# Redevelopment for Smart Stay ApartHotel LLC

# owner:

# Smart Stay ApartHotel LLC

1 Sunfish Ct. Apt 4
Madison WI 53713
608-640-9618
Contact: Amir Katif

civil engineer:

# landa sana anski

# Burse Surveying and Engineering Inc

2801 International Ln Suite 101
Madison WI 53704
608-250-9263
Contact: Brian Beaulieu

# architect:

# Bouril Design Studio LLC

579 D'Onofrio Dr Suite 16 Madison IVI 53719 608-833-3400 Contact: Robert Lackore

# landscape architect

# Paul Skidmore

13 Red Maple Trl Madison WI 53717 608-826-0032 Contact: Paul Skidmore

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# civil drawings

C001 civil details and notes
C100 existing conditions
C101 removals plan

C200 site plan C300 grading plan

C400 erosion control plan EX-1 truck turning movement exhibit EX-2 usable open space exhibit

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L1 landscape plan

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A1.2 lot plans

A1.3 lot lighting plan

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A4.0 basement floor plan

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A4.3 roof plan

A5.0 exterior elevations

A5.1 exterior elevations

# project summary

### parcel data

property address: 6302 Odana Rd, Madison, WI, 53719 parcel number: 070825101119 zoning district: SE Suburban Employment aldermanic district: 19, Kristen Slack

## existing design standards

occupancy classification: Business Group B use: professional offices construction classification: Type VB, unsprinklered

## proposed design standards

occupancy classification: Residential Group R-1 use: hotel

construction classification: Type VB, fully sprinklered

classification of work: Alteration Level 3, Change of Occupancy

# land use summary

building footprint: 3,825 square feet (sf)

building area: 12,015 sf, including balconies

suites: 14 Type B, 1 Accessible, from 369 sf to 552 sf

lot area: 25,030 sf (as surveyed)

lot coverage: 13,553 sf, or 54% (75% max)

paved area: 10,833 sf, includes all asphalt and concrete landscaped area: 12,006 sf, excludes the north and east

drainage swale

usable open space: 6,315 sf, or 421 sf/unit (400 sf/unit min)



street view



vicinity plan

P1

O

0

project cover sheet

print date: 8/4

- 1. EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- 2. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 3. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE.
- 4. CONSTRUCTION ENTRANCES PROVIDE A TRACKOUT CONTROL PRACTICE AT EACH POINT OF ACCESS IF CONSTRUCTION VEHICLE TIRES WILL COME INTO CONTACT WITH THE SUBGRADE MATERIAL. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML. THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
- 5. SOIL STOCKPILES A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
- 6. DEWATERING WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1061 FOUND AT: HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.

- 7. STORM SEWER INLETS PROVIDE WOOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WOOT PRODUCT ACCEPTABILITY LIST AT: HTTP: //WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGRSERV/PAL.HTM. INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL PLAT-LEVEL STABILIZATION IS COMPLETE.
- 8. BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
- 9. NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
- 10. EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDS.HTM AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
- 11. ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE BE SWEPT OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
- 12. ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE
- 13. ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED.
- 14. ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\_STANDARDS.HTML. SEEDING AND SODDING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- 15. FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

# EMERGENCY CONTACT

(608) 640-9618

# **ESTIMATED SCHEDULE:**

OCTOBER 9, 2023 INSTALL PERIMETER EROSION CONTROLS AND CONSTRUCTION ENTRANCE.

OCTOBER 10, 2023 BEGIN DISTURBANCE OF SITE GROUND COVER.

MAY 15, 2024 BASE COURSE INSTALLED. APPLY SEED AND MULCH TO ALL DISTURBED AREAS.

EDGE OF

JULY 15, 2024 VEGETATION ESTABLISHED.

#### **GENERAL NOTES:**

- 1.IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
- 2.CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
- 3.ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD
- 4.THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- 5.CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE
- AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

#### SITE PLAN NOTES:

- 1. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATIONS OF THE MOST RECENT VERSION OF THE WISCONSIN ASPHALT PAVEMENT ASSOCIATION DESIGN GUIDE.
- 2.TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
- 3.NEW APRONS SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.

#### GRADING PLAN NOTES:

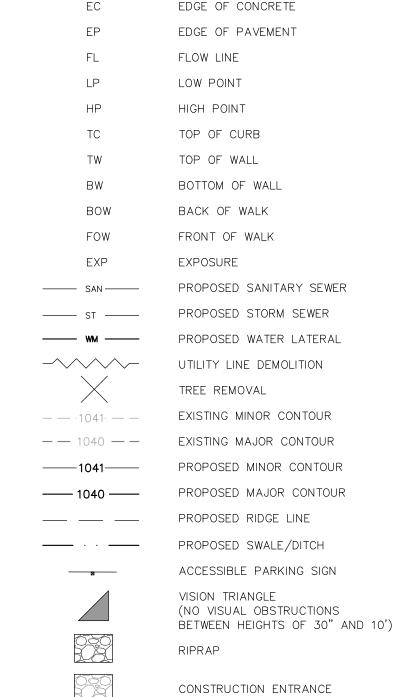
1. ALL GRADES ARE FINISH ELEVATION UNLESS NOTED OTHERWISE.

#### <u>UTILITY PLAN NOTES:</u>

- 1. ALL WORK WITHIN THE CITY RIGHT OF WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.
- 2.UTILITY INSTALLATION SHALL BE COORDINATED WITH ENGINEER AT LEAST 4 WEEKS PRIOR TO INSTALLATION TO ENSURE BUILDING INSPECTION APPROVAL IS OBTAINED.

#### <u>DEMOLITION NOTES:</u>

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- 2.THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- 3.THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 4.THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- 5.ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
- 6.ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 7.CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
- 8.PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
- 10. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.



LEGEND / ABBREVIATIONS

\_\_\_\_\_

\_\_\_\_\_\_

\_\_\_\_

L.S.

BIT.

FG

CONC.

ACCESSIBLE ROUTE

EXISTING EASEMENT

PROPERTY BOUNDARY

PARKING STALL COUNT

BITUMINOUS PAVEMENT

CONCRETE PAVEMENT

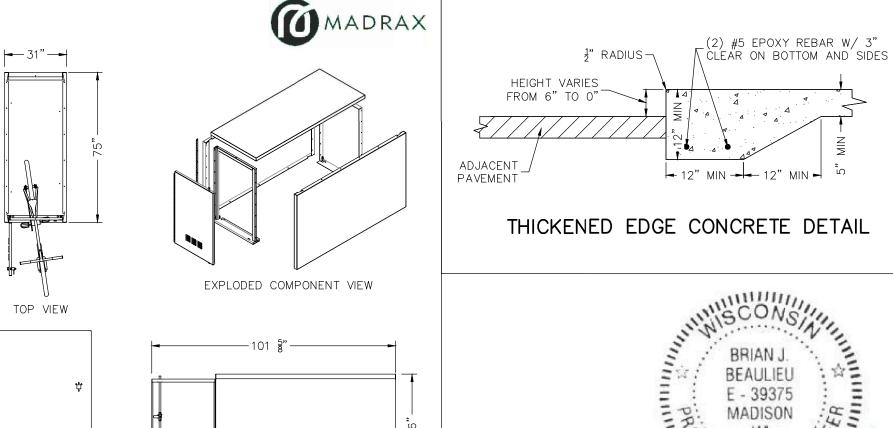
SPOT GRADE

FINISH GRADE

EXISTING GRADE

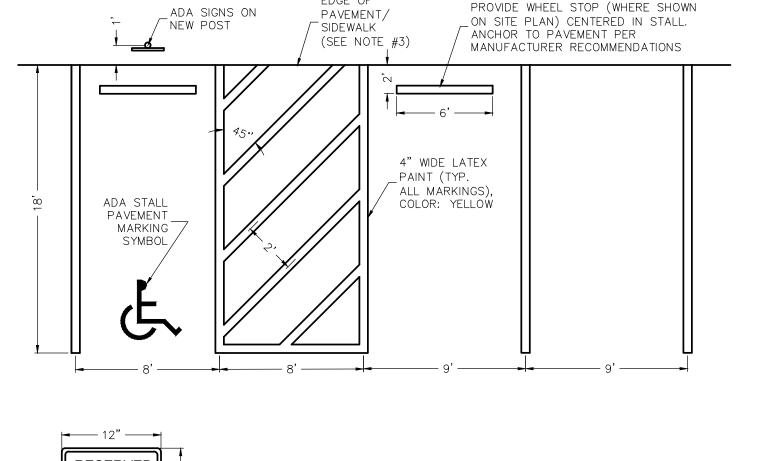
LANDSCAPED AREA







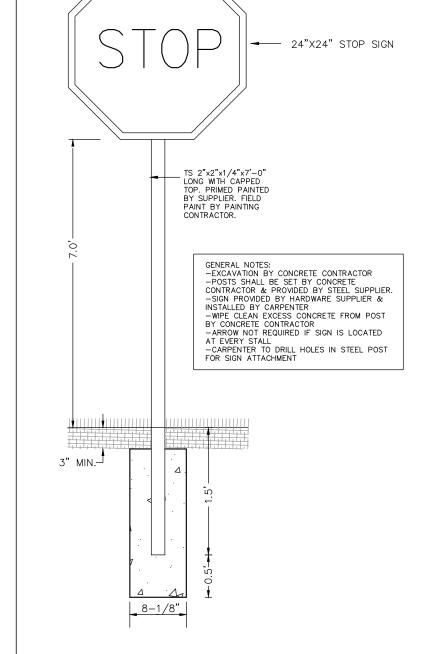
	CIVIL SHEET INDEX
SHEET NUMBER	SHEET TITLE
C001	CIVIL NOTES & DETAILS
C100	EXISTING CONDITIONS
C101	REMOVALS PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	EROSION CONTROL PLAN
EX-1	TRUCK TURNING MOVEMENT EXHIBIT
EX-2	USABLE OPEN SPACE EXHIBIT





- . PROVIDE A MINIMUM OF TWO COATS FOR ALL MARKINGS SUCH THAT THE MARKING COLOR IS OPAQUE AND THE PAVEMENT COLOR IS NOT VISIBLE THROUGH THE MARKINGS.
- 2. ADA SIGNS SHALL BE CONSTRUCTED OF WISDOT TYPE 'H' (PARTIAL CUBED PRISMATIC) REFLECTIVE SHEETING ATTACHED TO AN ALUMINUM PANEL HAVING A MINIMUM THICKNESS OF 0.08-INCHES.
- 3. WHERE THE PARKING STALL DOES NOT ABUT THE EDGE OF PAVEMENT OR SIDEWALK, PROVIDE A 4" WIDE PAINTED LINE TO MARK THE END OF THE STALL.

PARKING STALL DETAILS



STOP SIGN & POST DETAIL

MADRAX GRABER MANUFACTURING, INC. 1080 UNIEK DRIVE VALVANKEE, VI 5339 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081 VVV-MADRAX.CDM, E-MAIL: SALESEMADRAX.CDM STEEL END CAP ---TOP VIEW Ø 1 5/8' STEEL TUBING-Ø 2 3/8' STEEL TUBING-7' ROUND FLANGE VITH 3 Ø 9/16' HOLES — ELEVATION VIEW SURFACE MOUNTING PRODUCT INFORMATION: MODEL NUMBER PAR-2-SF-P POST AND RING BIKE RACK WITH FLAT CAP

DOOR VIEW

PRODUCT INFORMATION:

NARROW BIKE LOCKER

NOT TOP STACKING

1 UNIT, 1 BIKE CAPACITY

POWDER COATED BLACK

SURFACE MOUNTED W/O FLOOR

SEE SITE PLAN FOR LOCATION.

PRODUCT NUMBER MLN-1, ML-PADLOCK

SOLID DOOR WITH PADLOCK/U-LOCK HANDLE

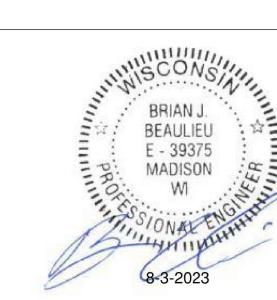
• INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

BIKE LOCKER DETAIL

SIDE VIEW

- SURFACE MOUNTED
- POWDER COATED BLACK INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE SITE PLAN FOR LOCATION.

