# MANSFIELD HALL

## 233 LANGDON STREET MADISON, WI

#### **PROJECT DATA**

LOCATION: 233 LANGDON ST MADISON, WI REGULATING MUNICIPALITIES:

CITY OF MADISON

STATE OF WISCONSIN

**BUILDING CODE:** MADISON DEVELOPMENT PLAN CITY OF MADISON ZONING ORDINANCES DANE COUNTY ZONING ORDINANCES WISCONSIN ADMINISTRATIVE CODE 2015 INTERNATIONAL BUILDING CODE

ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION: EXISTING BUILDING REMODEL CONSISTING OF: 3 STORIES OF R-2 OCCUPANCY AND OFFICES

OCCUPANCY TYPE: PRIMARY: R-4 SECONDARY: B/ BUSINESS

**CONSTRUCTION TYPE** 

ALLOWABLE BUILDING AREA & HEIGHT: EXISTING TO REMAIN

**ACTUAL BUILDING AREA & HEIGHT:** HEIGHT ABOVE GRADE PLANE = 50 FEET = 3 STORIES STORIES ABOVE GRADE PLANE FIRST FLOOR AREA = 3,670 SF SECOND FLOOR AREA = 3,300 SF THIRD FLOOR AREA = 3,300 SF BASEMENT AREA = 3,250 SF =13,520 SF AREA AND LEVEL OF ALTERATION: = 11,881 SF AREA OF ALTERATION

= 88 %

= LEVEL 3

= 44 OCC

LEVEL OF ALTERATION NUMBER OF OCCUPANTS (TABLE 1004.1.2): R-4 OCCUPANCY / SECOND AND THIRD FLOOR

PERCENTAGE OF TOTAL BUILDING AREA

= 8,701 SF/ 200 GROSS B OCCUPANCY/ FIRST FLOOR AND BASEMENT =4819 SF/ 100 GROSS

= 49 OCC **TOTAL OCCUPANTS** = 93 OCC

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		SPACE		[ W	ATER CLO	SETS		LAVATORE	ES .	BATHTUB/	DRINKING	SERVICE
CLASSIFICATION	OCCUPANCY	DESCRIPTION	LOAD	MALE	FEMALE	PER	MALE	FEMALE	PER	SHOWER	FOUNTAINS	SINK
BUSINESS	8	Buildings for the transaction of business, professional services involving merchandise, office buildings, hanks, light industrial and similar uses	49	0.98	9.98	-	0.61	0.61	•		0.49	SEE TABL 483.1
SEDENTIAL	R-4	Congregate irving facilities with 36 or fower persons	44	2.ZD	2.2D	·	7.20	2.29		5. SD	D.04	1
		SUBTOTALS	_	3.18	3.18	0.00	2.81	1.83	0.00	5.50	0.54	1.
		HEQUIRED TOTALS				D		2000	URA <b>B</b> 416	SPANIS CONTRACT		2005000

ALL FIXTURES TO COMPLY WITH ICC A117.1

FIRE CONTROL: FULLY SPRINKLERED BUILDING: NFPA 13 PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1) HAZARD TYPE

MAXIMUM AREA = 10 SF PER "A" MAXIMUM DISTANCE (TYPE A) = 125 FEET EXTINGUISHER RATING = 2-A NUMBER REQUIRED AT ABOVE RATING

EXIT(S) REQUIRED TO MEET EXITING DISTANCES = 2 EXIT(S) PROVIDED TO MEET DISTANCES

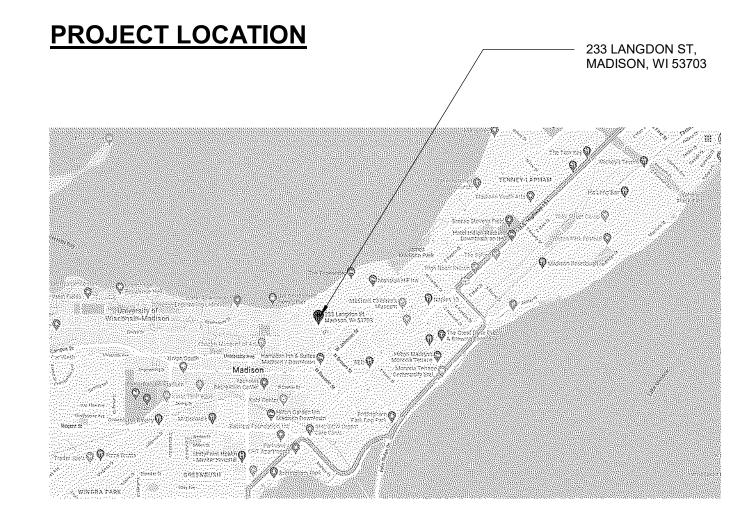
PER IBC SECTION 1009 THE EXCEPTION OF MIN 60% OF PUBLIC EXTERIOR DOORS TO BE ON ACCESSIBLE ROUTE IS NOT REQUIRED AS THIS IS AN EXISTING BUILDING AND ALL EXITS HAVE BEEN MAINTAINED PER ORGINAL BUILDING DESIGN

ACCESSIBILITY: FOLLOW IBC 2015 AND ANSI 117.1 (2009)

