

Owner Signatures

437 West Johnson Street
Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature:
Name:

Brendan F. Miller
Brendan F. Miller Jan 11, 2023 16:53 CST
Brendan F. Miller
Jan 11, 2023

445 West Johnson Street
Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature:
Name:

Brendan F. Miller
Brendan F. Miller Jan 11, 2023 16:53 CST
Brendan F. Miller
Jan 11, 2023

215 North Bassett Street
215 N Bassett LLC
5949 County Highway K
Waunakee, WI 53597

Signature:
Name:

217 North Bassett Street
Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature:
Name:

Brendan F. Miller
Brendan F. Miller Jan 11, 2023 16:53 CST
Brendan F. Miller
Jan 11, 2023

219 North Bassett Street
Bassett Street LLC
5949 County Highway K
Waunakee, WI 53597

Signature:
Name:

221 North Bassett Street
Core Madison Bassett LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature:
Name:

Brendan F. Miller
Brendan F. Miller Jan 11, 2023 16:53 CST
Brendan F. Miller
Jan 11, 2023

430 West Dayton Street
430 West Dayton Street LLC
P.O. Box 694
Madison, WI 53701

Signature:
Name:

434 West Dayton Street
Martin, Dennis G
428 Castle Place #2
Madison, WI 53703-1503

Signature:
Name:

440 West Dayton Street
440 West Dayton Street LLC
Attn: Daniel Bohl
3595 Richie Road
Verona, WI 5393

Signature:
Name:

Owner Signatures**437 West Johnson Street**

424 Wisconsin LLC
5223 Tonyawatha Trail
Monona, WI 53716

Signature: _____

Name: _____

445 West Johnson Street

Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

215 North Bassett Street

215 N Bassett LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

217 North Bassett Street

Nelson Trust, Jasper
200 The Circle
Austin, TX 78704

Signature: _____

Name: _____

219 North Bassett Street

Bassett Street LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

221 North Bassett Street

Core Madison Bassett LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

430 West Dayton Street

430 West Dayton Street LLC
P.O. Box 694
Madison, WI 53701

Signature: _____

Name: _____



Brandon Cook

Jan 11, 2023

434 West Dayton Street

Martin, Dennis G
428 Castle Place #2
Madison, WI 53703-1503

Signature: _____

Name: _____

440 West Dayton Street

440 West Dayton Street LLC
Attn: Daniel Bohl
3595 Richie Road
Verona, WI 5393

Signature: _____

Name: _____

Owner Signatures

437 West Johnson Street

424 Wisconsin LLC
5223 Tonyawatha Trail
Monona, WI 53716

Signature: _____

Name: _____

445 West Johnson Street

Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

215 North Bassett Street

215 N Bassett LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

217 North Bassett Street

Nelson Trust, Jasper
200 The Circle
Austin, TX 78704

Signature: _____

Name: _____

219 North Bassett Street

Bassett Street LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

221 North Bassett Street

Core Madison Bassett LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

430 West Dayton Street

430 West Dayton Street LLC
P.O. Box 694
Madison, WI 53701

Signature: _____

Name: _____

434 West Dayton Street

Martin, Dennis G
428 Castle Place #2
Madison, WI 53703-1503

Signature: _____

Name: _____

440 West Dayton Street

440 West Dayton Street LLC
Attn: Daniel Bohl
3595 Richie Road
Verona, WI 5393

Signature: _____

Name: _____

Daniel J Bohl

Daniel J Bohl (Jan 12, 2023 10:03 CST)

Daniel J Bohl

Jan 12, 2023

Owner Signatures

437 West Johnson Street

424 Wisconsin LLC
5223 Tonyawatha Trail
Monona, WI 53716

Signature: _____

Name: _____

445 West Johnson Street

Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

215 North Bassett Street

215 N Bassett LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

217 North Bassett Street

Nelson Trust, Jasper
200 The Circle
Austin, TX 78704

Signature: _____

Name: _____

219 North Bassett Street

Bassett Street LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

221 North Bassett Street

Core Madison Bassett LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

430 West Dayton Street

430 West Dayton Street LLC
P.O. Box 694
Madison, WI 53701

Signature: _____

Name: _____

434 West Dayton Street

Martin, Dennis G
428 Castle Place #2
Madison, WI 53703-1503

Signature: *Dennis Martin*

Name: Dennis Martin

Dennis Martin (Rev. 11-2019) 10x37 (411)

Jan 12, 2023

440 West Dayton Street

440 West Dayton Street LLC
Attn: Daniel Bohl
3595 Richie Road
Verona, WI 53593

Signature: _____

Name: _____

Owner Signatures

437 West Johnson Street

424 Wisconsin LLC
5223 Tonyawatha Trail
Monona, WI 53716

Signature: _____

Name: _____

445 West Johnson Street

Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

215 North Bassett Street

215 N Bassett LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

Steven J Hellenbrand

Steven J Hellenbrand (Jan 11, 2022 15:40 CST)

Steven J Hellenbrand

217 North Bassett Street

Nelson Trust, Jasper
200 The Circle
Austin, TX 78704

Signature: _____

Name: _____

219 North Bassett Street

Bassett Street LLC
5949 County Highway K
Waunakee, WI 53597

Signature: _____

Name: _____

Steven J Hellenbrand

Steven J Hellenbrand (Jan 11, 2022 15:40 CST)

Steven J Hellenbrand

221 North Bassett Street

Core Madison Bassett LLC
1643 N Milwaukee Street
Chicago, IL 60647

Signature: _____

Name: _____

430 West Dayton Street

430 West Dayton Street LLC
P.O. Box 694
Madison, WI 53701

Signature: _____

Name: _____

434 West Dayton Street

Martin, Dennis G
428 Castle Place #2
Madison, WI 53703-1503

Signature: _____

Name: _____

440 West Dayton Street

440 West Dayton Street LLC
Attn: Daniel Bohl
3595 Richie Road
Verona, WI 53793

Signature: _____

Name: _____



VANDEWALLE & ASSOCIATES INC.

Monday, March 27, 2023

Heather Stouder
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Blvd.
Madison, WI 53710-2985

The attached formal submittal packet for the Johnson & Bassett project, submitted on behalf of Core Madison Bassett, LLC, outlines the request for the rezoning and redevelopment of a new multifamily project located along Johnson Street, Bassett Street, and Dayton Street. This project is designed to meet the recommendations of the adopted plans while creating much needed new residential housing units with a range of configurations.

Project Description

- Rezone parcels PD and DR2 parcels to Urban Mixed Use (UMX)
- Demolition of existing structures (11)
- Conditional Use
 - New construction greater than 50,000 square feet
 - New construction of building in UMX District
 - Rooftop outdoor recreation
- CSM to create one lot for development

The proposed project is a 12/6 story multi-family building with 232 units ranging from studios to townhome units. This project implements the adopted downtown plan, downtown design guidelines, and downtown height map with well-articulated urban architecture. Residents of the project will have access to amenities within the building including fitness, study rooms, and gathering rooms; as well as, rooftop amenities.

Pedestrian access will be served by a lobby fronting onto Johnson Street with additional individual entries serving townhomes along the perimeter of the building. Vehicular and loading access to the building is located off of Dayton Street, per City Staff recommendation. The building will be well served by the existing pedestrian and bicycle network and a bus stop will be re-activated at the corner of Johnson Street and Bassett Street.

Applicant

Core Madison Bassett, LLC.
1643 North Milwaukee Street
Chicago, IL 60647

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax
247 Freshwater Way, Suite 530 • Milwaukee, Wisconsin 53204 • 414.988.8631
www.vandewalle.com

Shaping places, shaping change

Owners

437 West Johnson Street
424 Wisconsin LLC
5223 Tonyawatha Trail
Monona, WI 53716

445 West Johnson Street
Core Madison Johnson LLC
1643 N Milwaukee Street
Chicago, IL 60647

215 North Bassett Street
215 N Bassett LLC
5949 County Highway K
Waunakee, WI 53597
217 North Bassett Street
Nelson Trust, Jasper
200 The Circle
Austin, TX 78704

219 North Bassett Street
Bassett Street LLC
5949 County Highway K
Waunakee, WI 53597

221 North Bassett Street
Core Madison Bassett LLC
1643 N Milwaukee Street
Chicago, IL 60647

430 West Dayton Street
430 West Dayton Street LLC
P.O. Box 694
Madison, WI 53701

434 West Dayton Street
Martin, Dennis G
428 Castle Place #2
Madison, WI 53703-1503

438/440 West Dayton Street
440 West Dayton Street LLC
Attn: Daniel Bohl
3595 Richie Road
Verona, WI 5393

Design Team

Architecture:
Kahler Slater
722 Williamson Street
Madison, WI 53703

Engineering:
Vierbicher
999 Fournier Drive
Madison, WI 53717

Landscape:
Site Design
888 South Michigan Avenue
Chicago, IL 60605

Lighting:
Hartranft Lighting Design
401 Hawthorne Lane
Suite 110-269
Charlotte, NC 28204

Entitlement:
Vandewalle & Associates
120 East Lakeside Street
Madison, WI 53715

Site Data

Addresses	PIN	Existing Zoning	Acreage
437 West Johnson Street	709-231-1421-2	UMX	4,356 sq. ft.
445 West Johnson Street	709-231-1416-3	UMX	13,068 sq. ft.
215 North Bassett Street	709-231-1420-4	UMX	2,178 sq. ft.
217 North Bassett Street	709-231-1419-7	UMX	2,178 sq. ft.
219 North Bassett Street	709-231-1417-1	UMX	2,178 sq. ft.
221 North Bassett Street	709-231-1417-1	UMX	2,178 sq. ft.
430 West Dayton Street	709-231-1421-2	PD	4,356 sq. ft.
434 West Dayton Street	709-231-1421-2	DR2	4,356 sq. ft.
438/440 West Dayton Street	709-231-1421-2	PD	8,712 sq. ft.

Total Site Acreage: 1.0 acre (43,560 sq. ft.)
Rezoning Acreage: .41 acres
Existing Units: 55 units

Proposed Zoning

Urban Mixed Use (UMX)

Conditional Use

Building greater than 20,000 square feet and more than 4 stories in height
Outdoor rooftop amenities

Project Summary

Multi-Family Housing	232 units
Studio	39
1 bedroom	5
2 bedroom	63
4 bedroom	49
5 bedroom	63
2 bedroom townhome	4
3 bedroom townhome	8
4 bedroom townhome	1

Vehicle Parking:

First Floor	7 car spaces
	Delivery/loading zone
Lower Level:	55 car spaces
Total Car Spaces	62

Bike Parking:

First Floor Guest Parking	24 standard spaces
Lower-Level Tenant Parking	250 standard spaces
	142 structured spaces
Total Spaces	416

Lot Coverage: 88%

Loading:

All loading, deliveries, and trash/recycling collection will take place within the site, accessed from the Dayton Street entrance.

Car share pickup and deliveries will have access to 7 designated short term parking stalls within the first-floor enclosed parking area.

Usable Open Space:

Usable open space will be delivered through balconies and unique rooftop patios with a range of amenities and configurations.

Open Space Required (10 sq. ft./bedroom): 2,320 sq. ft.

Open Space Provided:

6 th floor roof:	2,100 sq. ft.
12 th floor roof:	6,380 sq. ft.
Balconies:	6,120 sq. ft.
Total	14,600 sq. ft.

Green Roof Required (stormwater): 7,600 sq. ft.

Green Roof Supplied: 7,600 sq. ft.

Project Schedule

Initial Staff Meetings 9/7/2022

Alder Notification 9/7/2022

CANA/CNI Notification 11/3/2022

DAT 11/10/2022

Initial CANA/CNI Steering MTG 11/30/2022

Demolition Notification 12/15/2022

Formal Submittal Notification 12/15/2022

Landmarks Commission 1/9/2023

UDC Informational MTG #1 1/11/2023

UDC Informational MTG #2 3/1/2023

Formal Submittal 3/13/2023

Anticipated Schedule: 2024 Construction
2026 Occupancy

Urban Design Commission (UDC) Informational Review

The project has been presented and discussed with the UDC at two informational presentations. The design has undergone significant adjustments based on their feedback with the most recent iteration including the following items from the March 1st presentation:

- 1.) Removed window ledge detailing on Dayton Street
- 2.) Lightened the base brick color

Demolition Request

The project is seeking a demolition request for the buildings located on the site due to functional obsolescence, and inability for reuse/retention due to lot configuration impacts on the overall project site limiting the potential to incorporate City planning goals for the site. The buildings are all currently used for rental student housing, and most have been well used over many years with numerous additions and revisions from their original conditions. The Landmarks Commission has reviewed this demolition request and noted that none of the buildings held known historic value.

Re-use and Recycling plans will be prepared for all structures. None of the structures are currently proposed for relocation.

Addresses:

437 West Johnson Street

Student Housing	12 bedroom rooming house
Date of Construction:	1915
Additions:	1984
Request:	Functional obsolescence

445 West Johnson Street

Student Housing	35 unit multi-family
Date of Construction:	1965
Additions:	1998
Request:	Functional obsolescence

215 North Bassett Street

Student Housing	single-family rental
Date of Construction:	1901
Additions:	none
Request:	Functional obsolescence

217 North Bassett Street

Student Housing	single-family rental
Date of Construction:	1895 or 1900
Additions:	none
Request:	Functional obsolescence

219 North Bassett Street

Student Housing 2 unit multi-family
Date of Construction: 1900 or 1906
Additions: none
Request: Functional obsolescence

221 North Bassett Street

Student Housing 2 unit multi-family
Date of Construction: 1906 or 1908
Additions: none
Request: Functional obsolescence

430 West Dayton Street

Student Housing 3 unit multi-family/ADU
Date of Construction: 1914
Additions: ADU 2010
Request: Functional obsolescence

434 West Dayton Street

Student Housing 3 unit multi-family
Date of Construction: 1914
Additions: none
Request: Functional obsolescence

438 West Dayton Street

Student Housing 6 unit multi-family
Date of Construction: 2000
Additions: none
Request: Lot configuration precludes preservation

440 West Dayton Street

Student Housing 3 unit multi-family
Date of Construction: 1914
Additions: none
Request: Functional obsolescence

See the Exhibit A for photos of the existing buildings.

Conditional Use Standards

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.*

The proposal for multi-family housing is consistent with the historic use of the site and the surrounding area.

2. *The City is able to provide municipal services to the property where the conditional use is proposed, given due consideration of the cost of providing those services.*

The site is well served with readily available municipal services adjacent to the site.

3. *The uses, values and enjoyment of other property in the neighborhood for purposes already established will not be substantially impaired or diminished in any foreseeable manner.*

The proposed building is consistent with the previous use of the site and reflects the recommendations of the Comprehensive Plan, Downtown Plan, and current zoning on the site.

4. *The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*

The proposal will not preclude development or improvement of the surrounding properties.

5. *Adequate utilities, access roads, drainage, parking supply, internal circulation improvements, including but not limited to vehicular, pedestrian, bicycle, public transit and other necessary site improvements have been or are being provided.*

The proposal incorporates the necessary site improvements to support the project.

6. *Measures, which may include transportation demand management (TDM) and participation in a transportation management association have been or will be taken to provide adequate ingress and egress, including all off-site improvements, so designed as to minimize traffic congestion and to ensure public safety and adequate traffic flow, both on-site and on the public streets.*

The project submittal includes the City of Madison TDMP spreadsheet, illustrating that the project exceeds the required transportation components.

7. *The conditional use conforms to all applicable regulations of the district in which it is located.*

The project meets the standards of the UMX zoning district and downtown plan.

8. *When applying the above standards to an application by a community living arrangement, the Plan Commission shall:*

Not Applicable.

9. *When applying the above standards to any new construction of a building or an addition to an existing building the Plan Commission shall find that the project creates an environment of sustained aesthetic desirability compatible with the existing or intended character of the area and the statement of purpose for the zoning district. In order to find that this standard is met, the Plan Commission may require the applicant to submit plans to the Urban Design Commission for comment and recommendation. (Am. by ORD-14-00030, 2-18-14)*

The project has been presented for informational review with the Urban Design Commission on January 11, 2023 & March 1, 2023 (UDC) to gather input on the design direction and anticipates seeking UDC approval as part of the review of the project.

10. *When applying the above standards to an application for a reduction in off-street parking requirements, the Plan Commission shall consider and give decisive weight to all relevant facts, including but not limited to, the availability and accessibility of alternative parking; impact on adjacent residential neighborhoods; existing or potential shared parking arrangements; number*

of residential parking permits issued for the area; proximity to transit routes and/or bicycle paths and provision of bicycle racks; the proportion of the total parking required that is represented by the requested reduction; the proportion of the total parking required that is decreased by Sec. 28.141. The characteristics of the use, including hours of operation and peak parking demand times design and maintenance of off-street parking that will be provided; and whether the proposed use is now or a small addition to an existing use.

The proposal meets the parking requirements for the Urban Mixed Use (UMX) zoning district. This site is well served with pedestrian and bicycle routes and transit service, as illustrated by the submitted TDMP spreadsheet.

11. *When applying the above standards to telecommunication facilities, the Plan Commission shall consider the review of the application by a professional engineer required by Sec. 28.143.*

Not Applicable.

12. *When applying the above standards to an application for height in excess of that allowed in the district, the Plan Commission shall consider recommendations in adopted plans; the impact on surrounding properties, including height, mass, orientation, shadows and view; architectural quality and amenities; the relationship of the proposed building(s) with adjoining streets, alleys, and public rights of ways; and the public interest in exceeding the district height limits.*

Not applicable.

13. *When applying the above standards to lakefront development under Sec. 28.138, the Plan Commission shall consider the height and bulk of principal buildings on the five (5) developed lots or three hundred (300) feet on either side of the lot with the proposed development.*

Not applicable.

14. *When applying the above standards to an application for height in excess of that allowed by Section 28.071(2)(a) Downtown Height Map for a development located within the Additional Height Areas identified in Section 28.071(2)(b), the Plan Commission shall consider the recommendations in adopted plans, and no application for excess height shall be granted by the Plan Commission unless it finds that all of the following conditions are present:*

- a. The excess height is compatible with the existing or planned (if the recommendations in the Downtown Plan call for changes) character of the surrounding area, including but not limited to the scale, mass, rhythm, and setbacks of buildings and relationships to street frontages and public spaces.*
- b. The excess height allows for a demonstrated higher quality building than could be achieved without the additional stories.*
- c. The scale, massing and design of new buildings complement and positively contribute to the setting of any landmark buildings within or adjacent to the projects and create a pleasing visual relationship with them.*
- d. For projects proposed in priority viewsheds and other views and vistas identified on the Views and Vistas Map in the City of Madison Downtown Plan, there are no negative impacts on the viewshed as demonstrated by viewshed studies prepared by the applicant.*

Not applicable.

15. *When applying the above standards to an application to redevelop a site that was occupied on January 1, 2013 by a building taller than the maximum building height allowed by [Section 28.071\(2\)\(a\) Downtown Height Map](#), as provided by [Section 28.071\(2\)\(a\)1.](#), no application for*

excess height shall be granted by the Plan Commission unless it finds that all the following additional conditions are also present:

- a. The new building is entirely located on the same parcel as the building being replaced.*
- b. The new building is not taller in stories or in feet than the building being replaced.*
- c. The new building is not larger in total volume than the building being replaced.*
- d. The new building is consistent with the design standards in [Section 28.071\(3\)](#) and meets all of the dimensional standards of the zoning district other than height.*
- e. The Urban Design Commission shall review the proposed development and make a recommendation to the Plan Commission.*

Not applicable.

- 16. When applying the above standards to an application for limited production and processing use, the Plan Commission shall consider the effect of such a use on the surrounding properties, including the effects of odors, noise, vibration, glare, hours of operation, and other potential side effects of a manufacturing process. (Cr. by ORD-15-00124, 11-11-15)*

Not Applicable

Downtown Design Guidelines

Site Design + Building Placement

Orientation

The project creates a strong and permeable street wall with minimal setback along all three adjoining streets while employing a slight setback to allow for a larger terrace/sidewalk zone along Johnson Street. Useable entrances front out to each street frontage with expansive windowpanes integrated into the first floor to reinforce activity and transparency along the sidewalk.

Access + Circulation

The site parking and loading is accessed on Dayton Street, per Staff recommendation, to minimize disruption on regional vehicular and bicycle corridors on Johnson Street and Bassett Street. Guest parking/delivery is located within the building with 7 spots available for short term use. Long term parking and bicycle parking is located on the lower parking level under the building.

Usable Open Space -Residential Development

The project offers resident both balcony and roof top useable open space with a variety of activity areas.

Landscaping

The landscape design of the ground level offers urban foundation plantings, expanded sidewalk/terrace area, and buffers from adjoining developments. The overall design seeks to bring color & texture to the streetscape by using landscape and hardscape to further define commercial/public vs. residential/private entrances to the building.

Lighting

Building lighting is proposed to provide appropriate levels of light while maintaining the residential environment.

Architecture

Massing

The massing implements the adopted plans with a 12-story element along Johnson/Bassett stepping down to a 6-story element along Dayton Street, consistent with the designation for this property in the Downtown Height Map. This massing reflects the adjoining character along Johnson Street and the smaller scale of Dayton Street. The building is further articulated through deep insets breaking the Johnson and Bassett facades into smaller distinct vertical elements.

Building Components

The ground level of the building incorporates setbacks to create a pedestrian focused activation along each streetscape while clearly establishing a “base” condition for the building and grounding the architecture to the street. The upper-level design utilizes a grid structure that creates visual interest and a framework for setbacks & balconies to further divide the facades into distinct expressions that span from first floor to the rooftop.