BIKE RACK DETAIL



SAW CUT / REMOVAL LIMITS

DISTURBANCE LIMITS

SILT FENCE

CHECK DAM

DIVERSION BERM

INLET PROTECTION

USLE FLOW PATH

— o — o —

www.bursesurveyengr.cor tudio S sign

Burse

2801 International Lane,

Madison, WI 53704

Phone: 608-250-9263 Fax: 608-250-9266

Mburse@BSE-INC.net

PLOT DATE: 08/03/2023

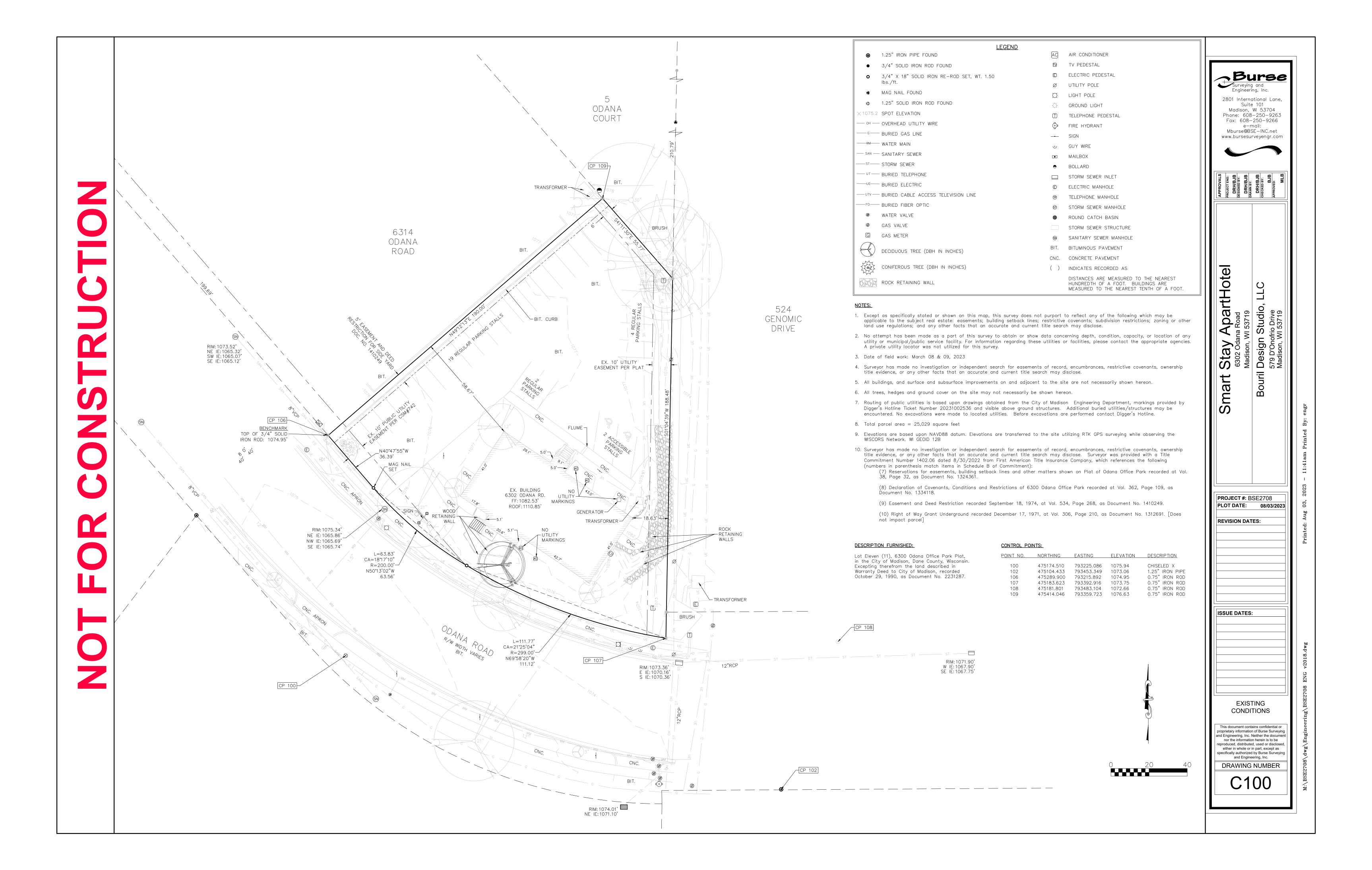
PROJECT #: BSE2708

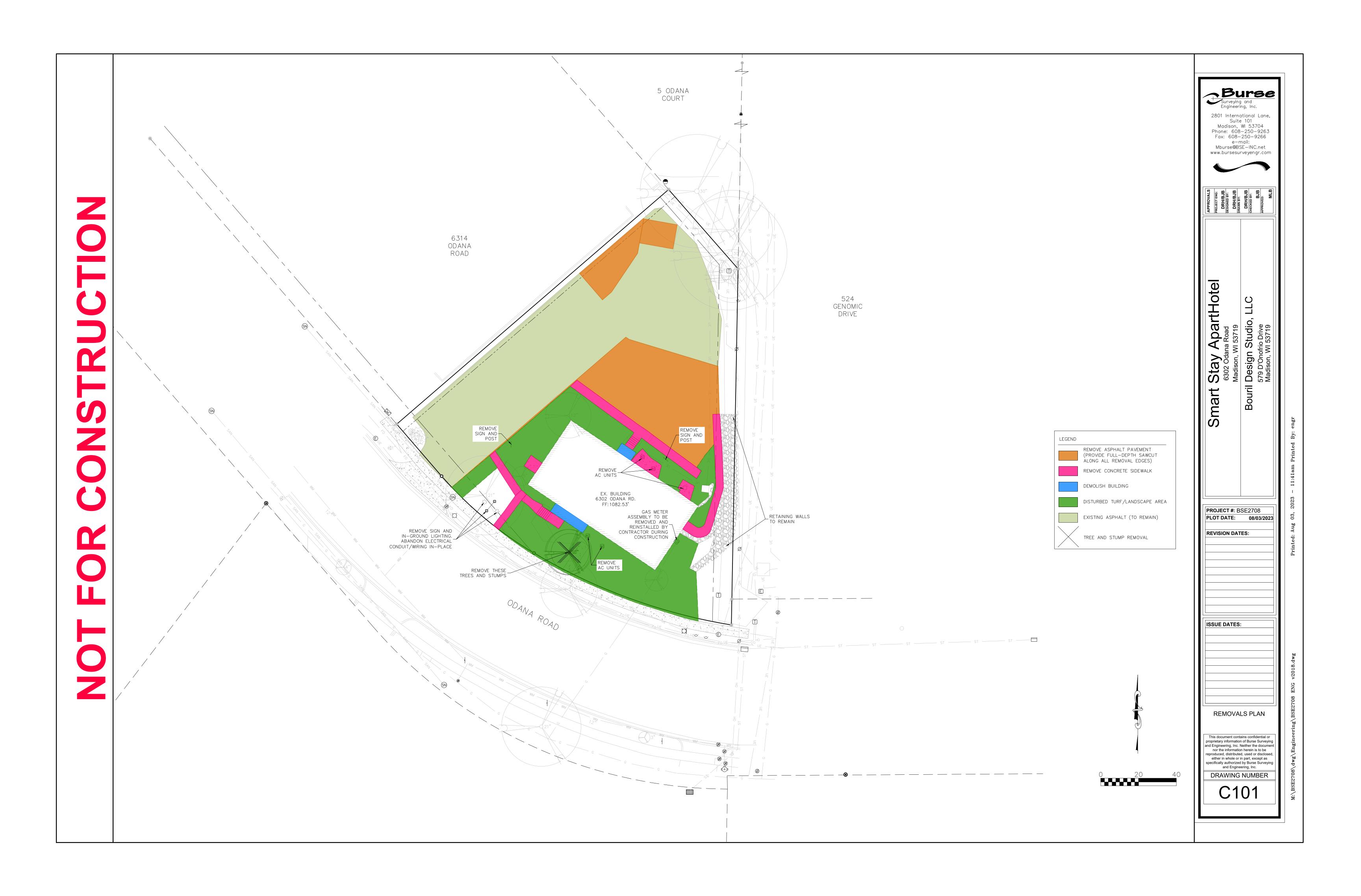
**REVISION DATES:** 

**ISSUE DATES:** 

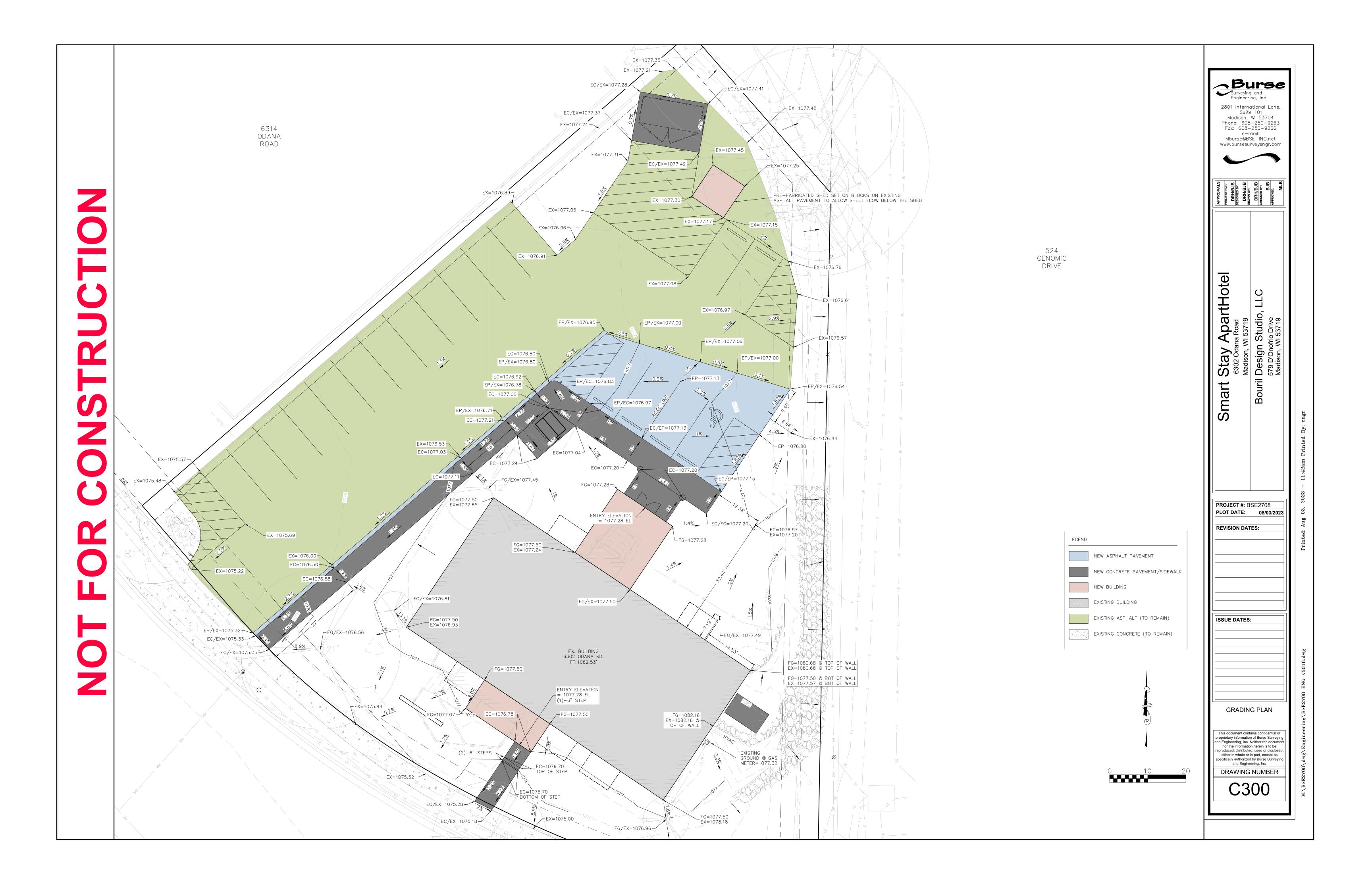
CIVIL DETAILS AND NOTES

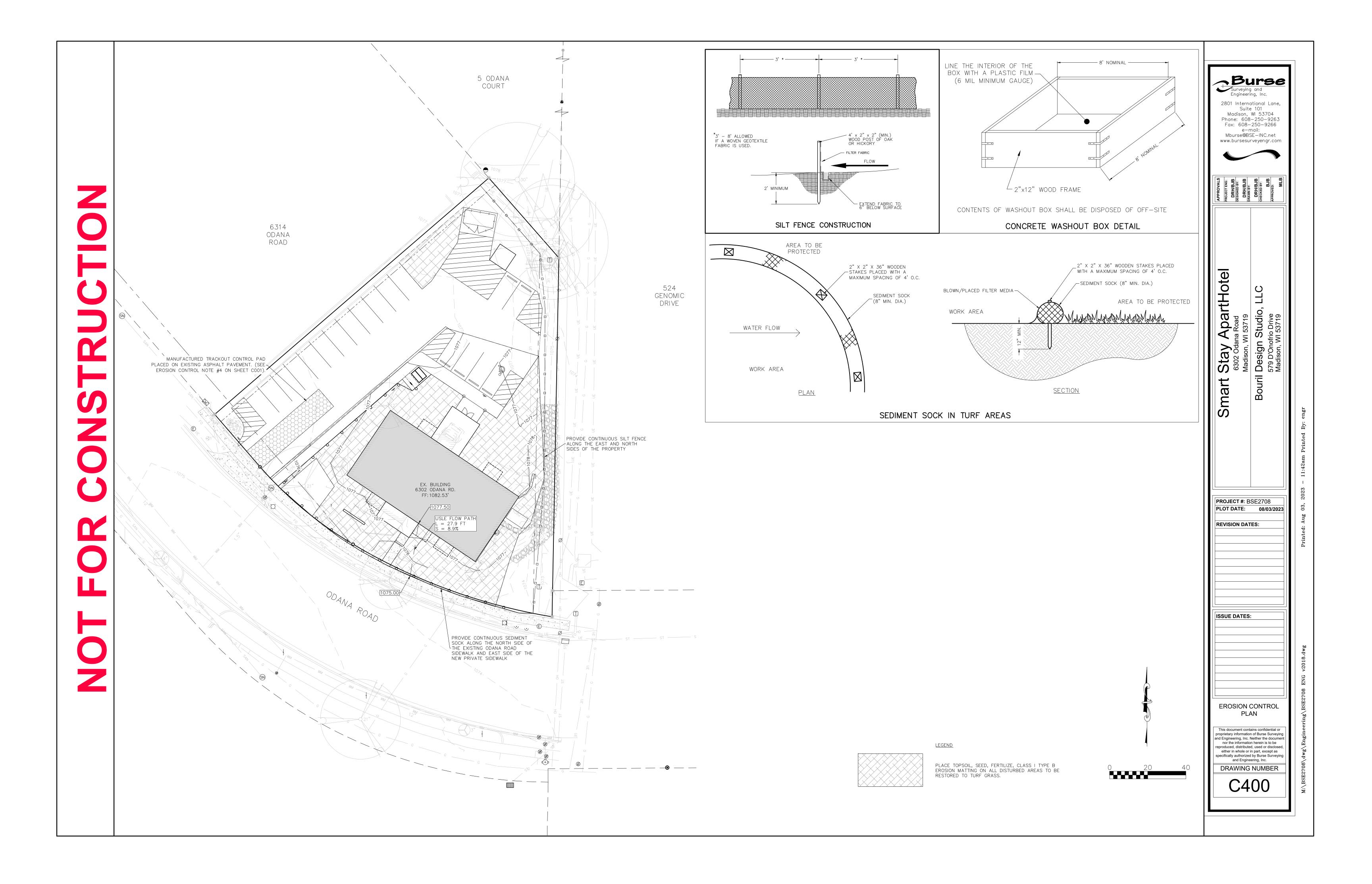
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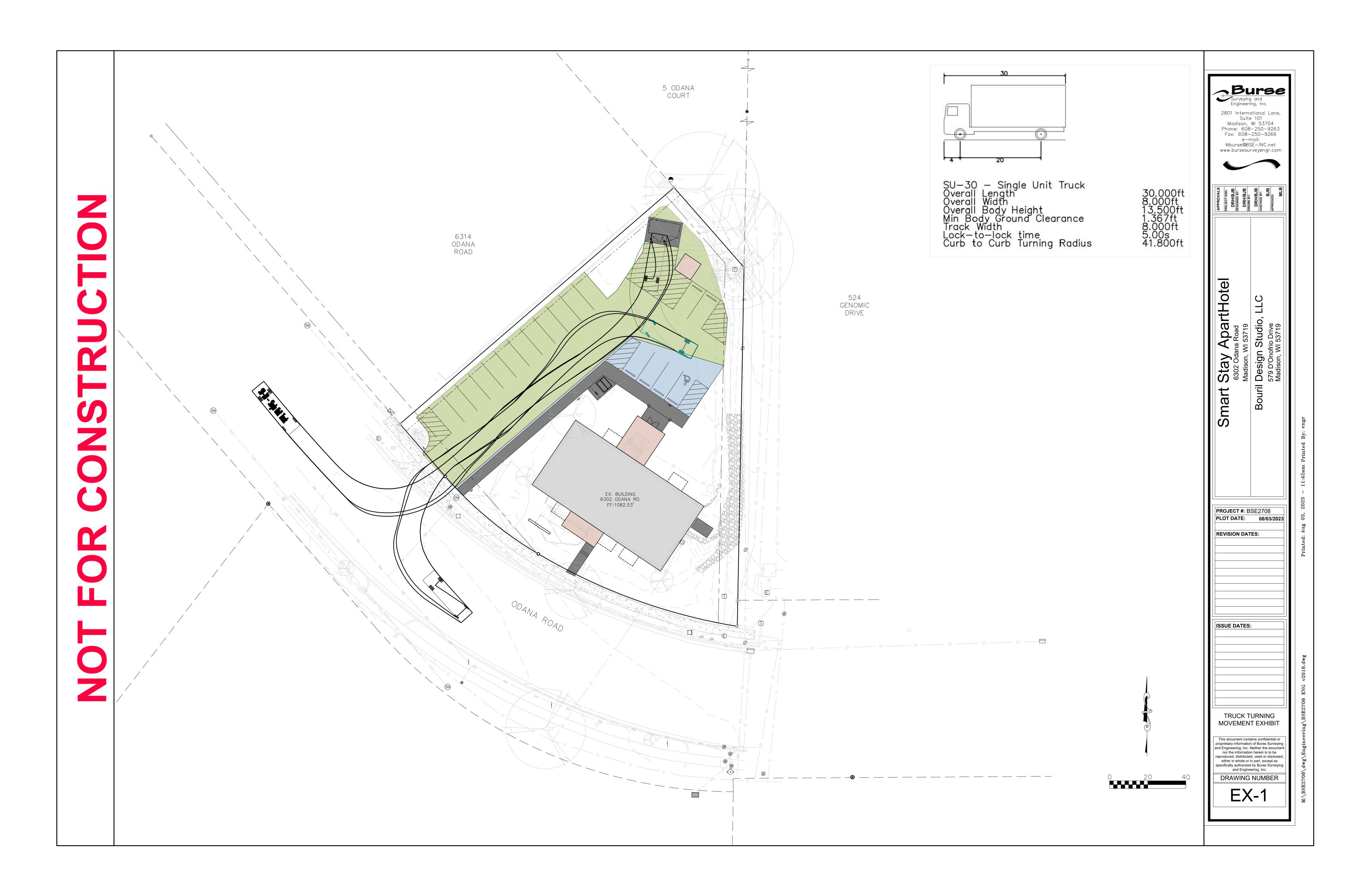














landscape plan notes

- $1. \ \textbf{Related Specification Divisions: 31-Earth \, Work; 32-Exterior \, Improvements; 33-Utilities.}$ 2. Contractor to verify with the owner and the utility companies the locations and elevations of all utilities prior to the star
- 3. Stockpile excavated material in locations to provide proper drainage and to minimize erosion. Coordinate use or
- removal of excess cut material with site work and the Owner.
- 4. Uniformly grade areas to achieve a smooth finished surface with uniform levels or slopes between existing and new grades. Existing grades outside the area of land disturbing activity shall be maintained and repaired if damaged during the course of work. Finish grades shall be formed to provide positive drainage away from the building. 5. Examine finish surface, grades, topsoil, quality and depth of planting substrate. Do not begin work until unsatisfactory
- Terrace trees must be protected during construction activity, including preventing root cutting, bark abrasion, and soil compaction. Coordinate with the City of Madison Forestry.

## LANDSCAPE WORKSHEET

#### Landscape Points Required

Developed Area = Landscape Points: 10,802/300 x 5 =	10,802 SF <b>180 points</b>
Total Landscape Points Required	180 points
Landscape Points Supplied	
Existing canopy trees $-1$ @ $35$ = Proposed canopy trees $-4$ @ $35$ = Existing evergreen trees $-0$ @ $35$ = Proposed evergreen trees $-1$ @ $35$ = Existing ornamental trees $-3$ @ $15$ = Proposed ornamental trees $-3$ @ $15$ = Existing upright evergreen shrubs $-0$ @ $10$ = Proposed upright evergreen shrubs $-0$ @ $10$ = Existing deciduous shrubs $-0$ @ $3$ = Proposed deciduous shrubs $-27$ @ $3$ = Existing evergreen shrubs $-0$ @ $4$ = Proposed evergreen shrubs $-27$ @ $4$ = Existing perennials & grasses $0$ @ $2$ = Proposed perennials & grasses $12$ @ $2$ =	35 points 140 points 0 points 35 points 45 points 45 points 0 points 0 points 0 points 10 points 108 points 0 points 24 points

# Total landscape points supplied =

Lot Frontage Landscape Required (Section 28.142(5) Development Frontage Landscaping)

"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

513 points

Odana Road =	212 LF
Over story trees required 212'/30' = 7.06 Shrubs required (1,194'/30') x 5 = 35.3	7 trees 35 shrubs
Over story trees supplied Ornamental trees supplied Shrubs supplied	5 trees 4 trees 35 shrubs

### **City of Madison Forestry Notes:**

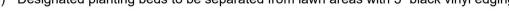
- All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being
- 2. As defined by Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website:
- https://www.cityofmadison.com/business/pw/specs.cfm
  The contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. The contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation will be required. Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of
- parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.

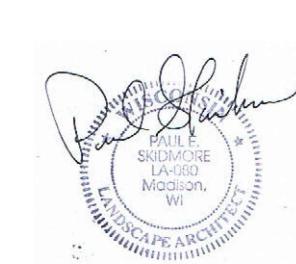
  On this project, street tree protection zone fencing is (not) required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire
- width of terrace and extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
- Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.

#### **PLANT LIST**

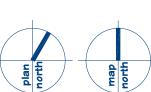
TAG	KEY	QUAN	SIZE	COMMON NAME	Botanical Name F	ROOT
A B C D	(7) EHL EP ES-A ES-K SHL	1 2 1 1 2	Canopy 21" 2 ½" 12" 1 ½" 2 ½"	<u>/ Trees</u> Existing Honeylocust  Exclamation Planetree  Ash (Street Tree)  Coffee Tree (Street Tree)  Skyline Honeylocust	Gleditsia Tricanthos Platanus Occidentalis Fraxinus Gymnocladus Gleditsia Tricanthos 'Skyline'	EX BB EX EX BB
F G H	(7) ACH EFC TSC	1 3 3	Ornamo 2" 6" + 2"	ental Trees Amur Chokecherry Existing Flowering Crab Tina Sargent Crab	Prunus Americana Malus Malus Sargentii 'Tina'	BB EX BB
J	(1) BHS	1	Evergre 5'	<u>een Trees</u> Black Hills Spruce	Picea Glauca 'Densata'	ВВ