#### **PROJECT GENERAL NOTES:**

- 1. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- 2. DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- 3. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- 4. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- 5. JOB SITE SHALL BE BROOM SWEPT AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- 6. MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- 7. ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- 8. HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- 9. WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH
- 10. ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- 11. PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED
- 12. PROVIDE FIRE BLOCKING AND DRAFTSTOPPING THROUGHOUT BUILDING PER IBC CHAPTER 7.
- 13. SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND
- 14. IN SOME CASES THE SELECTION OF SPECIFIC ACCESSORIES HARDWARE, MATERIALS OR FINISHES MAY NOT BE AVAILABLE AT ISSUANCE OF THESE DRAWINGS. THESE INSTANCES ARE INDICATED WITH "TBD", OR "TO BE DETERMINED". IN THESE SITUATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE ALLOWANCES TO COVER THE MATERIAL AND INSTALLATION FOR THAT ELEMENT, BASED ON THE BEST INFORMATION PROVIDED. IF NO INFORMATION IS PROVIDED. ASSUME A MID-RANGE PRODUCT COST TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL CLEARLY STATE IN THEIR BID PROPOSAL WHAT THE ALLOWANCE VALUE AND UNIT PRICE IS, LISTED SEPARATELY FOR EACH ITEM.
- 15. IF THE CONTRACTOR ELECTS TO NOT PROVIDE A PRICE FOR ANY ELEMENT CONTAINED IN THESE DOCUMENTS, FOR WHATEVER REASON, THE CONTRACTOR SHALL CLEARLY INDICATE THIS EXCLUSION IN THEIR BID PROPOSAL. IF NO EXCLUSION IS MADE, IT IS THE CONTRACTUAL OBLIGATION OF THE CONTRACTOR TO PROVIDE THE ELEMENT IN ACCORDANCE WITH THE GENERAL INTENT OF THE DRAWINGS.
- 16. IN THE EVENT OF CONTRADICTION OF DOCUMENTS, SPECIFICATIONS SHALL TAKE PRECEDENT. IF A CONTRADICTION REMAINS, OR IF THE SPECIFICATION DOES NOT CLARIFY, THEN THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OF THE MATERIALS AND INSTALLATION WHEN COMPARING THE CONTRADICTORY ITEMS.

SHEET		REVIS	SIONS
NUMBER	SHEET NAME	MARK	DATE
CENEDAL			
GENERAL G001	COVER SHEET		
0001	COVERCIPEL		
ARCHITEC	TURAL GENERAL		
A001	SYMBOLS & ABBREVIATIONS		
A002	INTERIOR PARTITION TYPES		
	TURAL DEMOLITION		1
AD100	DEMOLITION BASEMENT FLOOR PLAN		
AD101	DEMOLITION FIRST FLOOR PLAN		
AD102	DEMOLITION SECOND FLOOR PLAN		
AD103	DEMOLITION THIRD FLOOR PLAN		
ARCHITEC AS101	TURAL SITE ARCHITECTURAL SITE PLAN		
	1 2 2	I	l
ARCHITEC	TURAL		
A100	BASEMENT FLOOR PLAN		
A101	FIRST FLOOR PLAN		
A101 A102 A103	FIRST FLOOR PLAN		
A102	FIRST FLOOR PLAN SECOND FLOOR PLAN		
A102 A103 <del>A104</del>	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN		
A102 A103	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN		
A102 A103 <del>A104</del> A301	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS		
A102 A103 A104 A301 A601	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS		
A102 A103 A104 A301 A601	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES		
A102 A103 A104 A301 A601 ARCHITEC	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES TURAL INTERIORS		
A102 A103 A104 A301 A601 ARCHITEC	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES  TURAL INTERIORS FINISH PLAN - BASEMENT		
A102 A103 A104 A301 A601 ARCHITEC A1101 A1102 A1103	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES  TURAL INTERIORS FINISH PLAN - BASEMENT FINISH PLAN - FIRST LEVEL		
A102 A103 A104 A301 A601 ARCHITEC A1101 A1102 A1103	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES  TURAL INTERIORS FINISH PLAN - BASEMENT FINISH PLAN - FIRST LEVEL FINISH PLAN - SECOND LEVEL		
A102 A103 A104 A301 A601 ARCHITEC AI101 AI102 AI103 AI104 AI105	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES  TURAL INTERIORS FINISH PLAN - BASEMENT FINISH PLAN - SECOND LEVEL FINISH PLAN - THIRD LEVEL		
A102 A103 A104 A301 A601 ARCHITEC AI101 AI102 AI103 AI104	FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN REFLECTED CEILING PLAN BUILDING SECTIONS DOOR AND WINDOW SCHEDULES  TURAL INTERIORS FINISH PLAN - BASEMENT FINISH PLAN - FIRST LEVEL FINISH PLAN - THIRD LEVEL FURNITURE PLAN - BASEMENT		





LANGDON Madison, NSFIE

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architecture

**Project Status** PRICING SET 21028-01 PROJ. #: © SKETCHWORKS

**ARCHITECTURE 2022** 

**COVER SHEET** 

**PROJECT CONTACTS:** 

NORTH BRANCH HOLDINGS. LLC **141 N LOCUST ST** OCONOMOWOC, WI 53066

CONTACT:

**SEAN LAROQUE** 

(OWNER/CONTACT)