Visual Interest

The overall design of the building, based on UDC feedback, creates a varied and articulated expression along all sides of the building with different treatments in the 12 story and 6 story sections of the building.

Door and Window Openings

The overall design of the project fits into the context of the adjoining development while implementing a unique design expression that creates architectural diversity within the overall neighborhood.

Building Materials

The building uses high quality durable materials throughout the four-sided design.

Terminal Views and Highly-Visible Corners

While the site is not a previously identified terminal view or highly-visible corner, it does create a unique and vibrant expression at the corner of Johnson Street and Bassett Street, anchoring a long view across the corridor to the west.

Awnings and Canopies

The project entry is highlighted with a canopy and architectural frame to clearly denote the primary pedestrian entrance. The design of this feature reflects and enhances the overall composition and framework of the grid detailing.

Signage

Signage for the building will be integrated into the project through future submittals and will be consistent with the signage ordinance.

Legal Description

All of Lots 15 and 16, Block 41, Original Plat of Madison as recorded in Volume A of Plats, on Page 3, as Document Number 102, Dane County Registry and located on the Northwest Quarter of the Northeast Quarter of Section 23, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most southerly corner of said Block 41, Original Plat of Madison; thence North 45 degrees 55 minutes 50 seconds East, along the southeasterly line of said Block 41, a distance of 132.43

feet to the most southerly corner of said Lot 16, Block 41, Original Plat of Madison and the point of beginning of this description; thence North 43 degrees 57 minutes 53 seconds West, along the southwesterly line of said Lot 16, a distance of 133.47 feet to the most westerly corner of said Lot 16; thence North 45 degrees 51 minutes 51 seconds East, along the northwesterly lines of said Lot 16 and Lot 15, Block 41, Original Plat of Madison, 132.70 feet to the most northerly corner of said Lot 15; thence South 43 degrees 53 minutes 23 seconds East, along the northeasterly line of said Lot 15, Block 41, Original Plat of Madison, 133.63 feet to the aforementioned southeasterly line of said Block 41, also being the most easterly corner of said Lot 15, Block 41, Original Plat of Madison; thence South 45 degrees 55 minutes 50 seconds West, along said southeasterly line of Block 41 also being the southeasterly lines of said Lot 15 and Lot 16, Block 41, Original Plat of Madison, 132.53 feet to the Point of Beginning. Said description contains 17,710 square feet or 0.4066 acres, more or less.

STUDENT HOUSING

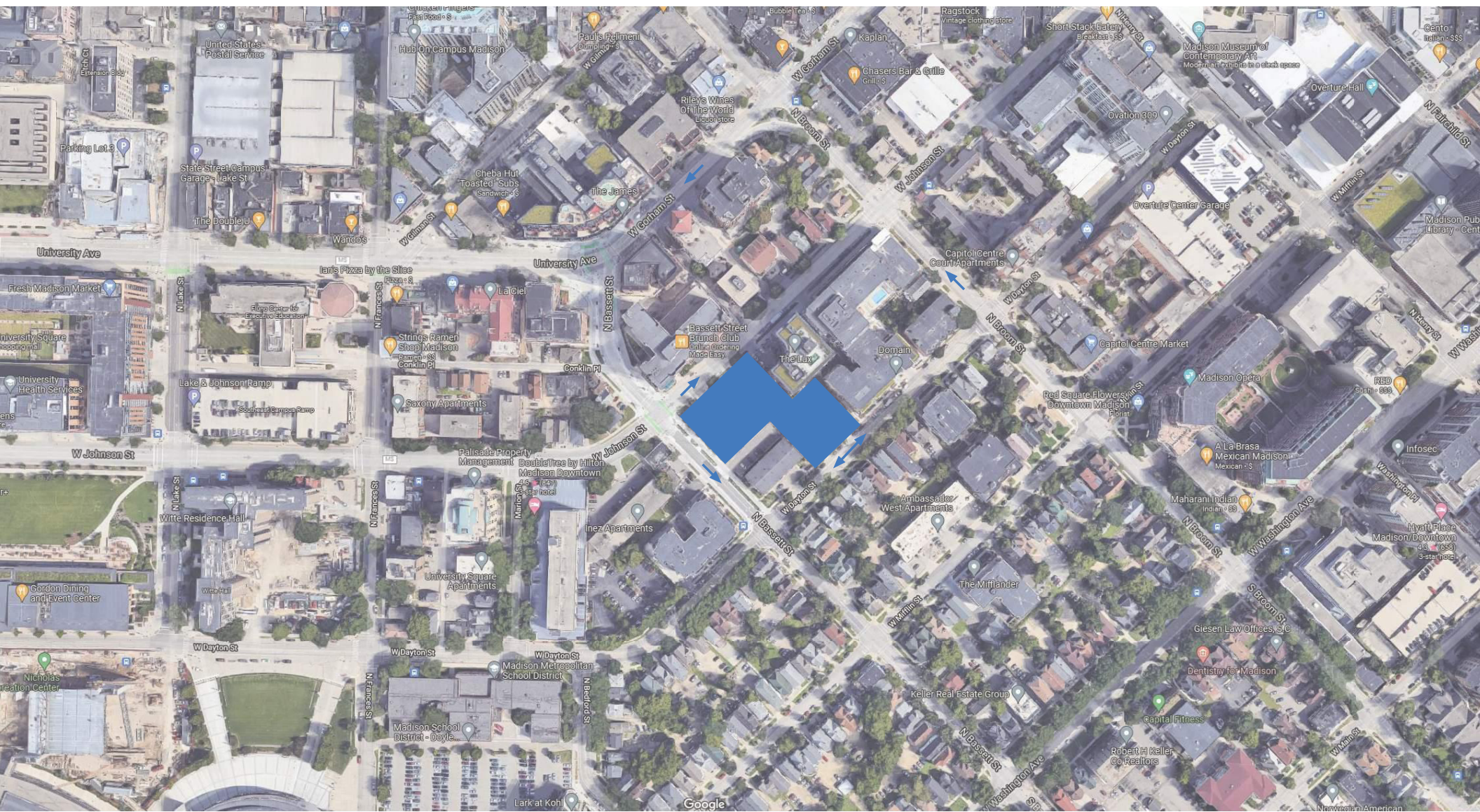
JOHNSON STREET | MADISON, WISCONSIN

CORE MADISON BASSETT, LLC

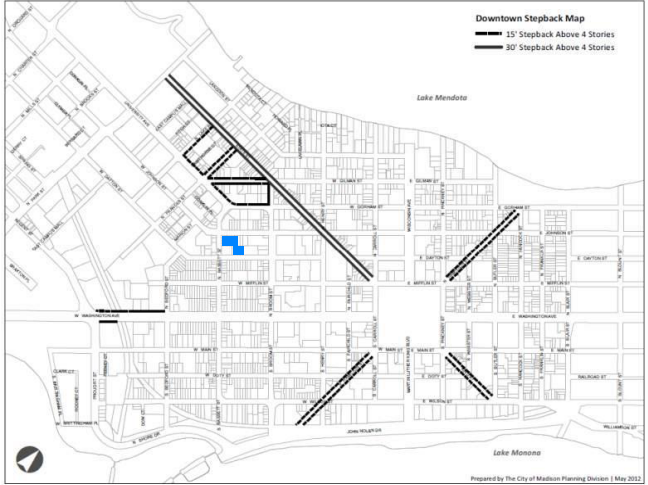
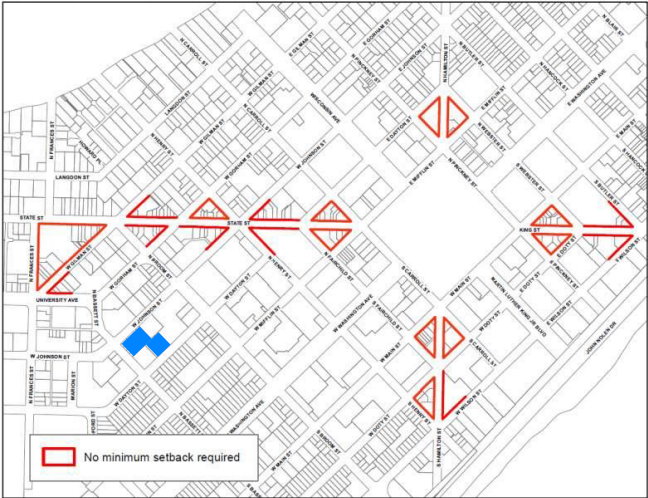
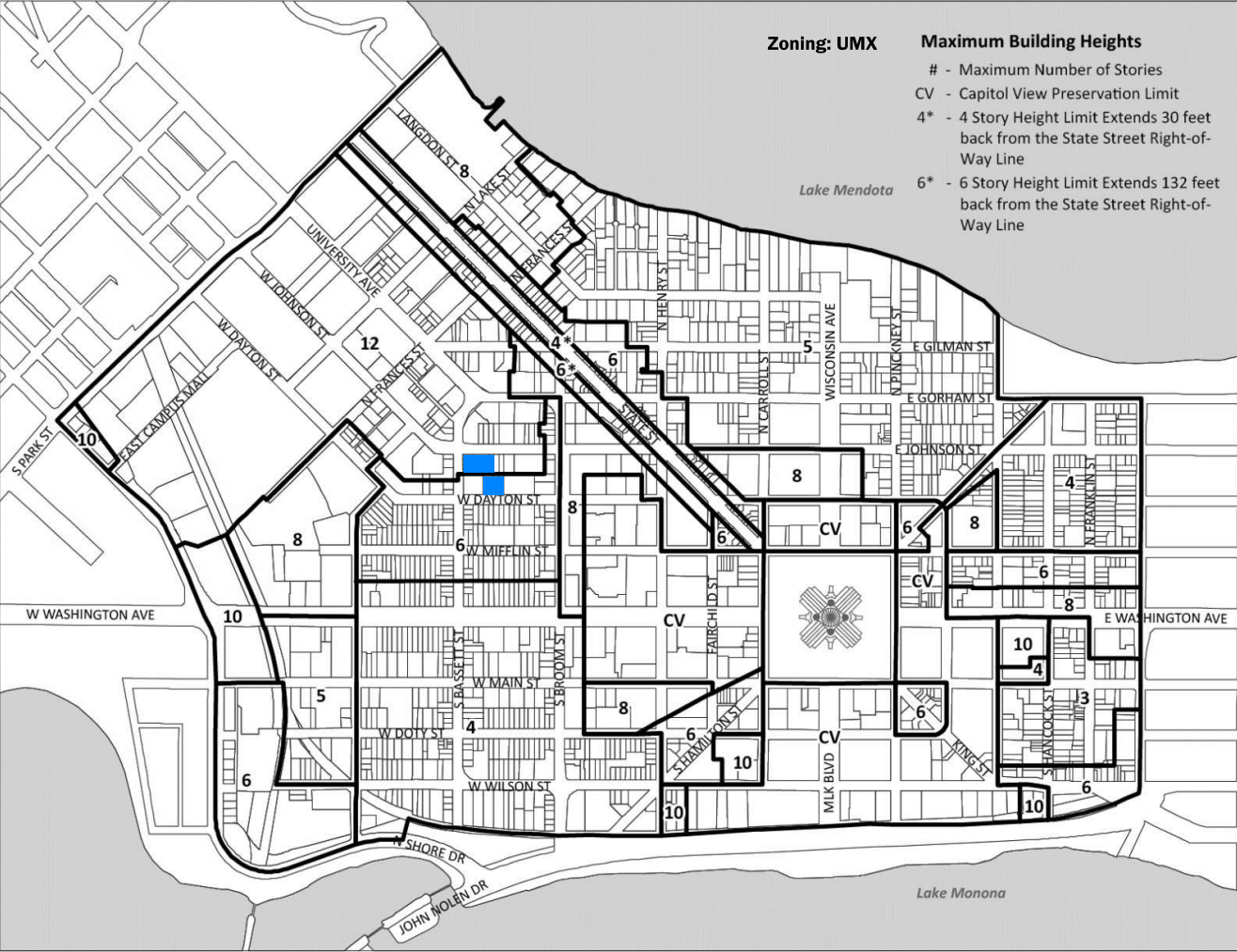
UDC FORMAL SUBMITTAL
MARCH 13, 2023