K L M N P	(27) AVB DBH GDP LDN LQFH	1 7 5 8 6	Decidue 4' 18" 18" 24" 24"	ous Shrubs Arrowood Viburnum Dwarf Bush Honeysuckle Gold Drop Potentilla Little Devil Ninebark Little Quick Fire Hydrangea	Viburnum Dentatum Diervilla Lonicera Potentilla Fruticosa Physocarpus O 'Donna May' Hydrangea P 'Little Quick Fire	Pot Pot Pot Pot
Q R S	(27) KCJ BCJ BRJ	16 5 6	Evergre 18" 15" 18"	<u>een Shrubs</u> Kallay Compact Juniper Blue Chip Juniper Blue Rug Juniper	Juniperus P "Kallay Compact' Juniperus H 'Blue Chip' Juniperus Horizontalis	Cor Cor Cor
Т	(12) SWD	12	Perenn 1 G	<u>ials</u> Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Cor
NOTES	S:					

- 1) New lawn areas and existing lawn areas disturbed by construction to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mat.
- 2) Foundation planting beds to be mulched with 2 ½" washed stone mulch spread to a depth of 3" over weed barrier fabric.
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3"
- 4) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.





August 4, 2023



landscape plan

contact: Robert Lackore robl@bourildesign.com 608-833-3400

a) Refer to the foundation plan drawings for foundation wall construction.

b) Refer to the partition schedule on the floor plan drawings for partition construction. c) Refer to the wall section drawings for exterior wall construction.

d) Refer to the building section drawings for locations of cavity and continuous insulation that define the thermal envelope.

interior framed partition, fire-resistive rated interior framed partition, furred or chase hatch indicates the partition is load bearing exterior framed wall cast-in-place concrete foundation wall

### general notes

These notes describe typical project conditions and requirements; exceptions are noted on

abbreviations

of the document will prevail.

The following abbreviations may be used

throughout the document set. Some definitions

approximate, or approximately

the "dash" modifies the first abbreviation

the "slash" combines two abbreviations into

ov/mwo = oven and microwave oven

bt-fs = bathtub, free standing

ov-d = oven, double

conference room

mechanical room

number, or pound

plus or minus

with the second, e.g.:

a single unit, e.g.:

bdrm bedroom

clos closet

elev elevator

furn furnace room

laund laundry room

mast master suite

linen closet

mud room

utility room

water closet

walk-in closet

anchor bolt, or air barrier

accu air-conditioning compressor and

condensing unit

above finish floor

addendum

aggregate

air handler

alum aluminum

anchor

av-r air vent – return

av-s air vent - supply

bottom of

board

bldg building

bath fan

bituminous

beverage cooler

aggr ah

bit

acoustical ceiling tile

adjustable, or adjacent

approx approximate, or approximately

air purification system

architect, or architectural

alternating current, or air conditioning

architecturally exposed structural steel

vestibule

shower

the most appropriate definition within the context btwn

share a common abbreviation; in these cases

- 1. If a specification has been published with this project it will govern the project's material and performance requirements. Areas not covered by a specification will be governed by the standards and best practices of the construction trades, related industries, and professional societies. Details, notes, and instructions on the drawing set take precedence. All work will conform to the governing ordinances, codes, and regulations. If
- 2. The content of this drawing set is to be interpreted within the context of any other published drawings, notes, or specifications contained within the document set, including

a discrepancy cannot be resolved, contact the architect for clarification.

- those from other trades, designers, suppliers, etc. 3. Do not scale the drawings; use the provided dimensions and check details for the
- location of all items not dimensioned on the drawings.
- 4. The general contractor and subcontractors shall thoroughly familiarize themselves with the scope and nature of the new construction prior to the start of work. The general contractor shall coordinate all the trades and is responsible for the proper operation of all

6. All work outside of the area of construction shall be protected from incidental damage.

- 5. The general contractor and subcontractors shall verify existing conditions prior to the start of work. Conditions which differ significantly from those anticipated or as shown within these drawings shall be referred to the architect prior to the start of work.
- Any damage shall be repaired as new to the owner's satisfaction prior to the completion 7. The general contractor shall plug and block penetrations through the exterior building
- envelope to prevent pest and nuisance animal infestation. 8. Final material and product selection, color, finish, installation details, etc. are to be coordinated with the owner.

