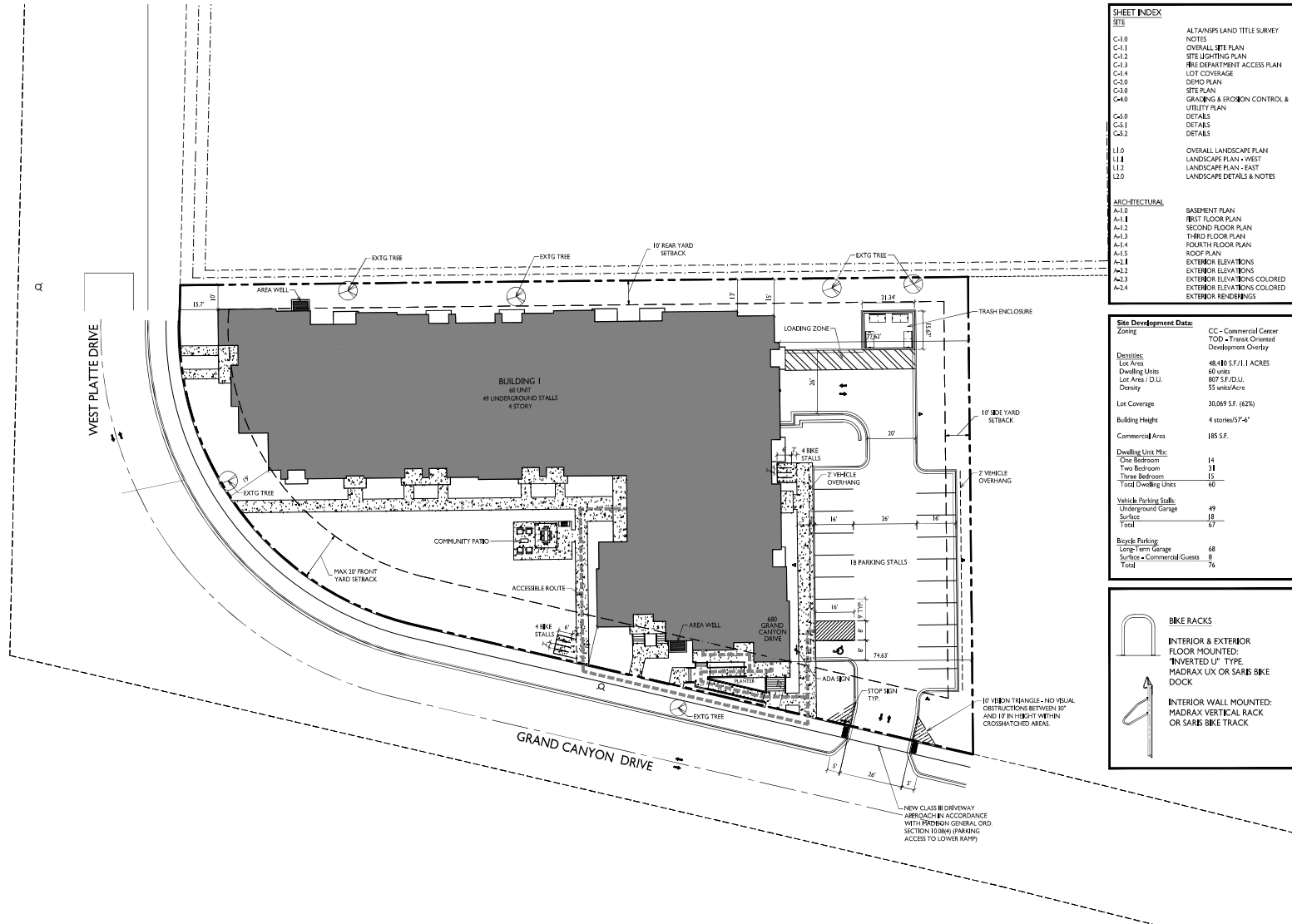


**GENERAL NOTES**

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLANS ARE APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ADJACENT PROPERTY OWNER WHOSE PROPERTY IS AFFECTED BY THE STREET TREE REMOVAL PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5. AS ORDNANCE BY SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (264-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [CITYOFMADISON.COM/BUSINESS/PW/SPEC/CFM](http://CITYOFMADISON.COM/BUSINESS/PW/SPEC/CFM)
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISBURSE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES EITHER ABOVE OR BELOW GROUND SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (264-4816). PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN 10 FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 3 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THE PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (264-4816) TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK, AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
11. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (264-4816).
12. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

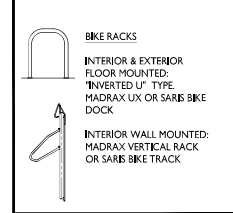


**SHEET INDEX**

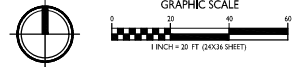
SITE	ALTAIRNS LAND TITLE SURVEY
C-1.0	NOTES
C-1.1	OVERALL SITE PLAN
C-1.2	SITE LIGHTING PLAN
C-1.3	TRIE DEPARTMENT ACCESS PLAN
C-1.4	LOT COVERAGE
C-1.5	DRNG PLAN
C-1.6	DRNG PLAN
C-1.7	DRNG PLAN
C-1.8	DRNG PLAN
C-1.9	DRNG PLAN
C-1.10	DRNG PLAN
C-1.11	DRNG PLAN
C-1.12	DRNG PLAN
C-1.13	DRNG PLAN
C-1.14	DRNG PLAN
C-1.15	DRNG PLAN
C-1.16	DRNG PLAN
C-1.17	DRNG PLAN
C-1.18	DRNG PLAN
C-1.19	DRNG PLAN
C-1.20	DRNG PLAN
C-1.21	DRNG PLAN
C-1.22	DRNG PLAN
C-1.23	DRNG PLAN
C-1.24	DRNG PLAN

**Site Development Data:**

Zoning	CC - Commercial Center
	TOD - Transit Oriented Development Overlay
Lot Area	48,410 S.F. / 1.1 ACRES
Dwelling Units	60 units
Lot Area / D.U.	807 S.F./D.U.
Density	55 units/Acre
Lot Coverage	30,089 S.F. (62%)
Building Height	4 stories/57'-4"
Commercial Area	185 S.F.
Dwelling Unit Mix:	
One Bedroom	14
Two Bedroom	21
Three Bedroom	15
Total Dwelling Units	60
Vehicle Parking Stalls:	
Underground Garage	49
Surface	18
Total	67
Bicycle Parking:	
Long-Term Garage	68
Surface - Commercial/Guests	7
Total	75



**OVERALL SITE PLAN**  
C-1.1 1" = 20'-0"



ISSUED  
Issued for DAT - January 20, 2022  
Issued for LIA Submittal - August 7, 2023

**PROJECT TITLE**  
Lincoln Avenue  
Capital Grand  
Canyon Drive  
Development

680 Grand Canyon Drive,  
Madison, WI  
SHEET TITLE  
**Overall Site Plan**

SHEET NUMBER  
**C-1.1**  
PROJECT NO. **2303**  
© Knothe & Bruce Architects, LLC

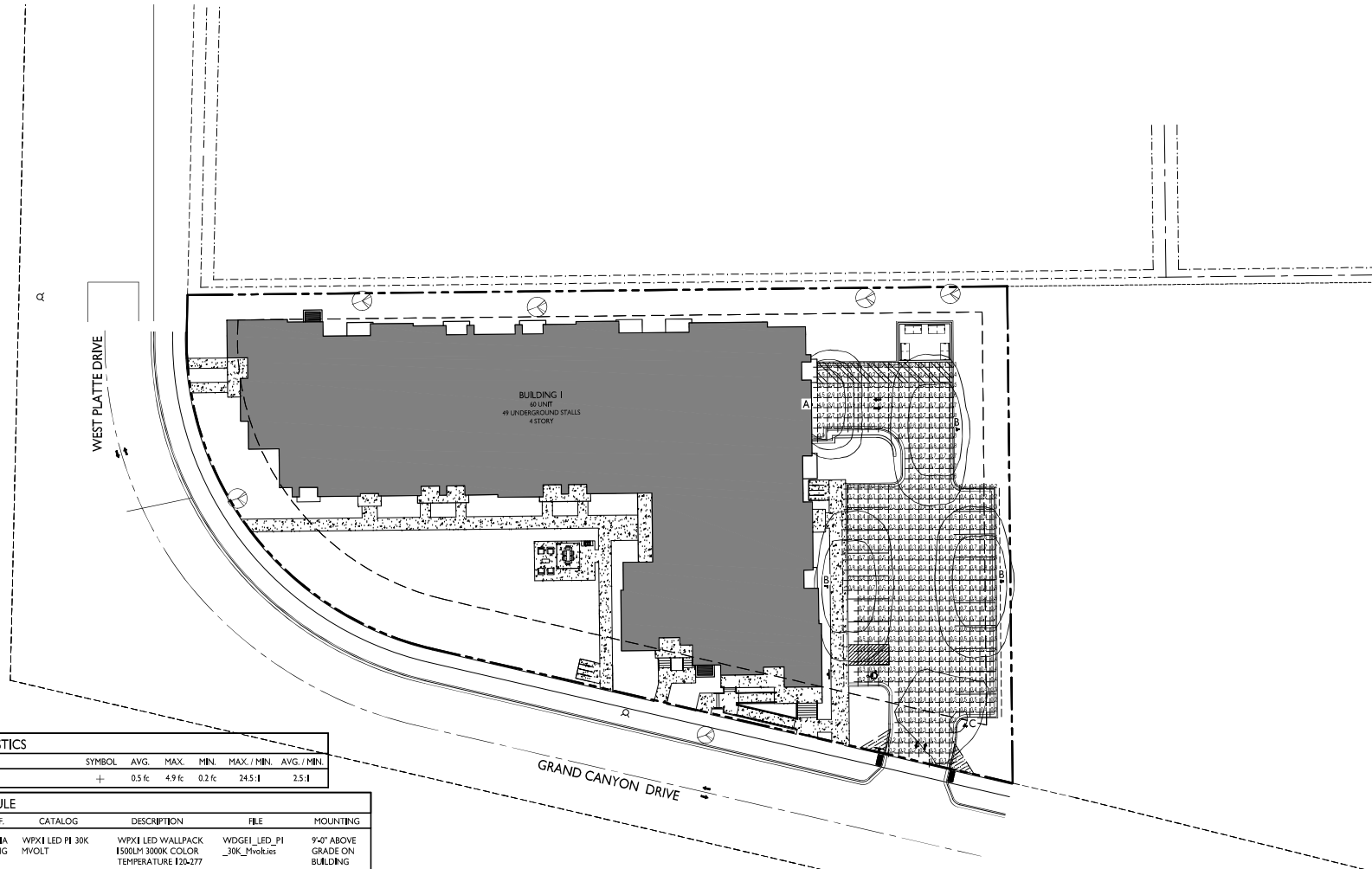
ISSUED  
 Issued for LIA Submittal August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 Site Lighting Plan

SHEET NUMBER

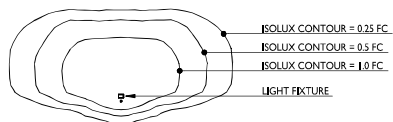
**C-1.2**  
 PROJECT NO. 2303  
 © Knothe & Bruce Architects, LLC



LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Drive Aids/Parking Lot	+	0.5 fc	4.9 fc	0.2 fc	24.5:1	2.5:1

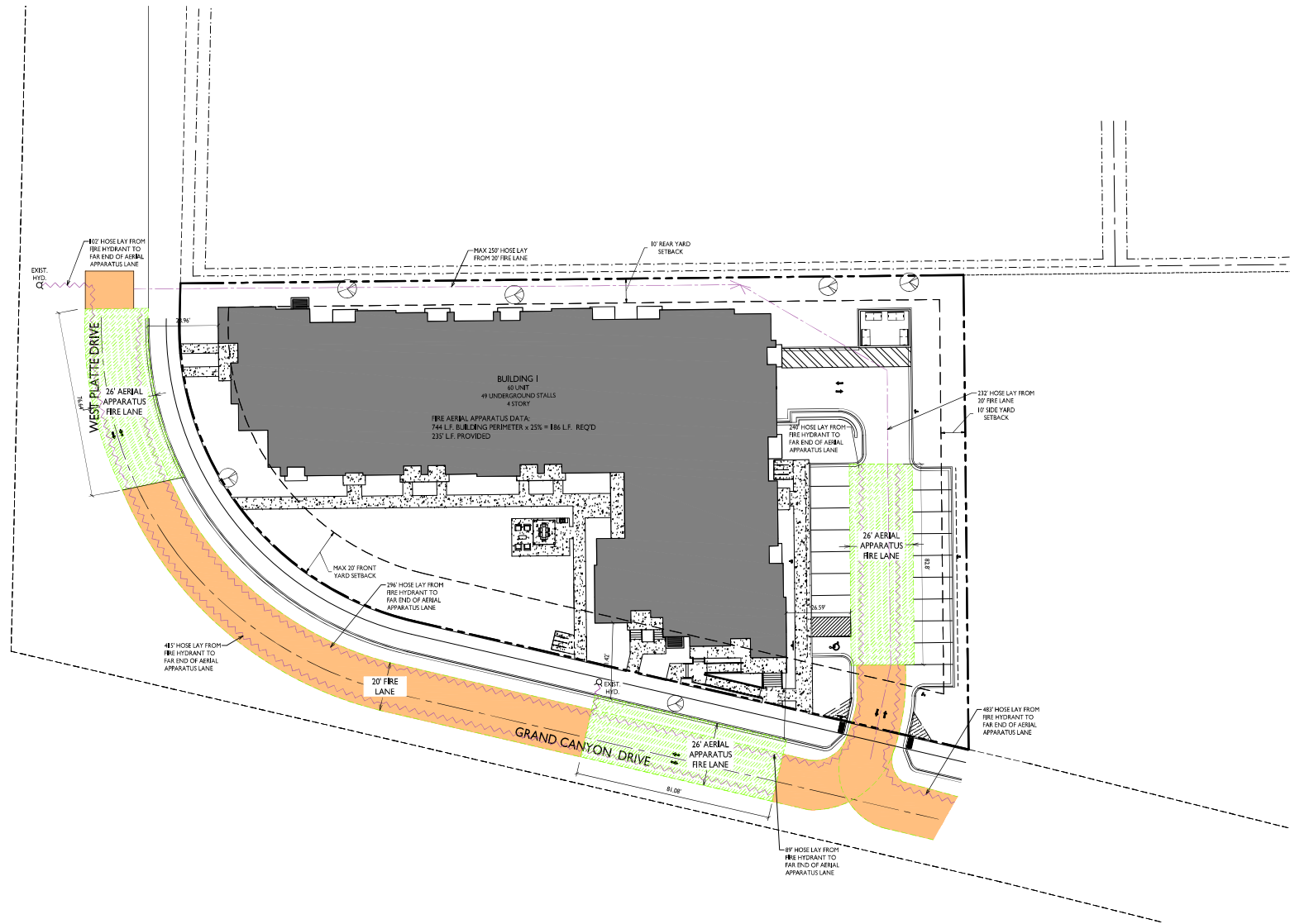
LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	1	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT	WPX1 LED WALLPACK 1500LP 3000K COLOR TEMPERATURE 12x277 VOLTS	WDGE1_LED_P1_30K_mvolt.ies	9'-0" ABOVE GRADE ON BUILDING
□	B	3	LITHONIA LIGHTING	DSXWPM LED 10C 350 30K T25 MVOLT HS	DSXWPM LED WITH (1) I0 LED LIGHT ENGINE, TYPE T25 OPTIC, 3000K, AT 350mA WITH HOUSE-SIDE SHELDS.	DSXWPM_LED_10C_350_30K_T25_mvolt_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
□	C	1	LITHONIA LIGHTING	DSXWPM LED 10C 350 30K T4M MVOLT HS	DSXWPM LED WITH (1) I0 LED LIGHT ENGINE, TYPE T4M OPTIC, 3000K, AT 350mA WITH HOUSE-SIDE SHELDS.	DSXWPM_LED_10C_350_30K_T4M_mvolt_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE

EXAMPLE LIGHT FIXTURE DISTRIBUTION



**I SITE LIGHTING PLAN**  
 C-1.2 1" = 20'-0"





ISSUED  
 Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

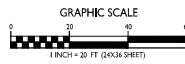
680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 Fire Department  
 Access Plan

SHEET NUMBER

**C-I.3**

PROJECT NO. 2303  
 © Knothe & Bruce Architects, LLC

**1** FIRE DEPARTMENT ACCESS PLAN  
 C-I.3 1" = 20'-0"





ISSUED  
Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
Lincoln Avenue  
Capital Grand  
Canyon Drive  
Development

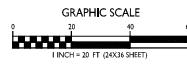
680 Grand Canyon Drive,  
Madison, WI  
SHEET TITLE  
Lot Coverage

SHEET NUMBER

C-1.4

PROJECT NO. 2303  
© Knothe & Bruce Architects, LLC

1 LOT COVERAGE  
C-1.4 1" = 20'-0"







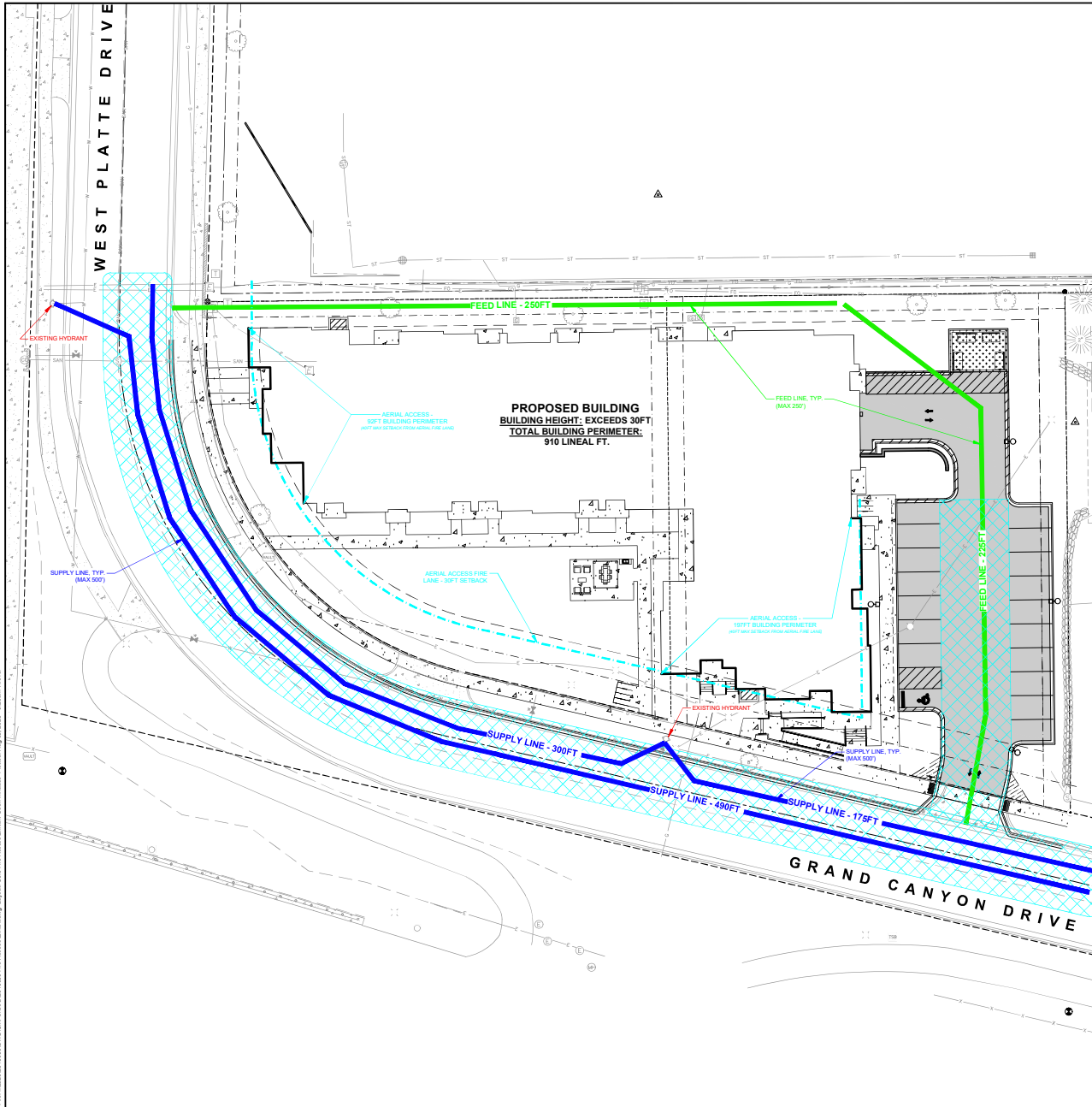
CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.248.5060

CLIENT:  
LINCOLN AVENUE  
CAPITAL  
MANAGEMENT, LLC

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #170  
SANTA MONICA, CA 90401



**LEGEND**

---	PROPERTY LINE
- - -	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	BUILDING SETBACK LINE
---	PAVEMENT SETBACK LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	CONCRETE PAVEMENT
---	ASPHALT PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	26' WIDE AERIAL FIRE LANE

**City of Madison Fire Department**  
30 West Mifflin Street 8<sup>th</sup> & 9<sup>th</sup> Floors, Madison, WI 53703-2579  
Phone: 608.265.4420 • Fax: 608.267.1100 • Email: fire@cityofmadison.com

Project Address: 680 Grand Canyon Drive  
Contact Name & Phone #: Matt Haase, 608-848-5000 (JSD-Developers Consultant)

**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lines extend to within 100-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lines are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 35,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 6%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a rollable curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Min. support = 85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3. Is the fire lane obstructed by security gates or barriers? If yes: a) Is the gate a minimum of 20-foot clear opening? b) Is an approved means of emergency operation installed, key switch, padlock or key-ring?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
5. Is any portion of the building to be used for high-rail storage in accordance with IFC Chapter 1206.6? If yes, see IFC 2206.6 for further requirements.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in height?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrant? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet or more than 10-feet from the curb/edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Attach an additional sheet if further explanation is required for any answers.  
This worksheet is based on MGO 34.563 and IFC 2012 *Edition Chapter 5 and Appendix B*; please see the codes for further information.

**PROJECT:**  
680 GRAND CANYON  
DEVELOPMENT

PROJECT LOCATION:  
680 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

PLAN MODIFICATIONS:

#	Date	Description
1	08.07.2023	LANDUSE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: CHG  
Reviewed By: MRH  
Approved By: MRH

**SHEET TITLE:**  
FIRE ACCESS PLAN

SHEET NUMBER:  
**C6.0**

0 20' 40'

north  
SCALE IN FEET

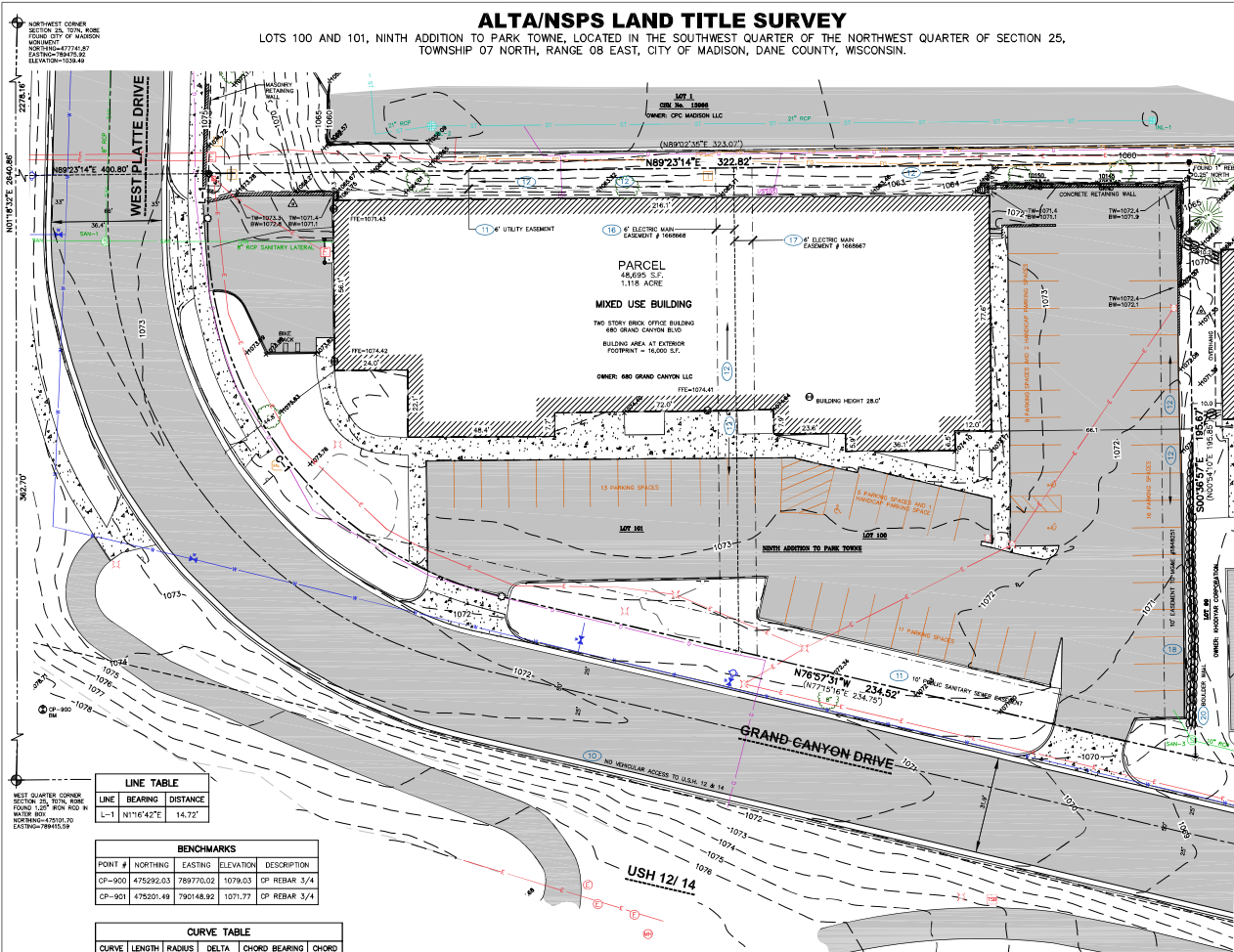
**DIAGRAMS & MOTION**  
Toll Free (800) 242-8511

File: I:\2023\10\05\2023\10\05\2023\10\05\Fire Access (B)H41.dwg, Layout: 03 - Fire Access (B)H41.dwg, User: mhaase, PlotDate: Aug 01, 2023, 9:20am, Xref(s):

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# ALTA/NSPS LAND TITLE SURVEY

LOTS 100 AND 101, NINTH ADDITION TO PARK TOWNE, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



### NOTES:

- FIELD WORK PERFORMED ON MAY 24-25, 2023.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WEST LINE OF SECTION 25, TOW, ROSE, RECORDED AS 101715Z7E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS A CITY OF MADISON MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 25, 1978, BORE ELEVATION = 1036.87.
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES, LOCATING DIGGER HOLE/FIELD MARKERS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOLE/TICKET NO. 4-202300098, 202300099 AND 202300099, WITH A CALL DATE OF 5/22/2023.
- UTILITY COMPANIES CONTACTED THRU DIGGER'S HOLE:
  - CITY OF MADISON: WISE WISCONSIN DOT
  - WISCONSIN DOT: DOT SOUTHWEST REGION
  - AMERICAN TRANSMISSION (ATC2): CHARTER COMMUNICATIONS WISCONSIN DOT
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED, FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOLE/TICKET NO. 1.800.848.5060.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS SHOWN ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHALL BE VERIFIED PRIOR TO BEING UTILIZED.
- ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN CONFORMANCE WITH THE SUPPLIED CITY RECORDS.
- A PRIVATE UTILITY LOCATE WAS DONE BY GLS UTILITY LLC.

### NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- CUTTING OR SPINDLES WERE SET MARKING THE P.I. OF THE WEST CURVE.
- SURVEYED PROPERTY ADDRESS IS 680 GRAND CANYON DRIVE, MADISON, WI 53703.
- THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP NUMBER 16025C03956, EFFECTIVE DATE OF JANUARY 2, 2009.
- CURRENT ZONING CLASSIFICATION IS C2 COMMERCIAL.
- THERE ARE 54 PARKING SPACES AND 3 HANDICAP SPACES FOR A TOTAL OF 57 PARKING SPACES.
- THERE ARE NO DIVISION OF PARTY WALLS WITH RESPECT TO ADJOINING OWNERS.
- NOTE TO THE CLIENT, HUSBAND, AND LENDER - WITH REGARD TO TABLE A (ITEM 11(a) AND 11(b)), INFORMATION FROM THE SOURCES REFERRED TO WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 9.01 TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED, AND RELIANCE ON THESE SERVICES, IN SOME CIRCUMSTANCES, BY OTHER SURVEYING UTILITY LOCATE REQUESTS FROM THE CLIENT, MAY BE AFFECTED. THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF UTILITIES, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, IS ADVICE THAT EXCAVATION MAY BE NECESSARY.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.