Kahler Slater

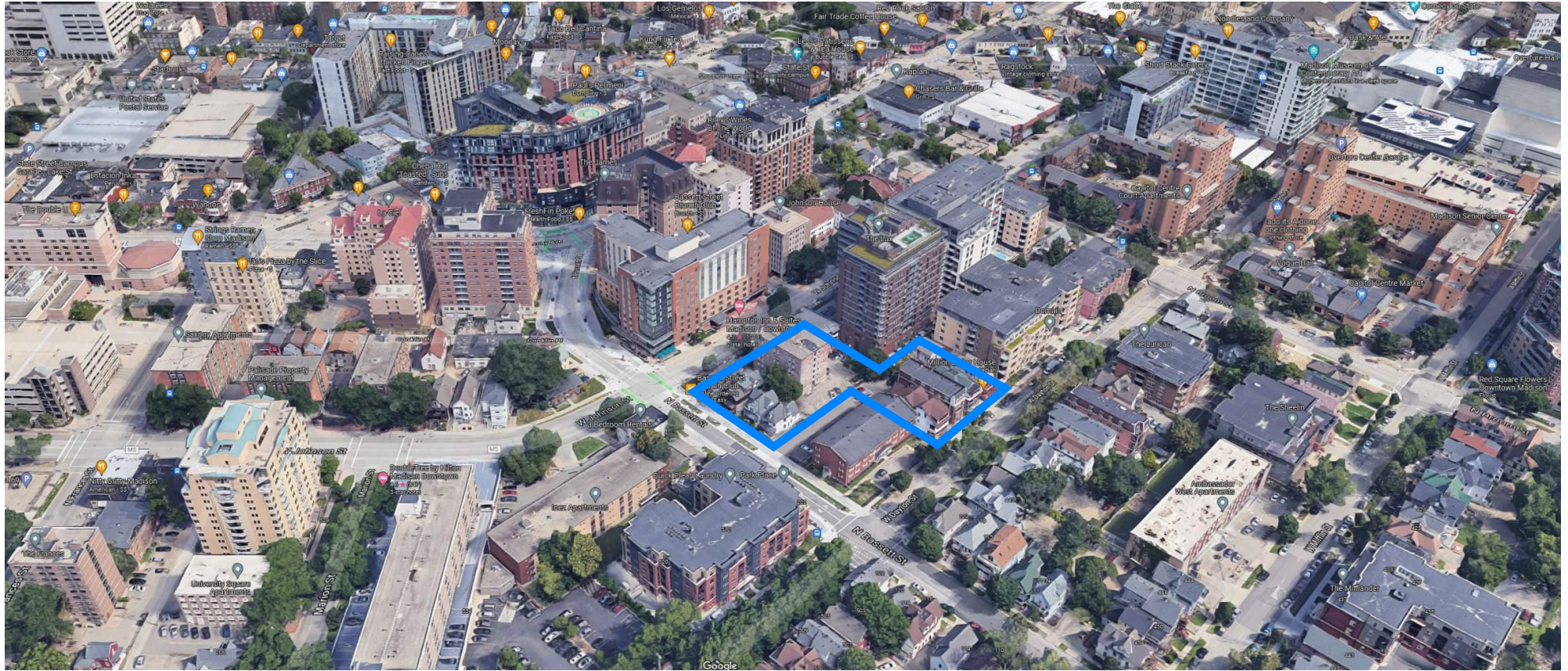
LOCATOR MAP



ZONING INFORMATION



SITE CONTEXT - AERIAL



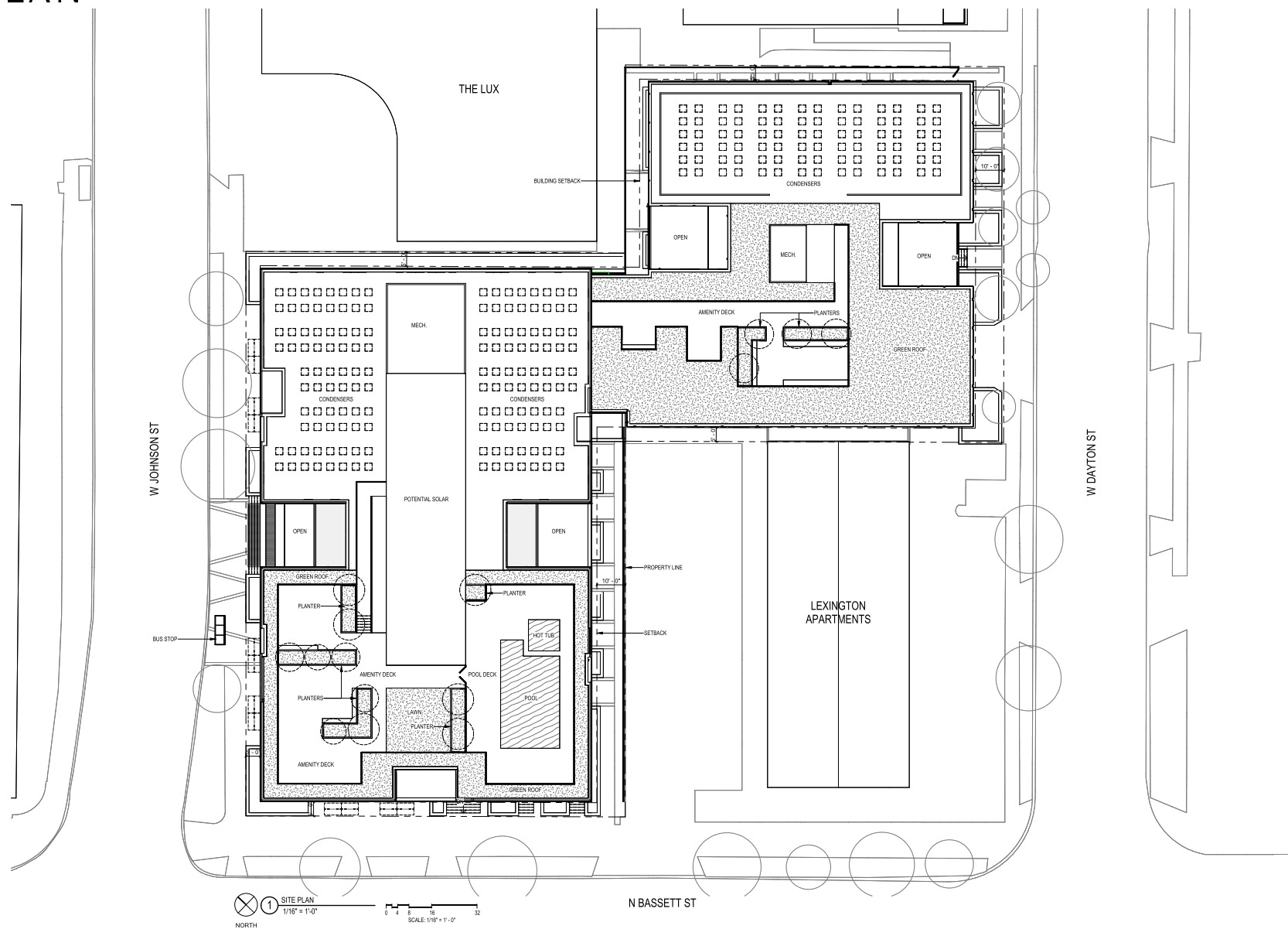
SITE CONTEXT - STREET VIEWS



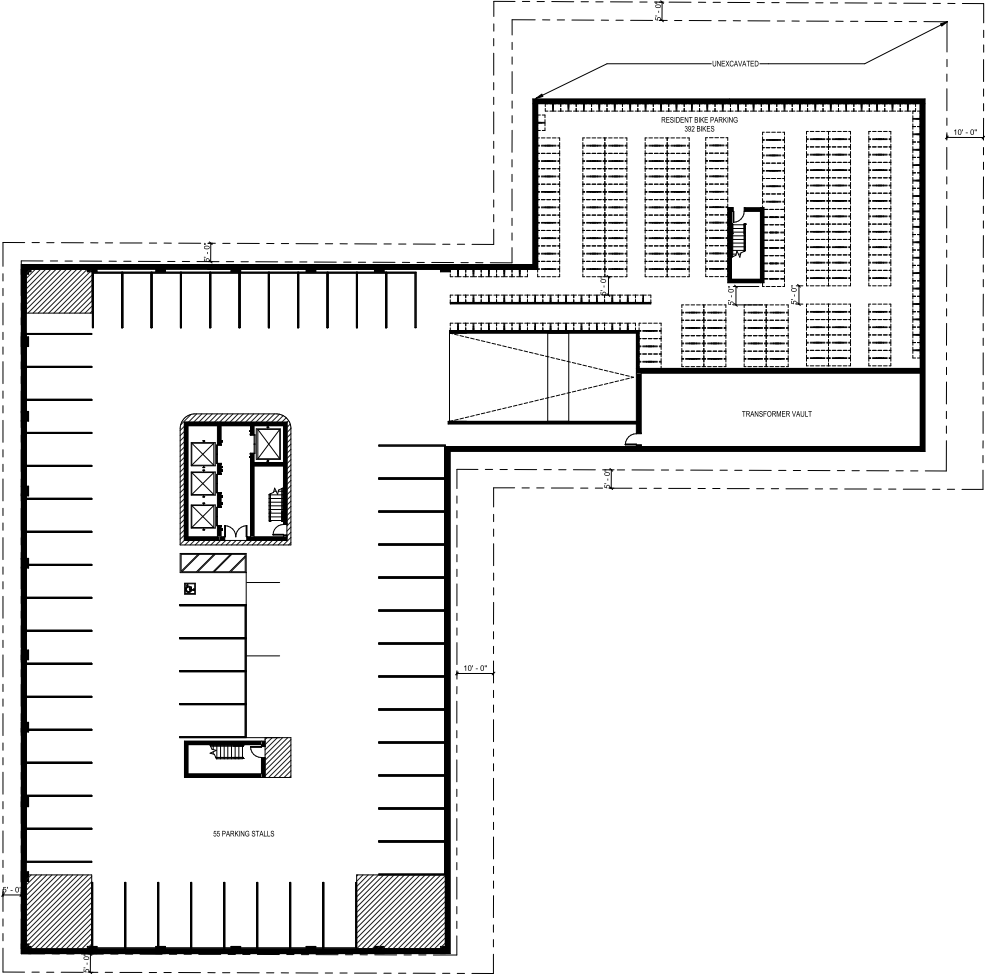
SITE CONTEXT - STREET VIEWS



SITE PLAN

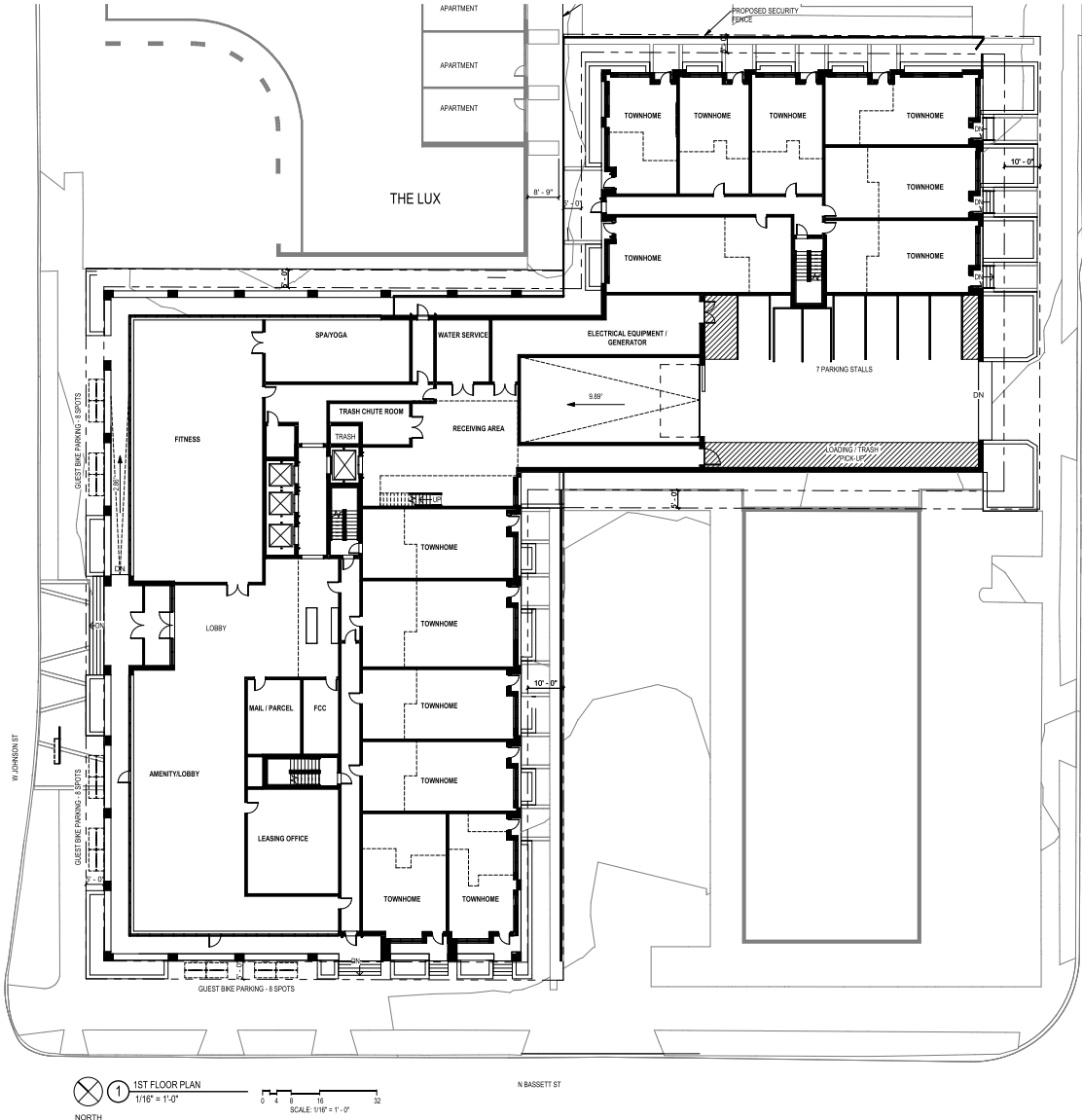


FLOOR PLAN - LOWER LEVEL

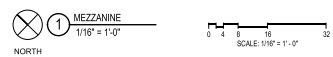
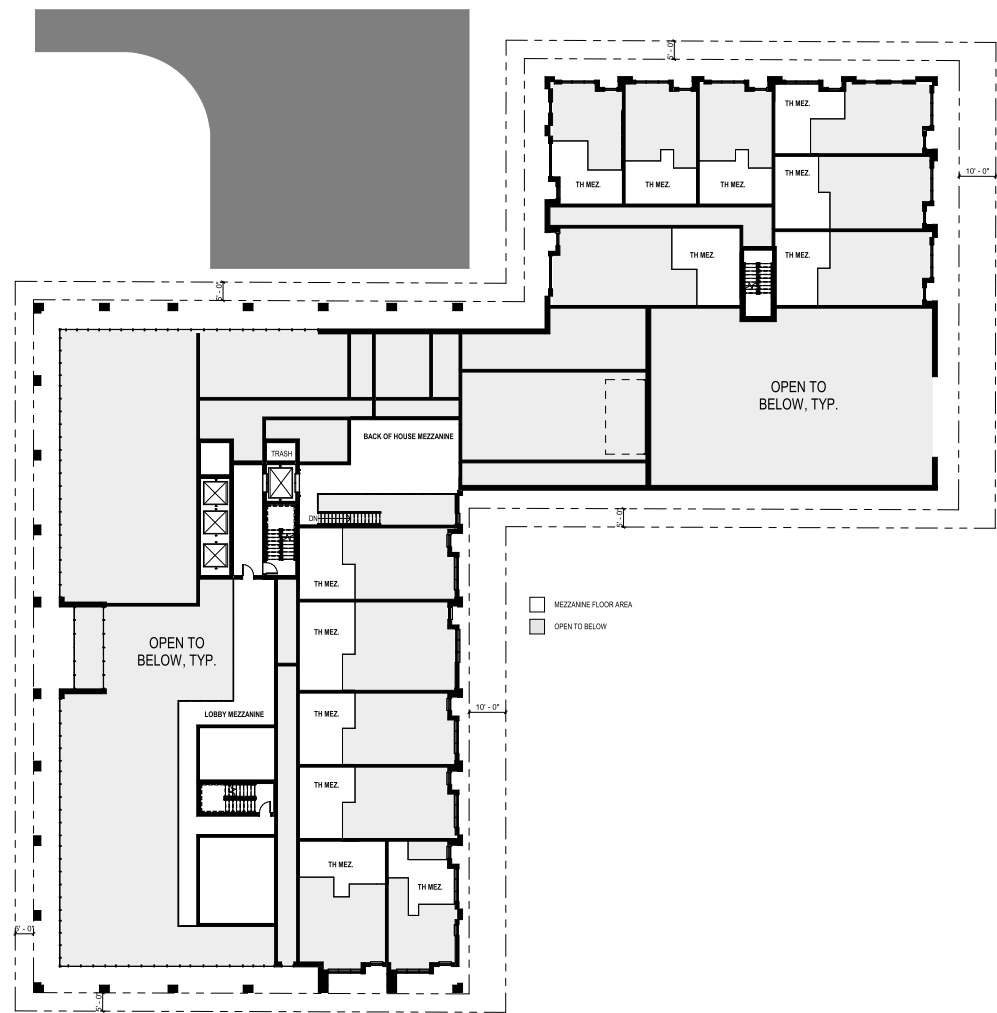


1 LOWER LEVEL PLAN
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"
NORTH

FLOOR PLAN - 1ST



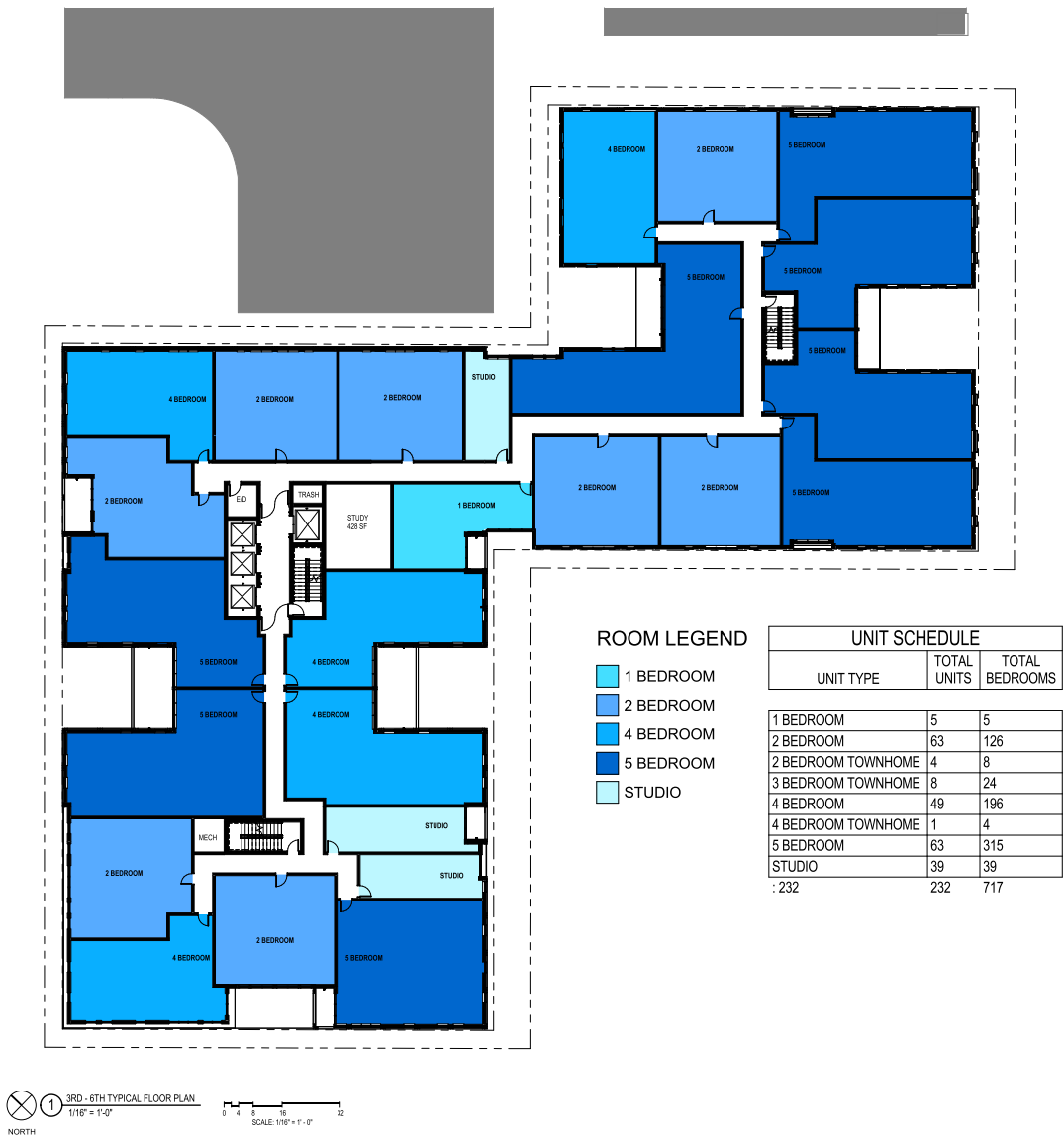
FLOOR PLAN - TOWNHOMES UPPER LEVEL



FLOOR PLAN - 2ND



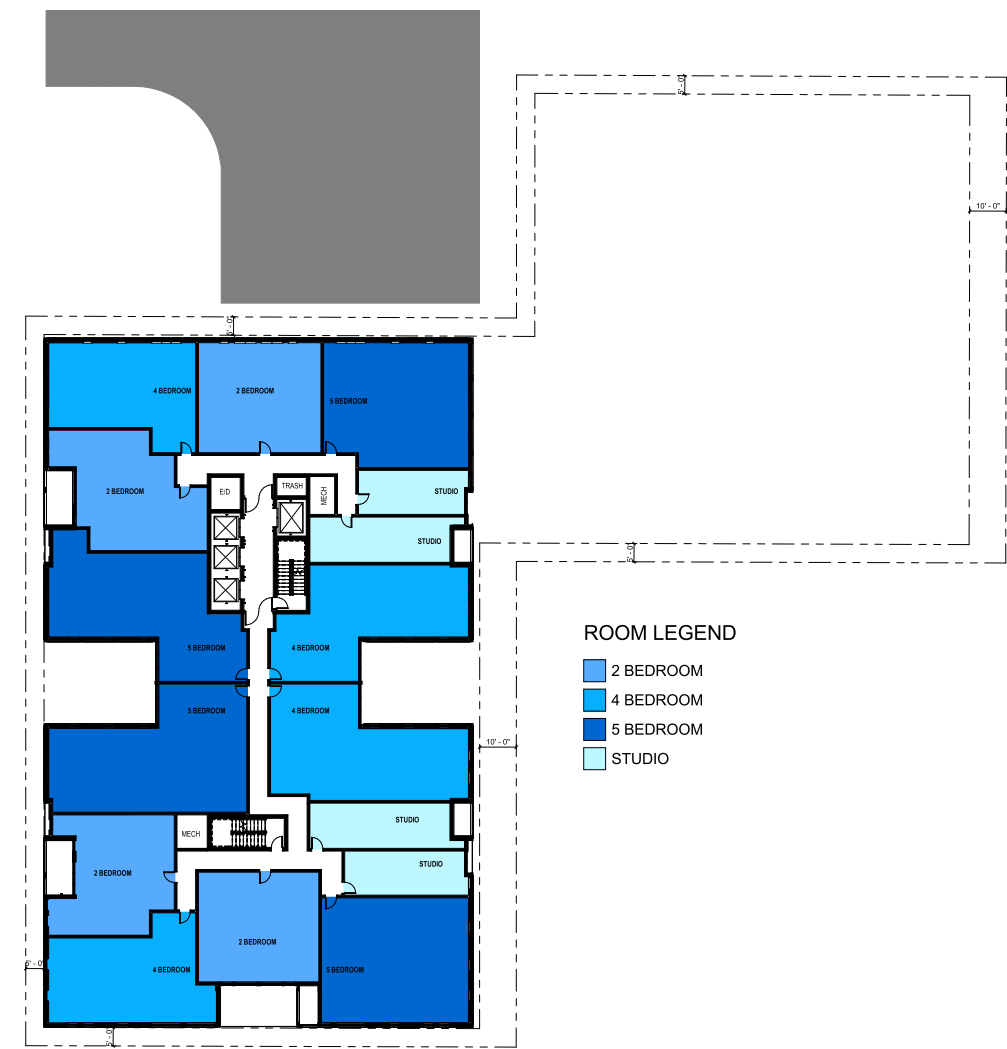
FLOOR PLAN - 3RD-6TH



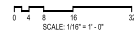
FLOOR PLAN - 7TH



FLOOR PLAN - 8TH-12TH



8TH - 12TH FLOOR PLAN
1/16" = 1'-0"
SCALE: 1/16" = 1'-0"
NORTH

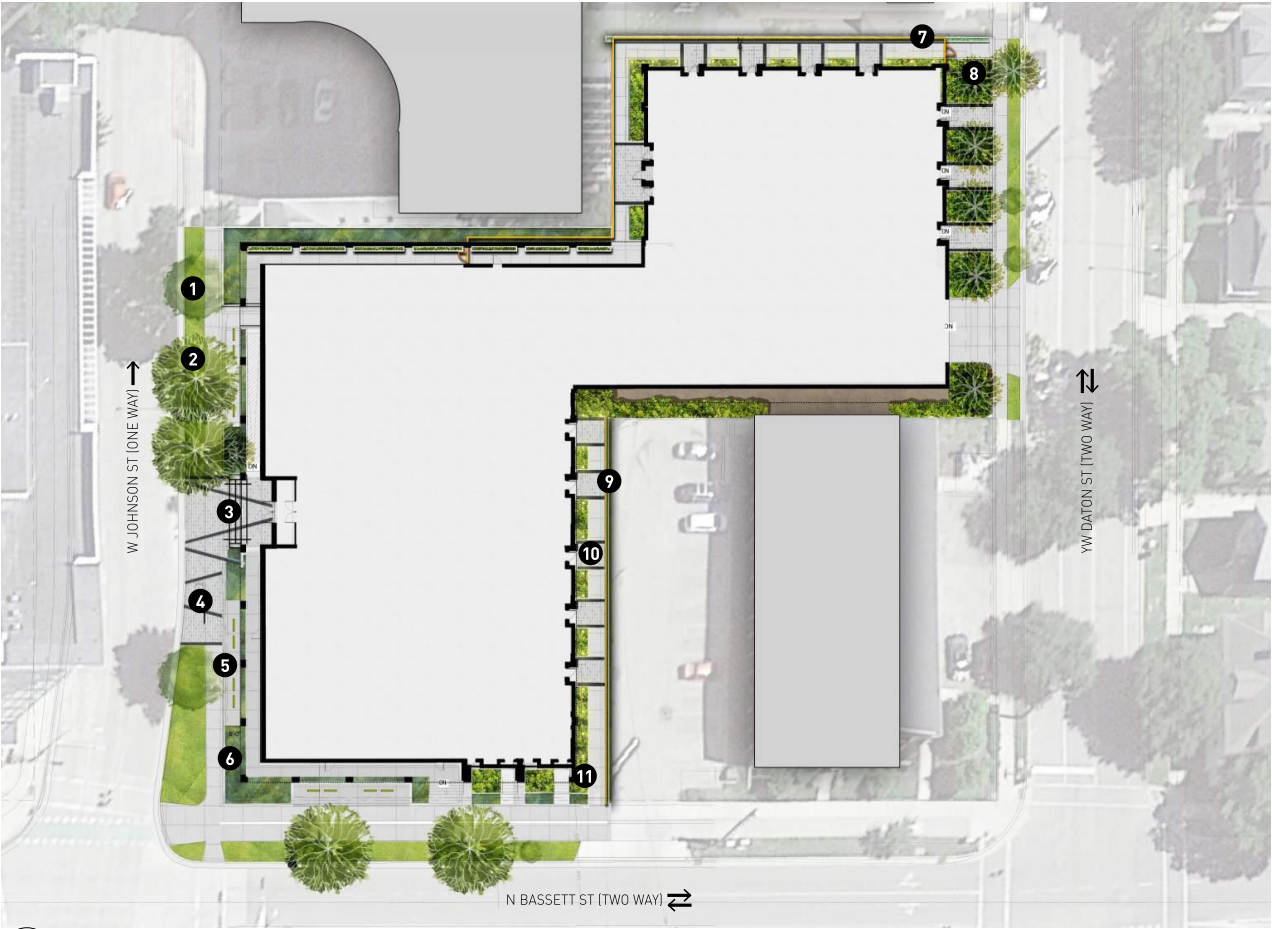


LANDSCAPE CONCEPT



888 south michigan avenue
suite 1000 chicago, illinois 60605
tel 312.427.7240 fax 312.427.7241
www.site-design.com

CORE SPACES JOHNSON AND BASSETT, MADISON , WISCONSIN
Schematic Design, Project Number: 9591
Feb 9th, 2023



LEGEND:

- 1 PARKWAY W/ EXISTING TREE
- 2 PROPOSED SHADE TREE
- 3 ENTRY PLAZA W/ SPECIALTY PAVER
- 4 BENCH
- 5 BIKE RACKS
- 6 RAISED PLANTERS
- 7 PLANTER ALONG BUILDING FACADE
- 8 PROPOSED ORNAMENTAL TREE
- 9 LANDSCAPE SCREENING
- 10 PRIVATE ENTRY
- 11 LANDSCAPE LIGHTING

0'-0" 20'-0" 40'-0" 80'-0"