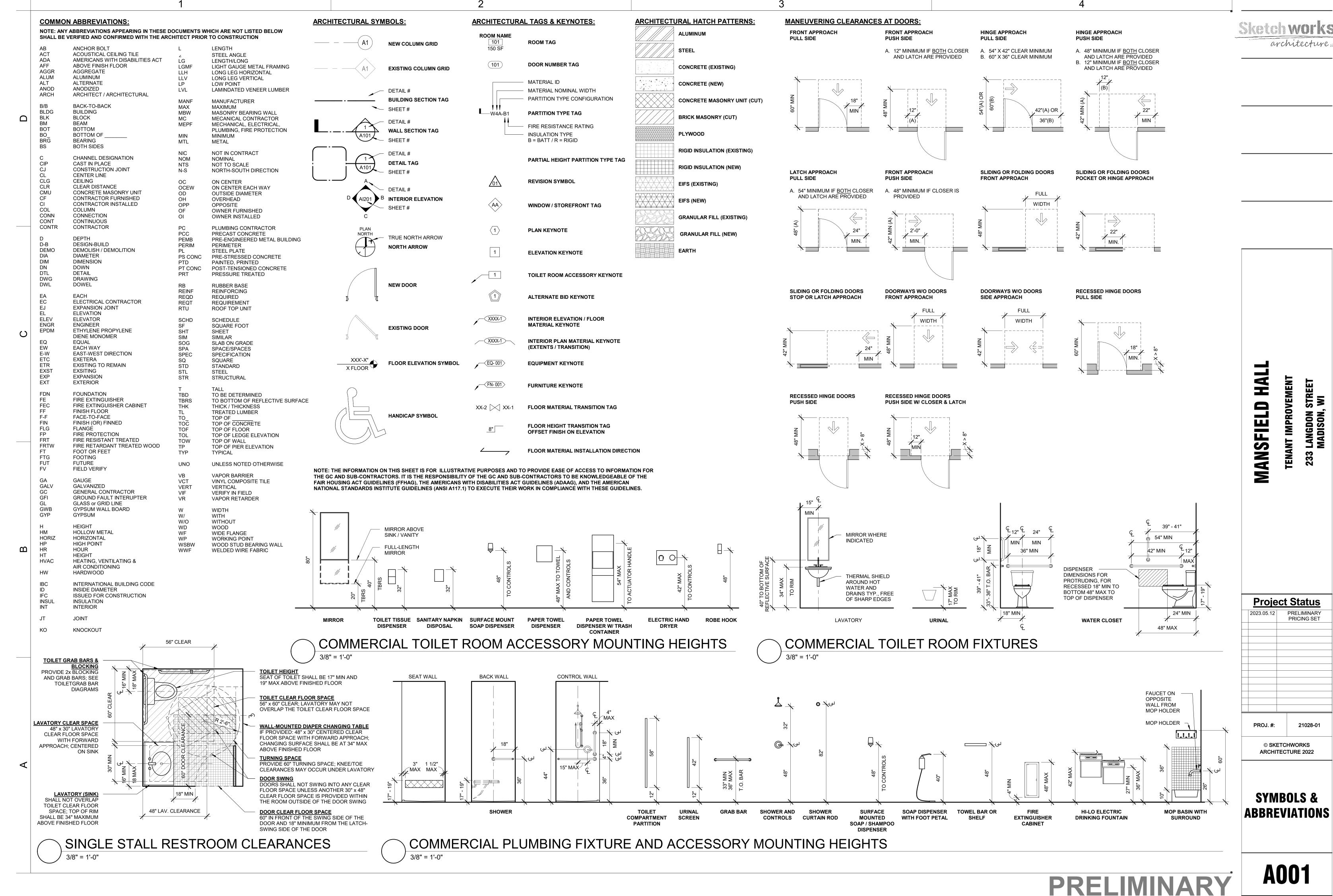
[PHONE NUMBER]

SKETCHWORKS ARCHITECTURE, LLC 2501 PARMENTER STREET. SUITE 100B MIDDLETON, WI 53562

CONTACT: STEVE SHULFER (ARCHITECT) CHARLIE MCCALL (PM / CONTACT) 608-836-7570

**GENERAL CONTRACTOR:** NATIONAL CONSTRUCTION 701 E WASHINGTON AVE. #103 MADISON, WI 53703

CONTACT: BERNIE LANG (PD MANAGER) 608-230-7378



FS2A TYPE - FURRING STEEL FRAMED 2" RIGID INSULATION GYPSUM WALL BOARD, MOISTURE RESISTANT GYPSUM AT ALL WET WALLS 2" METAL STUD JOINT COMPOUND AND FS2A FS2A-R CONFIGURATIONS STANDARD | STANDARD GWB TYPE INSULATION TYPE RIGID FIRE RATING N/A N/A FIRE TEST
STC RATING N/A W6A W4A 6 3/4" GYPSUM WALL BOARD, GYPSUM WALL BOARD, MOISTURE RESISTANT MOISTURE RESISTANT GYPSUM AT ALL WET GYPSUM AT ALL WET **IYPE - WOOD FRAMED** MINERAL WOOL BATT MINERAL WOOL BATT INSULATION INSULATION NOM 2X6 WOOD STUD NOM 2X4 WOOD STUD JOINT COMPOUND AND TAPE JOINT COMPOUND AND 1 HR 1 HR ASSEM ASSEMBLY CONFIGURATIONS CONFIGURATIONS W4A W4A-B W4A-B1 W6A W6A-B W6A-B1 STANDARD | STANDARD | TYPE X GWB TYPE STANDARD | STANDARD | TYPE X **INSULATION TYPE INSULATION TYPE** BATT FIRE RATING 1 HOUR FIRE RATING N/A 1 HOUR FIRE TEST
STC RATING UL# U305 FIRE TEST N/A UL# U305 STC RATING 40 40

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**PARTITION TYPE NOTES:** 

ALL INTERIOR PARTITIONS ARE TO BE XXX-XX WALL TYPE UNLESS NOTED OTHERWISE

A. SEE 2009 UNDERWRITER'S LABORATORY DIRECTORY FOR ADDITIONAL INFORMATION ON WALL RATING SPECIFICS AND ALLOWABLE MATERIALS.

B. FIRE RATED ASSEMBLIES: ALL SEAMS TO HAVE TAPE AND JOINT COMPOUND APPLIED. ALL SCREW HEADS TO HAVE JOINT COMPOUND APPLIED. WHERE AN ASSEMBLY FACE IS NOT VISIBILE TO AN OCCUPIED SPACE, COMPOUND AND TAPE CAN BE COMPLETED AT A LEVEL 1 FINISH.

C. PROVIDE TREATED WOOD AT ALL LOCATIONS WHERE WOOD IS IN CONTACT WITH CONCRETE AND/OR MASONRY.

 D. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS INCLUDING KITCHENS, BATHROOMS, AND RESTROOMS.

E. PROVIDE ACOUSTICAL INSULATION AND ACOUSTICAL SEALANT AT TOP & BOTTOM OF WALLS AND ALL WALL PENETRATIONS AT ALL CORRIDOR AND UNIT DEMISING WALLS. FOR SOUND IMPROVEMENT, DO NOT ALIGN PENETRATIONS BETWEEN UNITS (EG WALL OUTLETS).