### NOTES CORRESPONDING TO SCHEDULE B - I EXCEPTIONS:

- ACCESS RESTRICTIONS NOTE ON THE PLAT OF SUBDIVISION. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES DISCLOSED BY PLAT OF SUBDIVISION. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- DRAINAGE SCALE REQUIREMENT AS NOTED ON PLAT OF SUBDIVISION. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED ON FEBRUARY 04, 1970 IN VOLUME 158 OF RECORDS, PAGE 62 AS DOCUMENT NO. 125823 AS NOTED IN VOLUME 408 OF RECORDS, PAGE 4 AS DOCUMENT NO. 178198. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED ON AUGUST 01, 1973 IN VOLUME 460 OF RECORDS, PAGE 12 AS DOCUMENT NO. 137306 AS NOTED IN VOLUME 408 OF RECORDS, PAGE 4 AS DOCUMENT NO. 178198. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- DECLARATION OF COVENANTS AND CONDITIONS RECORDED ON NOVEMBER 10, 1978 IN VOLUME 1012 OF RECORDS, PAGE 484 AS DOCUMENT NO. 169667. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- RIGHT OF WAY GRANT TO MADISON GAS AND ELECTRIC COMPANY RECORDED: JUNE 19, 1980 VOLUME 1990 OF RECORDS, PAGE 86 AS DOCUMENT NO. 164866. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- RIGHT OF WAY GRANT TO MADISON GAS AND ELECTRIC COMPANY RECORDED: JUNE 19, 1980 VOLUME 1990 OF RECORDS, PAGE 85 AS DOCUMENT NO. 164867. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- GRANT OF EASEMENT TO MADISON GAS AND ELECTRIC COMPANY RECORDED: AUGUST 7, 1987 VOLUME 1046 OF RECORDS, PAGE 76 AS DOCUMENT NO. 184833. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- TERMS AND CONDITIONS OF THE MEMORANDUM OF AGREEMENT RECORDED: AUGUST 7, 1987 VOLUME 1046 OF RECORDS, PAGE 94 AS DOCUMENT NO. 203848. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- BOLDER WALL EASEMENT BROWER WALL EASEMENT RECORDED: MARCH 26, 2002 AS DOCUMENT NO. 348513. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS PLOTTED HEREON.
- MORTGAGE DATED APRIL 26, 2016 AND RECORDED APRIL 27, 2016 AS DOCUMENT NO. 622919, MADE BY 680 GRAND CANYON LLC, TO U.S. BANK NATIONAL ASSOCIATION, TO SECURE AN INTEREST IN THE AMOUNT OF \$1,000,000.00, AND THE TERMS AND CONDITIONS THEREOF. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- WE FIND A RELEASE AGREEMENT AS DOCUMENT NO. 884317 ON JANUARY 10, 2023 PURPORTING TO RELEASE THE FORESAID LIEN. NOTE: THE COMPANY WILL REQUIRE SATISFACTORY PROOF OF FULL PAYMENT OF THE DEBT SECURED BY SAID MORTGAGE OR DEED OF TRUST PRIOR TO REMOVING THIS EXCEPTION OR ENDING THE COMBUSTIBLE TRANSMISSION. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

### LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 161205-16326-WAD, EFFECTIVE DATE: JANUARY 10, 2023 AT 7:30 A.M.)  
 LOTS 100 AND 101, NINTH ADDITION TO PARK TOWNE, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.  
 FOR INFORMATIONAL PURPOSES ONLY:  
 ADDRESS: 680 GRAND CANYON DRIVE, MADISON, WI  
 TAX KEY NUMBER: 25/1078-253-0417-9

### SURVEYOR'S CERTIFICATE

TO:  
 (1) LINCOLN AVENUE CAPITAL MANAGEMENT, LLC,  
 (2) U.S. NATIONAL BANK ASSOCIATION,  
 (3) FIRST AMERICAN TITLE INSURANCE COMPANY,

DATE: 06/15/2023  
 TODD J. BURR, 5-2614  
 PROFESSIONAL LAND SURVEYOR  
 Email: todd.burr@jdsinc.com  
 Website: www.jdsinc.com



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www.jdsinc.com

MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
**401 WILSHIRE BLVD SUITE 1070  
 SANTA MONICA, CA 90401**

PROJECT LOCATION:  
**680 GRAND CANYON DRIVE  
 MADISON, DANE  
 WI 53703**

MODIFICATIONS:

#	Date	Description
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Prepared By: SMN 06/05/23  
 Reviewed By: JK 06/13/23  
 Approved By: LJB 06/14/23

SHEET TITLE:  
**ALTA/NSPS LAND TITLE SURVEY**

SHEET NUMBER:  
1 OF 1

PROJECT NO.: 25-12028

#### LINE TABLE

LINE	BEARING	DISTANCE
L-1	N1°16'42"E	14.72'

#### BENCHMARKS

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-900	475292.03	789770.02	1079.03	DP REBAR 3/4"
CP-901	475201.49	789148.92	1071.77	DP REBAR 3/4"

#### CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C-1	170.69'	125.00'	78°41'31"	N27°50'24"W	157.73'
( )	-	125.00'	78°11'20"	N38°10'30"W	157.65'

#### SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	1073.37	N 1065.10	8"	RSP
		W 1065.42	8"	RSP
		S 1065.26	8"	RSP
SAN-2	1069.02	N 1058.40	8"	RSP
		S 1058.67	8"	RSP
		W 1058.62	8"	RSP
SAN-3	1069.60	NW 1060.50	12"	RSP
		SE 1060.99	12"	RSP
SAN-4	1061.60	E 1052.74	12"	RSP
		N 1063.06	12"	RSP
		W 1052.94	12"	RSP

#### STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	1057.77	E 1051.23	18"	RSP
		W 1051.39	18"	RSP
		N 1049.79	18"	RSP
INL-2	1007.69	E 1049.79	18"	RSP
		N 1050.34	18"	RSP

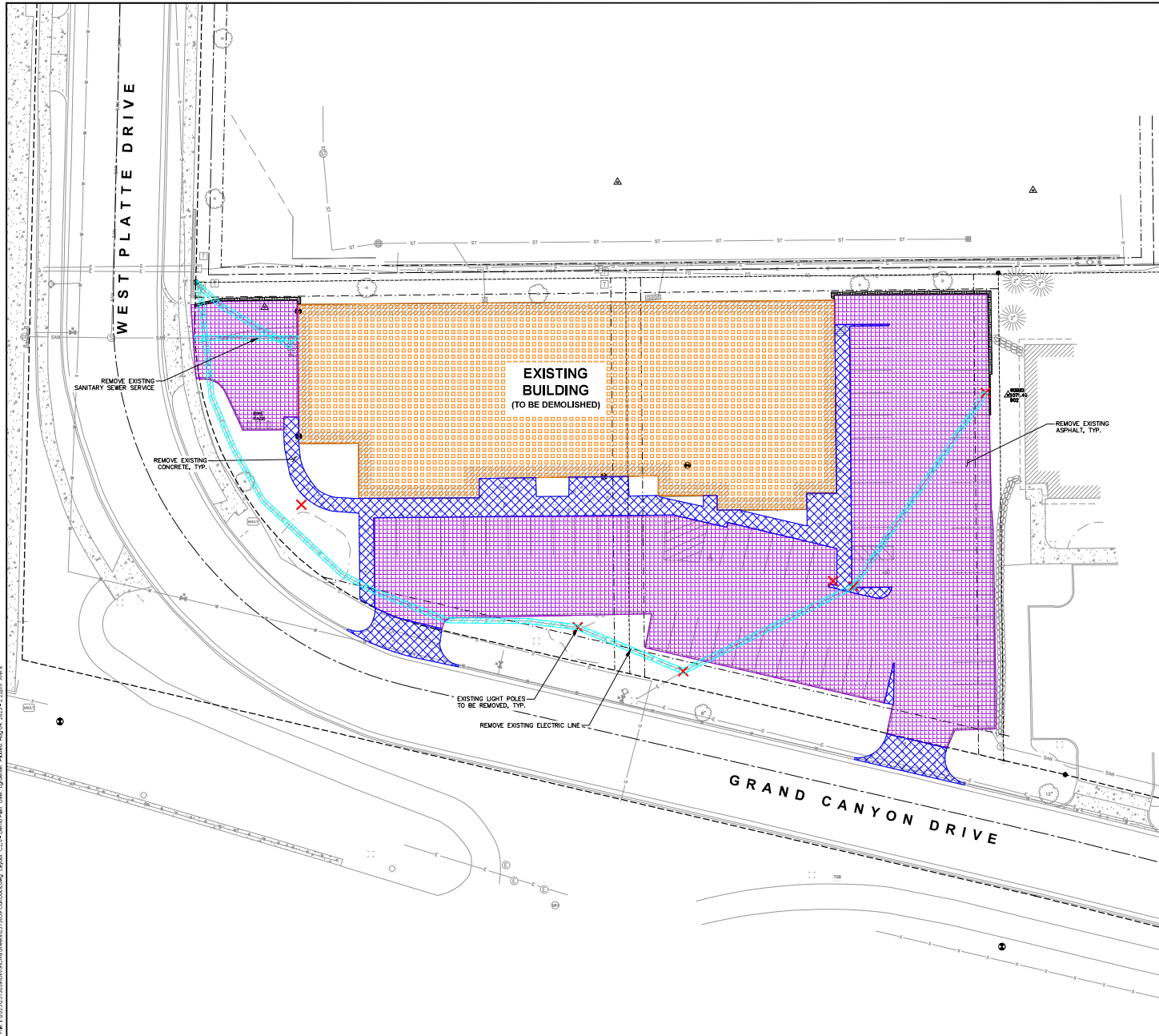


- #### LEGEND
- GOVERNMENT CORNER
  - 3/4" REBAR FOUND
  - CHESTED 'X' FOUND
  - 1" IRON PIPE FOUND
  - COTTON SPINDLE SET
  - BENCHMARK
  - BOLLARD
  - SANITARY MANHOLE
  - HYDRANT
  - WATER OR GAS VALVE
  - STORM MANHOLE
  - ROUND CASTED INLET
  - SQUARE CASTED INLET
  - GAS REGULATOR/METER
  - ELECTRIC TRANSFORMER
  - LIGHT POLE
  - HANDICAP PARKING
  - ARROWS INDICATE THAT DIRECTION OF STORM MANHOLE DRAINAGE SHALL BE MAINTAINED BY THE LOT OWNER (UNLESS NOTED WITH THE APPROVAL OF THE CITY ENGINEER).
  - PARCEL BOUNDARY
  - RIGHT-OF-WAY LINE
  - CENTERLINE
  - PLATTED LOT LINE
  - EASEMENT LINE
  - DOSE OF PAVEMENT
  - CONCRETE CURB & OUTER
  - SANITARY SEWER
  - WATER LINE
  - STORM SEWER
  - NATURAL GAS
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - BUILDING
  - STURDIOUS PAVEMENT
  - RETAINING WALL
  - CONCRETE PAVEMENT
  - ( ) DENOTES RECORDED AS DATA DEVIATING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

FILE: 102023113030A0000000.dwg © 2023 JSD, Inc. User: J. Burr, P. Revised: 06/15/2023 - 4:58pm - JCB







**LEGEND**

—	PROPERTY LINE
- - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
— o —	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
▨	DEMOLITION - PAVEMENT MILL AND OVERLAY
▩	DEMOLITION - REMOVAL OF RETAINING WALL
▧	DEMOLITION - REMOVAL OF ASPHALT SURFACES
▦	DEMOLITION - REMOVAL OF CONCRETE SURFACES
▤	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
▣	DEMOLITION - REMOVAL OF UTILITIES
▢	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
⊗	TREE REMOVAL
⊙	SHRUB REMOVAL
○	PROTECT EXISTING TREE

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 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
 401 WILSHIRE BLVD., #1070  
 SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON DEVELOPMENT**

PROJECT LOCATION:  
**608 GRAND CANYON DRIVE  
 MADISON, DANE COUNTY  
 WISCONSIN 53719**

PLAN MODIFICATIONS:

#	Date	Description
1	06.07.2023	LANDUSE SUBMITTAL
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Designed By: CHG  
 Reviewed By: MRH  
 Approved By: MRH

SHEET TITLE:  
**DEMO PLAN**

SHEET NUMBER:  
**C2.0**

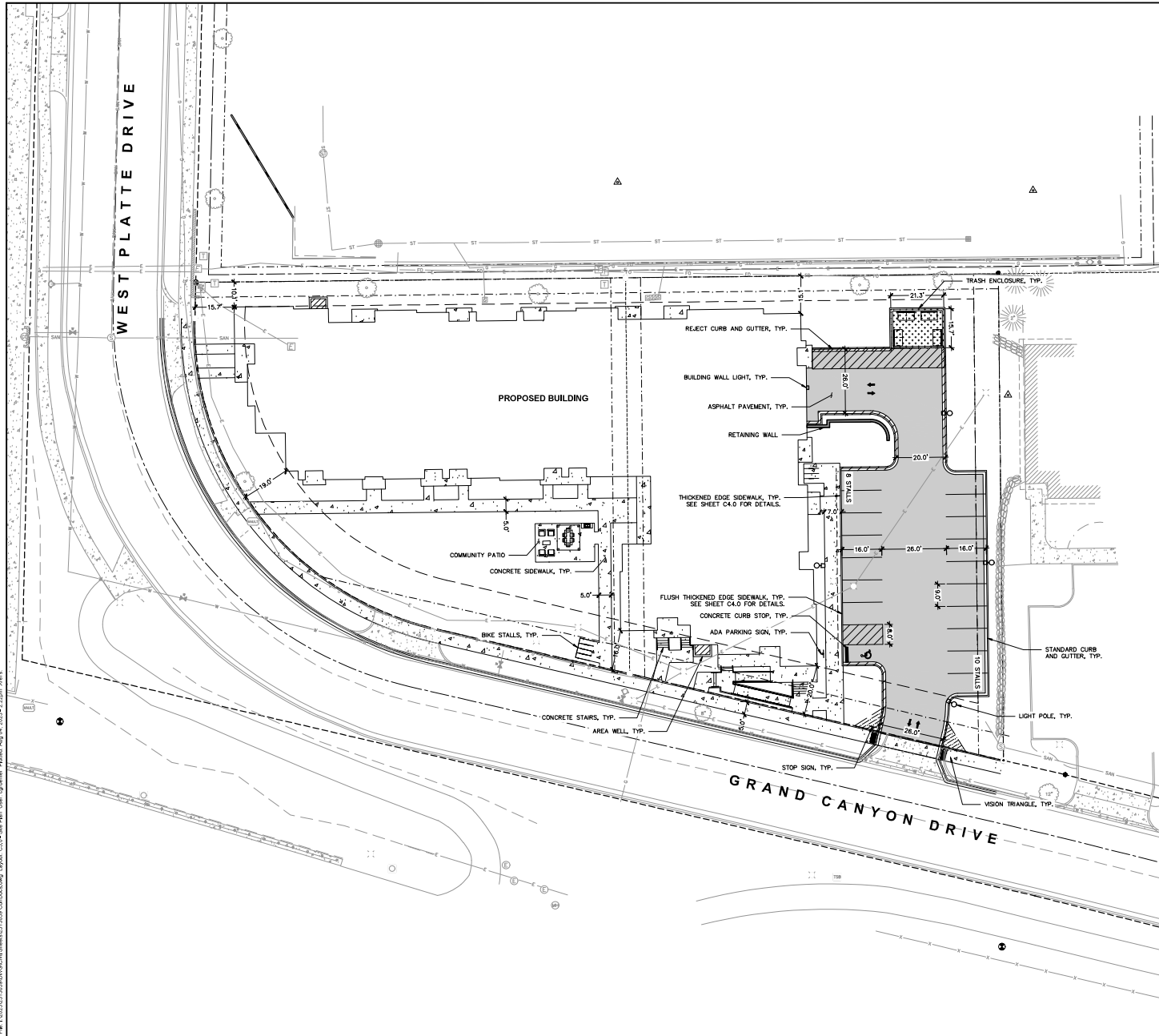
ISS PROJECT NO: 2342008

Scale in Feet: 20' 0 20'

Logo: **MEGERS MOTLINE**  
 Toll Free (800) 242-8511

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- LEGEND**
- PROPERTY LINE
  - - - RIGHT-OF-WAY
  - - - EASEMENT LINE
  - ▬ BUILDING OUTLINE
  - ▬ BUILDING OVERHANG
  - ▬ BUILDING SETBACK LINE
  - ▬ PAVEMENT SETBACK LINE
  - ▬ EDGE OF PAVEMENT
  - ▬ STANDARD CURB AND GUTTER
  - ▬ REJECT CURB AND GUTTER
  - ▬ MOUNTABLE CURB AND GUTTER
  - ▬ 8" CONCRETE RIBBON CURB
  - ▬ ASPHALT PAVEMENT
  - ▬ HEAVY DUTY ASPHALT PAVEMENT
  - ▬ CONCRETE PAVEMENT
  - ▬ HEAVY DUTY CONCRETE PAVEMENT
  - ▬ STORMWATER MANAGEMENT AREA
  - ▬ RETAINING WALL
  - ▬ BOULDER WALL
  - ▬ RAILING
  - ▬ FENCE
  - LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
  - ▬ ADA PARKING SIGN
  - ▬ FLAG POLE
  - ▬ BOLLARD
  - ▬ BOLLARD WITH ADA PARKING SIGN
  - ▬ BIKE RACK
  - ▬ SAWCUT EXISTING PAVEMENT