### design criteria

Exterior lintels supporting masonry

Other structure

Exterior walls

Interior walls

Structural elements and systems shall be designed to support the actual dead loads of the components, materials, and anticipated equipment or furnishings, as well as the following live loads unless noted otherwise:

L/600

L/240

H/360

<u>UDC Vertical gravity live loads</u> Floors, private living areas	40 psf
Floors, public areas and corridors	100 psf
Exterior balconies, decks, and porches	40 psf
Garage floors	50 psf
Ceilings and attics without storage	5 psf
Roofs (ground snow load)	30 psf
Wind loads	
Uplift and horizontal	20 psf (or per the MV
analysis)	
Allowable maximum deflections under total load	d
Opening headers	1/4"
Floor joists	L/480
Ceiling joists	L/360
Roof rafters	L/360

Redevelopment for Smart Stay ApartHotel LLC



plate, or property line

pounds per lineal foot

pounds per square foot

pounds per square inch

pressure treated, or preservative

parallel strand lumber

trench drain

temporary

top of curb

towel ring

television

typical

unex unexcavated

transfer switch

under counter

vapor barrier

vapor retarder

wood burning

water closet

water heater

water softener

extra strong

Construction

ASHRAE American Society of Heating,

Engineers

Association for Materials Protection

and Performance (formerly SSPC)

American Society of Civil Engineers

Refrigerating, and Air-Conditioning

American Society of Mechanical

American Society for Testing and

Architectural Moodwork Institute

American Wood Council

American Melding Society

American National Standards

Engineered Wood Association

governance

AISC

waterproof

wood

window

vertical

unfinished

tubular daylighting device

telephone, or telecommunication

plastic laminate

prefabricated

plywd plywood

poly polyethylene

treated

quantity

radius, or rador

roof drain

refrigerator

reinforced

required

resilient

revision

room

south

sanitary

sheet

shower

sched schedule

shwr

sp&b

solid core

shower head

specification

standard

structural

symmetrical

subfloor

top of

storage

range hood

roof louver

rough opening

sound attenuation blanket

square foot, or square feet

structured media enclosure

smart management module

spray polyurethane foam

standby power generator

segmental retaining wall

steam shower generator

steam shower control

steam shower head

switch, or shear wall

transformer/inverter

trash and recycling

tread, or thick, or thickness

textured acrylic finish system

stainless steel, or steam shower

sump pump and basin

surface mounted, or shower module

right of way

reflected ceiling plan

pva photovoltaic array

electric, or electrical

elevation, or elevator

engineer, or engineered

effluent pump and basin

expanded polystyrene

energy recovery ventilator

electric service meter

electric service panel

Fahrenheit, or furnace

field height adjustable

existing to remain

each way

expansion

exterior

face of

forced air

foot candle

floor drain

fiberglass

fluorescent

fireplace

freezer

footing

flush mounted

free standing

furr, or furring

gage, or gauge

general contractor

garage door opener

ground fault interrupt

glass fiber reinforced

gross square feet

aas service meter

of gypsum panel products

heat pump condensing unit

hour, or hand rail

hanging rod and shelf

heat recovery ventilator

ironing board cabinet

gypsum wallboard, or any of a variety

heating ventilation and air conditioning

galvanized

aeotextile

ground

gypsum

hot and cold

hose bibb

hardwood

header

horizontal

horiz

gas plug

furnace, or furnish, or furniture

foot, or feet

field verify

finished floor

exhaust vent

excav excavate, or excavation

electric service disconnect

electric vehicle charging station

fabric, or fabricate, or fabrication

equal

equip equipment

exist

fluor

inch

joint

pound

live load

light weight

maintenance

make up air unit

masonry

maximum

medium

manufacturer

miscellaneous

municipal water meter

microwave oven

not in contract

number

nominal

out to out

on center

overhead

opposite

oven

parallel

perm permeable

perp perpendicular

partition

ohwm

opp

par

outside diameter

owner furnished contractor installed

owner furnished owner installed

ordinary high water mark

oriented strand board

plumbing contractor

pounds per cubic foot

not to scale

minimum

mirror

molding

mounted

mountina

metal

mech mechanical

mas

mtd

insulation

intake vent

junction box

kilopounds per square inch

liquified petroleum gas regulator

mechanical electrical plumbing

laminate, or lamination

laminated strand lumber

laminated veneer lumber

light emitting diode

linear, or lineal

insul

beam, or benchmark

base plate, or bearing plate

bar sink, or bench seat

bath tub, or brine tank

braced wall line

center-to-center

clothes dryer

coat hook

cast in place

control joint

center line

cased opening

chamfer

celing

column

common

concrete

construction

contractor

carpet

cooktop

center

cubic

countertop

cubic foot

cubic yard

diameter

diagonal

dead load

dimension

downspout

direct vent

dishwasher

east, or electric

exhaust fan

exhaust hood

expansion joint

electrical contractor

drawing

detail

discharge outlet

domestic water system

diaphragm well tank

clothes washer

decibel, or doorbell

direct current, or door chime

deep, or depth, or double, or drawer

com

comp

const

cont

contr

cpt

cold-formed stee

construction bulletin

cement, or cementitious

concrete masonry unit

composition, or composite

continue, or continuous

course, or courses

chimney shroud

cabinet

braced wall panel

both ways, or braced wall

community antennae television

contractor furnished contractor installed ext

#### Renewable Energy tongue and groove Gypsum Association International Building Code International Code Council IECC International Energy Conservation toilet paper holder International Existing Building Code International Fire Code International Fuel Gas Code International Mechanical Code International Plumbing Code International Residential Code Institute of Electrical and Electronics National Electric Code uno unless noted otherwise National Electrical Manufacturers Association National Fire Protection Association National Sanitation Foundation Occupational Safety and Health Portland Cement Association Precast Prestressed Concrete west, or wide, or width Steel Joist Institute washer and dryer combination SMACNA Sheet Metal and Air-Conditioning Contractors National Association Society for Protective Coatings (now Tile Council of America Telecommunications Industru Association water resistant, or weather resistant Truss Plate Institute weather resistant barrier Underwriters' Laboratories WRCLA Western Red Cedar Lumber Association welded wire reinforcement MMPA Mestern Wood Products Association extruded polystyrene associations, societies, and AASHTO American Association of State Highway and Transportation Officials American Concrete Institute American Institute of Architects American Institute of Steel Construction American Institute of Timber

Brick Institute of America

Concrete Reinforcing Steel Institute

Environmental Protection Agencu

Office of Energy Efficiency and

# project summary

Madison, Dane County, WI

principal governing codes and ordinances Wisconsin Commercial Building Code, SPS 361-366 City of Madison Code of Ordinances Park Towne Declaration of Covenants, Conditions, and Restrictions

#### parcel data

address: 6302 Odana Rd, Madison, WI, 53719 parcel number: 070825101119 aldermanic district: 19, Keith Furman zoning district: SE Suburban Employment lot area: 24,945 sq ft (assessed)

### existing design standards

occupancy classification: Business Group B use: professional offices construction classification: Type VB, unsprinklered

## proposed design standards

occupancy classification: Residential Group R-1 construction classification: Type VB, fully sprinklered classification of work: Alteration Level 3, Change of Occupancy

#### land use summary

building footprint: 3,825 square feet (sf) building area: 12,015 sf, including balconies suites: 14 Tupe B. 1 Accessible, from 369 sf to 552 sf lot area: 25,030 sf (as surveyed) lot coverage: 13,553 sf, or 54% (75% max) paved area: 10,833 sf, includes all asphalt and concrete landscaped area: 12,006 sf, excludes the north and east drainage

usable open space: 6,315 sf, or 421 sf/unit (400 sf/unit min)

Design

oto

art

0

opm

# drawing index

landscape plan title page perspective reference images A1.2 lot plans A1.3 lot lighting plan lot lighting cut sheets shed and dumpster plans basement floor plan first floor plan second floor plan A4.3 roof plan A5.0 exterior elevations exterior elevations



project #: 23002 contact: Robert Lackore robl@bourildesign.com

print date: 8/4/2023 ull size: ARCH D 24×36

608-833-3400

title page

exterior perspective notes

material and finish key

1. These perspective images are intended to assist the contractor in visualizing the architectural design intent, including material types and transitions, window and door placement, exterior elements such as downspouts and light fixtures,

and growth are approximate. Refer to the landscape plan for species identification and specifications.

4. Location of utility and service equipment must be coordinated with the utility provider and the relevant trades.

A. horizontal siding: Vicwest, Bellara formed metal wall panels, Deep Walnut finish
B. horizontal siding, accent: Vicwest, 7/8 corrugated exposed fastener formed metal wall panel, Espresso finish
C. vertical siding: Vicwest AD 300 formed metal wall panel, Cambridge White finish
D. adhered stone veneer: Elodorado Stone, Vantage30 style, White Elm blend

for clarity, trees which obscure the

view of the building are not shown

E. roof shingles: Certainteed, Landmark asphalt shingles, Burnt Sienna color
F. architecturally exposed structural steel: Tnemec, Enduratone acrylic polymer top coat, Black 35GR color