F. ALL GYPSUM SHALL EXTEND TO BOTTOM OF ROOF DECK OR FULL HEIGHT OF PARTITION UNLESS NOTED OTHERWISE.

G. STC RAITINGS ARE ESTIMATES BASED ON STC TESTING, ACTUAL INSTALLED PERFORMACE MAY architecture

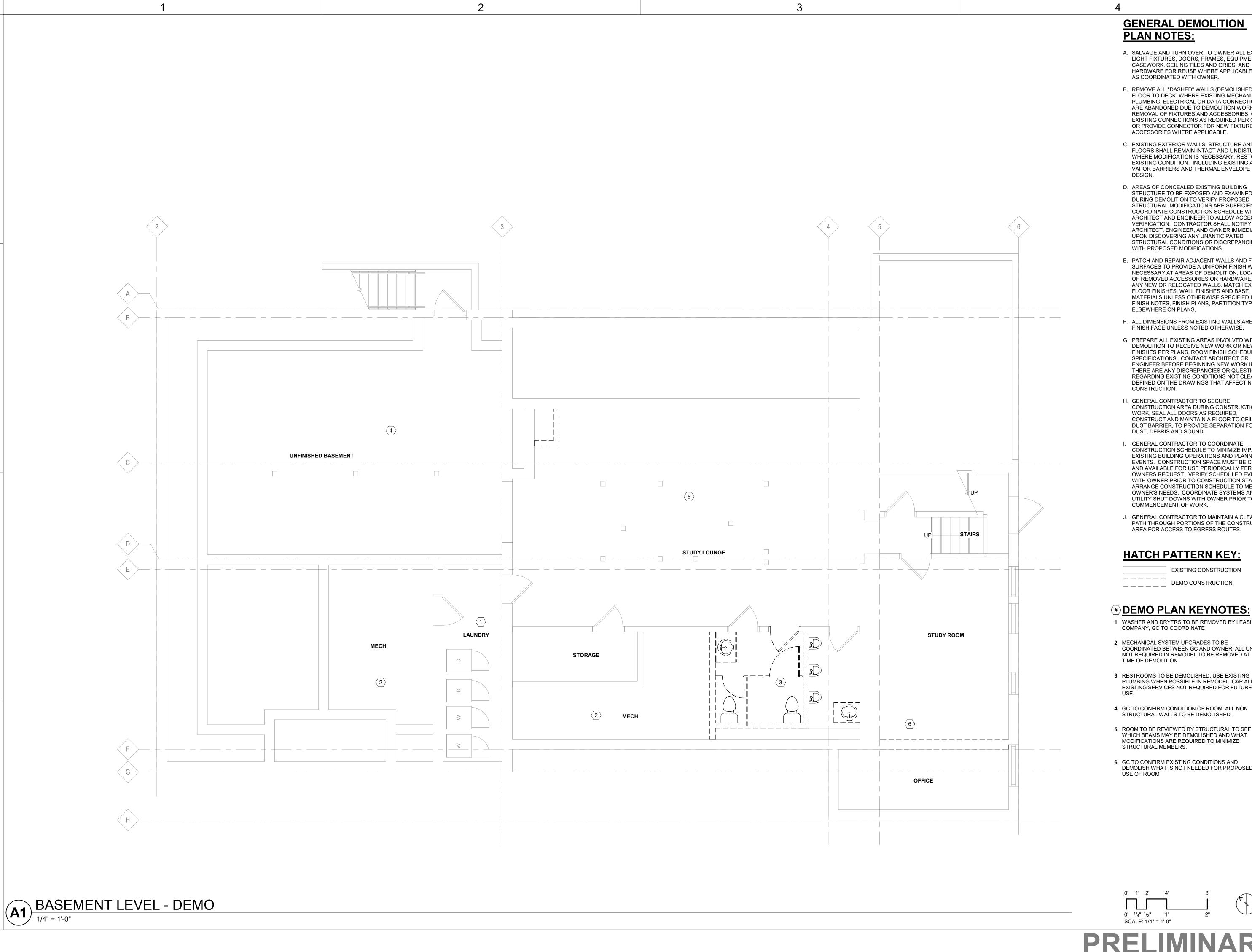
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2023.05.12	PRELIMINARY PRICING SET
PROJ. #:	21028-01

**INTERIOR PARTITION** 

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**TYPES** 



**GENERAL DEMOLITION PLAN NOTES:** 

> A. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, FRAMES, EQUIPMENT, CASEWORK, CEILING TILES AND GRIDS, AND HARDWARE FOR REUSE WHERE APPLICABLE AND AS COORDINATED WITH OWNER.

B. REMOVE ALL "DASHED" WALLS (DEMOLISHED) FROM FLOOR TO DECK. WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES, CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURE AND

C. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION. INCLUDING EXISTING AIR/ VAPOR BARRIERS AND THERMAL ENVELOPE

D. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER, AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.

E. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION, LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPES, OR ELSEWHERE ON PLANS.

F. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.

G. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.

H. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK, SEAL ALL DOORS AS REQUIRED, CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.

I. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

J. GENERAL CONTRACTOR TO MAINTAIN A CLEAR PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

DEMO CONSTRUCTION

#### **HATCH PATTERN KEY:**

EXISTING CONSTRUCTION

1 WASHER AND DRYERS TO BE REMOVED BY LEASING COMPANY, GC TO COORDINATE

2 MECHANICAL SYSTEM UPGRADES TO BE COORDINATED BETWEEN GC AND OWNER, ALL UNITS NOT REQUIRED IN REMODEL TO BE REMOVED AT

3 RESTROOMS TO BE DEMOLISHED, USE EXISTING PLUMBING WHEN POSSIBLE IN REMODEL. CAP ALL EXISTING SERVICES NOT REQUIRED FOR FUTURE

4 GC TO CONFIRM CONDITION OF ROOM, ALL NON STRUCTURAL WALLS TO BE DEMOLISHED.

5 ROOM TO BE REVIEWED BY STRUCTURAL TO SEE WHICH BEAMS MAY BE DEMOLISHED AND WHAT MODIFICATIONS ARE REQUIRED TO MINIMIZE STRUCTURAL MEMBERS.