**SITE INFORMATION BLOCK**

SITE ADDRESS	680 GRAND CANYON DRIVE
PROPERTY ACREAGE	1.12 ACRES
NUMBER OF BUILDING STORIES	4
TOTAL BUILDING SQUARE FOOTAGE	19,140
GROSS BUILDING SQUARE FOOTAGE	76,560
NUMBER OF PARKING STALLS SURFACE	
LARGE	17
ACCESSIBLE	1
TOTAL SURFACE	18
UNDERGROUND	
LARGE	
ACCESSIBLE	
TOTAL UNDERGROUND	50
NUMBER OF SURFACE BICYCLE STALLS	8
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	38,184 SF
EXISTING PERVIOUS SURFACE AREA	10,511 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.78
PROPOSED IMPERVIOUS SURFACE AREA	31,438 SF
PROPOSED PERVIOUS SURFACE AREA	17,257 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.65

**PLAN MODIFICATIONS:**

#	Date	Description
1	08.07.2023	LANDUSE SUBMITTAL
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Designed By: CHG  
 Reviewed By: MRH  
 Approved By: MRH

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C3.0**

DESIGNS & MOTIVELINE  
 Toll Free (800) 242-8511

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 161 HORDON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.848.5060

CLIENT:  
**LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
 401 WILSHIRE BLVD., #1070  
 SANTA MONICA, CA 90401

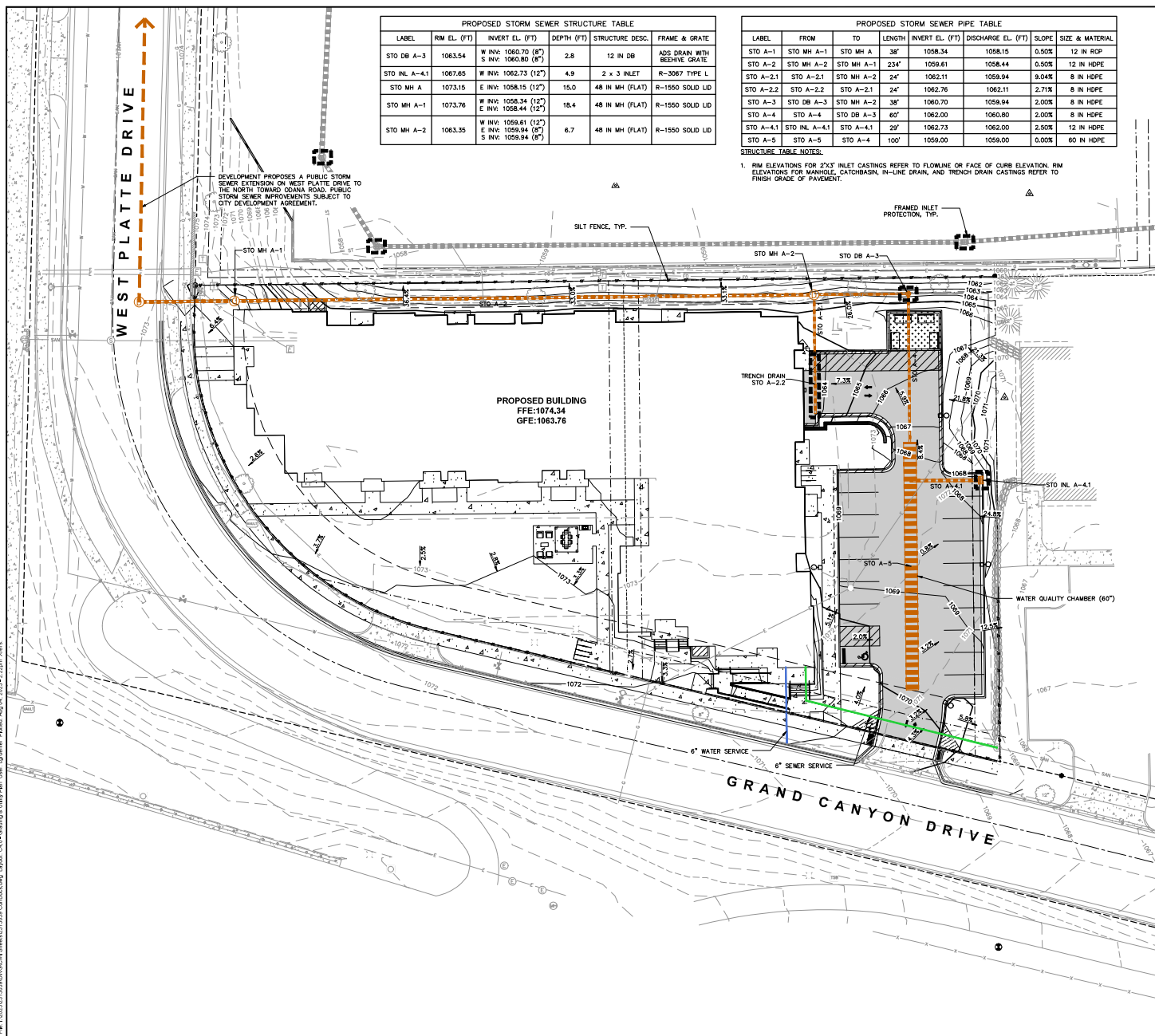
PROJECT:  
**680 GRAND CANYON DRIVE DEVELOPMENT**

PROJECT LOCATION:  
**680 GRAND CANYON DRIVE  
 MADISON, DANE COUNTY  
 WISCONSIN 53719**

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PROPOSED STORM SEWER STRUCTURE TABLE				
LABEL	RM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC. FRAME & GRATE
STO DB A-3	1063.54	W INV: 1060.70 (8") S INV: 1060.60 (8")	2.8	12 IN DB ADD. DRAIN WITH RESERVE GRATE
STO INL A-4.1	1067.65	W INV: 1062.73 (12")	4.9	2 x 3 INLET R-3067 TYPE L
STO MH A-1	1073.15	E INV: 1058.15 (12")	15.0	48 IN MH (FLAT) R-1550 SOLID LID
STO MH A-1	1073.76	W INV: 1058.34 (12") E INV: 1058.44 (12")	18.4	48 IN MH (FLAT) R-1550 SOLID LID
STO MH A-2	1063.35	W INV: 1059.61 (12") E INV: 1059.84 (8") S INV: 1059.94 (8")	6.7	48 IN MH (FLAT) R-1550 SOLID LID

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO MH A-1	STO MH A	38'	1058.34	1058.15	0.50%	12 IN RCP
STO A-2	STO MH A-2	STO MH A-1	234'	1059.61	1058.44	0.50%	12 IN HDPE
STO A-2.1	STO A-2.1	STO MH A-2	24'	1062.11	1059.94	9.04%	8 IN HDPE
STO A-2.2	STO A-2.2	STO MH A-2	24'	1062.76	1062.11	2.71%	8 IN HDPE
STO A-3	STO DB A-3	STO MH A-2	38'	1060.70	1059.94	2.00%	8 IN HDPE
STO A-4	STO A-4	STO DB A-3	60'	1062.00	1060.80	2.00%	8 IN HDPE
STO A-4.1	STO INL A-4.1	STO DB A-3	29'	1062.73	1062.00	2.50%	12 IN HDPE
STO A-5	STO A-5	STO A-4	100'	1059.00	1059.00	0.00%	60 IN HDPE

STRUCTURE TABLE NOTES:  
1. RM ELEVATIONS FOR 24" INLET CASTINGS REFER TO FLOWING OR FACE OF CURB ELEVATION; RM ELEVATIONS FOR MANHOLE, CATCHBASIN, IN-LINE DRAIN, AND TRENCH DRAIN CASTINGS REFER TO FINISH GRADE OF PAVEMENT.

- LEGEND**
- PROPERTY LINE
  - - - RIGHT-OF-WAY
  - - - EASEMENT LINE
  - BUILDING OUTLINE
  - BUILDING OVERHANG
  - EDGE OF PAVEMENT
  - STANDARD CURB AND GUTTER
  - REJECT CURB AND GUTTER
  - MOUNTABLE CURB AND GUTTER
  - 8" CONCRETE RIBBON CURB
  - ASPHALT PAVEMENT
  - HEAVY DUTY ASPHALT PAVEMENT
  - CONCRETE PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - 959 PROPOSED 1 FOOT CONTOUR
  - 960 PROPOSED 5 FOOT CONTOUR
  - 959 EXISTING 1 FOOT CONTOUR
  - 960 EXISTING 5 FOOT CONTOUR
  - DRAINAGE DIRECTION
  - GRADE BREAK
  - STORMWATER MANAGEMENT AREA
  - RETAINING WALL
  - BOULDER WALL
  - RAILING
  - FENCE
  - SILT FENCE
  - RIP-RAP
  - CONSTRUCTION ENTRANCE
  - EROSION MATTING
  - TURF REINFORCEMENT MATTING
  - SPOT ELEVATION
    - EG - EDGE OF PAVEMENT
    - FG - FINISH GRADE
    - EC - EDGE OF CONCRETE
    - BOC - BACK OF CURB
    - MATCH - MATCH EXISTING GRADE
    - HP - HIGH POINT
    - BW - SIDEWALK
  - DITCH CHECK
  - INLET PROTECTION



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161 HORDON DRIVE, SUITE 101  
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P. 608.848.5060

CLIENT:  
**LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON DEVELOPMENT**

PROJECT LOCATION:  
680 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

PLAN MODIFICATIONS:		
#	Date	Description
1	08.07.2023	LANDUSE SUBMITTAL
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Designed By: CHG  
Reviewed By: MRH  
Approved By: MRH

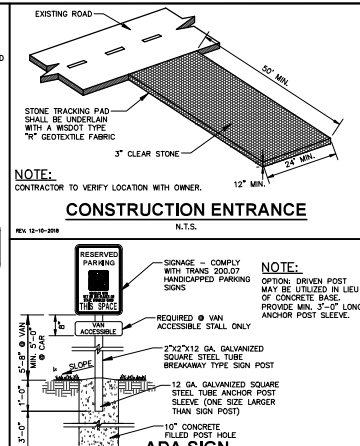
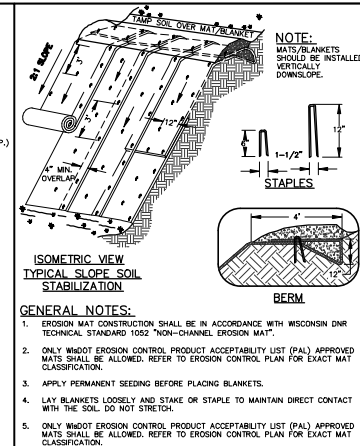
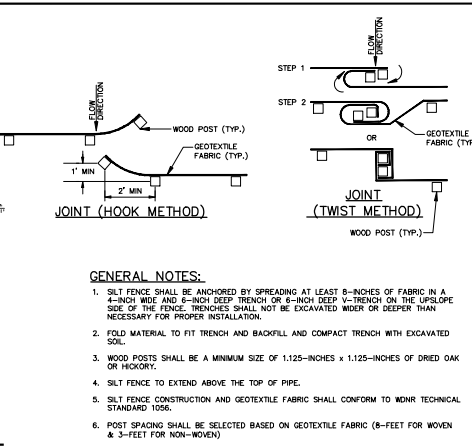
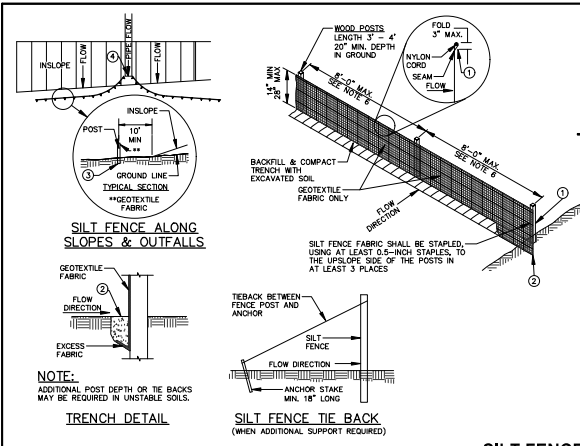
SHEET TITLE:  
**GRADING, EROSION CONTROL & UTILITY PLAN**

SHEET NUMBER:  
**C4.0**

800 PROJECT NO. 2541206 Toll Free (800) 242-8511



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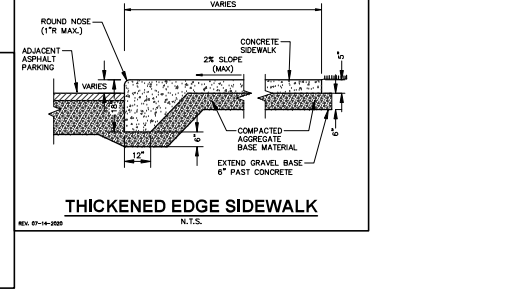
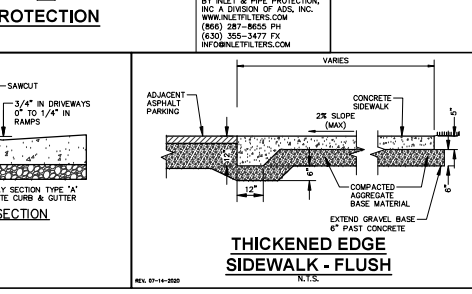
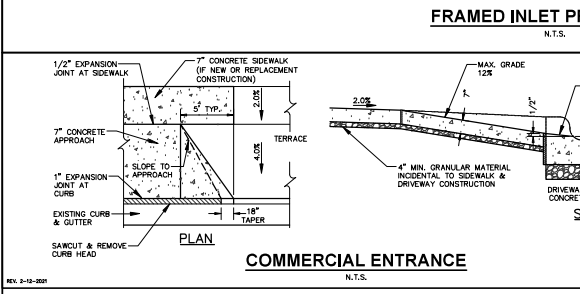
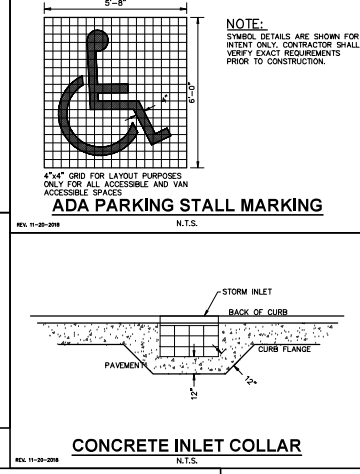
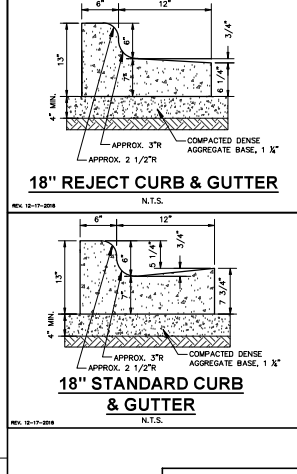
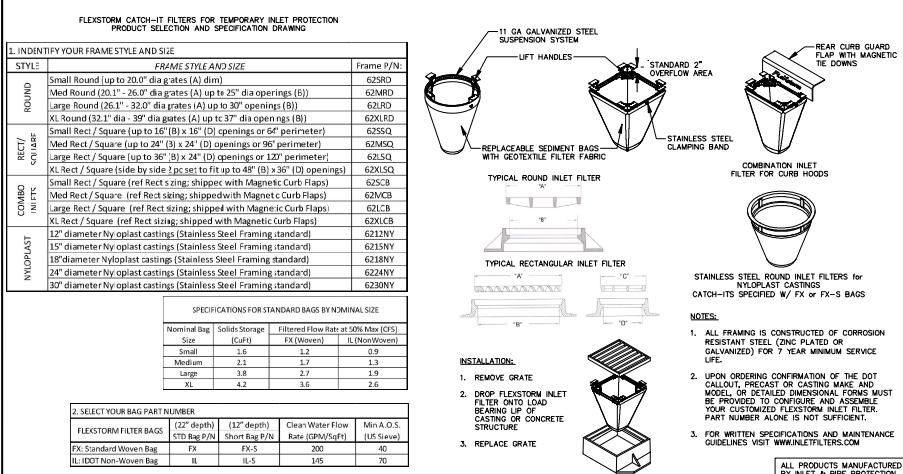


