

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Date Received 5/15/23 10:39 a.m. Initial Submittal
Paid _____ Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

1. Project Information

Address (list all addresses on the project site): 750 University Row
UW Health 750 University Row Expansion
Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested June 28, 2023
New development ☐ Alteration to an existing or previously-approved development ☐
Informational ☐ Initial Approval ☐ Final Approval ☐

3. Project Type

Project in an Urban Design District
Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
Planned Development (PD)
General Development Plan (GDP)
Specific Implementation Plan (SIP)
Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
Modifications of Height, Area, and Setback
Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name	<u>Paul Lenhart</u>	Company	<u>University Row Clinic LLC</u>
Street address	<u>749 University Row Ste 101</u>	City/State/Zip	<u>Madison, WI 53705</u>
Telephone	<u>608.260.7007</u>	Email	<u>plenhart@kruppconstruction.com</u>
Project contact person	<u>Jenni Eschner</u>	Company	<u>Eppstein Uhen Architects</u>
Street address	<u>309 W Johnson St</u>	City/State/Zip	<u>Madison WI 53703</u>
Telephone	<u>608.442.6698</u>	Email	<u>jennie@eua.com</u>
Property owner (if not applicant)	<u>GI Clinic LLC</u>	City/State/Zip	<u>Madison WI 53705</u>
Street address	<u>749 University Row Ste 101</u>	Email	<u>plenhart@kruppconstruction.com</u>
Telephone	<u>608.260.7007</u>		

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan
- ☒ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ☒ PD text and Letter of Intent (if applicable)
- ☒ Samples of the exterior building materials
- ☒ Proposed sign areas and types (if applicable)

4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- ☐ Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

5. Required Submittal Materials

☒ Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

☒ Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

☒ Development Plans (Refer to checklist on Page 4 for plan details)

☒ Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

☐ Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to UDCapplications@cityofmadison.com. The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

☒ Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

6. Applicant Declarations

- Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Tim Parks and Jessica Vaughn on 2/6/2023 & 2/13/2023.
- The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Paul G Lenhart

Relationship to property Manager and Member

Authorizing signature of property owner _____

Date 5/6/2023

7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
- ☐ Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Letter of Intent

Please consider this our formal Letter of Intent for the land use application and to pursue an Amendment to the General Development Plan and Specific Implementation Plan in the Planned Unit Development (PUD-GDP-SIP), previous PUD-GDP-SIP dated January 24, 2012.

- Existing PUD-GDP-SIP drawing set dated January 24, 2012, is attached for reference.

Project Name:

UW Health 750 University Row Expansion

Parcel Location:

750 University Row
Madison, WI 53705

Applicant:

University Row Clinic, LLC
749 University Row, Suite 101
Madison, WI 53705
Paul G. Lenhart
608-260-7007
plenhart@kruppconstruction.com

Landowner:

GI Clinic, LLC
749 University Row, Suite 101
Madison, WI 53705
Paul G. Lenhart
608-260-7007
plenhart@kruppconstruction.com

Architect:

Eppstein Uhen Architects
309 W Johnson Street, Suite 202
Madison, WI 53703
Rob Beisenstein, AIA, LEED AP
414-291-8145
robb@eua.com

Civil Engineer:

D'Onofrio, Kottke and Associates
7530 Westward Way
Madison, WI 53717
Dan Day, PE
608-833-7530
dday@donofrio.cc

Landscape Architect:

Ken Saiki Design
1110 S. Park Street
Madison, WI 53715
Rebecca DeBoer
608-251-3600
rdeboer@saiki.design.com

Contractor:

Krupp General Contractors
749 University Row, Suite 101
Madison, WI 53705
Dietmar Bassuner
608-347-2759
Dietmar.bassuner@kruppconstruction.com

Proposed Building Occupant:

UW Health
600 Highland Avenue
Madison, WI 53792-8360
Michael McKay
608-422-8396
mmckay@uwhealth.org

The existing 67,292 SF UW Health, Digestive Health Center (DHC), is a 3-story outpatient clinic building located at 750 University Row. The lowest level of the DHC building includes parking, clinical support spaces, and building support spaces. The main entrance is located on the southeast end of the building, facing south to the surface parking lot, and is accessed from a driveway that runs between the building and the surface parking lot.

The proposed building expansion is comprised of a 3 ½ level, 830 car parking structure adjacent to and below grade (underneath) a 180,000 SF, 4-story outpatient clinic. The first-floor clinical space includes Registration, Lab, Pharmacy, Imaging, Café, and Urgent Care. The second through fourth floors include Specialty Care and Primary Care Clinics. The proposed main building entrance will remain in a similar location and be reoriented to face the primary street, University Row. UW Health will be the single occupant of the expanded building.

During construction, the temporary surface parking areas located on Lots 2 and 3 will be used for staff and patient parking.

Future development at Lots 2 and 3 will consist of a single 4-story multi-family building with covered and surface parking. The proposed multi-family building contemplates 110 units with a parking ratio of 1:1 parking stall per bedroom.

Site:

The University Crossing development is a total of 14.332 acres (624,302 SF).

Lots 1, 2 & 3 are 8.501 acres (370,324 SF). As part of this project the property boundaries of Lots 1, 2 and 3 will be revised via Certified Survey Map (CSM).

- Lot 1 will increase in size to accommodate the footprint of the building addition.
- Lots 2 and 3 will be combined and will be referred to as Lot 2.

The remaining development encompasses the following areas and will remain as configured:

- Lots 4, 5, 6 & 7 at 3.763 acres (163,924 SF)
- Outlot 1 at 0.374 acres (16,281 SF)
- Public roads at 1.694 acres (73,773 SF)

Sustainability:

The expansion of 750 University Row is planning to pursue LEED 4.1 designation and is exploring the following highlights:

- Exploring renewable energy, including solar.
- Central and accessible: Located within ¼ mile walk to six bus lines (the closest bus stop being approximately 200' from main entrance) and within ½ mile walk to a planned BRT stop. This location earns a WalkScore of sixty-seven under the LEED 4.1 rating system.
- The parking garage will provide charging for electric vehicles, ample bike parking for staff and visitors and will be shaded by solar panels.
- The design will incorporate bird collision deterrence concepts, including bird-friendly glazing.
- The design will incorporate vegetated roof areas to aid with stormwater management strategies as well as provide enhanced views.
- Parking will be in a covered structure minimizing rainwater run-off as well as minimizing the use of deicing agents during the winter months.
- The project will account for rainwater collection systems to be used for toilet flushing and landscape irrigation (graywater reuse).
- The project will incorporate low-emitting and low-carbon materials.

Signage:

Concept signage locations for 750 University Row are indicated on the design drawings. Final signage design will be submitted at a future date.

Schedule:

The anticipated occupancy date of 750 University row is expected to be Q1 of 2026.

Transportation:**Bike:**

The clinic expansion will include internal bike storage along with showers and lockers to encourage bike use by employees. The existing bike path on the west side of the development will be extend to the building expansion south property line.

A B-Cycle station is currently located at the intersection of University Avenue and University Row.

Transit:

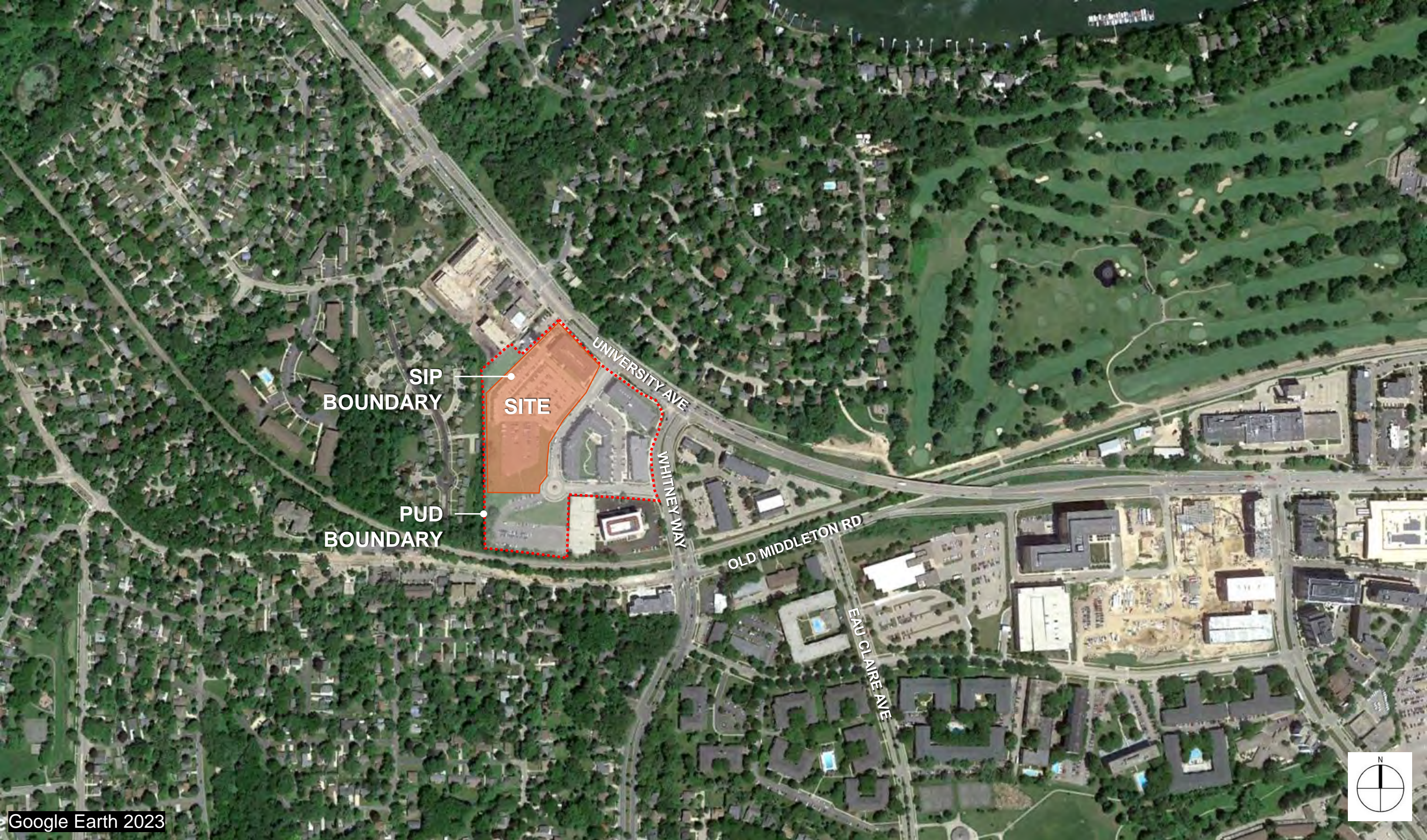
Located within ¼ mile walk to 6 bus lines (the closest being approximately 200' from main entrance) and within ½ mile walk to a planned BRT stop. The location earns a WalkScore of sixty-seven under the LEED 4.1 rating system.

Traffic Study:

A traffic impact analysis has been completed by KL Engineering and was submitted to the City of Madison on February 8, 2023

750 UNIVERSITY ROW EXPANSION





Google Earth 2023

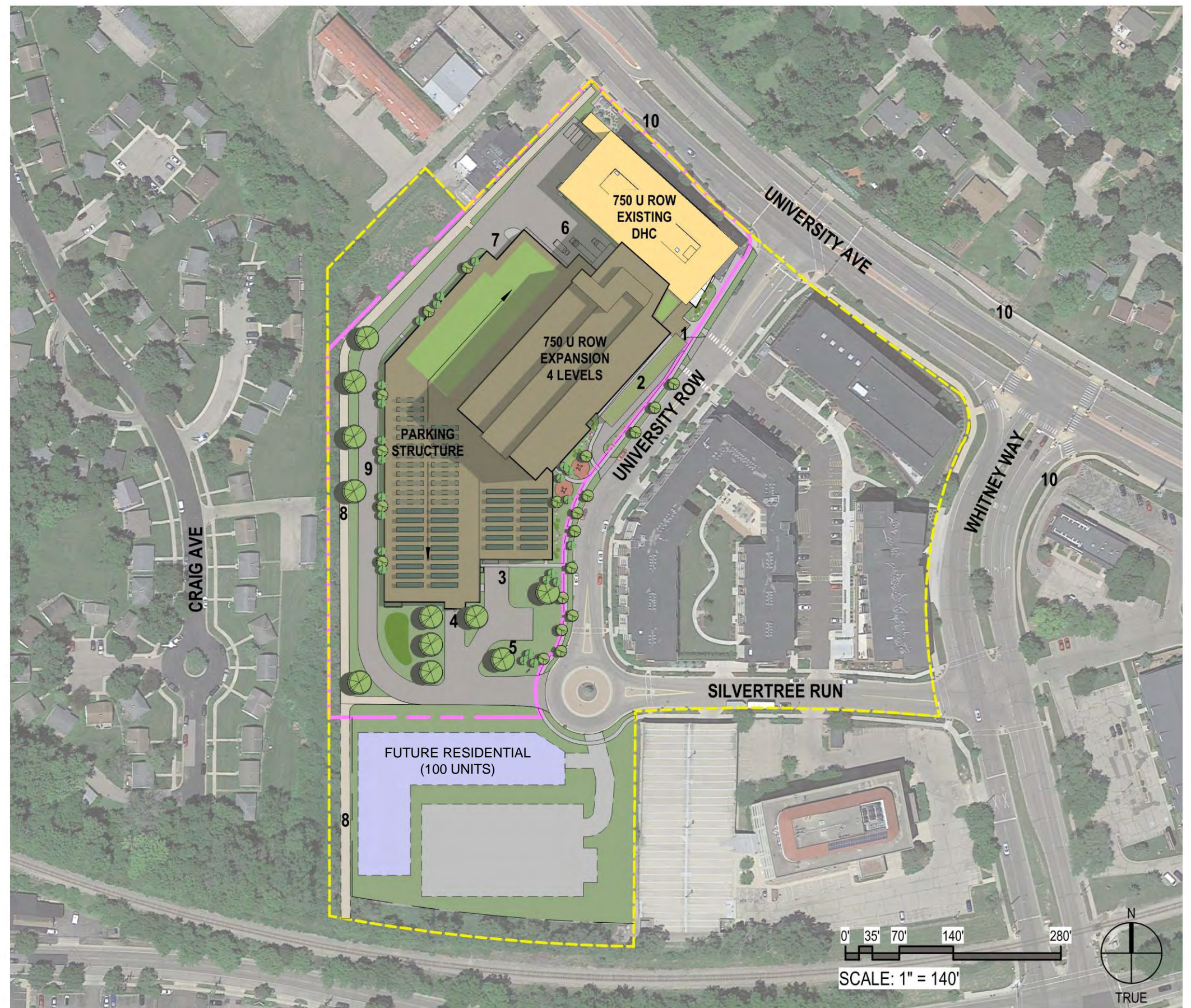









Google Earth 2023



- 1 MAIN ENTRY
- 2 PATIENT DROP-OFF / PICK-UP
- 3 AMBULANCE PICK-UP AND EXTENDED VEHICLE PARKING
- 4 VISITOR PARKING ENTRY / EXIT
- 5 DRY DETENTION
- 6 LOADING DOCK (NEW)
- 7 STAFF PARKING ENTRY / EXIT
- 8 BIKE PATH
- 9 SERVICE DRIVE
- 10 EXISTING BUS STOP

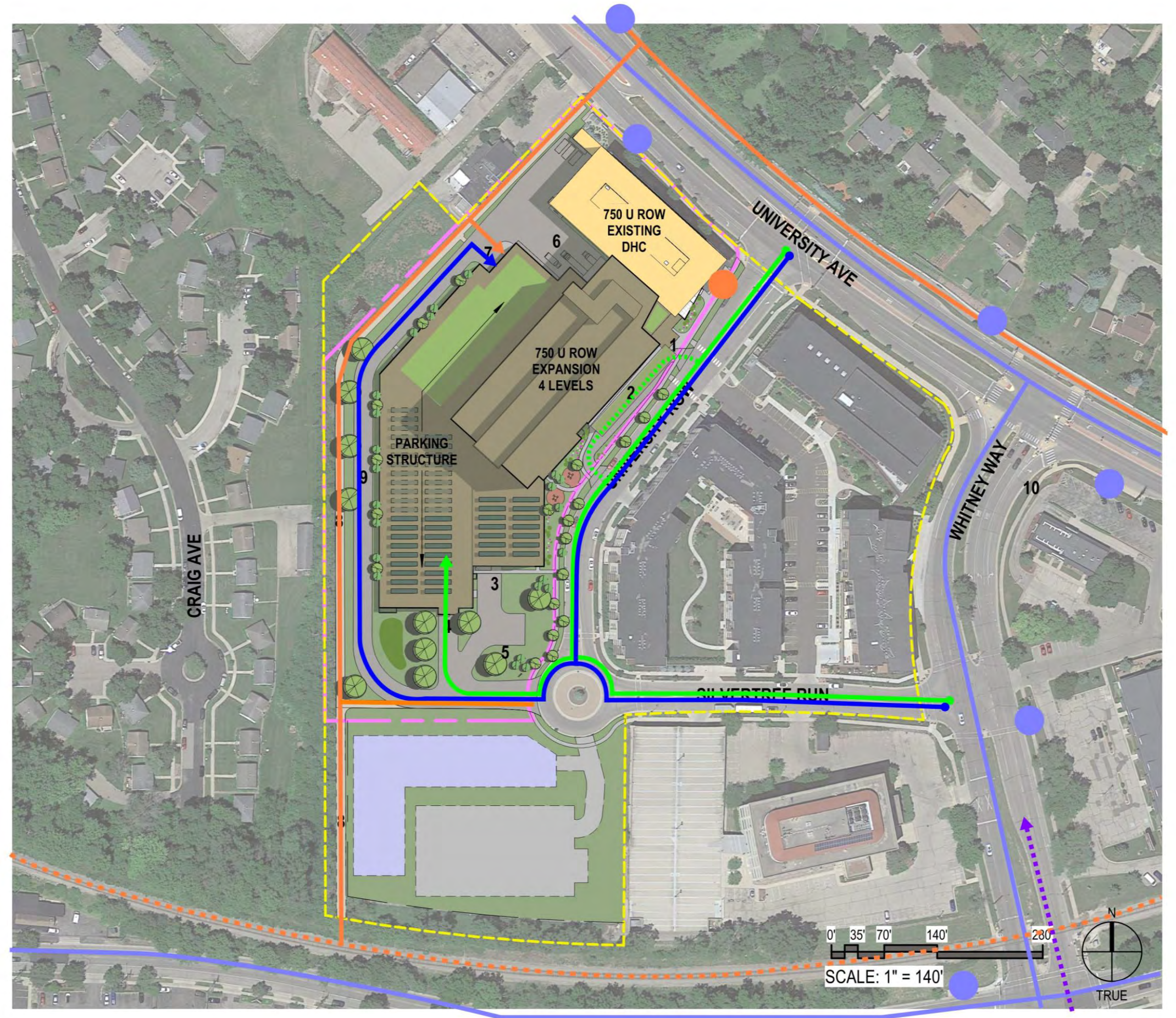
PUD BOUNDARY ---

SIP BOUNDARY ---



-  BUS ROUTES
-  BUS STOPS
-  ROUTE FROM FUTURE BRT STOP AT SHEBOYGAN / EAU CLAIRE TO BEGIN 2023
-  BIKE PATHS
-  B-CYCLE STATION
-  VISITOR/PATIENT VEHICLES
-  VISITOR DROP-OFF
-  STAFF VEHICLES

- PUD BOUNDARY 
- SIP BOUNDARY 



TRANSPORTATION DEMAND

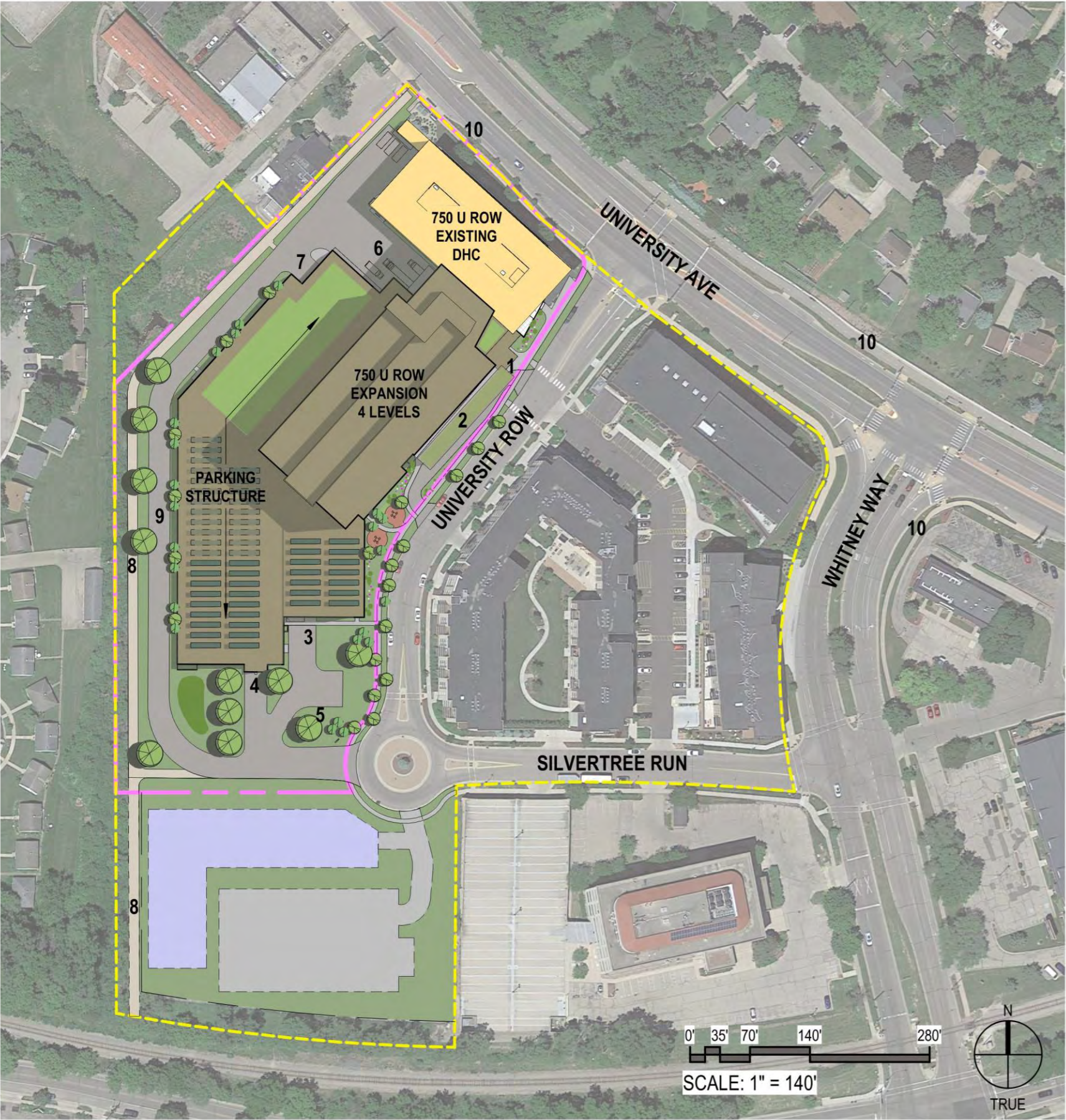
Use	Height	Building Area	Stalls
Existing per PUD, GDP, SIP dated 2012.01.24			
Building 1	Clinic	3	67,420 sqft
Building 1A	Clinic	4	70,000 sqft
Building 2	Clinic	3	80,000 sqft
Building 3	Non-profit	3	40,000 sqft
Building 4	Office/Retail	3	64,000 sqft
Building 5	Hotel	6	84,000 sqft
Building 6	Residential	4	135,600 sqft
Shared Parking	parking		285
TOTAL Proposed		541,020 sqft	1,343

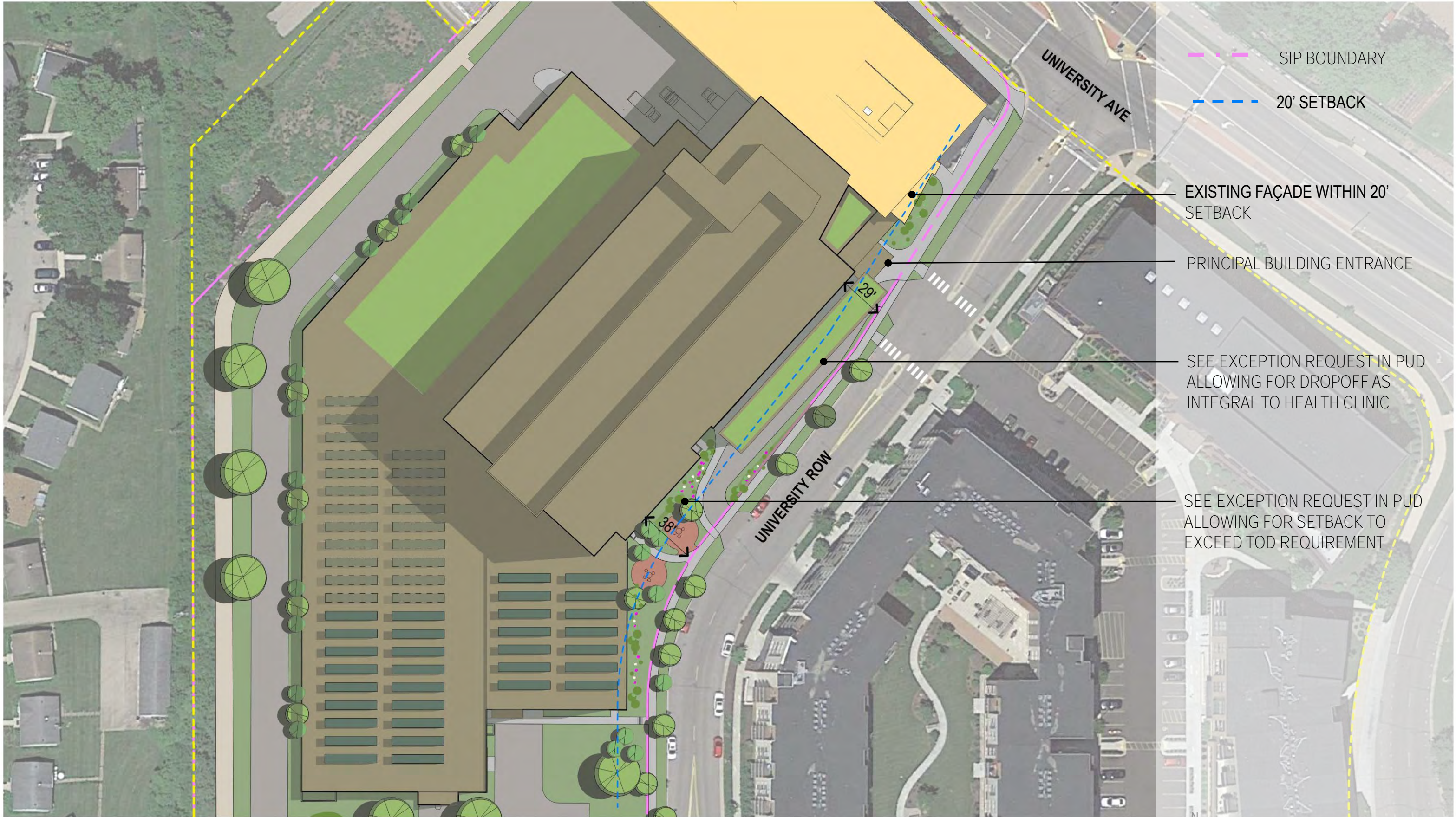
Current State			
750 University Row	Clinic	3	67,292 sqft
725 University Row	Residential	5	144,523 sqft
749 University Row	Office/Retail	3	65,110 sqft
5125 Silvertree Run	Residential	4	59,330 sqft
Surface shared	Parking		0 sqft

Future State as Proposed within this Submittal

750 University Row Expansion	Clinic	4	189,000 sqft
Lot 2 and 3 Building	Residential	4	145,000 sqft
TOTAL Current + Future		670,255 sqft	1,476

Delta Analysis			
Total Existing		541,020	1,343
Total Current + Future		670,255	1,476
DELTA		129,235 sqft	133





SIP BOUNDARY

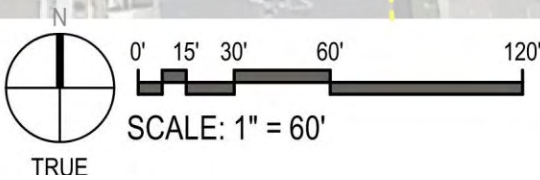
20' SETBACK

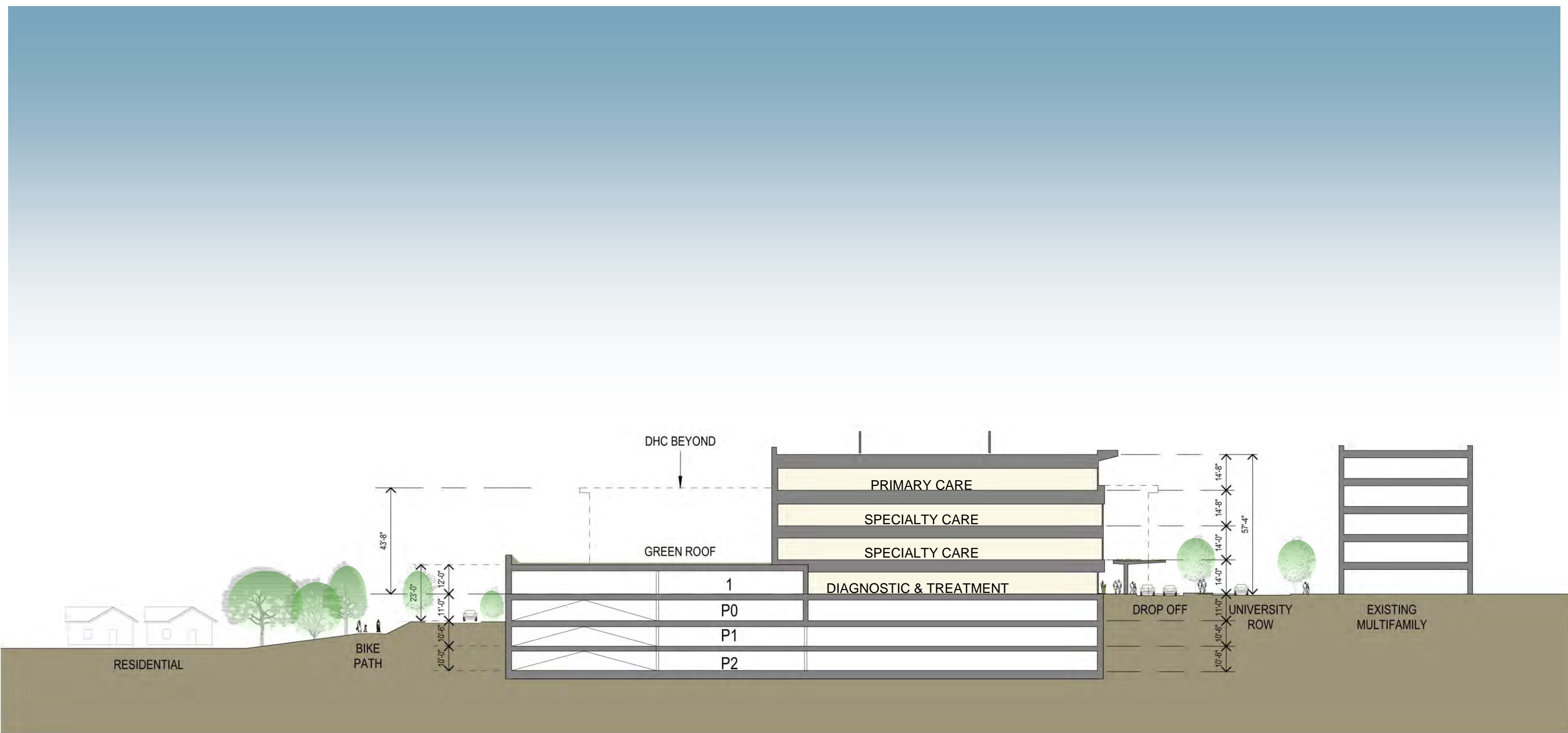
EXISTING FAÇADE WITHIN 20' SETBACK

PRINCIPAL BUILDING ENTRANCE

SEE EXCEPTION REQUEST IN PUD ALLOWING FOR DROPOFF AS INTEGRAL TO HEALTH CLINIC

SEE EXCEPTION REQUEST IN PUD ALLOWING FOR SETBACK TO EXCEED TOD REQUIREMENT







Existing Glass/Mullion



Existing Brick



Existing Metal



Existing Calcium Silicate



UNIVERSITY CROSSING
5102 SILVERTREE RUN



OFFICES
610 N WHITNEY WAY



OFFICES
749 UNIVERSITY AVENUE



UNIVERSITY ROW APARTMENTS
725 UNIVERSITY ROW



LOT 3
SILVERTREE RUN & UNIVERSITY ROW



HARBOR VIEW APARTMENTS
5265 UNIVERSITY AVENUE



SPRING HARBOR ANIMAL HOSPITAL
5129 UNIVERSITY AVENUE



MIDAS
5201 UNIVERSITY AVENUE



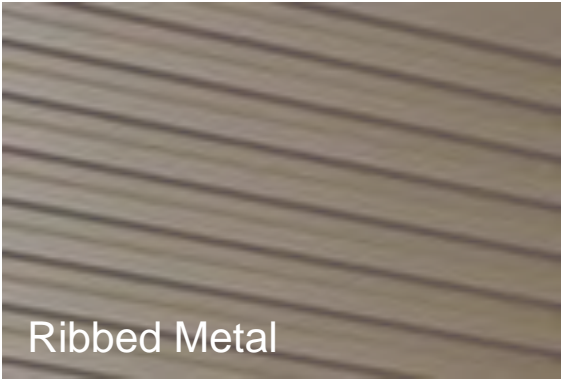
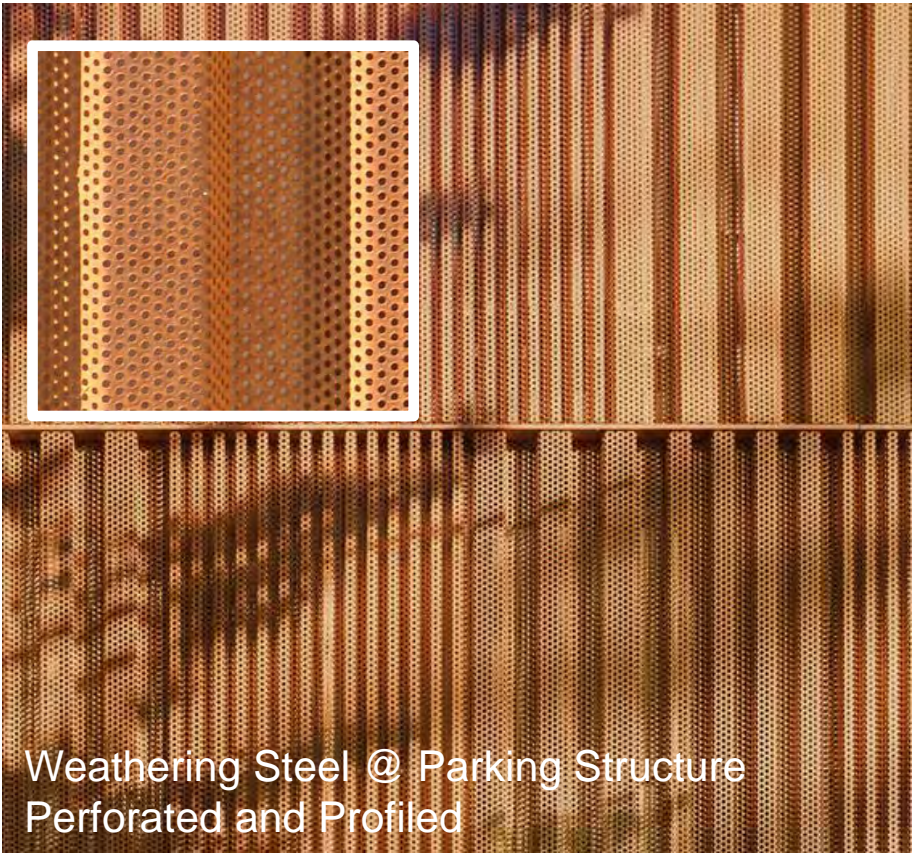














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Project Manager
DIRECT PHONE: 414-291-8145
EMAIL ADDRESS: robb@eua.com



PROJECT INFORMATION

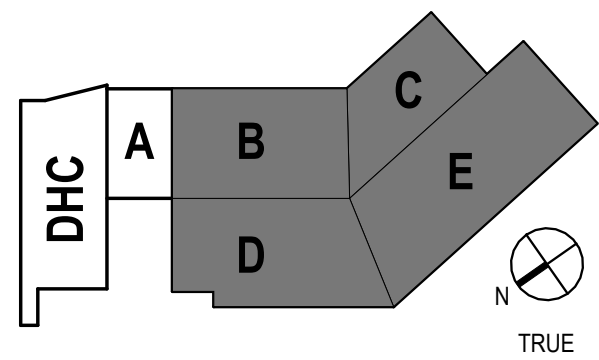
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/15/2023	UDC & LAND USE

KEY PLAN



SHEET INFORMATION

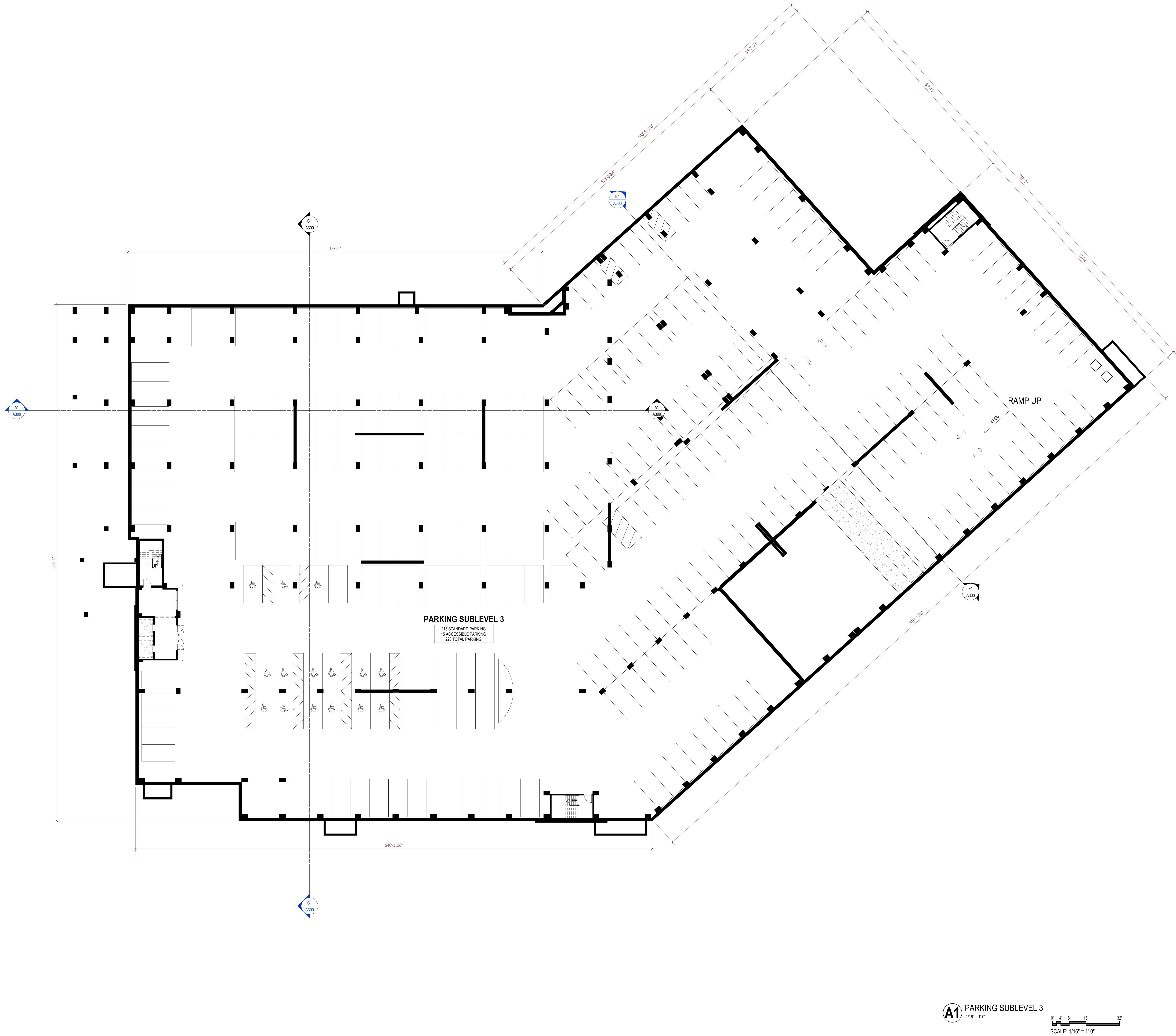
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER RB
PROJECT NUMBER 422291