6 GC TO CONFIRM EXISTING CONDITIONS AND DEMOLISH WHAT IS NOT NEEDED FOR PROPOSED USE OF ROOM

**Project Status** PRELIMINARY PRICING SET 21028-01 PROJ. #:

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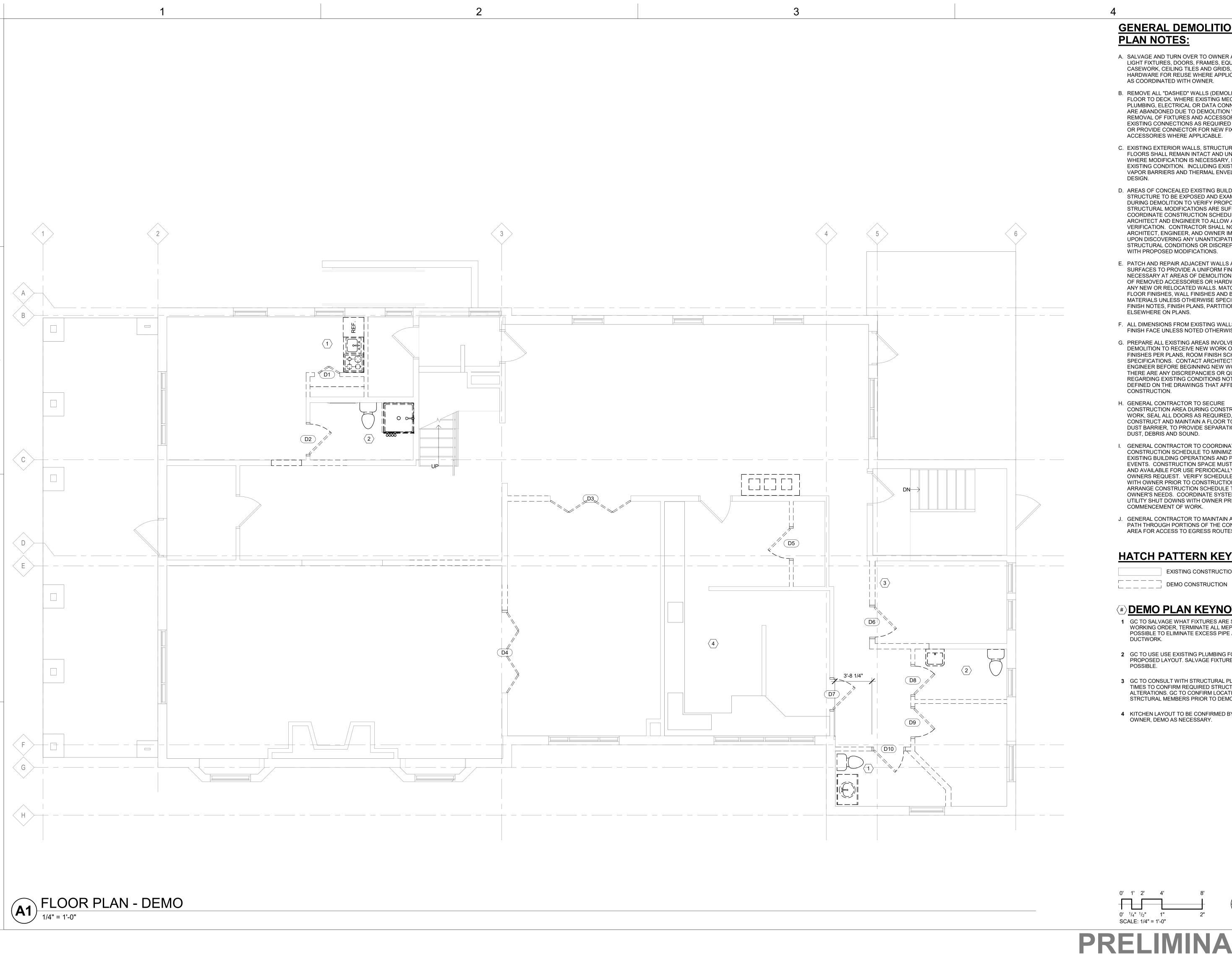
FIELD

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architecture

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**DEMOLITION BASEMENT FLOOR PLAN** 





A. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, FRAMES, EQUIPMENT, CASEWORK, CEILING TILES AND GRIDS, AND HARDWARE FOR REUSE WHERE APPLICABLE AND AS COORDINATED WITH OWNER.

B. REMOVE ALL "DASHED" WALLS (DEMOLISHED) FROM FLOOR TO DECK. WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES, CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURE AND ACCESSORIES WHERE APPLICABLE.

C. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION. INCLUDING EXISTING AIR/ VAPOR BARRIERS AND THERMAL ENVELOPE

D. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER, AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES

E. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION, LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPES, OR ELSEWHERE ON PLANS.

F. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.

G. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.

H. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK, SEAL ALL DOORS AS REQUIRED, CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.

I. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

J. GENERAL CONTRACTOR TO MAINTAIN A CLEAR PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

#### **HATCH PATTERN KEY:**

EXISTING CONSTRUCTION

### **#** DEMO PLAN KEYNOTES:

1 GC TO SALVAGE WHAT FIXTURES ARE STILL IN WORKING ORDER, TERMINATE ALL MEP RUNS WHEN POSSIBLE TO ELIMINATE EXCESS PIPE AND

2 GC TO USE USE EXISTING PLUMBING FOR PROPOSED LAYOUT. SALVAGE FIXTURES WHEN POSSIBLE.

3 GC TO CONSULT WITH STRUCTURAL PLANS AT ALL TIMES TO CONFIRM REQUIRED STRUCTERAL ALTERATIONS. GC TO CONFIRM LOCATIONS OF STRCTURAL MEMBERS PRIOR TO DEMOLITION.

**4** KITCHEN LAYOUT TO BE CONFIRMED BY GC WITH OWNER, DEMO AS NECESSARY.

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**Project Status** PRELIMINARY PRICING SET PROJ. #: 21028-01 © SKETCHWORKS ARCHITECTURE 2022

**DEMOLITION** FIRST FLOOR **PLAN** 

**GENERAL DEMOLITION PLAN NOTES:** 

> A. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, FRAMES, EQUIPMENT, CASEWORK, CEILING TILES AND GRIDS, AND HARDWARE FOR REUSE WHERE APPLICABLE AND

> B. REMOVE ALL "DASHED" WALLS (DEMOLISHED) FROM FLOOR TO DECK. WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES, CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURE AND ACCESSORIES WHERE APPLICABLE.

