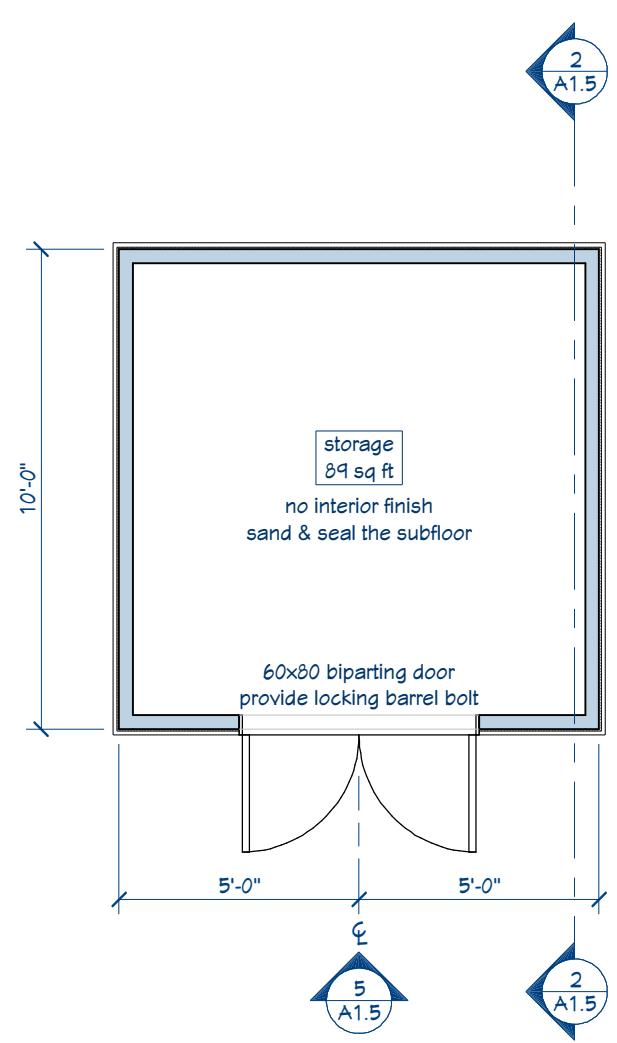
**A1.3**

lot lighting plan

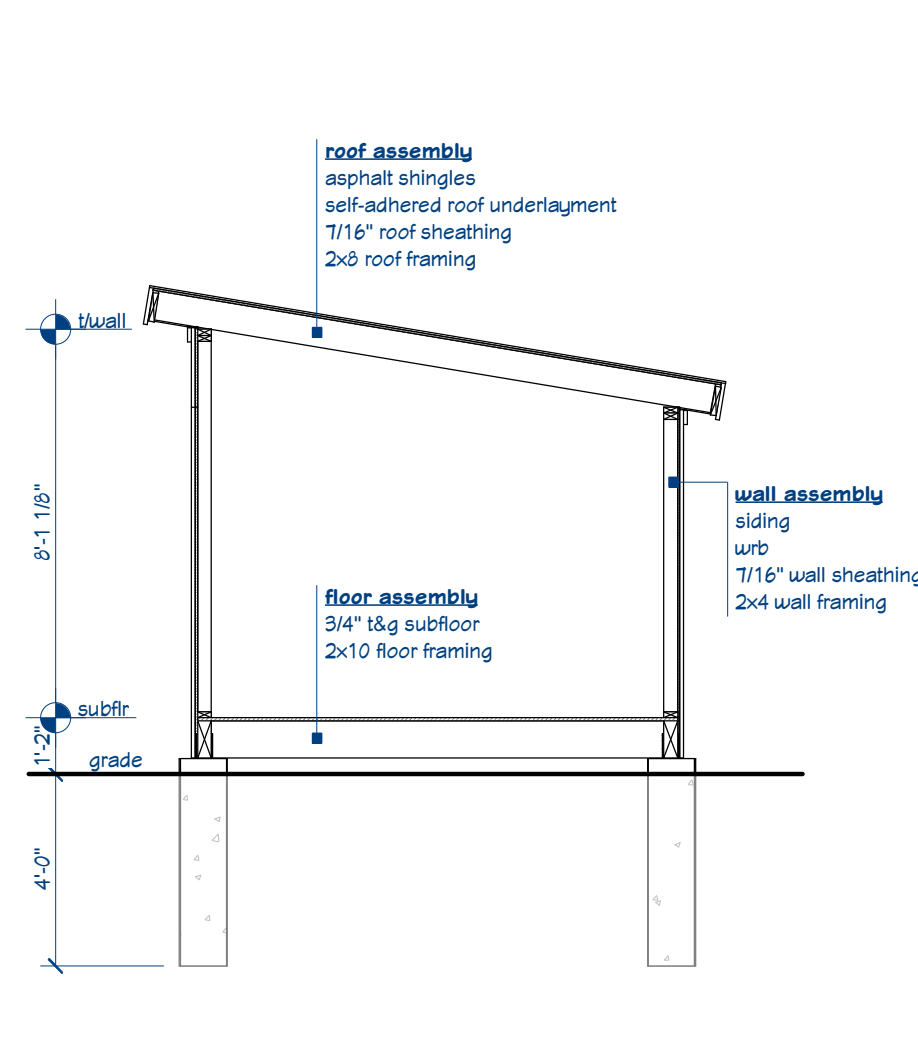
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print date: 8/4/2023  
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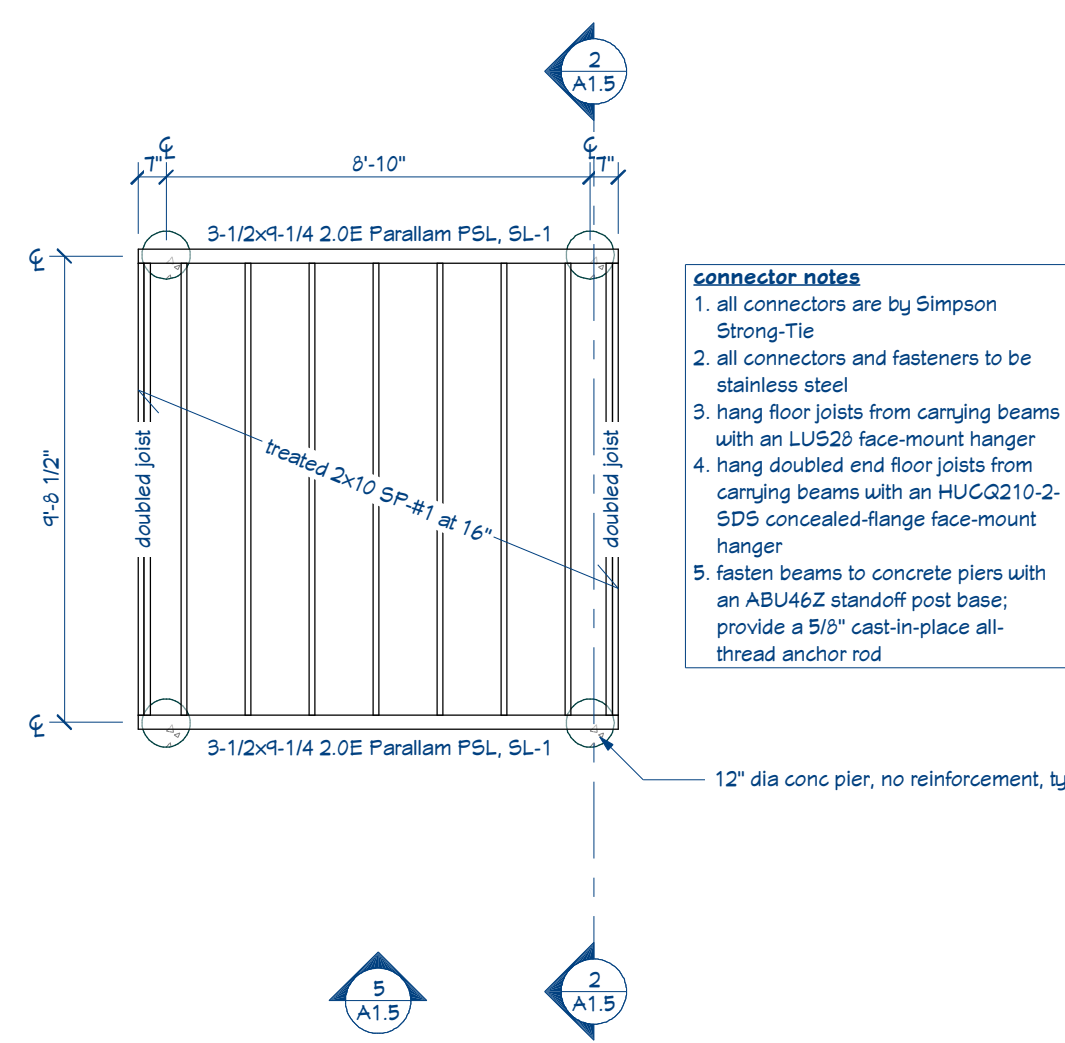