**SILT FENCE**  
N.T.S.

**EROSION MATTING**  
N.T.S.

**EROSION MATTING**  
N.T.S.

**CONSTRUCTION ENTRANCE**  
N.T.S.



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P. 608.848.5060

CLIENT:  
**LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WALSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON DEVELOPMENT**

PROJECT LOCATION:  
608 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

PLANNING MODIFICATIONS:

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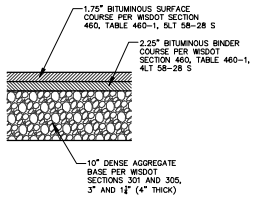
Designed By: CHG  
Reviewed By: MRH  
Approved By: MRH

SHEET TITLE:  
**DETAILS**

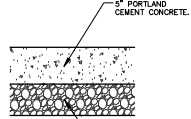
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**C5.0**

850 PROJECT NO: 2342026

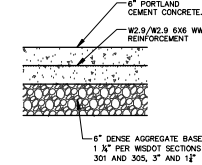
DESIGNS & MOTIVE  
Toll Free (800) 242-8511



**STANDARD ASPHALT PAVEMENT SECTION**



**CONCRETE SIDEWALK SECTION**



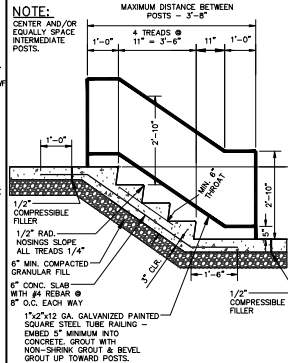
**REINFORCED CONCRETE SECTION**

**GENERAL NOTES:**

- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, GEOTECHNICAL REPORT TO BE PROVIDED ONCE GEOTECHNICAL WORK HAS BEEN COMPLETED. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WSOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
  - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
  - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A WIRE REINFORCEMENT MESH (6X6, W2.9XW2.9) FOR CRACK CONTROL.
- AGGREGATE BASE SHALL BE 3" MINUS UP TO 4" BELOW PAVEMENT AND 1" MINUS TO PAVEMENT.

**PAVEMENT SECTIONS**

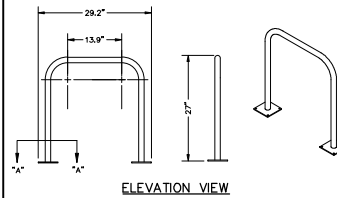
N.T.S.



**CONCRETE STAIRS W/ HANDRAIL**

REV. 11-20-2008

N.T.S.



**ELEVATION VIEW**

**SURFACE FLANGE MOUNT (SF) SECTION VIEWS**

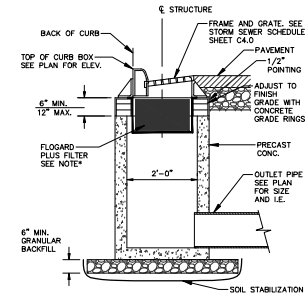
**GENERAL NOTES:**

- DO NOT SCALE DRAWING.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**INVERTED-U BIKE RACK**

REV. 11-20-2008

N.T.S.

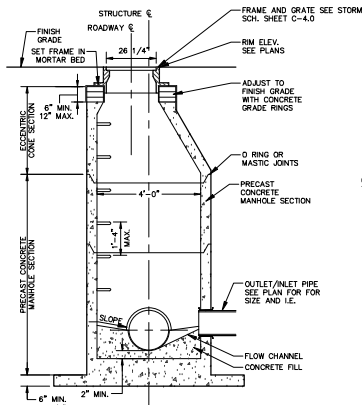


**NOTE:**

INSTALL FLOARGARD PLUS CATCH BASIN FILTER INSERT AS MANUFACTURED BY KRISTAR ENTERPRISES, INC. OR EQUIVALENT. FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS.

**STORM INLET W/ OIL & GREASE FILTER**

N.T.S.



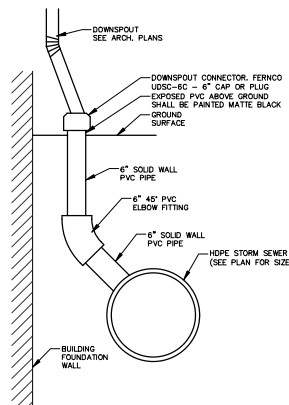
**STORM SEWER MANHOLE**

REV. 10-01-2008

N.T.S.

**GENERAL NOTES:**

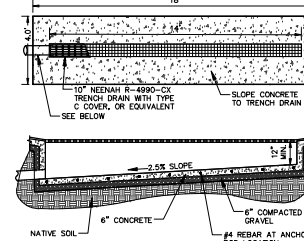
- MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
- PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
- JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
- USE MORTAR FOR PIPE CONNECTIONS.
- ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR ROADWAY.
- USE MENEAR R-2501-G BEEHIVE FRAME AND GRATE WHEN IN LANDSCAPE AREAS.
- STORM MANHOLES B-1, B-2, B-3, AND B-4 TO HAVE 3' SUMP.



**DOWNSPOUT**

REV. 10-22-2008

N.T.S.



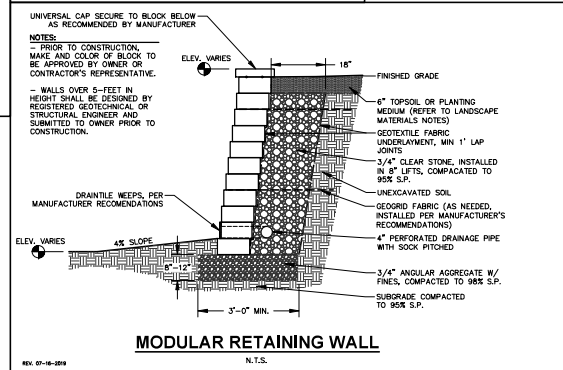
**NOTE:**

FOR FURTHER DETAILS AND INFORMATION, REFER TO NENAH FOUNDRY FORMING PROCEDURES FOR INSTALLING NENAH DRAINAGE STRUCTURES. \*\*REFER TO NENAH FORMING PROCEDURES FOR INSTALLING NENAH DRAINAGE STRUCTURES FOR FURTHER DETAILS AND INFORMATION. NOTE: INSTALL CATCH-ALL HR-1 ABSORBENT BOTTOM BY MARATHON MATERIALS, INC. WITHIN TRENCH DRAIN.

**TRENCH DRAIN (CAST-IN-PLACE)**

REV. 12-7-2008

N.T.S.



**MODULAR RETAINING WALL**

REV. 01-16-2008

N.T.S.



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MADISON REGIONAL OFFICE  
161 HORDON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

PROJECT:  
**LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON DEVELOPMENT**

PROJECT LOCATION:  
608 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

PLAN MODIFICATIONS:		
#	Date	Description
1	09.07.2023	LANDUSE SUBMITTAL
2		
3		
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Designed By: CHG  
Reviewed By: MRH  
Approved By: MRH

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:

**C5.1**

ISSUE PROJECT NO:

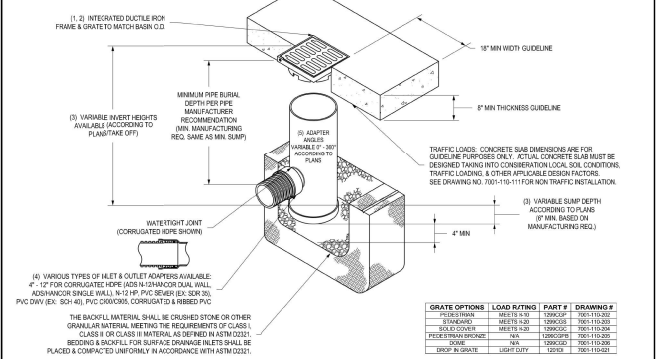
24-1008



Toll Free (800) 242-8511



**NYLOPLAST 12" DRAIN BASIN: 2812AG \_\_ X**



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTAL	WETFEET	12000-01	700110-02
FRAMING	WETFEET	12000-02	700110-03
SOLID COVER	WETFEET	12000-03	700110-04
PEDESTAL FRAME	WETFEET	12000-04	700110-05
COVER	WETFEET	12000-05	700110-06
DUCTILE IRON GRATE	WETFEET	12000-06	700110-07

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A153 GRATE TO MATCH WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A153 GRATE TO MATCH.
- DRAIN BASIN SHALL BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. REVISIONS ARE FOR MANUFACTURING ONLY. CALL TO SUPPLIER FOR RESTRICTIONS. SEE DRAWING NO. 700110-02.
- DRAINAGE CONNECTIONS TO RISE AND TO RISERS SHALL CONFORM TO ASTM D1585 FOR COMPACTED HDPE AND TO ASTM D1585 FOR UNCOMPACTED HDPE. 12\"/>

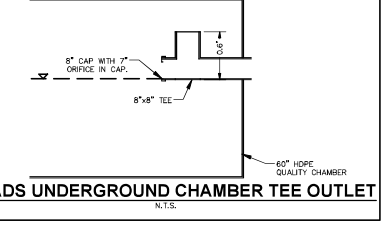
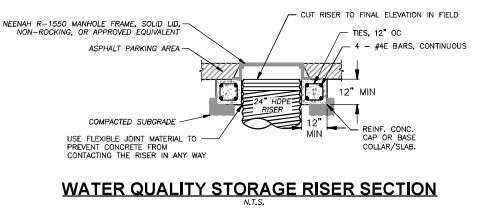
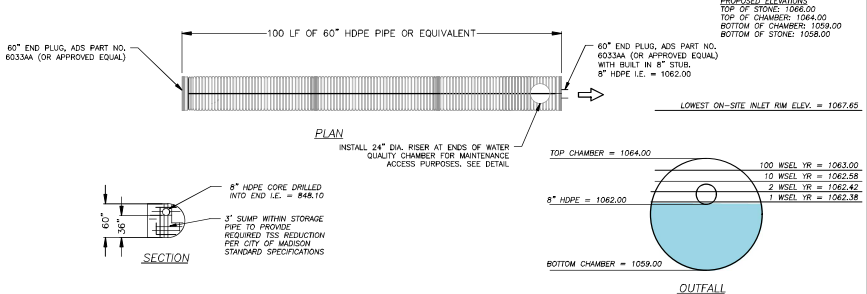
DESIGNED BY	DATE	SCALE	SHEET	OF
EDC	03-24-23	1:0	1	1

**ADS**  
Hydroplast

310 VERONA AVE  
SUNBURG, WI 53090  
PH: (715) 832-2442  
FAX: (715) 832-2445  
www.adsinc.com

DATE: 03-11-23  
PROJECT NO: 680-19  
TITLE: 12\"/>

**ADS UNDERGROUND CHAMBER (60" HDPE PIPE)**



**JSD**

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MADISON REGIONAL OFFICE  
161 HORDON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.248.5060

CLIENT:  
**LINCOLN AVENUE  
CAPITAL  
MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON  
DEVELOPMENT**

PROJECT LOCATION:  
**680 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719**

PLAN MODIFICATIONS:

#	DATE	DESCRIPTION
1	01.07.2023	LAND-USE SUBMITTAL
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Designed By: CHG  
Reviewed By: MRH  
Approved By: MRH

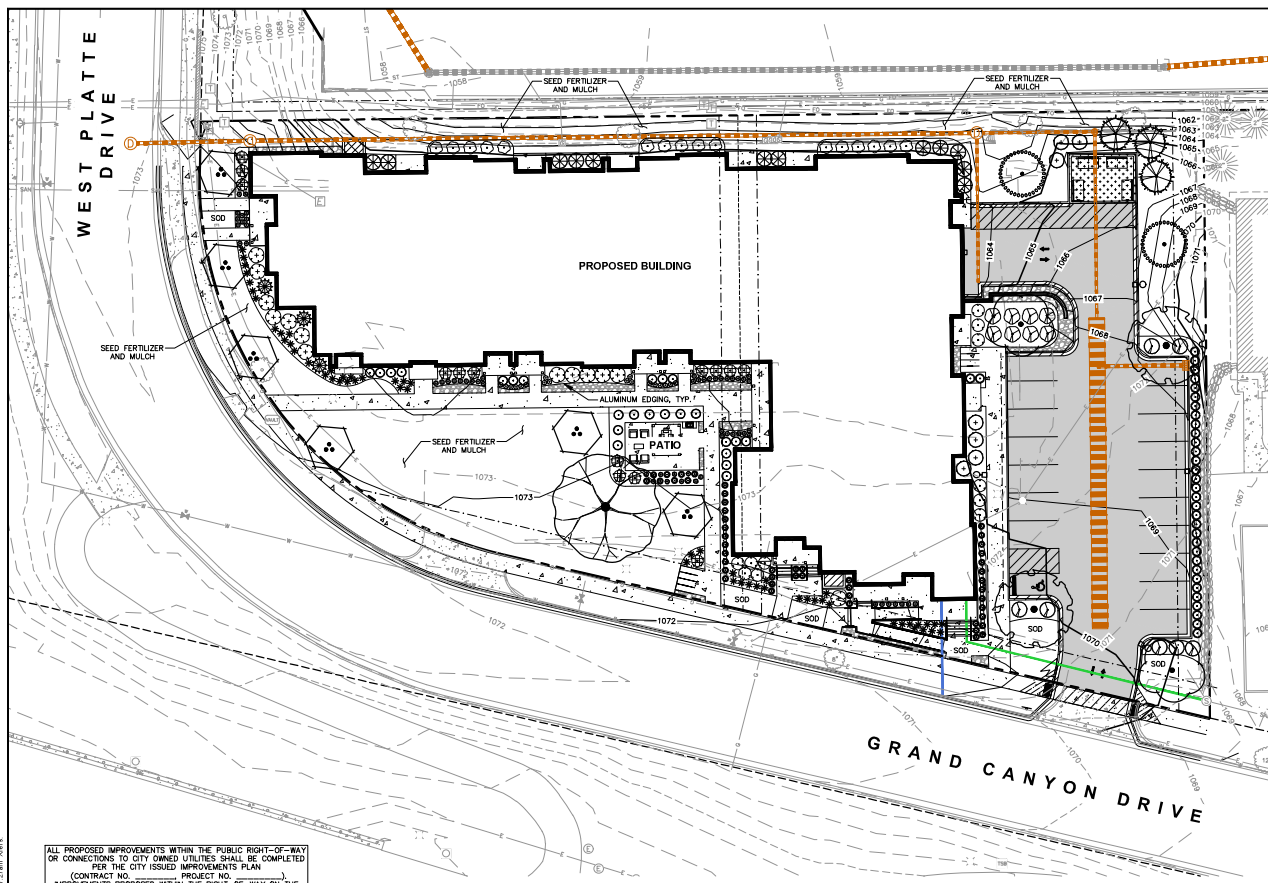
SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C5.2**

**DEEGERS** MOTLINE

Toll Free (800) 242-8511

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ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. \_\_\_\_\_) PROJECT NO. \_\_\_\_\_ IMPROVEMENTS PROPOSED WITHIN THE RIGHT-OF-WAY ON THE WILKAGE ON PARK PARKING STRUCTURE/ALLIAGE GREEN DRAWINGS ARE SHOWN FOR REFERENCE ONLY. CITY ISSUED PLANS GOVERN.