> C. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION. INCLUDING EXISTING AIR/ VAPOR BARRIERS AND THERMAL ENVELOPE

D. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER, AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES

E. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION, LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPES, OR ELSEWHERE ON PLANS.

F. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.

G. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW

H. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK, SEAL ALL DOORS AS REQUIRED, CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.

I. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

J. GENERAL CONTRACTOR TO MAINTAIN A CLEAR PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

#### **HATCH PATTERN KEY:**

EXISTING CONSTRUCTION DEMO CONSTRUCTION

#### DEMO PLAN KEYNOTES:

1 GC TO SALVAGE WHAT FIXTURES AND APPLIANCES THAT ARE STILL IN WORKING ORDER, TERMINATE ALL MEP RUNS WHEN POSSIBLE TO ELIMINATE EXCESS PIPE AND DUCTWORK.

2 RESTROOM TO REMAIN, ONLY DEMO FINISHES AS REQUIRED TO MATH PROPOSED

3 GC TO CONSULT WITH STRUCTURAL PLANS AT ALL TIMES TO CONFIRM REQUIRED STRUCTURAL

**4** gGC TO CONFIRM WHERE STRUCTURAL MEMBERS ARE LOCATED PRIOR TO DEMO.

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PROJ. #:

**DEMOLITION SECOND FLOOR PLAN** 

**AD102** 

#### **GENERAL DEMOLITION PLAN NOTES:**

- A. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, FRAMES, EQUIPMENT, CASEWORK, CEILING TILES AND GRIDS, AND HARDWARE FOR REUSE WHERE APPLICABLE AND AS COORDINATED WITH OWNER.
- B. REMOVE ALL "DASHED" WALLS (DEMOLISHED) FROM FLOOR TO DECK. WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES, CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURE AND ACCESSORIES WHERE APPLICABLE.
- C. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION. INCLUDING EXISTING AIR/ VAPOR BARRIERS AND THERMAL ENVELOPE
- D. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER, AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- E. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION, LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPES, OR ELSEWHERE ON PLANS.
- F. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- G. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.
- H. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK, SEAL ALL DOORS AS REQUIRED, CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- I. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- J. GENERAL CONTRACTOR TO MAINTAIN A CLEAR PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

#### **HATCH PATTERN KEY:**

EXISTING CONSTRUCTION \_\_\_\_ DEMO CONSTRUCTION

#### **#** DEMO PLAN KEYNOTES:

- 1 GC TO SALVAGE WHAT FIXTURES AND APPLIANCES THAT ARE STILL IN WORKING ORDER, TERMINATE ALL MEP RUNS WHEN POSSIBLE TO ELIMINATE EXCESS PIPE AND DUCTWORK.
- 2 RESTROOM TO REMAIN, ONLY DEMO FINISHES AS REQUIRED TO MATH PROPOSED
- 3 GC TO CONSULT WITH STRUCTURAL PLANS AT ALL TIMES TO CONFIRM REQUIRED STRUCTERAL ALTERATIONS. GC TO CONFIRM LOCATION OF STRUCTURAL MEMBERS PRIOR TO DEMO.
- **4** GC TO DETERMINE WHAT MECHANICAL TO REMAIN FOR PROPOSED LAYOUT. SALVAGE AND RE USE FIXTURES WHEN POSSIBLE.

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**DEMOLITION** THIRD FLOOR **PLAN** 

**AD103** 

C. VERIFY CURRENT UTILITY LOCATIONS, CONFIRM SERVICES WITH PROPOSED ALTERATIONS AND COORDINATE RELOCATION AS REQUIRED. PLACEMENT, AND JOB TRAILER LOCATIONS. CONTRACTOR TO MAINTAIN EGRESS EXIT PATH THROUGH JOB SITE, INCLUDING CONSTRUCTION SITE AND STAGING AREAS. NEW FENCE TO MATCH EXISTING W/ **GATED ACCESS** DEPARTMENTS. PLANTERS GREEN SPACE TO INCLUDE BUSHES BIKE RACKS PARKING SPOT/ LOADING \_ PRIVACY FENCE **GATHERING SPACE** GREEN SPACE EXISTING FENCE — TO GET NEW PRIVACY MESH PRIVACY FENCE FLEX SPACE -BASKETBALL, GRILL, TABLES. LANDSCAPING BED ARCHITECTURAL SITE PLAN

**GENERAL SITE PLAN NOTES:** 

A. EXISTING ADJACENT BUILDINGS TO BE PROTECTED FROM DAMAGE DURING ALL DEMOLITION AND CONSTRUCTION WORK

B. CITY SIDEWALKS, UTILITIES AND LANDSCAPE TO REMAIN INTACT AND UNDISTURBED WHERE POSSIBLE. IF MODIFICATION IS NECESSARY,

RESTORE TO EXISTING CONDITIONS AND CURRENT ACCESSIBILITY STANDARDS.