special note



A1.1

perspective reference images







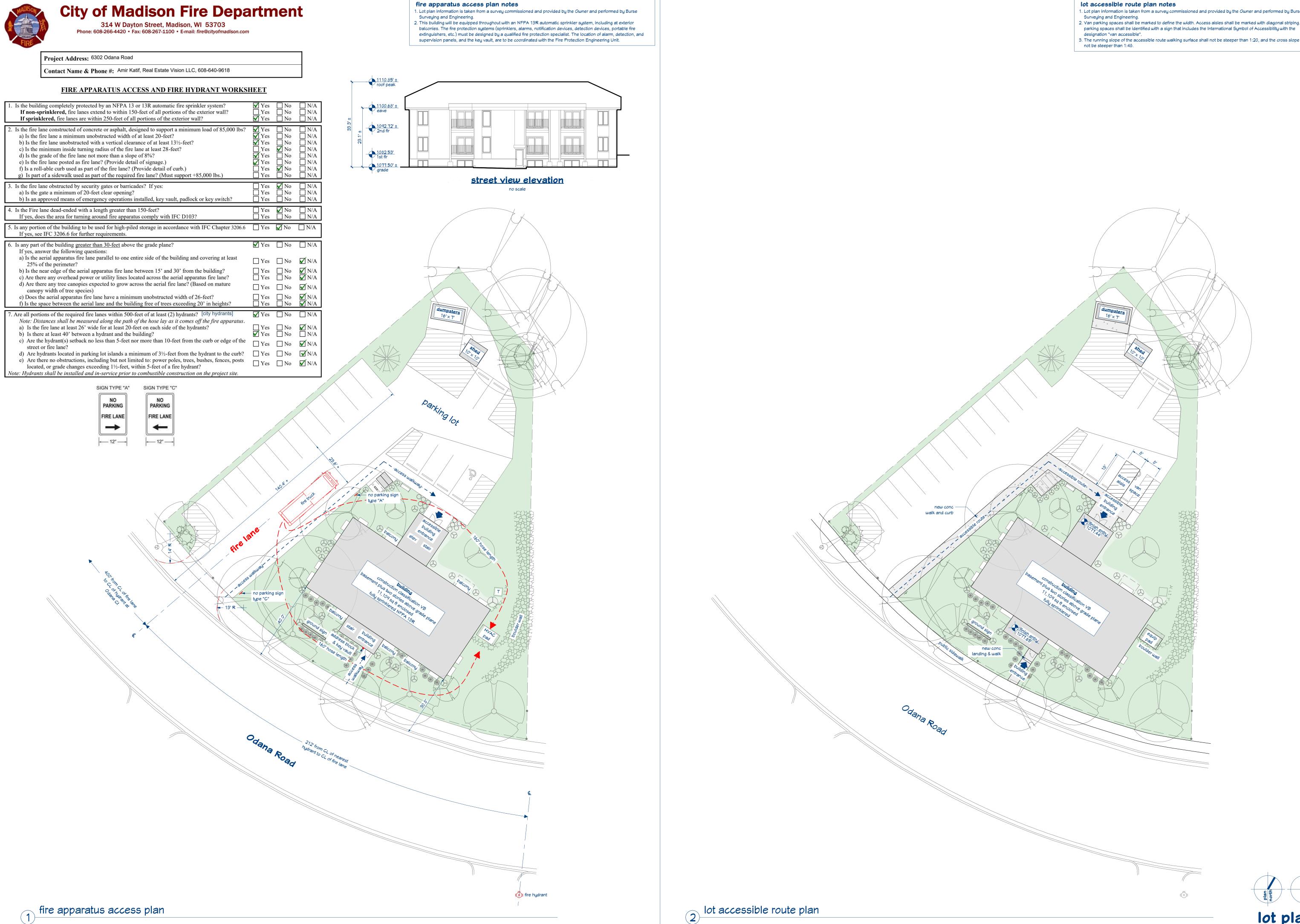












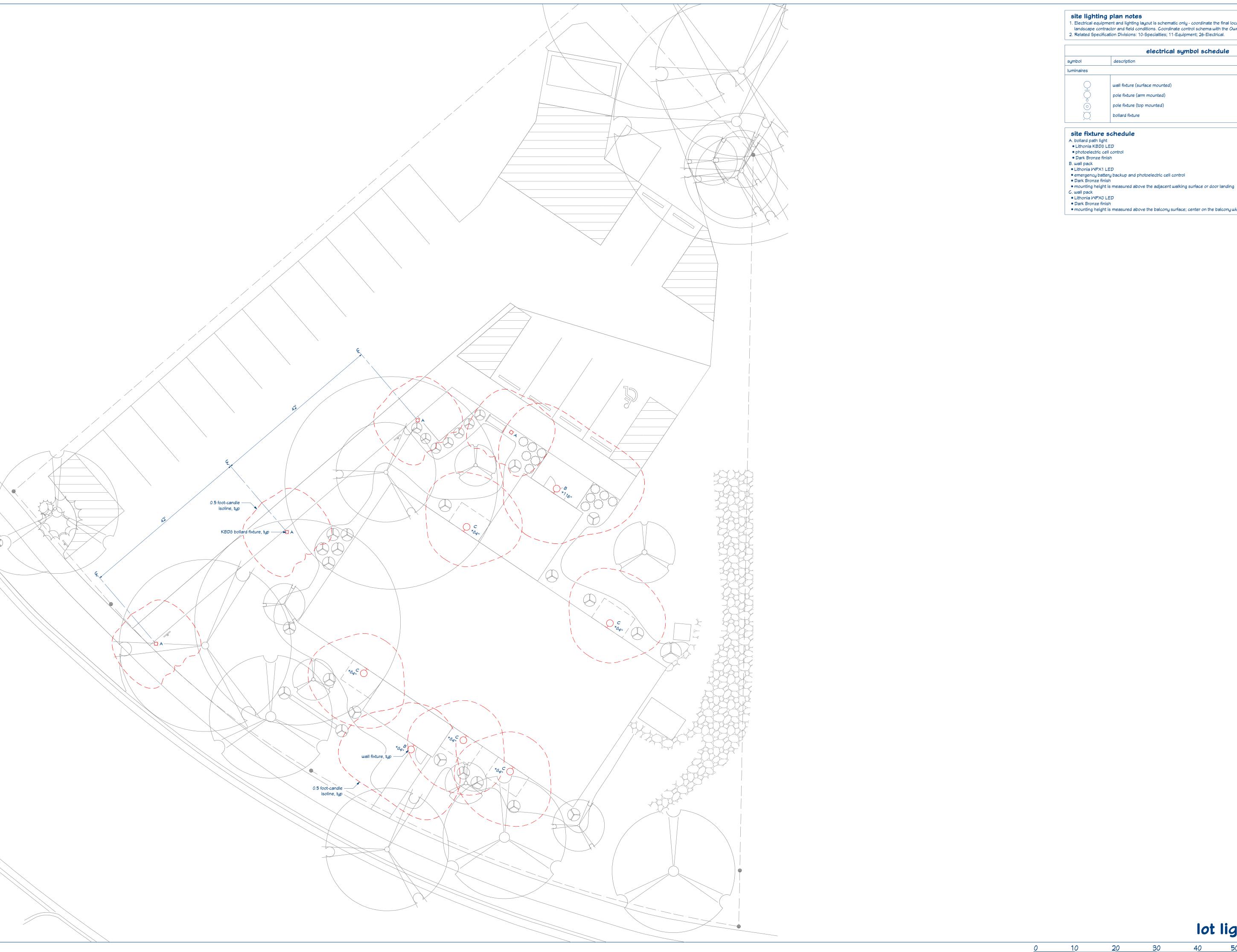
1. Lot plan information is taken from a survey commissioned and provided by the Owner and performed by Burse

2. Van parking spaces shall be marked to define the width. Access aisles shall be marked with diagonal striping. Van

3. The running slope of the accessible route walking surface shall not be steeper than 1:20, and the cross slope shall



otel Redevelopment

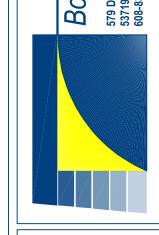


site lighting plan notes
1. Electrical equipment and lighting layout is schematic only - coordinate the final locations of ground fixtures with the landscape contractor and field conditions. Coordinate control schema with the Owner.
2. Related Specification Divisions: 10-Specialties; 11-Equipment; 26-Electrical.

electrical symbol schedule

typical notations and modifiers wall fixture (surface mounted) enclosure and mounting +12" mounting height in inches pole fixture (arm mounted) pole fixture (top mounted) fixture information A fixture type (uppercase)

• mounting height is measured above the balcony surface; center on the balcony width, not on the patio door



lot lighting plan

**Specifications** 

8" Round

27lbs (12.25 kg)

# asymmetrical full cut-off path light Introduction

The KBD8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

Number A-KBD8 LED 12C 350 30K ASY MVOLT

four (4) total fixtures

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBD8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: KBD8 LED 16C 700 40K SYM MVOLT I						MVOLT DDB)		
KBD8 LED	12C	350	30K	ASY	MVOLT	PE		DDBXD
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Control options	Other options	Finish (required)
KBD8 LED	Asymmetric 12C 12 LEDs <sup>1</sup> Symmetric 16C 16 LEDs <sup>2</sup>	350 350 mA 450 450 mA <sup>3,4</sup> 530 530 mA 700 700 mA	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted AMBLW Amber limited wavelength 3.4	ASY Asymmetric <sup>1</sup> SYM Symmetric <sup>2</sup>	MVOLT 5 120 5 208 5 240 5 277 5 347 4	Shipped installed PE Photoelectric cell, button type DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ELCW Emergency battery backup, CA Title 20 Noncompliant 6	Shipped installed  SF Single fuse (120, 277, 347V) 47  DF Double fuse (208, 240V) 47  H24 24" overall height  H30 30" overall height  H36 36" overall height  FG Ground-fault festoon outlet  L/AB Without anchor bolts (3 bolt base)  L/AB4 4 bolt retrofit base without anchor bolts 8	DWHXD White DNAXD Natural aluminui DDBXD Dark bro DBLXD Black DDBTXD Textured dark bror DBLBXD Textured black DNATXD Textured natural aluminui DWHGXD Textured white

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

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350 | 16 | 641 | 40 | 1 | 1 | 1 | 809 | 51 | 1 | 1 | 1 | 870 | 54 | 1 | 1 | 1

350 | 20 | 888 | 44 | 1 | 0 | 0 | 1,116 | 56 | 1 | 0 | 0 | 1,203 | 60 | 1 | 0 | 0

700 | 39 | 1,608 | 41 | 1 | 0 | 1 | 2,022 | 52 | 1 | 0 | 1 | 2,180 | 56 | 2 | 0 | 1

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be

4 3 2 1 0 1 2 3 4

Asymmetric 530 22 947 43 1 1 1 1,191 54 1 1 1 1,282 58 1 (12 LEDs) 700 31 1,214 40 1 1 1 1,527 51 1 1 1 1,646 55 1 1

Symmetric 530 28 1,254 45 1 0 0 1,598 57 1 0 1 1,719 61 1 0

calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Isofootcandle plots for the KB LED Bollards. Distances are in units of mounting height (3')

4 3 2 1 0 1 2 3 4 🚎

0 25,000 50,000 100,000

The rugged construction and clean lines of the KBA bollard is ideal for illuminating

location requiring a low mounting height light source with fully cutoff illumination.

extreme durability, a high-impact clear acrylic lens and welded top cap. Die-cast

aluminum mounting ring allows for easy leveling even in sloped locations and a full

360-degree rotation for precise alignment during installation. Three  $\frac{1}{2}$ " x 11" anchor bolts with double nuts and washers and 3 ¾" bolt circle template ensure stability.

building entryways, walking paths, and pedestrian plazas, as well as any other

One-piece 8-inch round extruded aluminum shaft with thick side walls for

Exterior parts are protected by a zinc-infused super durable TGIC thermoset

powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements

without cracking or peeling. Available in both textured and non-textured finishes.

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

LITHONIA

Amber 450 20

Projected LED Lumen Maintenance

Photometric Diagrams

**FEATURES & SPECIFICATIONS** 

Overall height is 42" standard.

INTENDED USE

CONSTRUCTION

LIGHTING.

MRAB U Anchor bolts for KBD8 LED 8

Only available in the 12C, ASY version. Only available in the 16C, SYM version

324 20 0 1 0

374 | 19 | 0 | 0 | 0

16W 0.158 0.118 0.114 0.109 0.105

22W 0.217 0.146 0.136 0.128 0.118

28W 0.282 0.178 0.162 0.148 0.135

39W 0.385 0.231 0.207 0.185 0.163

Light engines consist of high-efficacy LEDs mounted to metal-core circuit

boards to maximize heat dissipation and promote long life (L95/100,000 hours

at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life

of 100.000 hours with < 1% failure rate. Electrical components are mounted on

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated.

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/resources/buy-american for

Five-year limited warranty. Complete warranty terms located at

Rated for -40°C minimum ambient. Cold-weather emergency battery backup

 Amber 450
 20W
 0.199
 0.139
 0.130
 0.123
 0.116

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's KBD8 Bollard homepage

a removable power tray.

additional information.

rated for -20°C minimum ambient.

- Only available with 450 AMBLW version. Not available with ELCW. 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option. 8 MRAB U not available with L/AB4 option.



3000K

WPX LED Rev. 03/08/22

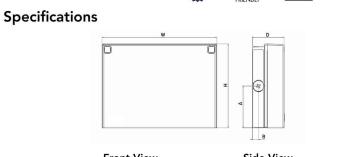












		Front View		Side V	iew	
Luminaina	Haimbe (II)	WEJSE (W)	Double (D)	Side Condu	it Location	Wateha
Luminaire	Height (H)	Width (W)	Depth (D)	A	В	Weight
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution. The WPX full cut-off solutions fully cover the

The WPX LED wall packs are energy-efficient, cost-

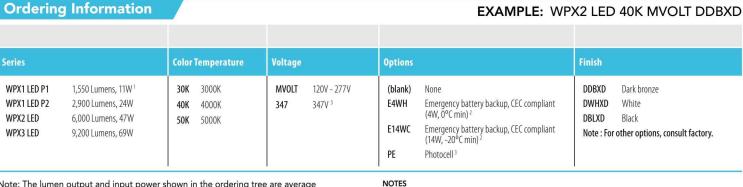
Catalog Number WPX1 LED P1 30K MVOLT

full cut-off wall pack

Introduction

two (2) fixtures, one at each entry

footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.



Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.  All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.
 Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD 2. Battery pack options only available on WPX1 and WPX2. 3. Battery pack options not available with 347V and PE options.

#### **FEATURES & SPECIFICATIONS**

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs

#### CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

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Lumen Ambient Temperature

Use these factors to determine relative

lumen output for average ambient

(LAT) Multipliers

# Performance Data

Electrical Lo	oad					
Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

**Projected LED Lumen Maintenance** Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the

ralues, contact factory.		ow. For other lui	men maintenance
Operating Hours	50,000	75,000	100,000
Lumen Maintenance	>0.94	>0.92	>0.90

H	IID Replacem	ent Guide	
	Luminaire	Equivalent HID Lamp	WPX Input Power
	WPX1 LED P1	100W	11W
	WPX1 LED P2	150W	24W
	WPX2	250W	47W

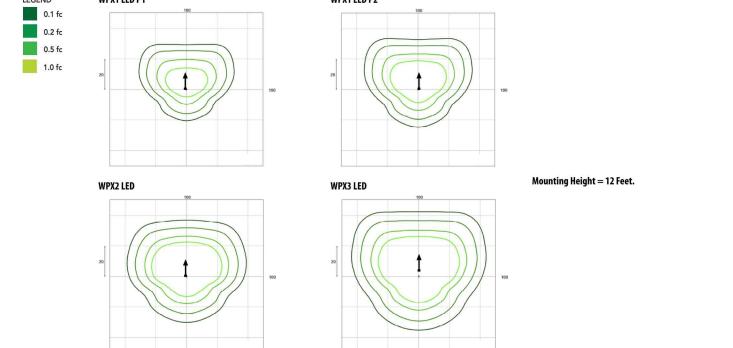
				L IOI average	
WPX1 LED P1	4000K	1,568			C (32-122°F).
	5000K	1,602	Ambient	Ambient	Lumen Multipli
	3000K	2,748	0°C	32°F	1.05
/PX1 LED P2	4000K	2,912	5℃	41°F	1.04
	5000K	2,954	10°C	50°F	1.03
	3000K	5,719	15℃	59°F	1.02
WPX2	4000K	5,896	20°C	68°F	1.01
	5000K	6,201	25℃	77°F	1.00
	3000K	8,984	30°C	86°F	0.99
WPX3	4000K	9,269	35℃	95°F	0.98
	5000K	9,393	40°C	104°F	0.97

ment Guide					
	Equivalent HID Lamp	WPX Input Power			
	100W	11W			
	150W	24W			
	250W	47W			

	5000K	9,393	40°C	104°F	0.97
			2		
Emergenc	v Earess	Battery Pa	ncks		
		-		- no external	I housing or back
					nimum duration of
		num initial outp	out of 550 lumen	s. Both batte	ry pack options are
CEC compliant					

Minimum Power Controls

WI AZ	25011	0.0			Rating	(Watts)	Option	
WPX3	400W	69W			Macing			
				Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT <b>E4WH</b> DDI
				Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT <b>E14WC</b> DD
otometri	: Diagrams	To see complete photor accordance with IESNA	netric reports or dov LM-79 and LM-80 st	wnload .ies files for t andards	this product, visit th	e Lithonia Liç	ghting WPX	LED homepage. Tested in
ID WP	X1 LED P1		WPX1 LED P2					
0.1 fc	100			100				





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KBD8-LED Rev. 11/21/22

# LITHONIA LIGHTING

COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

Rev. 03/08/22

# WPX0 LED





WPX0 LED ALO-1 30K MVOLT

full cut-off wall pack

WPX can be mounted directly over a standard electrical junction box. A port on the back surface

allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated.

5-year limited warranty. This is the only warranty provided and no other statements in this

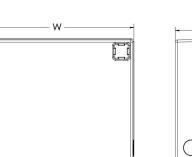
specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

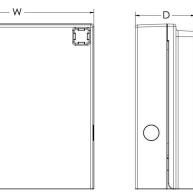
installations with LEDs facing downwards.