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

**CONTRACTOR NOTES**

1. ALL LANDSCAPE EDGING SHALL BE ALUMINUM EDGING, UNLESS OTHERWISE DEPICTED.
2. ALL PLANTING BEDS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE DEPICTED.
3. ALL DISTURBED AREAS SHALL RECEIVE TURFGRASS SEED, FERTILIZER & MULCH, UNLESS OTHERWISE DEPICTED.

**LEGEND**

--- (dashed line)	PROPERTY LINE	--- (dashed line with circles)	SANITARY SEWER
--- (dashed line)	RIGHT-OF-WAY	--- (dashed line with circles)	WATERMAIN
--- (dashed line)	EASEMENT LINE	--- (dashed line with circles)	STORM SEWER
--- (dashed line)	BUILDING OUTLINE	--- (dashed line with circles)	EXISTING SANITARY SEWER
--- (dashed line)	EDGE OF PAVEMENT	--- (dashed line with circles)	EXISTING WATERMAIN
--- (dashed line)	STANDARD CURB AND GUTTER	--- (dashed line with circles)	EXISTING STORM SEWER
--- (dashed line)	RETAINING CURB AND GUTTER	--- (dashed line with circles)	RETAINING WALL
--- (dashed line)	ASPHALT PAVEMENT	--- (dashed line with circles)	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
--- (dashed line)	CONCRETE PAVEMENT	--- (dashed line with circles)	ADA PARKING SIGN
--- (dashed line)	PROPOSED 1 FOOT CONTOUR	--- (dashed line with circles)	BIKE RACK
--- (dashed line)	PROPOSED 5 FOOT CONTOUR	--- (dashed line with circles)	ALUMINUM EDGING
--- (dashed line)	EXISTING 1 FOOT CONTOUR	--- (dashed line with circles)	DECORATIVE STONE MULCH
--- (dashed line)	EXISTING 5 FOOT CONTOUR	--- (dashed line with circles)	

**PLANT SCHEDULE**

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	JIVC	Juniper virginiana 'Conaerti' Conaerti Eastern Redcedar
	PIGL	Picea glauca White Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CECA	Cercis canadensis 'Columbus' Columbus Strain Eastern Redbud
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	GIBI	Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree
	PLAT	Platanus x acerifolia 'Morton Circle' TM Exclamation London Plane Tree
	QUEA	Quercus alba White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	PICE	Pinus cembra 'Chalet' Chalet Swiss Stone Pine
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	Aronia melanocarpa 'Morton' TM Iraqwis Beauty Black Chokeberry
	HYPA	Hydrangea paniculata 'Little Quick Fire' Little Quick Fire Hydrangea
	PHOPA	Physocarpus opulifolius 'Amber Jubilee' Ninebark
	RHAR	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac
	SYRM	Syringa meyeri 'Palibin' Dwarf Korean Lilac
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood
	JUCHK	Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper
	RHOD	Rhododendron x 'P.J.M.' PJM Rhododendron
	TAMEG	Taxus x media 'Dark Green' Dark Green Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	CALD	Calamagrostis x acutiflora 'Overdam' Overdam Feather Reed Grass
	PAVIN	Panicum virgatum 'Northwind' Northwind Switch Grass
	SALV	Salvia nemorosa 'Husmannara' Marcus Meadow Sage
	SISA	Sisyrinchium angustifolium 'Lucerne' Lucerne Blue-eyed Grass
	SPHE	Sporobolus heterolepis Prairie Dropseed

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VERONA, WISCONSIN 53593  
P. 608.248.5060

---

CLIENT:  
**LINCOLN AVENUE  
CAPITAL  
MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON  
DEVELOPMENT**

PROJECT LOCATION:  
**680 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719**

PLAN MODIFICATIONS:

#	Date	Discipline
1	07/17/2023	LANDSCAPE SUBMITTAL
2		
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Designed By: MBA  
Reviewed By: KJY  
Approved By: MRH

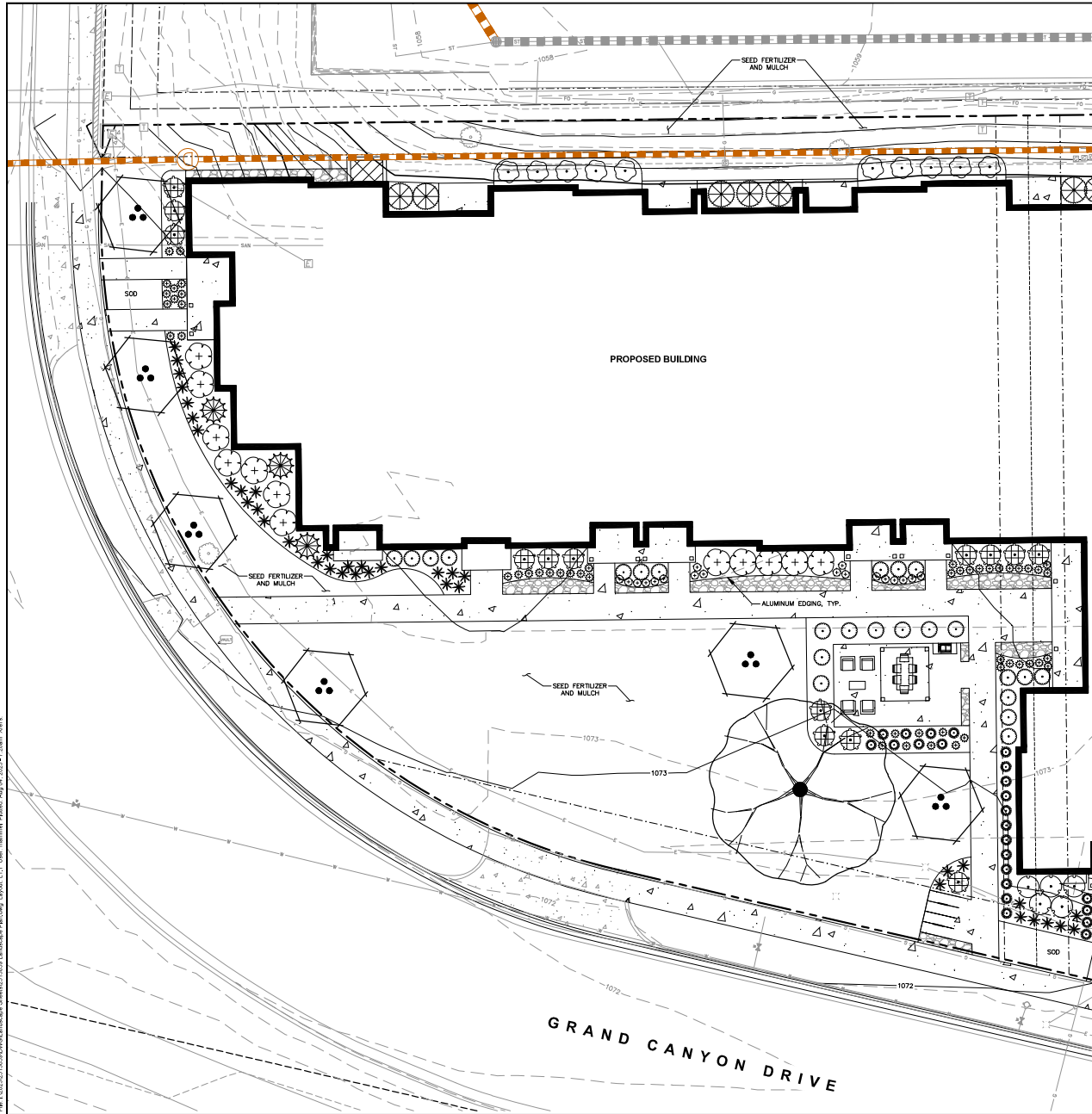
SHEET TITLE:  
**OVERALL  
LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.0**

800 PROJECT NO. 23-13268



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**LEGEND**

--- (dashed line)	PROPERTY LINE	--- (dashed line)	SANITARY SEWER
--- (dashed line)	RIGHT-OF-WAY	--- (dashed line)	WATERMAIN
--- (dashed line)	EASEMENT LINE	--- (dashed line)	STORM SEWER
--- (dashed line)	BUILDING OUTLINE	--- (dashed line)	EXISTING SANITARY SEWER
--- (dashed line)	EDGE OF PAVEMENT	--- (dashed line)	EXISTING WATERMAIN
--- (dashed line)	STANDARD CURB AND GUTTER	--- (dashed line)	EXISTING STORM SEWER
--- (dashed line)	REJECT CURB AND GUTTER	--- (dashed line)	RETAINING WALL
--- (dashed line)	ASPHALT PAVEMENT	--- (dashed line)	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
--- (dashed line)	CONCRETE PAVEMENT	--- (dashed line)	ADA PARKING SIGN
--- (dashed line)	PROPOSED 1 FOOT CONTOUR	--- (dashed line)	BIKE RACK
--- (dashed line)	PROPOSED 5 FOOT CONTOUR	--- (dashed line)	ALUMINUM EDGING
--- (dashed line)	EXISTING 1 FOOT CONTOUR	--- (dashed line)	DECORATIVE STONE MULCH
--- (dashed line)	EXISTING 5 FOOT CONTOUR		

**PLANT SCHEDULE**

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	JIVIC	<i>Juniperus virginiana</i> 'Canoertii' Canoertii Eastern Redcedar
	PIGL	<i>Picea glauca</i> White Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CECA	<i>Cercis canadensis</i> 'Columbus' Columbus Strain Eastern Redbud
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree
	PLAT	<i>Platanus x acerifolia</i> 'Morton Circle'™ Exclamation London Plane Tree
	QIEA	<i>Quercus alba</i> White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	PICE	<i>Pinus cembra</i> 'Chalet' Chalet Swiss Stone Pine
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iraqwis Beauty Black Chokeberry
	HYPA	<i>Hydrangea paniculata</i> 'Little Quick Fire' Little Quick Fire Hydrangea
	PHOP	<i>Physocarpus opulifolius</i> 'Amber Jubilee' Ninebark
	RHAR	<i>Rhus aromatica</i> 'Gro-Low' Gro-Low Fragrant Sumac
	SYRM	<i>Syringa meyeri</i> 'Palibin' Dwarf Korean Lilac
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus x 'Green Velvet'</i> Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallias Compacta' Kally Pfitzer Compact Juniper
	RHOD	<i>Rhododendron x 'P.J.M.'</i> PJM Rhododendron
	TAME	<i>Taxus x media</i> 'Dark Green' Dark Green Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	CALO	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass
	PAVN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
	SALV	<i>Salvia nemorosa</i> 'Haeumanarc' Marcus® Meadow Sage
	SISA	<i>Sisyrinchium angustifolium</i> 'Lucerne' Lucerne Blue-eyed Grass
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed

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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.248.5060

CLIENT:  
**LINCOLN AVENUE  
CAPITAL  
MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON  
DEVELOPMENT**

PROJECT LOCATION:  
680 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

PLAN MODIFICATIONS:

#	Date	Discussed
1	07/17/2023	LANDSCAPE SUBMITTAL
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Designed By: MSA  
Reviewed By: KJY  
Approved By: MRH

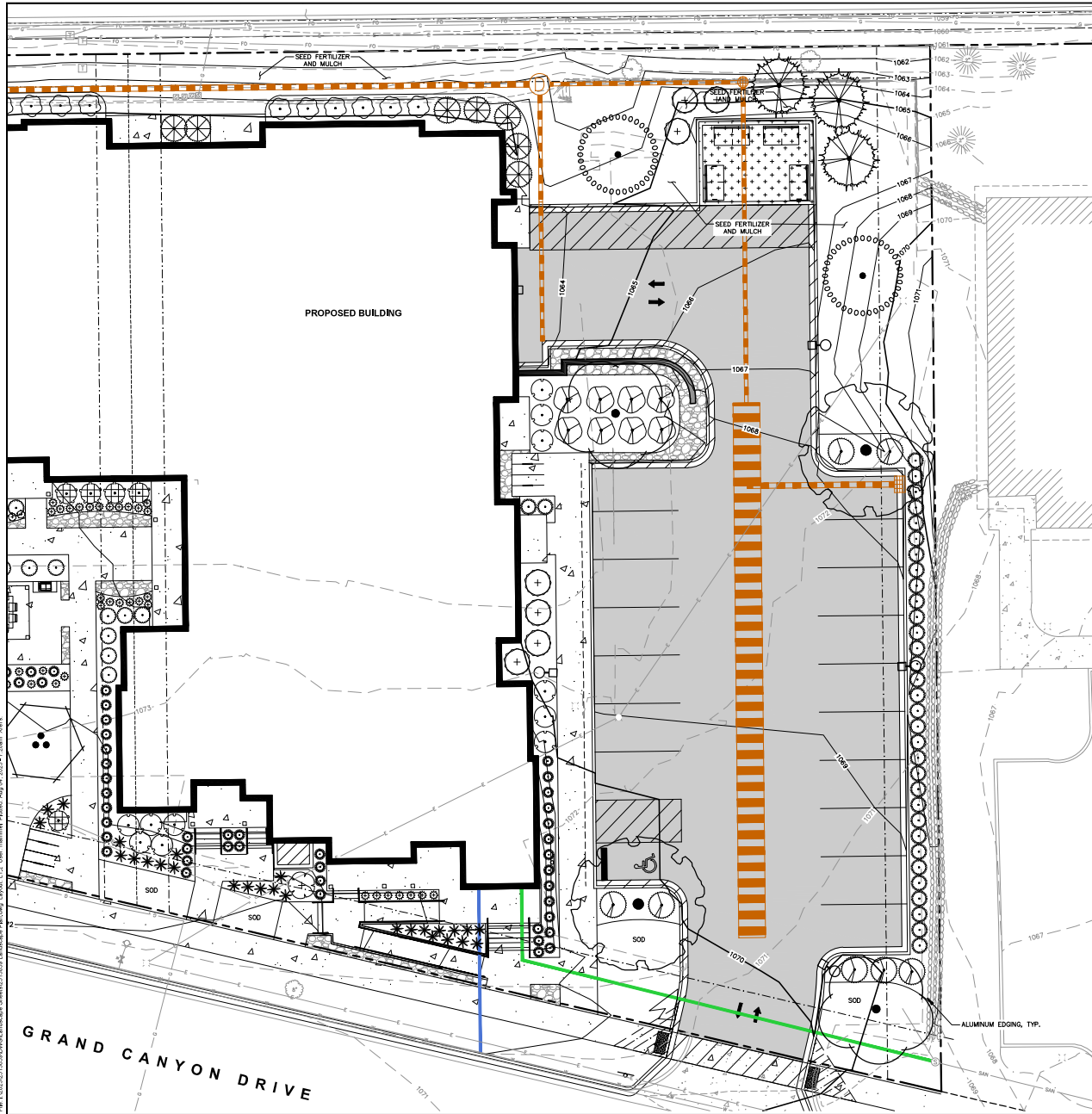
SHEET TITLE:  
**LANDSCAPE PLAN -  
WEST**