D. COORDINATE CONSTRUCTION STAGING AREA WITH OWNER, INCLUDING JOBSITE ACCESS, DUMPSTER

## **GENERAL PARKING NOTES:**

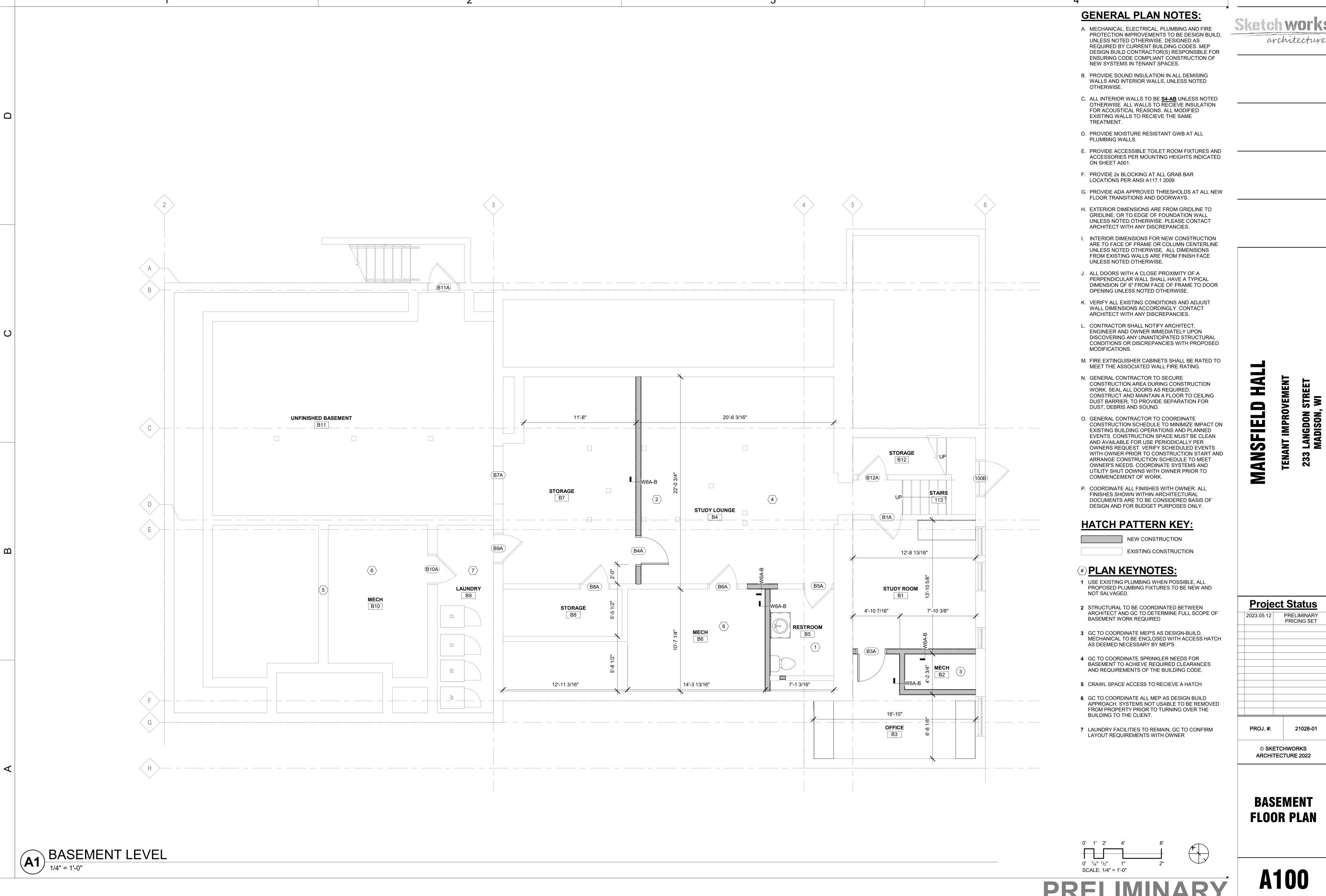
- A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- B. PARKING DIMENSIONS ARE FROM CENTERLINE OF STALL TO CENTERLINE OF STALL, OR TO "CLEAR" SPACE OF STALL.
- C. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGEERING
- D. TRASH / RECYCLE LOCATION: OWNER SHALL PROVIDE SEPARATE ROOM OR DESIGNATED SPACE WITHIN OR ADJACENT TO BUILDING FOR SEPARATION, TEMPORARY STORAGE AND COLLECTION OF RECYCLABLE MATERIALS.
- E. EXISTING PARKING TO REMAIN.

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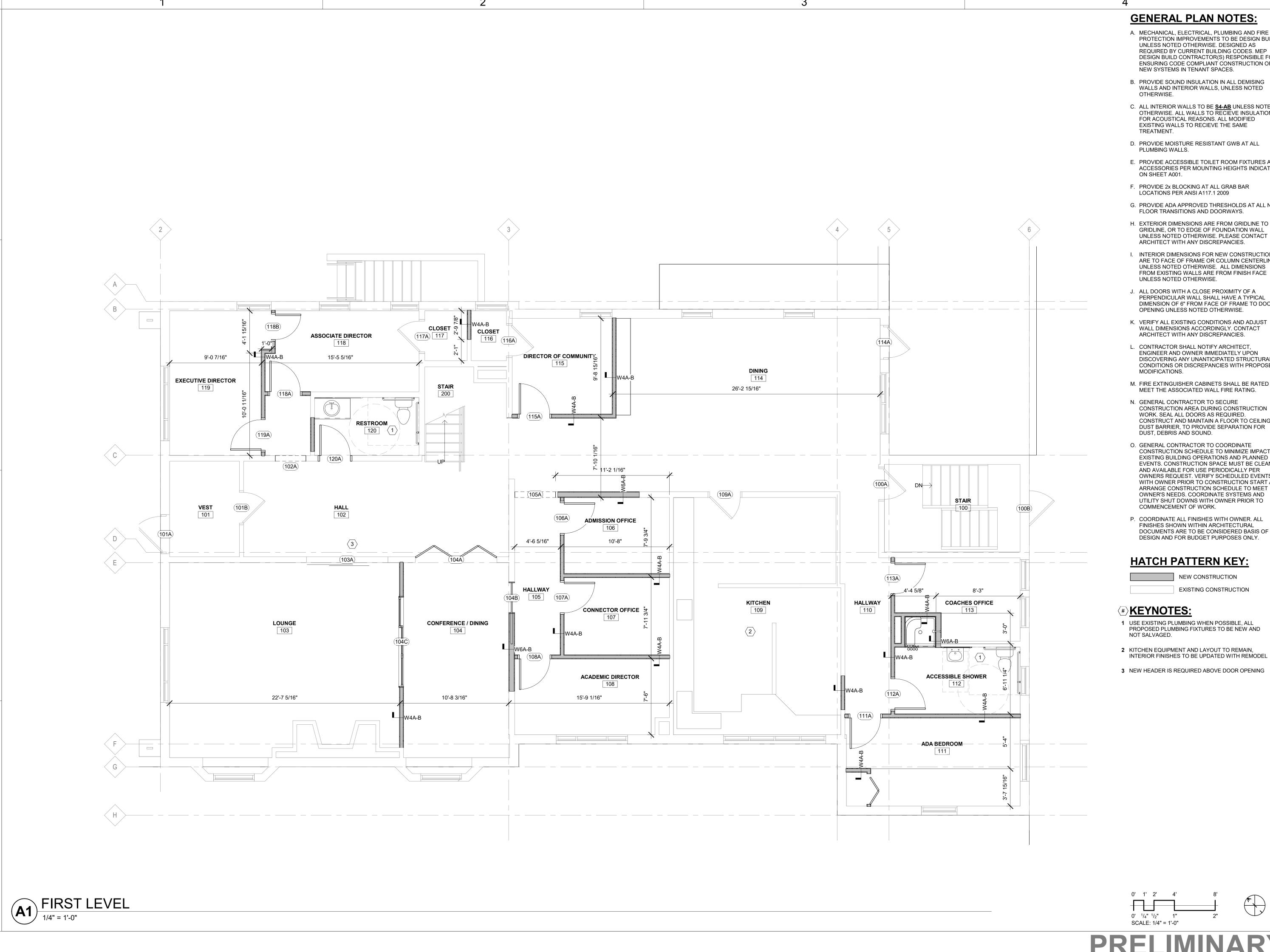
ARCHITECTURAL SITE PLAN