OVERALL P3 FLR
PLAN

AP1P3

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PROJECT INFORMATION

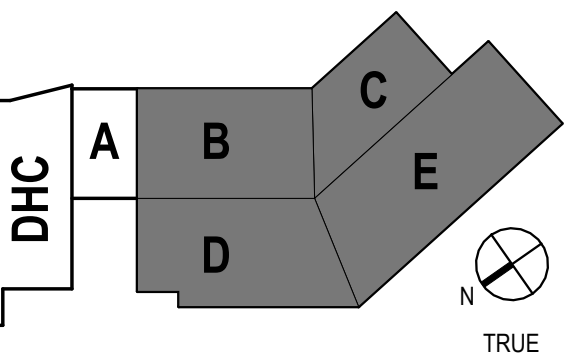
750 UNIVERSITY
ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
05/15/2023	UDC & LAND USE

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

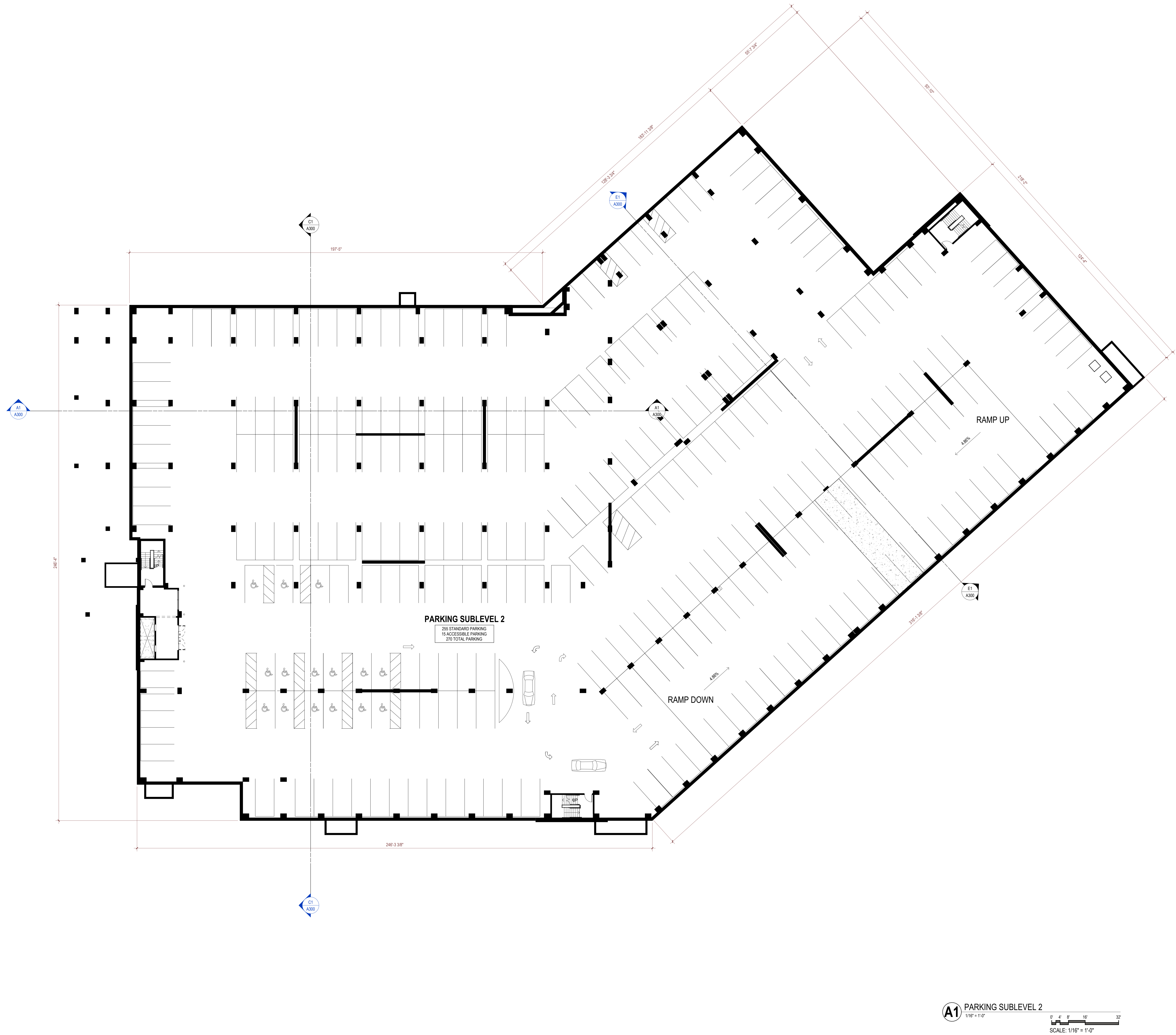
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

OVERALL P2 FLR
PLAN

AP1P2

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Rob Beisenstein
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robb@eua.com

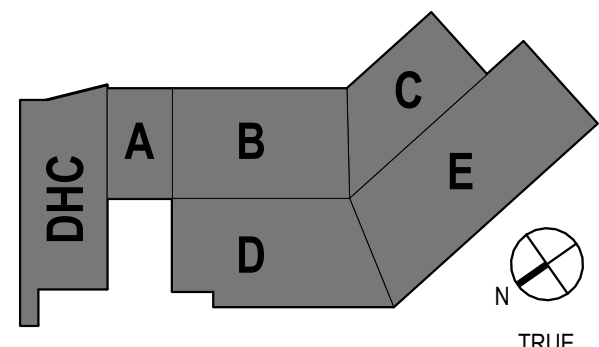


PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
09/15/2023	UDC & LAND USE

KEY PLAN



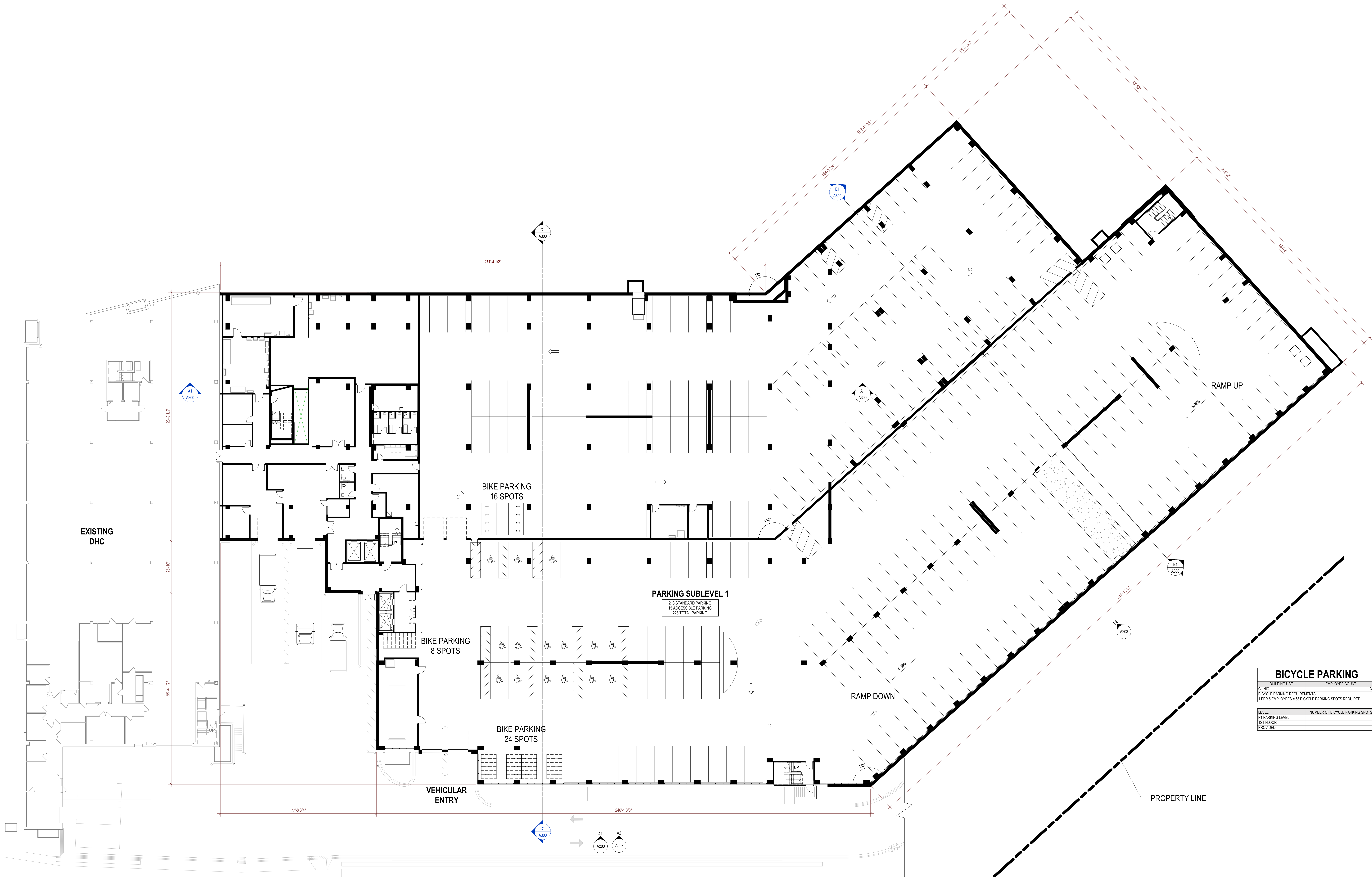
SHEET INFORMATION

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PROJECT MANAGER RB
PROJECT NUMBER 422291

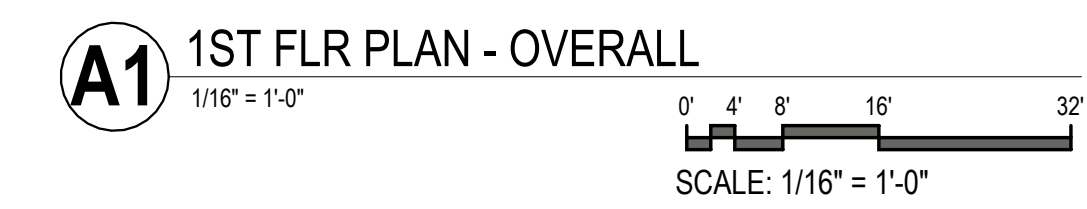
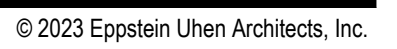
OVERALL P1 FLR
PLAN

AP1P1
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BICYCLE PARKING	
BUILDING USE	EMPLOYEE COUNT
CLINIC	340
BICYCLE PARKING REQUIREMENTS:	
1 PER 5 EMPLOYEES = 68 BICYCLE PARKING SPOTS REQUIRED	
LEVEL	NUMBER OF BICYCLE PARKING SPOTS
P1 PARKING LEVEL	48
1ST FLOOR PROVIDED	24
PROVIDED	72

A1 OVERALL FLOOR PLAN - P1
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"





milwaukee | madison | green bay | denver | atlanta

333 East Chicago Street
Milwaukee, WI 53202
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Project Manager
DIRECT PHONE: 414-291-5145
EMAIL ADDRESS: rob@eua.com

Rob Beisenstein
414-291-5145
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UWHealth

KRUPP
GENERAL CONTRACTORS

AEI Affiliated
Engineers

PE
PIERCE ENGINEERS, INC.

PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

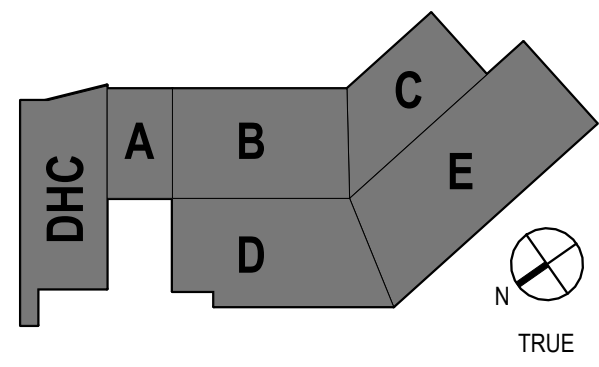
D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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C

KEY PLAN



B

SHEET INFORMATION

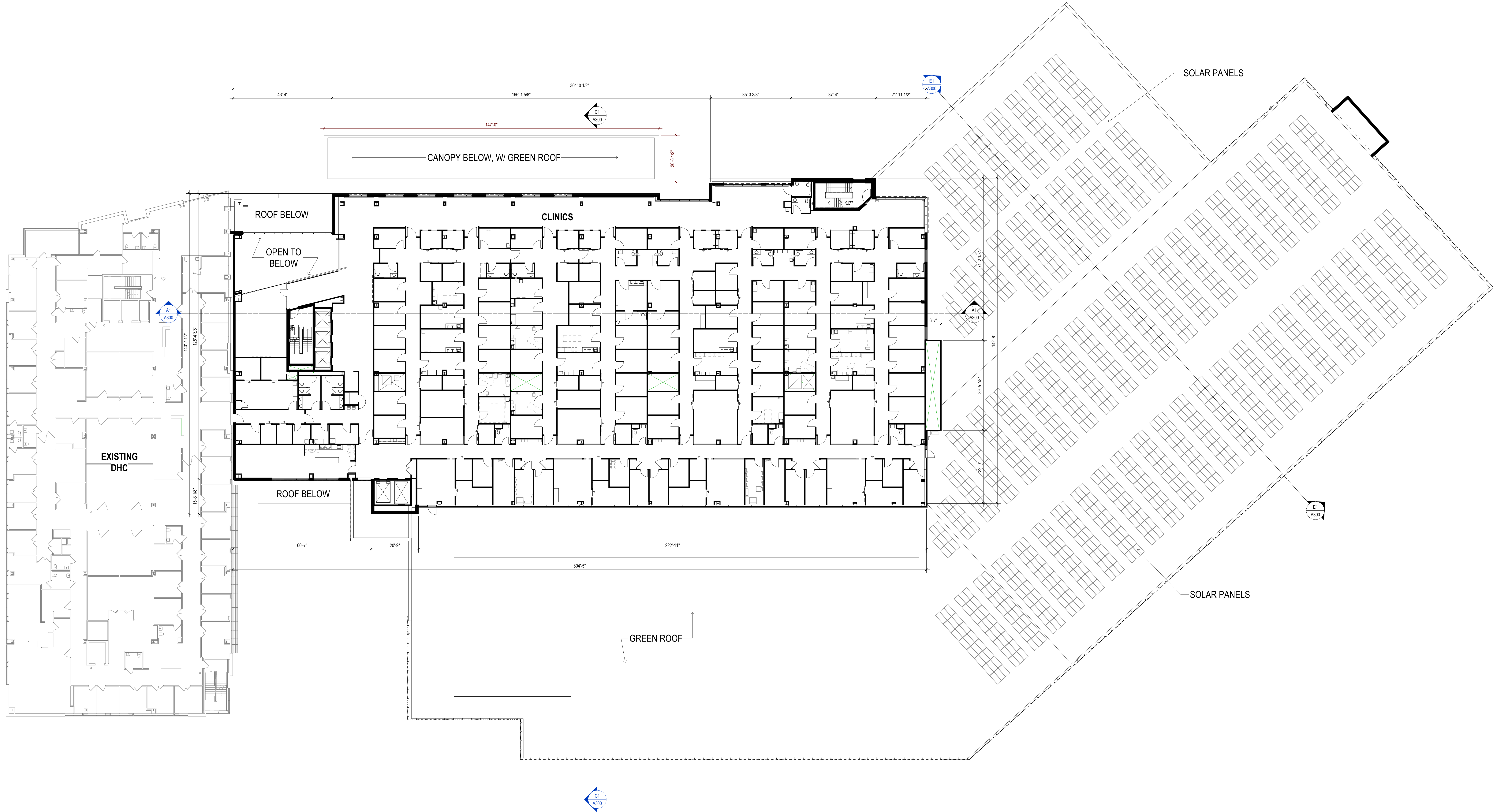
**PROGRESS DOCUMENTS
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PROJECT MANAGER RB
PROJECT NUMBER 422291

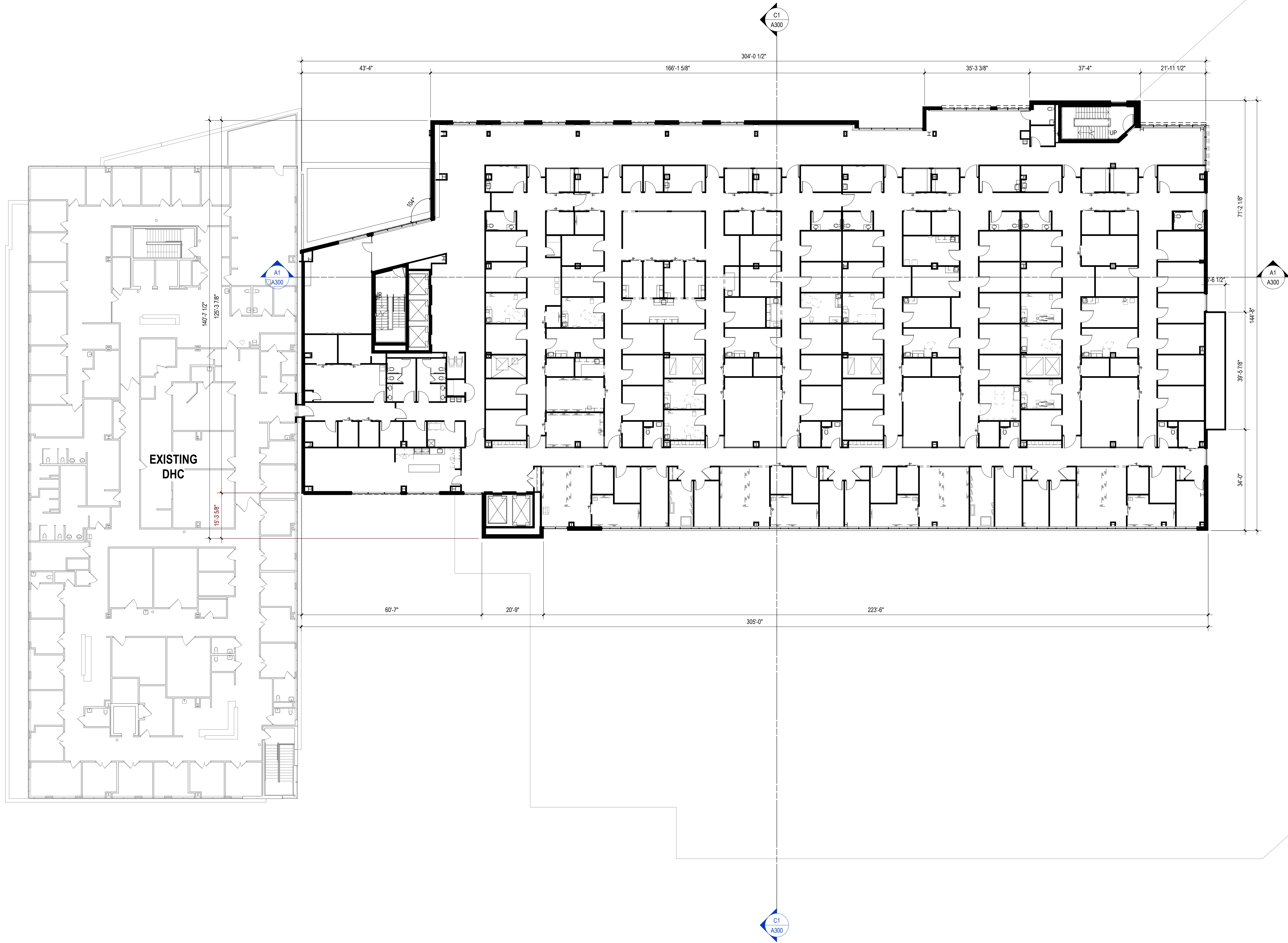
OVERALL 2ND FLR
PLAN

AP102

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A1 2ND FLR PLAN - OVERALL
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"



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Rob Beisenstein
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PROJECT INFORMATION

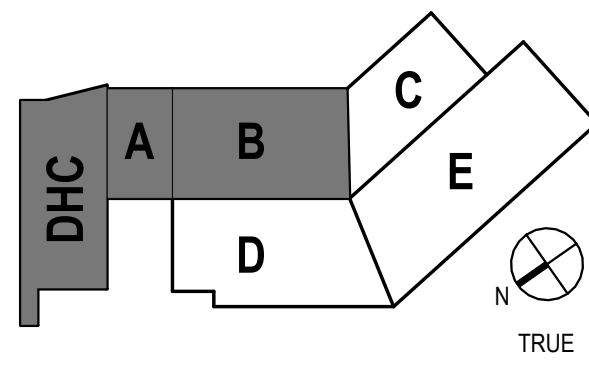
750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

KEY PLAN



SHEET INFORMATION

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PROJECT MANAGER RB
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OVERALL 3RD FLR PLAN

AP103

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PROJECT INFORMATION

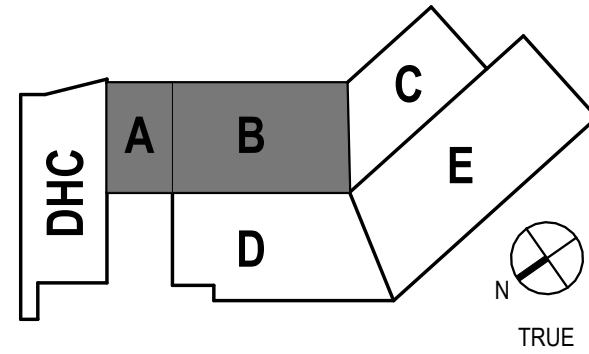
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
09/15/2023	UDC & LAND USE

KEY PLAN



SHEET INFORMATION

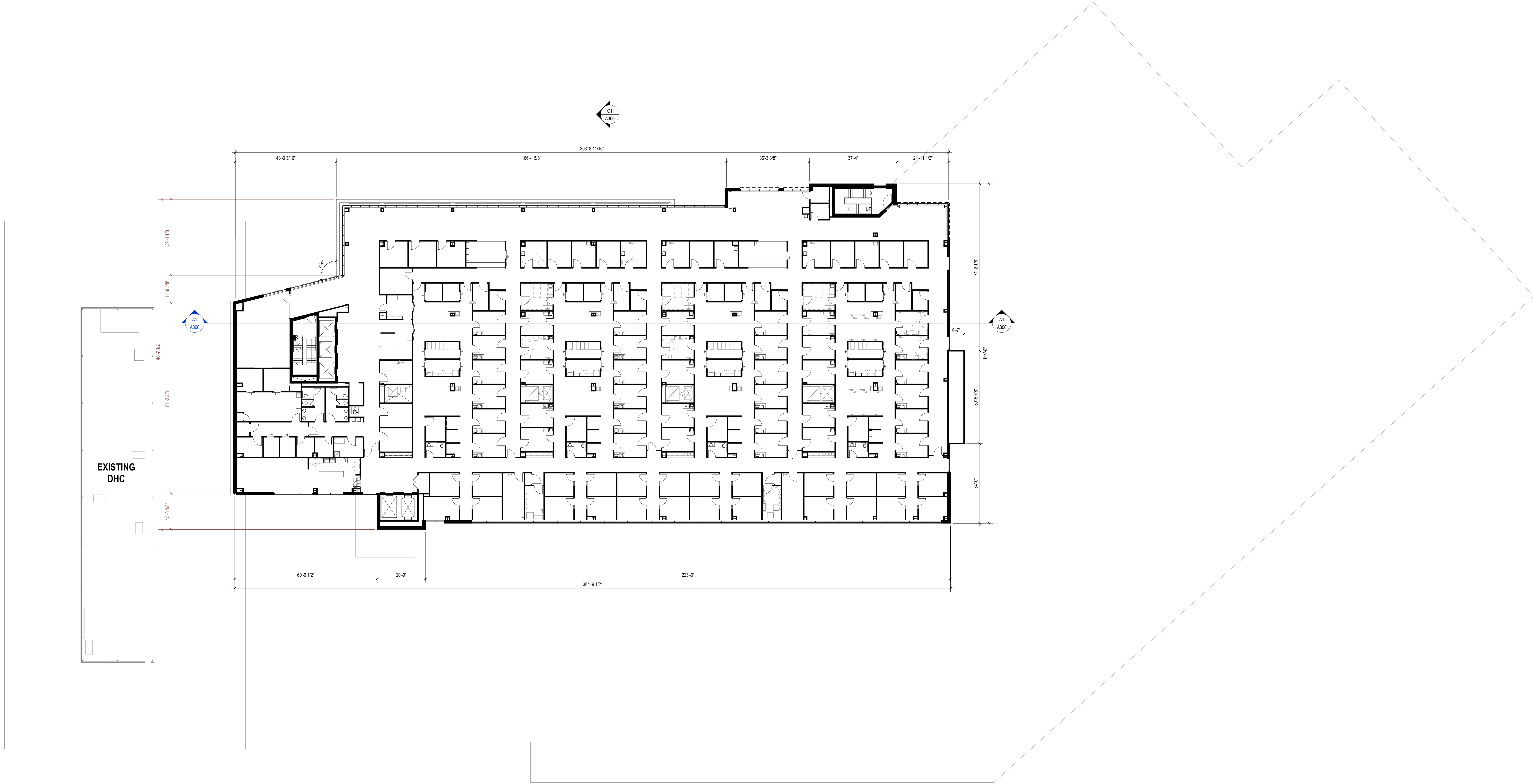
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PROJECT NUMBER: 422291

OVERALL 4TH FLR
PLAN

AP104

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A1 4TH FLR PLAN - OVERALL
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"



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PROJECT INFORMATION

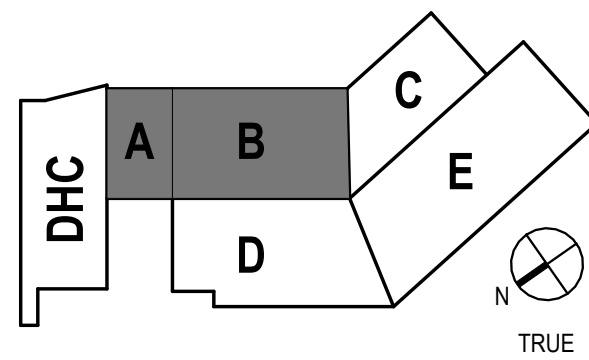
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
08/15/2023	UDC & LAND USE

KEY PLAN



SHEET INFORMATION

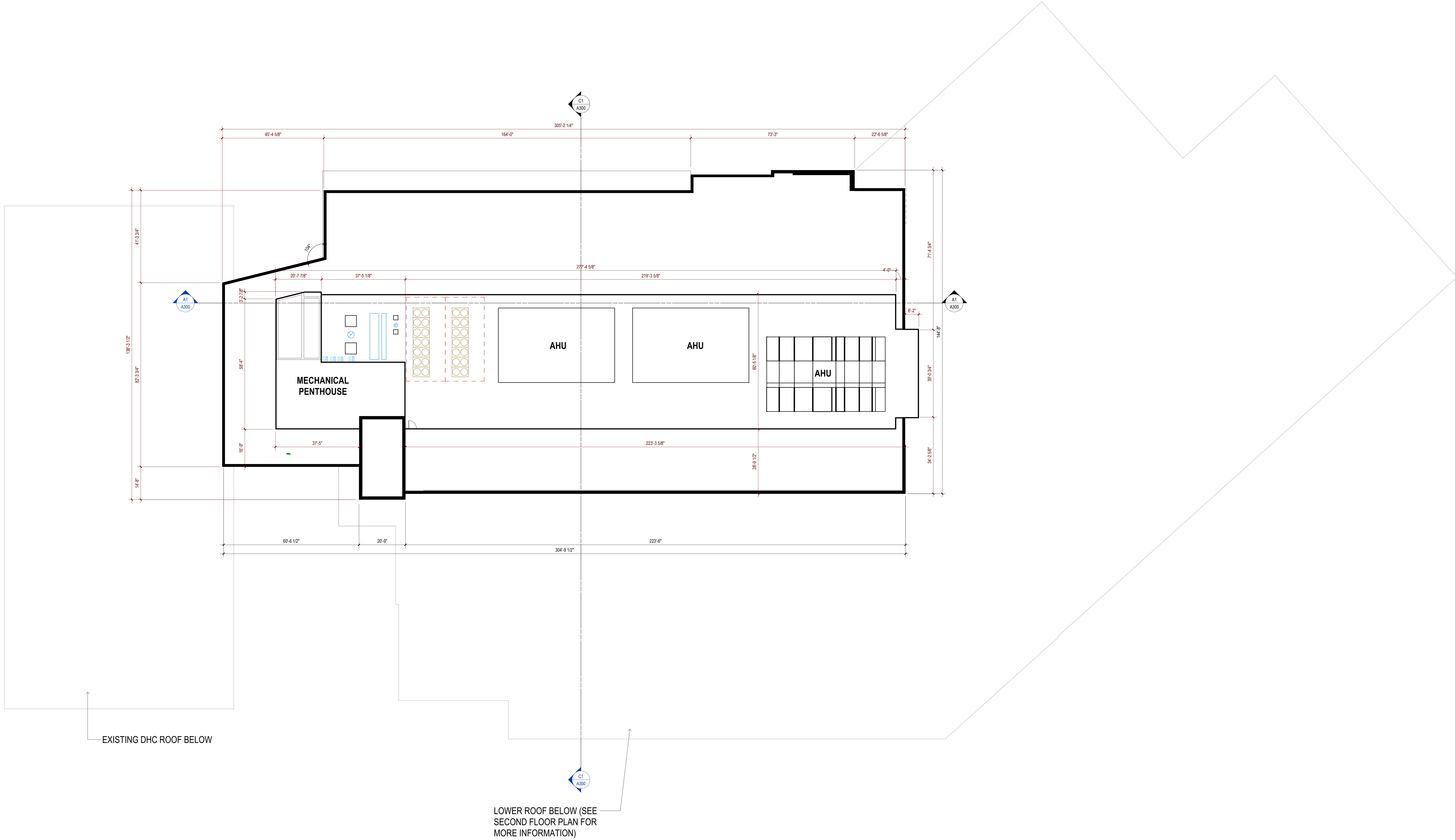
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PROJECT NUMBER 422291





OVERALL ROOF PLAN

AP105

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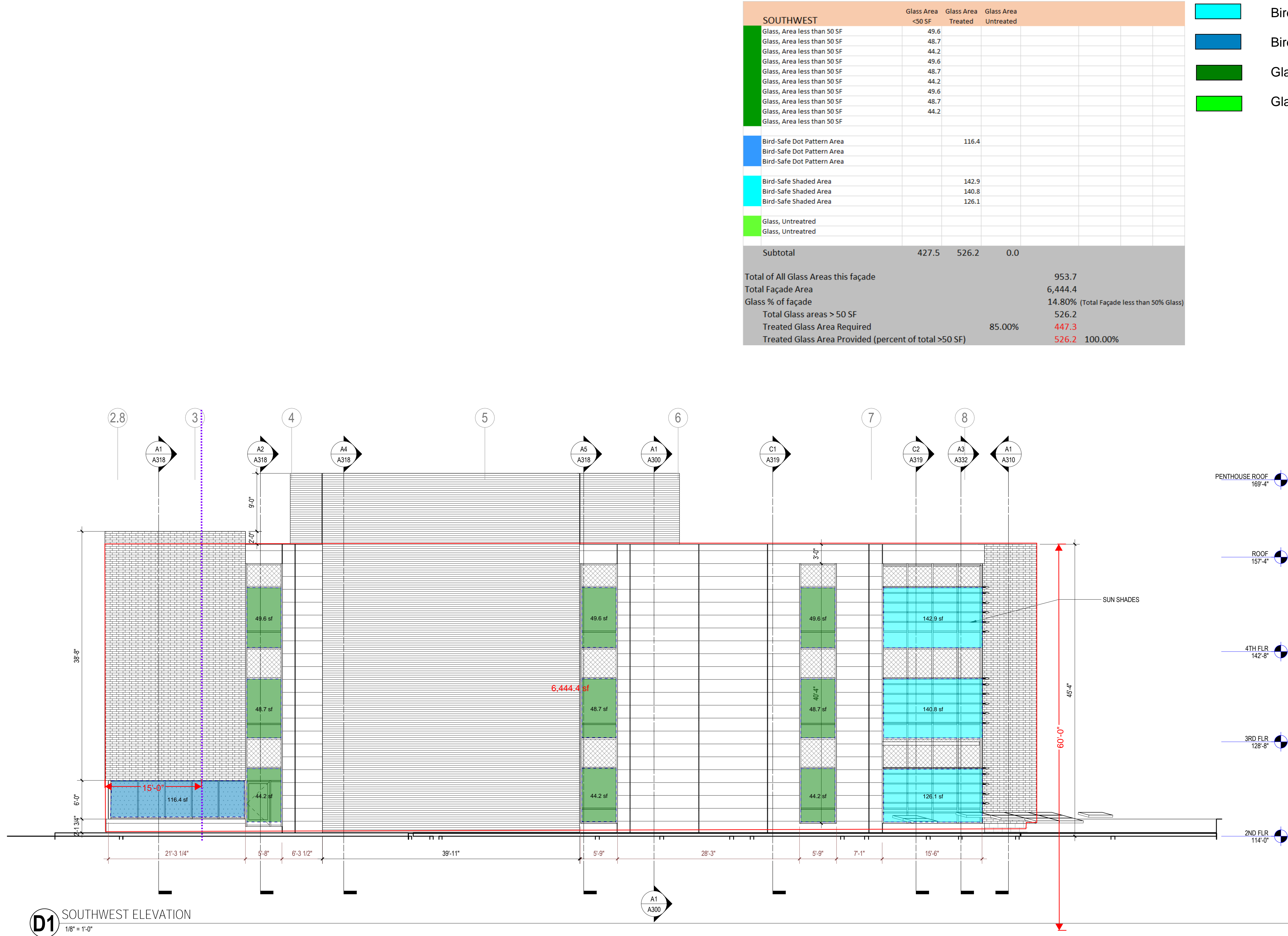


A1 ROOF PLAN - OVERALL
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"

	Bird-Safe Shade Area
	Bird-Safe Dot Pattern Area
	Glass, Area less than 50 SF
	Glass, Untreated



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	Glass Area <50 SF	Glass Area Treated	Glass Area Untreated
Glass, Area less than 50 SF	49.6		
Glass, Area less than 50 SF	48.7		
Glass, Area less than 50 SF	44.2		
Glass, Area less than 50 SF	49.6		
Glass, Area less than 50 SF	48.7		
Glass, Area less than 50 SF	44.2		
Glass, Area less than 50 SF	49.6		
Glass, Area less than 50 SF	48.7		
Glass, Area less than 50 SF	44.2		
Bird-Safe Dot Pattern Area		116.4	
Bird-Safe Dot Pattern Area			
Bird-Safe Dot Pattern Area			
Bird-Safe Shaded Area		142.9	
Bird-Safe Shaded Area		140.8	
Bird-Safe Shaded Area		126.1	
Glass, Untreated			
Glass, Untreated			
Subtotal	427.5	526.2	0.0
Total of All Glass Areas this façade			953.7
Total Façade Area			6,444.4
Glass % of façade			14.80% (Total Façade less than 50% glass)
Total Glass areas > 50 SF			526.2
Treated Glass Area Required		85.00%	447.3
Treated Glass Area Provided (percent of total >50 SF)			526.2 100.00%

- Bird-Safe Shade Area
- Bird-Safe Dot Pattern Area
- Glass, Area less than 50 SF
- Glass, Untreated