1 CONCEPT 1 A- PLAN
SCALE: 1" = 30'-0"

LANDSCAPE CONCEPT PRECEDENTS

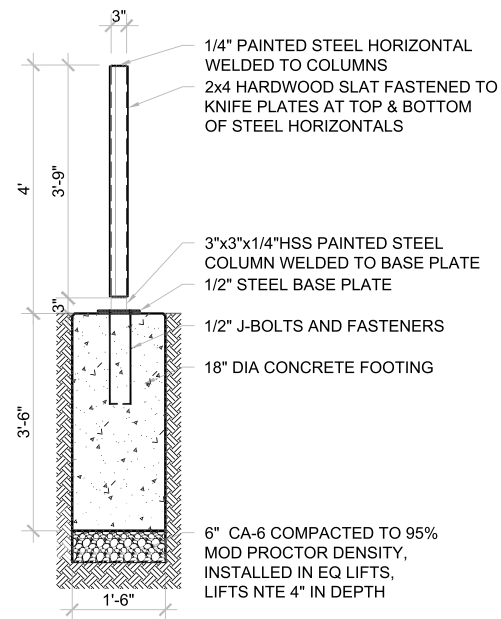
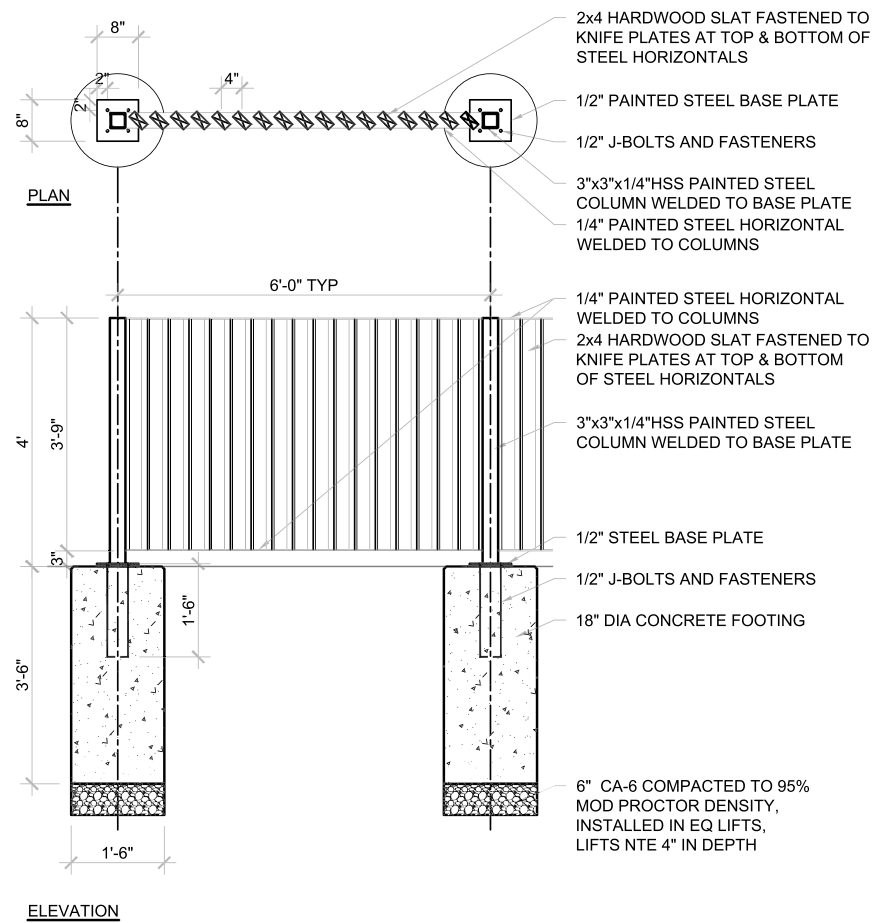


888 south michigan avenue
suite 1000 chicago, illinois 60605
tel 312.427.7240 fax 312.427.7241
www.site-design.com

CORE SPACES JOHNSON AND BASSETT, MADISON , WISCONSIN
Schematic Design, Project Number: 9591
Feb 9th, 2023



LANDSCAPE CONCEPT - FENCE DETAIL



3 **4'H VERTICAL WOOD SLAT FENCE**
1/2" = 1'-0"

4 **4'H VERTICAL WOOD SLAT FENCE POST DETAIL**
1/2" = 1'-0"

LANDSCAPE CONCEPT - ISOMETRIC ROOFTOP RENDERINGS

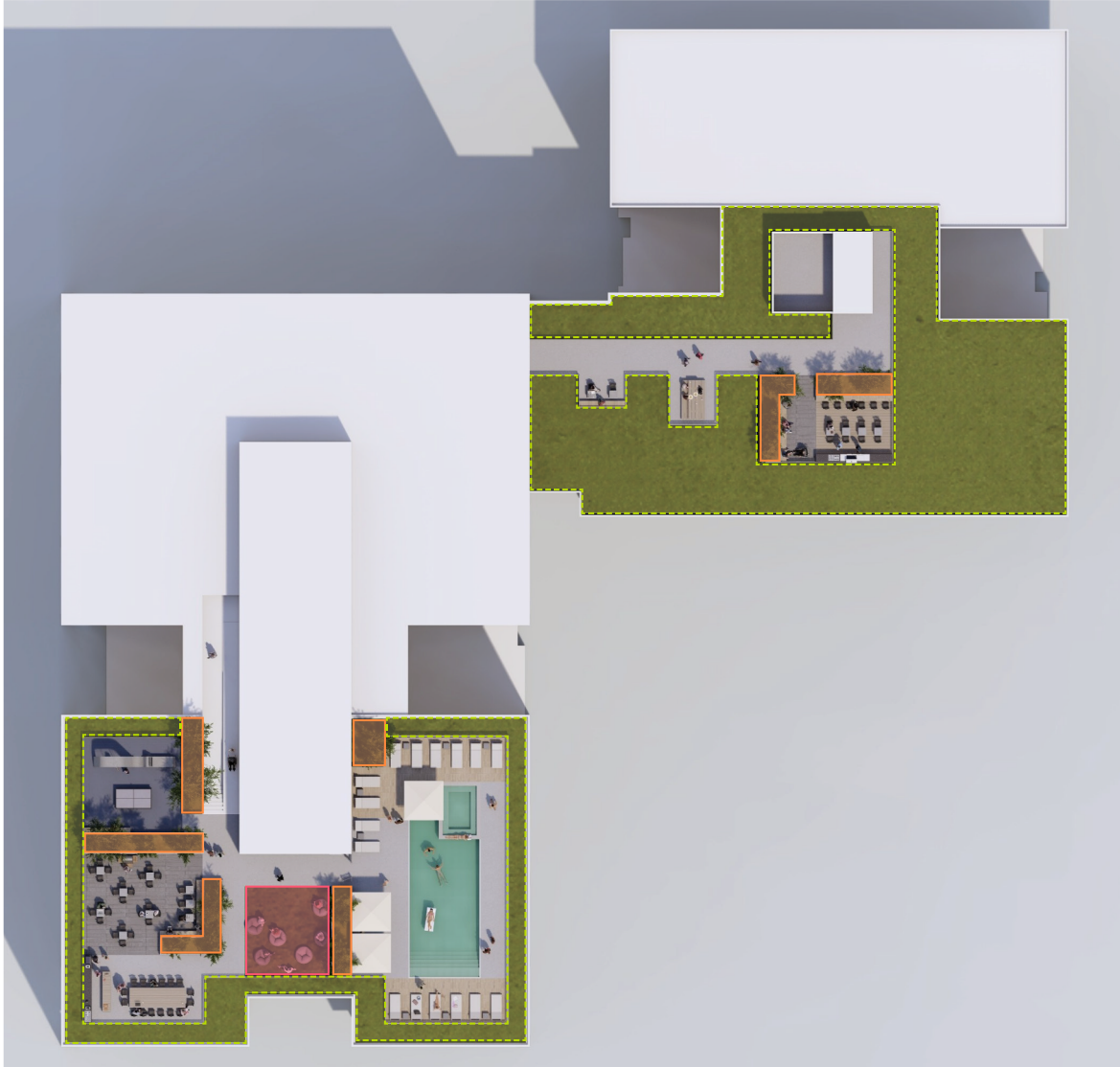


12 STORY ROOF



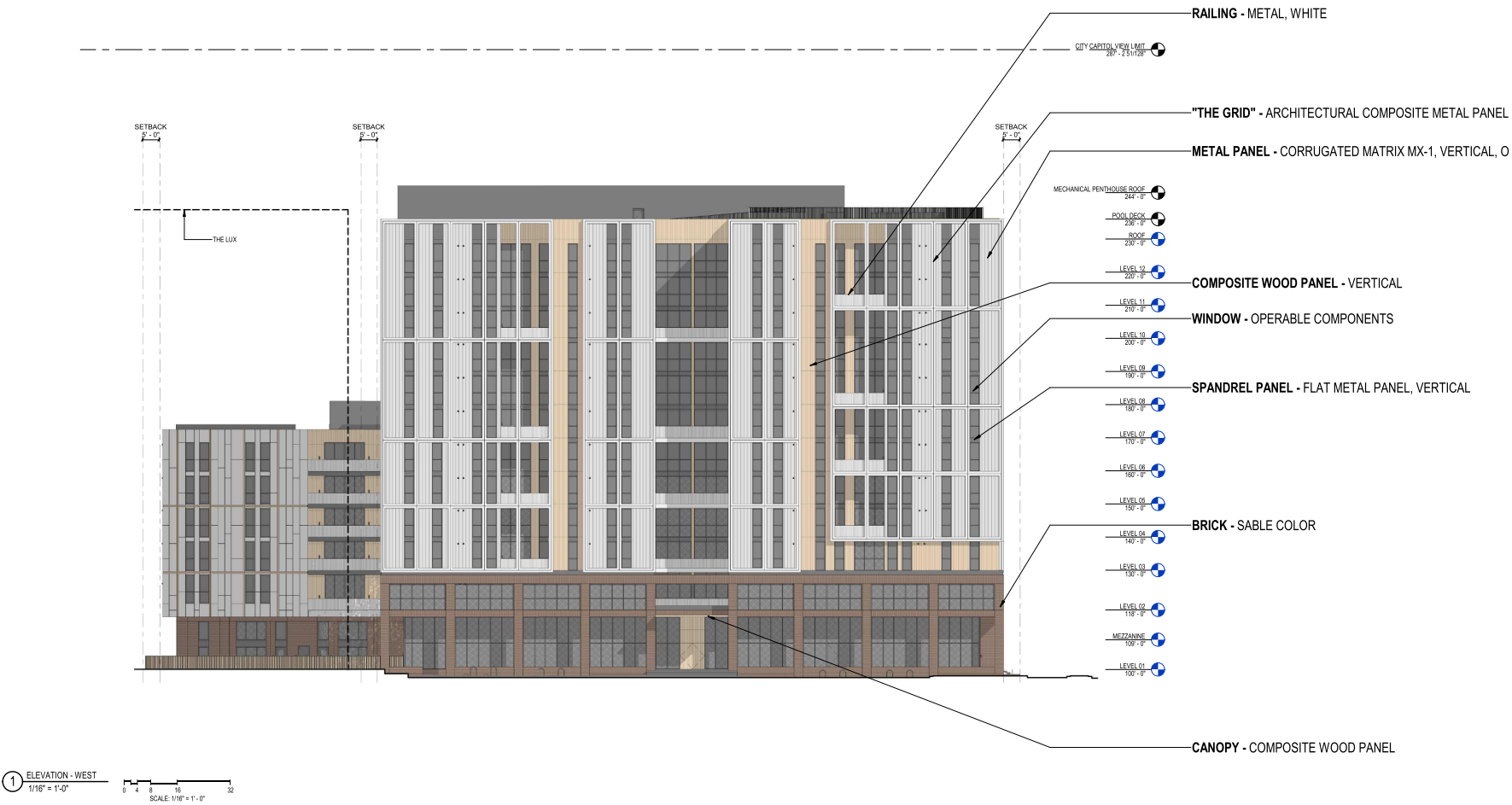
6 STORY ROOF

LANDSCAPE CONCEPT - ROOFTOP LANDSCAPE PLAN

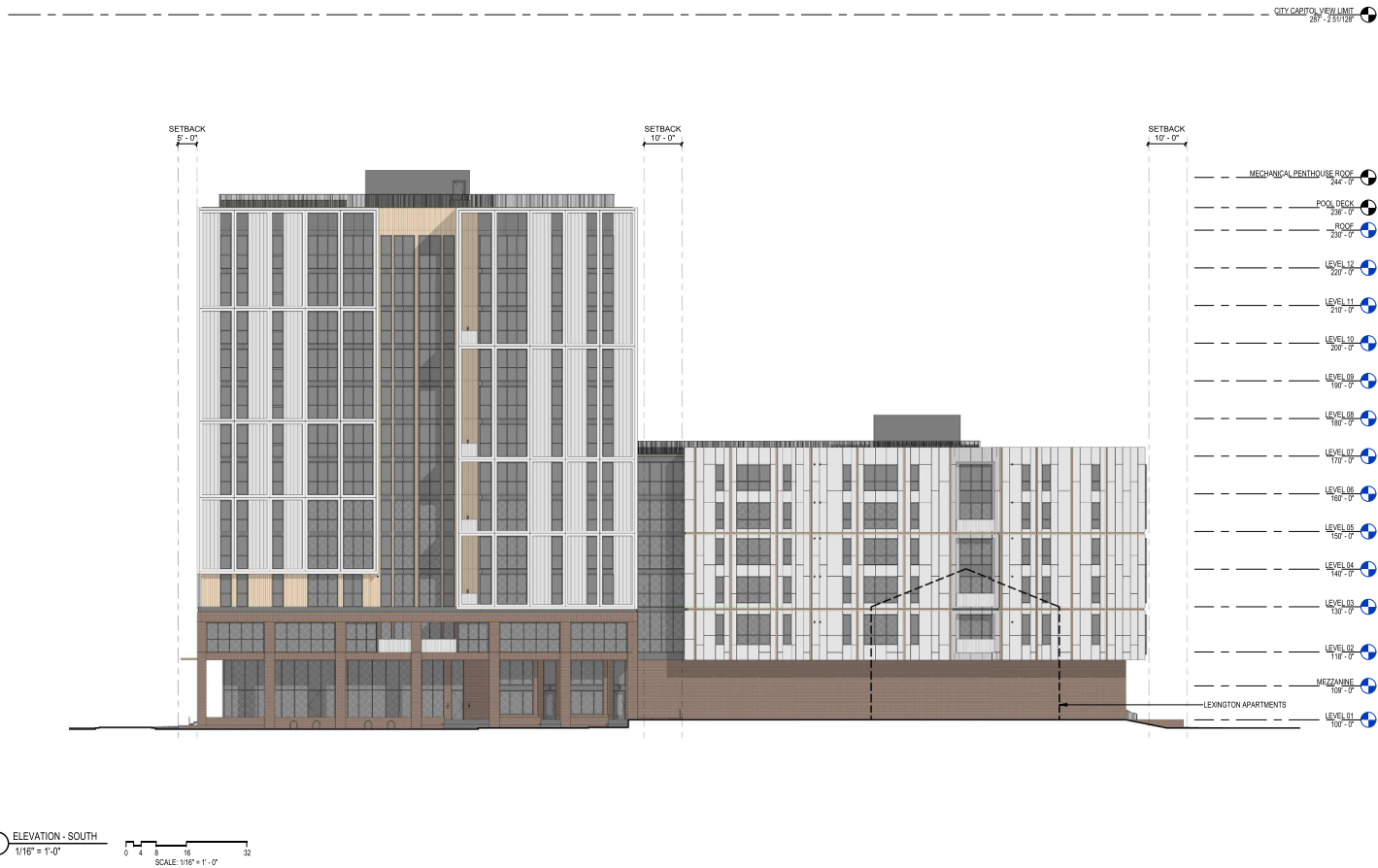


PLANT PALETTE - ROOF LEVELS				
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT
RAISED PLANTERS				
UNDERSTORY TREES				
		<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	cont
		<i>Cercis canadensis</i>	Eastern Redbud	cont
		<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	cont
DECIDUOUS SHRUBS				
		<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Chokeberry	cont
		<i>Ceanothus americanus</i>	New Jersey Tea	cont
		<i>Cornus sericea</i> 'Bergeson Compact'	Bergeson Compact Redosier Dogwood	cont
		<i>Diervilla lonicera</i>	Dwarf Bush-honeysuckle	cont
		<i>Hypericum kalmianum</i> 'Ames'	Ames St. Johnswort	cont
		<i>Rhus aromatica</i> 'Gro-Low'	Grow Low Fragrant Sumac	cont
		<i>Rosa rugosa</i> 'Meitozaure'	Raspberry Rugostar Rose	cont
EVERGREEN SHRUBS				
		<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Mugo Pine	cont
ORNAMENTAL GRASSES, PERENNIALS, & GROUNDCOVERS				
		<i>Heuchera</i> 'Autumn Bride'	Autumn Bride Heuchera	cont
		<i>Pycnanthemum virginianum</i>	Mountain Mint	plug
		<i>Schizachyrium scoparium</i>	Little Bluestem	plug
		<i>Sporobolus heterolepis</i>	Prairie Dropseed	plug
ARTIFICIAL TURF				
GREEN ROOF 6" MEDIA DEPTH				
ORNAMENTAL GRASSES, PERENNIALS, & GROUNDCOVERS				
		<i>Agastache</i> 'Blue Fortune'	Blue Fortune Anise Hyssop	plug
		<i>Allium cernuum</i>	Nodding Onion	plug
		<i>Allium schoenoprasum</i> 'Forescate'	Forescate Chives	plug
		<i>Asclepias syriaca</i>	Common Milkweed	plug
		<i>Asclepias tuberosa</i>	Butterfly Weed	plug
		<i>Baptisia australis</i>	Blue False Indigo	cont
		<i>Coreopsis lanceolata</i>	Lance-leaved Coreopsis	seed
		<i>Coreopsis tinctoria</i>	Plains Coreopsis	seed
		<i>Dalea candida</i>	White Prairie Clover	seed
		<i>Dalea purpurea</i>	Purple Prairie Clover	plug
		<i>Echinacea pallida</i>	Pale Coneflower	plug
		<i>Echinacea purpurea</i>	Purple Coneflower	seed
		<i>Eryngium yuccifolium</i>	Rattlesnake Master	plug
		<i>Eupatorium perfoliatum</i>	Common Boneset	seed
		<i>Helopsis helianthoides</i>	Early Sunflower	seed
		<i>Heuchera</i> 'Autumn Bride'	Autumn Bride Heuchera	cont
		<i>Liatris spicata</i>	Dense Blazing Star	plug
		<i>Monarda fistulosa</i>	Wild Bergamot	plug
		<i>Monarda punctata</i>	Horse Mint	plug
		<i>Panicum virgatum</i>	Switchgrass	seed
		<i>Penstemon digitalis</i>	Foxglove Beardtongue	plug
		<i>Pycnanthemum virginianum</i>	Mountain Mint	plug
		<i>Ratibida pinnata</i>	Yellow Coneflower	seed
		<i>Rudbeckia hirta</i>	Black-eyed Susan	seed
		<i>Ruellia humilis</i>	Wild Petunia	plug
		<i>Schizachyrium scoparium</i>	Little Bluestem	plug
		<i>Solidago canadensis</i>	Canada Goldenrod	seed
		<i>Sporobolus heterolepis</i>	Prairie Dropseed	plug
		<i>Symphotrichum ericoides</i>	Heath Aster	seed
		<i>Symphotrichum laeve</i>	Smooth Blue Aster	seed
		<i>Symphotrichum novae-angliae</i>	New England Aster	seed
		<i>Symphotrichum oolentangense</i>	Sky Blue Aster	seed
		<i>Verbena hastata</i>	Blue Vervain	seed
BULBS				
		<i>Allium sphaerocephalon</i>	Drumstick Allium	bulb
		<i>Crocus</i> 'Hokus Crocus' MIX	Hokus Crocus Crocus Mix	bulb
		<i>Narcissus</i> 'Gold Shoulder' MIX	Gold Shoulder Daffodil Mix	bulb