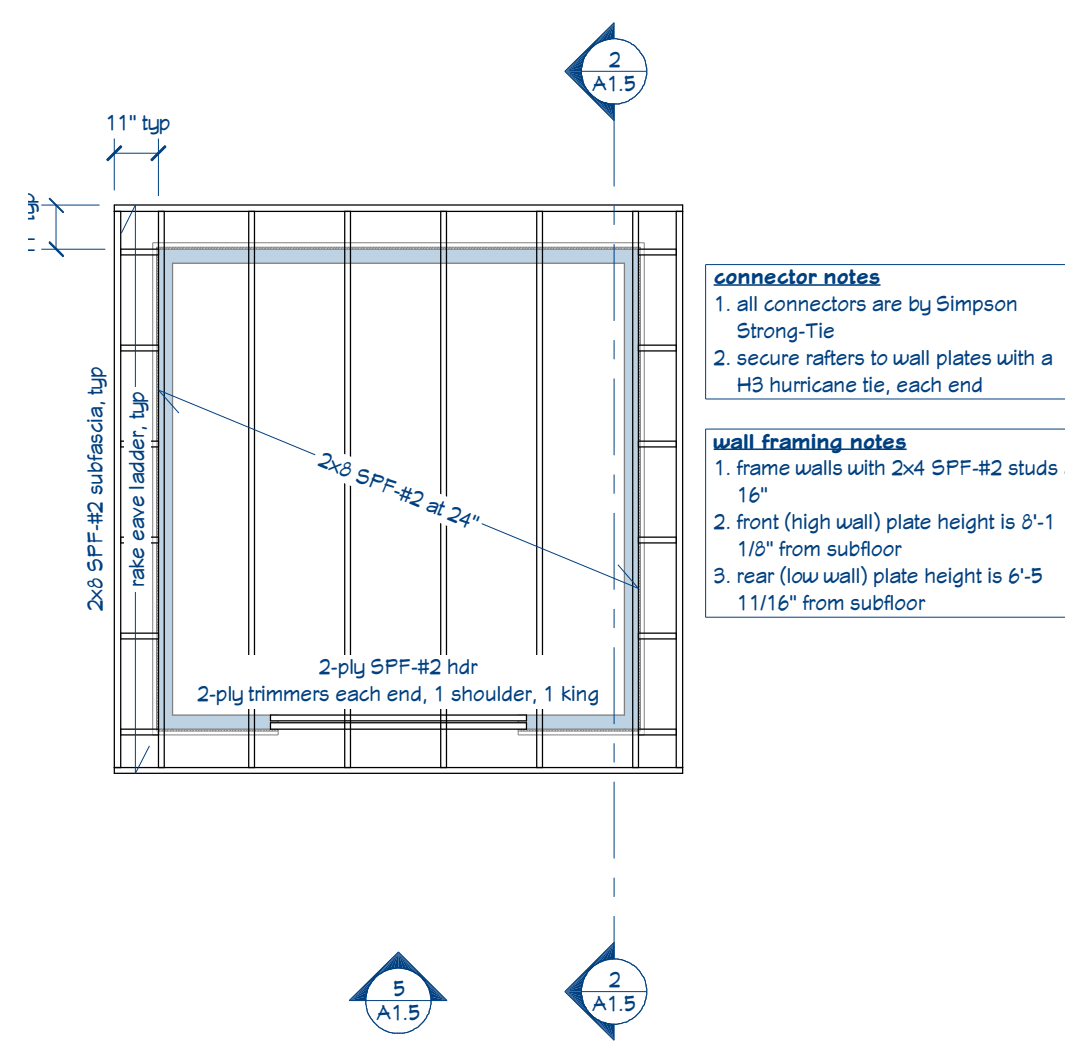
1 shed floor plan



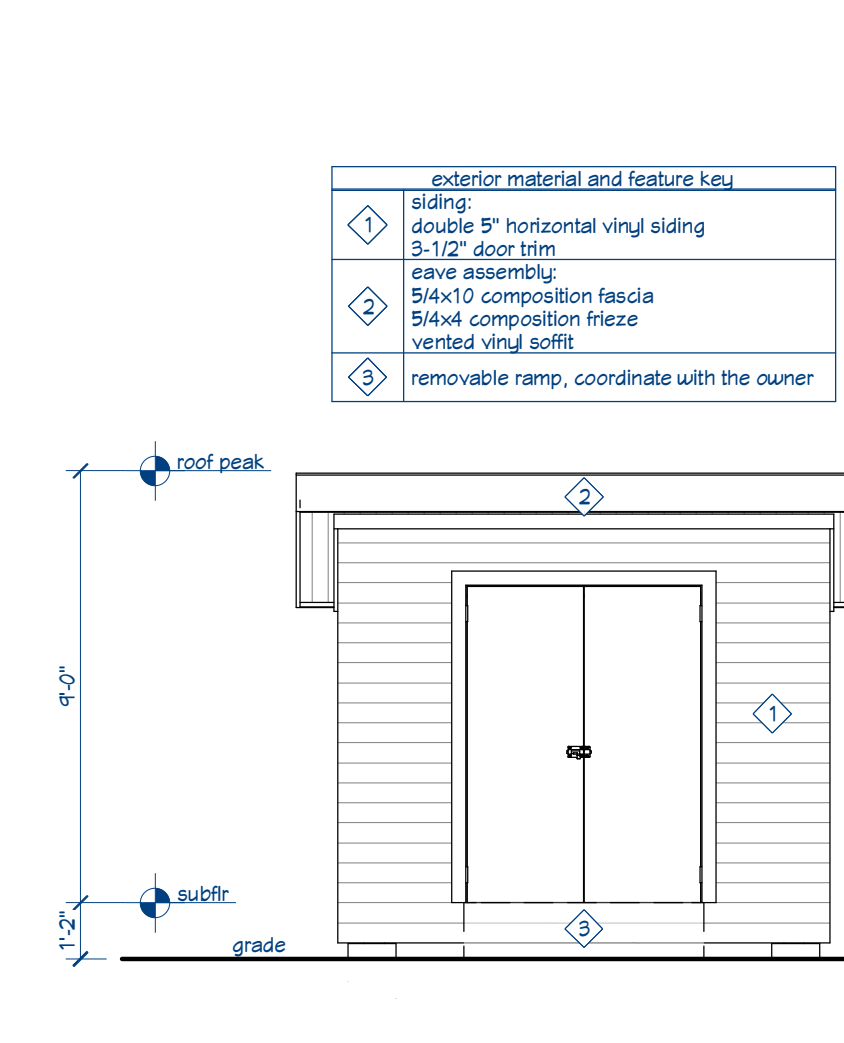
2 shed building section



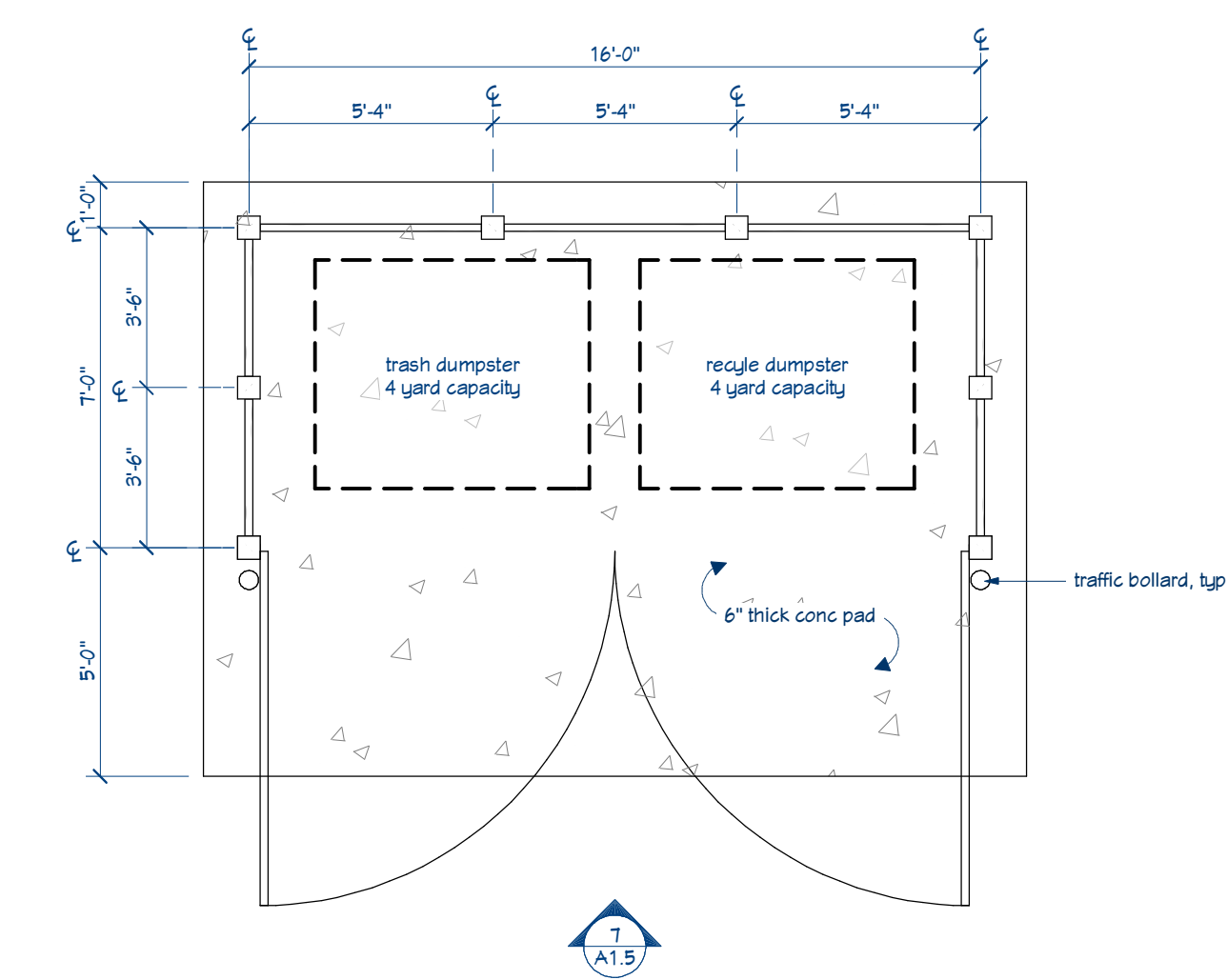
3 shed floor framing plan



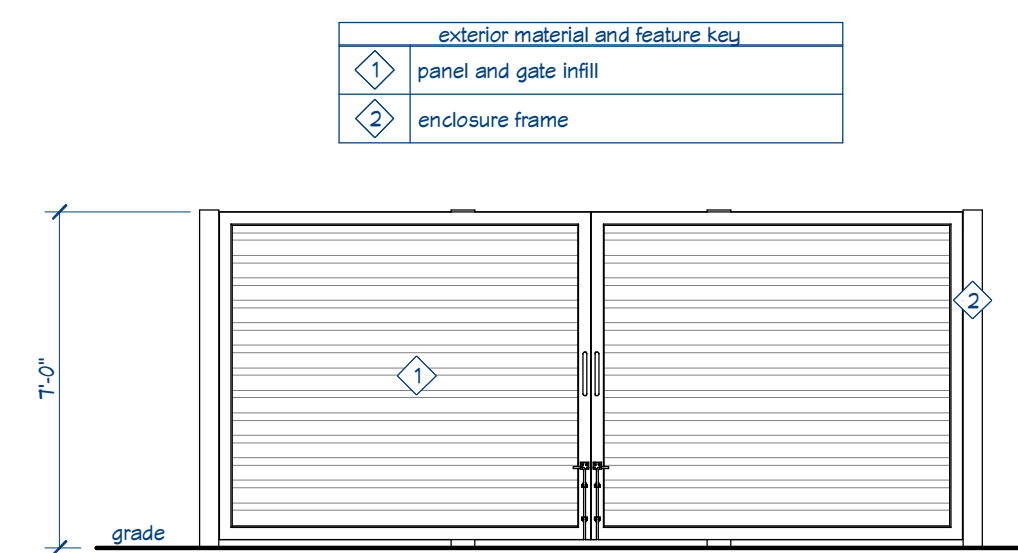
4 shed floor framing plan



5 shed front elevation



6 dumpster enclosure plan



7 dumpster front elevation



8 shed and dumpster reference perspective

**shed plan notes**

1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
2. Related Specification Divisions: 03-Concrete; 05-Metal; 06-Wood; 08-Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings.
3. Dimensions do not reference sheathing or other finish items unless noted otherwise.
4. Verify rough opening requirements for all framed openings.
5. All wood framing members in contact with concrete, metal, or the elements shall be pressure treated. All connectors and fasteners in contact with concrete, metal, or the elements shall be stainless steel, galvanized finish or equal.
6. Connections not specified will be in accordance with applicable codes and best engineering practices, including fastener type and spacing. All multi-ply structural members shall be stitched together.
7. Supported member bearing shall be the full depth of the supporting member or connector seat.
8. Provide solid wood blocking at all joints to ensure installations are secure and tied to adjacent framing. Provide solid wood blocking at all joint spaces below supporting members to transfer loads through to the structure below.
9. Solid wood blocking shall be equal to or greater than the bearing area and capacity of the supporting member above. Fasteners through blocking shall be of sufficient length to provide full embedment in connected members as specified by the manufacturer or as required by the installation.
10. Footing and foundations are designed assuming a soil-bearing capacity of 2000 psf and a weight of 130 pcf.
11. All concrete shall conform to the concrete design mix schedule.

**dumpster enclosure plan notes**

1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
2. Related Specification Divisions: 03-Concrete; 05-Metal; 31-Earth Work; 32-Exterior Improvements.
3. Dimensions do not reference sheathing or other finish items unless noted otherwise.
4. All fasteners in contact with concrete shall be stainless steel.
5. All concrete shall conform to the concrete design mix schedule.

**material and finish key**

- A. dumpster enclosure: GylEscapes, Covirt enclosure system with Toughgate sluing gates and T12 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish.
- B. horizontal siding: CertainTeed, Monogram vinyl siding, Natural Clay color.