EXTERIOR GLAZING LEGEND

- IG-1: CLEAR
- IG-2: CLEAR W BIRD GLASS FRIT
- IG-3: SPANDREL (8% EXTERIOR REFLECTANCE)
- IP-1: METAL INFILL PANEL

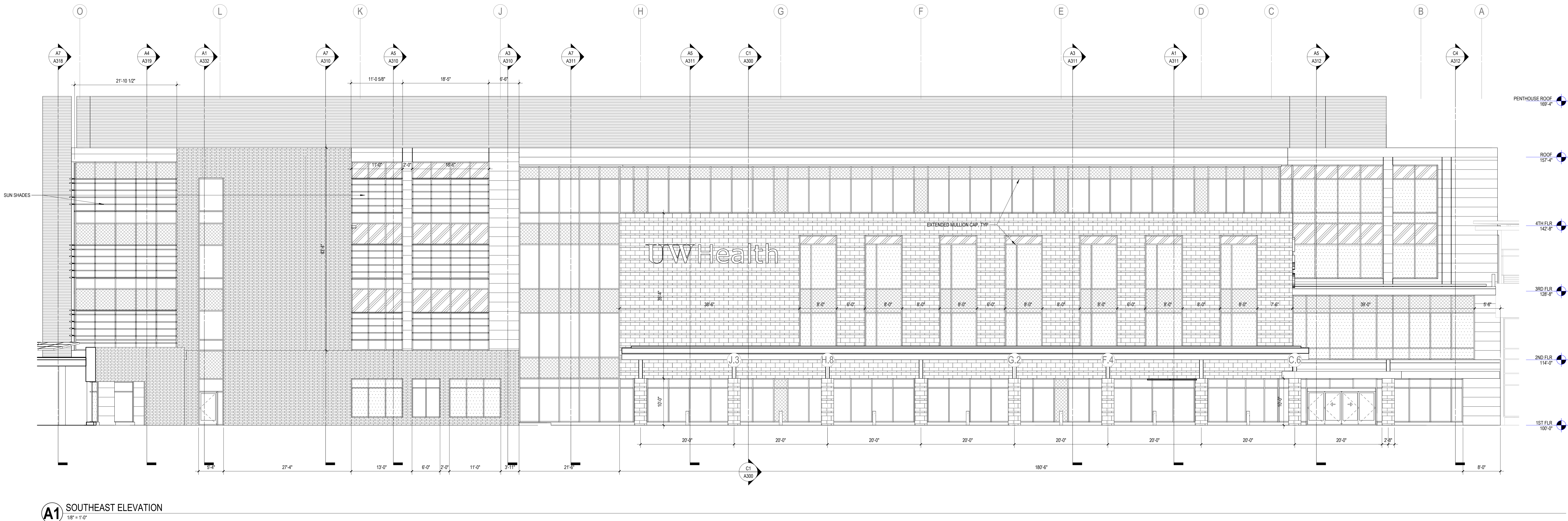
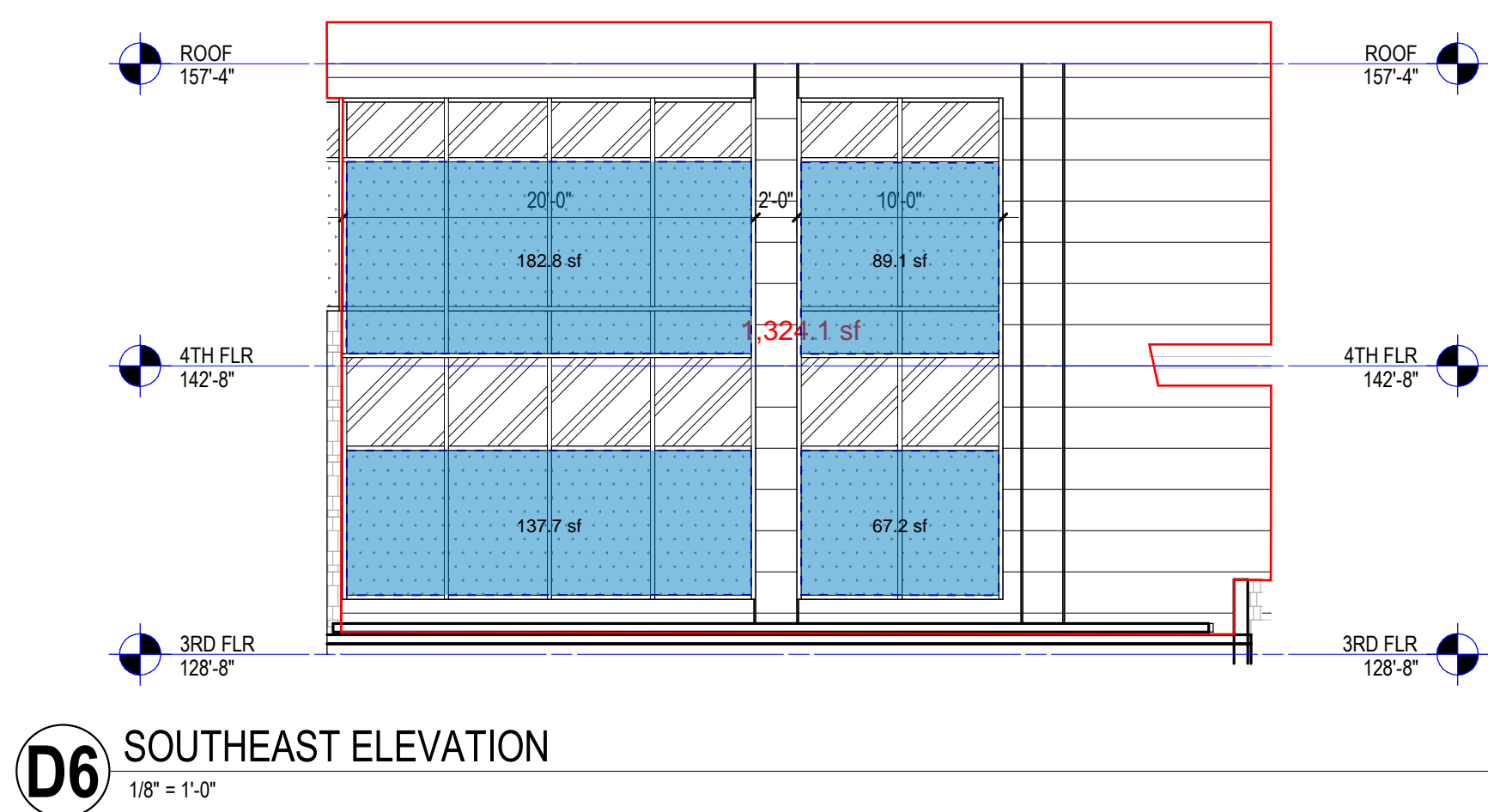
SEE SHEET A200 FOR EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

- STONE VENEER
- BRICK
- METAL COMPOSITE MATERIAL PANEL

SEE SHEET A200 FOR EXTERIOR ASSEMBLY INFORMATION

	Glass Area <50 SF	Glass Area Treated	Glass Area Untreated
DHC ANGLE (SE)			
Glass, Area less than 50 SF			
Glass, Area less than 50 SF			
Bird-Safe Dot Pattern Area		182.6	
Bird-Safe Dot Pattern Area		89.1	
Bird-Safe Dot Pattern Area		137.7	
Bird-Safe Dot Pattern Area		67.2	
Bird-Safe Dot Pattern Area			
Bird-Safe Shaded Area			
Glass, Untreated			
Glass, Untreated			
Glass, Untreated			
Subtotal	0.0	476.8	0.0
Total of All Glass Areas this façade			476.8
Total Façade Area			1,324.1
Glass % of façade			36.01% (Total Façade less than 50% glass)
Total Glass areas > 50 SF			476.8
Treated Glass Area Required		85.00%	405.3
Treated Glass Area Provided (percent of total >50 SF)			476.8 100.00%



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PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
9/25/2023	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
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PROJECT MANAGER RB
PROJECT NUMBER 422291

EXTERIOR
ELEVATIONS

A201

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NORTHEAST				
	Glass Area <50 SF	Glass Area Treated	Glass Area Untreated	
Glass, Area less than 50 SF				
Glass, Area less than 50 SF				
Bird-Safe Dot Pattern Area		204.4		
Bird-Safe Dot Pattern Area		98.6		
Bird-Safe Shaded Area				
Bird-Safe Shaded Area				
Bird-Safe Shaded Area				
Glass, Untreated				
Glass, Untreated				
Subtotal	0.0	303.0	0.0	
Total of All Glass Areas this façade			303.0	
Total Façade Area			6,477.3	
Glass % of Façade			4.68% (Total Façade less than 50% Glass)	
Total Glass areas > 50 SF			303.0	
Treated Glass Area Required		85.00%	257.6	
Treated Glass Area Provided (percent of total >50 SF)			303.0	100.00%

- Bird-Safe Shade Area
- Bird-Safe Dot Pattern Area
- Glass, Area less than 50 SF
- Glass, Untreated

EXTERIOR GLAZING LEGEND	
<div></div>	IG-1: CLEAR
<div></div>	IG-2: CLEAR W BIRD GLASS FRIT
<div></div>	IG-3: SPANDREL (8% EXTERIOR REFLECTANCE)
<div></div>	IP-1: METAL INFILL PANEL
SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	

EXTERIOR MATERIAL LEGEND	
<div></div>	STONE VENEER
<div></div>	BRICK
<div></div>	METAL COMPOSITE MATERIAL PANEL
SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION	

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Engineers

PE
PIERCE ENGINEERS, INC.

PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
04/25/2023	SCHEMATIC DESIGN

D1 WEST ELEVATION - PARTIAL 01
1/8" = 1'-0"

D2 NORTHEAST ELEVATION
1/8" = 1'-0"

A1 SOUTHWEST ELEVATION
1/8" = 1'-0"

KEY PLAN

B

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

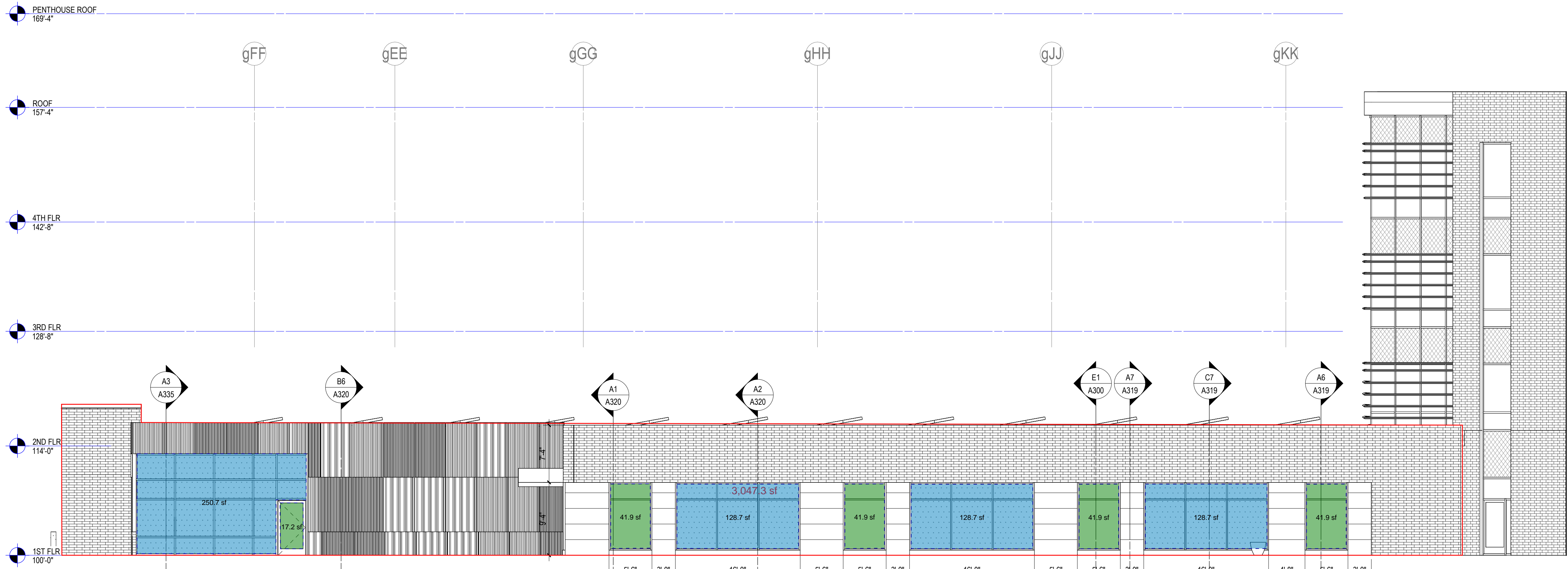
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

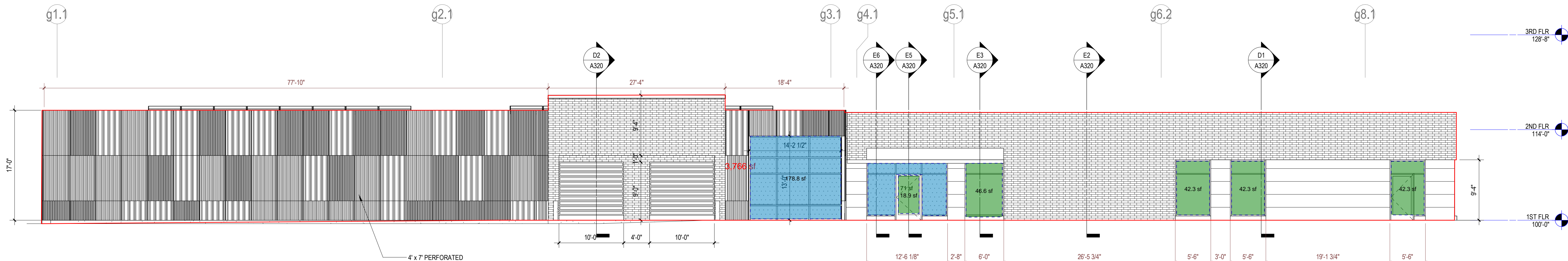
EXTERIOR
ELEVATIONS

A202

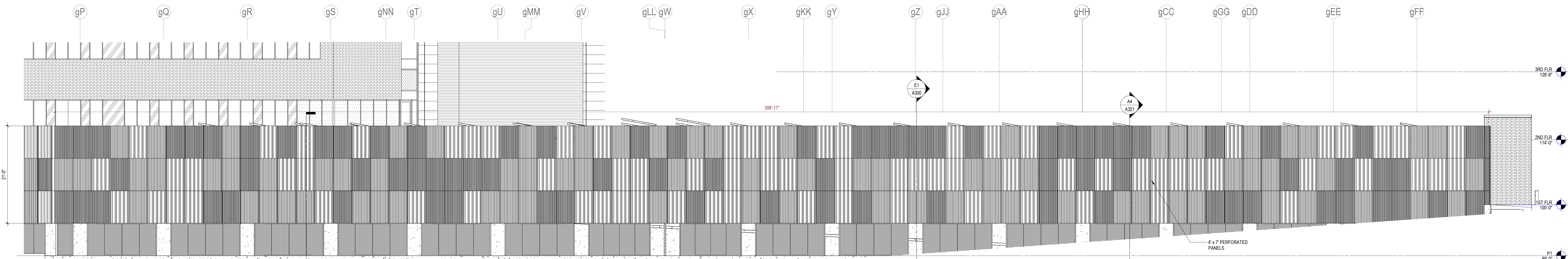
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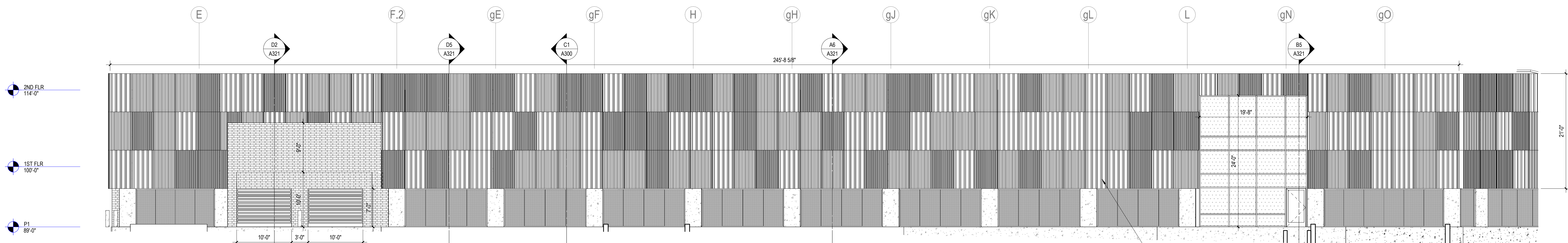
E2 EAST ELEVATION
1/8" = 1'-0"



D2 SOUTH ELEVATION
1/8" = 1'-0"



B2 WEST ELEVATION
1/8" = 1'-0"



A2 NORTHWEST ELEVATION
1/8" = 1'-0"

EXTERIOR GLAZING LEGEND	
	IG-1: CLEAR
	IG-2: CLEAR W BIRD GLASS FRIT
	IG-3: SPANDREL (8% EXTERIOR REFLECTANCE)
	IP-1: METAL INFILL PANEL
SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	

EXTERIOR MATERIAL LEGEND	
	STONE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
SEE SHEET A200 FOR EXTERIOR ASSEMBLY INFORMATION	

- Bird-Safe Shade Area
- Bird-Safe Dot Pattern Area
- Glass, Area less than 50 SF
- Glass, Untreated

	Glass Area <50 SF	Glass Area Treated	Glass Area Untreated
EAST			
Glass, Area less than 50 SF	41.9		
Glass, Area less than 50 SF	41.9		
Glass, Area less than 50 SF	41.9		
Glass, Area less than 50 SF	41.9		
Glass, Area less than 50 SF	17.2		
Bird-Safe Dot Pattern Area		250.7	
Bird-Safe Dot Pattern Area		128.7	
Bird-Safe Dot Pattern Area		128.7	
Bird-Safe Dot Pattern Area		128.7	
Bird-Safe Dot Pattern Area			
Bird-Safe Shaded Area		0.0	
Glass, Untreated			
Glass, Untreated			
Glass, Untreated			
Glass, Untreated			
Subtotal	184.8	636.8	0.0
Total of All Glass Areas this façade			821.6
Total Façade Area			3,047.3
Glass % of façade			26.96% (Total Façade less than 50% Glass)
Total Glass areas > 50 SF		85.00%	636.8
Treated Glass Area Required			541.3
Treated Glass Area Provided (percent of total >50 SF)			636.8 100.00%

	Glass Area <50 SF	Glass Area Treated	Glass Area Untreated
SOUTH			
Glass, Area less than 50 SF	46.6		
Glass, Area less than 50 SF	42.3		
Glass, Area less than 50 SF	42.3		
Glass, Area less than 50 SF	42.3		
Glass, Area less than 50 SF	18.8		
Bird-Safe Dot Pattern Area		178.8	
Bird-Safe Dot Pattern Area		71.0	
Bird-Safe Dot Pattern Area			
Bird-Safe Shaded Area			
Glass, Untreated			
Glass, Untreated			
Glass, Untreated			
Subtotal	192.3	249.8	0.0
Total of All Glass Areas this façade			442.1
Total Façade Area			3,766.0
Glass % of façade			11.74% (Total Façade less than 50% Glass)
Total Glass areas > 50 SF		85.00%	249.8
Treated Glass Area Required			212.3
Treated Glass Area Provided (percent of total >50 SF)			249.8 100.00%

EXTERIOR GLAZING LEGEND

- IG-1 : CLEAR
- IG-2 : CLEAR W/ BRD GLASS FRIT
- IG-3 : SPANDREL (8% EXTERIOR REFLECTANCE)
- IP-1 : METAL INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

- STONE VENEER
- BRICK
- METAL COMPOSITE MATERIAL PANEL

SEE SHEET A400 FOR EXTERIOR ASSEMBLY INFORMATION



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PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
06/25/2023	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION
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PROJECT MANAGER RB
PROJECT NUMBER 422291

UDC ELEVATIONS -
OVERALL

AP200

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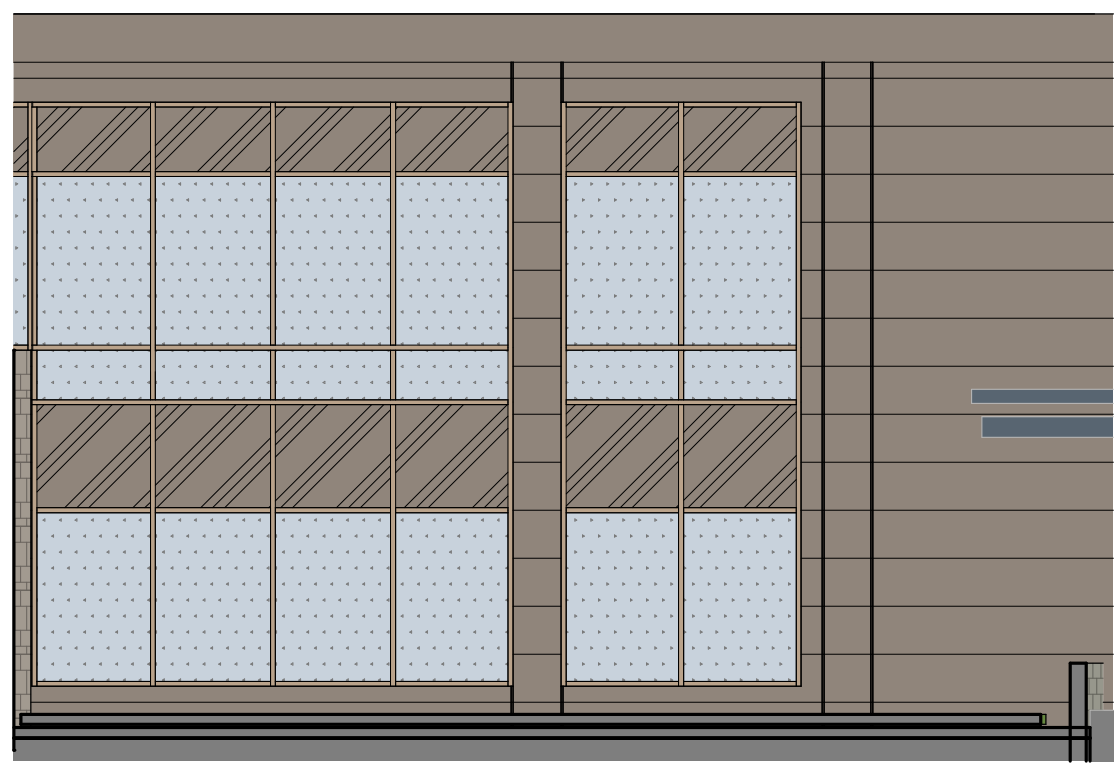
D1 SOUTHEAST ELEVATION - OVERALL
1/16" = 1'-0"



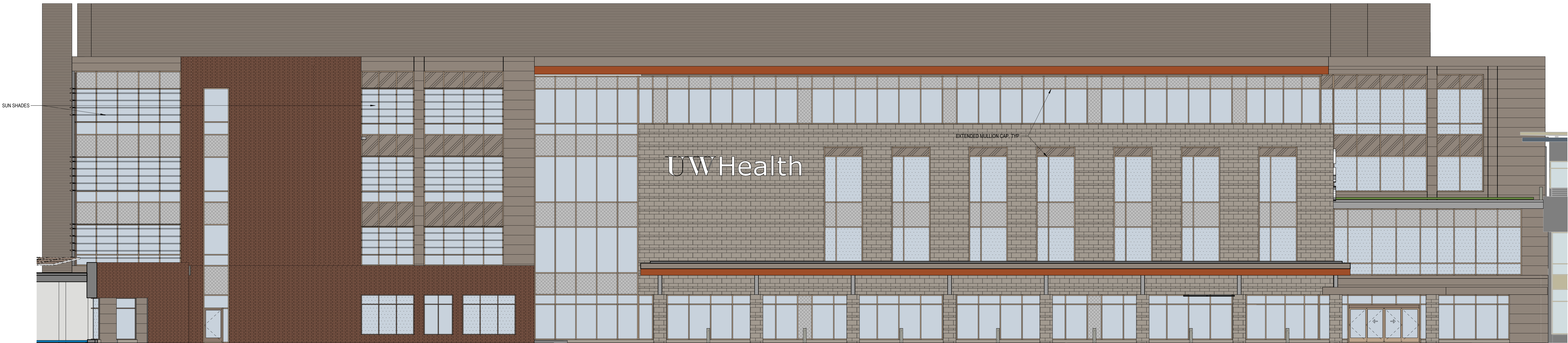
A1 NORTHWEST ELEVATION - OVERALL
1/16" = 1'-0"



D1 SOUTHWEST ELEVATION
1/8" = 1'-0"



D6 SOUTHEAST ELEVATION
1/8" = 1'-0"



A1 SOUTHEAST ELEVATION
1/8" = 1'-0"

EXTERIOR GLAZING LEGEND	
	IG-1 : CLEAR
	IG-2 : CLEAR W BIRD GLASS FRIT
	IG-3 : SPANDREL (8% EXTERIOR REFLECTANCE)
	IP-1 : METAL INFILL PANEL
SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION	

EXTERIOR MATERIAL LEGEND	
	STONE VENEER
	BRICK
	METAL COMPOSITE MATERIAL PANEL
SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION	

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PROJECT INFORMATION
**750 UNIVERSITY
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ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
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C

KEY PLAN

B

SHEET INFORMATION

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PROJECT MANAGER	RB
PROJECT NUMBER	422291

UDC ELEVATIONS
AP201

EXTERIOR GLAZING LEGEND

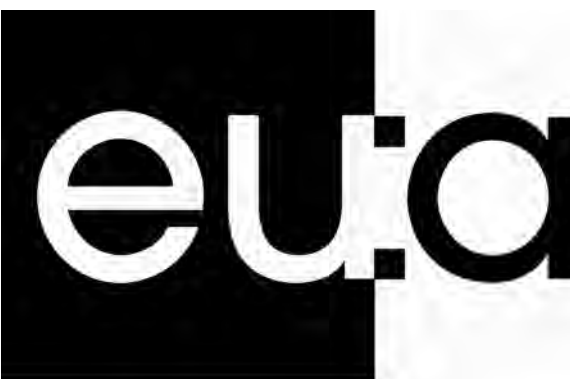
- IG-1 : CLEAR
- IG-2 : CLEAR W BRD GLASS FRIT
- IG-3 : SPANDREL (8% EXTERIOR REFLECTANCE)
- IP-1 : METAL INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

- STONE VENEER
- BRICK
- METAL COMPOSITE MATERIAL PANEL

SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION



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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

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06/25/2023	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

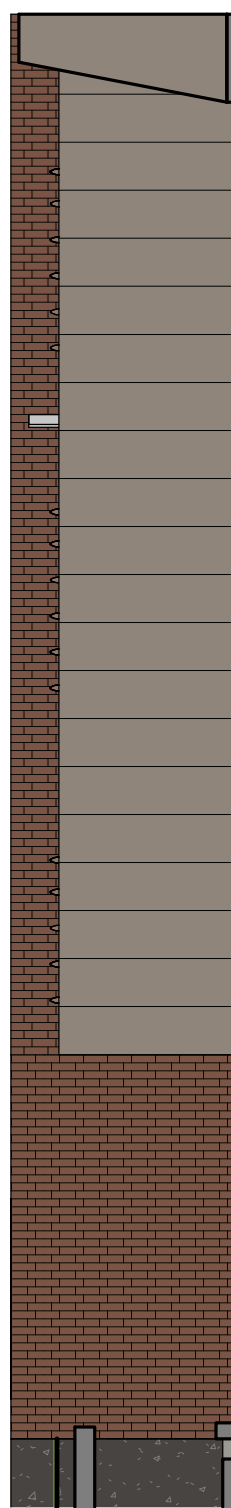
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PROJECT NUMBER 422291

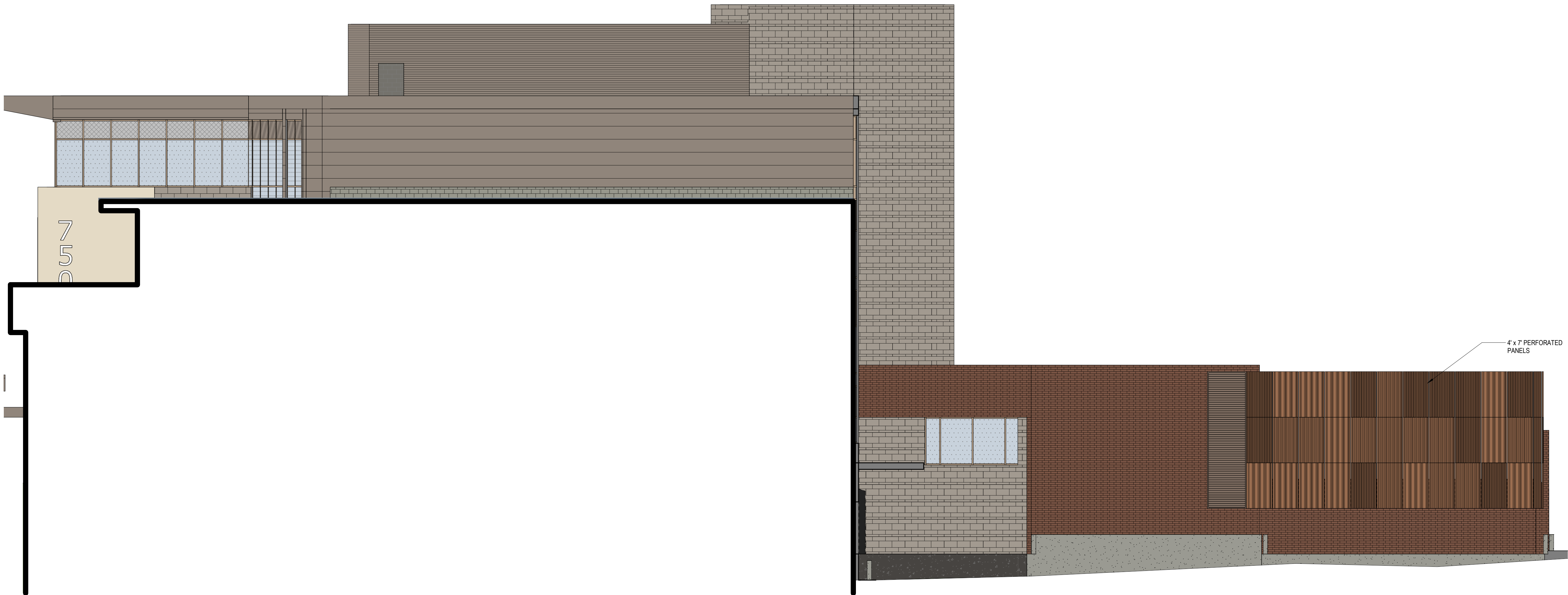
UDC ELEVATIONS

AP202

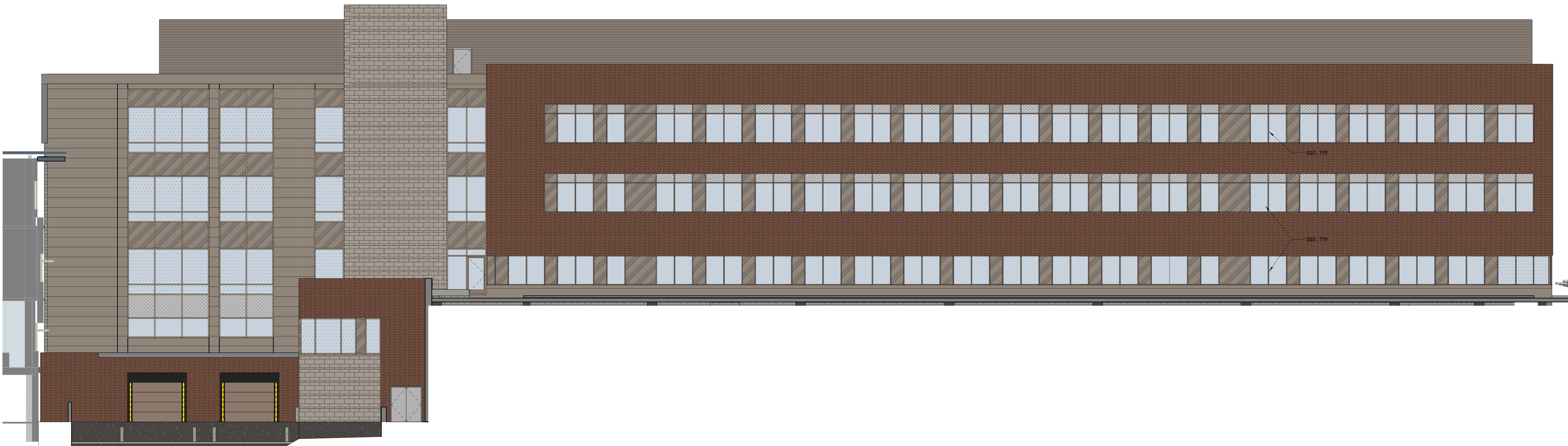
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D1 WEST ELEVATION
1/8" = 1'-0"



D2 NORTH ELEVATION
1/8" = 1'-0"



A1 NORTHWEST ELEVATION
1/8" = 1'-0"

1

2

3

4

5

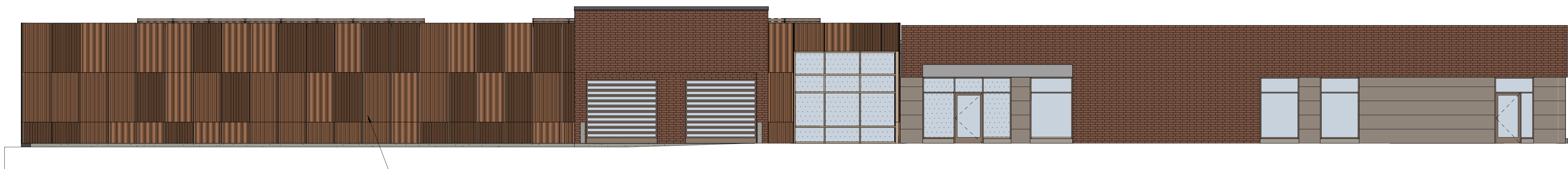
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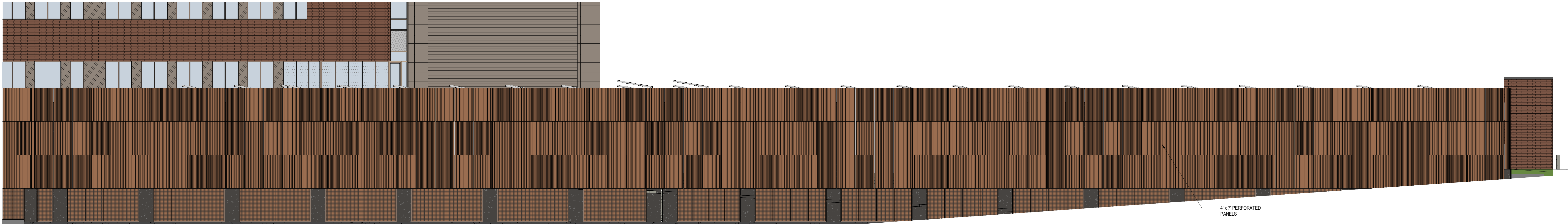
8



E2 EAST ELEVATION
1/8" = 1'-0"



D2 SOUTH ELEVATION
1/8" = 1'-0"



B2 WEST ELEVATION
1/8" = 1'-0"



A2 NORTHWEST ELEVATION
1/8" = 1'-0"

1 2 3 4 5 6 7 8

EXTERIOR GLAZING LEGEND

- IG-1 : CLEAR
- IG-2 : CLEAR W BRD GLASS FRIT
- IG-3 : SPANDREL (8% EXTERIOR REFLECTANCE)
- IP-1 : METAL INFILL PANEL

SEE SHEET EXTERIOR FRAME TYPES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

EXTERIOR MATERIAL LEGEND

- STONE VENEER
- BRICK
- METAL COMPOSITE MATERIAL PANEL

SEE SHEET A000 FOR EXTERIOR ASSEMBLY INFORMATION



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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
04/25/2023	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

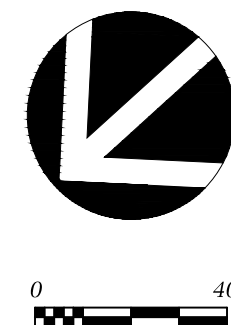
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PROJECT MANAGER: RB
PROJECT NUMBER: 422291

UDC ELEVATIONS

AP203

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PROJECT INFORMATION
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ISSUANCE AND REVISIONS	
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09/15/2023	UDC & LAND USE

KEY PLAN

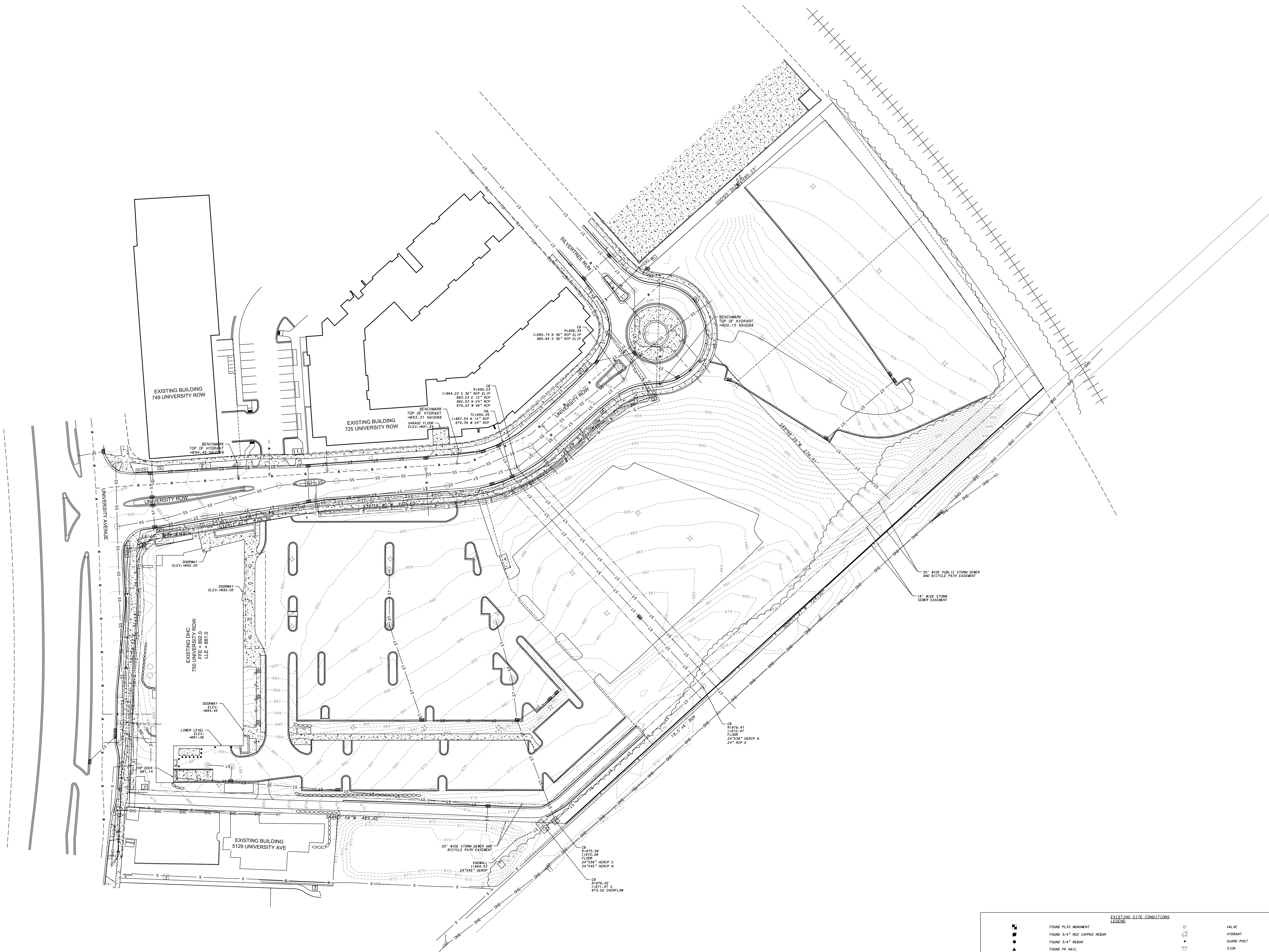
SHEET INFORMATION

**PROGRESS DOCUMENTS
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

EXISTING CONDITIONS
C100

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EXISTING SITE CONDITIONS LEGEND			
	FOUND PILE MONUMENT		VALVE
	FOUND 3/4\"/>		HYDRANT
	FOUND 3/4\"/>		GUARD POST
	FOUND IN WELL		SIDEWALK
	FOUND GRAVELLED \"X\" IN CONCRETE		GAS WIRE
	PLACED 3/4\"/>		DECIDUOUS TREE
	SANITARY SEWER		BUSH
	WATER MAIN		CONIFEROUS TREE
	STORM SEWER		TREE/SNOW LINE
	GAS MAIN		FLAGPOLE
	OVERHEAD ELECTRIC		GUARD RAIL
	UNDERGROUND ELECTRIC		CONCRETE
	UNDERGROUND TELEPHONE		BOULDER RETAINING WALL
	UNDERGROUND FIBER OPTIC		CONCRETE RETAINING WALL
	UNDERGROUND TRANSFORMER		CONCRETE CURB AND GUTTER
	TELEPHONE PEDIESTAL/WALL F		EXISTING CONTOUR
	MANHOLE		BACK OF WALK SPOT ELEVATION (B + 1)
	CATCH BASIN/INLET		RECORDED AS INFORMATION
	POWER POLE		
	POWER POLE w/LIGHT		
	LIGHT POLE		
	TRAFFIC SIGNAL		
	GAS METER		

1

2

3

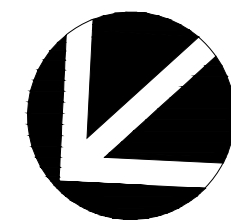
4

5

6

7

8



0 40'



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PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
09/15/2023	UDC & LAND USE
06/06/2023	

KEY PLAN

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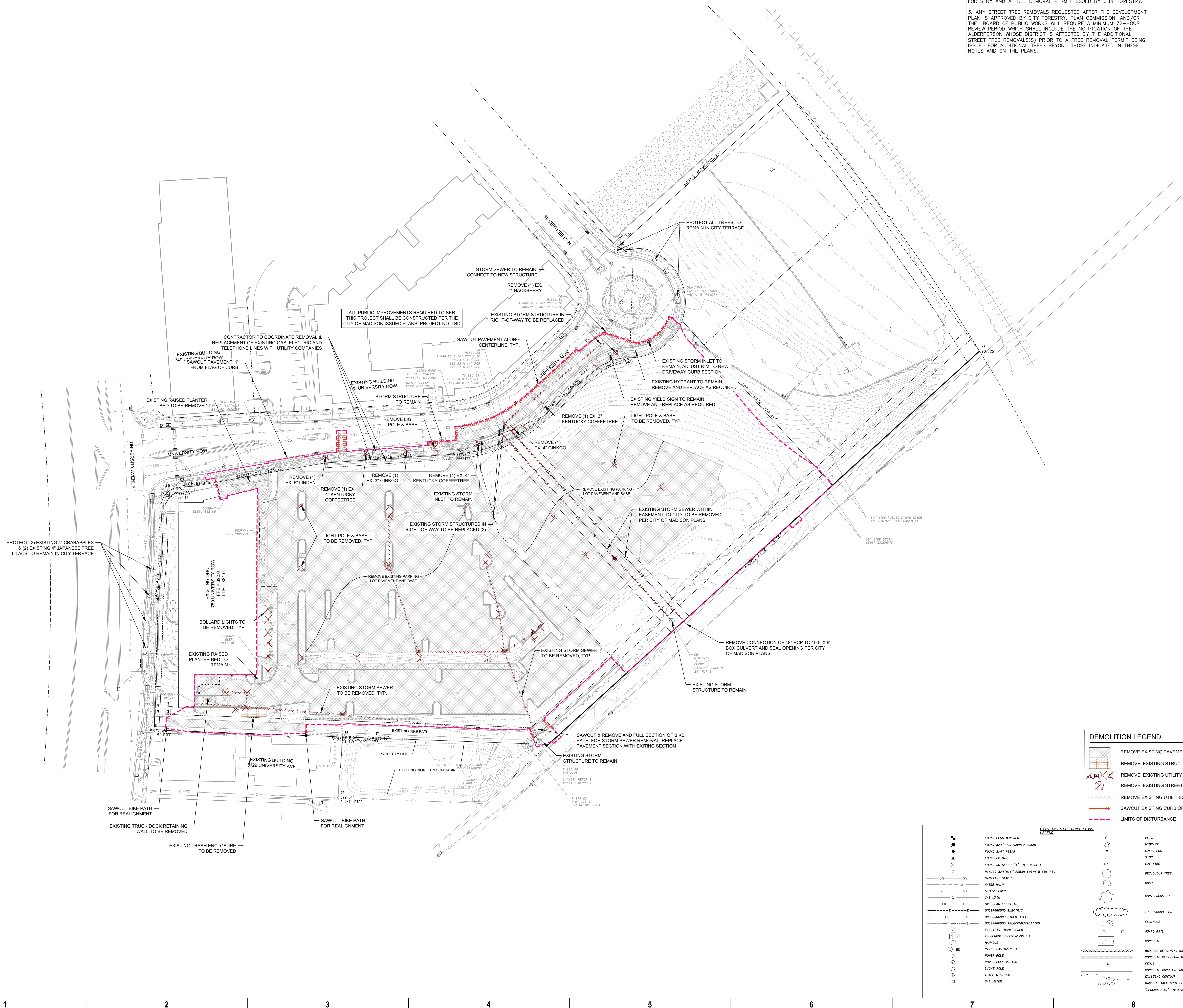
PROJECT MANAGER RB
PROJECT NUMBER 422291

DEMOLITION PLAN

C200

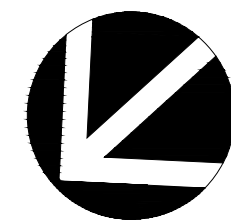
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- NOTES:**
1. CITY FORESTRY HAS APPROVED THE REMOVAL OF THE FOLLOWING TREES IN THE UNIVERSITY ROW RIGHT-OF-WAY AND A REMOVALS PERMIT WILL BE ISSUED FOR THE FOLLOWING 7 TREES:
 - a. 5" LINDEN
 - b. (2) 4" KENTUCKY COFFEETREES
 - c. 3" GINKGO
 - d. 4" GINKGO
 - e. 3" KENTUCKY COFFEETREE
 - f. 4" HACKBERRY
 2. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT-OF-WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL FROM CITY FORESTRY AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY.
 3. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY CITY FORESTRY, PLAN COMMISSION, AND/OR THE BOARD OF PUBLIC WORKS WILL REQUIRE A MINIMUM 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WHOSE DISTRICT IS AFFECTED BY THE ADDITIONAL STREET TREE REMOVALS(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED FOR ADDITIONAL TREES BEYOND THOSE INDICATED IN THESE NOTES AND ON THE PLANS.