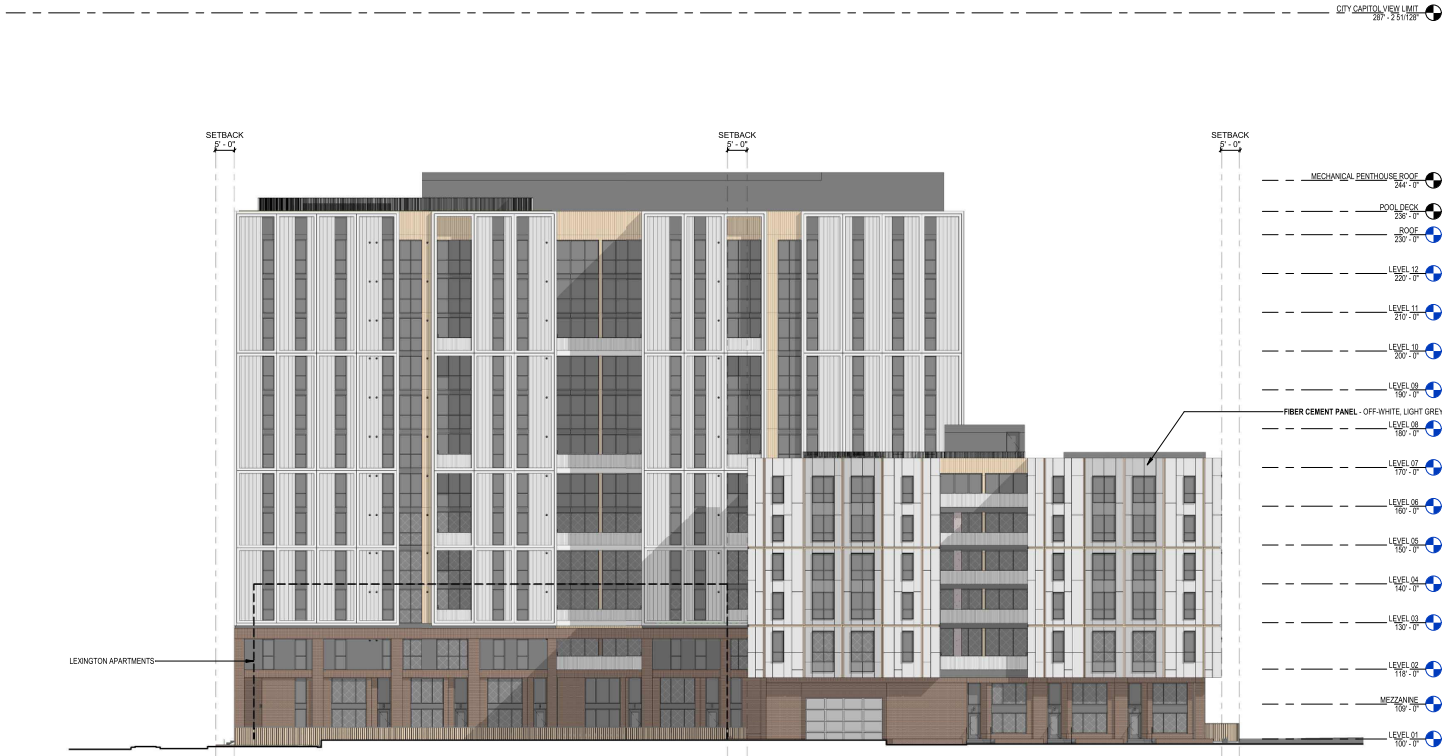
ELEVATION - NW / JOHNSON STREET



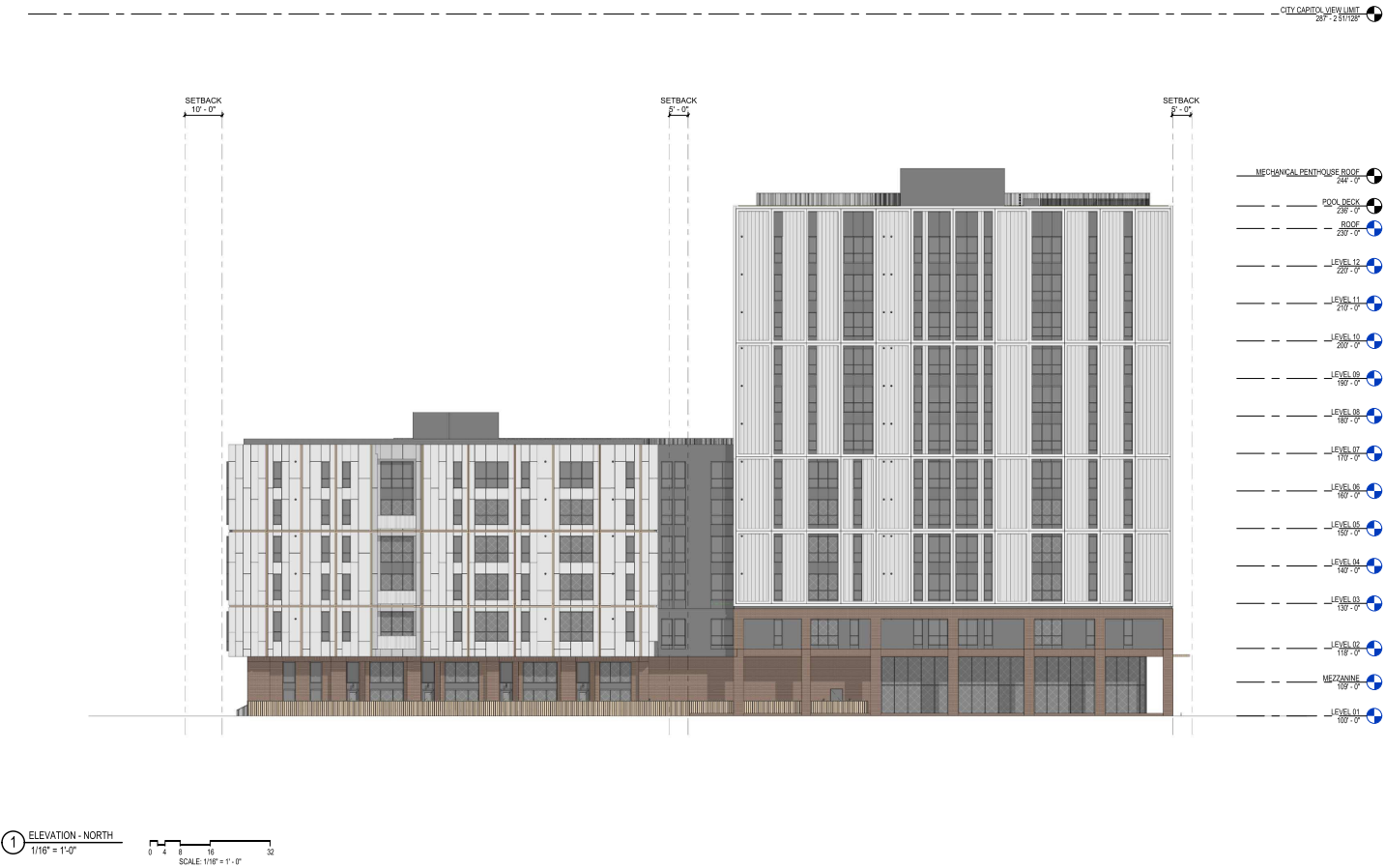
ELEVATION - SW / BASSETT STREET



ELEVATION - SE / DAYTON STREET



ELEVATION - NE



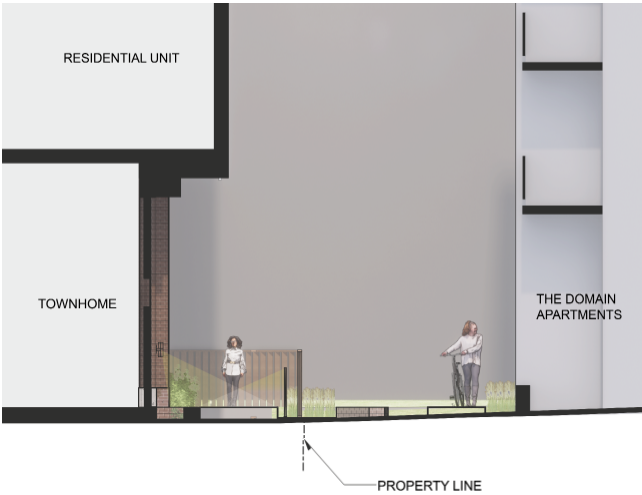
ENLARGED TOWNHOME ELEVATIONS AND SECTIONS



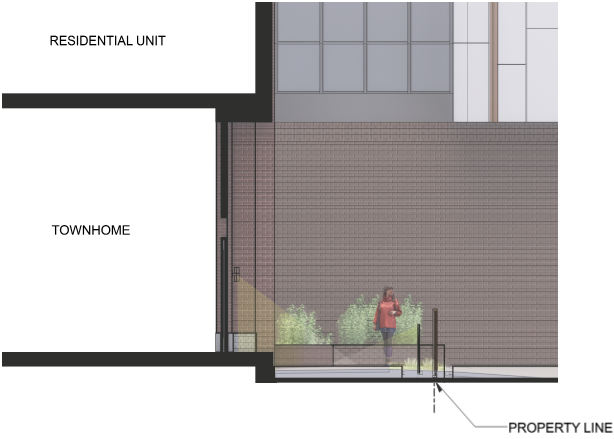
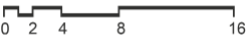
TOWNHOME ELEVATION - AT DOMAIN PROPERTY LINE



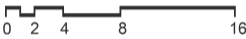
TOWNHOME ELEVATION - AT LEXINGTON PROPERTY LINE



SECTION A - AT DOMAIN PROPERTY LINE



SECTION B - AT LEXINGTON PROPERTY LINE



BIRD-SAFE GLASS REQUIREMENTS:
FIRST 8' OF 8 STORY WEST FACADE IS COMPRISED OF 31% GLASS
80% OF GLASS ON GLASS AREAS EXCEEDING 50 SF IN THIS ZONE TO BE BIRD-SAFE (GLASS 02)

BIRD-SAFE GLASS REQUIREMENTS:
FIRST 60" OF 12 STORY WEST FACADE IS COMPRISED OF 31% GLASS
80% OF GLASS IN THIS ZONE TO BE BIRD-SAFE (GLASS 02)

CONDENSERS SCREENED BY PARAPET

SCREENED BY METAL PANEL SCREEN
FIBER CEMENT PANEL 01

WOOD FENCE

NO CHANGE TO EXISTING GRACE

DOWNLIGHTING IN OVERHANG, HEX-A

CANOPY
COMPOSITE WOOD 01
BALCONY SCREENING 01
GLASS 02

INTEGRATED CANOPY DOWNLIGHTING, HEX-A

SKOONES AT ALL BALCONIES
LOCATED ON RISE WALL, HEX-C

RAILING
OWNER VENT

LEVEL 01
200'-0"

LEVEL 02
200'-0"

LEVEL 03
200'-0"

LEVEL 04
200'-0"

LEVEL 05
200'-0"

LEVEL 06
200'-0"

LEVEL 07
200'-0"

LEVEL 08
200'-0"

LEVEL 09
200'-0"

LEVEL 10
200'-0"

LEVEL 11
200'-0"

LEVEL 12
200'-0"

LEVEL 13
200'-0"

LEVEL 14
200'-0"

LEVEL 15
200'-0"

LEVEL 16
200'-0"

LEVEL 17
200'-0"

LEVEL 18
200'-0"

LEVEL 19
200'-0"

LEVEL 20
200'-0"

LEVEL 21
200'-0"

LEVEL 22
200'-0"

LEVEL 23
200'-0"

LEVEL 24
200'-0"

LEVEL 25
200'-0"

LEVEL 26
200'-0"

LEVEL 27
200'-0"

LEVEL 28
200'-0"

LEVEL 29
200'-0"

LEVEL 30
200'-0"

LEVEL 31
200'-0"

LEVEL 32
200'-0"

LEVEL 33
200'-0"

LEVEL 34
200'-0"

LEVEL 35
200'-0"

LEVEL 36
200'-0"

LEVEL 37
200'-0"

LEVEL 38
200'-0"

LEVEL 39
200'-0"

LEVEL 40
200'-0"

LEVEL 41
200'-0"

LEVEL 42
200'-0"

LEVEL 43
200'-0"

LEVEL 44
200'-0"

LEVEL 45
200'-0"

LEVEL 46
200'-0"

LEVEL 47
200'-0"

LEVEL 48
200'-0"

LEVEL 49
200'-0"

LEVEL 50
200'-0"

LEVEL 51
200'-0"

LEVEL 52
200'-0"

LEVEL 53
200'-0"

LEVEL 54
200'-0"

LEVEL 55
200'-0"

LEVEL 56
200'-0"

LEVEL 57
200'-0"

LEVEL 58
200'-0"

LEVEL 59
200'-0"

LEVEL 60
200'-0"

LEVEL 61
200'-0"

LEVEL 62
200'-0"

LEVEL 63
200'-0"

LEVEL 64
200'-0"

LEVEL 65
200'-0"

LEVEL 66
200'-0"

LEVEL 67
200'-0"

LEVEL 68
200'-0"

LEVEL 69
200'-0"

LEVEL 70
200'-0"

LEVEL 71
200'-0"

LEVEL 72
200'-0"

LEVEL 73
200'-0"

LEVEL 74
200'-0"

LEVEL 75
200'-0"

LEVEL 76
200'-0"

LEVEL 77
200'-0"

LEVEL 78
200'-0"

LEVEL 79
200'-0"

LEVEL 80
200'-0"

LEVEL 81
200'-0"

LEVEL 82
200'-0"

LEVEL 83
200'-0"

LEVEL 84
200'-0"

LEVEL 85
200'-0"

LEVEL 86
200'-0"

LEVEL 87
200'-0"

LEVEL 88
200'-0"

LEVEL 89
200'-0"

LEVEL 90
200'-0"

LEVEL 91
200'-0"

LEVEL 92
200'-0"

LEVEL 93
200'-0"

LEVEL 94
200'-0"

LEVEL 95
200'-0"

LEVEL 96
200'-0"

LEVEL 97
200'-0"

LEVEL 98
200'-0"

LEVEL 99
200'-0"

LEVEL 100
200'-0"

LEVEL 101
200'-0"

LEVEL 102
200'-0"

LEVEL 103
200'-0"

LEVEL 104
200'-0"

LEVEL 105
200'-0"

LEVEL 106
200'-0"

LEVEL 107
200'-0"

LEVEL 108
200'-0"

LEVEL 109
200'-0"

LEVEL 110
200'-0"

LEVEL 111
200'-0"

LEVEL 112
200'-0"

LEVEL 113
200'-0"

LEVEL 114
200'-0"

LEVEL 115
200'-0"

LEVEL 116
200'-0"

LEVEL 117
200'-0"

LEVEL 118
200'-0"

LEVEL 119
200'-0"

LEVEL 120
200'-0"

LEVEL 121
200'-0"

LEVEL 122
200'-0"

LEVEL 123
200'-0"

LEVEL 124
200'-0"

LEVEL 125
200'-0"

LEVEL 126
200'-0"

LEVEL 127
200'-0"

LEVEL 128
200'-0"

LEVEL 129
200'-0"

LEVEL 130
200'-0"

LEVEL 131
200'-0"

LEVEL 132
200'-0"

LEVEL 133
200'-0"

LEVEL 134
200'-0"

LEVEL 135
200'-0"

LEVEL 136
200'-0"

LEVEL 137
200'-0"

LEVEL 138
200'-0"

LEVEL 139
200'-0"

LEVEL 140
200'-0"

LEVEL 141
200'-0"

LEVEL 142
200'-0"

LEVEL 143
200'-0"

LEVEL 144
200'-0"

LEVEL 145
200'-0"

LEVEL 146
200'-0"

LEVEL 147
200'-0"

LEVEL 148
200'-0"

LEVEL 149
200'-0"

LEVEL 150
200'-0"

LEVEL 151
200'-0"

LEVEL 152
200'-0"

LEVEL 153
200'-0"

LEVEL 154
200'-0"

LEVEL 155
200'-0"

LEVEL 156
200'-0"

LEVEL 157
200'-0"

LEVEL 158
200'-0"

LEVEL 159
200'-0"

LEVEL 160
200'-0"

LEVEL 161
200'-0"

LEVEL 162
200'-0"

LEVEL 163
200'-0"

LEVEL 164
200'-0"

LEVEL 165
200'-0"

LEVEL 166
200'-0"

LEVEL 167
200'-0"

LEVEL 168
200'-0"

LEVEL 169
200'-0"

LEVEL 170
200'-0"

LEVEL 171
200'-0"

LEVEL 172
200'-0"

LEVEL 173
200'-0"

LEVEL 174
200'-0"

LEVEL 175
200'-0"

LEVEL 176
200'-0"

LEVEL 177
200'-0"

LEVEL 178
200'-0"

LEVEL 179
200'-0"

LEVEL 180
200'-0"

LEVEL 181
200'-0"

LEVEL 182
200'-0"

LEVEL 183
200'-0"

LEVEL 184
200'-0"

LEVEL 185
200'-0"

LEVEL 186
200'-0"

LEVEL 187
200'-0"

LEVEL 188
200'-0"

LEVEL 189
200'-0"

LEVEL 190
200'-0"

LEVEL 191
200'-0"

LEVEL 192
200'-0"

LEVEL 193
200'-0"

LEVEL 194
200'-0"

LEVEL 195
200'-0"

LEVEL 196
200'-0"

LEVEL 197
200'-0"

LEVEL 198
200'-0"

LEVEL 199
200'-0"

LEVEL 200
200'-0"

LEVEL 201
200'-0"

LEVEL 202
200'-0"

LEVEL 203
200'-0"

LEVEL 204
200'-0"

LEVEL 205
200'-0"

LEVEL 206
200'-0"

LEVEL 207
200'-0"

LEVEL 208
200'-0"

LEVEL 209
200'-0"

LEVEL 210
200'-0"

LEVEL 211
200'-0"

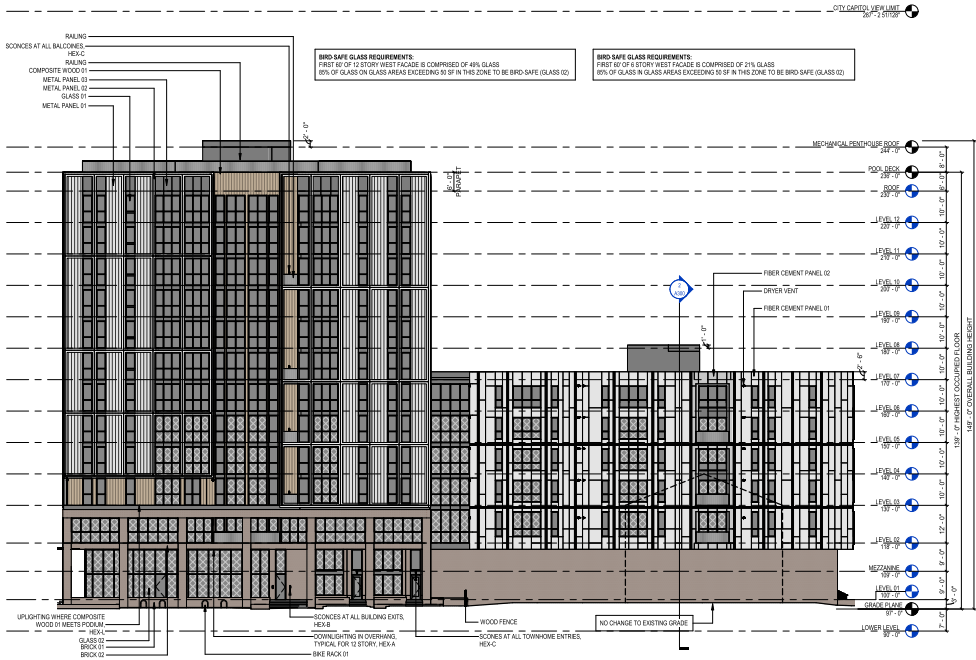
LEVEL 212
200'-0"

LEVEL 213
200'-0"

LEVEL 214
200'-0"

LEVEL 215

KEYNOTES	
BIKE RACK 01	SINGLE U-SHAPE METAL BIKE RACK. REFER TO LANDSCAPE DRAWINGS FOR DETAILS.
BRICK 01	MODULAR CONCRETE BRICK, DRAINING BOND, BASED OF DESIGN COUNTY MATERIALS HERITAGE COLLECTION, BRICK COLOR: GREY, MORTAR COLOR: LIGHT GRAY.
BRICK 02	MODULAR CONCRETE BRICK, SOLID COURSE, BASED OF DESIGN COUNTY MATERIALS HERITAGE COLLECTION, BRICK COLOR: SABLE, MORTAR COLOR: LIGHT GRAY.
COMPOSITE WOOD 01	COMPOSITE WOOD SONG & 1/2" VERTICAL PANELS BASED OF DESIGN NEWTOWN WOOD TONGUE AND GROOVE 0200, COLOR: JAPANESE CEDAR.
GRITER VENT	GRITER VENT, CUSTOM PANEL TO MATCH COLOR OF SURROUNDING MATERIAL.
FIBER CEMENT PANEL 01	FIBER CEMENT PANEL, 625 VARIET METAL REVEAL, THIN BASED OF DESIGN HARDE ARCHITECTURAL COLLECTION FINE SAGE PANEL, COLOR: ARCTIC WHITE.
FIBER CEMENT PANEL 02	FIBER CEMENT PANEL, 625 VARIET METAL REVEAL, THIN BASED OF DESIGN HARDE ARCHITECTURAL COLLECTION FINE SAGE PANEL, COLOR: LIGHT GRAY.
GLASS 01	INSULATED GLASS, 1" CLEAR.
GLASS 02	INSULATED GLASS, 1" CLEAR, ETCHED OR APPLIED DOT PATTERN, 44" DIAMETER SPACER, 2" BY 2" DOT PATTERN TO BE APPLIED TO 80% OF GLASS AREA.
METAL PANEL 01	SINGLE SHIN METAL PANEL, 1/2" VERTICAL PANELS, BASED OF DESIGN DOWNSIDE METAL, COLOR: LIGHT GRAY.
METAL PANEL 02	ALUMINUM COMPOSITE METAL PANEL, CUSTOM BASED, BASED OF DESIGN ALPOLAR, COLOR: WHITE.
METAL PANEL 03	SINGLE SHIN METAL PANEL, 1/2" VERTICAL PANELS, BASED OF DESIGN DOWNSIDE METAL, COLOR: LIGHT GRAY.
RAILING	METAL PICKET RAILING, WHITE.
WOOD FENCE	WOOD FENCE, SQUARE WOOD POSTS, RECTANGULAR RAILING SLATS WITH RECTANGULAR TOP AND BOTTOM RAILS, FINISH TO MATCH COMPOSITE WOOD 01. REFER TO LANDSCAPE DRAWINGS.