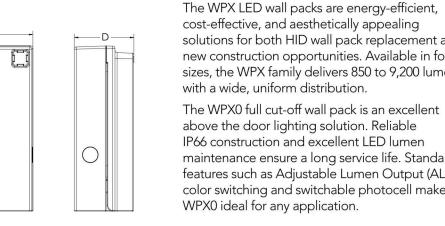
which versions are qualified.

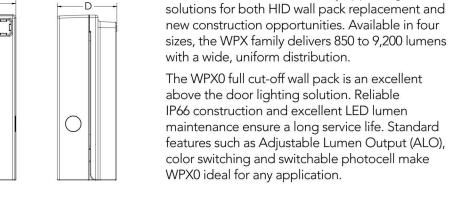
Introduction

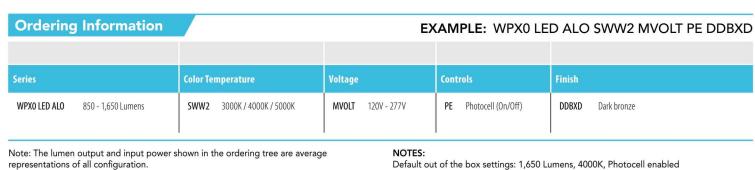
ten (10) fixtures, one above each suite patio door











### FEATURES & SPECIFICATIONS

Specifications

**Depth (D):** 2"

Height (H): 5.75"

Weight: 2.5lbs

Width (W): 5.5"

INTENDED USE The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX0, WPX1, WPX2 and WPX3 are ideal for replacing up to 70W, 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

Light engine consist of high-efficacy LEDs and LED lumen maintenance of L86/100,000 hours. Color temperature (CCT) can be switched between 3000K, 4000K and 5000K with minimum CRI of 80. Electronic driver ensures system power factor >90% and THD <20%. The luminaire operates on MVOLT (120V - 277V) input. A module inside the luminaire allows the installer to not only switch between CCTs, but also the

Note: Actual performance may differ as a result of end-user environment and application. adjust the lumen output and switch on and off the photocell (PE). Specifications subject to change without notice.

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Lumen Output

COMMERCIAL OUTDOOR

# Performance Data

Electrical Lo	oad				
ALO Setting	Input Power (W)	120 V (A)	208 V (A)	240 V (A)	277 V (A)
ALO 4	13.0	0.11	0.06	0.05	0.05
ALO 3	9.2	0.08	0.04	0.04	0.03
ALO 2	7.8	0.07	0.04	0.03	0.03
ALO 1	6.4	0.05	0.03	0.03	0.02
		0.000.00			0.04

**Projected LED Lumen Maintenance** Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance

s, contact factory.	142		
perating Hours	50,000	75,000	100,000
en Maintenance Factor	>0.93	>0.89	>0.86

#### 3000K 1,591 4000K 1,644 5000K 3000K 4000K 1,191 5000K 3000K 4000K 994 5000K 1,025

3000K

4000K

829

lumen output for average ambient temperatures from 0-50°C (32-122°F).						
Ambient Ambient Lumen Multip						
0°C	32°F	1.027				
5℃	41°F	1.023				
10°C	50°F	1.018				
15℃	59°F	1.012				
20°C	68°F	1.006				
25℃	77°F	1.000				
30°C	86°F	0.993				
35℃	95°F	0.986				
40°C	104°F	0.979				

Lumen Ambient Temperature

(LAT) Multipliers

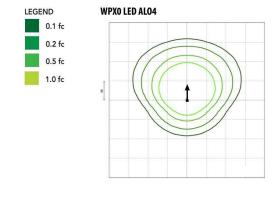
WPX0 LED

Rev. 10/31/22

WPX0 LED

Rev. 10/31/22

# To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards









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site lighting plan notes

1. Electrical equipment and lighting layout is schematic only - coordinate the final locations of ground fixtures with the landscape contractor and field conditions. Coordinate control schema with the Owner. 2. Related Specification Divisions: 10-Specialties; 11-Equipment; 26-Electrical.

	electrical symbol s	chedule
symbol	description	
luminaires		typical notations and modifiers
9	wall fixture (surface mounted) pole fixture (arm mounted)	enclosure and mounting +12" mounting height in inch
<u> </u>	pole fixture (top mounted) bollard fixture	fixture information A fixture type (uppercase

### site fixture schedule

photoelectric cell control

- A. bollard path light • Lithonia KBD8 LED
- Dark Bronze finish B. wall pack
- Lithonia MPX1 LED
- emergency battery backup and photoelectric cell control Dark Bronze finish
- mounting height is measured above the adjacent walking surface or door landing C. wall pack
- Lithonia MPX0 LED
- Dark Bronze finish • mounting height is measured above the balcony surface; center on the balcony width, not on the patio door

ommissi

Studi Design

ot elopme ð

project #: 23002

robl@bourildesign.com 608-833-3400

lot lighting cut sheets

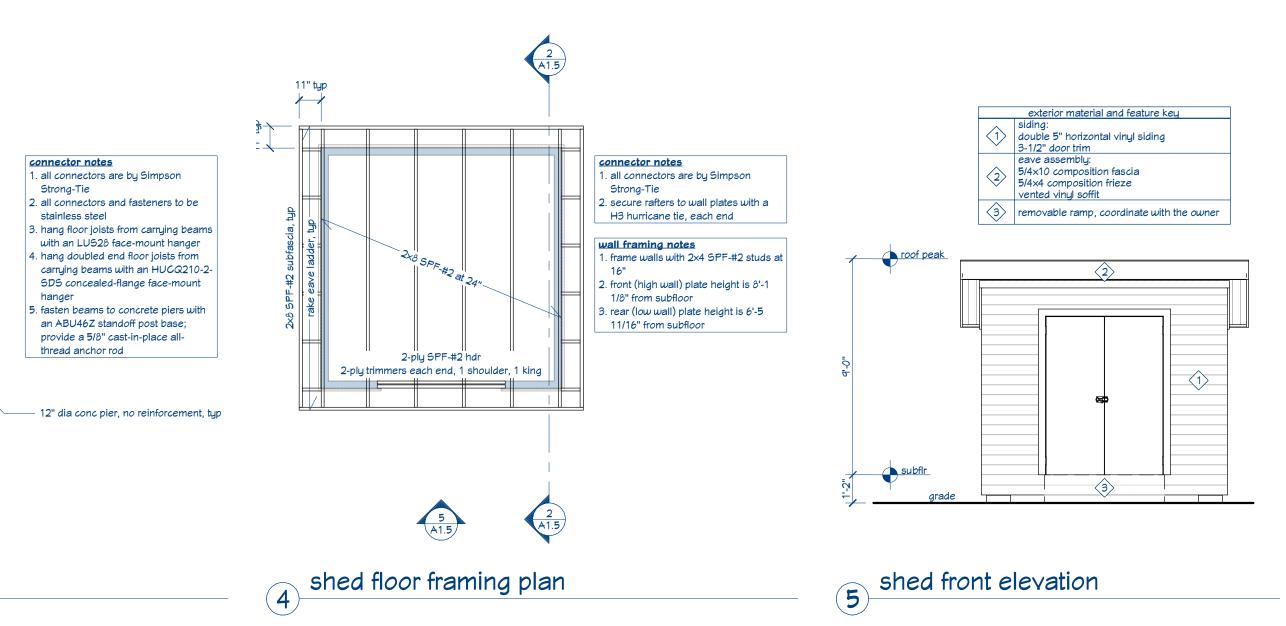
print date: 8/4/2023

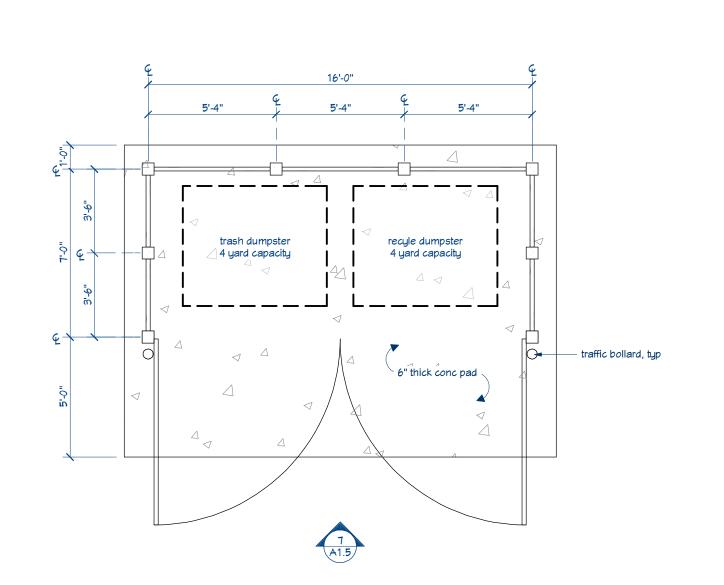
full size: ARCH D 24×36

contact: Robert Lackore

project #: 23002 contact: Robert Lackore robl@bourildesign.com 608-833-3400

shed and dumpster plans





89 sq ft

no interior finish

sand & seal the subfloor

60x80 biparting door

dumpster enclosure plan

provide locking barrel bolt

roof assembly asphalt shingles

2x8 roof framing

floor assembly

3/4" t&g subfloor

2 shed building section

2×10 floor framing

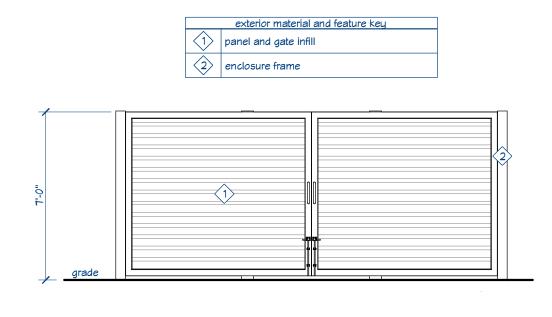
7/16" roof sheathing

self-adhered roof underlayment

wall assembly

7/16" wall sheathing

2x4 wall framing



3-1/2×9-1/4 2.0E Parallam PSL, SL-1

3-1/2x9-1/4 2.0E Parallam PSL, SL-1

shed floor framing plan

1. all connectors are by Simpson

2. all connectors and fasteners to be

4. hang doubled end floor joists from

an ABU46Z standoff post base;

provide a 5/8" cast-in-place all-

thread anchor rod

Strong-Tie

stainless steel





dumpster enclosure plan notes 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 03-Concrete; 05-Metal; 31-Earth Work; 32-Exterior Improvements. 3. Dimensions do not reference sheathing or other finish items unless noted otherwise. 4. All fasteners in contact with concrete shall be stainless steel.

shed plan notes

Moisture Protection; 08-Openings.

by the manufacturer or as required by the installation.

10. All concrete shall conform to the concrete design mix schedule.

5. All concrete shall conform to the concrete design mix schedule.

frame and hardware in Electric Black finish, infill panels in Oyster finish B. horizontal siding: Certainteed, Monogram vinyl siding, Natural Clay color

material and finish key

1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 03-Concrete; 05-Metal; 06-Moods, Plastics and Composites; 07-Thermal and

and fasteners in contact with concrete, metal, or the elements shall be stainless steel, galvanized finish or equal.

solid wood blocking at all joist spaces below supporting members to transfer loads through to the structure below.

A. dumpster enclosure: CityScapes, Covrit enclosure system with Toughgate swing gates and 7.2 Rib metal infill panels;

6. Connections not specified will be in accordance with applicable codes and best engineering practices, including

9. Footing and foundations are designed assuming a soil-bearing capacity of 2000 psf and a weight of 130 pcf.

3. Dimensions do not reference sheathing or other finish items unless noted otherwise.

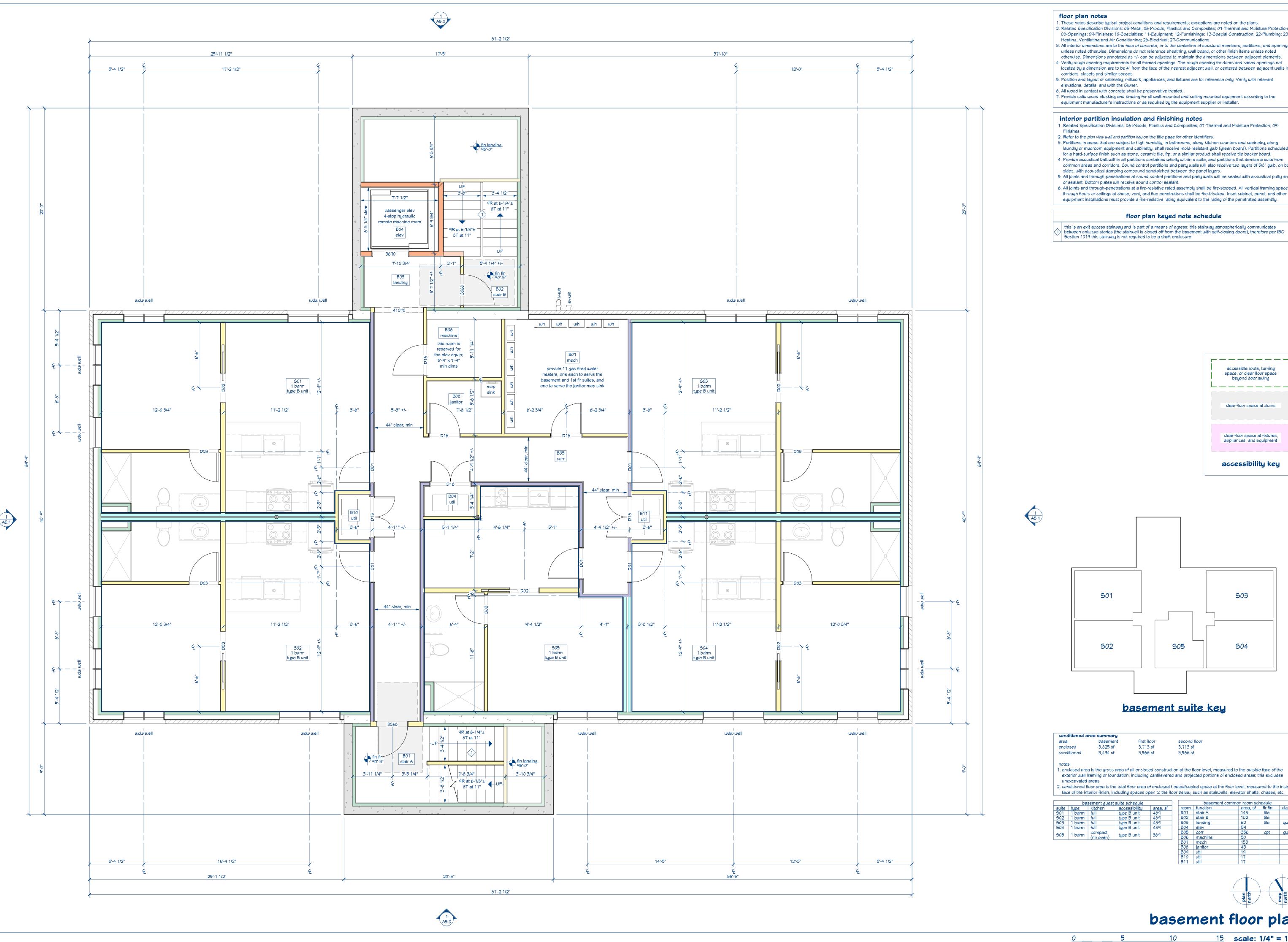
fastener type and spacing. All multi-ply structural members shall be stitched together.