DEMOLITION LEGEND	
	REMOVE EXISTING PAVEMENT OR GRAVEL
	REMOVE EXISTING STRUCTURES
	REMOVE EXISTING UTILITY STRUCTURE
	REMOVE EXISTING STREET TREE
	REMOVE EXISTING UTILITIES
	SAWCUT EXISTING CURB OR PAVEMENT
	LIMITS OF DISTURBANCE

EXISTING SITE CONDITIONS LEGEND	
	FOUND 1/4" MONUMENT
	FOUND 3/4" RED CAPPED REBAR
	FOUND 3/4" REBAR
	FOUND 1/4" NAIL
	FOUND 1/4" 1/4" IN CONCRETE
	PLACED 3/4" 1/4" REBAR (17x1.5 LBS/FT)
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	GAS MAIN
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELECOMMUNICATION
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL VAULT
	MANHOLE
	CATCH BASIN/INLET
	POWER POLE
	LIGHT POLE
	TRAFFIC SIGNAL
	GAS METER
	VALVE
	HYDRANT
	GUARD POST
	SIGN
	GUY WIRE
	DECIDUOUS TREE
	BUSH
	CONIFEROUS TREE
	TREE/SHRUB LINE
	FLAGPOLE
	GUARD RAIL
	CONCRETE
	BOULDER RETAINING WALL
	CONCRETE RETAINING WALL
	FENCE
	CONCRETE CURB AND GUTTER
	EXISTING CONTOUR
	BACK OF WALK SPOT ELEVATION (10 + 1)
	RECORDED 45° INFORMATION



0 40'



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PROJECT INFORMATION
**750 UNIVERSITY
ROW EXPANSION**

**750 University Row
Madison, WI 53705**

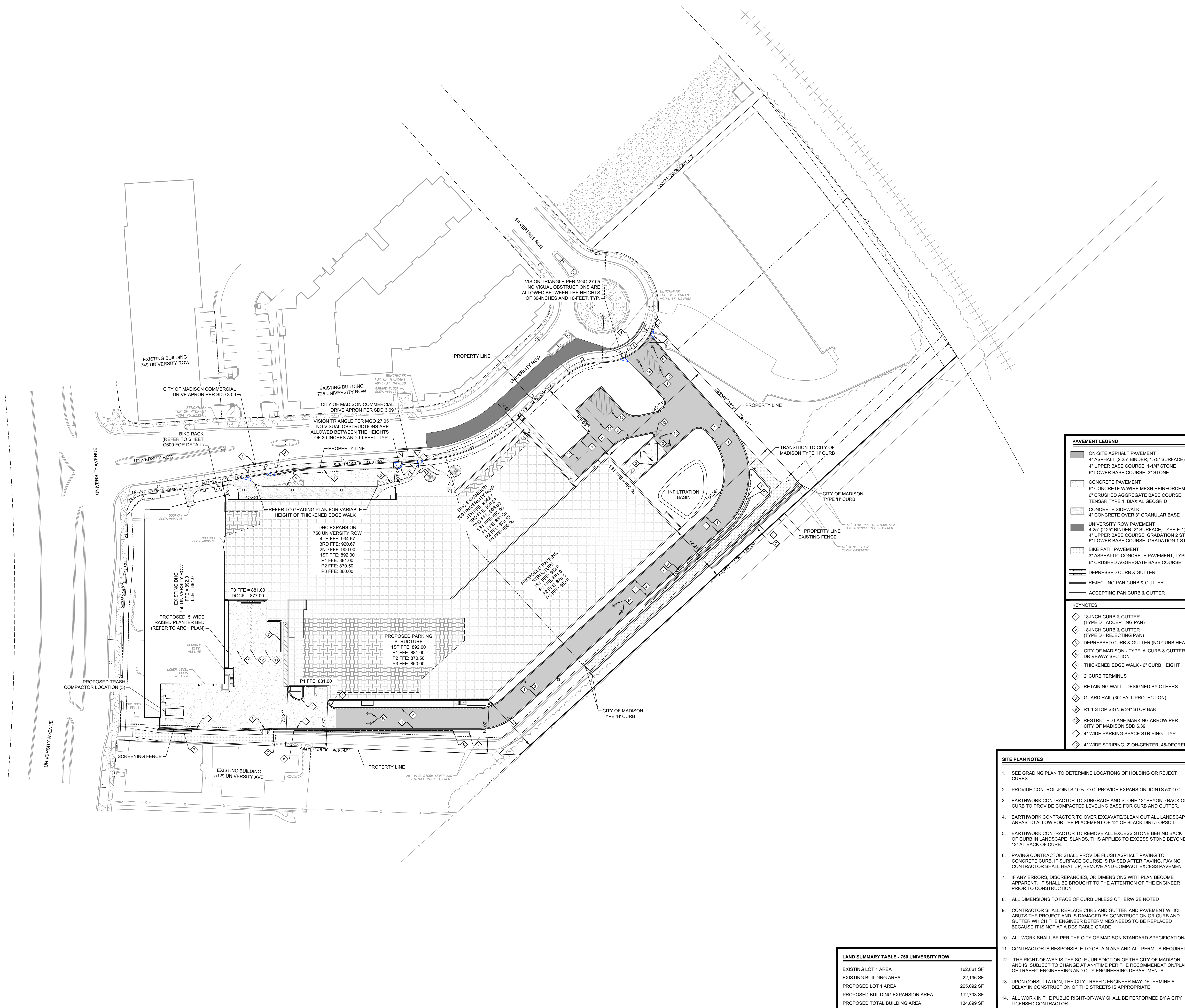
ISSUANCE AND REVISIONS
DATE DESCRIPTION
09/15/2023 UDC & LAND USE

KEY PLAN

SHEET INFORMATION
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PROJECT MANAGER RB
PROJECT NUMBER 422291

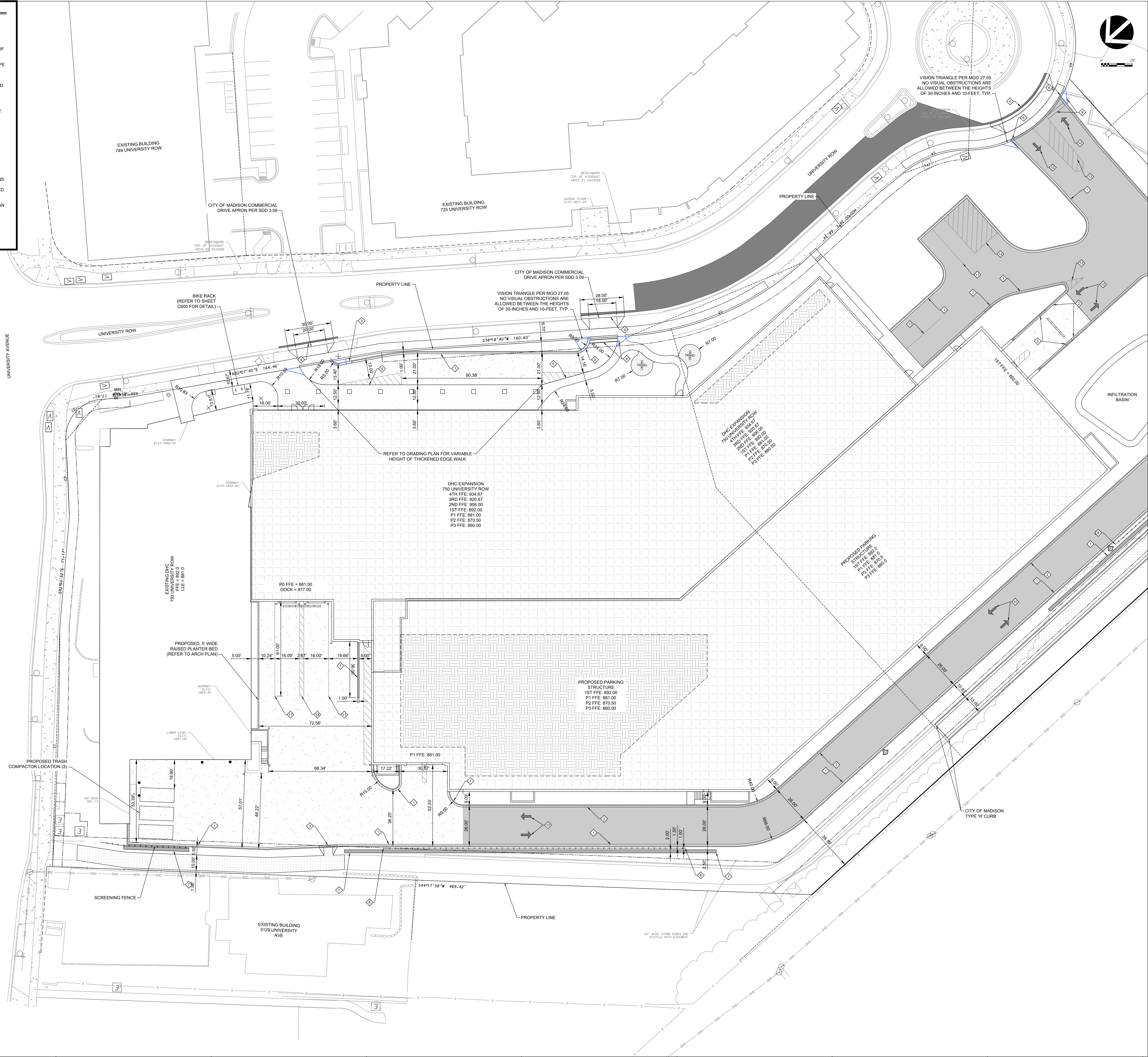
SITE PLAN - OVERALL
C300
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- SITE PLAN NOTES**
1. SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 2. PROVIDE CONTROL JOINTS 10'-4" O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 3. EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 4. EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DIRT/TOPSOIL.
 5. EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 6. PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
 7. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 8. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 9. CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
 10. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 11. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 12. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 13. UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.
 14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

- PAVEMENT LEGEND**
- ON-SITE ASPHALT PAVEMENT
 - 4" ASPHALT (2.25" BINDER, 1.75" SURFACE)
 - 4" UPPER BASE COURSE, 1-1/4" STONE
 - 6" LOWER BASE COURSE, 3" STONE
 - CONCRETE PAVEMENT
 - 6" CONCRETE W/WIRE MESH REINFORCEMENT
 - 6" CRUSHED AGGREGATE BASE COURSE
 - TENSAR TYPE 1, BIAXIAL GEOGRID
 - CONCRETE SIDEWALK
 - 4" CONCRETE OVER 3" GRANULAR BASE
 - UNIVERSITY ROW PAVEMENT
 - 4.25" (2.25" BINDER, 2" SURFACE, TYPE E-1)
 - 4" UPPER BASE COURSE, GRADATION 2 STONE
 - 6" LOWER BASE COURSE, GRADATION 1 STONE
 - BIKE PATH PAVEMENT
 - 3" ASPHALTIC CONCRETE PAVEMENT, TYPE E-0.3
 - 6" CRUSHED AGGREGATE BASE COURSE
 - DEPRESSED CURB & GUTTER
 - REJECTING PAN CURB & GUTTER
 - ACCEPTING PAN CURB & GUTTER

- KEYNOTES**
- 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - DEPRESSED CURB & GUTTER (NO CURB HEAD)
 - CITY OF MADISON - TYPE 'A' CURB & GUTTER DRIVEWAY SECTION
 - THICKENED EDGE WALK - 6" CURB HEIGHT
 - 2' CURB TERMINUS
 - RETAINING WALL - DESIGNED BY OTHERS
 - GUARD RAIL (30" FALL PROTECTION)
 - R1-1 STOP SIGN & 24" STOP BAR
 - RESTRICTED LANE MARKING ARROW PER CITY OF MADISON SDD 6.39
 - 4" WIDE PARKING SPACE STRIPING - TYP.
 - 4" WIDE STRIPING, 2" ON-CENTER, 45-DEGREES



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PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
09/15/2023	UOC & LAND USE

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

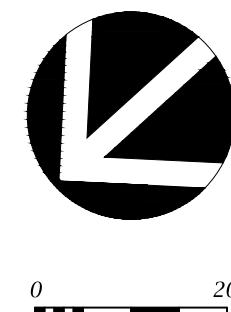
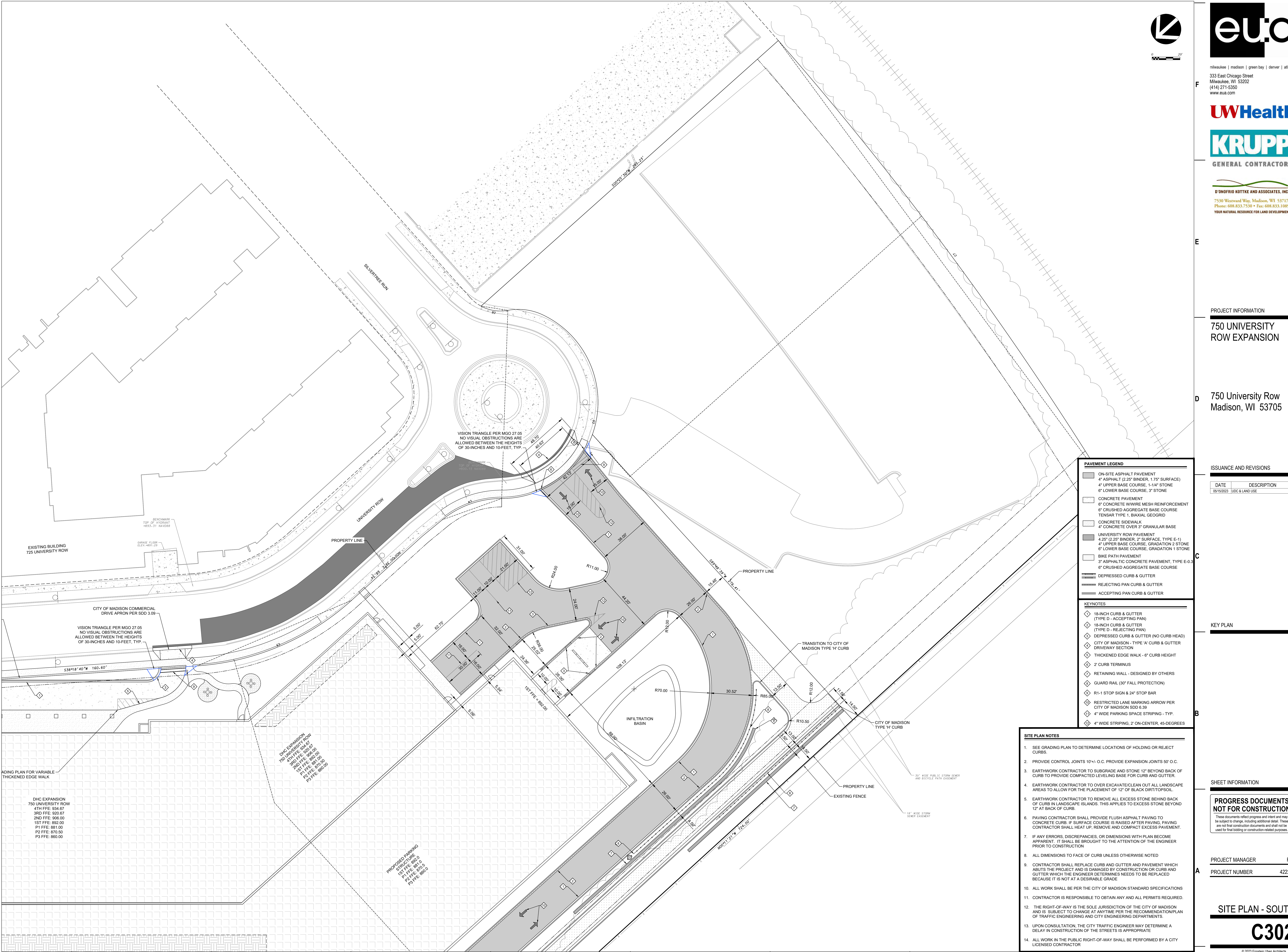
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

SITE PLAN - NORTH

C301

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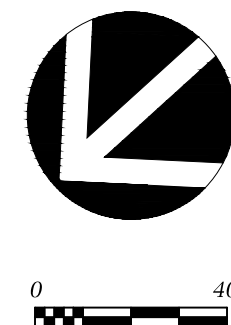
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PROJECT MANAGER RB
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SITE PLAN - SOUTH
C302
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PROJECT INFORMATION
**750 UNIVERSITY
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KEY PLAN

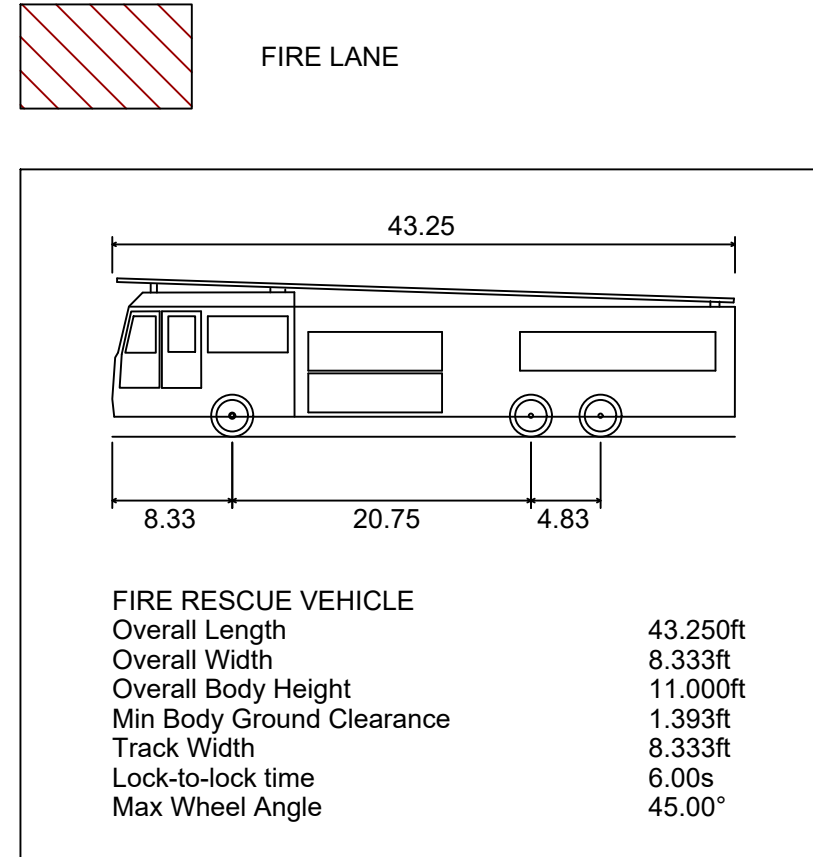
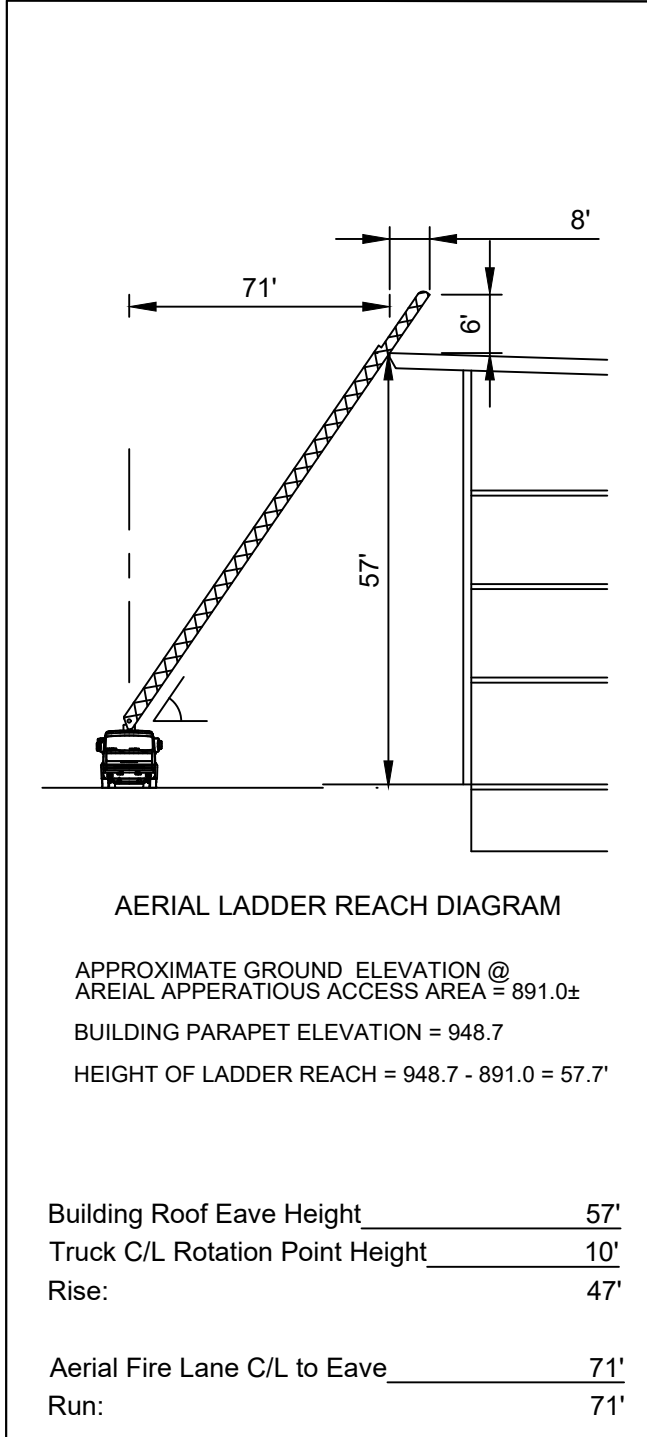
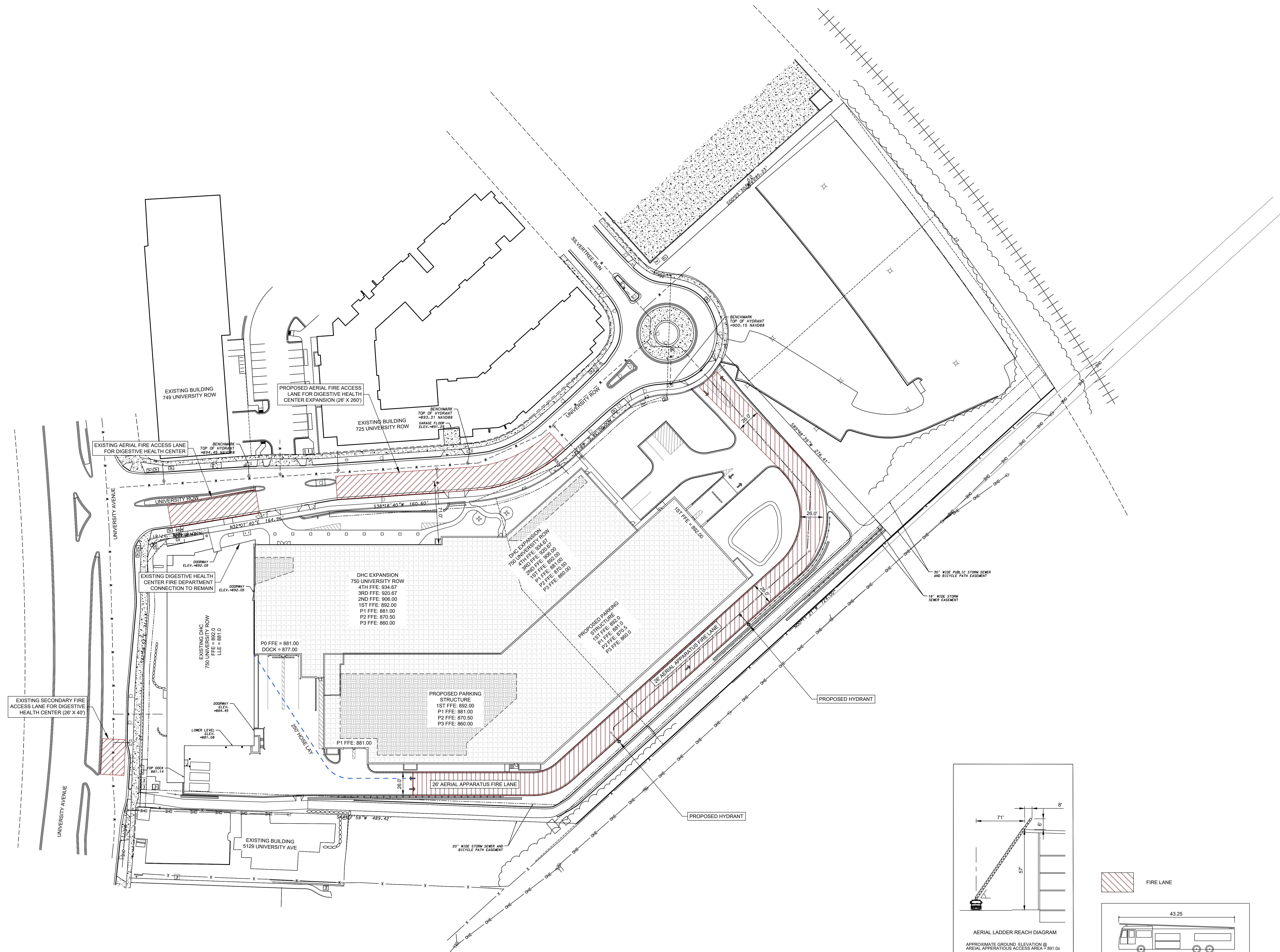
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

FIRE ACCESS PLAN
C303

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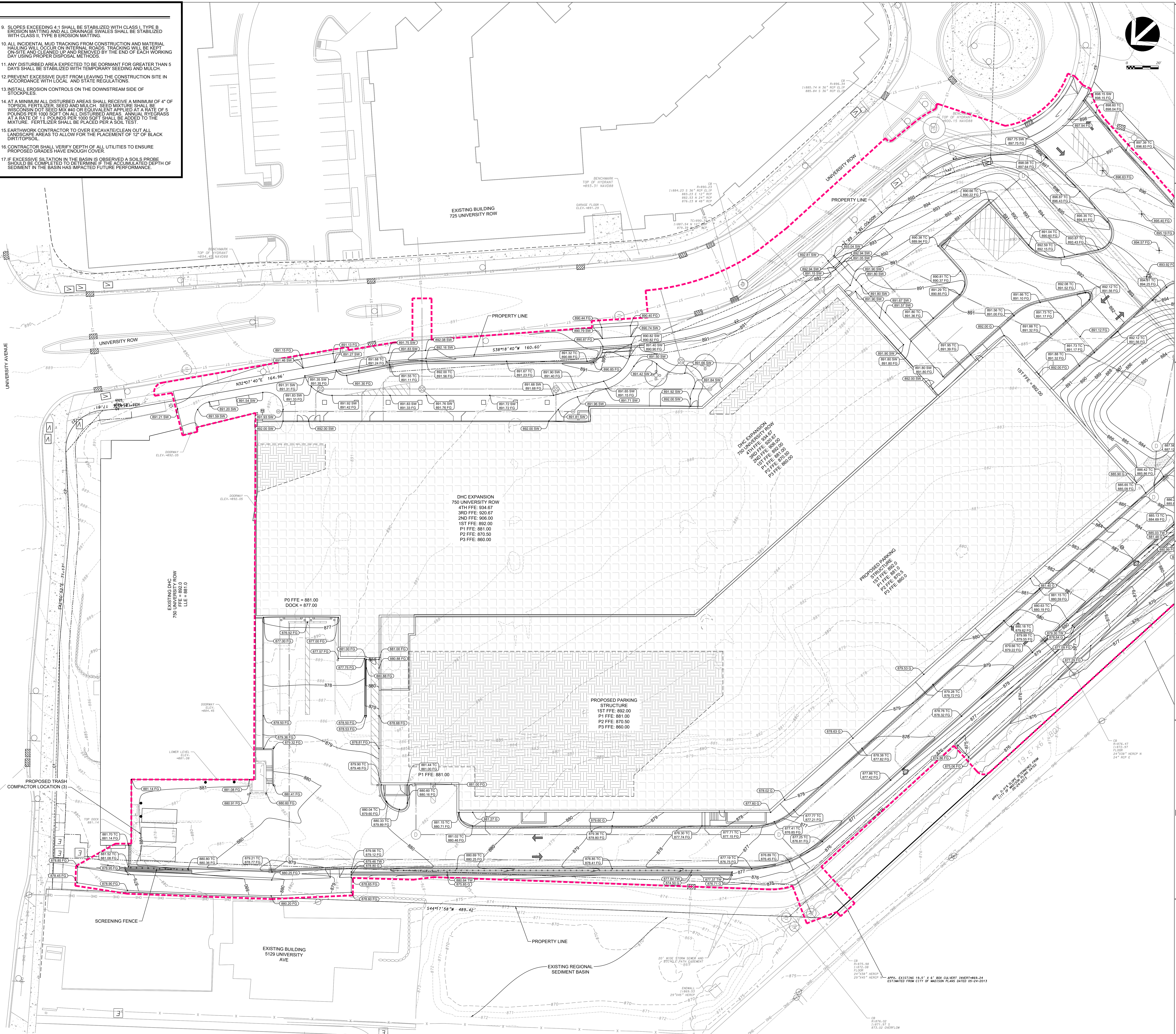
GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE.
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
8. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE STABILIZED USING CLASS II TYPE - B EROSION MAY OTHERWISE FOLLOW WISDOT FDM 10-S EROSION CONTROL MATRIX.
9. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II TYPE B EROSION MATTING.
10. ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
11. ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.
12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
13. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 11 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.
15. EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DRIFT/TOPSOIL.
16. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.
17. IF EXCESSIVE SILTATION IN THE BASIN IS OBSERVED A SOILS PROBE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE BASIN HAS IMPACTED FUTURE PERFORMANCE.

GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SPOT GRADE - TOP (BACK) OF CURB
- SPOT GRADE - TOP OF WALL
- SPOT GRADE - FINISH GRADE (PAVEMENT)
- SPOT GRADE - SIDEWALK FINISH GRADE
- SPOT GRADE - GROUND (BOTTOM OF WALL)

LIMITS OF DISTURBANCE = 239,030 SQ FT
= 5.49 AC



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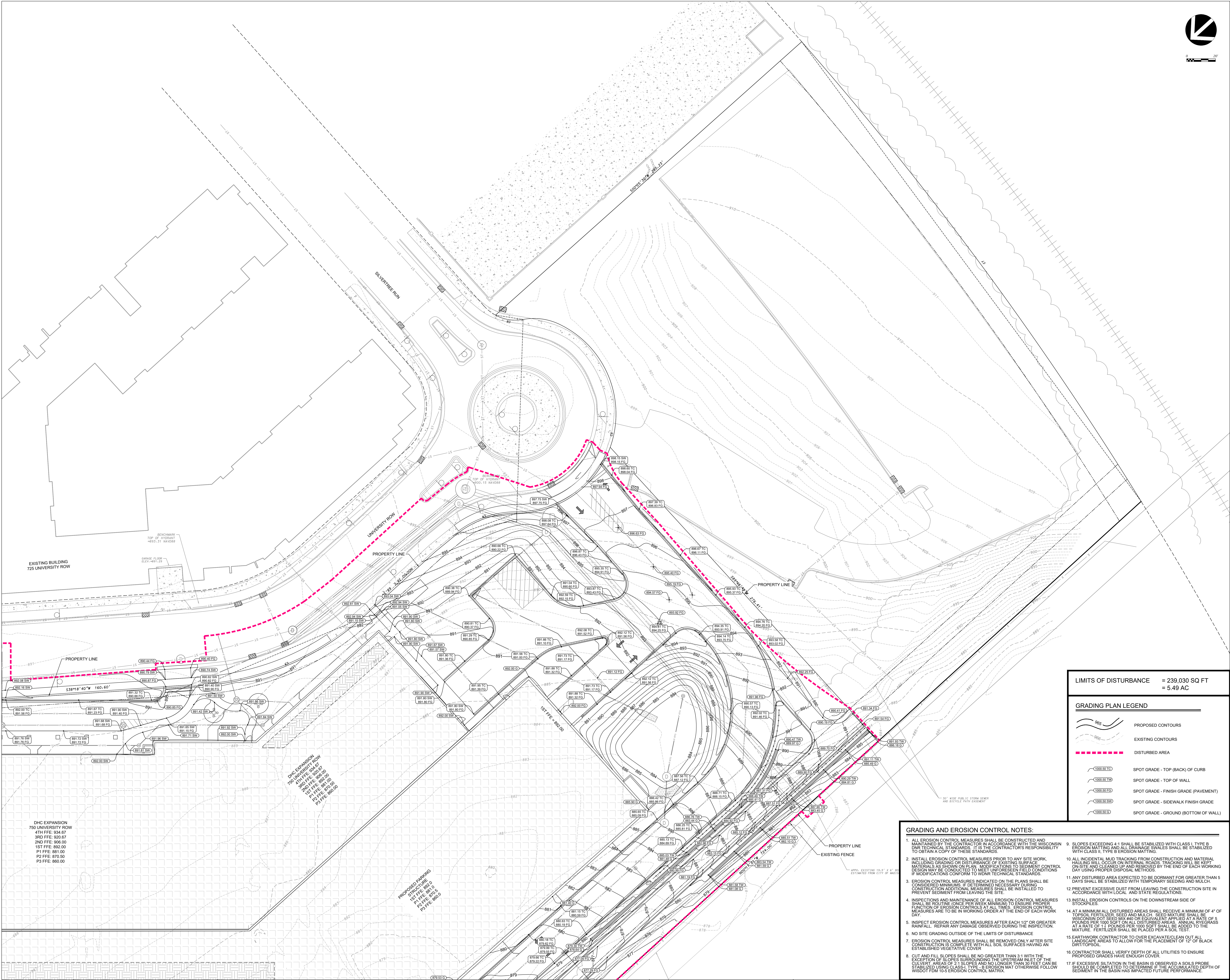
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PROJECT MANAGER RB
PROJECT NUMBER 422291

GRADING PLAN - NORTH
C401
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GRADING PLAN - SOUTH

C402

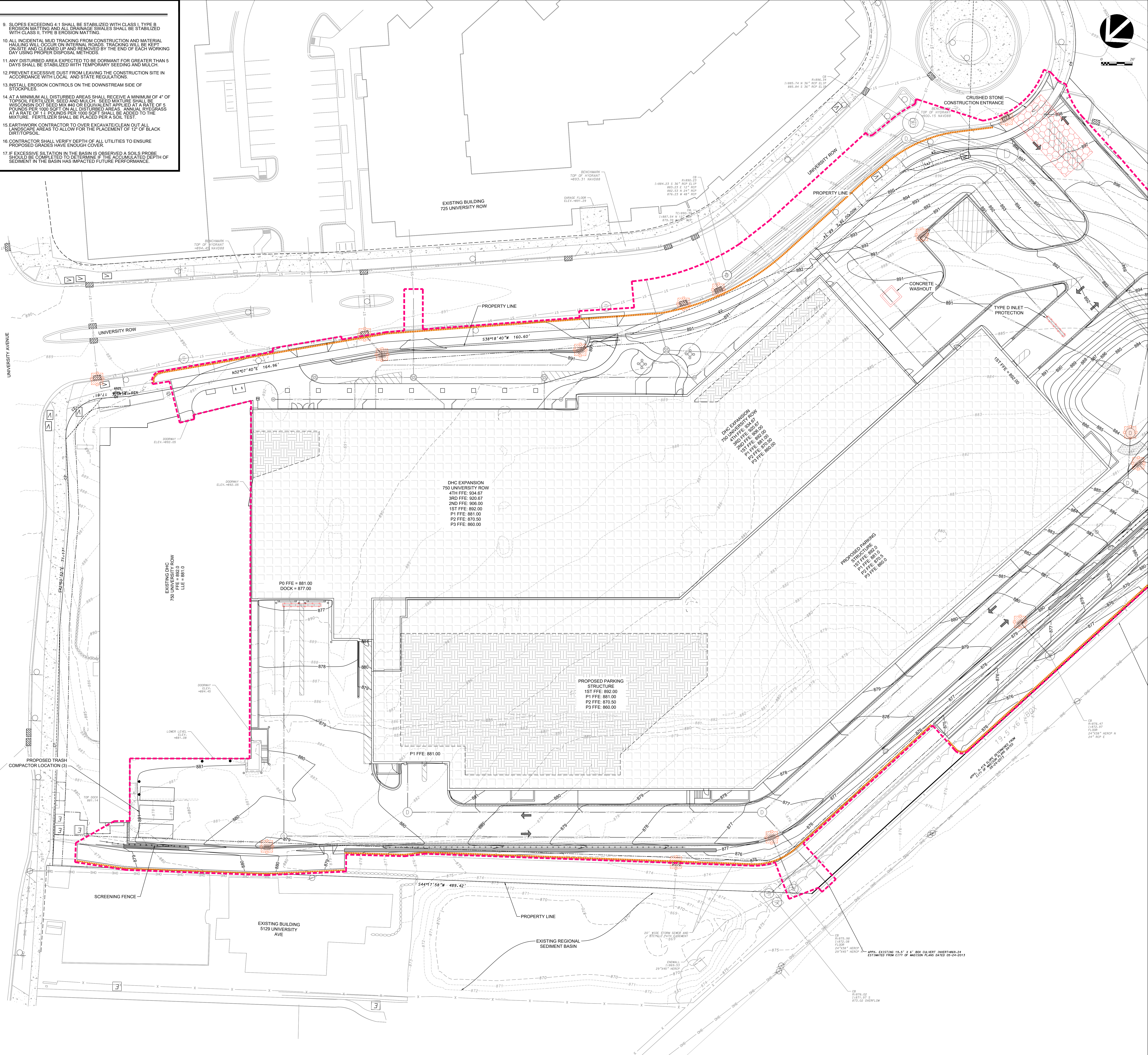
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 8. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE STABILIZED USING CLASS II TYPE B EROSION MAY OTHERWISE FOLLOW WISDOT FDM 10-S EROSION CONTROL MATRIX.
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 15. EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DRIFT/TOPSOIL.
 16. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.
 17. IF EXCESSIVE SILTATION IN THE BASIN IS OBSERVED A SOILS PROBE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE BASIN HAS IMPACTED FUTURE PERFORMANCE.