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**Plan Commission Review**  
not for construction

**Bouril Design Studio, LLC**  
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**Redevelopment for Smart Stay Aparthotel LLC**  
6302 Odana Rd, Madison, WI, 53719

revision index	date	reason
6/2/23		Plan/Issue
6/14/23		plan comm rev

project #: 23002  
contact: Robert Lackore  
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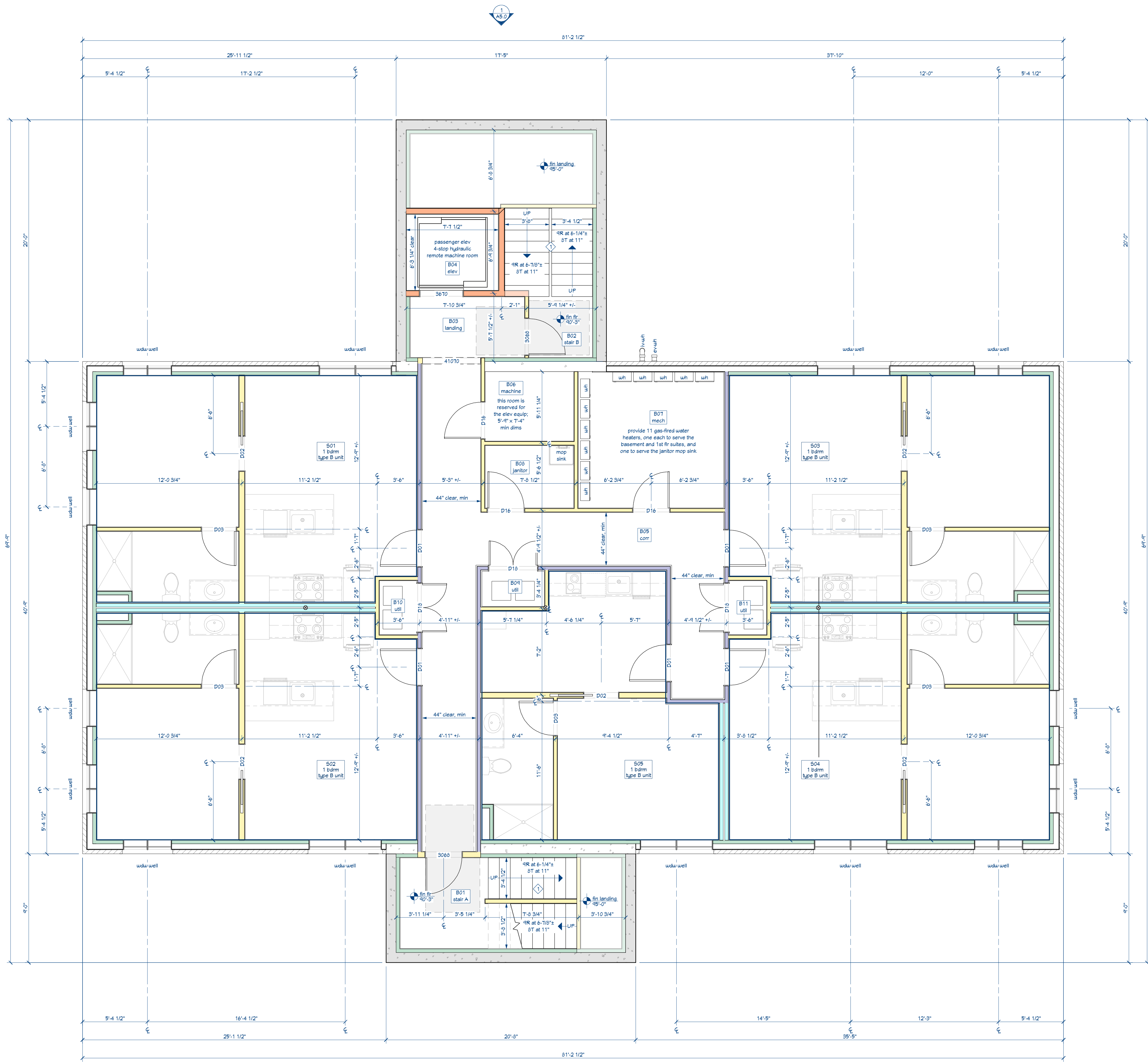
**A1.5**

**shed and dumpster plans**

scale: 1/4" = 1'-0"

print date: 6/14/2023  
full size: ARCH D 24x36





**floor plan notes**

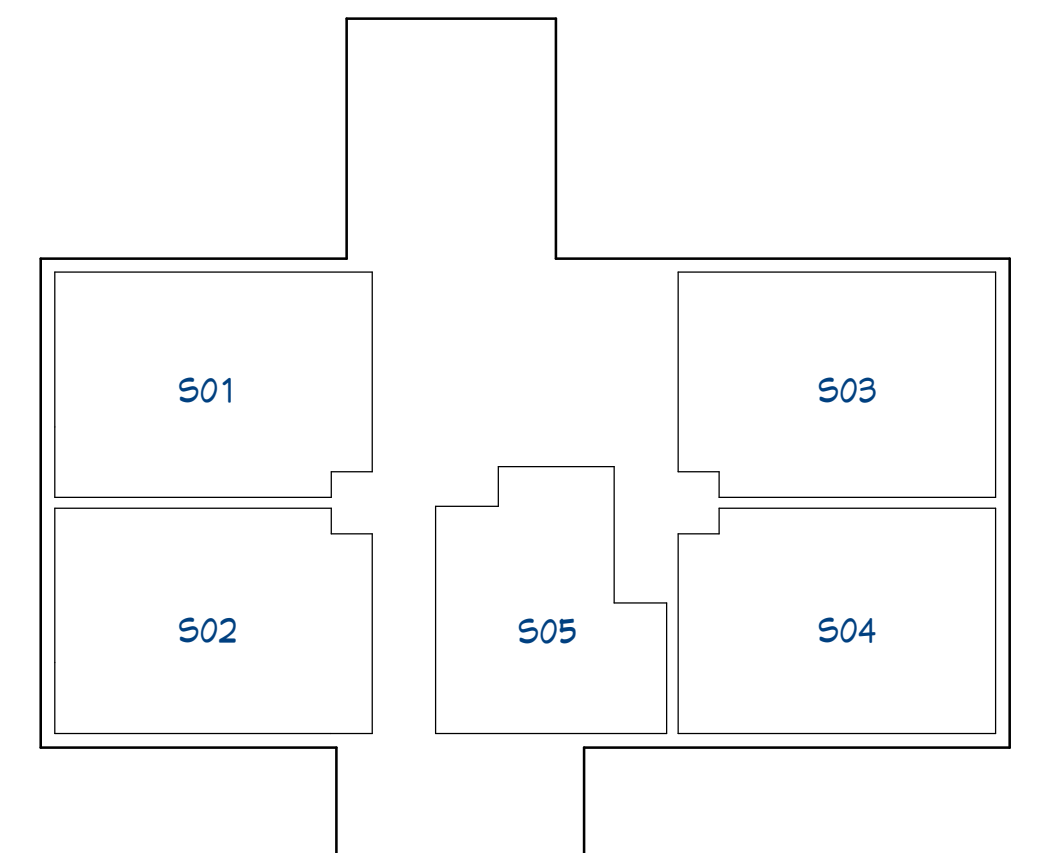
- These notes describe typical project conditions and requirements; exceptions are noted on the plans.
- Related Specification Divisions: 05-Metal, 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-Openings; 0A-Finishes; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications.
- All interior dimensions are to the face of concrete, or to the centerline of structural members, partitions, and openings, unless noted otherwise. Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise. Dimensions annotated as "+1" can be adjusted to maintain the dimensions between adjacent elements.
- Verify rough opening requirements for all framed openings. The rough opening for doors and casework openings not located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
- Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
- All wood in contact with concrete shall be preservative treated.
- Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.

**interior partition insulation and finishing notes**

- Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 0A-Finishes
- Refer to the plan view wall and partition key on the title page for other identifiers.
- Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along laundry or mudroom equipment and cabinetry, shall receive mold-resistant gub (green board). Partitions scheduled for a hard-surface finish such as stone, ceramic tile, f.p., or a similar product shall receive tile backer board.
- Provide acoustical batt within all partitions contained wholly within a suite, and partitions that demarcate a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gub, on both sides, with acoustical damping compound sandwiched between the panel layers.
- All joints and through-penetrations at sound control partitions and party walls will be sealed with acoustical putty and/or sealant. Bottom plates will receive sound control sealant.
- All joints and through-penetrations at a fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistive rating equivalent to the rating of the penetrated assembly.