Revisions

CITY OF MADISON LAND USE
APPLICATION

SCOPE DOCUMENTS

Drawing Date
3/16/2023

JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53703

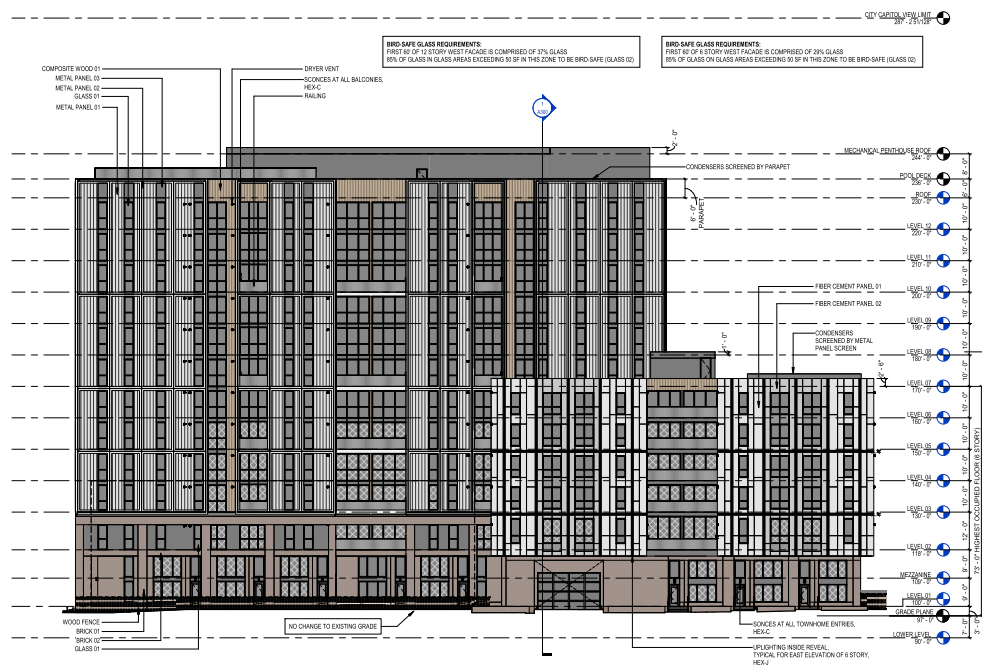
Project No. Core Madison Bassett,
222063.00 LLC
Sheet Title: 000123

EXTERIOR ELEVATION -
SOUTH

Copyright © 2021 Kahler Slater, Inc. All rights reserved.
795 N Water Street, Suite 1100, Milwaukee, Wisconsin 53202
Telephone 414.272.0001 Fax 414.272.0011
154 Shookoe Slip, Richmond, Virginia 23219
Telephone 804.797.2500
722 Wisconsin Street, Madison, Wisconsin 53703
Telephone 608.263.0300 Fax 608.263.0317
115 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4318
Sheet No.
A201

KEYNOTES

BRICK	MODULAR CONCRETE BLOCK, RAINING BOND, BASES OF DESIGN QUANTITY MATERIALS, HORIZONTAL COLLECTION, BRICK COLOR: SAGE, MORTAR COLOR: LIGHT GRAY
BRICK 2	MODULAR CONCRETE BLOCK, SOLDIER COURSE, BASES OF DESIGN QUANTITY MATERIALS, HORIZONTAL COLLECTION, BRICK COLOR: SAGE, MORTAR COLOR: LIGHT GRAY
COMPOSITE MATERIAL	COMPOSITE MATERIAL, BASES OF DESIGN QUANTITY MATERIALS, HORIZONTAL COLLECTION, BRICK COLOR: SAGE, MORTAR COLOR: LIGHT GRAY
CONCRETE	CONCRETE, BASES OF DESIGN QUANTITY MATERIALS, HORIZONTAL COLLECTION, BRICK COLOR: SAGE, MORTAR COLOR: LIGHT GRAY
CONCRETE 2	CONCRETE, CUSTOM FINISH TO MATCH COLOR OF SURROUNDING MATERIAL
CONCRETE 3	CONCRETE, CUSTOM FINISH TO MATCH COLOR OF SURROUNDING MATERIAL
FLYER CEMENT PANEL 1	FLYER CEMENT PANEL, SIZE: WALL PANEL, BASES OF DESIGN QUANTITY MATERIALS, ARCHITECTURAL COLLECTION, SAGE/SPRINKLE, COLOR: LIGHT GRAY
FLYER CEMENT PANEL 2	FLYER CEMENT PANEL, SIZE: WALL PANEL, BASES OF DESIGN QUANTITY MATERIALS, ARCHITECTURAL COLLECTION, SAGE/SPRINKLE, COLOR: LIGHT GRAY
METAL PANEL 1	BRASS, SINGLE PANEL, 12" VERTICAL PANEL, BASES OF DESIGN QUANTITY MATERIALS, ARCHITECTURAL COLLECTION, SAGE/SPRINKLE, COLOR: LIGHT GRAY
METAL PANEL 2	BRASS, SINGLE PANEL, 12" VERTICAL PANEL, BASES OF DESIGN QUANTITY MATERIALS, ARCHITECTURAL COLLECTION, SAGE/SPRINKLE, COLOR: LIGHT GRAY
METAL PANEL 3	BRASS, SINGLE PANEL, 12" VERTICAL PANEL, BASES OF DESIGN QUANTITY MATERIALS, ARCHITECTURAL COLLECTION, SAGE/SPRINKLE, COLOR: LIGHT GRAY
WOOD PANEL	WOOD PANEL, SQUARE WOOD PANEL, RECTANGULAR AND ANGLED SLATS WITH RECTANGULAR LATH AND BOTTOM RAILS, FINISH TO MATCH COMPOSITE WOOD 02, REFER TO MOUNTING



Revisions

CITY OF MADISON LAND USE
APPLICATION

SCOPE DOCUMENTS

Drawing Date
3/16/2023

JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53703

Project No.	Cone Madison Bassett LLC
222063.00	000123

EXTERIOR ELEVATION
EAST

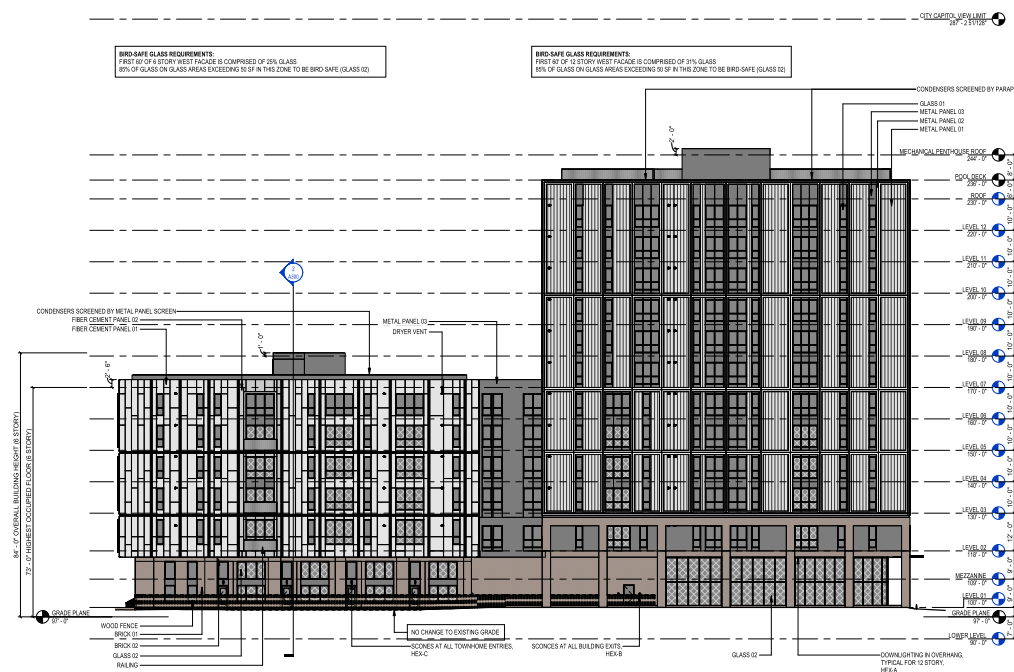
Copyright © 2021 Kahler Slater, Inc. All rights reserved.
750 N Water Street, Suite 1700, Milwaukee, WI 53201

104 Shockze Slip, Richmond, Virginia 23219
Telephone 804.767.2500

722 Williamson Street, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6317

Telephone 312.789.4516

A202

[illegible]

Revisions

CITY OF MADISON LAND USE
APPLICATION

SCOPE DOCUMENTS

Drawing Date:

3/16/2023

JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53703

Project No.	Core Madison Bassett, LLC
222063.00	000123

EXTERIOR ELEVATION
NORTH

Copyright © 2021 Kahler Slater, Inc. All rights reserved.
750 N Water Street, Suite 1700, Milwaukee, Wisconsin 53202
Telephone 414.272.2090 Fax 414.272.2091

104 Shocke Slip, Richmond, Virginia 23219
Telephone 804.767.2500

722 Williamson Street, Madison, Wisconsin 53703
Telephone 608.383.6300 Fax 608.785.0247

125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4195

Sheet No.
A203

PERSPECTIVE - JOHNSON & BASSETT



ELEVATION PERSPECTIVE - JOHNSON ST.



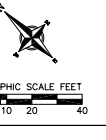
PERSPECTIVE - BASSETT ST.



PERSPECTIVE - DAYTON ST.



NOT FOR
CONSTRUCTION



CITY OF MADISON LAND USE
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
MARCH 13, 2023

JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53705

Project No.
222063.00

Sheet Title
EXISTING
CONDITIONS PLAN

Copyright © 2023 Kahler Slater, Inc. All rights reserved.
700 N Water Street, Suite 1700, Milwaukee, Wisconsin 53202
Telephone 414.272.0000 Fax 414.272.0001
104 Groveside, Elmhurst, Virginia 20119
Telephone 604.761.2000
722 W. Monroe Street, Madison, Wisconsin 53703
Telephone 608.262.0300 Fax 608.262.0301
125 South Park Street, Suite 675-1, Chicago, Illinois 60603
Telephone 312.789.4710
Sheet No.
C100

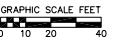
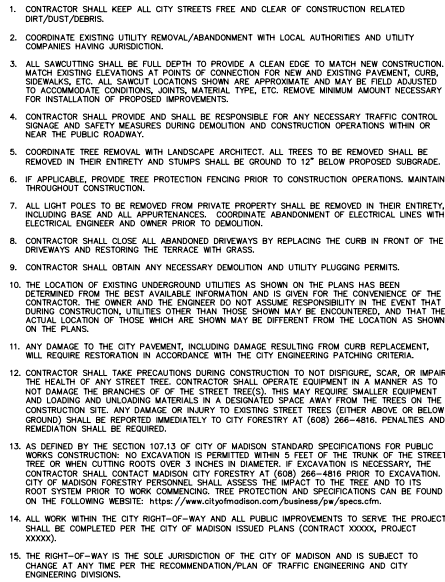
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
 - EXISTING POST
 - EXISTING SIGN (TYPE NOTED)
 - EXISTING PARKING METER
 - EXISTING CURB INLET
 - EXISTING ENDWALL
 - EXISTING FIELD INLET RECTANGULAR
 - EXISTING FIELD INLET
 - EXISTING ROOF DRAIN CLEANOUT
 - EXISTING ROOF DRAIN
 - EXISTING STORM MANHOLE
 - EXISTING STORM MANHOLE RECTANGULAR
 - EXISTING SANITARY CLEANOUT
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING FIRE DEPARTMENT CONNECTION
 - EXISTING WATER MAIN VALVE
 - EXISTING CURB STOP
 - EXISTING GAS VALVE
 - EXISTING GAS METER
 - EXISTING AIR CONDITIONING PEDESTAL
 - EXISTING DOWN GUY
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC RECTANGULAR MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING ELECTRIC METER
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING TV MANHOLE
 - EXISTING TV RECTANGULAR MANHOLE
 - EXISTING TV PEDESTAL
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNIDENTIFIED MANHOLE
 - EXISTING UNIDENTIFIED UTILITY VAULT
 - EXISTING HANDICAP PARKING
 - EXISTING TRAFFIC SIGNAL
 - EXISTING SHRUB
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
- TOPOGRAPHIC LINework LEGEND**
- EXISTING UNDERGROUND CABLE TV
 - EXISTING OVERHEAD CABLE TV
 - EXISTING FIBER OPTIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING RETAINING WALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING WROUGHT IRON FENCE WITH 2" SQ. POST
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD GENERAL UTILITIES
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING EDGE OF TREES
 - EXISTING WATER MAIN (SIZE NOTED)
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING EDGE OF PAVEMENT
 - EXISTING EDGE OF GRAVEL
 - EXISTING BLOCK PATIO
 - EXISTING GRAVEL SURFACE
 - EXISTING CONCRETE SURFACE
 - EXISTING ASPHALT SURFACE
- SURVEY LEGEND**
- FOUND CHISELED "X"
 - FOUND NAIL
 - FOUND 1" # IRON PIPE
 - FOUND 2" # IRON PIPE
 - FOUND P.K. NAIL
 - FOUND 1 1/4" # IRON ROD
 - FOUND 3/4" # IRON ROD
 - SET NAIL
 - SET P.K. NAIL

EXISTING SANITARY STRUCTURE TABLE				
NAME	TYPE	RIM	INVERT	DIRECTION
S1	SMH	857.41	849.11	NE
S2	SMH	855.16	847.27	NE
			847.11	SE
			847.65	SW
S3	SMH	854.80	844.50	NE
			844.52	SW
			845.62	NW
S4	SMH	854.25	844.70	NE
			844.92	SW
			844.98	NW
S5	SMH	854.58	845.85	NE
			845.86	SE
			846.69	NW
S6	SMH	855.42	849.81	NE
			849.73	SW
			850.46	NW
S7	SMH	857.18	850.38	NE-SW
			850.48	SE

EXISTING STORM STRUCTURE TABLE			
NAME	TYPE	RIM	DIRECTION
S11	FIN	856.36	
S12	FIN	856.54	
S13	FIN	856.46	
S14	FIN	856.55	
S15	STMH	857.31	851.56 NE-SW
S16	CIN	855.80	INACCESSIBLE
S17	STMH	854.10	849.22 NE-SE, SW
S18	CIN	854.12	850.37 SE-NW
S19	FIN	853.73	852.13 SW
S20	CIN	854.45	850.47 SE-NW
S21	STMH	854.43	850.84 CENTER
S22	STMH	855.10	851.30 NE-SW, NW
S23	FINR	855.27	853.07 SW
S24	CIN	855.43	852.03 NW
S25	STMH	855.16	851.53 BOTTOM
S26	FINR	855.50	853.29 NW
S27	STMH	857.75	852.52 NE-SW

- EASEMENT NOTES:**
- Right-of-way (R/W) side access easement, four feet (4') on either side of property line, per Document Numbers 444881, 854847 and 201085.
 - On lot (4') side access easement, four feet (4') on either side of property line, per Document Number 377330.
 - Right-of-way (R/W) side access easement, four feet (4') on either side of property line, per Document Number 444881.
 - Easement Agreement for Sanitary Lateral Maintenance per Document Number 222063.00. Lateral running from building at #432 to Dayton St. to building at #432 to Dayton St.

- NOTES:**
- This survey is based upon field survey work performed from November 30, December 10, 2022. Any changes to the existing site conditions are not reflected by this survey.
 - The existing property lines shown on this plan are based upon field measurements, survey of record and the recorded data.
 - This survey is referenced to the Wisconsin County Coordinate System-Data Zone, NAD 83.
 - All underground utilities have been located per markings placed on the ground or maps provided by the utility owners, and their horizontal relationships, depths and per the City of Madison's utility records (20220401/104, 20220401/105, 20220401/106, 20220401/107, 20220401/108, 20220401/109, 20220401/110, 20220401/111, 20220401/112, 20220401/113, 20220401/114, 20220401/115, 20220401/116, 20220401/117, 20220401/118, 20220401/119, 20220401/120, 20220401/121, 20220401/122, 20220401/123, 20220401/124, 20220401/125, 20220401/126, 20220401/127, 20220401/128, 20220401/129, 20220401/130, 20220401/131, 20220401/132, 20220401/133, 20220401/134, 20220401/135, 20220401/136, 20220401/137, 20220401/138, 20220401/139, 20220401/140, 20220401/141, 20220401/142, 20220401/143, 20220401/144, 20220401/145, 20220401/146, 20220401/147, 20220401/148, 20220401/149, 20220401/150, 20220401/151, 20220401/152, 20220401/153, 20220401/154, 20220401/155, 20220401/156, 20220401/157, 20220401/158, 20220401/159, 20220401/160, 20220401/161, 20220401/162, 20220401/163, 20220401/164, 20220401/165, 20220401/166, 20220401/167, 20220401/168, 20220401/169, 20220401/170, 20220401/171, 20220401/172, 20220401/173, 20220401/174, 20220401/175, 20220401/176, 20220401/177, 20220401/178, 20220401/179, 20220401/180, 20220401/181, 20220401/182, 20220401/183, 20220401/184, 20220401/185, 20220401/186, 20220401/187, 20220401/188, 20220401/189, 20220401/190, 20220401/191, 20220401/192, 20220401/193, 20220401/194, 20220401/195, 20220401/196, 20220401/197, 20220401/198, 20220401/199, 20220401/200, 20220401/201, 20220401/202, 20220401/203, 20220401/204, 20220401/205, 20220401/206, 20220401/207, 20220401/208, 20220401/209, 20220401/210, 20220401/211, 20220401/212, 20220401/213, 20220401/214, 20220401/215, 20220401/216, 20220401/217, 20220401/218, 20220401/219, 20220401/220, 20220401/221, 20220401/222, 20220401/223, 20220401/224, 20220401/225, 20220401/226, 20220401/227, 20220401/228, 20220401/229, 20220401/230, 20220401/231, 20220401/232, 20220401/233, 20220401/234, 20220401/235, 20220401/236, 20220401/237, 20220401/238, 20220401/239, 20220401/240, 20220401/241, 20220401/242, 20220401/243, 20220401/244, 20220401/245, 20220401/246, 20220401/247, 20220401/248, 20220401/249, 20220401/250, 20220401/251, 20220401/252, 20220401/253, 20220401/254, 20220401/255, 20220401/256, 20220401/257, 20220401/258, 20220401/259, 20220401/260, 20220401/261, 20220401/262, 20220401/263, 20220401/264, 20220401/265, 20220401/266, 20220401/267, 20220401/268, 20220401/269, 20220401/270, 20220401/271, 20220401/272, 20220401/273, 20220401/274, 20220401/275, 20220401/276, 20220401/277, 20220401/278, 20220401/279, 20220401/280, 20220401/281, 20220401/282, 20220401/283, 20220401/284, 20220401/285, 20220401/286, 20220401/287, 20220401/288, 20220401/289, 20220401/290, 20220401/291, 20220401/292, 20220401/293, 20220401/294, 20220401/295, 20220401/296, 20220401/297, 20220401/298, 20220401/299, 20220401/300, 20220401/301, 20220401/302, 20220401/303, 20220401/304, 20220401/305, 20220401/306, 20220401/307, 20220401/308, 20220401/309, 20220401/310, 20220401/311, 20220401/312, 20220401/313, 20220401/314, 20220401/315, 20220401/316, 20220401/317, 20220401/318, 20220401/319, 20220401/320, 20220401/321, 20220401/322, 20220401/323, 20220401/324, 20220401/325, 20220401/326, 20220401/327, 20220401/328, 20220401/329, 20220401/330, 20220401/331, 20220401/332, 20220401/333, 20220401/334, 20220401/335, 20220401/336, 20220401/337, 20220401/338, 20220401/339, 20220401/340, 20220401/341, 20220401/342, 20220401/343, 20220401/344, 20220401/345, 20220401/346, 20220401/347, 20220401/348, 20220401/349, 20220401/350, 20220401/351, 20220401/352, 20220401/353, 20220401/354, 20220401/355, 20220401/356, 20220401/357, 20220401/358, 20220401/359, 20220401/360, 20220401/361, 20220401/362, 20220401/363, 20220401/364, 20220401/365, 20220401/366, 20220401/367, 20220401/368, 20220401/369, 20220401/370, 20220401/371, 20220401/372, 20220401/373, 20220401/374, 20220401/375, 20220401/376, 20220401/377, 20220401/378, 20220401/379, 20220401/380, 20220401/381, 20220401/382, 20220401/383, 20220401/384, 20220401/385, 20220401/386, 20220401/387, 20220401/388, 20220401/389, 20220401/390, 20220401/391, 20220401/392, 20220401/393, 20220401/394, 20220401/395, 20220401/396, 20220401/397, 20220401/398, 20220401/399, 20220401/400, 20220401/401, 20220401/402, 20220401/403, 20220401/404, 20220401/405, 20220401/406, 20220401/407, 20220401/408, 20220401/409, 20220401/410, 20220401/411, 20220401/412, 20220401/413, 20220401/414, 20220401/415, 20220401/416, 20220401/417, 20220401/418, 20220401/419, 20220401/420, 20220401/421, 20220401/422, 20220401/423, 20220401/424, 20220401/425, 20220401/426, 20220401/427, 20220401/428, 20220401/429, 20220401/430, 20220401/431, 20220401/432, 20220401/433, 20220401/434, 20220401/435, 20220401/436, 20220401/437, 20220401/438, 20220401/439, 20220401/440, 20220401/441, 20220401/442, 20220401/443, 20220401/444, 20220401/445, 20220401/446, 20220401/447, 20220401/448, 20220401/449, 20220401/450, 20220401/451, 20220401/452, 20220401/453, 20220401/454, 20220401/455, 20220401/456, 20220401/457, 20220401/458, 20220401/459, 20220401/460, 20220401/461, 20220401/462, 20220401/463, 20220401/464, 20220401/465, 20220401/466, 20220401/467, 20220401/468, 20220401/469, 20220401/470, 20220401/471, 20220401/472, 20220401/473, 20220401/474, 20220401/475, 20220401/476, 20220401/477, 20220401/478, 20220401/479, 20220401/480, 20220401/481, 20220401/482, 20220401/483, 20220401/484, 20220401/485, 20220401/486, 20220401/487, 20220401/488, 20220401/489, 20220401/490, 20220401/491, 20220401/492, 20220401/493, 20220401/494, 20220401/495, 20220401/496, 20220401/497, 20220401/498, 20220401/499, 20220401/500, 20220401/501, 20220401/502, 20220401/503, 20220401/504, 20220401/505, 20220401/506, 20220401/507, 20220401/508, 20220401/509, 20220401/510, 20220401/511, 20220401/512, 20220401/513, 20220401/514, 20220401/515, 20220401/516, 20220401/517, 20220401/518, 20220401/519, 20220401/520, 20220401/521, 20220401/522, 20220401/523, 20220401/524, 20220401/525, 20220401/526, 20220401/527, 20220401/528, 20220401/529, 20220401/530, 20220401/531, 20220401/532, 20220401/533, 20220401/534, 20220401/535, 20220401/536, 20220401/537, 20220401/538, 20220401/539, 20220401/540, 20220401/541, 20220401/542, 20220401/543, 20220401/544, 20220401/545, 20220401/546, 20220401/547, 20220401/548, 20220401/549, 20220401/550, 20220401/551, 20220401/552, 20220401/553, 20220401/554, 20220401/555, 20220401/556, 20220401/557, 20220401/558, 20220401/559, 20220401/560, 20220401/561, 20220401/562, 20220401/563, 20220401/564, 20220401/565, 20220401/566, 20220401/567, 20220401/568, 20220401/569, 20220401/570, 20220401/571, 20220401/572, 20220401/573, 20220401/574, 20220401/575, 20220401/576, 20220401/577, 20220401/578, 20220401/579, 20220401/580, 20220401/581, 20220401/582, 20220401/583, 20220401/584, 20220401/585, 20220401/586, 20220401/587, 20220401/588, 20220401/589, 20220401/590, 20220401/591, 20220401/592, 20220401/593, 20220401/594, 20220401/595, 20220401/596, 20220401/597, 20220401/598, 20220401/599, 20220401/600, 20220401/601, 20220401/602, 20220401/603, 20220401/604, 20220401/605, 20220401/606, 20220401/607, 20220401/608, 20220401/609, 20220401/610, 20220401/611, 20220401/612, 20220401/613, 20220401/614, 20220401/615, 20220401/616, 20220401/617, 20220401/618, 20220401/619, 20220401/620, 20220401/621, 20220401/622, 20220401/623, 20220401/624, 20220401/625, 20220401/626, 20220401/627, 20220401/628, 20220401/629, 20220401/630, 20220401/631, 20220401/632, 20220401/633, 20220401/634, 20220401/635, 20220401/636, 20220401/637, 20220401/638, 20220401/639, 20220401/640, 20220401/641, 20220401/642, 20220401/643, 20220401/644, 20220401/645, 20220401/646, 20220401/647, 20220401/648, 20220401/649, 20220401/650, 20220401/651, 20220401/652, 20220401/653, 20220401/654, 20220401/655, 20220401/656, 20220401/657, 20220401/658, 20220401/659, 20220401/660, 20220401/661, 20220401/662, 20220401/663, 20220401/664, 20220401/665, 20220401/666, 20220401/667, 20220401/668, 20220401/669, 20220401/670, 20220401/671, 20220401/672, 20220401/673, 20220401/674, 20220401/675, 20220401/676, 20220401/677, 20220401/678, 20220401/679, 20220401/680, 20220401/681, 20220401/682, 20220401/683, 20220401/684, 20220401/685, 20220401/686, 20220401/687, 20220401/688, 20220401/689, 20220401/690, 20220401/691, 20220401/692, 20220401/693, 20220401/694, 20220401/695, 20220401/696, 20220401/697, 20220401/698, 20220401/699, 20220401/700, 20220401/701, 20220401/702, 20220401/703, 20220401/704, 20220401/705, 20220401/706, 20220401/707, 20220401/708, 20220401/709, 20220401/710, 20220401/711, 20220401/712, 20220401/713, 20220401/714, 20220401/715, 20220401/716, 20220401/717, 20220401/718, 20220401/719, 20220401/720, 20220401/721, 20220401/722, 20220401/723, 20220401/724, 20220401/725, 20220401/726, 20220401/727, 20220401/728, 20220401/729, 20220401/73