GRADING PLAN LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DISTURBED AREA
- SILT SOCK OR SILT FENCE
- CONSTRUCTION ENTRANCE PER WDNR-1057
- INLET PROTECTION PER WDNR-1060
- TYPE C OR D - INLET PROTECTION

LIMITS OF DISTURBANCE = 239,030 SQ FT
= 5.49 AC



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PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
09/15/2023	UOC & LAND USE

KEY PLAN

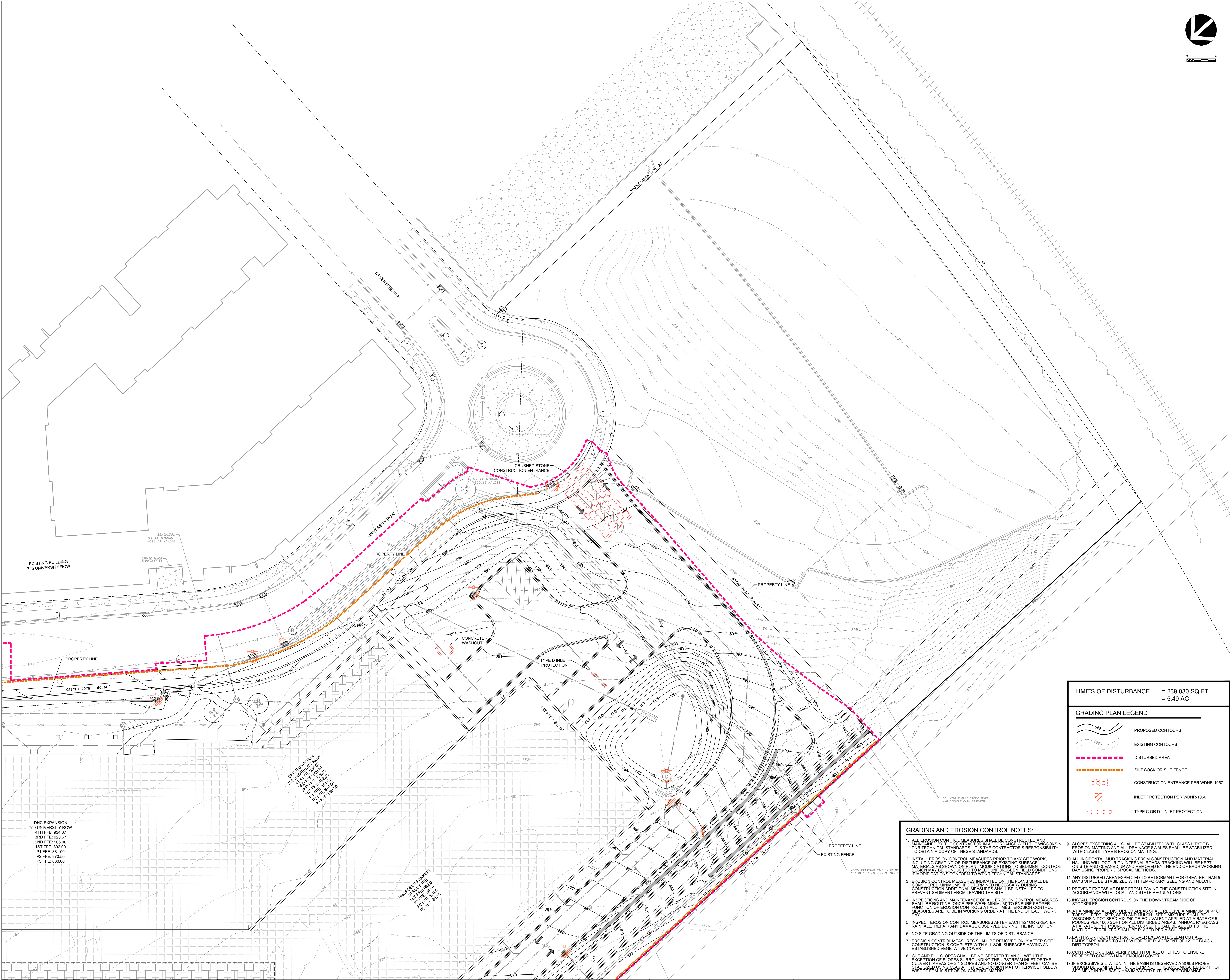
SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
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PROJECT MANAGER RB
PROJECT NUMBER 422291

EROSION CONTROL PLAN - NORTH

C403
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LIMITS OF DISTURBANCE

= 239,030 SQ FT
= 5.49 AC

GRADING PLAN LEGEND

PROPOSED CONTOURS

EXISTING CONTOURS

DISTURBED AREA

SILT SOCK OR SILT FENCE

CONSTRUCTION ENTRANCE PER WDNR-1057

INLET PROTECTION PER WDNR-1060

TYPE C OR D - INLET PROTECTION

- GRADING AND EROSION CONTROL NOTES:
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.

2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEGMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNPRESSED FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.

3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS IF DETERMINED NECESSARY DURING CONSTRUCTION. ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.

4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.

5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE

7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER

8. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1 WITH THE EXCEPTION OF SLOPES SURROUNDING THE UPSTREAM INLET OF THE CULVERT. AREAS OF 3:1 SLOPES AND NO LONGER THAN 30 FEET CAN BE STABILIZED USING CLASS II, TYPE B EROSION MAT OTHERWISE FOLLOW WISDOT FDM 10-S EROSION CONTROL MATRIX.

9. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.

10. ALL INCIDENTAL MUD TRACKING FROM CONSTRUCTION AND MATERIAL HAULING WILL OCCUR ON INTERNAL ROADS. TRACKING WILL BE KEPT ON-SITE AND CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.

11. ANY DISTURBED AREA EXPECTED TO BE DORMANT FOR GREATER THAN 5 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH.

12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

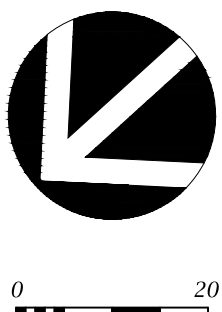
13. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.

14. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQ FT. ANNUAL PERMANENT PLYGRASS AT A RATE OF 1.1 POUNDS PER 1000 SQ FT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST.

15. EARTHWORK CONTRACTOR TO OVER EXCAVATE/CLEAN OUT ALL LANDSCAPE AREAS TO ALLOW FOR THE PLACEMENT OF 12" OF BLACK DIRT/TOPSOIL.

16. CONTRACTOR SHALL VERIFY DEPTH OF ALL UTILITIES TO ENSURE PROPOSED GRADES HAVE ENOUGH COVER.

17. IF EXCESSIVE SILTATION IN THE BASIN IS OBSERVED A SOILS PROBE SHOULD BE COMPLETED TO DETERMINE IF THE ACCUMULATED DEPTH OF SEDIMENT IN THE BASIN HAS IMPACTED FUTURE PERFORMANCE.



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PROJECT INFORMATION
750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

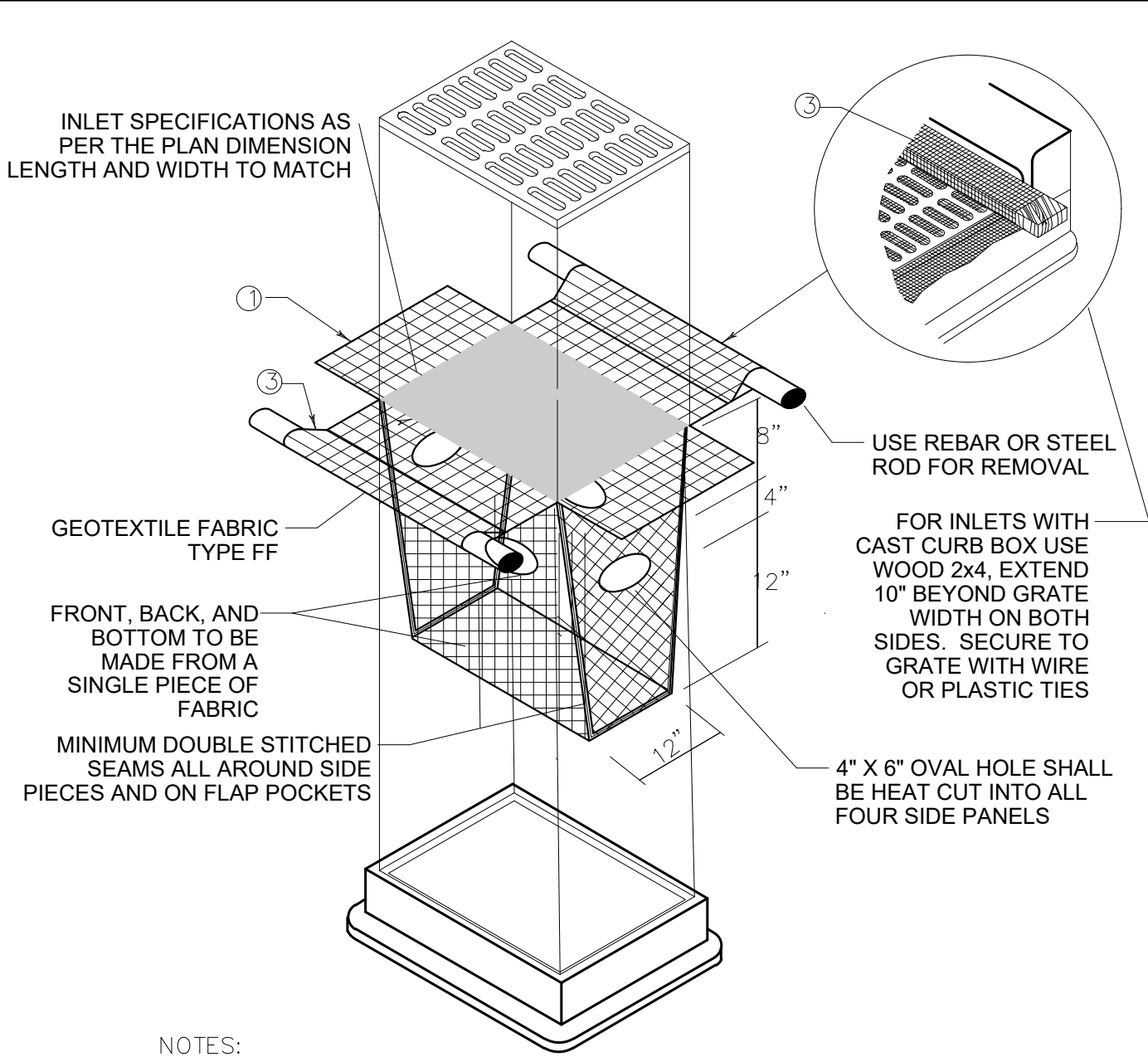
ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
09/15/2023	UOC & LAND USE

KEY PLAN

SHEET INFORMATION
PROGRESS DOCUMENTS
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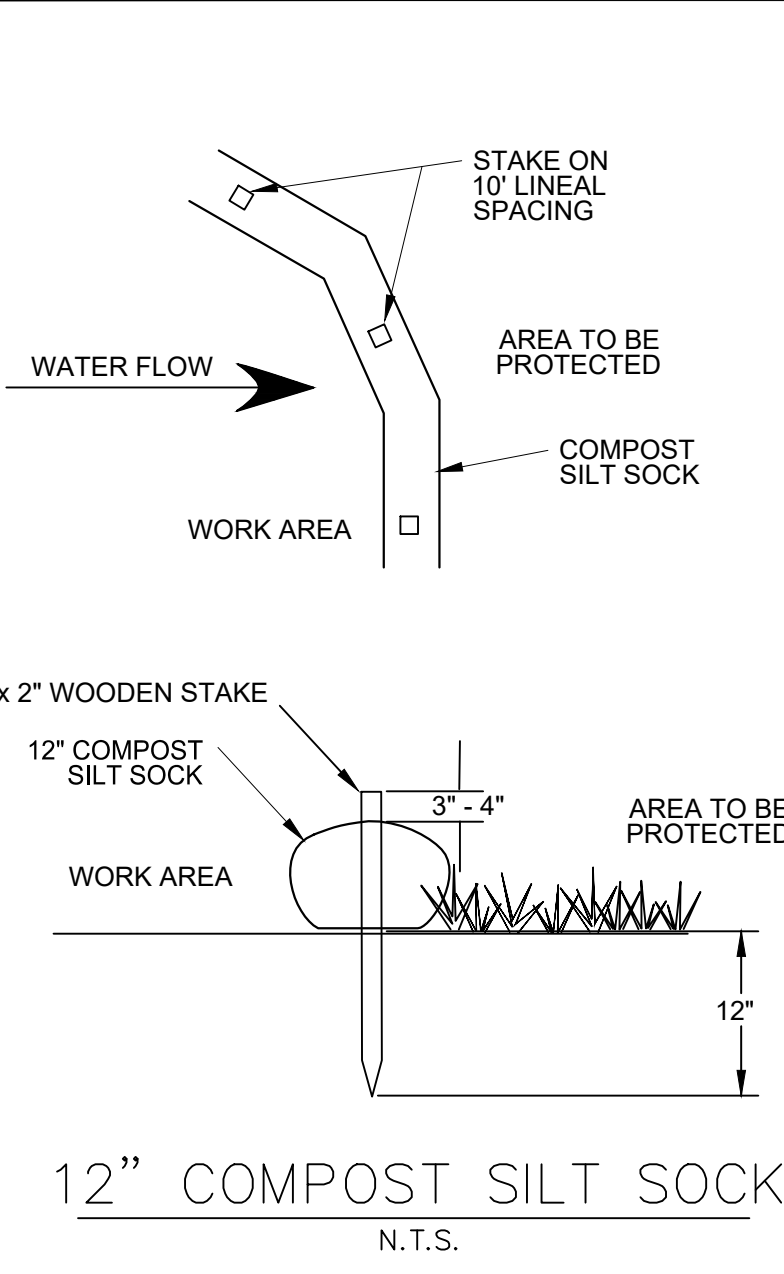
PROJECT MANAGER RB
PROJECT NUMBER 422291

EROSION CONTROL
PLAN - SOUTH
C404
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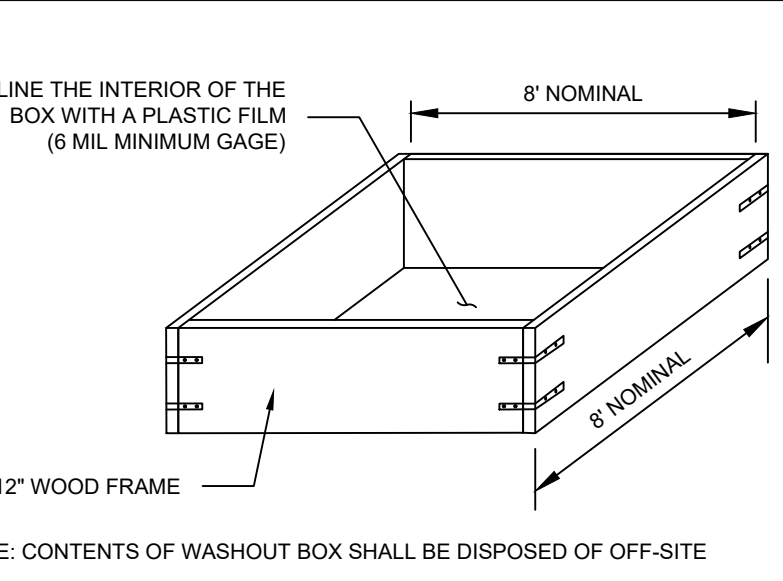


- NOTES:
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

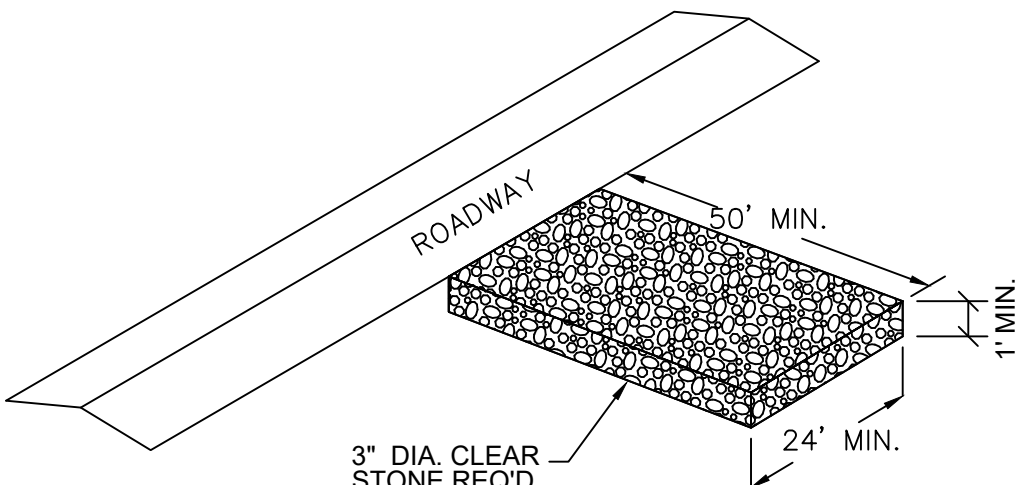
TYPE D INLET PROTECTION
NOT TO SCALE



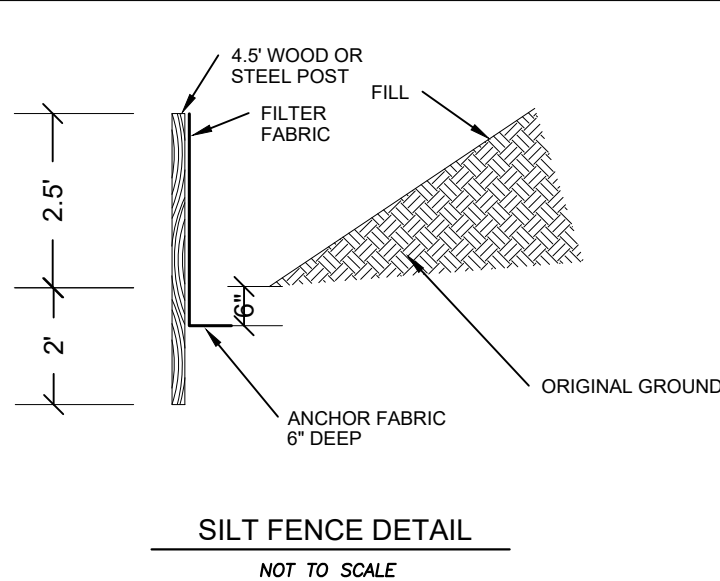
12" COMPOST SILT SOCK
N.T.S.



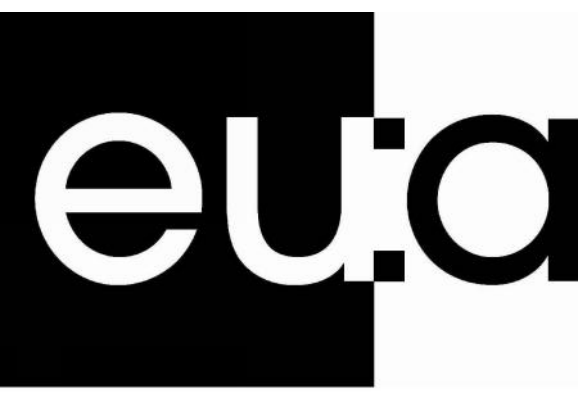
CONCRETE WASHOUT BOX DETAIL
NOT TO SCALE



STONE TRACKING PAD DETAIL



SILT FENCE DETAIL
NOT TO SCALE



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PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
09/15/2023	UOC & LAND USE

KEY PLAN

SHEET INFORMATION

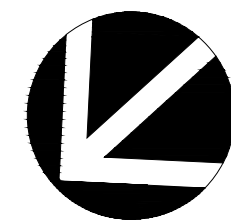
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PROJECT MANAGER RB
PROJECT NUMBER 422291