7. Supported member bearing shall be the full depth of the supporting member or connector seat.



A1.5

15 **scale: 1/4" = 1'-0"** print date: δ/4/2023 full size: ARCH D 24×36



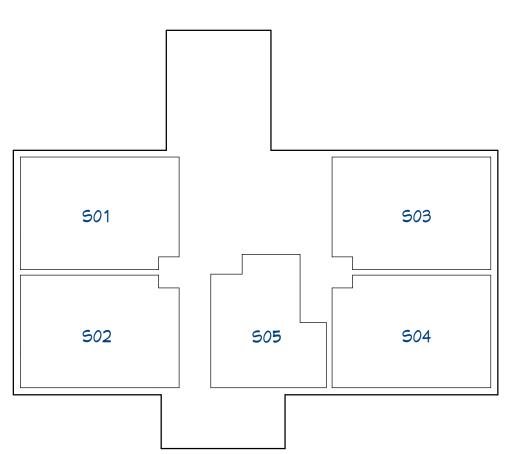
- 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 05-Metal; 06-Moods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-
- Heating, Ventilating and Air Conditioning; 26-Electrical; 27-Communications.
- 3. All interior dimensions are to the face of concrete, or to the centerline of structural members, partitions, and openings, unless noted otherwise. Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise. Dimensions annotated as +/- can be adjusted to maintain the dimensions between adjacent elements.
- located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
- 5. Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant
- elevations, details, and with the Owner. 6. All wood in contact with concrete shall be preservative treated.
- 7. Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the
- equipment manufacturer's instructions or as required by the equipment supplier or installer.
- interior partition insulation and finishing notes 1. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-
- 2. Refer to the plan view wall and partition key on the title page for other identifiers.
- 3. Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along laundry or mudroom equipment and cabinetry, shall receive mold-resistant gwb (green board). Partitions scheduled
- 4. Provide acoustical batt within all partitions contained wholly within a suite, and partitions that demise a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gwb, on both
- sides, with acoustical damping compound sandwiched between the panel layers. 5. All joints and through-penetrations at sound control partitions and party walls will be sealed with acoustical putty and/
- 6. All joints and through-penetrations at a fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistive rating equivalent to the rating of the penetrated assembly.

# floor plan keyed note schedule

this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1019 this stairway is not required to be a shaft enclosure

accessible route, turning beyond door swing clear floor space at doors clear floor space at fixtures, appliances, and equipment

accessibility key



# basement suite key

<u>area</u>	basement	first floor	second floor
enclosed	3,8 <b>25</b> sf	3, <b>7</b> 13 sf	3,713 sf
conditioned	3,494 sf	3,566 sf	3, <b>5</b> 66 sf
	- !- Na	f all anclosed constr	uction at the floor level, measured to the outside face of the

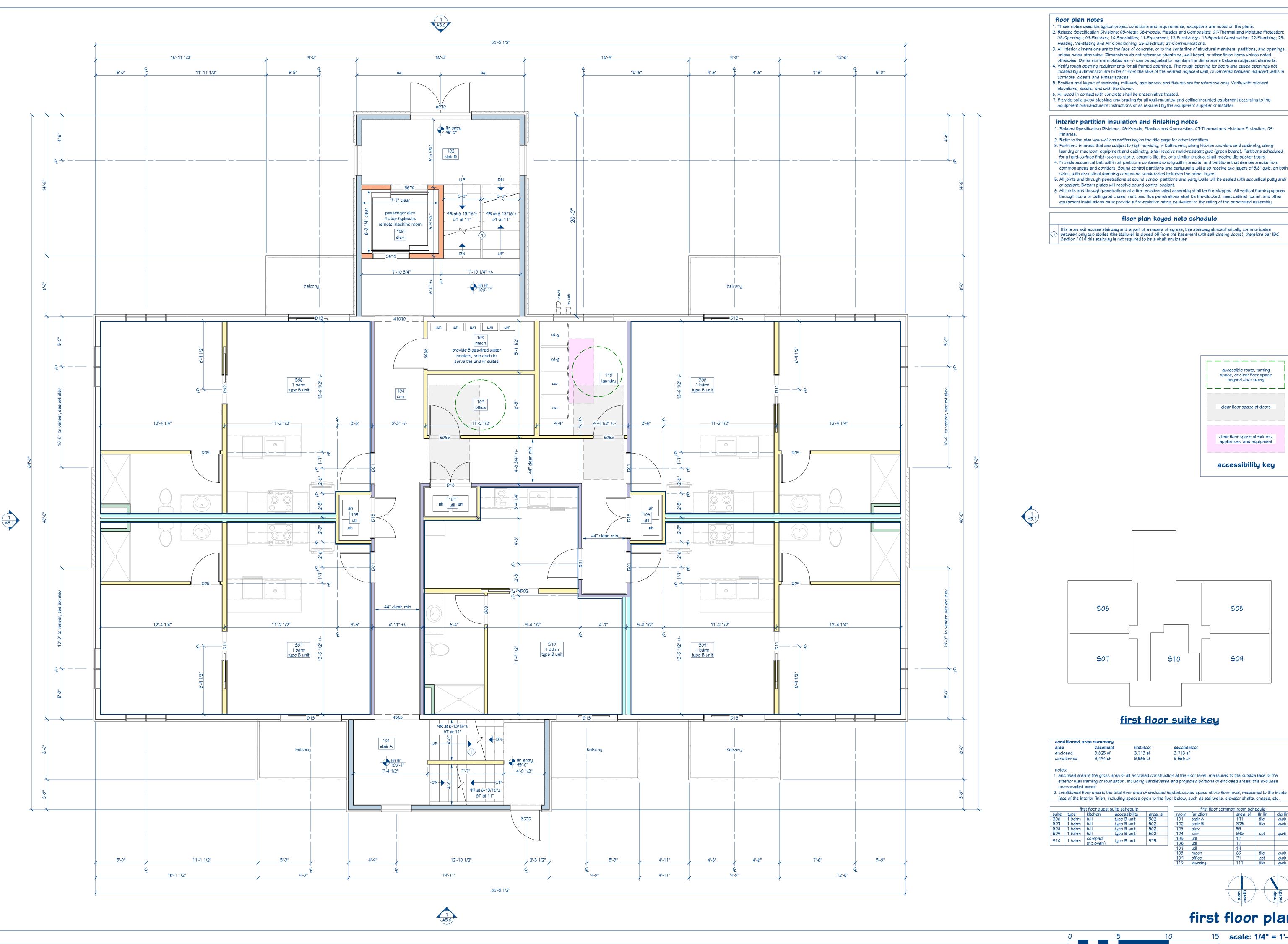
	ba	sement guest	suite schedule			basement o	ommon room sch	<u>nedule</u>	
suite	tupe	kitchen	accessibility	area, sf	room	function	area, sf	flr fin	clg fin
501	1 bdrm	full	tupe B unit	489	B01	stair A	148	tile	
502	1 bdrm	full	tupe B unit	489	B02	stair B	102	tile	
503	1 bdrm	full	type B unit	489	B03	landing	62	tile	gwb
504	1 bdrm	full	type B unit	489	B04	elev	59		
COF	1 la dessa	compact	han a Danih	24.0	B05	corr	356	cpt	gwb
505	1 bdrm	(no oven)	type B unit	369	B06	machine	50		
					B07	mech	<b>15</b> 3		
					B08	janitor	43		
					B09	util	19		
					B10	util	17		
					B11	util	17		



basement floor plan

608-833-3400

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- 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 05-Metal; 06-Moods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-
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- located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
- 5. Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant
- 6. All wood in contact with concrete shall be preservative treated.
- 7. Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the
- equipment manufacturer's instructions or as required by the equipment supplier or installer.
- 1. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-
- 2. Refer to the plan view wall and partition key on the title page for other identifiers. 3. Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along
- for a hard-surface finish such as stone, ceramic tile, frp, or a similar product shall receive tile backer board. 4. Provide acoustical batt within all partitions contained wholly within a suite, and partitions that demise a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gwb, on both
- sides, with acoustical damping compound sandwiched between the panel layers. 5. All joints and through-penetrations at sound control partitions and party walls will be sealed with acoustical putty and/
- or sealant. Bottom plates will receive sound control sealant.
- 6. All joints and through-penetrations at a fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistive rating equivalent to the rating of the penetrated assembly.

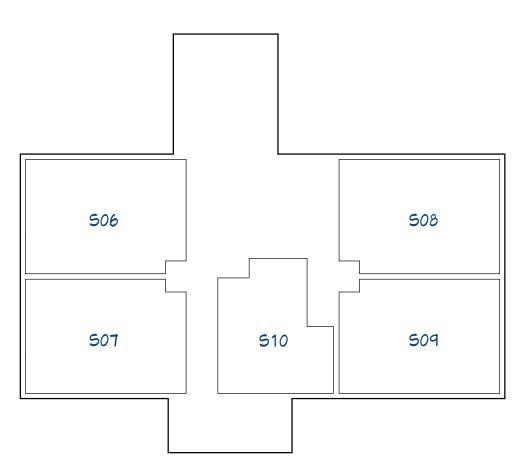
## floor plan keyed note schedule

this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1019 this stairway is not required to be a shaft enclosure

accessible route, turning beyond door swing clear floor space at doors clear floor space at fixtures, appliances, and equipment

ommission

accessibility key



# first floor suite key

3,713 sf 3,566 sf 3,713 sf 3,**5**66 sf 3,8**25** sf 3,494 sf

1. enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cantilevered and projected portions of enclosed areas; this excludes

2. conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level, measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.

	fin	st floor guest	suite schedule			first floor co	ommon room sch	edule	
suite	type	kitchen	accessibility	area, sf	room	function	area, sf	flr fin	clg fir
506	1 bdrm	full	type B unit	502	101	stair A	191	tile	gwb
507	1 bdrm	full	type B unit	502	102	stair B	305	tile	gwb
508	1 bdrm	full	type B unit	502	103	elev	<b>5</b> 3		
509	1 bdrm	full	type B unit	502	104	corr	348	cpt	gwb
510	1 bdrm	compact	tupe B unit	375	105	util	17		
510	1 Daim	(no oven)	igpe b unit	515	106	util	17		
					107	util	19		
					108	mech	60	tile	gwb
					109	office	71	cpt	gwb
					110	laundry	111	tile	gwb