**floor plan keyed note schedule**

◊ this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1019 this stairway is not required to be a shaft enclosure



**conditioned area summary**

area	basement enclosed	first floor	second floor
enclosed	3,925 sf	3,713 sf	3,713 sf
conditioned	3,444 sf	3,566 sf	3,566 sf

notes:

- enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cantilevered and projected portions of enclosed areas; this excludes unenclosed areas
- conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level, measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.

basement guest suite schedule				basement common room schedule			
suite	type	accessibility	area, sf	room	function	area, sf	cls fin
S01	1 bdrm full	type B unit	494	B01	stair A	149	tile
S02	1 bdrm full	type B unit	494	B02	stair B	102	tile
S03	1 bdrm full	type B unit	494	B03	landing	64	tile
S04	1 bdrm full	type B unit	494	B04	elev	54	gub
S05	1 bdrm compact (no oven)	type B unit	364	B05	cort	386	gub
				B06	machine	50	
				B07	mech	153	
				B08	janitor	49	
				B09	util	14	
				B10	util	17	
				B11	util	17	

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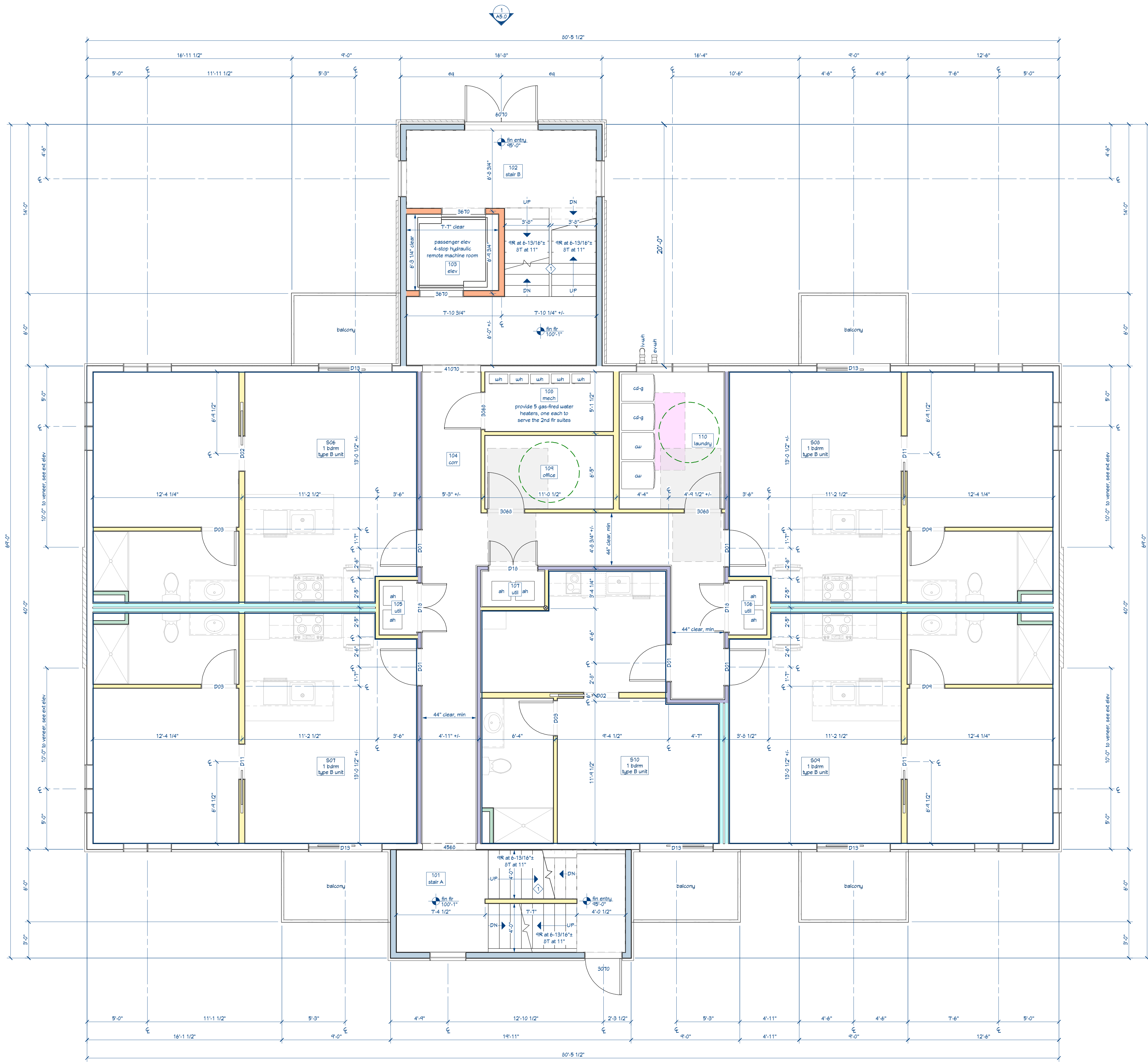
**Redevelopment for Smart Stay Aparthotel LLC**  
 6302 Odana Rd, Madison, WI, 53719

**revision index**

date	reason
02/23	Plan/Issue
04/25	plan comm rev

project #: 23002  
 contact: Robert Lackore  
 rob@bourilstudio.com  
 608-833-3400

**basement floor plan**



**floor plan notes**

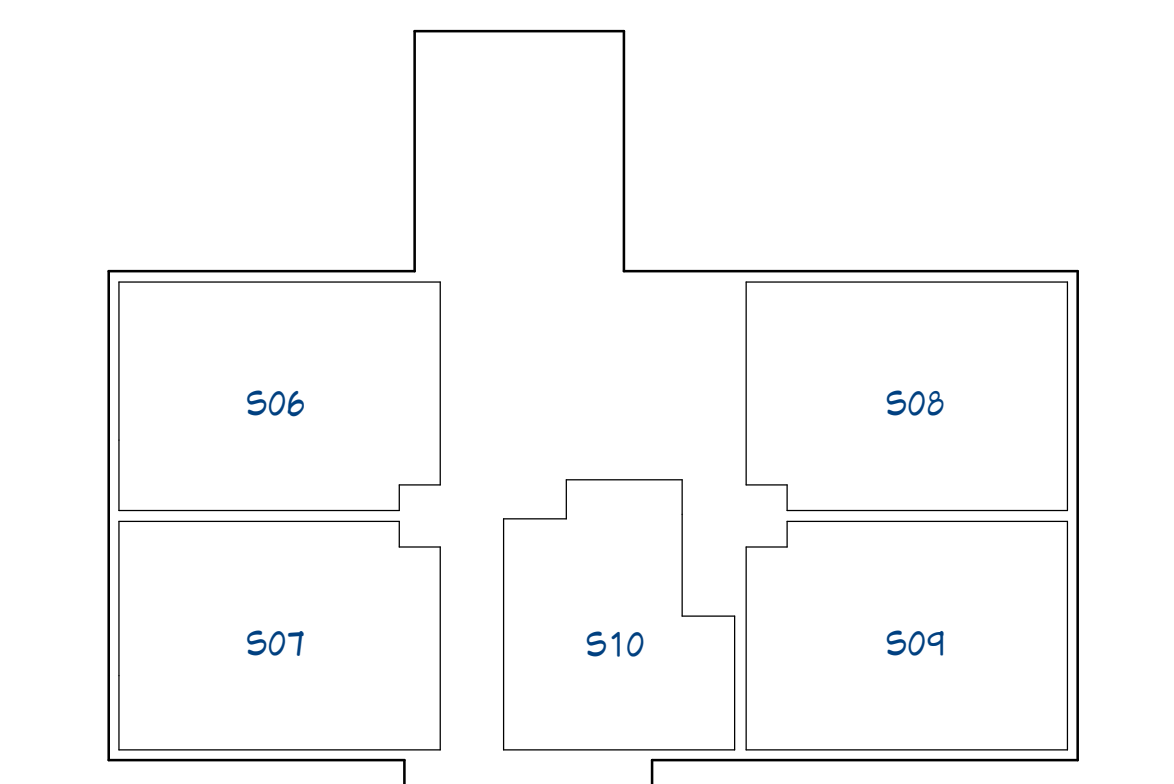
- These notes describe typical project conditions and requirements; exceptions are noted on the plans.
- Related Specification Divisions: 05-Metal, 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-Openings; 0A-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications.
- All interior dimensions are to the face of concrete, or to the centerline of structural members, partitions, and openings, unless noted otherwise. Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise. Dimensions annotated as "+/-" can be adjusted to maintain the dimensions between adjacent elements.
- Verify rough opening requirements for all framed openings. The rough opening for doors and casework openings not located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
- Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
- All wood in contact with concrete shall be preservative treated.
- Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.