EROSION CONTROL
DETAILS

C405

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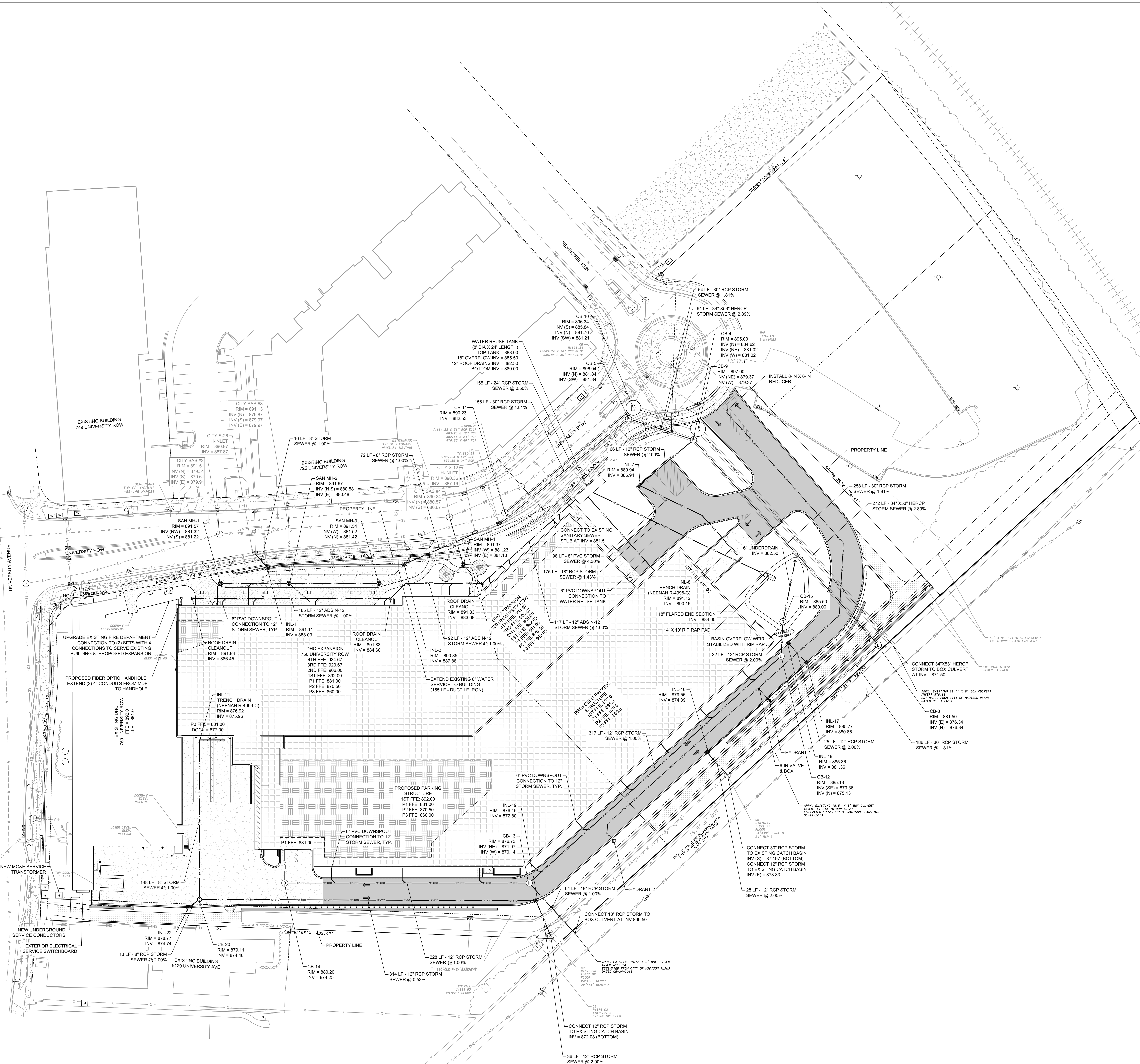
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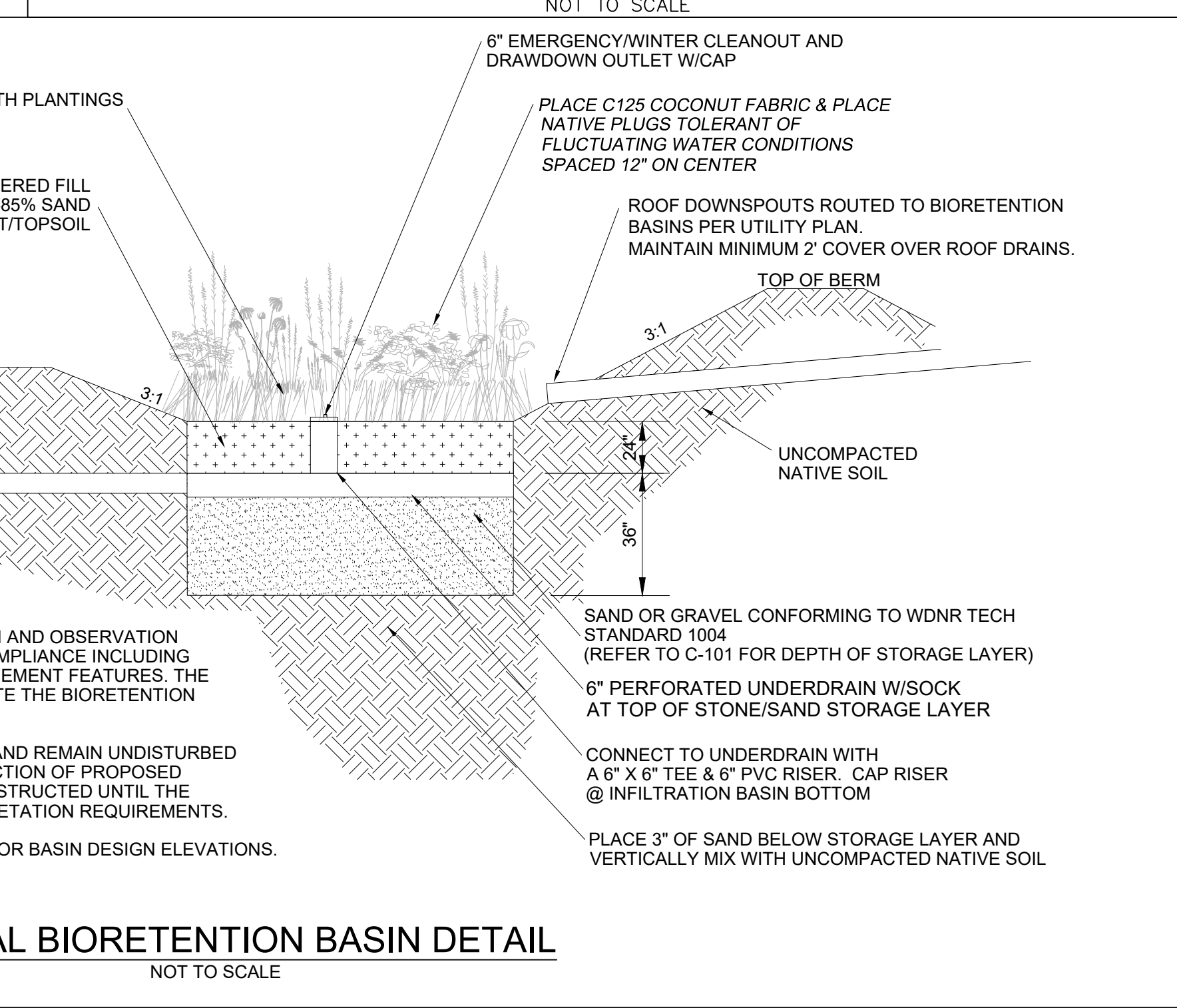
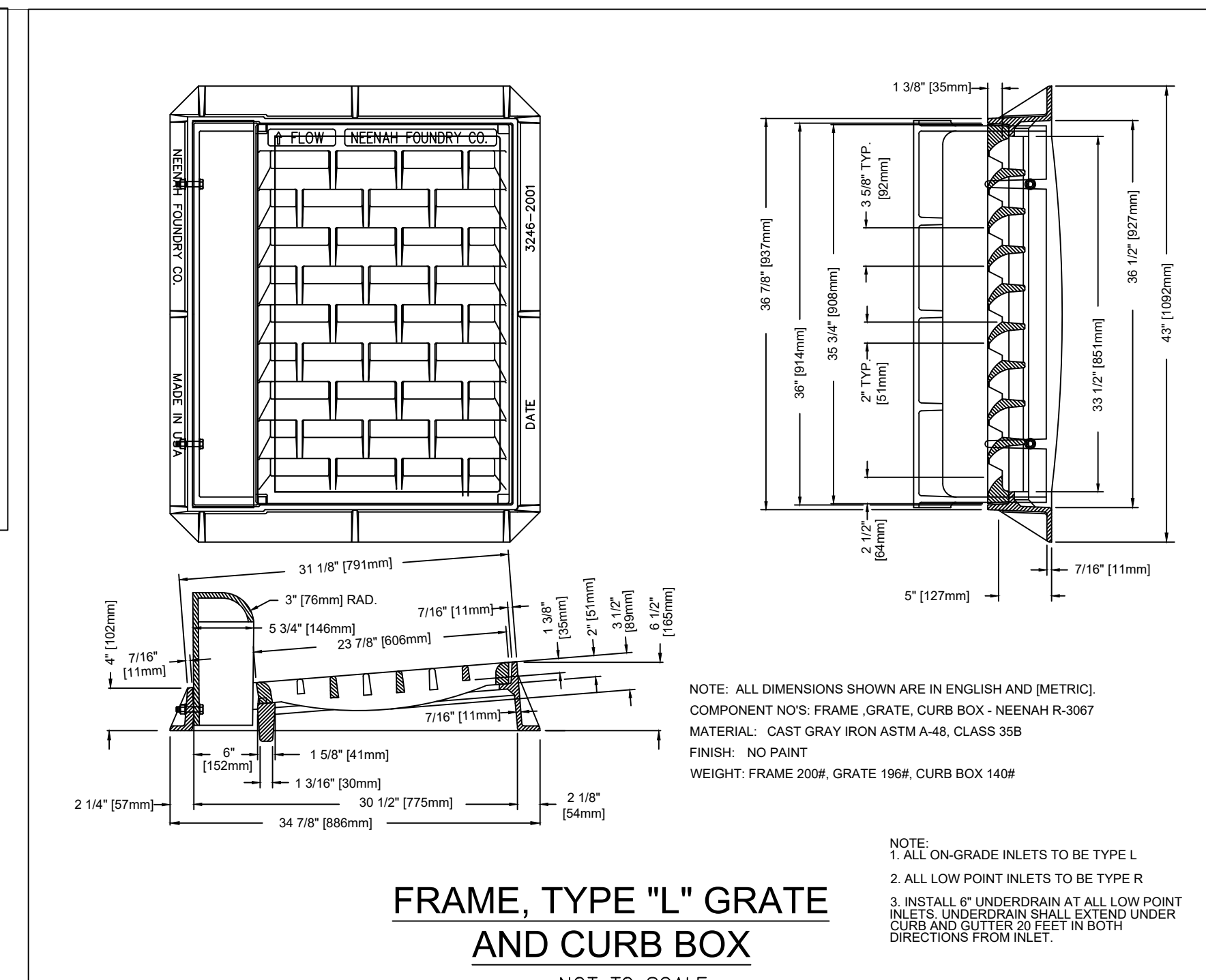
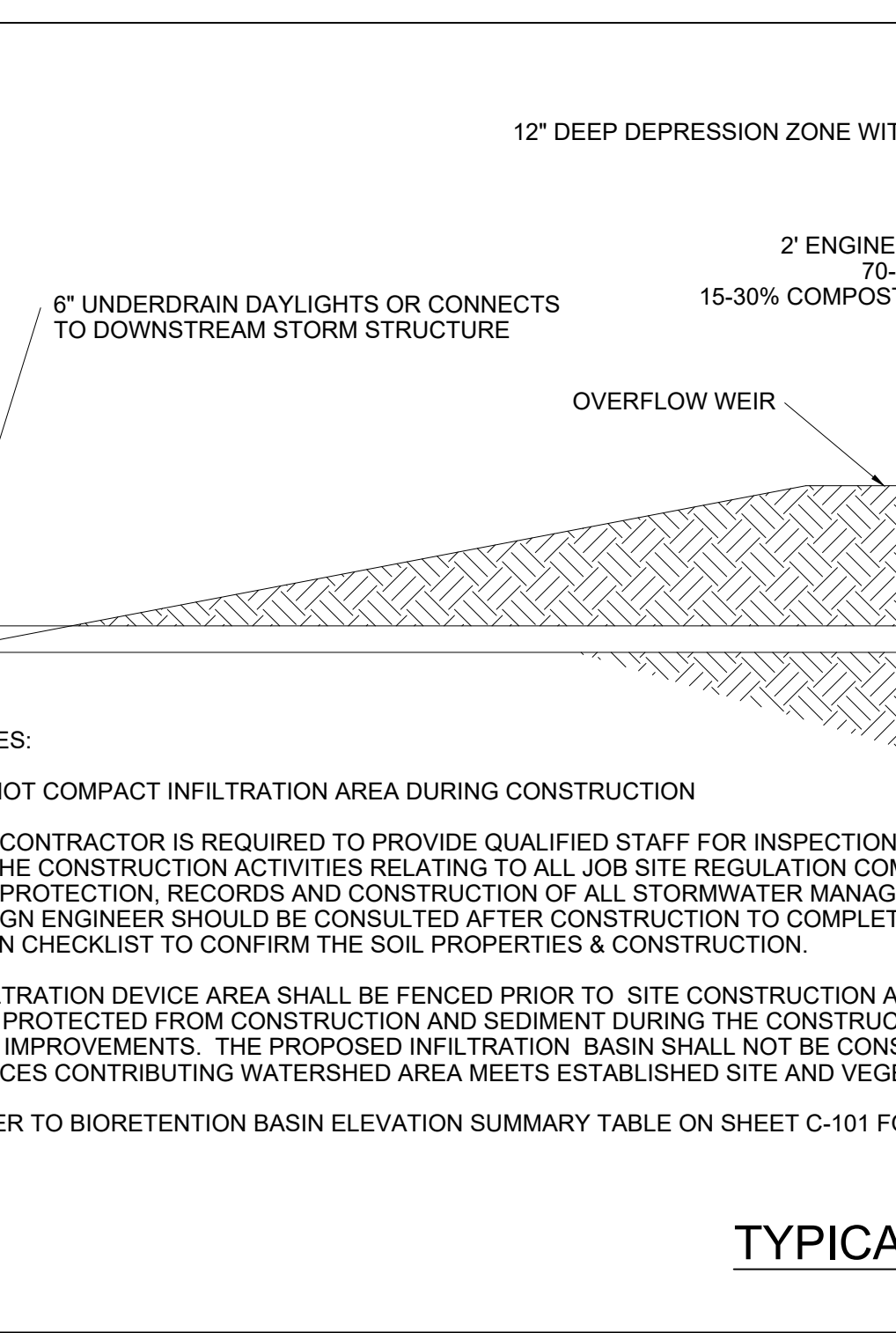
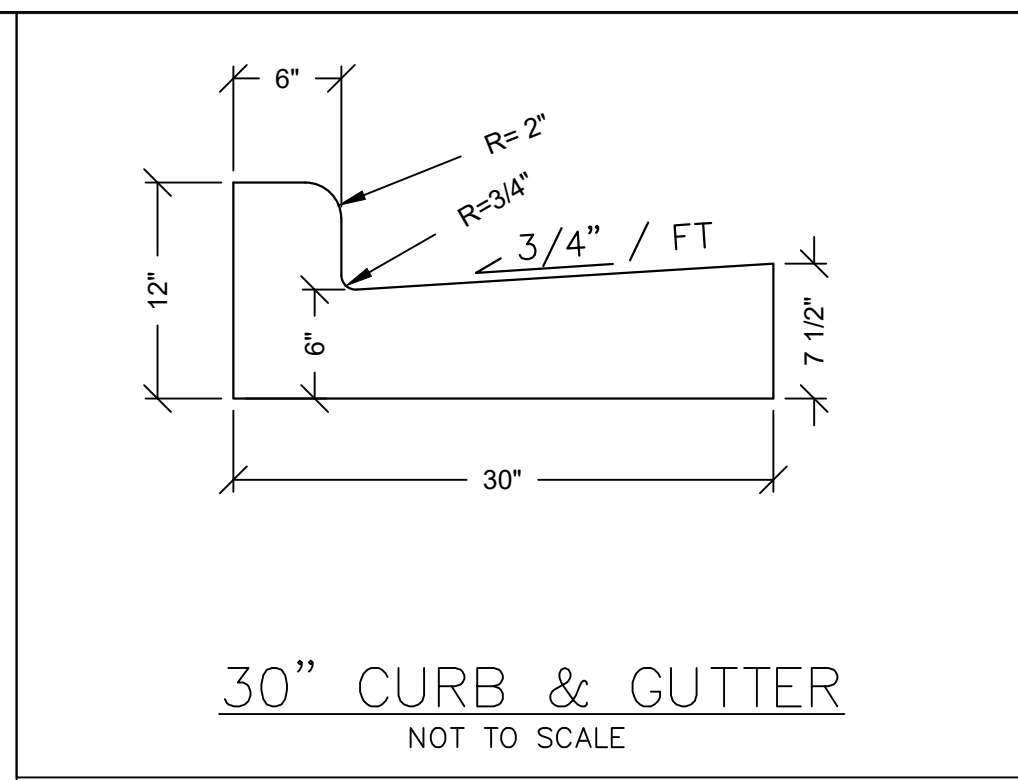
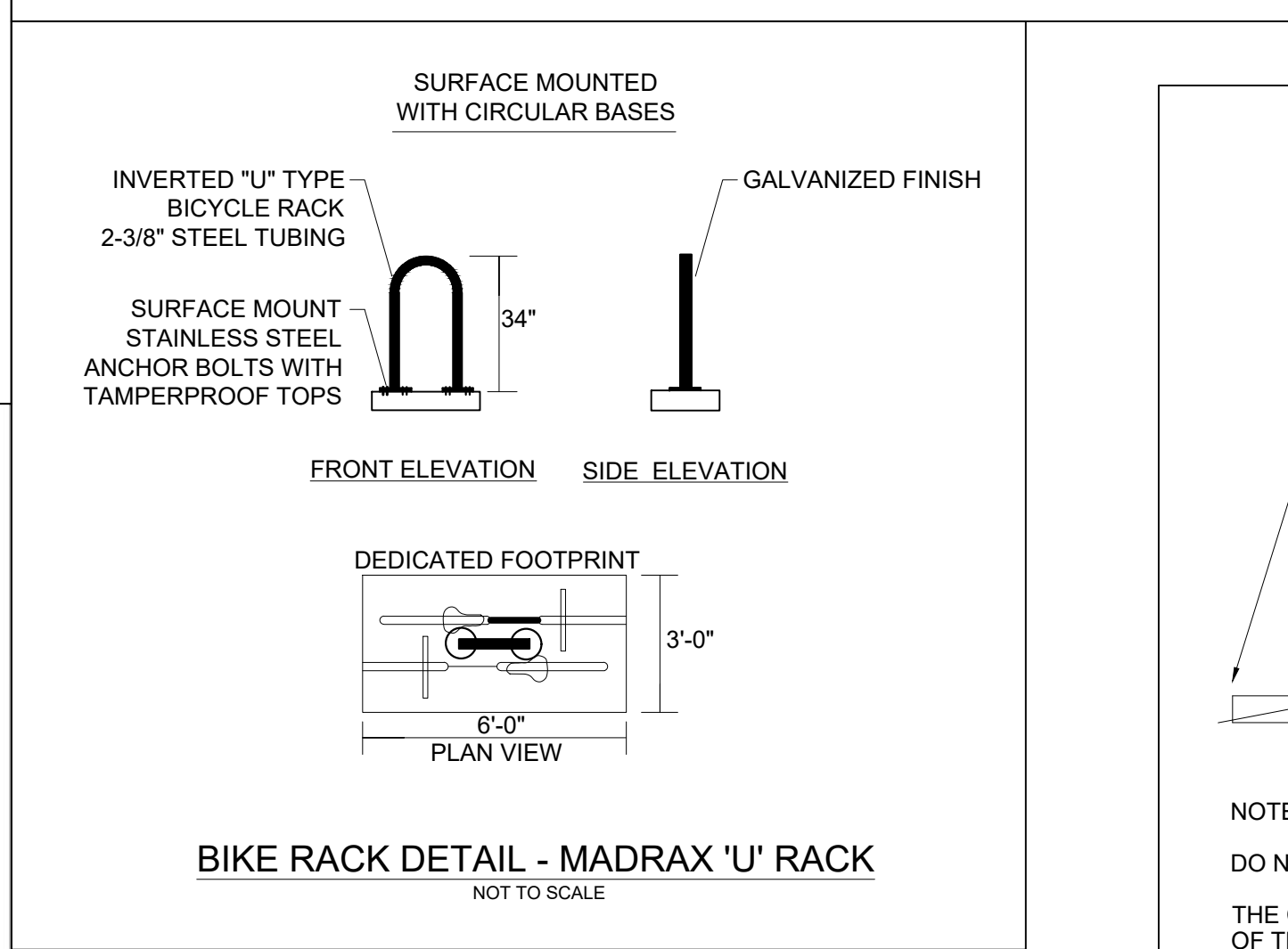
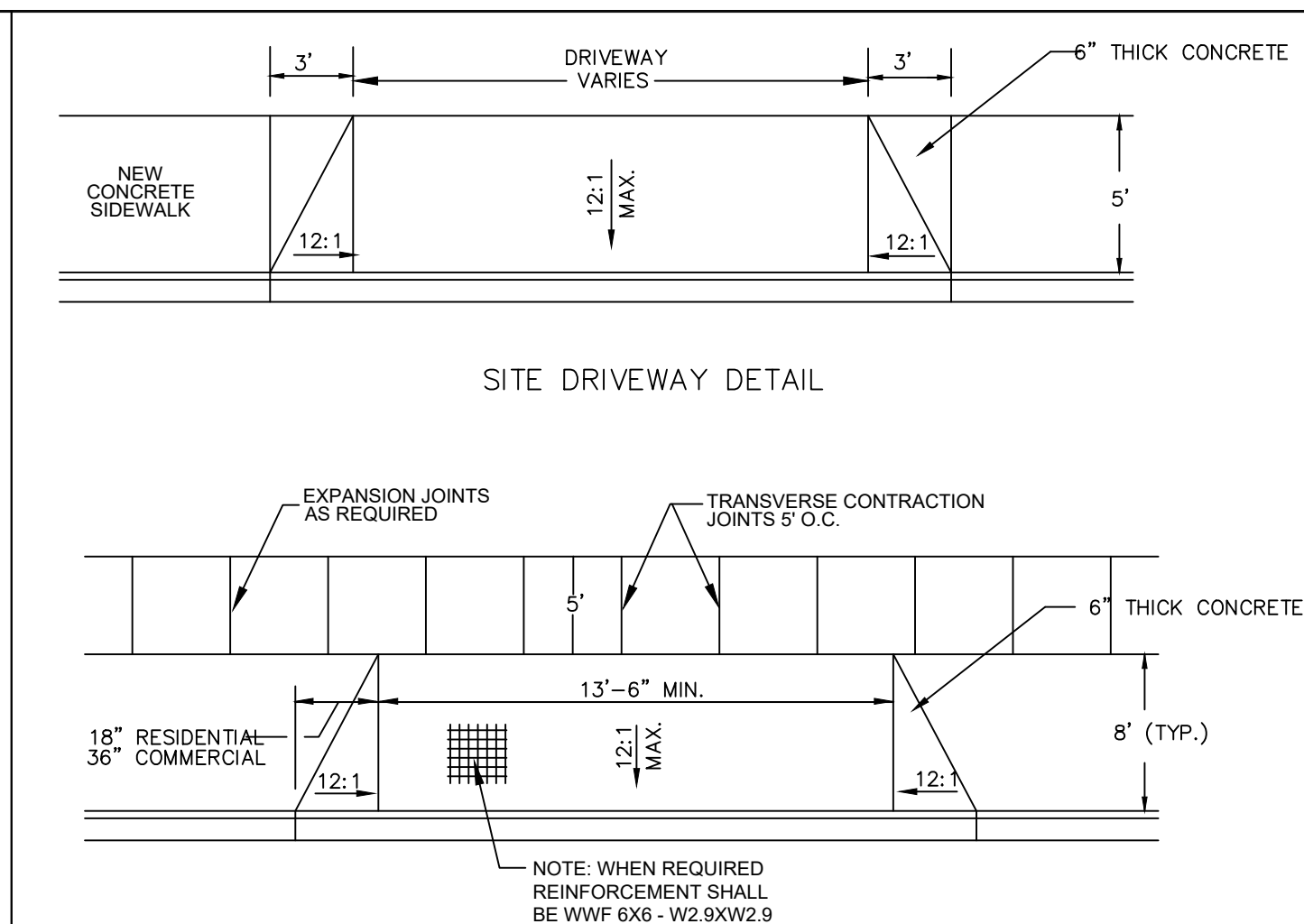
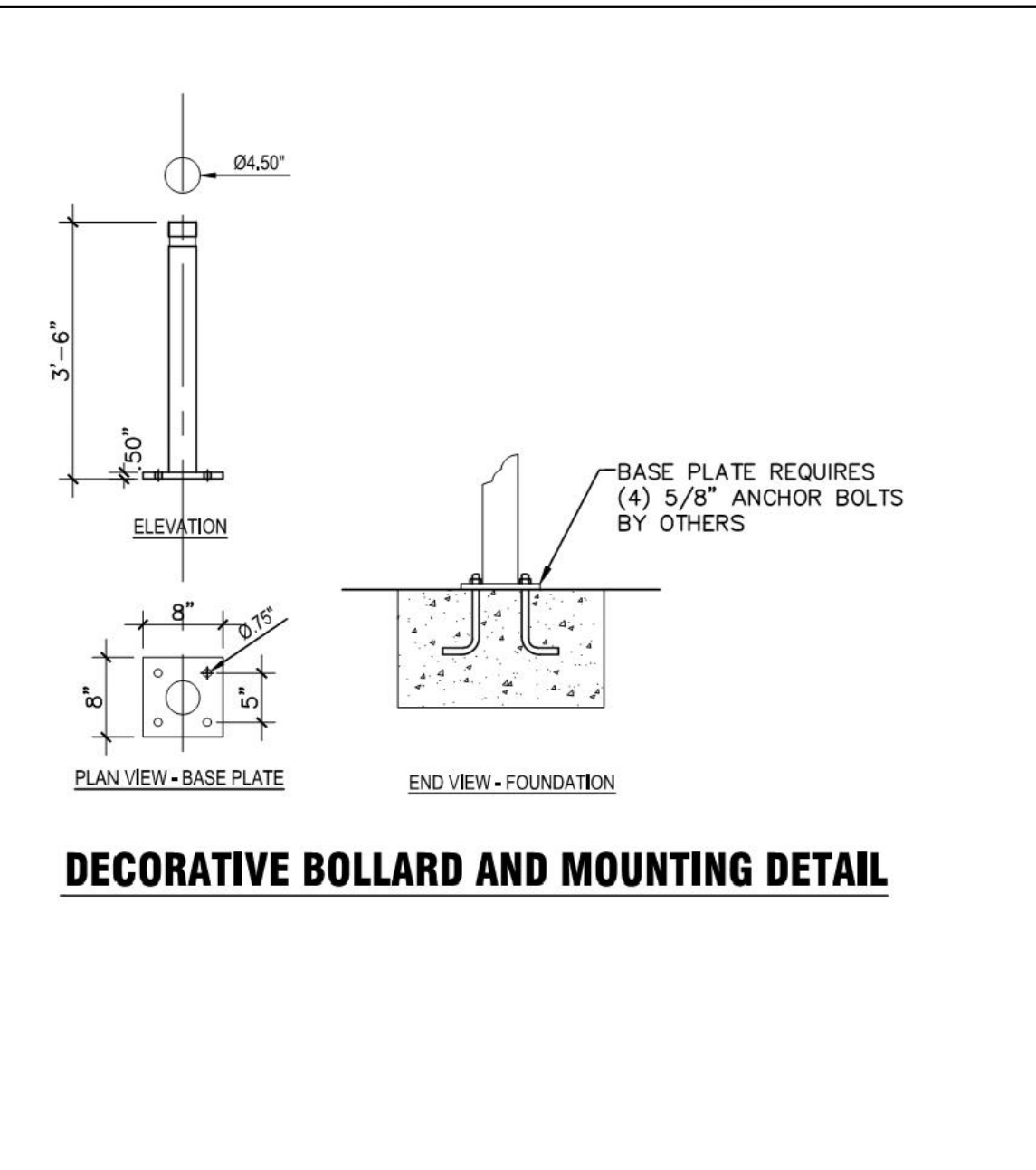
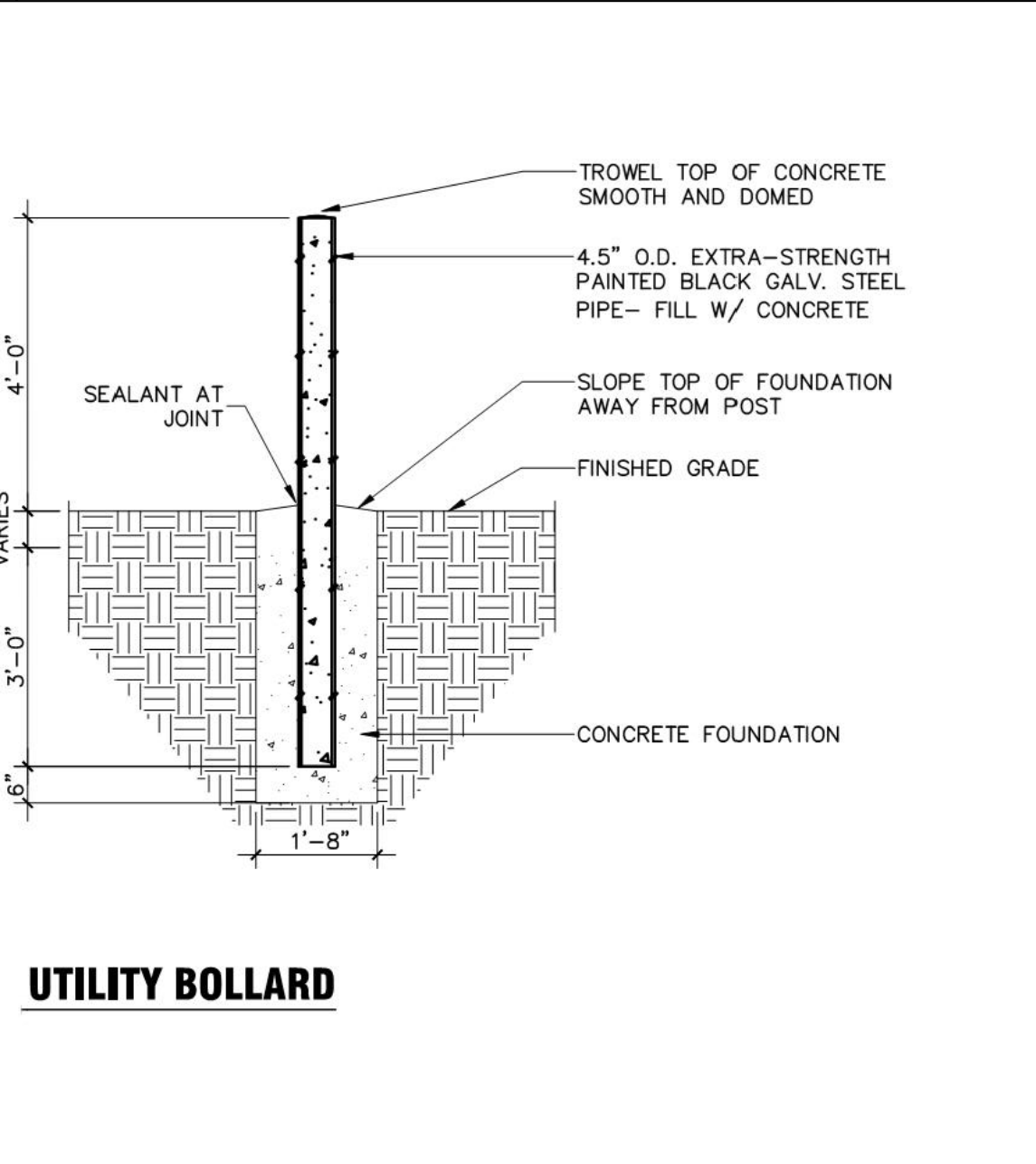
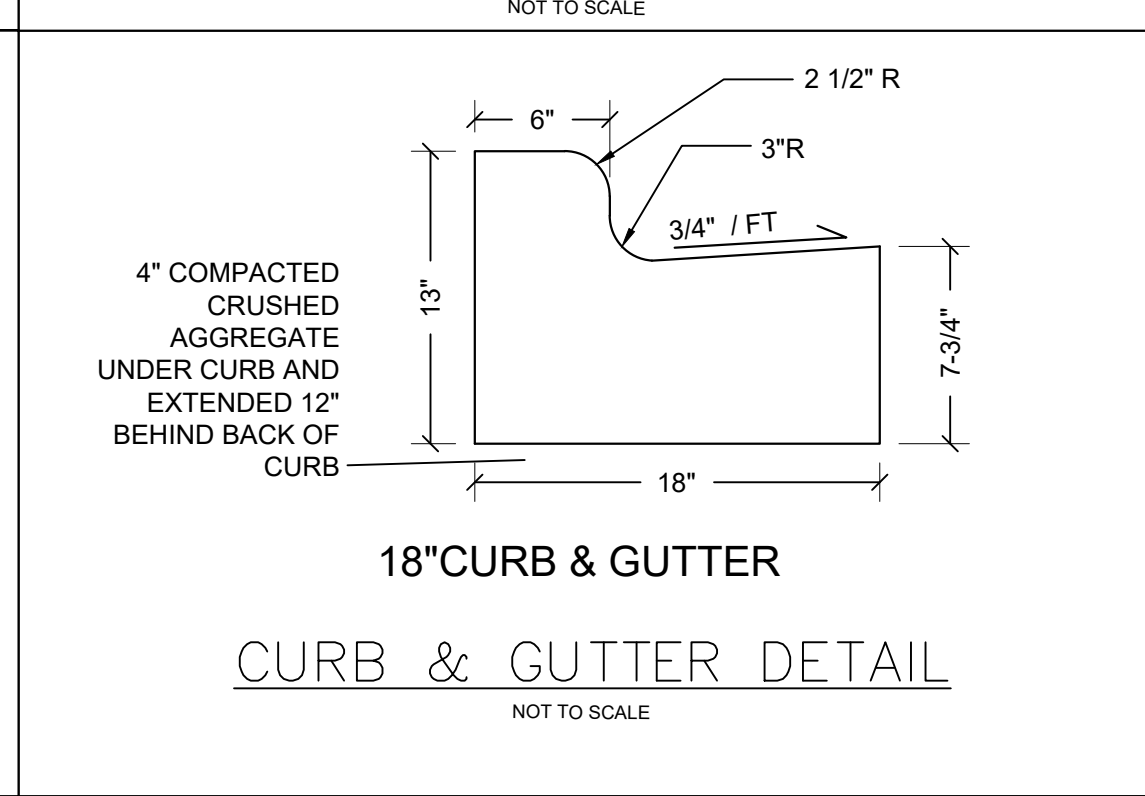
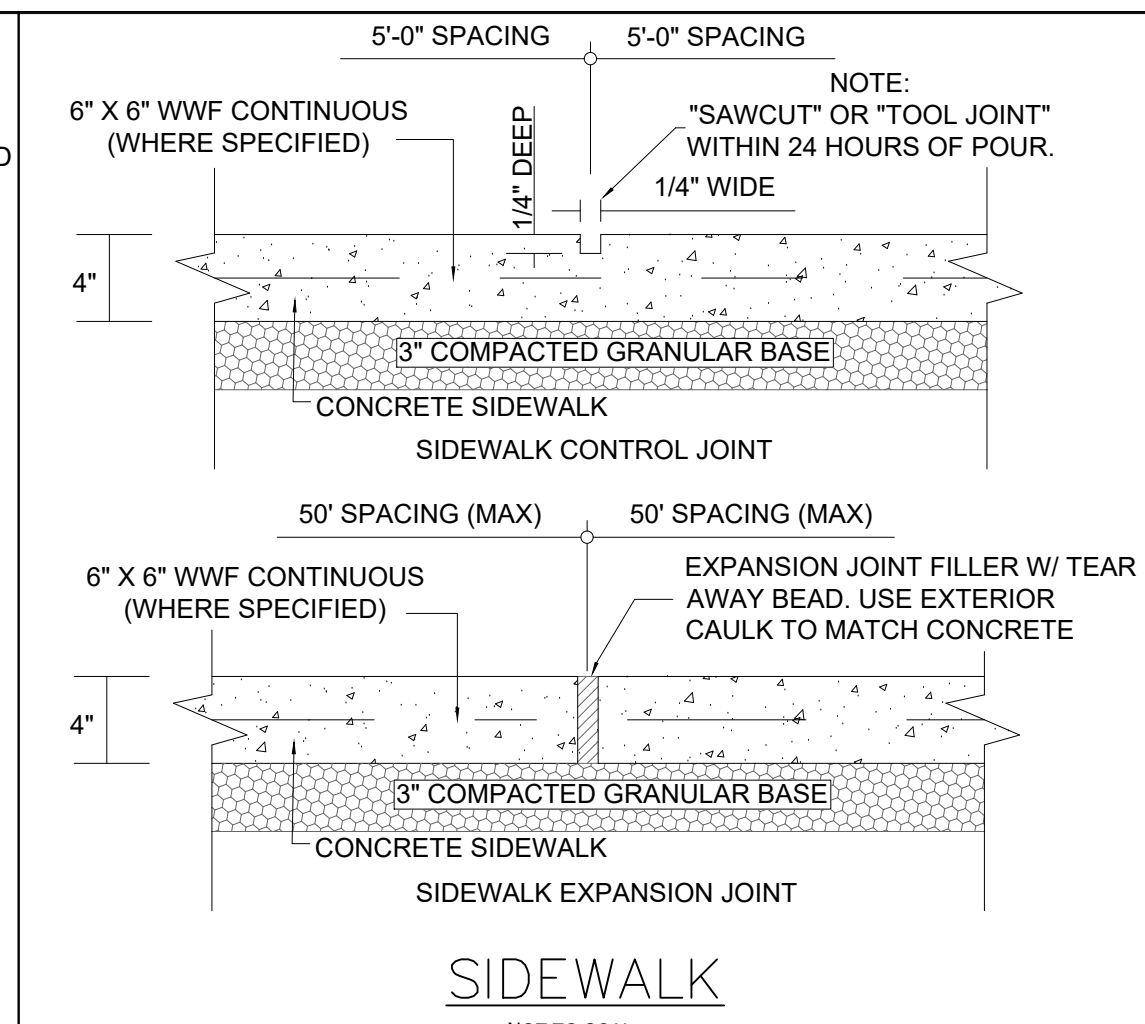
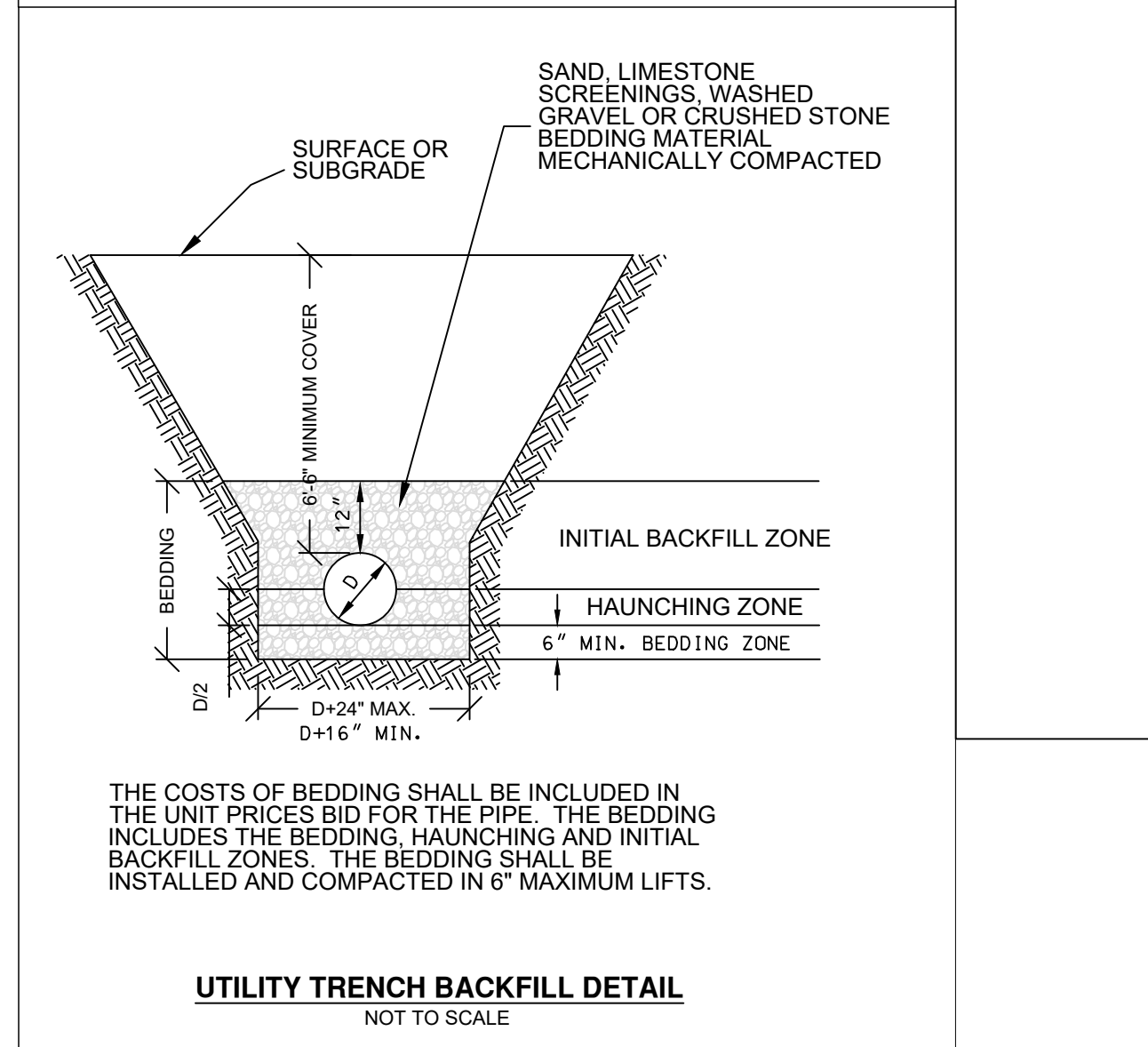
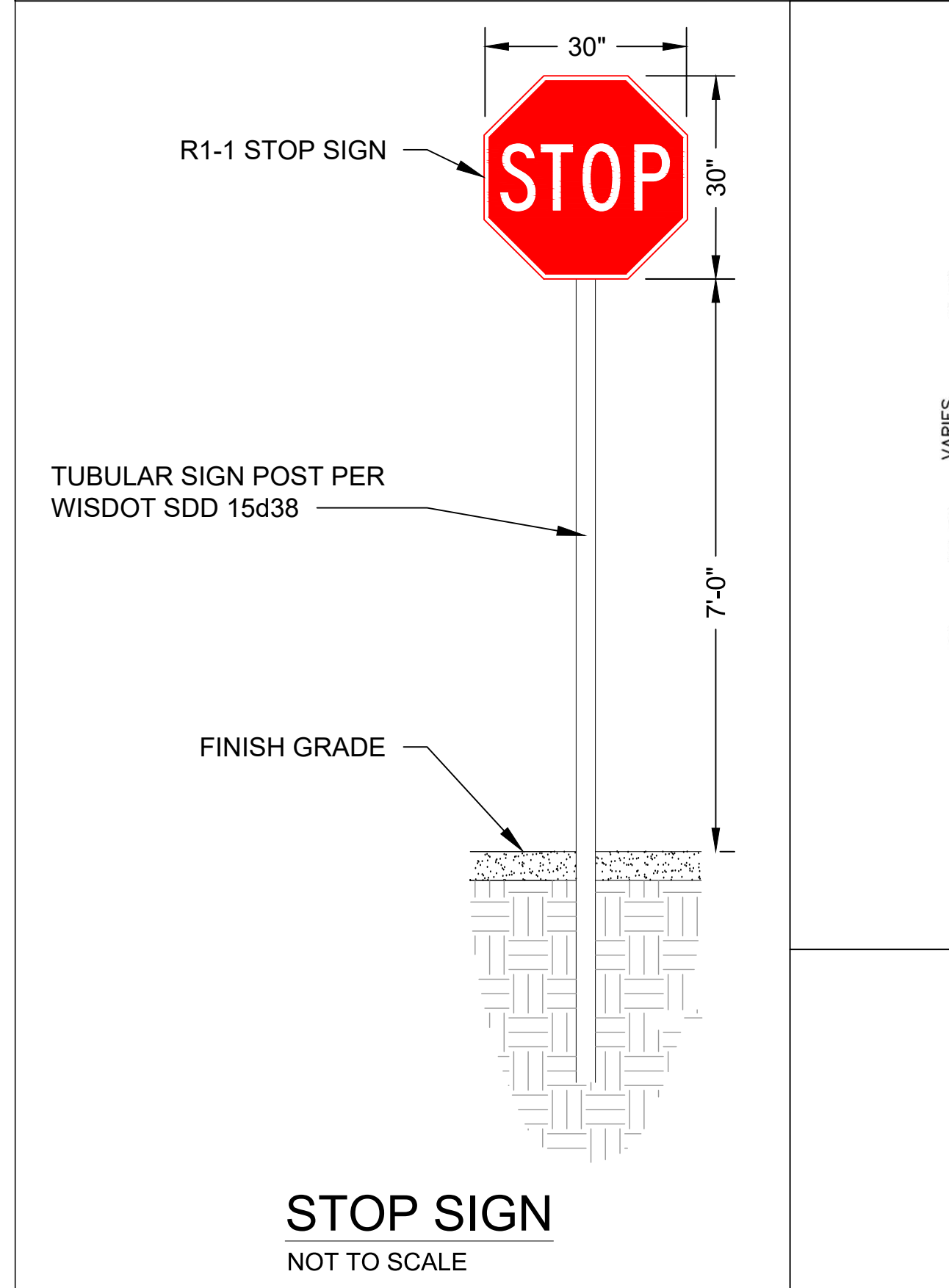
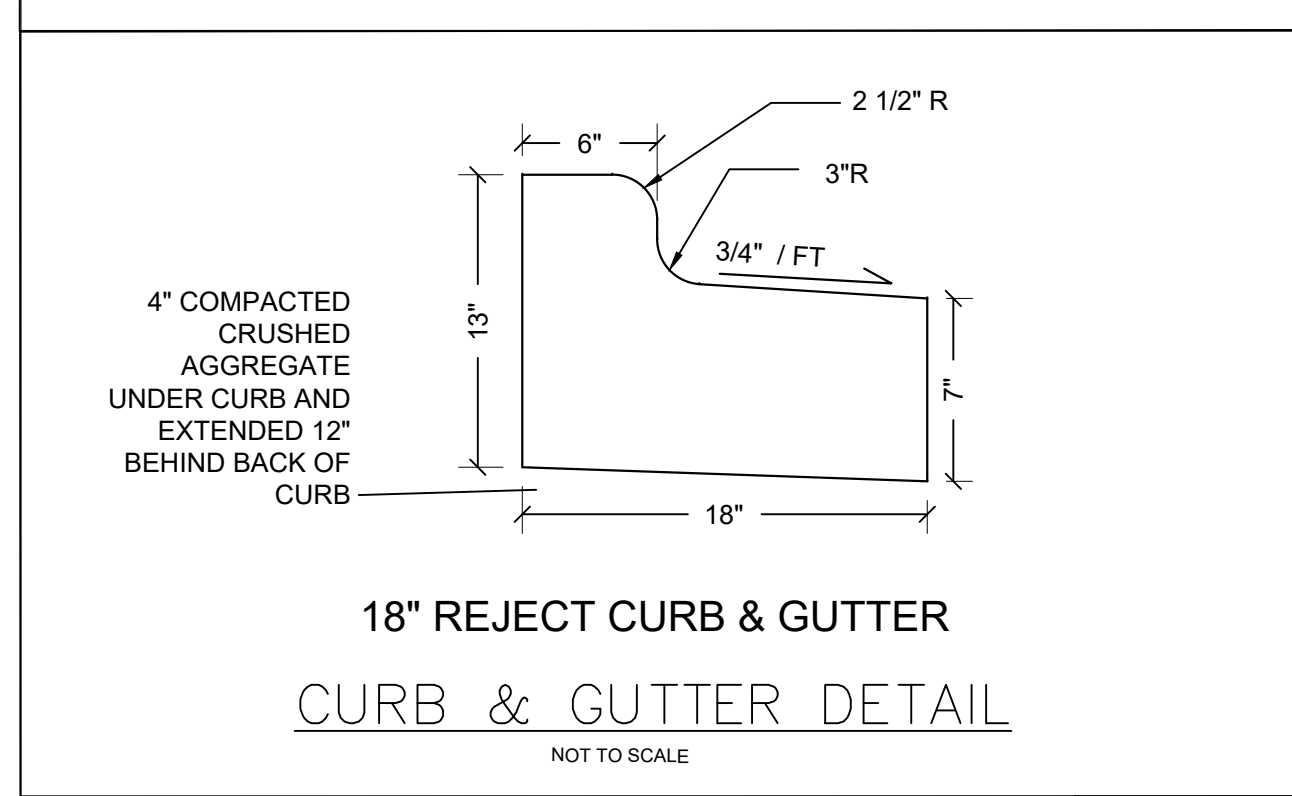
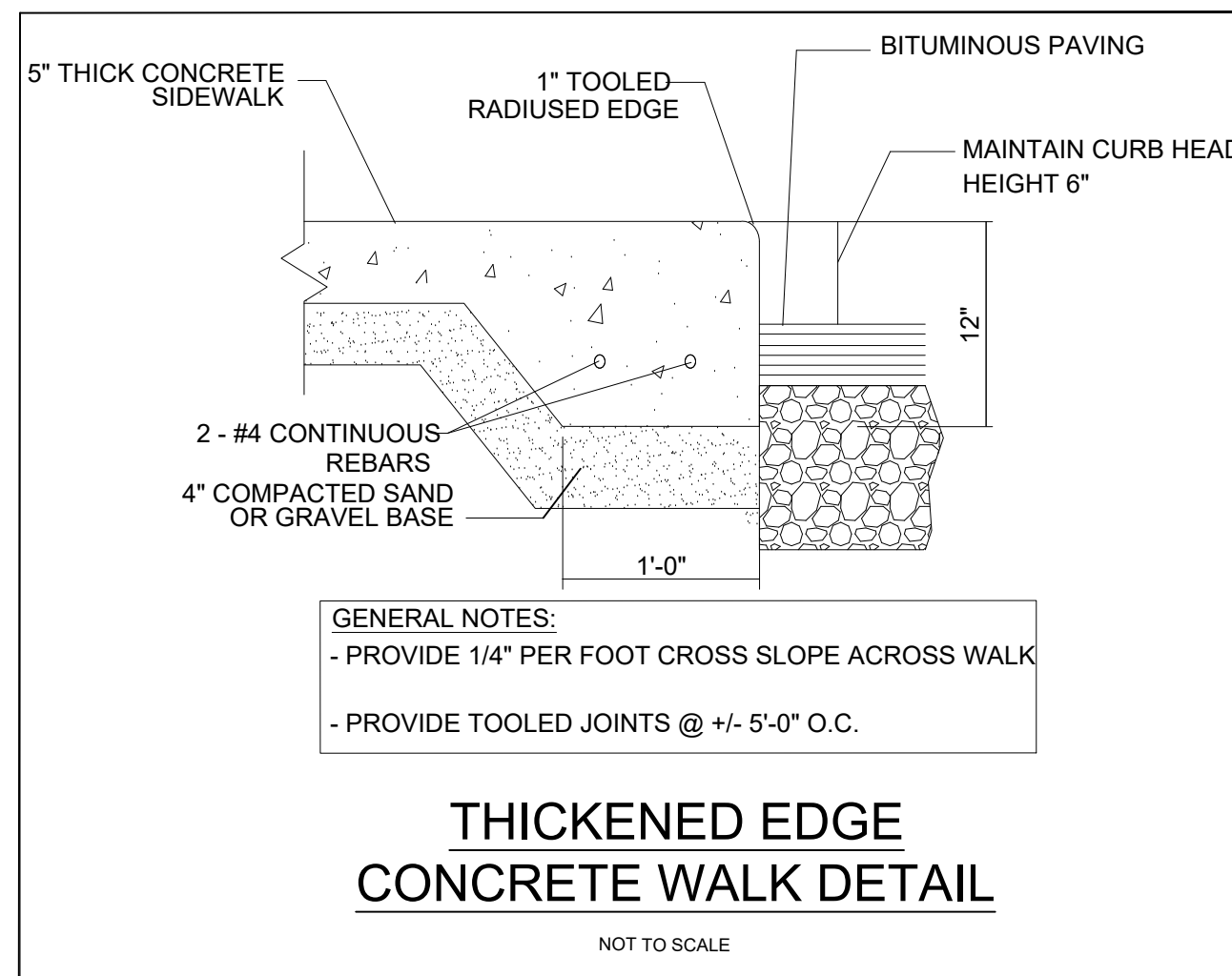
PROJECT MANAGER RB
PROJECT NUMBER 422291

SITE UTILITIES PLAN

C500

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PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/15/2023	UDC & LAND USE

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

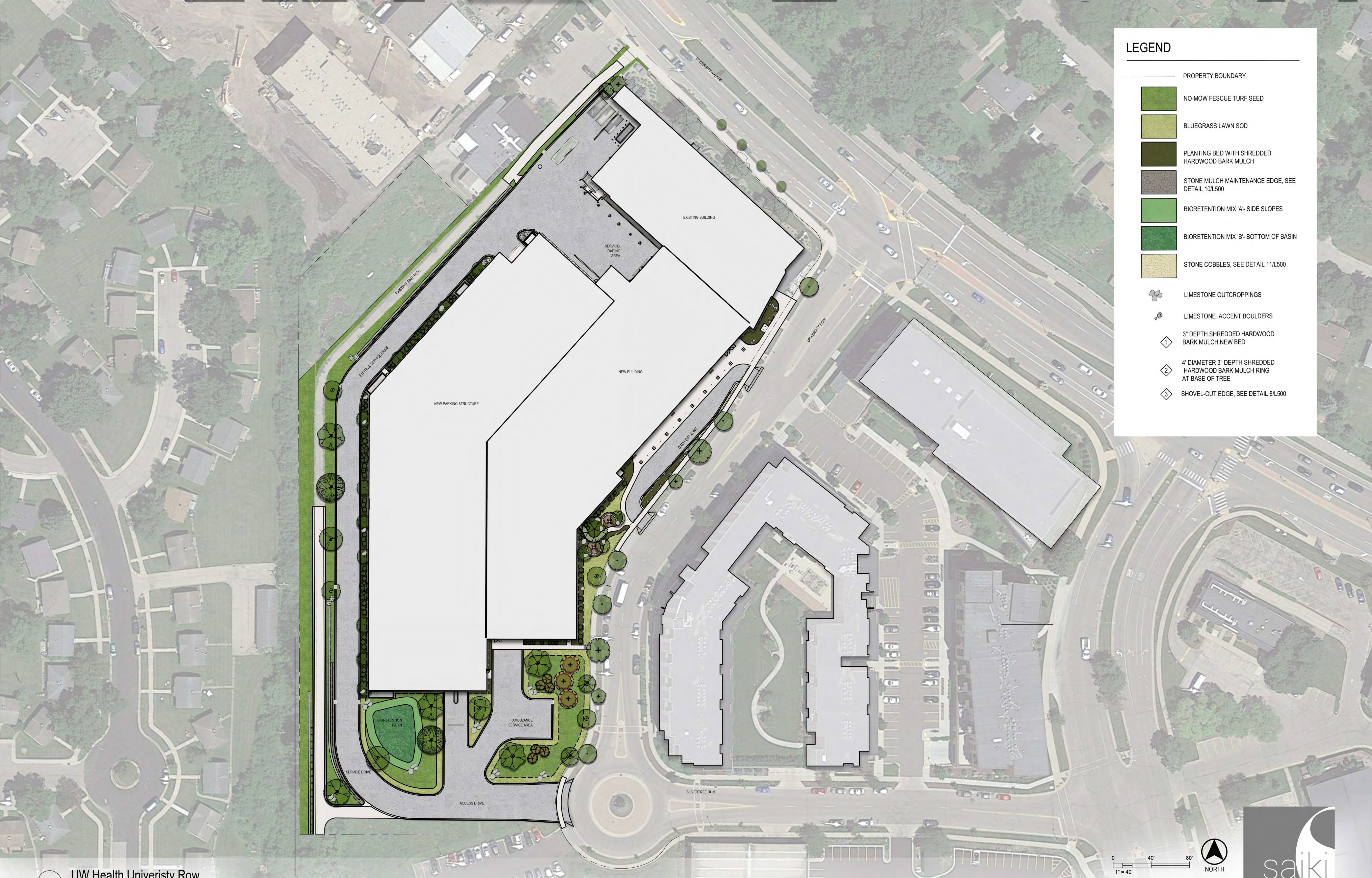
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PROJECT MANAGER	RB
PROJECT NUMBER	422291