SHEET NUMBER:  
**L1.1**

800 PROJECT NO. 23-13268  
Toll Free (800) 242-8511

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**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REFLECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- 950
- 960
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- 950
- EXISTING 5 FOOT CONTOUR
- 960
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BIKE RACK
- ALUMINUM EDGING
- DECORATIVE STONE MULCH

**PLANT SCHEDULE**

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	JIVIC	<i>Juniperus virginiana</i> 'Concerti' Concerti Eastern Redcedar
	PIGL	<i>Picea glauca</i> White Spruce
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	CECA	<i>Cercis canadensis</i> 'Columbus' Columbus Strain Eastern Redbud
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree
	PLAT	<i>Platanus x acaenifolia</i> 'Morton Circle'™ Exclamation London Plane Tree
	OUEA	<i>Quercus alba</i> White Oak
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	PICE	<i>Pinus cembra</i> 'Chalet' Chalet Swiss Stone Pine
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iraqus Beauty Black Chokeberry
	HYPAL	<i>Hydrangea paniculata</i> 'Little Quick Fire' Little Quick Fire Hydrangea
	PHOPA	<i>Physocarpus opulifolius</i> 'Amber Jubilee' Ninebark
	RHAR	<i>Rhus aromatica</i> 'Gro-Low' Gro-Low Fragrant Sumac *
	SYRM	<i>Syringa meyeri</i> 'Palibin' Dwarf Korean Lilac
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	BUGV	<i>Buxus</i> x 'Green Velvet' Green Velvet Boxwood
	JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper
	RHOD	<i>Rhododendron</i> x 'P.J.M.' PJM Rhododendron
	TAMEC	<i>Taxus x media</i> 'Dark Green' Dark Green Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	CALO	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass
	PAWN	<i>Panicum virgatum</i> 'Northwind' Northwind Switch Grass
	SALV	<i>Salvia nemorosa</i> 'Hoeumanarc' Marcus Meadow Sage
	SISA	<i>Sisyrinchium angustifolium</i> 'Lucerne' Lucerne Blue-eyed Grass
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed



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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.248.5060

---

CLIENT:  
**LINCOLN AVENUE  
CAPITAL  
MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 WILSHIRE BLVD., #1070  
SANTA MONICA, CA 90401

---

PROJECT:  
**680 GRAND CANYON DRIVE  
DEVELOPMENT**

PROJECT LOCATION:  
680 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

---

PLAN MODIFICATIONS:

#	Date	Discipline
1	07.17.2023	LAND-USE SUBMITTAL
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Designed By: MBA  
Reviewed By: KJY  
Approved By: MRH

SHEET TITLE:  
**LANDSCAPE PLAN -  
EAST**

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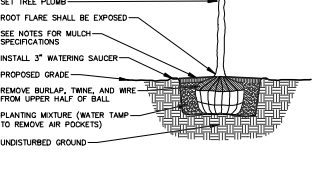
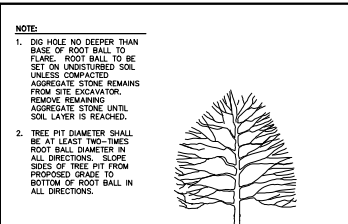
SHEET NUMBER:  
**L1.2**

800 PROJECT NO. 23-13268  
Toll Free (800) 242-8511

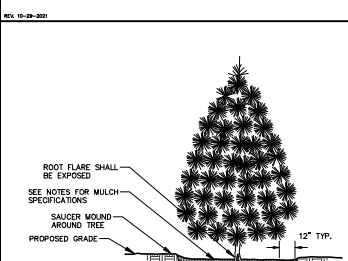
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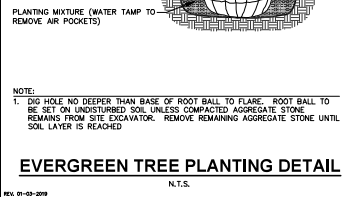




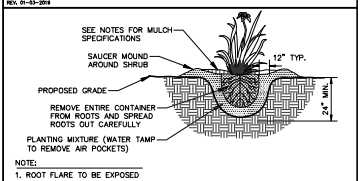
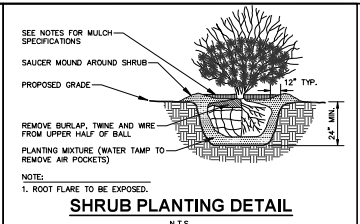
**DECIDUOUS TREE PLANTING DETAIL**



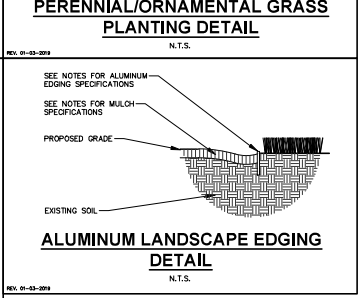
**DECIDUOUS TREE PLANTING DETAIL**



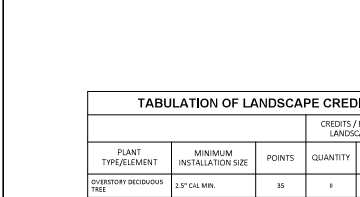
**EVERGREEN TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**



**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**



**ALUMINUM LANDSCAPE EDGING DETAIL**

**PLANT SCHEDULE**

CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
EVERGREEN TREE				
JVIC	Juniperus virginiana "Concert" Concert Eastern Redcedar	B & B	Min. 6" HL	3
PGL	Picea glauca White Spruce	B & B	Min. 6" HL	2
ORNAMENTAL TREES				
CECA	Carolinia condensa "Columbus" Columbus Strain Eastern Redbud	B & B	2" Cal (Multi-Stem)	6
OVERSTORY DECIDUOUS TREES				
GIBI	Ginkgo biloba "Autumn Gold" TM Autumn Gold Mordenhahn Tree	B & B	2.5" Cal	2
PLAT	Platanus x acerifolia "Morton Circle" TM Exclamation London Plane Tree	B & B	2.5" Cal	2
QUEA	Quercus alba White Oak	B & B	2.5" Cal	1
UPRIGHT EVERGREEN SHRUB				
PICE	Pinus ceabra "Chapel" Chapel Swiss Stone Pine	B & B	5" Min HL	3
DECIDUOUS SHRUBS				
ARNE	Aronia melanocarpa "Morton" TM Iniquis Beauty Black Chokeberry	#3	Min. 12"-24"	11
HYPLA	Hydrangea paniculata "Little Quick Fire" Little Quick Fire Hydrangea	#3	Min. 12"-24"	14
PHOPA	Phytolacca opulifolia "Amber Jubilee" Ninebark	#5	Min. 24"-36"	7
RHAR	Rhus aromatica "Gro-Low" Gro-Low Fragrant Sumac	#3	Min. 12"-24"	8
SYRM	Syringa meyeri "Palibin" Dwarf Korean Lilac	#3	Min. 24"	13
EVERGREEN SHRUBS				
BUGV	Buxus x "Green Velvet" Green Velvet Boxwood	#3	Min. 12"-24"	24
JUCHK	Juniperus chinensis "Philzrano Kallias Compact" Kally Priffer Corvus Juniper	#5	Min. 24" wide	7
RHOD	Rhododendron x "T.J.M." P.M. Rhododendron	#5	Min. 24"	16
TAME	Taxus x media "Dark Green" Dark Green Yew	#5	Min. 24"	12
PERENNIALS & GRASSES				
CALO	Calamagrostis x acutifloria "Overdam" Overdam Feather Reed Grass	#1	Min. 8"-16"	48
PAVIN	Panicum virgatum "Northwind" Northwind Switch Grass	#1	Min. 12"-24"	34
SALV	Salvia nemorosa "Husmannar" Marcus Meadow Sage	#1	Min. 8"-16"	59
SISA	Sisyrinchium angustifolium "Lucerna" Lucerne Blue-eyed Grass	#1	Min. 8"-16"	18
SPHE	Sporobolus heterolepis Prairie Dropseed	#1	Min. 8"-16"	55

**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY LOCAL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR AND FINISH GRADING AS COMPLETE.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
- GENERAL ALL WORK IN THE R-0-R-00 AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DAMAGE DONE BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. DELIVER AND HANDLE PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. ALL PLANTS MUST BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, DELIVERER SHALL KEEP PLANTS MOIST AND SHADDED UNTIL PLANTING. COVER ROOTS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE AREA. PROTECT THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MATERIALS. DO NOT PICK UP CONTAINERS OR BALLED PLANTS BY STEEL RIMS OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS PRIOR TO PLANTING. PLANTS SHALL BE PLANTED ONLY WHEN HEAVILY AND SOIL STAYS AT THE HIGHEST QUALITY. POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, PESTS AND DISEASE. PLANTS SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: PLANTS ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE PRUNED TO SPECIES AND VARIETY SPECIFIC AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER IDEAL GROWTH CONDITIONS. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND DIMENSIONS. PLANTS SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND BE FREE OF PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREVENT PLANTS FROM BEING SUITABLE FOR THE HIGHEST QUALITY. POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, PESTS AND DISEASE. PLANTS SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: CONTRACTOR SHALL PRUNE ALL TREES AND RETURN TO OWNER ANY BRANES THAT FALL DURING THE PLANTING PROCESS. DROPPED BRANCHED AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL BE PERFORMED TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS. AMB ADD. PRUNE TREES IN ACCORDANCE WITH ANA GUIDELINES. DO NOT CUT TREES TO STUMPS. SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER BRUSH AWAY BARK. TRACE THE INJURED CUMBER BACK LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED ANTIFUNGIC LATEX-BASED ANTISEPTIC TREE PAINT; IF PRUNING OCCURS "IN SEASON," DO NOT PRUNE ANY OAK TREES DURING THE MONTH OF OCTOBER FROM OCTOBER THROUGH APRIL ON SCHEDULE.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSING OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL, BRANCHES, END AND BRAP THESE MATERIALS AND REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCESSIBLE PORTIONS OF PUBLIC RIGHT-OF-WAY OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LAWN OR LANDSCAPE AREAS FOR SOIL, ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- PLANTING MIXTURE: ALL HOLEX EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- TOPSOIL: TOPSOIL TO BE CLEAN, FIBRE-LONG FROM A LOCAL SOURCE. FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOWNS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. SOIL ANALYSIS TEST RESULTS TO BE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. DO NOT PLACE FROZEN OR FRESHLY FROZEN TOPSOIL. APPLY SOIL AMENDMENTS TO MEET THESE SPECIFICATIONS. PROMOTE TEST RESULTS TO BE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- SHREDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WOOD SHREDED HARDWOOD BARK MULCH. BARK MULCH SHALL BE APPLIED TO A MINIMUM OF 3-INCHES DEEP. HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING. MULCH SHALL BE APPLIED TO A MINIMUM OF 3-INCHES DEEP WITH AN APPLICABLE COUNTY AND STATE REQUIREMENTS. SHREDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOODEN WEED BARRIER FABRIC.
- STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOODEN WEED BARRIER FABRIC OR PLASTIC APPLICABLE BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDS SHALL RECEIVE A STONE MULCH OF 3-INCHES DEEP OF DIAMETER SHREDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHALL BE INSTALLED AS WELL AS DEPTH SHALL EXCEED EDGE ANGLED AS DEGREES INTO SOIL AT A 5' DIAMETER AROUND THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS APPLIED TO COMPLETE RELATION OF TREE RING.
- ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4" ALUMINUM EDGING. MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

**LANDSCAPE CALCULATIONS AND DISTRIBUTIONS**

Requires landscape areas shall be calculated based upon the total developed area of the property. Developed area is defined as all area within a single contiguous parcel that is used for any building, parking, driveway and site surrounding facilities, but excluding the area of any building footprint at grade. Land designed for open space uses such as athletic fields, and undeveloped areas and any other uses not shown on site plan. There are three methods for calculating landscape points depending on the size of the lot and zoning district:

(A) For all lots except those described in (B) and (C) include five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 12,559 SF  
Total landscape points required: 209 POINTS

(B) For lots larger than five (5) acres points shall be provided for every (10) points per three hundred (300) square feet for the total developed area.

(C) For lots between one-half (1/2) acre and four (4) acres points shall be provided for every (10) points per three hundred (300) square feet for the total developed area.

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	CREDITS/EXISTING LANDSCAPING POINTS ACHIEVED	NEW/PROPOSED LANDSCAPING POINTS ACHIEVED
TALL EVERGREEN TREE	5'-11" TALL MIN.	35	0	0	5
ORNAMENTAL TREE	1.5" CAL MIN.	35	0	0	6
SHRUB EVERGREEN	4' CAL MIN.	10	0	0	3
UPRIGHT EVERGREEN SHRUB	4' TALL MIN.	10	0	0	3
SHRUB PERENNIAL	#9 CONT., MIN. 12" x 24"	3	0	0	9
SHRUB EVERGREEN	#9 CONT., MIN. 12" x 24"	3	0	0	9
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 18" x 18"	2	0	0	210
DECORATIVE FENCING OR WALL	4 POINTS/10 LF	4	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE 14" CALIPE	> 14" CALIPE (OR FEET) GREATER THAN MAXIMUM POINTS ALLOWED	200	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE 13" CALIPE	> 13" CALIPE (OR FEET) GREATER THAN MAXIMUM POINTS ALLOWED	174	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT	5	0	0	0
SUBTOTAL					1,285
TOTAL NUMBER OF POINTS PROVIDED					1,285

**TABULATION OF LANDSCAPE CREDITS AND POINTS**

**SEEDING & SODDING NOTES**

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 4" OF TOPSOIL, AND FORTH CARBET'S MADISON PARKS' GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEE SEED-FREE
- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 40 INCH, PLUS OR MINUS 25 INCH. AT TIME OF CUTTING, TURFGRASS FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH, BROKEN PICES AND TORN OR UNIFORM ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY BY THE OWNER. THIS MAY AFFECT THE SOD'S SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH UP TO 1/2 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (100 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGAIN IMMEDIATELY AFTER SOD IS INSTALLED.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTING SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A WOODRICKS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENTS INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED BY THE CONTRACTOR REPAIRING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGAIN IMMEDIATELY AFTER SOD IS INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE (CONTRACTOR) FOR ALL PLANTINGS, SEEDS AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TERM PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY WOODRICKS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARING OR SUPPLEMENT OF DISCLOSURE OF SCHEDULED MAINTENANCE BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTING SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A WOODRICKS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENTS INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED BY THE CONTRACTOR REPAIRING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGAIN IMMEDIATELY AFTER SOD IS INSTALLED.
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- MAINTENANCE (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**JSD**  
CREATE THE VISION. TELL THE STORY.