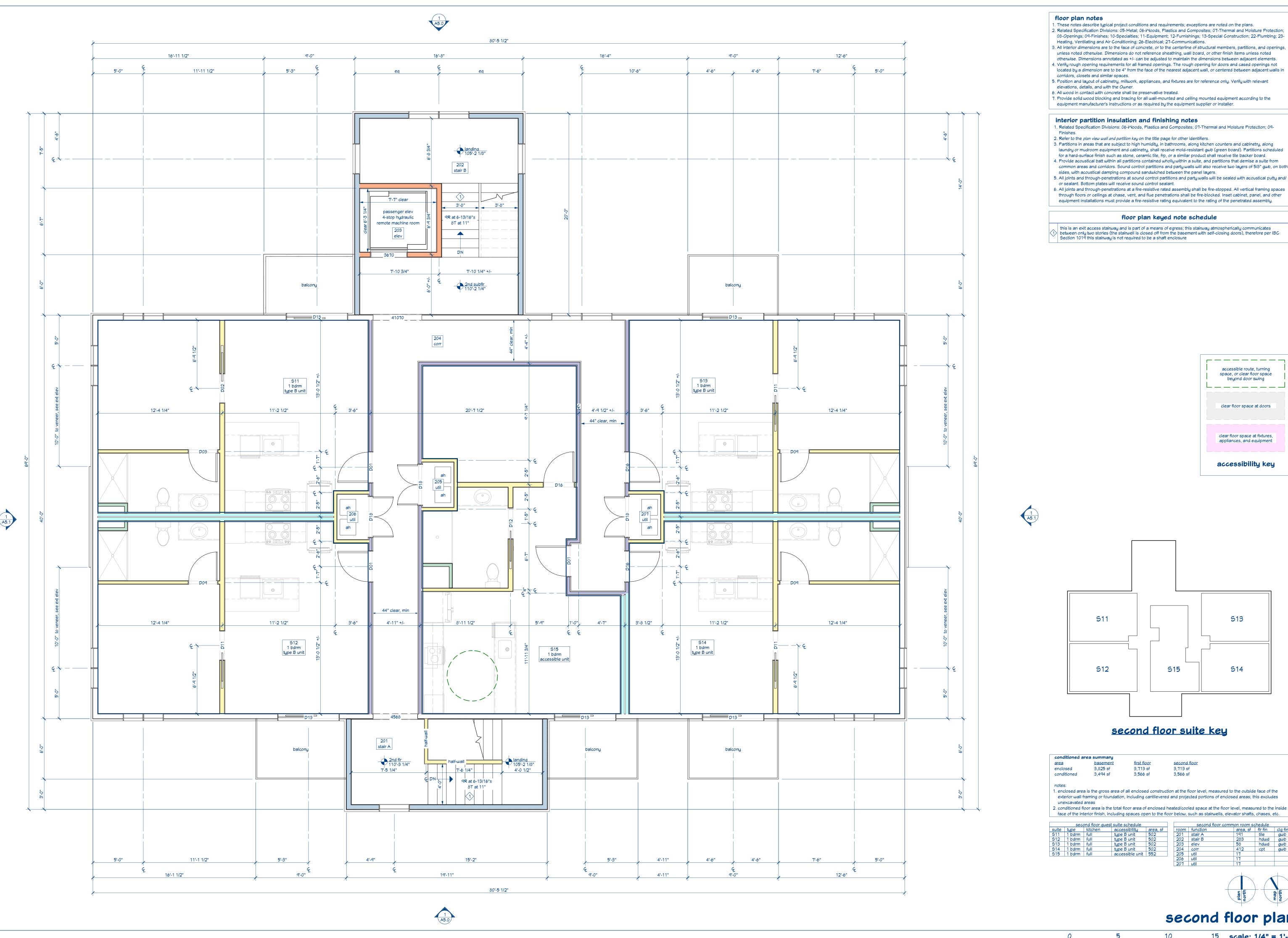


first floor plan

15 **scale: 1/4" = 1'-0"** print date: δ/4/2023 full size: ARCH D 24×36

contact: Robert Lackore robl@bourildesign.com 608-833-3400

elopment



- 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 05-Metal; 06-Moods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 11-Equipment; 12-Furnishings; 13-Special Construction; 22-Plumbing; 23-
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- 3. All interior dimensions are to the face of concrete, or to the centerline of structural members, partitions, and openings, unless noted otherwise. Dimensions do not reference sheathing, wall board, or other finish items unless noted
- located by a dimension are to be 4" from the face of the nearest adjacent wall, or centered between adjacent walls in corridors, closets and similar spaces.
  - 5. Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
  - 6. All wood in contact with concrete shall be preservative treated. 7. Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the

equipment manufacturer's instructions or as required by the equipment supplier or installer.

interior partition insulation and finishing notes 1. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 09-

- 2. Refer to the plan view wall and partition key on the title page for other identifiers. 3. Partitions in areas that are subject to high humidity, in bathrooms, along kitchen counters and cabinetry, along
- for a hard-surface finish such as stone, ceramic tile, frp, or a similar product shall receive tile backer board. 4. Provide acoustical batt within all partitions contained wholly within a suite, and partitions that demise a suite from common areas and corridors. Sound control partitions and party walls will also receive two layers of 5/8" gwb, on both
- sides, with acoustical damping compound sandwiched between the panel layers. 5. All joints and through-penetrations at sound control partitions and party walls will be sealed with acoustical putty and/
- or sealant. Bottom plates will receive sound control sealant. 6. All joints and through-penetrations at a fire-resistive rated assembly shall be fire-stopped. All vertical framing spaces

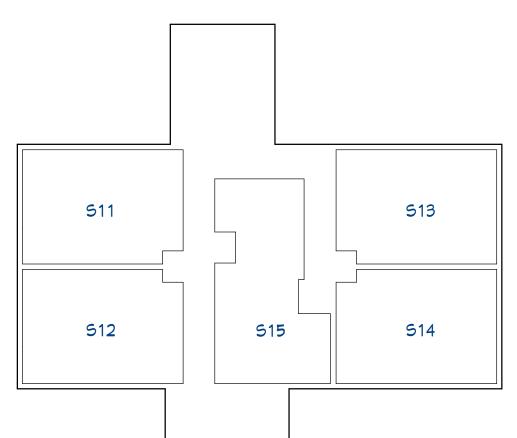
through floors or ceilings at chase, vent, and flue penetrations shall be fire-blocked. Inset cabinet, panel, and other equipment installations must provide a fire-resistive rating equivalent to the rating of the penetrated assembly.

# floor plan keyed note schedule

this is an exit access stairway and is part of a means of egress; this stairway atmospherically communicates between only two stories (the stairwell is closed off from the basement with self-closing doors), therefore per IBC Section 1019 this stairway is not required to be a shaft enclosure

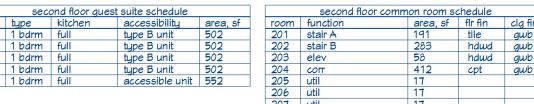
accessible route, turning beyond door swing clear floor space at doors clear floor space at fixtures, appliances, and equipment

accessibility key



# second floor suite key

second floor 3,8**25** sf 3,713 sf 3,566 sf 3,494 sf 3,**5**66 sf 1. enclosed area is the gross area of all enclosed construction at the floor level, measured to the outside face of the exterior wall framing or foundation, including cantilevered and projected portions of enclosed areas; this excludes 2. conditioned floor area is the total floor area of enclosed heated/cooled space at the floor level, measured to the inside face of the interior finish, including spaces open to the floor below, such as stairwells, elevator shafts, chases, etc.





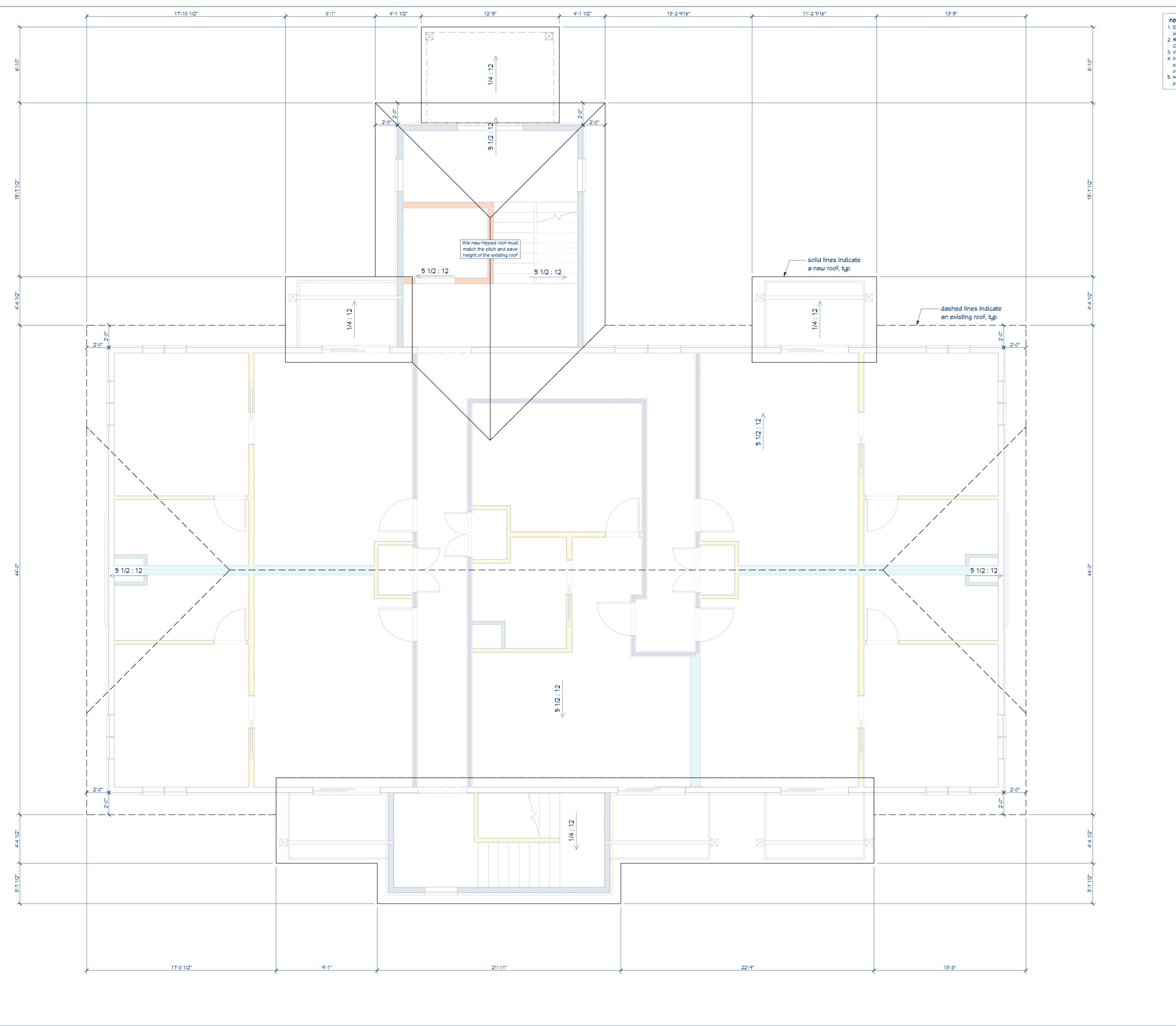
second floor plan

contact: Robert Lackore

608-833-3400

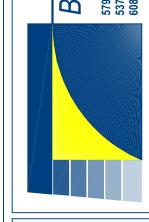
elopment

15 **scale: 1/4" = 1'-0"** print date: δ/4/2023 full size: ARCH D 24×36



roof plan notes

- 1. Eave dimensions are from the exterior face of the wall stud or roof beam to the outermost face of the eave trim (fascia, shadow board, etc.).
- 2. Related Specification Divisions: 06-Woods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 33-Subdrainage.
- Openings; 55-Subdrainage.
   Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
   Install ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be sheathed beneath the overbuild framing to maintain free air flow throughout the attic volume.
   All MEP roof vent and pipe penetrations that are a suitable substrate for painting (pvc, galvalume, etc.) shall be painted to closely match the roof shingle primary color; this excludes the gas fireplace chimney and shroud.



exterior elevation notes

1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Moods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air

Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements. 3. Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

### exterior material and feature key

(3) aluminum gutter

masonry veneer: adhered dimensional stone with wall caps and opening sills

vertical siding: concealed fastener formed metal wall panel, 12" exposure

rail system: aluminum with stainless steel cable infill

hip roof eave assembly: aluminum gutter wood composition shadow board, fascia, and vented soffit

composite shadow board, fascia, and vented soffit

horizontal siding: concealed fastener formed metal wall panel, 5" exposure

horizontal accent siding: exposed fastener formed metal wall panel, 7/8" pitch corrugation

wood composition trim

architecturally exposed structural steel:
deck and flat roof column supports and roof beams

equipment enclosure fence:
CityScapes, Covrit enclosure system, 7.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish; this fence matches the dumpster enclosure

architecturally exposed structural steel: deck and flat roof columns

treated glulam: deck and flat roof beams

Redevelopment

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A5.0

exterior elevations

15 scale: 1/4" = 1'-0" print date: 8/4/2023 full size: ARCH D 24x36

exterior elevation notes

- 1. These notes describe typical project conditions and requirements; exceptions are noted on the plans. 2. Related Specification Divisions: 03-Concrete; 04-Masonry; 05-Metal; 06-Moods, Plastics and Composites; 07-Thermal and Moisture Protection; 08-Openings; 09-Finishes; 10-Specialties; 22-Plumbing; 23-Heating, Ventilating and Air
- Conditioning; 26-Electrical; 27-Communications; 32-Exterior Improvements. 3. Typical materials and features are noted on the north (street view) elevation only. Atypical materials and features are noted on the relevant elevations.

#### exterior material and feature key

asphalt shingles

hip roof eave assembly: aluminum gutter

wood composition shadow board, fascia, and vented soffit

flat roof eave assembly: (3) aluminum gutter composite shadow board, fascia, and vented soffit

masonry veneer: adhered dimensional stone with wall caps and opening sills

vertical siding: concealed fastener formed metal wall panel, 12" exposure

horizontal siding: concealed fastener formed metal wall panel, 5" exposure

horizontal accent siding: exposed fastener formed metal wall panel, 7/8" pitch corrugation

wood composition trim

architecturally exposed structural steel:

deck and flat roof column supports and roof beams rail system:
aluminum with stainless steel cable infill

equipment enclosure fence:
CityScapes, Covrit enclosure system, 7.2 Rib metal infill panels; frame and hardware in Electric Black finish, infill panels in Oyster finish; this fence matches the dumpster enclosure

architecturally exposed structural steel: deck and flat roof columns

treated glulam:
deck and flat roof beams

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A5.1 exterior elevations

15 **scale: 1/4" = 1'-0"** print date: 8/4/2023 full size: ARCH D 24×36