CONSTRUCTION DETAILS

C600

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LEGEND

PROPERTY BOUNDARY

NO-MOW FESCUE TURF SEED

BLUEGRASS LAWN SOD

PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH

STONE MULCH MAINTENANCE EDGE, SEE DETAIL 10/L500

BIORETENTION MIX 'A'- SIDE SLOPES

BIORETENTION MIX 'B'- BOTTOM OF BASIN

STONE COBBLES, SEE DETAIL 11/L500

LIMESTONE OUTCROPPINGS

LIMESTONE ACCENT BOULDERS

1

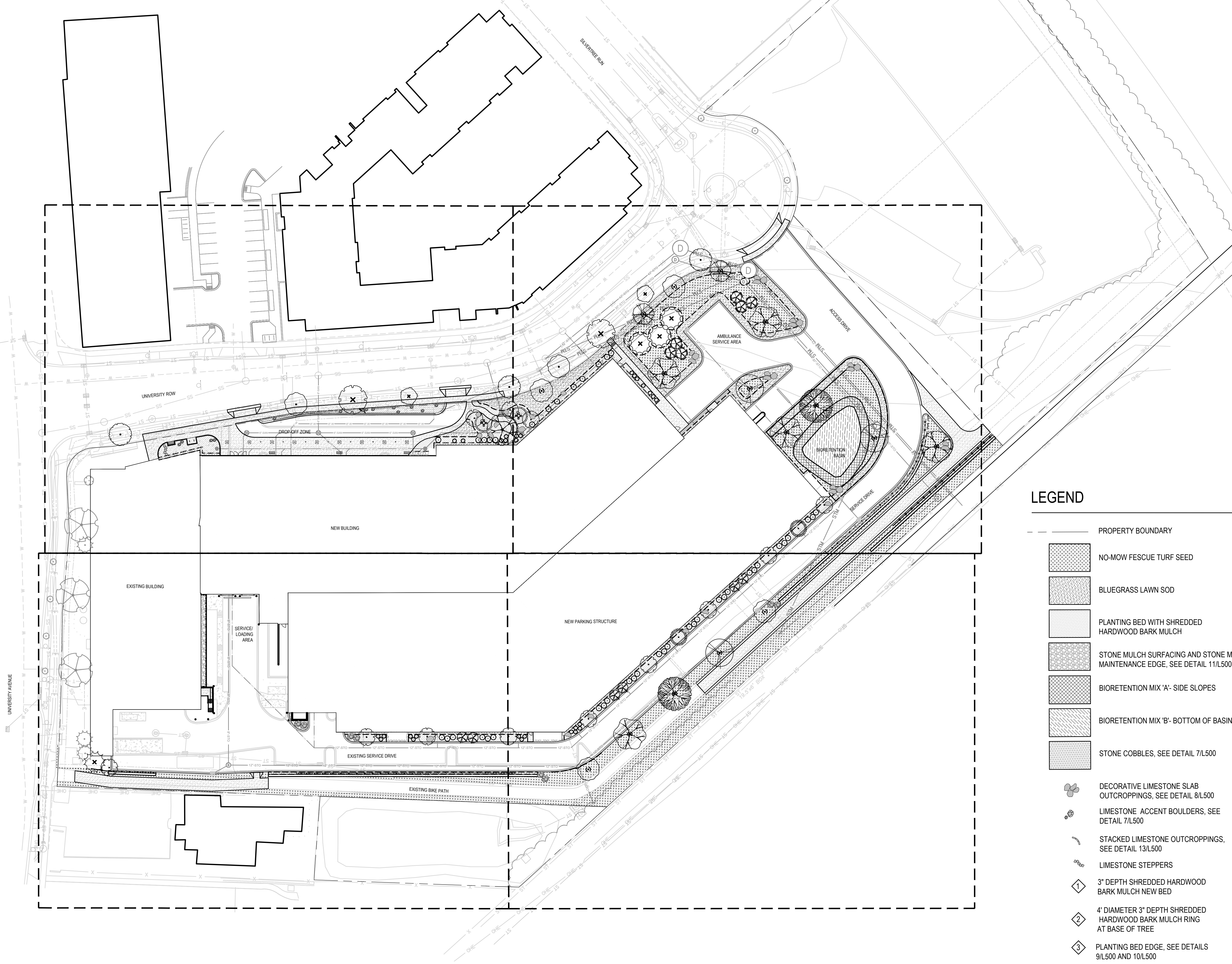
3" DEPTH SHREDDED HARDWOOD BARK MULCH NEW BED

2

4" DIAMETER 3" DEPTH SHREDDED HARDWOOD BARK MULCH RING AT BASE OF TREE

3

SHOVEL-CUT EDGE, SEE DETAIL 8/L500





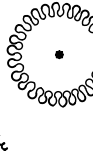



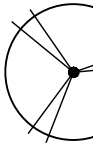

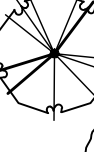















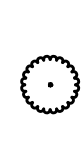






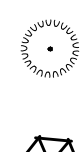




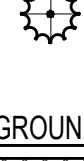
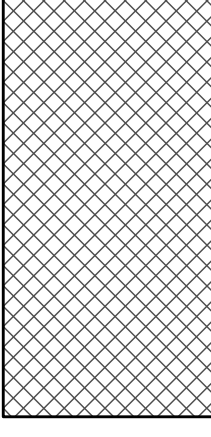
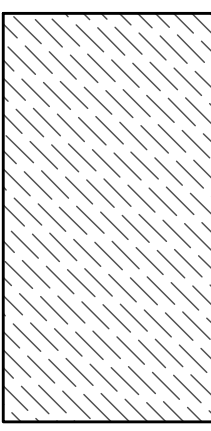


NOTES

- FIELD VERIFY SURVEY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE PROJECT REPRESENTATIVE.
- CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING WORK.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING WORK. ANY DAMAGE CAUSED TO UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- PROTECT ALL BENCHMARKS.
- PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES, AND OTHER IMPROVEMENTS (TO REMAIN) FROM CONSTRUCTION ACTIVITIES. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO EXISTING CONDITIONS AT COMPLETION OF WORK UNLESS SHOWN OTHERWISE ON PLANS.
- PROVIDE INFILTRATION TESTING PRIOR TO PLACEMENT OF ENGINEERED SOIL FOR EACH BIOINFILTRATION AREA.
- VERIFY THAT SPECIFIED TOPSOIL, PLANTING MIXTURE, AND ENGINEERED SOIL DEPTHS ARE PRESENT PRIOR TO PLANTING PER SECTION 32.91.3 "SOIL PREPARATION. NOTIFY PROJECT REPRESENTATIVE OF ANY NON-CONFORMING CONDITIONS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATE SIZE PER CITY OF MADISON STANDARDS.
- ALL EXISTING LAWN AREAS WITHIN AND ADJACENT TO THE PROJECT SITE THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, UTILITY TRENCHING, ACCESS, OR MATERIALS STORAGE SHALL BE REPAIRED WITH SEED PER SECTION 32.92.00, "TURF AND GRASSES".
- THIS PROJECT PROPOSES THE REMOVAL OF SEVEN (7) EXISTING TREES IN THE UNIVERSITY ROW TERRACE. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608)266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR THE FOLLOW TREE REMOVALS DUE TO CRANE/STAGING CONFLICT AND MAJOR STORM UTILITY RELOCATION ALONG THE UNIVERSITY ROW RIGHT-OF-WAY:
 - (1) 5' LINDEN
 - (2) 4' KENTUCKY COFFEETREES
 - (1) 3' GINKGO
 - (1) 4' GINKGO
 - (1) 3' KENTUCKY COFFEETREE
 - (1) 4' HACKBERRYTHE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF THE TREE AND FOR ALL COORDINATION AND PERMITTING WITH CITY FORESTRY STAFF.
- CONTRACTORS SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE(S). CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AN UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATIONS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PWSPCS.CFM](https://www.cityofmadison.com/business/pwspcs.cfm).
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PWSPCS.CFM](https://www.cityofmadison.com/business/pwspcs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE TO HAVE ALL UTILITIES MARKED AND SUBSEQUENTLY CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF 472-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

750 University Row Expansion Madison, WI 05-12-2023 Planned Development (PD) Zoning				
Developed Lots	SF	Acres	Landscape Points Subtotal	
Total Developed Area (Lot - Building Area)	305,262	7.01		
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)			5088	
			5088	
			Landscape Points Required	
Development Frontage - University Avenue		LF	Overstory Trees Required *	Shrubs Required
Total LF of Street Frontage		310	10	52
Between Parking/Building & Street				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0	3	105
Tall Evergreen Tree	35	0	2	70
Ornamental Tree	15	0	5	75
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	0	55	165
Shrub, evergreen	4	0	42	168
Ornamental Grass/Perennial	2	0	0	0
Development Frontage Points Total				683
Development Frontage - University Row				
LF		Overstory Trees Required *		Shrubs Required
Total LF of Street Frontage		27		137
Between Parking/Building & Street				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	14	0	490
Tall Evergreen Tree	35	24	0	840
Ornamental Tree	15	3	0	45
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	43	12	165
Shrub, evergreen	4	26	2	112
Ornamental Grass	2	126	10	272
Development Frontage Points Total				1924
General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Existing Overstory Deciduous Tree (caliper * at DBH)	14	0	0	0
Overstory Deciduous Tree	35	21	0	735
Tall Evergreen Tree	35	67	0	2345
Ornamental Tree	15	0	0	0
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	41	0	123
Shrub, evergreen	4	0	0	0
Ornamental Grass/Perennial	2	0	0	0
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0	0
Foundation Plantings Total				3203
TOTAL LANDSCAPE POINTS				6710

PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	NOTES	QTY	
	JS2	Juniperus chinensis 'Spartan' / Spartan Juniper	8 B & B	6' HT. (MIN.)	Single, straight leader	18	
	PGD	Picea glauca 'Densata' / Black Hills Spruce	8 B & B	6' HT. (MIN.)	Single, straight leader	12	
	PF	Picea pungens 'Fastigata' / Columar Colorado Spruce	8 B & B	4' HT. (MIN.)	Single, straight leader	29	
	PG2	Picea pungens 'Glaucal' / Blue Colorado Spruce	8 B & B	6' HT. (MIN.)	Single, straight leader	4	
	PS2	Picea pungens glauca 'Hoopsi' / Hoopsi Blue Spruce	8 B & B	6' HT. (MIN.)	Single, straight leader	2	
	TO	Thuja occidentalis North Pole / American Arborvitae	8 B & B	5' HT. (MIN.)	Single, straight leader	25	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT	QTY	
	ALC	Amelanchier laevis 'Cumulus' / Cumulus Allegheny Serviceberry	8 B & B	2" Cal	6' H (MIN.)	3	
DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT / NOTES	QTY	
	AFJ	Acer freemanii 'Jeffersred' TM / Autumn Blaze Maple	8 B & B	2.5" Cal	6' H (MIN.)	4	
	AM	Acer miyabei 'Morton' / State Street™ Miyabe Maple	8 B & B	2.5" Cal	6' H (MIN.)	3	
	AA	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	8 B & B	2.5" Cal	6' H (MIN.)	9	
	CJ2	Carpinus caroliniana 'J.N. Strain' / J.N. Strain American Hornbeam	8 B & B	2" Cal	6' H (MIN.)	2	
	CO	Celtis occidentalis / Common Hackberry	8 B & B	2" Cal	Single, Straight Leader, Inspection by City Forestry Required	2	
	GTS	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	8 B & B	2.5" Cal	6' H (MIN.)	2	
	GD2	Gleditsia triacanthos nemis 'Daves' / Street Keeper® Honey Locust	8 B & B	2" Cal	Single, Straight Leader, Inspection by City Forestry Required	3	
	OV	Ostrya virginiana / American Hophornbeam	8 B & B	2" Cal	6' H (MIN.)	4	
	OV2	Ostrya virginiana / American Hophornbeam	8 B & B	2" Cal	Single, Straight Leader, Inspection by City Forestry Required	2	
	TA	Tilia americana 'Kronm' / Sweet Street™ American Linden	8 B & B	2" Cal	Single, Straight Leader, Inspection by City Forestry Required	2	
	UAP	Ulmus americana 'Princeton' / American Elm	8 B & B	2.5" Cal	6' H (MIN.)	2	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	QTY	
	Ab	Aronia melanocarpa 'Iniquis Beauty' TM / Black Chokeberry	3 gal	18" HT (MIN.)	42" o.c.	10	
	Al	Aronia melanocarpa 'UCCONAM185' / Low Scape Mound® Black Chokeberry	3 gal	12" HT (MIN.)	24" o.c.	12	
	Cs	Calycanthus floridus / Sweetshrub	3 gal	18" HT (MIN.)	60" o.c.	5	
	Cac	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	3 gal	18" HT. MIN.	54" o.c.	8	
	Dic	Diervilla lonicera 'Copper' / Copper Low Bush Honeysuckle	3 gal	18" HT (MIN.)	36" o.c.	5	
	Hv	Hamamelis virginiana / Common Witch Hazel	5 gal	4' HT. (MIN.)	144" o.c.	1	
	Hd	Hydrangea arborescens 'Dardoni' / White Dome™ Hydrangea	3 gal	18" HT (MIN.)	48" o.c.	16	
	Iv	Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry	3 gal	18" HT. (MIN.)	72" o.c.	3	
	Ir	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	3 gal	12" HT (MIN.)	48" o.c.	6	
	Rgl	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	12" HT (MIN.)	60" o.c.	18	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	QTY	
	Jc	Juniperus sabina 'Monna' / Calgary Carpet® Juniper	3 gal	6" HT (MIN.)	48" o.c.	7	
	Pc	Pinus mugo 'Compacta' / Dwarf Mugo Pine	5 gal	18" HT (MIN.)	48" o.c.	9	
	Tmt	Taxus x media 'Tauntoni' / Taunton Yew	3 gal	18" HT (MIN.)	60" o.c.	10	
HERBACEOUS PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	QTY	
	baa	Baptisia australis / Blue False Indigo	1 gal	12" HT (MIN.)	33" o.c.	12	
	snc	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	1 gal	12" HT (MIN.)	24" o.c.	8	
ORNAMENTAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	SPACING	QTY	
	bba	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama Grass	1 gal	12" HT (MIN.)	24" o.c.	7	
	co2	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	1 gal	12" HT (MIN.)	24" o.c.	22	
	pnw	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal	18" HT (MIN.)	36" o.c.	21	
	stb	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem	1 gal	12" HT (MIN.)	18" o.c.	33	
	sa	Sesleria autumnalis / Autumn Moor Grass	1 gal	12" HT (MIN.)	18" o.c.	43	
	sht	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal	12" HT (MIN.)	18" o.c.	6	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY		
	Ac	Anemone canadensis / Canadian Anemone	2 1/2" Plug	12" o.c.	150		
	Ae	Aster ericoides / Heath Aster	2 1/2" Plug	12" o.c.	150		
	Cc	Carex comosa / Longhair Sedge	2 1/2" Plug	12" o.c.	150		
	Ep	Echinacea pallida / Pale Purple Coneflower	2 1/2" Plug	12" o.c.	166		
	Ev	Elymus virginicus / Virginia Wild Rye	2 1/2" Plug	12" o.c.	150		
	Ep2	Eupatorium perfoliatum / Common Boneset	2 1/2" Plug	12" o.c.	150		
	Lz2	Liatris spicata / Blazing Star	2 1/2" Plug	12" o.c.	150		
	Pd	Pentstemon digitalis / Beardtongue	2 1/2" Plug	12" o.c.	150		
	Rh	Rudbeckia hirta / Black-eyed Susan	2 1/2" Plug	12" o.c.	150		
	Sh	Sporobolus heterolepis / Prairie Dropseed	2 1/2" Plug	12" o.c.	150		
	Vh	Verbena hastata / Blue Vervain	2 1/2" Plug	12" o.c.	150		
	BIORETENTION MIX 'B' - BOTTOM OF BASIN						
	Al	Asclepias incarnata / Swamp Milkweed	2 1/2" Plug	12" o.c.	213		
	Ch	Carex hystericina / Porcupine Sedge	2 1/2" Plug	12" o.c.	213		
	Cm	Carex muskingumensis / Palm Sedge	2 1/2" Plug	12" o.c.	213		
	Cv	Carex vulpinoidea / Fox Sedge	2 1/2" Plug	12" o.c.	213		
	Ep3	Eupatorium perfoliatum / Common Boneset	2 1/2" Plug	12" o.c.	213		
	Is	Iris virginica shrevei / Shreve's Iris	2 1/2" Plug	12" o.c.	213		
	Ls3	Liatris spicata / Blazing Star	2 1/2" Plug	12" o.c.	213		
	Ls4	Lobelia siphilitica / Great Lobelia	2 1/2" Plug	12" o.c.	213		
Mb	Monarda fistulosa / Bergamot	2 1/2" Plug	12" o.c.	213			
Vh2	Verbena hastata / Blue Vervain	2 1/2" Plug	12" o.c.	213			



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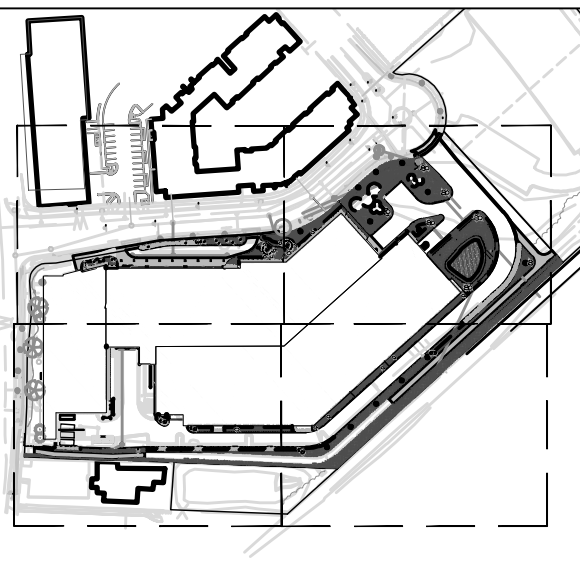
PROJECT INFORMATION
750 UNIVERSITY ROW EXPANSION

750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
05/15/2023	UDC & LAND USE



KEY PLAN



SHEET INFORMATION

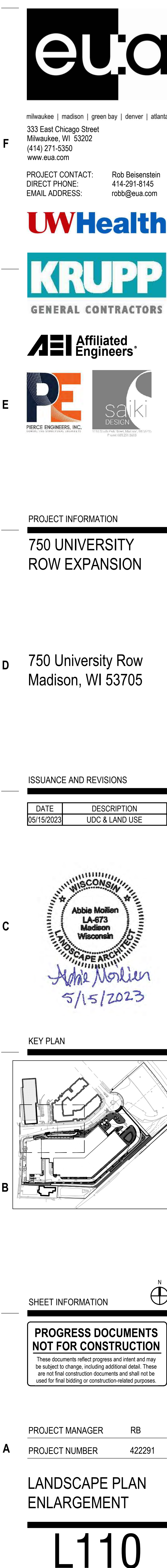
PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

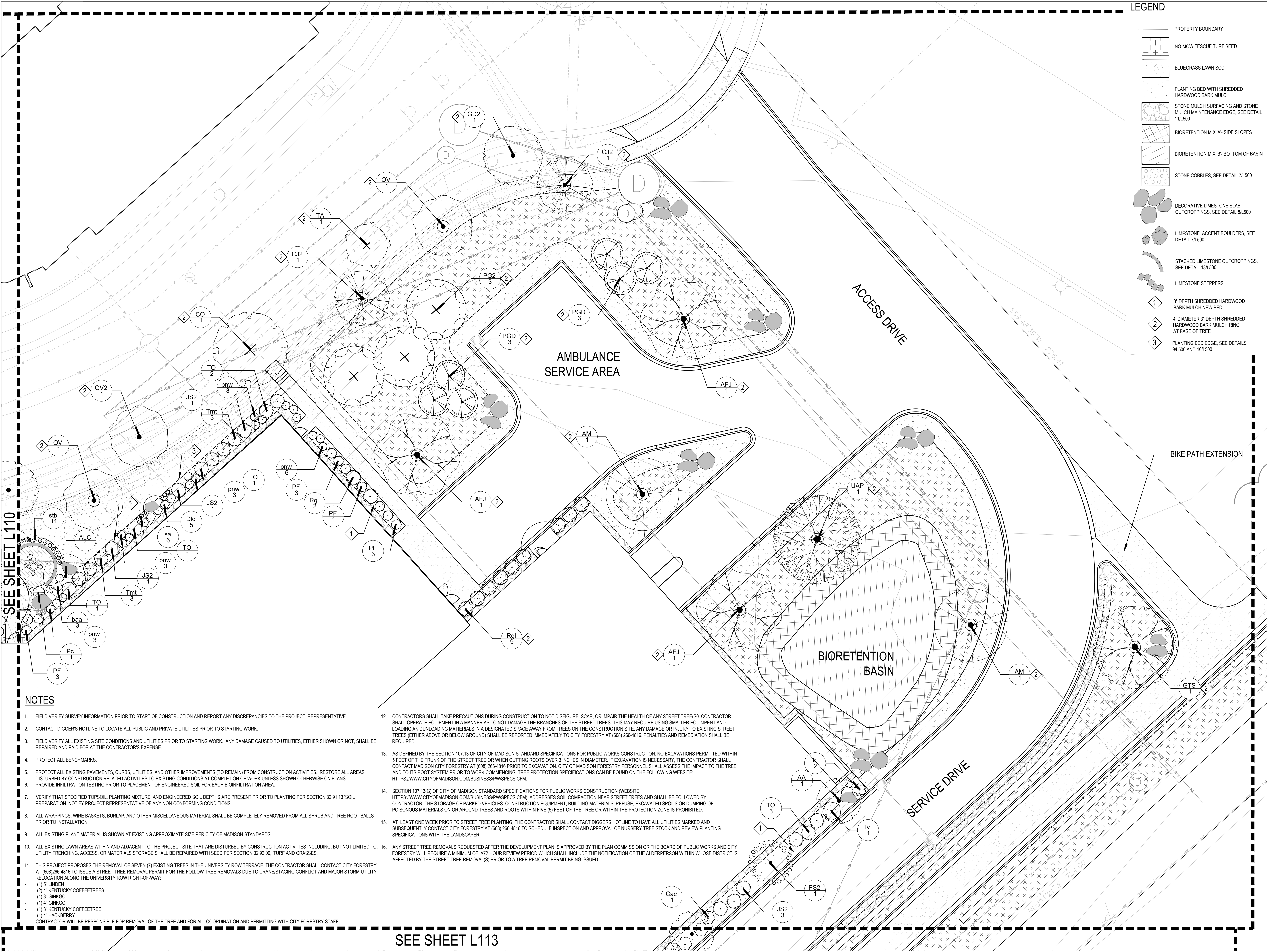
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PROJECT MANAGER RB
PROJECT NUMBER 422291

LANDSCAPE PLAN OVERVIEW

L100





- NOTES**
1. FIELD VERIFY SURVEY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE PROJECT REPRESENTATIVE.
 2. CONTACT DIGGERS HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING WORK.
 3. FIELD VERIFY ALL EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING WORK. ANY DAMAGE CAUSED TO UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
 4. PROTECT ALL BENCHMARKS.
 5. PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES, AND OTHER IMPROVEMENTS (TO REMAIN) FROM CONSTRUCTION ACTIVITIES. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO EXISTING CONDITIONS AT COMPLETION OF WORK UNLESS SHOWN OTHERWISE ON PLANS.
 6. PROVIDE INFILTRATION TESTING PRIOR TO PLACEMENT OF ENGINEERED SOIL FOR EACH BIOINFILTRATION AREA.
 7. VERIFY THAT SPECIFIED TOPSOIL, PLANTING MIXTURE, AND ENGINEERED SOIL DEPTHS ARE PRESENT PRIOR TO PLANTING PER SECTION 32 91 13 'SOIL PREPARATION. NOTIFY PROJECT REPRESENTATIVE OF ANY NON-CONFORMING CONDITIONS.
 8. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
 9. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATE SIZE PER CITY OF MADISON STANDARDS.
 10. ALL EXISTING LAWN AREAS WITHIN AND ADJACENT TO THE PROJECT SITE THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, UTILITY TRENCHING, ACCESS, OR MATERIALS STORAGE SHALL BE REPAIRED WITH SEED PER SECTION 32 92 00, 'TURF AND GRASSES'.
 11. THIS PROJECT PROPOSES THE REMOVAL OF SEVEN (7) EXISTING TREES IN THE UNIVERSITY ROW TERRACE. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608)266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR THE FOLLOW TREE REMOVALS DUE TO CRANE/STAGING CONFLICT AND MAJOR STORM UTILITY RELOCATION ALONG THE UNIVERSITY ROW RIGHT-OF-WAY:
 - (1) 5' LINDEN
 - (2) 4' KENTUCKY COFFEETREES
 - (1) 3' GINKGO
 - (1) 4' GINKGO
 - (1) 3' KENTUCKY COFFEETREE
 - (1) 4' HACKBERRYCONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL OF THE TREE AND FOR ALL COORDINATION AND PERMITTING WITH CITY FORESTRY STAFF.
 12. CONTRACTORS SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE(S). CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AN UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 13. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATIONS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs/cfm).
 14. SECTION 107.13(C) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs/cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 15. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE TO HAVE ALL UTILITIES MARKED AND SUBSEQUENTLY CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
 16. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF 472-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

- LEGEND**
- PROPERTY BOUNDARY
 - NO-MOW FESCUE TURF SEED
 - BLUEGRASS LAWN SOD
 - PLANTING BED WITH SHREDDED HARDWOOD BARK MULCH
 - STONE MULCH SURFACING AND STONE MULCH MAINTENANCE EDGE, SEE DETAIL 11/L500
 - BIORETENTION MIX 'A'- SIDE SLOPES
 - BIORETENTION MIX 'B'- BOTTOM OF BASIN
 - STONE COBBLES, SEE DETAIL 7/L500
 - DECORATIVE LIMESTONE SLAB OUTCROPPINGS, SEE DETAIL 8/L500
 - LIMESTONE ACCENT BOULDERS, SEE DETAIL 7/L500
 - STACKED LIMESTONE OUTCROPPINGS, SEE DETAIL 13/L500
 - LIMESTONE STEPPERS
 - 3" DEPTH SHREDDED HARDWOOD BARK MULCH NEW BED
 - 4' DIAMETER 3" DEPTH SHREDDED HARDWOOD BARK MULCH RING AT BASE OF TREE
 - PLANTING BED EDGE, SEE DETAILS 9/L500 AND 10/L500

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UWHealth
KRUPP
GENERAL CONTRACTORS

AEI Affiliated Engineers
PE saiki
PIERCE ENGINEERS, INC. DESIGN

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

D 750 University Row
Madison, WI 53705

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
05/15/2023	UDC & LAND USE

KEY PLAN

C

B

SHEET INFORMATION

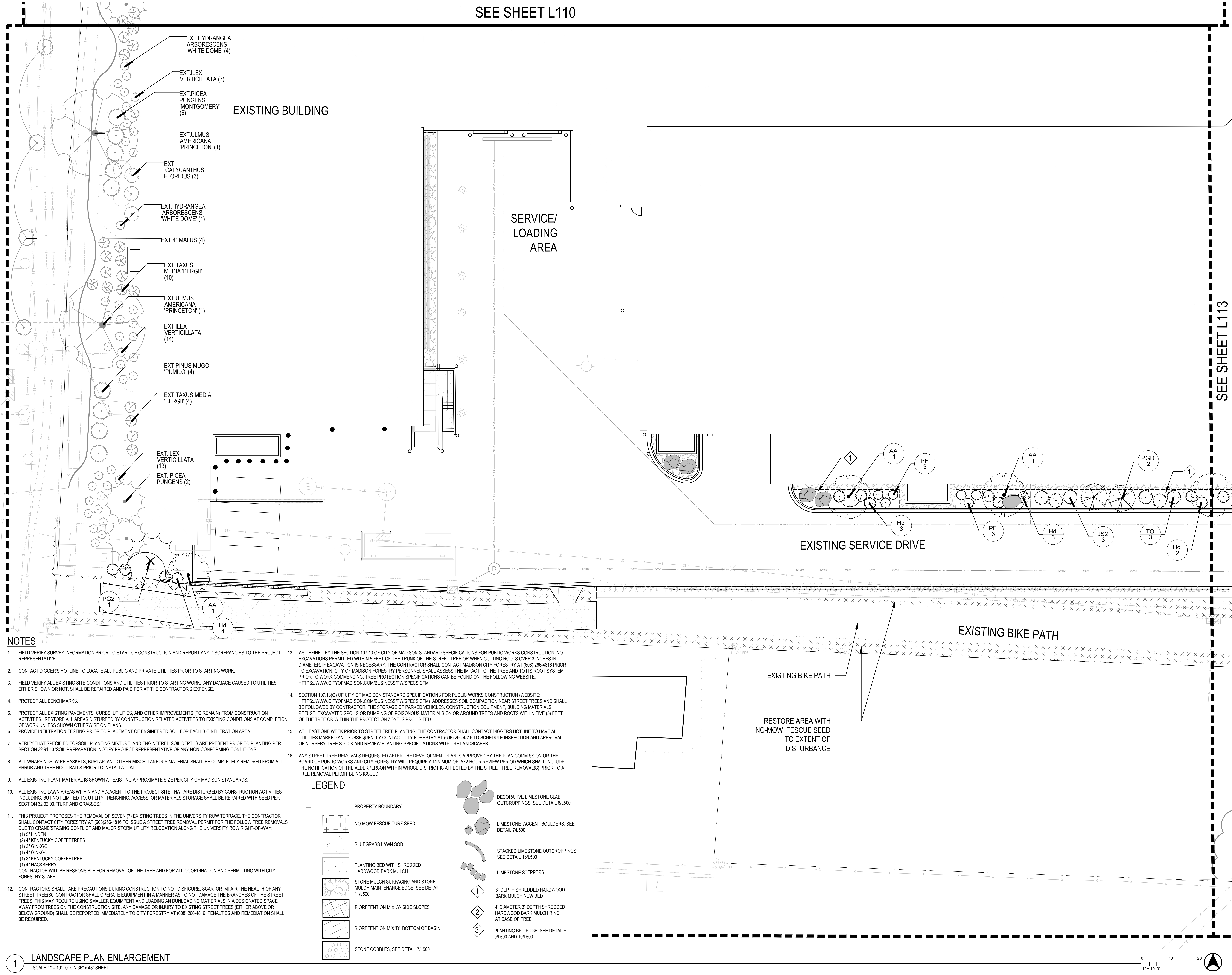
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

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PROJECT MANAGER RB
PROJECT NUMBER 422291

LANDSCAPE PLAN ENLARGEMENT

L111



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UWHealth

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GENERAL CONTRACTORS

AEI Affiliated Engineers

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PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

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ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
05/15/2023	UDC & LAND USE

WISCONSIN

Abbie Moellen
LA-673
Madison
Wisconsin

Abbie Moellen
5/15/2023

KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS
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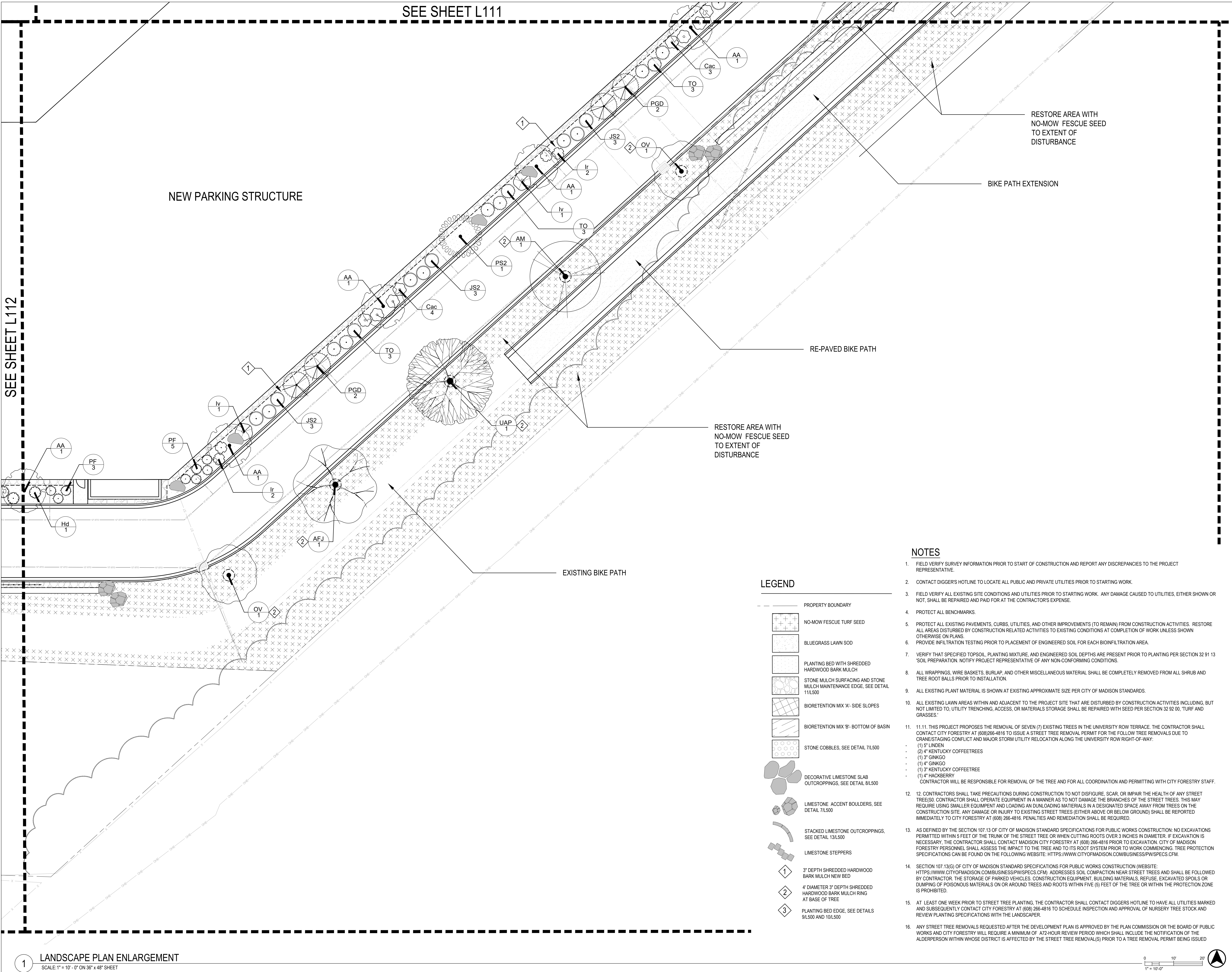
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PROJECT MANAGER RB

PROJECT NUMBER 422291

LANDSCAPE PLAN ENLARGEMENT

L112



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UWHealth

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PENCE ENGINEERS, INC. DESIGN GROUP

PROJECT INFORMATION

750 UNIVERSITY ROW EXPANSION

750 University Row
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ISSUANCE AND REVISIONS

DATE	DESCRIPTION
05/15/2023	UDC & LAND USE

WISCONSIN
Abbie Moellen
LA-673
Madison
Wisconsin
LANDSCAPE ARCHITECT

Abbie Moellen
5/15/2023

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS
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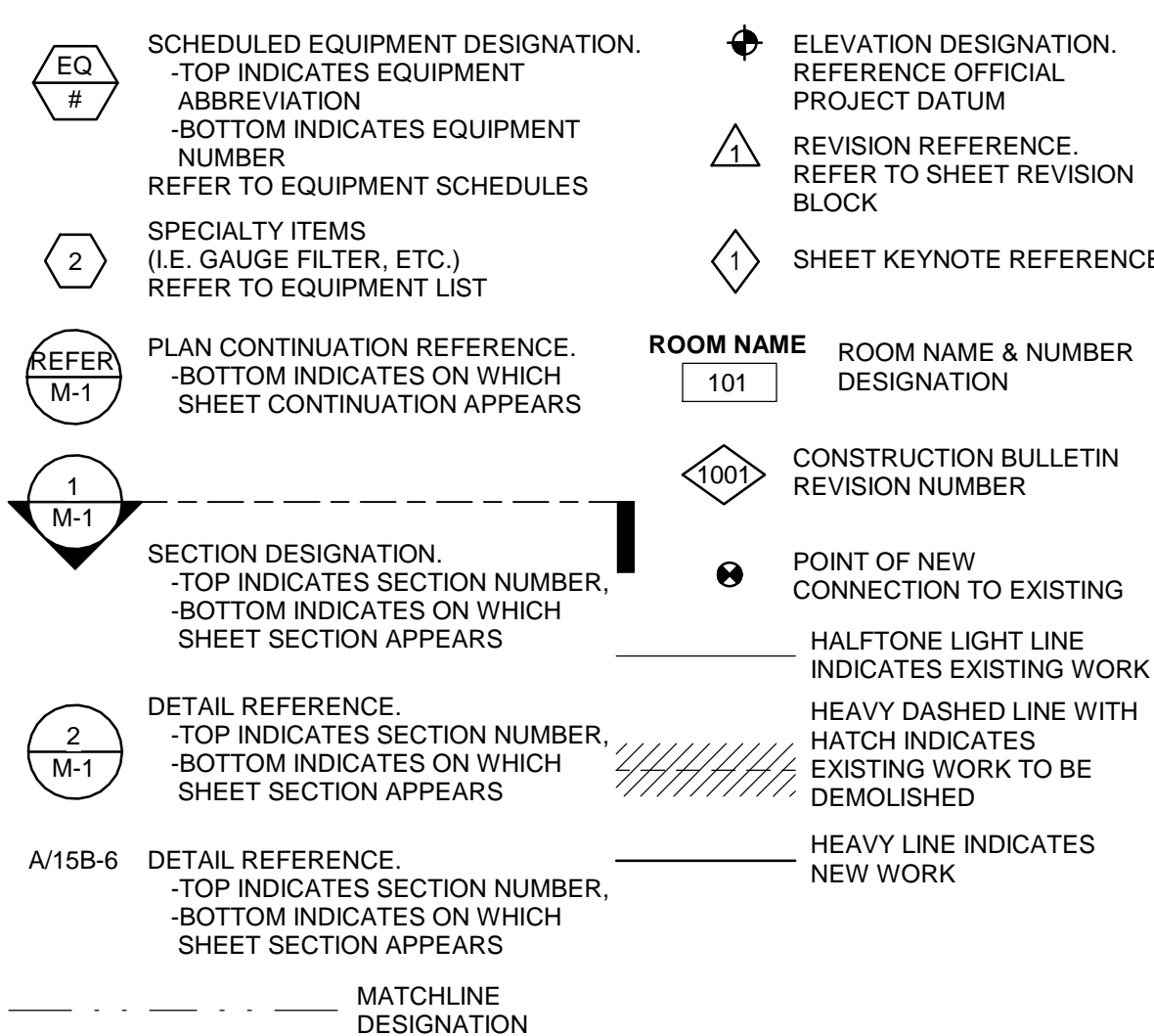
PROJECT MANAGER RB