Revisions

Drawing Date
MARCH 13, 2023

JOHNSON AND BASSETT
MADISON, WI 53703

Project No.	Core Madison Bassett, LLC
222063.00	

Sheet Title

DEMOLITION PLAN

Copyright © 2003 Kluwer Online, Inc. All rights reserved.

790 N Water Street, Suite 1700, Milwaukee, Wisconsin 53202

101. Shooklin, S.B., Edmond, J.L. 2003. 2003.

Telephone 604.767.2500

722 W. Monroe Street, Madison, Wisconsin 53703
Telephone 608/283-8300 Fax 608/283-6317

125 South Clark Street, Suite 675-2, Chicago, Illinois 60603

Telephone 312.789.4516

Sheet No. **C200**

C200

JOHNSON AND BASSETT
MADISON, WI 53703

Sheet Title

SITE PLAN

Copyright © 2003 Kahler Slater, Inc. All rights reserved.

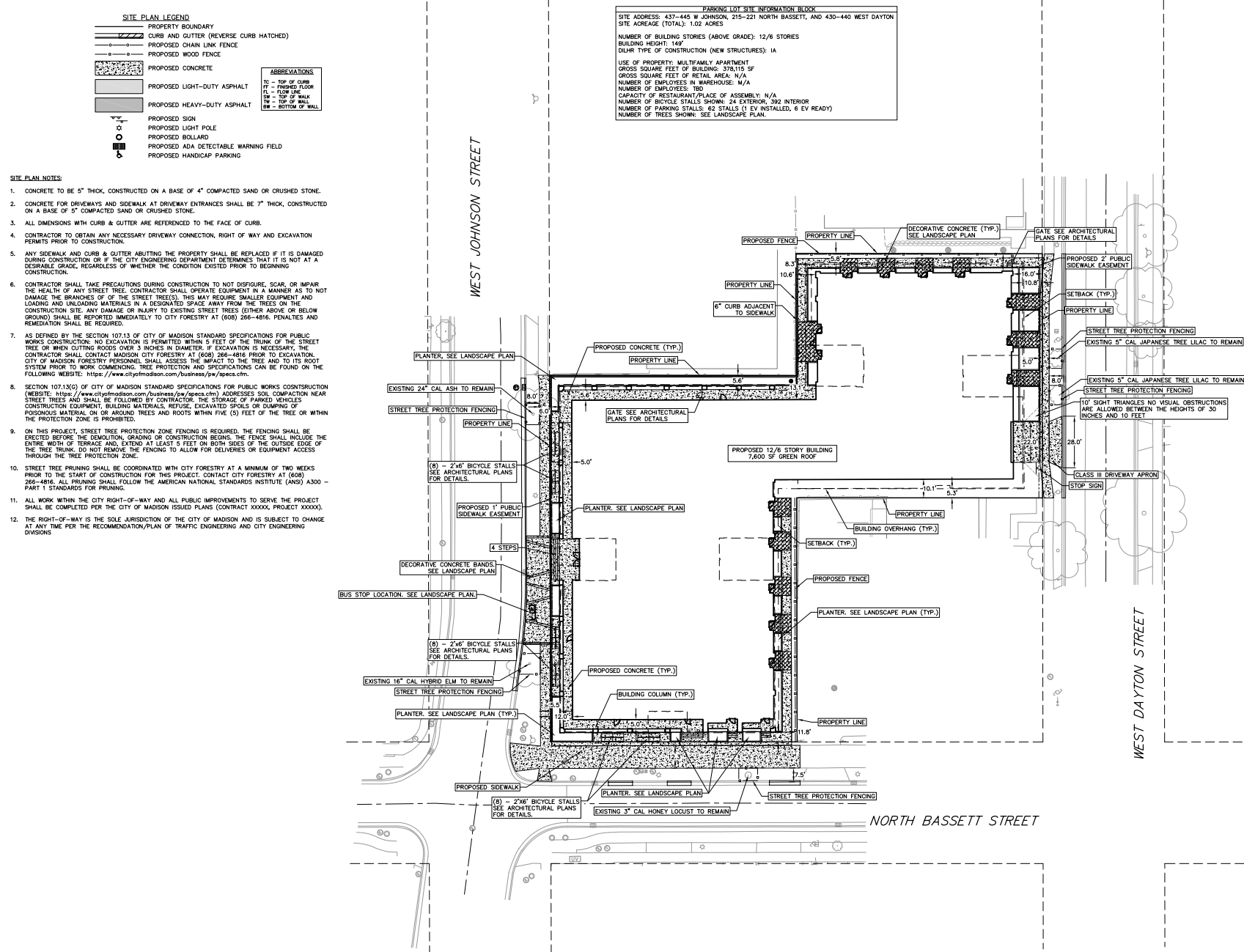
790 N Water Street, Suite 1700, Wausau, Wisconsin 54980
Telephone 414.272.2000 Fax 414.272.2001

104 Shodice St., Richmond, Virginia 23219
Telephone 804.767.2500

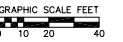
722 W. Main Street, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6517

126 South Clark Street, Suite 675-C, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.
C300



NOT FOR
CONSTRUCTION



Revisions

CITY OF MADISON LAND USE
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
MARCH 13, 2023

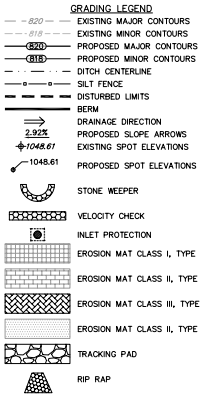
JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53705

Project No. Core Madison Bassett, LLC
222063.00

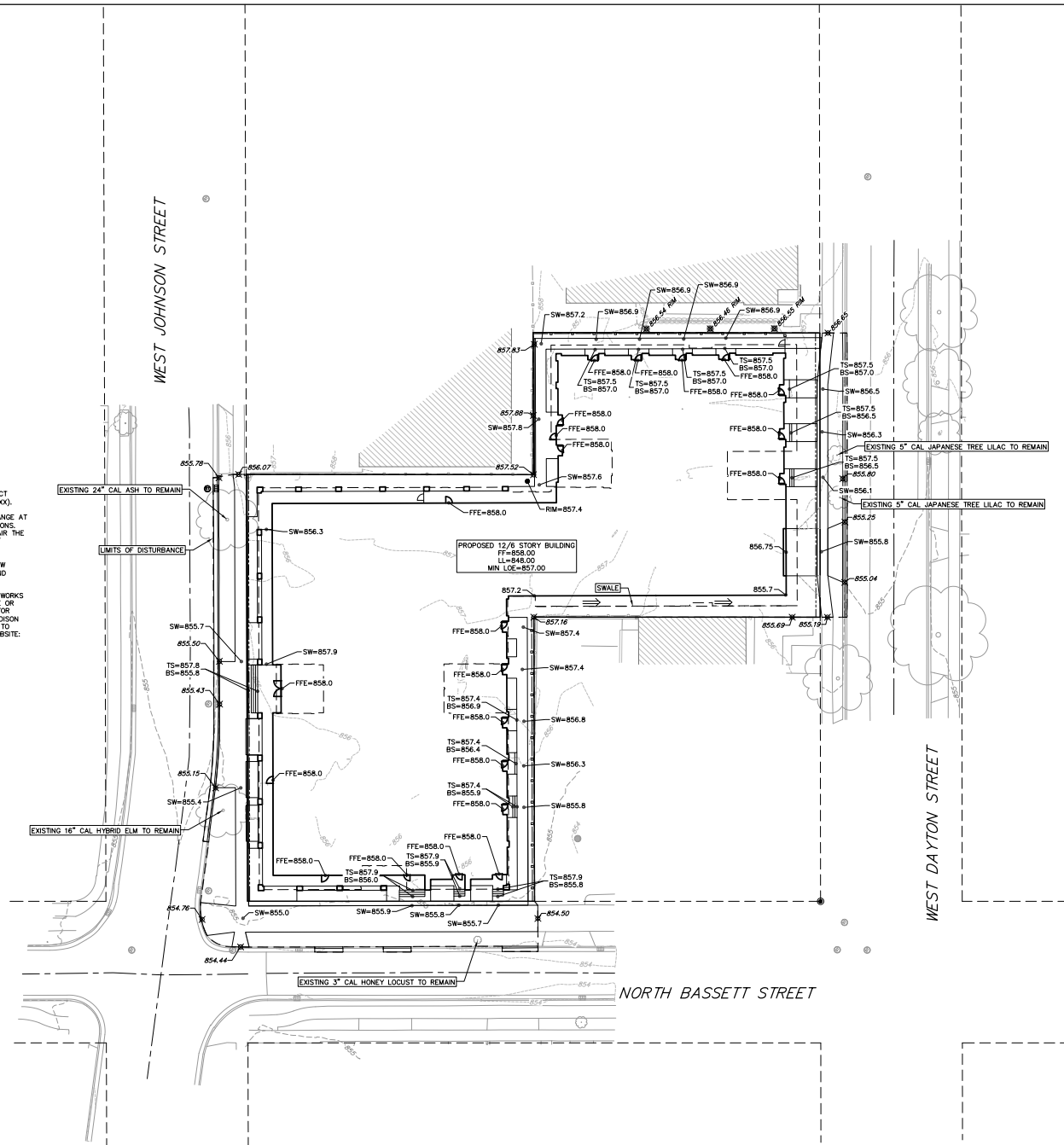
Sheet Title
GRADING PLAN

Copyright © 2023 Kahler Slater, Inc. All rights reserved.
700 N Water Street, Suite 1700, Milwaukee, Wisconsin 53202
Telephone (414) 272-0000 Fax (414) 272-0001
104 Shoshone • Milwaukee, WI 53219
Telephone (414) 761-2000
722 N Monroe Street, Madison, Wisconsin 53703
Telephone (608) 261-0000 Fax (608) 261-0001
125 South Park Street, Suite 475-2, Chicago, IL 60603
Telephone (312) 786-4510
Sheet No.
C400



GRADING NOTES:


- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXX, PROJECT XXXXX).
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DIVISIONS.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION AND SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>.



NOT FOR
CONSTRUCTION



GRAPHIC SCALE FEET



0 10 20 40

Revisions

CITY OF MADISON LAND USE
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date:

MARCH 13, 2023

JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53703

Project No.	Core Madison Bassett, LLC
222063.00	

Sheet Title
EROSION CONTROL
PLAN

Copyright © 2003 Kahler Slater, Inc. All rights reserved.

790 N Water Street, Suite 1700, Milwaukee, Wisconsin 53202
Telephone 414.272.2000 Fax 414.272.2001

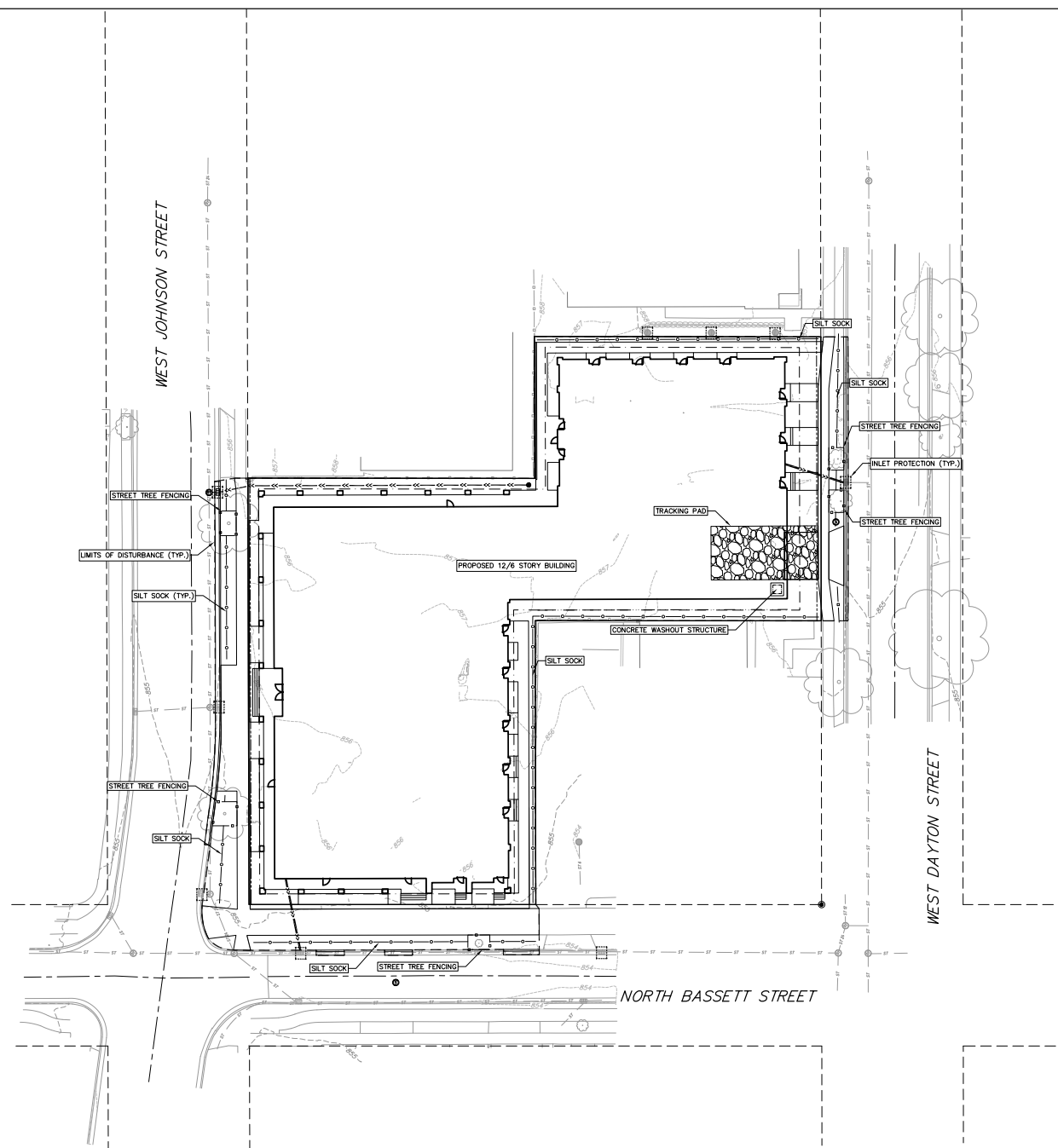
104 Shookoos St., Richmond, Virginia 23219
Telephone 804.767.2500

722 W. Main Street, Madison, Wisconsin 53703
Telephone 608.262.9300 Fax 608.263.6517

126 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.

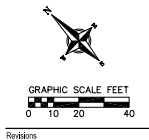
C401



NOTES:

SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

NOT FOR
CONSTRUCTION



CITY OF MADISON LAND USE
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
MARCH 13, 2023

JOHNSON & BASSETT
STUDENT HOUSING

JOHNSON AND BASSETT
MADISON, WI 53705

Project No.
222063.00

Sheet Title
UTILITY PLAN

Copyright © 2023 Kahler Slater, Inc. All rights reserved.
700 N Water Street, Suite 1700, | Madison, Wisconsin 53703
Telephone 608.272.0000 Fax 608.272.0001
104 Shoshone | Elkhorn, WI 53121
Telephone 608.791.2000
722 | Mirror Street, Madison, Wisconsin 53703
Telephone 608.262.0001 Fax 608.262.0017
125 South Park Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4510
Sheet No.
C500

- PROPOSED UTILITY LEGEND
- STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER ENDWALL
 - STORM SEWER CURB INLET
 - STORM SEWER CURB INLET W/MANHOLE
 - STORM SEWER FIELD INLET
 - ROOF DRAIN CLEAROUT
 - SANITARY SEWER PIPE (GRAVITY)
 - SANITARY SEWER PIPE (FORCE MAIN)
 - SANITARY SEWER LATERAL PIPE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER MAIN
 - WATER SERVICE LATERAL PIPE
 - FIRE HYDRANT
 - WATER VALVE
 - CURB STOP
 - WATER VALVE MANHOLE
 - PROPOSED PIPE INSULATION
 - GAS MAIN
 - ELECTRIC SERVICE
- ABBREVIATIONS
- SSM - STORM MANHOLE
 - FI - FIELD INLET
 - CI - CURB INLET
 - CB - CATCH BASIN
 - SI - SIGNAL
 - SM - SANITARY MANHOLE


UTILITY NOTES.

- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRAINAGE CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF Dewatering OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(g).
- PRIVATE WATER HYDRANTS SHALL BE YELLOW IN COLOR.
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(f) AND SPS 382.40(8)(a).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT XXXXX, PROJECT XXXXX).
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DIVISIONS.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISPOSE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (OTHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROADS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION AND SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>.

NOT FOR
CONSTRUCTION



GRAPHIC SCALE FEET



A horizontal scale bar with alternating black and white segments. Below the bar are numerical markers for 0, 10, 20, and 40 feet.