**Interior partition insulation and finishing notes**

- Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 0A-Finishes.
- Refer to the plan view wall and partition key on the title page for other identifiers.
- Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along laundry or mudroom equipment and cabinetry, shall receive mold-resistant gyp (green board). Partitions scheduled for a hard-surface finish such as stone, ceramic tile, f.p., or a similar product shall receive tile backer board.
- Provide acoustical batt within all partitions contained wholly within a suite, and partitions that demarcate a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gyp, on both sides, with acoustical damping compound sandwiched between the panel layers.
- All joints and through-penetrations at sound control partitions and party walls will be sealed with acoustical putty and/or sealant. Bottom plates will receive sound control sealant.
- All joints and through-penetrations at a fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistive rating equivalent to the rating of the penetrated assembly.

**floor plan keyed note schedule**

◊ this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1019 this stairway is not required to be a shaft enclosure



**conditioned area summary**

area	basement	first floor	second floor
enclosed	3,825 sf	3,113 sf	3,113 sf
conditioned	3,494 sf	3,566 sf	3,566 sf

**notes:**

- enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cantilevered and projected portions of enclosed areas; this excludes unenclosed areas
- conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level, measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.

first floor guest suite schedule				first floor common room schedule			
suite	type	kitchen	accessibility	room	function	area, sf	fr fin
506	1 bdrm	full	type B unit	101	stair A	141	tile gwp
507	1 bdrm	full	type B unit	102	stair B	309	tile gwp
508	1 bdrm	full	type B unit	103	elev.	93	
509	1 bdrm	full	type B unit	104	corr	340	cpt gwp
510	1 bdrm	(no oven)	type B unit	105	util	17	
				106	util	17	
				107	util	14	tile gwp
				108	mech	60	tile gwp
				109	office	111	cpt gwp
				110	laundry	111	tile gwp

revision index

date	reason
02/23	Plan/Issue
04/23	plan comm rev

**first floor plan**

scale: 1/4" = 1'-0"

print date: 04/2023  
full size: ARCH D 24x36

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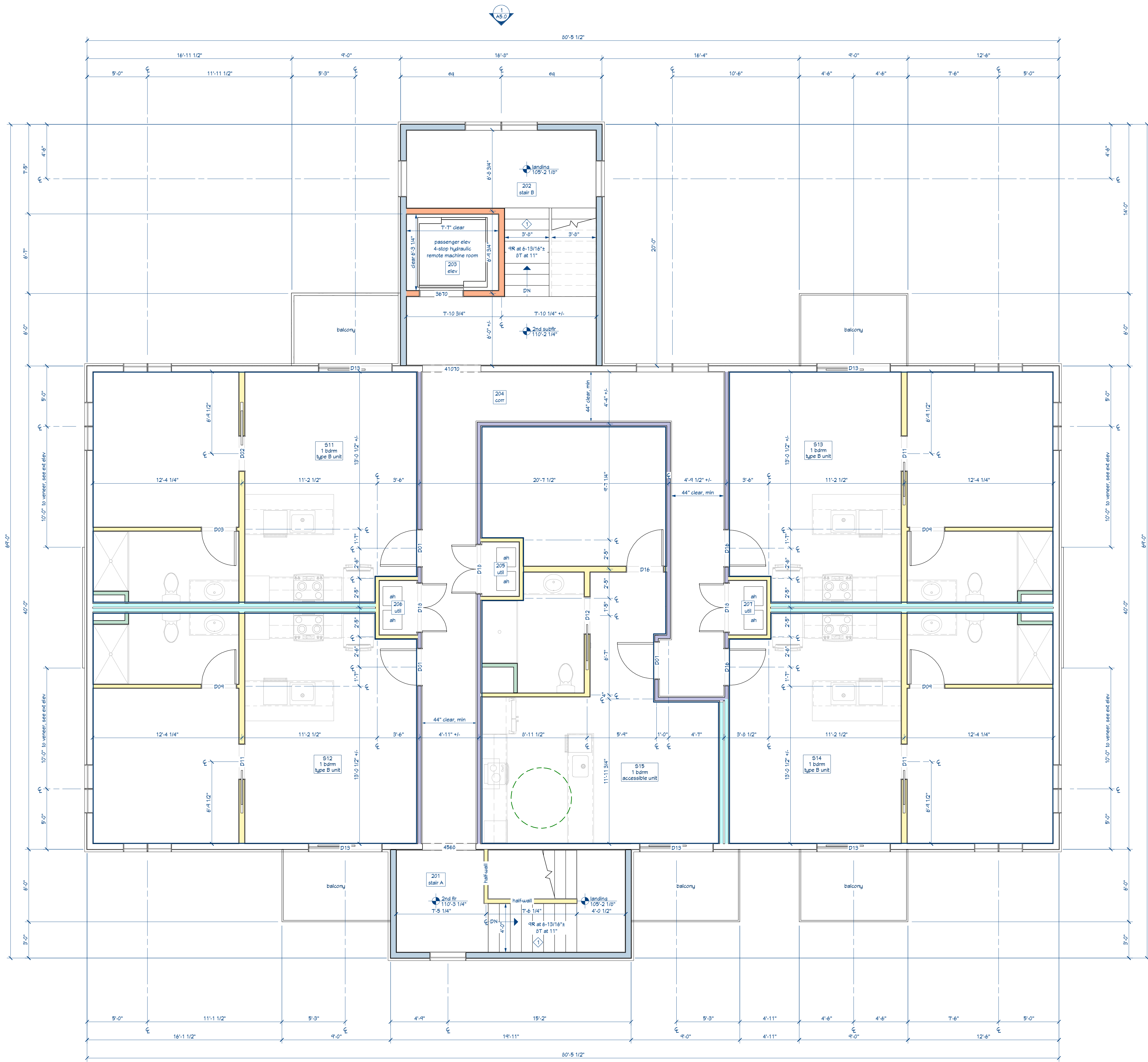
**Plan Commission Review not for construction**

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**Redevelopment for Smart Stay Aparthotel LLC**  
6302 Odana Rd, Madison, WI, 53719