PROJECT NUMBER 422291

LANDSCAPE PLAN ENLARGEMENT

L113

SHEET SYMBOLS



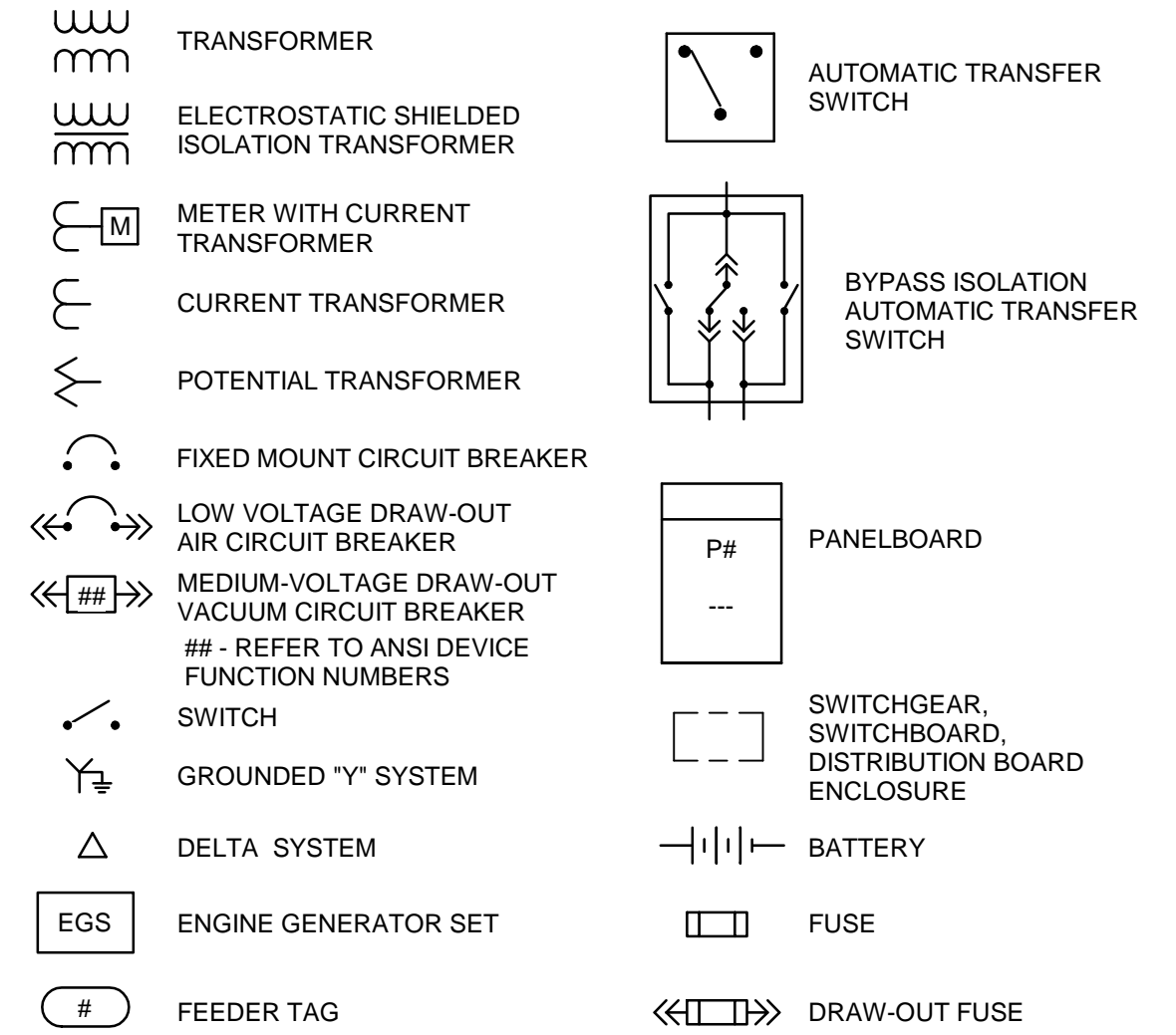
STANDARD MOUNTING REQUIREMENTS

WALL DEVICES	MOUNTING HEIGHT
RECEPTACLE	1'-6"
POWER OUTLET	1'-6"
SURFACE MOUNTED RACEWAY	2" ABOVE COUNTERTOP BACKSPASH OR ABOVE CASEWORK - FIELD VERIFY
PUSHBUTTONS	3'-6"
FIRE ALARM PULL STATIONS	4'-0"
FIREMAN'S PHONE	4'-6"
FIRE ALARM NOTIFICATION DEVICES	80" AFF TO BOTTOM OF FACEPLATE OR 6" FROM TOP OF FACEPLATE TO CEILING, WHICHEVER IS LOWER
LIGHTING CONTROL STATIONS	3'-6"
LIGHTING CONTROL SENSORS	8'-0"
DISCONNECT SWITCHES	MIN. 3'-6" - MAX. 6'-6"
PANELS/CABINETS	TOP BREAKER HATCH, MAX 6'-6"
ENCLOSED CIRCUIT BREAKERS	MIN. 3'-6" - MAX. 6'-6"

NOTES:

1. ALL DIMENSIONS FOR WALL MOUNTED DEVICES ARE CENTERLINE MEASURED FROM FINISHED FLOOR UNLESS OTHERWISE NOTED.
 2. ALL MOUNTING HEIGHTS SHALL BE CONFIRMED WITH ARCHITECTURAL DRAWINGS AND REQUIREMENTS. IN CASE OF CONFLICT - ARCHITECTURAL INFORMATION SHALL BE FOLLOWED.
 3. REFER TO ARCHITECTURAL RCPS FOR CEILING HEIGHTS.
- CEILING MOUNTED DEVICES:**
1. ALL CEILING MOUNTED DEVICES ON ACOUSTICAL CEILING TILE SHALL BE CENTERED ON TILE UNLESS OTHERWISE NOTED.
2. ALL CEILING MOUNTED DEVICES IN HARD LID CEILING SHALL BE CENTER ALIGNED WITH OTHER NEARBY CEILING EQUIPMENT UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL RCPS FOR CEILING HEIGHTS.

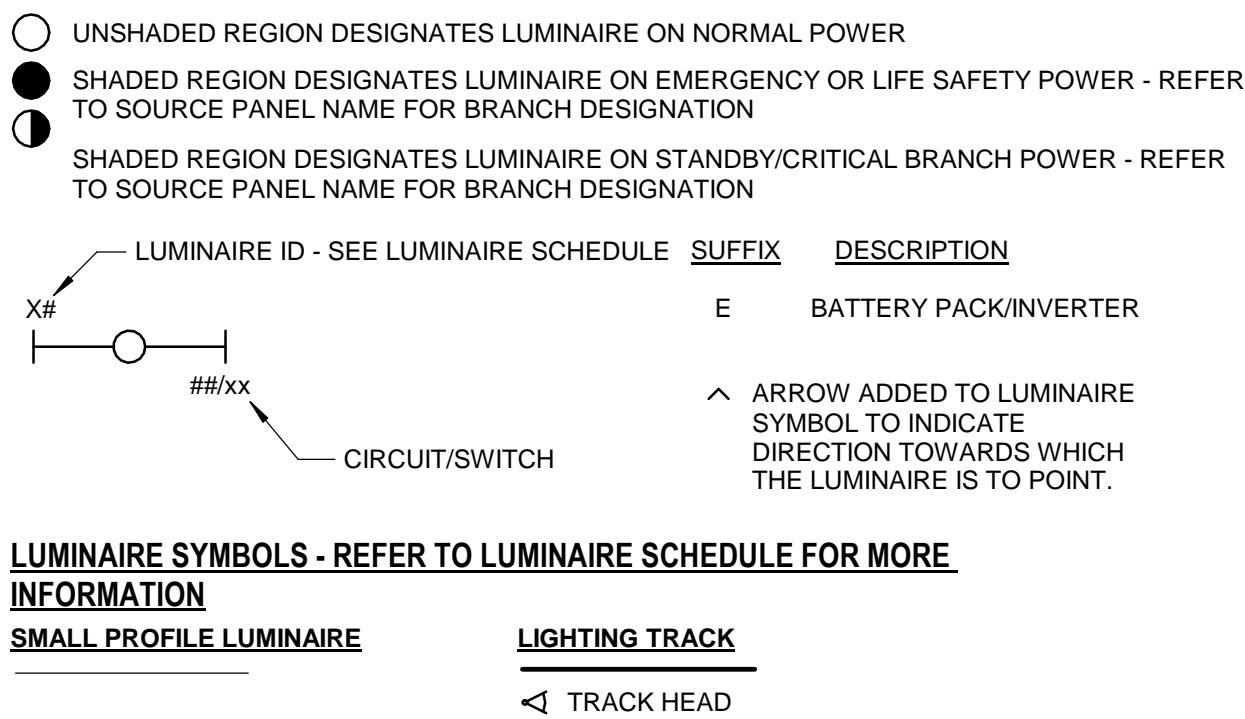
ONE LINE DIAGRAM



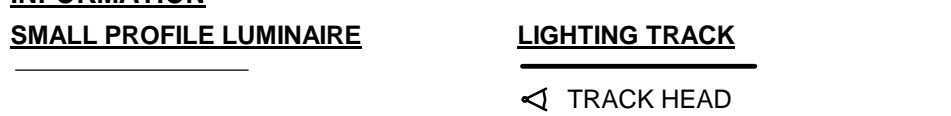
ANSI DEVICE FUNCTION NUMBERS

25 = SYNC CHECK	51N = NEUTRAL TIME OVERCURRENT
26 = LIQUID THERMAL RELAY	51G = GROUND TIME OVERCURRENT
27 = UNDERVOLTAGE	52 = CIRCUIT BREAKER
32 = REVERSE POWER	58 = OVERVOLTAGE
37 = PHASE SEQUENCE	63 = SUDDEN PRESSURE RELAY
49 = WINDING THERMAL RELAY	71 = LIQUID LEVEL RELAY
50 = INSTANTANEOUS OVERCURRENT	80 = UNDER-FREQUENCY
50N = NEUTRAL INSTANTANEOUS OVERCURRENT	810 = OVER-FREQUENCY
50G = GROUND INSTANTANEOUS OVERCURRENT	83 = CONTROL POWER AUTO-TRANSFER
51 = TIME OVERCURRENT	86 = LOCKOUT RELAY
	87 = DIFFERENTIAL

LIGHTING

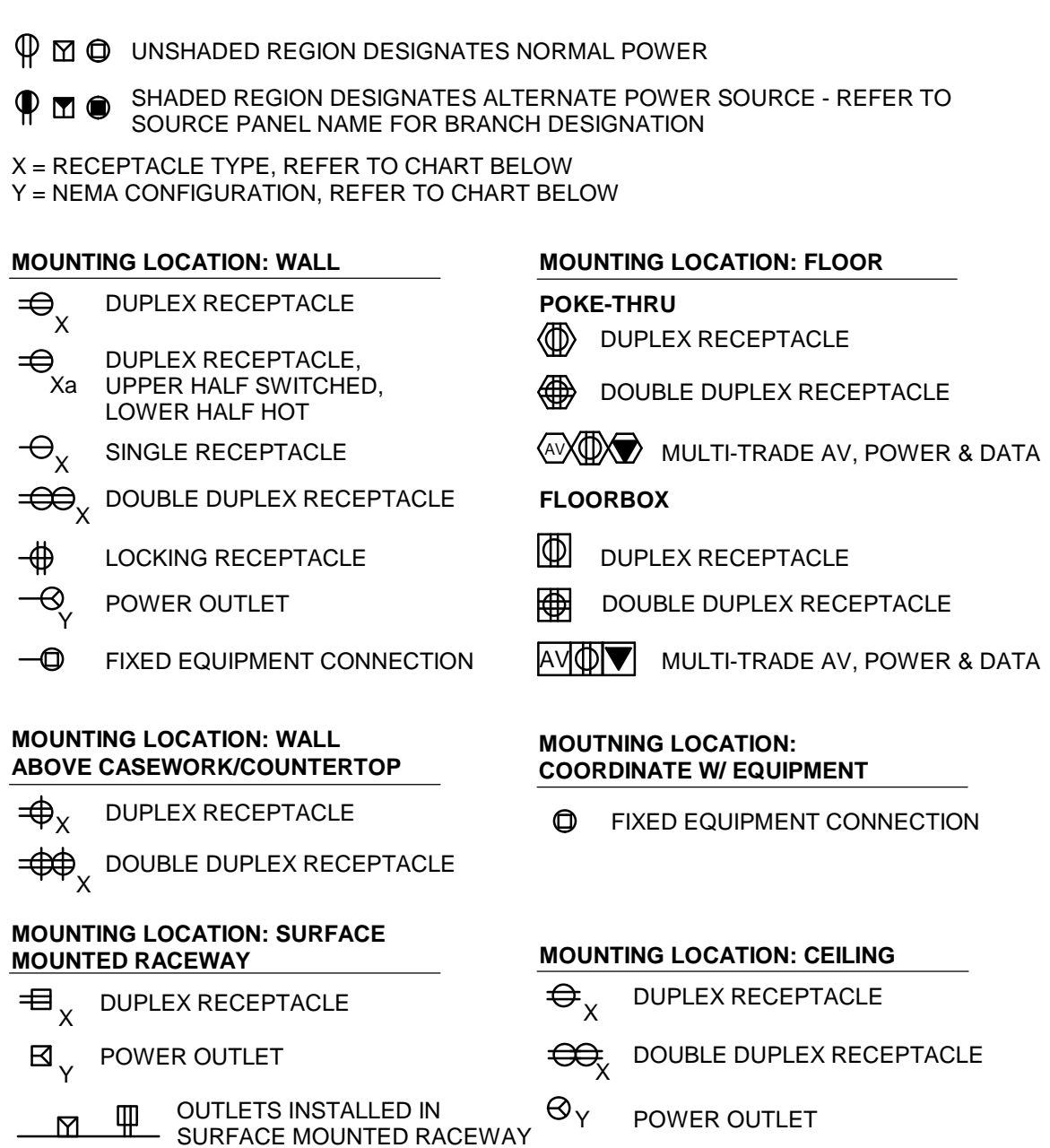


LUMINAIRE SYMBOLS - REFER TO LUMINAIRE SCHEDULE FOR MORE INFORMATION

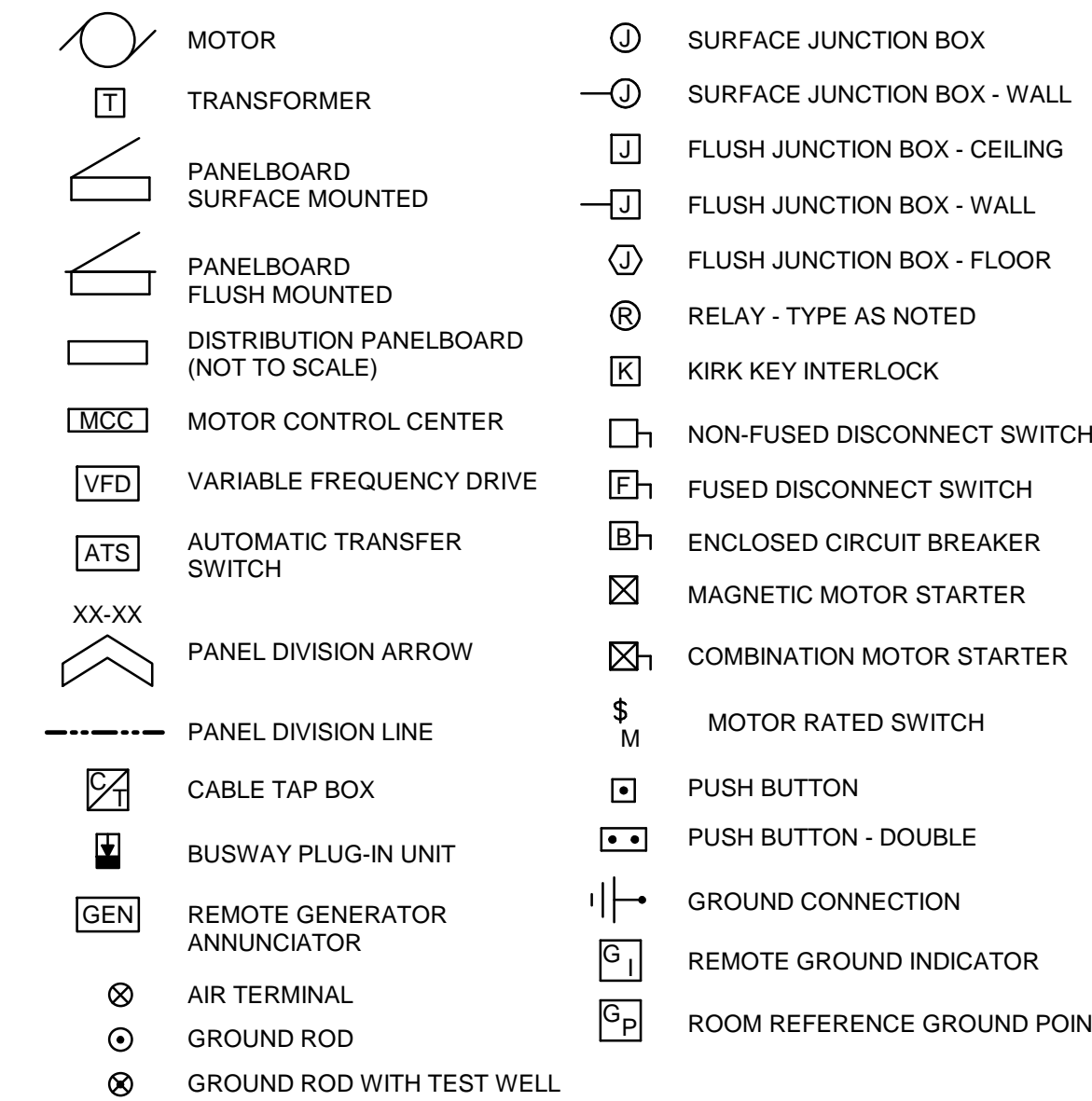


ELECTRICAL SYMBOLS AND ABBREVIATIONS

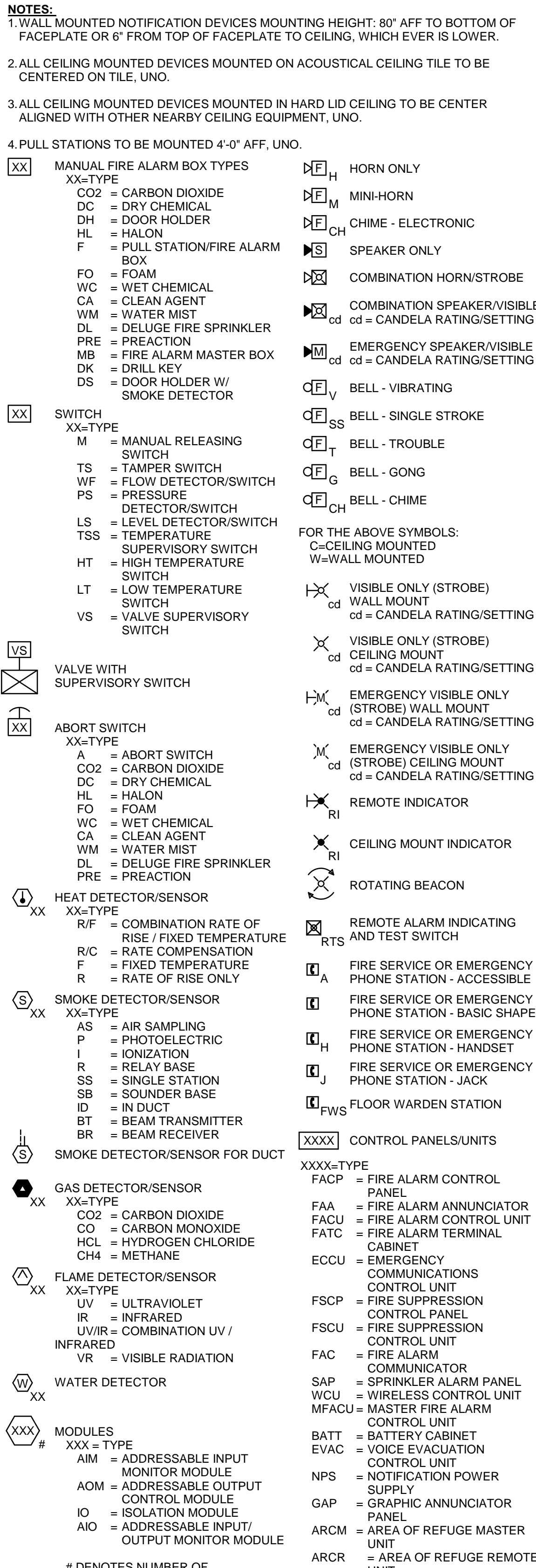
RECEPTACLES



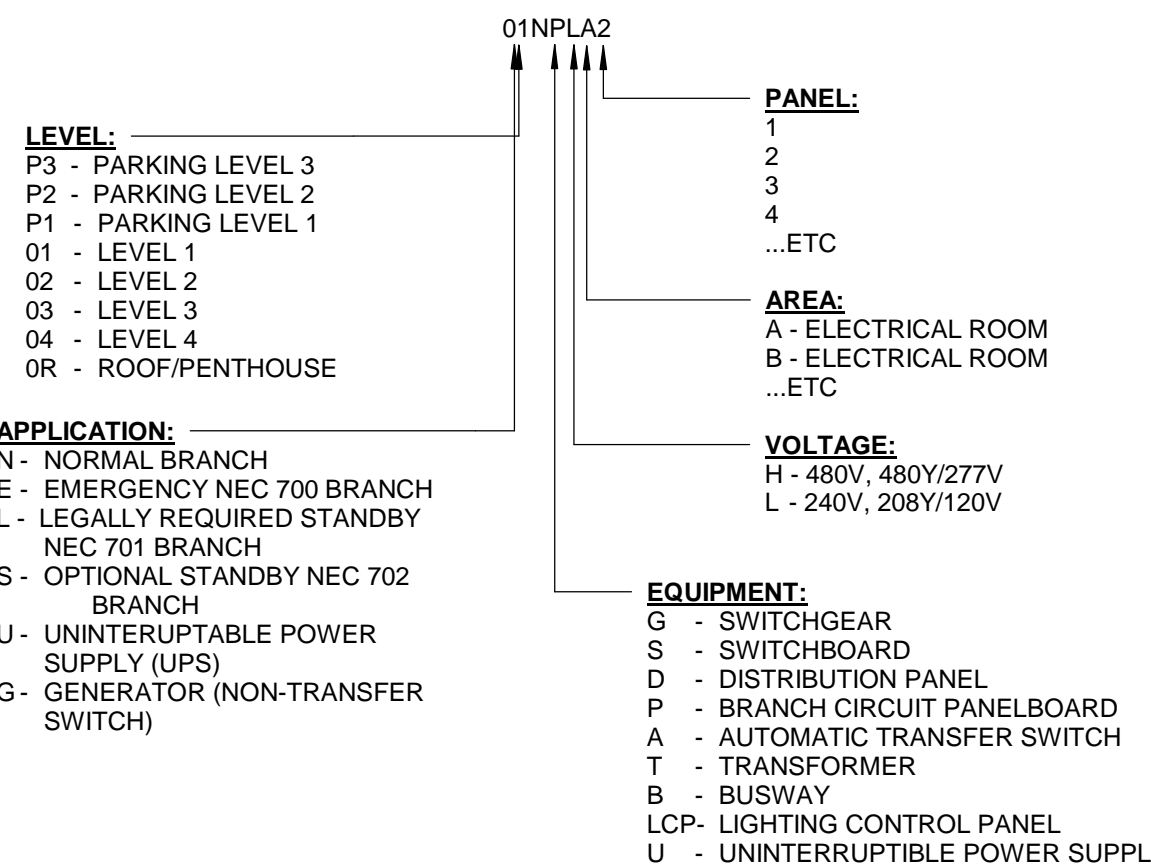
EQUIPMENT AND WIRING



FIRE ALARM



ELECTRICAL EQUIPMENT DESIGNATION CODE

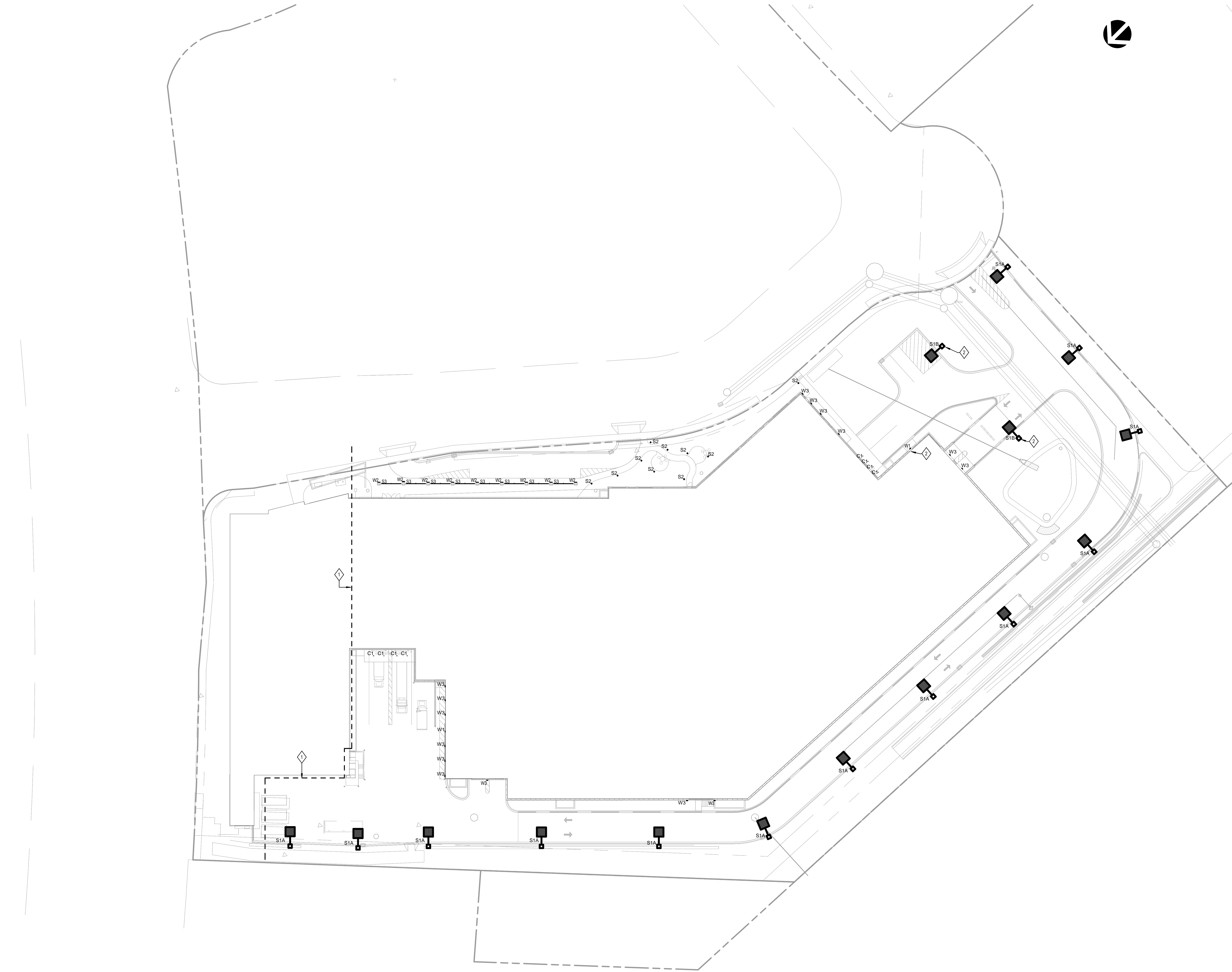


DAYLIGHT ZONES



LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	SOURCE TYPE	BALLAST/DRIVER - TYPE	WATTS	VOLT.	MOUNTING	NOTES	LOCATION	BUG RATING
C1	PORTFOLIO	LD4C-25-935-D010-PD-M-1-H-H-GSKT4P66	90 CRI 2500 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	33 W	UNV	CEILING	FOUR INCH ROUND DOWNLIGHT WITH WET LOCATION LISTING. SEMI-SPECULAR REFLECTOR. SELF TRIM FLANGE. INSTALL WITH ENOUGH POWER LEAD TO BE ABLE TO CHANGE DRIVER FROM BELOW THE CEILING. DRIVER SHALL HAVE QUICK DISCONNECTS FOR EASE OF INSTALLATION AND MAINTENANCE.	LOADING DOCK CANOPY	B1-U0-G0
S1A	MCGRAW-EDISON	TLM-E03-LED-E06-SL3-BK-8030-DM-HSS + 25' TALL BLACK POLE	80 CRI 9100 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	75 W	UNV	ARM MOUNT 25-FOOT POLE	LED ARM MOUNT AREA LIGHT WITH TYPE II DISTRIBUTION. LUMINAIRE SHALL HAVE LIGHT SPILL REDUCTION OPTICS AND A HOUSE SIDE SHIELD. PROVIDE MANUFACTURER RECOMMENDED 25-FOOT TALL POLE.	SITE ROADWAYS	B2-U0-G2
S1B	MCGRAW-EDISON	TLM-E03-LED-E06-SL4-BK-8030-DM-HSS + 25' TALL BLACK POLE	80 CRI 17,500 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	149 W	UNV	ARM MOUNT 25-FOOT POLE	LED ARM MOUNT AREA LIGHT WITH TYPE IV DISTRIBUTION. LUMINAIRE SHALL HAVE LIGHT SPILL REDUCTION OPTICS AND A HOUSE SIDE SHIELD. PROVIDE MANUFACTURER RECOMMENDED 25-FOOT TALL POLE.	AMBULANCE PARKING	B3-U0-G3
S2	HYDREL	3120C-H42-8C08-MVOLT-SYMA-DM-BL-BLPL	80 CRI 1800 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	84 W	UNV	CONCRETE BASE	LED TYPE V BOLLARD WITH SYMMETRIC DISTRIBUTION AND PAINTED LOUVERS.	SITE PATHWAYS	B1-U2-G1
S3	ALIGHT	D6-16" L5-30 UHE-8-D-Q	80 CRI 1800 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	4.8 WFT	UNV	WALL MOUNT	LED RECESSED LINEAR FOR WET LOCATION.	MAIN ENTRY CANOPY	B1-U0-G1
W1	MCGRAW-EDISON	TLM-E03-LED-E06-SL4-BK-8030-WM-DM-HSS	80 CRI 17,500 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	149 W	UNV	WALL ARM MOUNTED	LED ARM MOUNT AREA LIGHT WITH TYPE IV DISTRIBUTION. LUMINAIRE SHALL HAVE LIGHT SPILL REDUCTION OPTICS AND A HOUSE SIDE SHIELD. PROVIDE WITH WALL ARM MOUNT INSTALLATION.	AMBULANCE PARKING LOADING DOCK AREA	B3-U0-G3
W2	ALIGHT	D4-2" L5-30 U-N-R-O-D-Q	80 CRI 1800 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	5 WFT	UNV	WALL MOUNT	LED WALL MOUNTED UPLIGHT TO LIGHT MAIN ENTRY CANOPY. FIXTURES ARE LOCATED TO ENSURE GREATER THAN 90% OF UPLIGHT IS BLOCKED BY CANOPY STRUCTURE. FIXTURE SHALL BE WET LOCATION LISTED SUITABLE FOR USE UNDER AN EXTERIOR CANOPY.	MAIN ENTRY CANOPY	B0-U5-G0
W3	BEGA	33529 + K3	80 CRI 1800 LUMENS NOMINAL 3000K LED	0-10V DIMMING INTEGRAL DRIVER MIN 1%	8W	UNV	WALL MOUNT	LED WALL PACK.	VARIABLE	N/A



1 ELECTRICAL SITE LIGHTING PLAN
SCALE: 1" = 30'-0"

GENERAL NOTES

1. REFER TO SHEET E001 FOR SYMBOLS AND ABBREVIATIONS AND ADDITIONAL GENERAL NOTES.
2. REFER TO ARCHITECTURAL ELEVATIONS, FLOOR PLANS, AND CIVIL/LANDSCAPE DRAWINGS FOR EXACT DEVICE LOCATIONS AND ORIENTATION. ELECTRICAL DRAWINGS INDICATE DEVICE QUANTITIES AND RELATIVE LOCATION, BUT EXACT LOCATION AND ELEVATION SHALL BE PER ARCHITECTURAL DRAWINGS. IN THE ABSENCE OF AN ARCHITECTURAL ELEVATION, ELECTRICAL DRAWINGS SHALL TAKE PRECEDENCE.
3. ALL BRANCH CIRCUIT WIRING FOR SITE LIGHTING SHALL BE #8 IN 1" CONDUIT MINIMUM UNLESS OTHERWISE NOTED. BURIAL DEPTH OF CONDUITS UNDER PAVEMENT SHALL BE 24" BELOW GRADE MINIMUM. BURIAL DEPTH OF CONDUITS IN GRASS AREA SHALL BE 18" BELOW GRADE MINIMUM. COORDINATE ROUTING WITH CIVIL AND LANDSCAPE PLANS.
4. POLE BASES SHALL BE 3- FEET FROM EDGE OF SIDEWALK TO NEAREST EDGE OF POLE BASE WHERE POSSIBLE.
5. LIGHTING SHOWN ON THIS DRAWING IS TO THE BEST UNDERSTANDING OF THE PROJECT TO DATE. EXACT LOCATIONS MAY SHIFT A FEW FEET IN EITHER DIRECTION AS DESIGN PROGRESSES.
6. ALL SITE LIGHTING SHALL BE CONTROLLED THROUGH BUILDING LIGHTING CONTROL SYSTEM. THE SYSTEM SHALL TURN SITE LIGHTING ON VIA EXTERIOR MOUNTED PHOTOCELL AND SHALL BE CONTROLLED OFF VIA PROGRAMMING AND/OR PHOTOCELL.

KEY NOTES

1. LIGHTING BEYOND DASHED LINE IS NOT IN SCOPE. EXISTING LIGHTING TO REMAIN IN AREAS BEYOND DASHED LINE.
2. LUMINAIRE AT THIS LOCATION SHALL BE TIED TO A LOW-VOLTAGE DIMMER INSIDE AMBULANCE DROP-OFF VESTIBULE. LIGHTS SHALL BE PROGRAMMED ON TO 50% OF MAXIMUM OUTPUT DURING AN EVENT REQUIRING EMERGENCY AMBULANCE PICK-UP/DROP-OFF. LOCAL OVER-RIDE SWITCH SHALL BRING LIGHTS ON TO 100% FOR A PERIOD OF 1-HOUR. AFTER 1-HOUR, LIGHTING SHALL REVERT BACK TO PROGRAMMED STATE.



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F

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E

PROJECT INFORMATION

750 UNIVERSITY
ROW EXPANSION

D

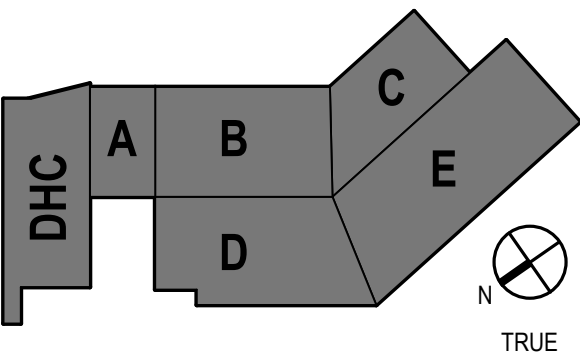
750 University Row
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
09/15/2023	LUDC & LAND USE

C

KEY PLAN



B

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER

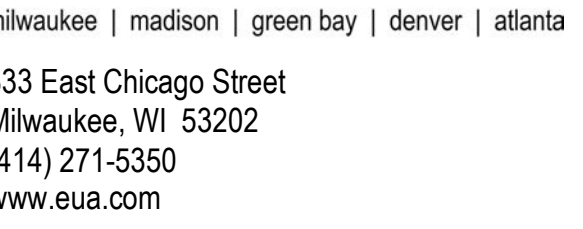
A

PROJECT NUMBER 422291-02

ELECTRICAL SITE
LIGHTING PLAN

EL050

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UWHealth
KRUPP
GENERAL CONTRACTORS



PERCE ENGINEERS, INC.
REGISTERED STRUCTURAL ENGINEERS

750 UNIVERSITY ROW EXPANSION

DATE	DESCRIPTION
06/15/2023	UDC & LAND USE

KEY PLAN

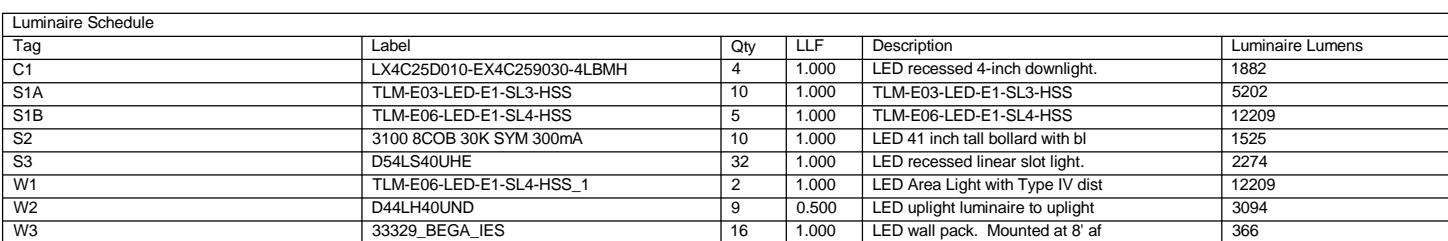
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A PROJECT NUMBER 422291-02

ELC050

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1 ELECTRICAL SITE LIGHTING CALCULATIONS

TYPE W.

TYPE C:

TYPE C1

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UWHealth

KRUPP

GENERAL CONTRACTORS

AEI Affiliated Engineers[®]

E **PE**
PERCE ENGINEERS, INC.

TYPE WA

TYPE C:

PROJECT INFORMATION

D

750 UNIVERSITY ROW EXPANSION

D

750 University Row
Madison, WI 53703

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
09/15/2023	LDC & LAND USE

C

TYPE C:

	KEY PLAN
B	SHEET INFORMATION
	<div><div>PROGRESS DOCUMENTS NOT FOR CONSTRUCTION</div><div>These documents reflect progress and intent and may be subject to change, including additional detail. There are not final construction documents and shall not be used for final bidding or construction-related purposes.</div></div>
A	PROJECT MANAGER
	PROJECT NUMBER 422291-02
	SITE LIGHTING FIXTURE CUT SHEETS
	EI 052