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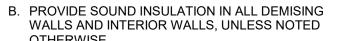
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**FLOOR PLAN** 



**GENERAL PLAN NOTES:** 

A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.



- C. ALL INTERIOR WALLS TO BE **<u>\$4-AB</u>** UNLESS NOTED OTHERWISE. ALL WALLS TO RECIEVE INSULATION FOR ACOUSTICAL REASONS. ALL MODIFIED EXISTING WALLS TO RECIEVE THE SAME
- D. PROVIDE MOISTURE RESISTANT GWB AT ALL
- E. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED
- F. PROVIDE 2x BLOCKING AT ALL GRAB BAR
- G. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW
- H. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT
- I. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE
- J. ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- K. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- L. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED
- M. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- N. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- O. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- P. COORDINATE ALL FINISHES WITH OWNER. ALL FINISHES SHOWN WITHIN ARCHITECTURAL DOCUMENTS ARE TO BE CONSIDERED BASIS OF DESIGN AND FOR BUDGET PURPOSES ONLY.

#### **HATCH PATTERN KEY:**

NEW CONSTRUCTION

- 1 USE EXISTING PLUMBING WHEN POSSIBLE, ALL PROPOSED PLUMBING FIXTURES TO BE NEW AND

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FIRST FLOOR **PLAN** 



- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED
- C. ALL INTERIOR WALLS TO BE **<u>\$4-AB</u>** UNLESS NOTED OTHERWISE. ALL WALLS TO RECIEVE INSULATION FOR ACOUSTICAL REASONS. ALL MODIFIED EXISTING WALLS TO RECIEVE THE SAME
- D. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- E. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- F. PROVIDE 2x BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
- G. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- H. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- I. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- K. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- L. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- M. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- N. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- O. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- P. COORDINATE ALL FINISHES WITH OWNER. ALL FINISHES SHOWN WITHIN ARCHITECTURAL DOCUMENTS ARE TO BE CONSIDERED BASIS OF DESIGN AND FOR BUDGET PURPOSES ONLY.

#### **HATCH PATTERN KEY:**

NEW CONSTRUCTION

EXISTING CONSTRUCTION

#### **#** KEYNOTES:

- 1 SALVAGE AND RE USE EXISTING KITCHEN
- 2 RE LOCATE EXISTING HVAC RUNS TO NEW MECHANICAL ROOM, MEP TO CONFIRM WHETHER EXISTING UNITS TO BE USED IN NEW SYSTEM/
- 3 NEW PLUMBING FIXTURES TO TIE INTO EXISTING SUPPLY AND RETURN LINES, MEP'S TO CONFIRM DESIGN OF NEW SYSTEM
- 4 NEW HEAER LIKELY REQUIRED ACROSS HALLWAY

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**SECOND FLOOR PLAN** 

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**GENERAL PLAN NOTES:** 

- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED
- C. ALL INTERIOR WALLS TO BE **<u>\$4-AB</u>** UNLESS NOTED OTHERWISE. ALL WALLS TO RECIEVE INSULATION FOR ACOUSTICAL REASONS. ALL MODIFIED EXISTING WALLS TO RECIEVE THE SAME
- D. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- E. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- F. PROVIDE 2x BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
- G. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- H. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- I. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- J. ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- K. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- L. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- M. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- N. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- O. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- P. COORDINATE ALL FINISHES WITH OWNER. ALL FINISHES SHOWN WITHIN ARCHITECTURAL DOCUMENTS ARE TO BE CONSIDERED BASIS OF DESIGN AND FOR BUDGET PURPOSES ONLY.

#### **HATCH PATTERN KEY:**

NEW CONSTRUCTION

EXISTING CONSTRUCTION

- 1 SALVAGE AND RE USE EXISTING KITCHEN APPLIANCES WHEN POSSIBLE.
- 2 RE LOCATE EXISTING HVAC RUNS TO NEW MECHANICAL ROOM, MEP TO CONFIRM WHETHER EXISTING UNITS TO BE USED IN NEW SYSTEM/
- 3 NEW PLUMBING FIXTURES TO TIE INTO EXISTING SUPPLY AND RETURN LINES, MEP'S TO CONFIRM DESIGN OF NEW SYSTEM
- 4 NEW HEAER LIKELY REQUIRED ACROSS HALLWAY

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THIRD FLOOR **PLAN** 

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