project #: 23002  
contact: Robert Lackore  
rob@bourilstudio.com  
608-833-3400

**A4.1**



**floor plan notes**

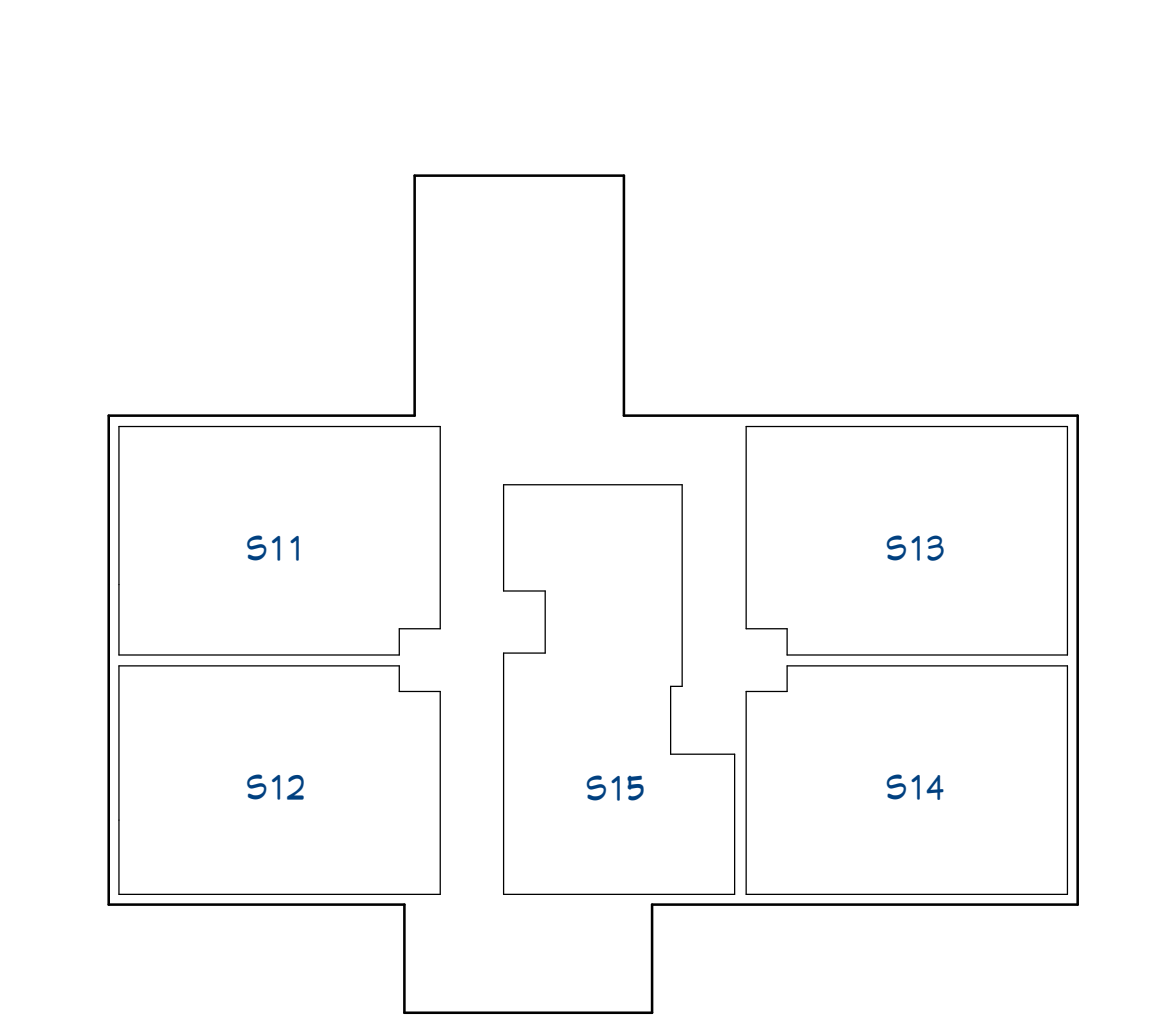
- These notes describe typical project conditions and requirements; exceptions are noted on the plans.
- Related Specification Divisions: 05-Metal, 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-Openings; 0A-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications.
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- Verify rough opening requirements for all framed openings. The rough opening for doors and casework openings not located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
- Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
- All wood in contact with concrete shall be preservative treated.
- Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.

**Interior partition insulation and finishing notes**

- Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 0A-Finishes.
- Refer to the plan view wall and partition key on the title page for other identifiers.
- Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along laundry or mudroom equipment and cabinetry, shall receive mold-resistant gub (green board). Partitions scheduled for a hard-surface finish such as stone, ceramic tile, f.p. or a similar product shall receive tile backer board.
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**floor plan keyed note schedule**

◊ this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1014 this stairway is not required to be a shaft enclosure



**conditioned area summary**

area	basement	first floor	second floor
enclosed	3,925 sf	3,713 sf	3,713 sf
conditioned	3,444 sf	3,566 sf	3,566 sf

**notes:**

- enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cantilevered and projected portions of enclosed areas; this excludes unexcavated areas
- conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level, measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.

second floor guest suite schedule				second floor common room schedule			
suite	type	function	area, sf	room	function	area, sf	cls fin
S11	1 bdrm	full	type B unit	201	stair A	141	tile
S12	1 bdrm	full	type B unit	202	stair B	203	hducd
S13	1 bdrm	full	type B unit	203	elev	35	hducd
S14	1 bdrm	full	type B unit	204	corr	412	cpt
S15	1 bdrm	full	accessible unit	205	util	17	
				206	util	17	
				207	util	17	

**revision index**

date	reason
0/2/23	Plan/Issue
0/4/23	plan comm rev

**second floor plan**

scale: 1/4" = 1'-0"

0 5 10 15

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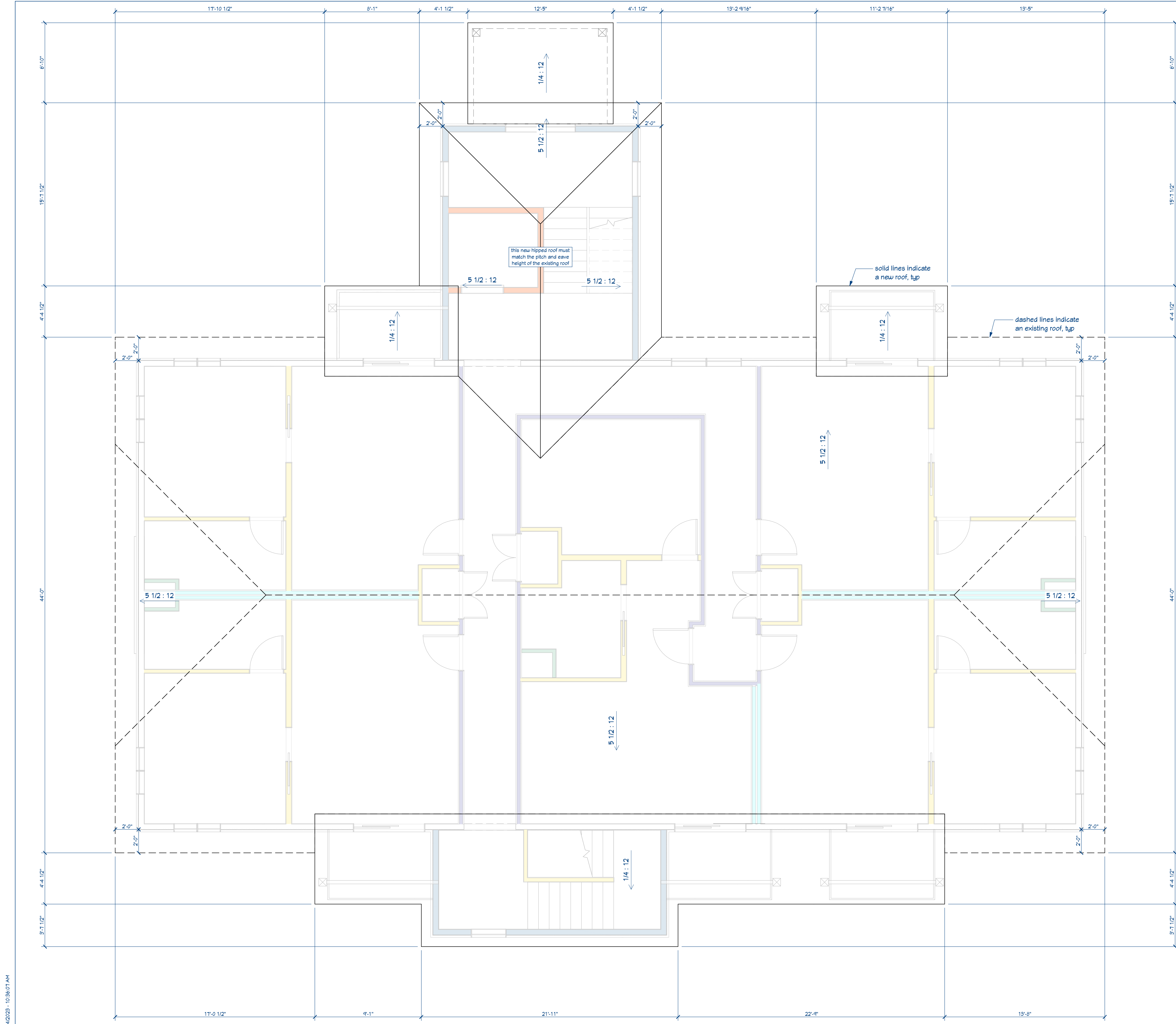
**Plan Commission Review not for construction**

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 6302 Odana Rd, Madison, WI, 53719

project #: 23002  
 contact: Robert Lackore  
 rob@bourilstudio.com  
 608-833-3400

**A4.2**  
 print date: 0/4/2023  
 full size: ARCH D 24x36



**roof plan notes**

1. Eave dimensions are from the exterior face of the wall stud or roof beam to the outermost face of the eave trim (fascia, shadow board, etc.).
2. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 39-Subdrainage.
3. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc.).
4. Install ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be sheathed beneath the overbuild framing to maintain free air flow throughout the attic volume.
5. All MEP roof vent and pipe penetrations that are a suitable substrate for painting (pvc, galvalume, etc.) shall be painted to closely match the roof shingle primary color; this excludes the gas fireplace chimney and shroud.