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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.248.5060

CLIENT: **LINCOLN AVENUE CAPITAL MANAGEMENT, LLC**

CLIENT ADDRESS:  
401 MILSHIRE BLVD., #1970  
SANTA MONICA, CA 90401

PROJECT:  
**680 GRAND CANYON DEVELOPMENT**

PROJECT LOCATION:  
608 GRAND CANYON DRIVE  
MADISON, DANE COUNTY  
WISCONSIN 53719

**PLANNING/DESIGN**

1	DATE	Discipline
2	27.17.2023	LANDSCAPE SUBMITTAL
3		
4		
5		
6		
7		
8		
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10		
11		
12		
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14		
15		

Designed by: MSA  
Reviewed by: KLY  
Approved by: MSH

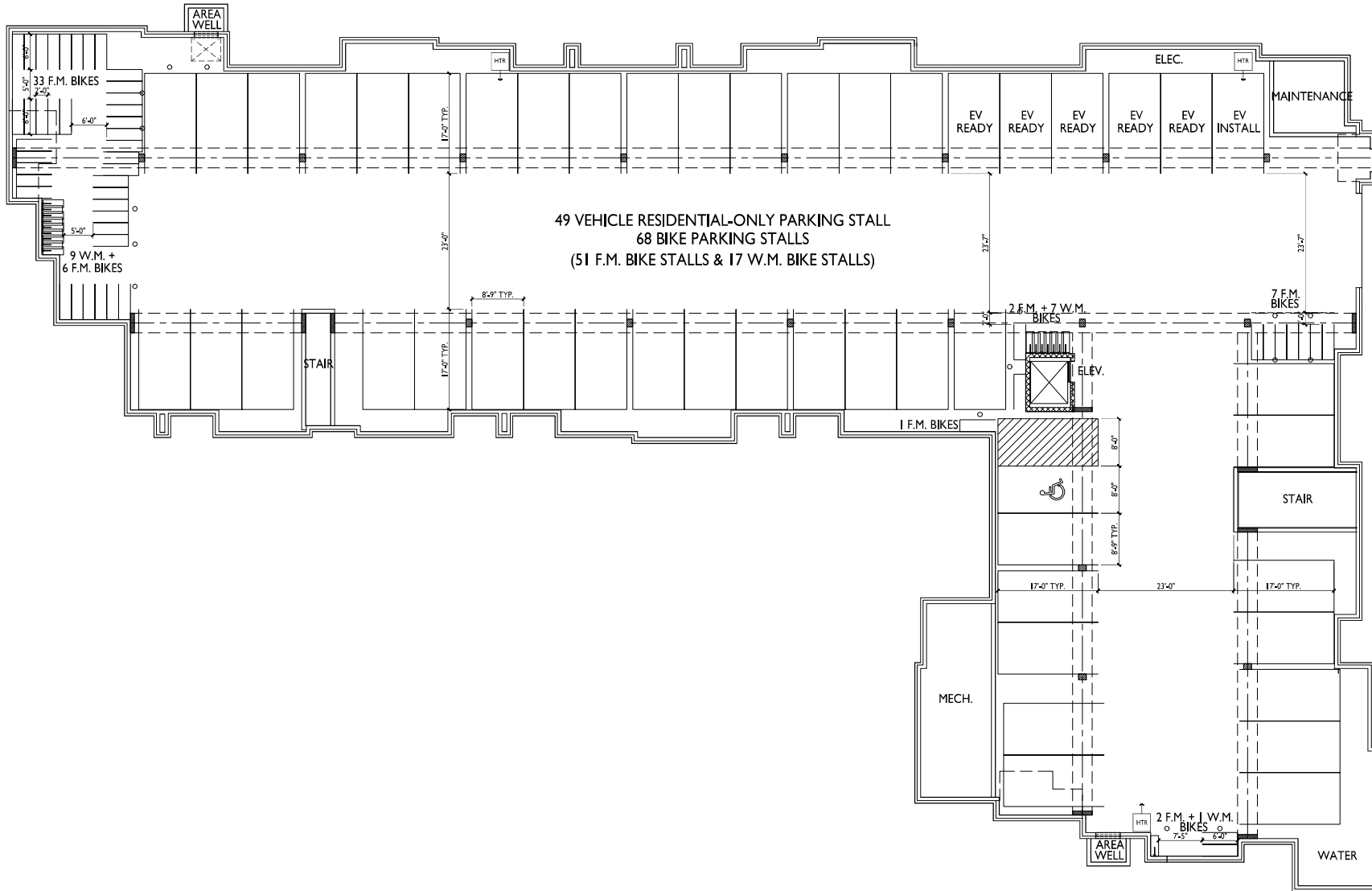
SHEET TITLE:  
**LANDSCAPE DETAILS & NOTES**

SHEET NUMBER:  
**L2.0**

JSD PROJECT NO. 23-1250

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ISSUED  
 Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 Basement Floor  
 Plan

SHEET NUMBER

**A-1.0**

PROJECT NO. 2303  
 © Knothe & Bruce Architects, LLC

**1**  
 A-1.0  
 BASEMENT FLOOR PLAN  
 1/8"=1'-0"





ISSUED  
 Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 First Floor Plan

SHEET NUMBER

**A-1.1**  
 PROJECT NO. 2303  
 © Knothe & Bruce Architects, LLC

**FIRST FLOOR PLAN**  
 1/8"=1'-0"





ISSUED  
 Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 Second Floor Plan

SHEET NUMBER

**A-1.2**

PROJECT NO. 2303  
 © Knothe & Bruce Architects, LLC

**1**  
**A-1.2** SECOND FLOOR PLAN  
 1/8"=1'-0"







ISSUED  
 Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 Third Floor Plan

SHEET NUMBER

**A-1.3**

PROJECT NO. 2303  
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**1** THIRD FLOOR PLAN  
 A-1.3 1/8"=1'-0"





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 Issued for LIA Submittal - August 7, 2023

PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
 Fourth Floor Plan

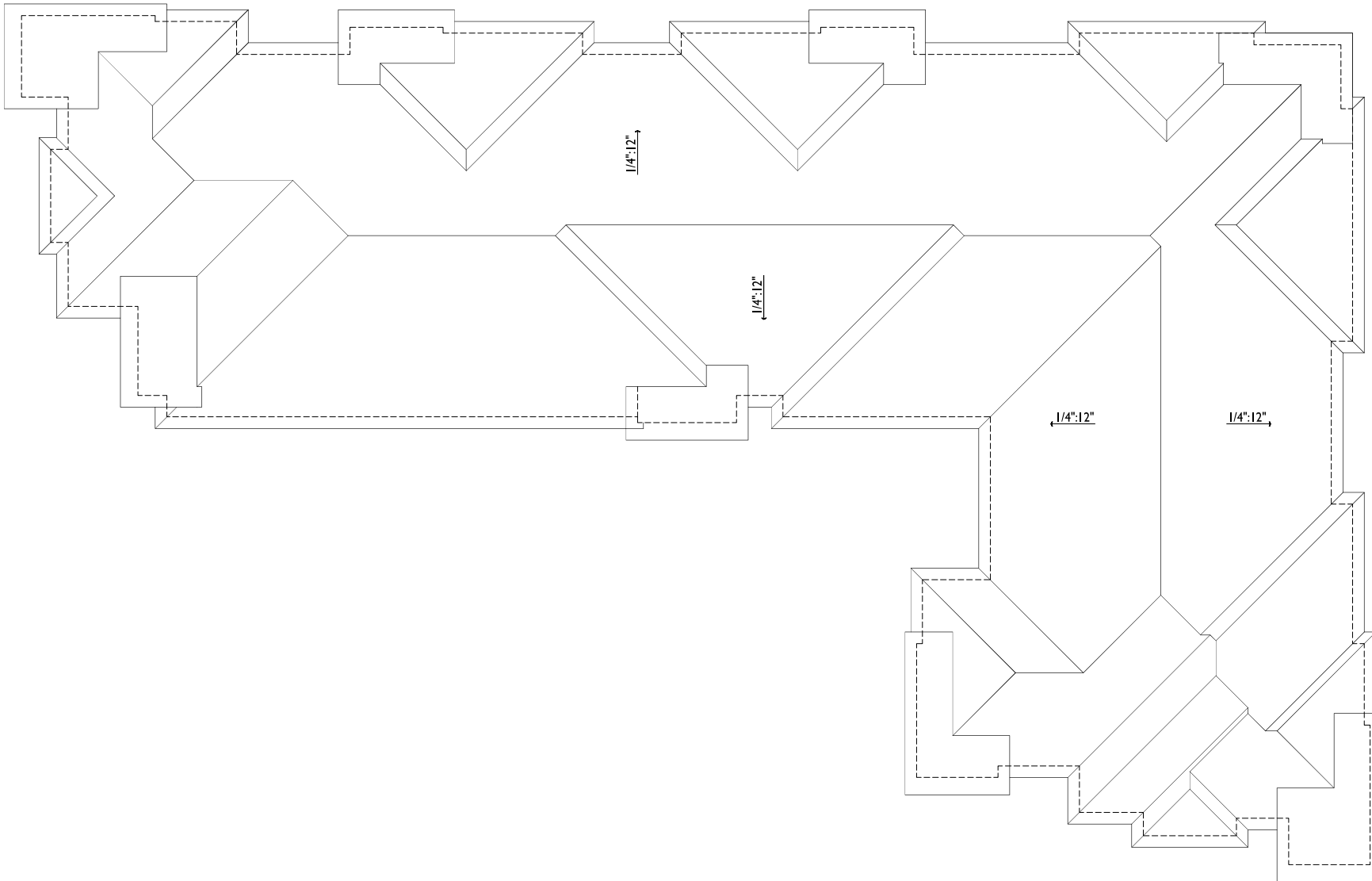
SHEET NUMBER

**A-1.4**

PROJECT NO. 2303  
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**1**  
 A-1.4  
**FOURTH FLOOR PLAN**  
 1/8"=1'-0"





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PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon Drive,  
 Madison, WI  
 SHEET TITLE  
**Roof Plan**

SHEET NUMBER

**A-1.5**

PROJECT NO. **2303**  
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**1** ROOF PLAN  
 A-1.5 1/8"=1'-0"

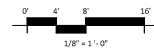




1 ELEVATION - WEST  
 A-2.1 1/8" = 1'-0"



2 ELEVATION - NORTH  
 A-2.1 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	GRAY SLATE
02	COMPOSITE PANEL	JAMES HARDIE	SANTA MONICA PIER BLUE
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE WOOD TONE	WINCHESTER BROWN
04	COMPOSITE LAP SIDING 4"	JAMES HARDIE	LIGHT MIST
05	BRICK VENEER	SOULIX CITY BRICK	EBONITE SMOOTH
06	CAST STONE	ROCKCAST	CRYSTAL WHITE
09	WRAPPED COLUMN	JAMES HARDIE	LIGHT MIST
10	COMPOSITE WINDOW	TBO	LIGHT GRAY
11	ALUMINUM STONEFRONT	N/A	CLEAR ANODIZED
12	RAILINGS & HANDRAILS	CLIPPER	BLACK
13	SOFFIT & FASCIA	JAMES HARDIE	LIGHT MIST
14	ASPHALT SHINGLE ROOF	CERTAINTED	COLONIAL SLATE

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PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon  
 Drive Madison, WI  
 EXTERIOR  
 ELEVATIONS

SHEET NUMBER

**A-2.1**  
 PROJECT NUMBER 2303

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1  
 A-2.2  
 ELEVATION - EAST  
 1/8" = 1'-0"



2  
 A-2.2  
 ELEVATION - SOUTH  
 1/8" = 1'-0"

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PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon  
 Drive Madison, WI  
 EXTERIOR  
 ELEVATIONS

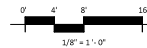
SHEET NUMBER

**A-2.2**

PROJECT NUMBER 2303

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EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	GRAY SLATE
02	COMPOSITE PANEL	JAMES HARDIE	SANTA MONICA PIER BLUE
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE WOOD TONE	WINCHESTER BROWN
04	COMPOSITE LAP SIDING 4"	JAMES HARDIE	LIGHT MIST
05	BRICK VENEER	SOULX CITY BRICK	EBONITE SMOOTH
06	CAST STONE	ROCKCAST	CRYSTAL WHITE
09	WRAPPED COLUMN	JAMES HARDIE	LIGHT MIST
10	COMPOSITE WINDOW	TBD	LIGHT GRAY
11	ALUMINUM STOREFRONT	N/A	CLEAR ANODIZED
12	RAILINGS & HANDRAILS	UPPERIOR	BLACK
13	SOFFIT & FASCIA	JAMES HARDIE	LIGHT MIST
14	ASPHALT SHINGLE ROOF	CERTAINTED	COLONIAL SLATE





1  
 A-2.3  
 COLORED ELEVATION - WEST  
 1/8" = 1'-0"



2  
 A-2.3  
 COLORED ELEVATION - NORTH  
 1/8" = 1'-0"

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PROJECT TITLE  
 Lincoln Avenue  
 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon  
 Drive Madison, WI

EXTERIOR  
 ELEVATIONS  
 COLORED

SHEET NUMBER

**A-2.3**  
 PROJECT NUMBER 2303

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EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	GRAY SLATE
02	COMPOSITE PANEL	JAMES HARDIE	SANTA MONICA PIER BLUE
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE WOOD TONE	WINCHESTER BROWN
04	COMPOSITE LAP SIDING 4"	JAMES HARDIE	LIGHT MIST
05	BRICK VENEER	SIQUIX CITY BRICK	EBONITE SMOOTH
06	CAST STONE	ROCKCAST	CRYSTAL WHITE
09	WRAPPED COLUMN	JAMES HARDIE	LIGHT MIST
10	COMPOSITE WINDOW	TBD	LIGHT GRAY
11	ALUMINUM STONEFRONT	N/A	CLEAR ANODIZED
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	SOFFIT & FASCIA	JAMES HARDIE	LIGHT MIST
14	ASPHALT SHINGLE ROOF	CERTAINTED	COLONIAL SLATE







1  
A-2.4  
COLORED ELEVATION - EAST  
1/8" = 1'-0"



2  
A-2.4  
COLORED ELEVATION - SOUTH  
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	GRAY SLATE
02	COMPOSITE PANEL	JAMES HARDIE	SANTA MONICA PIER BLUE
03	COMPOSITE LAP SIDING 6"	JAMES HARDIE WOOD TONE	WINCHESTER BROWN
04	COMPOSITE LAP SIDING 4"	JAMES HARDIE	LIGHT MIST
05	BRICK VENEER	SOULX CITY BRICK	EBONITE SMOOTH
06	CAST STONE	ROCKCAST	CRYSTAL WHITE
09	WRAPPED COLUMN	JAMES HARDIE	LIGHT MIST
10	COMPOSITE WINDOW	TBD	LIGHT GRAY
11	ALUMINUM STOREFRONT	N/A	CLEAR ANODIZED
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	SOFFIT & FASCIA	JAMES HARDIE	LIGHT MIST
14	ASPHALT SHINGLE ROOF	CERTAINTED	COLONIAL SLATE



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PROJECT TITLE  
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 Capital Grand  
 Canyon Drive  
 Development

680 Grand Canyon  
 Drive Madison, WI  
 EXTERIOR  
 ELEVATIONS  
 COLORED

SHEET NUMBER

**A-2.4**  
 PROJECT NUMBER 2303

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# Lincoln Avenue Capital Grand Canyon Drive Development

680 Grand Canyon Drive Madison, WI

RENDER IMAGE

August 07, 2023







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## Lincoln Avenue Capital Grand Canyon Drive Development

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August 07, 2023







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August 07, 2023