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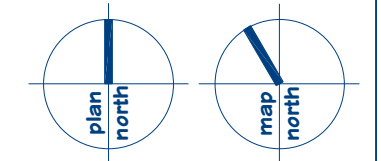


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6302 Odana Rd, Madison, WI, 53719

revision index		
date	reason	
5/2/23	Per Bouril	
8/4/23	plan comm rev	

project #: 23002  
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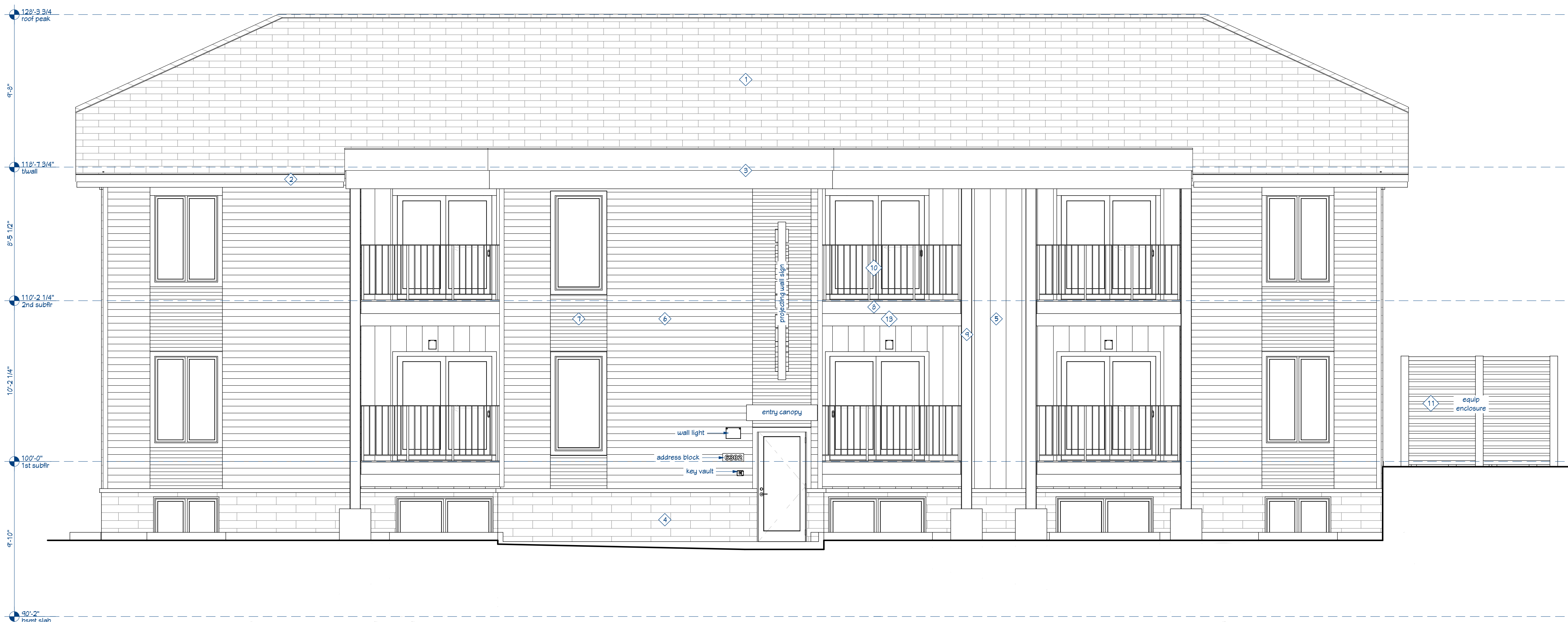
**A4.3**



**roof plan**

0 5 10 15 scale: 1/4" = 1'-0"

print date: 8/4/2023  
full size: ARCH D 24x36



1 south elevation (street view)



2 north elevation

**exterior elevation notes**

1. These notes describe typical project conditions and requirements; exceptions are noted on the plans.
2. Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements.
3. Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

**exterior material and feature key**

1	asphalt shingles
2	hip roof eave assembly: aluminum gutter wood composition shadow board, fascia, and vented soffit
3	flat roof eave assembly: aluminum gutter composite shadow board, fascia, and vented soffit
4	masonry veneer: adhered dimensional stone with wall caps and opening sills
5	vertical siding: concealed fastener formed metal wall panel, 12" exposure
6	horizontal siding: concealed fastener formed metal wall panel, 5" exposure
7	horizontal accent siding: exposed fastener formed metal wall panel, 7/8" pitch corrugation
8	deck fascia: wood composition trim
9	architecturally exposed structural steel: deck and flat roof column supports and roof beams
10	rail system: aluminum with stainless steel cable infill
11	equipment enclosure fence: CityScapes, CovrIt enclosure system, 1.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish; this fence matches the dumpster enclosure
12	architecturally exposed structural steel: deck and flat roof columns
13	treated glulam: deck and flat roof beams

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revision index		
date	reason	
6/2/23	Final issue	
6/14/23	plan comm rev	

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608-833-3400

**A5.0**

exterior elevations

0 5 10 15 scale: 1/4" = 1'-0"

print date: 6/4/2023  
full size: ARCH D 24x36



1 east elevation



2 west elevation

- exterior elevation notes**
- These notes describe typical project conditions and requirements; exceptions are noted on the plans.
  - Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements.
  - Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

**exterior material and feature key**

◇	asphalt shingles
◇	hip roof eave assembly: aluminum gutter wood composition shadow board, fascia, and vented soffit
◇	flat roof eave assembly: aluminum gutter composite shadow board, fascia, and vented soffit
◇	masonry veneer: adhered dimensional stone with wall caps and opening sills
◇	vertical siding: concealed fastener formed metal wall panel, 12" exposure
◇	horizontal siding: concealed fastener formed metal wall panel, 5" exposure
◇	horizontal accent siding: exposed fastener formed metal wall panel, 1/8" pitch corrugation
◇	deck fascia: wood composition trim
◇	architecturally exposed structural steel: deck and flat roof column supports and roof beams
◇	rail system: aluminum with stainless steel cable infill
◇	equipment enclosure fence: CityScapes, CovrIt enclosure system, 1.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish; this fence matches the dumpster enclosure
◇	architecturally exposed structural steel: deck and flat roof columns
◇	treated glulam: deck and flat roof beams

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**Plan Commission  
Review  
not for construction**

**Bouril Design Studio, LLC**  
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**Redevelopment for  
Smart Stay Aparthotel LLC**  
6302 Odana Rd, Madison, WI, 53719

**revision index**

date	reason
6/2/23	Finalize
6/14/23	plan comm rev

project #: 23002  
contact: Robert Lackore  
rob@bourilstudio.com  
608-833-3400

**A5.1**

**exterior elevations**

0 5 10 15 scale: 1/4" = 1'-0"

print date: 6/4/2023  
full size: ARCH D 24x36

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