Revisions

CITY OF MADISON LAND USE
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
MARCH 13, 2023

JOHNSON & BASSETT
STUDENT HOUSING

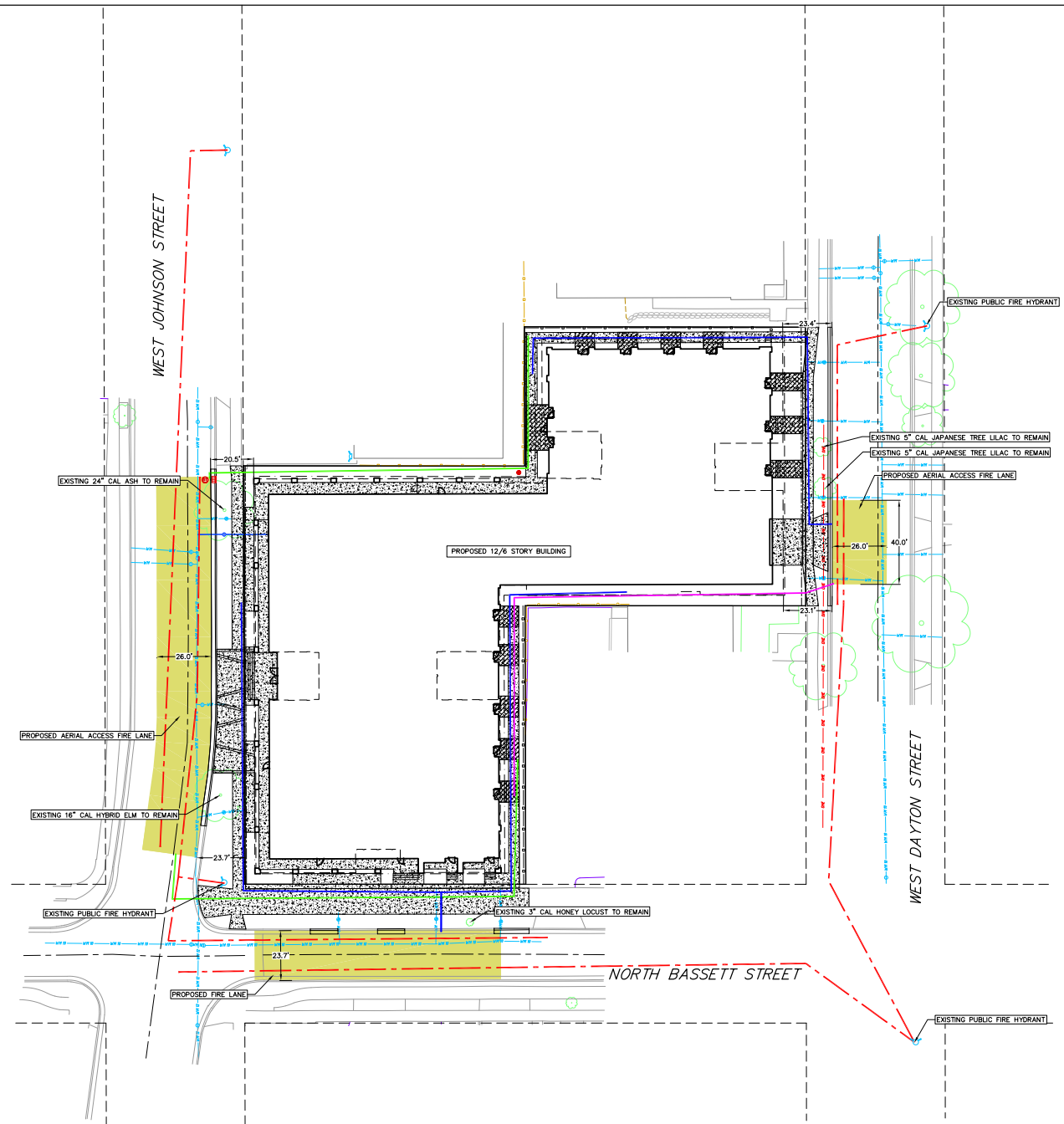
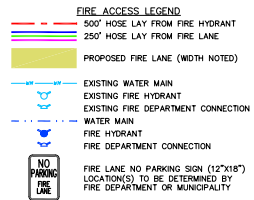
JOHNSON AND BASSETT
MADISON, WI 53703

Project No.	Core Madison Bassett, LLC
222063.00	

Sheet Title
FIRE ACCESS PLAN

Copyright © 2023 Miller Sales, Inc. All rights reserved.
 790 N Water Street, Suite 1700, Milwaukee, Wisconsin 53202
 Telephone 414.272.2000 Fax 414.272.2001
 104 Shoreline Blvd., Richmond, Virginia 23219
 Telephone 804.707.4200
 722 W. Main Street, Madison, Wisconsin 53703
 Telephone 608.263.2000 Fax 608.263.6517
 125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
 Telephone 312.780.4519

Sheet No. **F100**

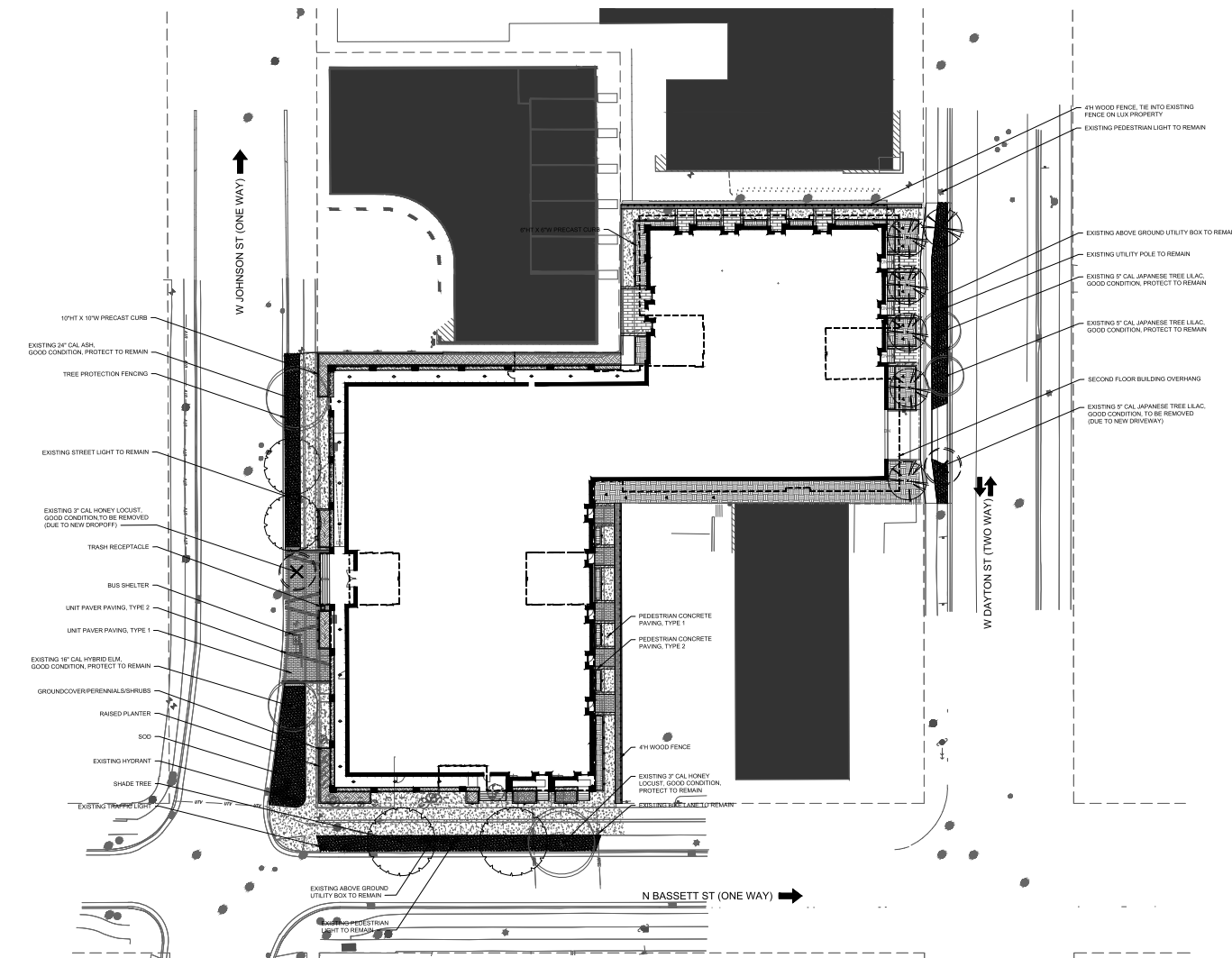


LEGEND

	PROPERTY LINE
	PROJECT LIMIT LINE (OFFSET 10' FOR CLARITY)
	PEDESTRIAN CONCRETE PAVING, TYPE 1
	PEDESTRIAN CONCRETE PAVING, TYPE 2
	UNIT PAVER PAVING, TYPE 1
	UNIT PAVER PAVING, TYPE 2
	RAISED PLANTER
	BENCH
	BUS SHELTER
	SHADE TREE
	ORNAMENTAL TREE
	SHRUBS
	GROUNDCOVER/PERENNIALS
	SOD

NOTES:

- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISPOSE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THE WAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR HARM TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 4 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:
<https://www.cityofmadison.com/business/pw/specs/cfm>
- SECTION 107.16(1) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR CLUMPING OF POROUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE DIRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THE PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300-PART 1 STANDARDS FOR PRUNING.



1 LANDSCAPE SITE PLAN
1" = 20'-0"



0 10 20 30 40'

Core Spaces Johnson & Bassett

Johnson Street & Bassett Street, Madison,
Wisconsin



ISSUANCES

Rev. #	Description	Date Issued
01	UDCLUA SUBMITTAL	03/13/2023

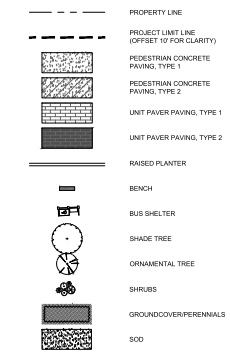
Project No.	0991
Drawn by	AP
Checked by	SV
Approved by	SV

Sheet Title
LANDSCAPE SITE PLAN

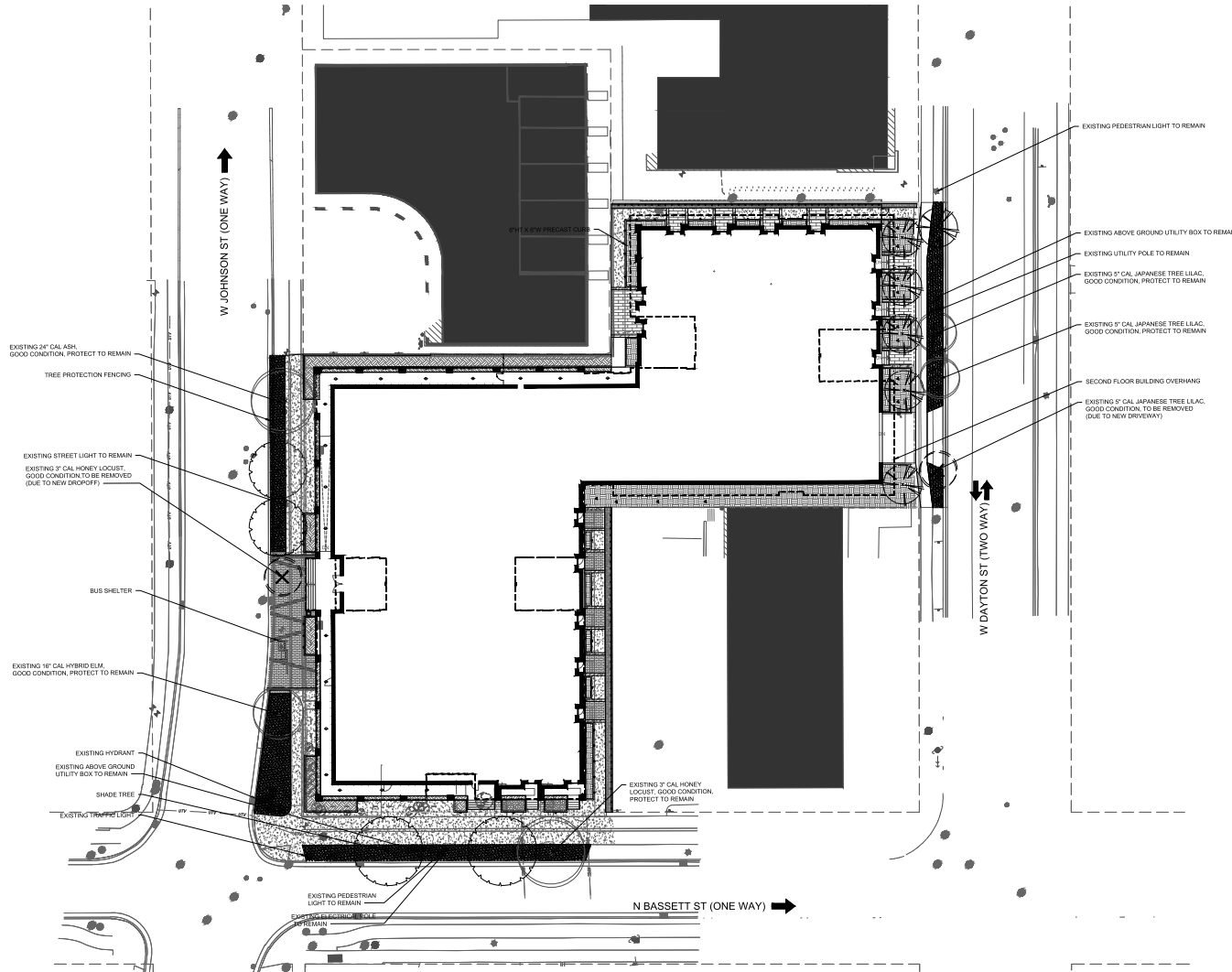
Drawing Number

L101

LEGEND



- NOTES:
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISPOSE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THE WAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR HARM TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 1 INCH IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs/cfm>
 - SECTION 107.15(1) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PAINTED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR CLUMPING OF POROUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE DIRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 - STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THE PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300-PART 1 STANDARDS FOR PRUNING.



1 STREET TREE PLAN
1" = 20'-0"



0 10 20 30 40'

Core Spaces Johnson & Bassett

Johnson Street & Bassett Street, Madison, Wisconsin

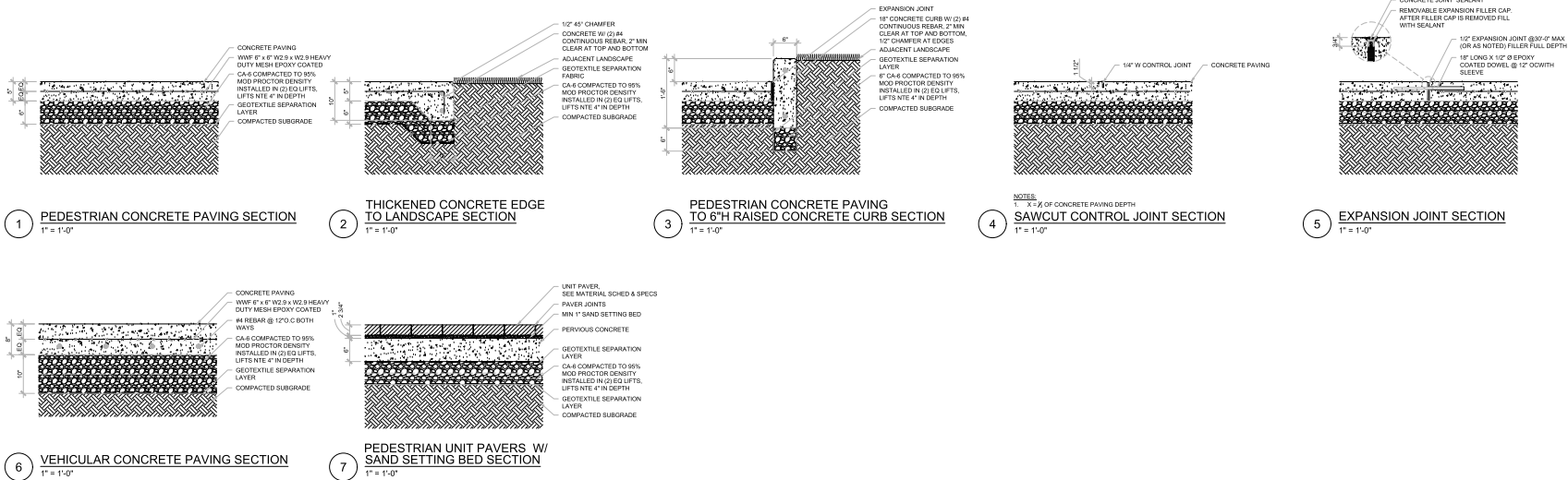


ISSUANCES		
Rev. #	Description	Date Issued
01	UDCLIA SUBMITTAL	03/13/2022

Project No. 1931
Drawn: AP File: 1931_sst_01a.dwg
Checked: SV Scale: AS NOTED
Approved: SV
Sheet Title:
STREET TREE PLAN

Drawing Number

L101A



Core Spaces Johnson & Bassett

Johnson Street & Bassett Street, Madison, Wisconsin

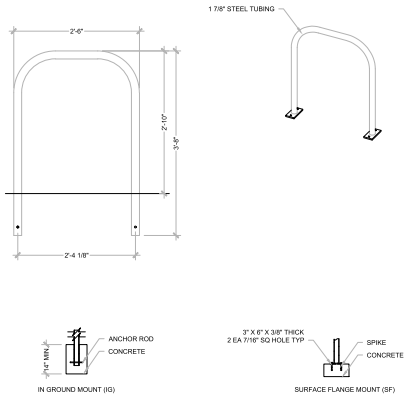


site design group, llc
903 S. Second Street, Suite 100, Madison, WI 53703
608.261.1000 • www.sitedesigngroup.com

ISSUANCES		
Rev. #	Description	Date Issued
1	UDCLUA SUBMITTAL	03/15/2023

Project No. 0991		
Drawn:	AP	File: 0991_sand_sett.dwg
Checked:	SV	Scale: AS NOTED
Approved:	SV	

Sheet Title:
HARDSCAPE DETAILS

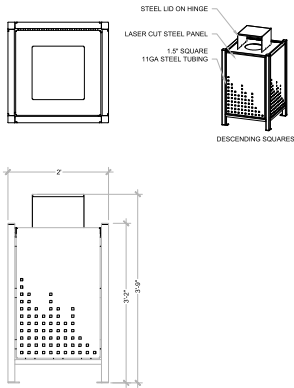


ALL FASTENERS ARE STAINLESS STEEL
SHPBS UNASSEMBLED

NOTES

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS
2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER

1 **BIKE RACK**
1" = 1'-0"



PRODUCT: ALTR-32
DESCRIPTION: ALBANY RECEPTACLE, 32 GALLON

NOTES

1. SITE FURNISHING IS POWDER COATED WITH TGIC POLYESTER
2. STEEL SURFACE PREP INCLUDES MECHANICAL AND CHEMICAL ETCHING FOLLOWED WITH A COATING TO IMPROVE ADHESION AND CORROSION RESISTANCE

2 **TRASH RECEPTACLE**
1" = 1'-0"

Core Spaces
Johnson & Bassett

Johnson Street & Bassett Street, Madison, Wisconsin



site design group, llc
800 520-0000 ext 1000, 1000, 1000
P 608.277.7000 F 608.277.7000
www.sitedesigngroup.com

ISSUANCES

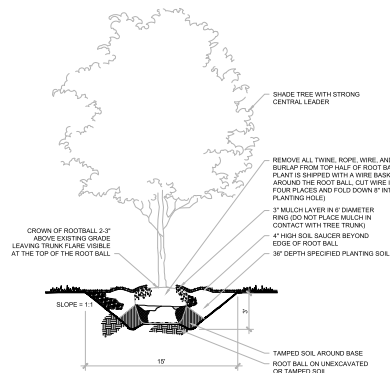
Rev. #	Description	Date Issued
01	UDCLUA SUBMITTAL	03/13/2023

Project No. 0991
Drawn: AP File: 0991_ssd_ssm.dwg
Checked: SV Scale: AS NOTED
Approved: SV

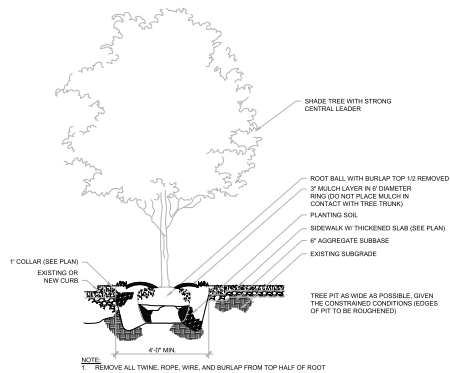
Sheet Title
SITE FURNISHING DETAILS

Drawing Number

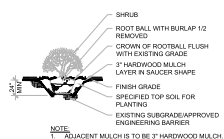
L504



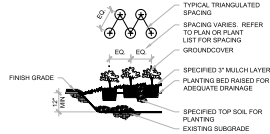
1 SHADE TREE PLANTING SECTION
NOT TO SCALE



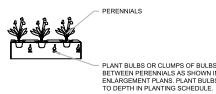
5 SHADE TREE IN PARKWAY SECTION
NOT TO SCALE



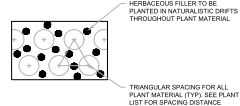
3 SHRUB PLANTING SECTION
NOT TO SCALE



4 PERENNIAL PLANTING SECTION
NOT TO SCALE



5 BULB INSTALLATION DETAIL
NOT TO SCALE



6 INTERPLANTING DETAIL
NOT TO SCALE

Core Spaces Johnson & Bassett

Johnson Street & Bassett Street, Madison,
Wisconsin



site design group, llc
905 S. Douglas Street, Suite 100, Chicago, IL 60605
P: 773.467.7265 E: www.sitedesign.com

Landscape Architect

ISSUANCES

Rev. #	Description	Date Issued
1	UDCLUA SUBMITTAL	03/13/2023

Project No: 0991
Drawn: AP File: 0991_plant.dwg
Checked: SV Scale: AS NOTED
Approved: SV

Sheet Title
PLANTING DETAILS

Drawing Number

L506

PLANT SCHEDULE - GROUND FLOOR							
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	POINTS	REMARKS
TREES - PARKWAY							
AC.MO	2	<i>Acer miyabei</i> 'Morton'	State Street Miyabe Maple	B&B	2" cal	70	matching heads
GL.SH	2	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Honeylocust	B&B	2" cal	70	matching heads
SY.IS	1	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	B&B	2" cal	35	
TREES - INTERIOR							
SY.IS	5	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	B&B	2" cal	175	matching heads
EVERGREEN SHRUBS							
TA.DE	71	<i>Taxus x media</i> 'Densiformis'	Dense Yew	cont	min 24" ht	284	42" o.c.
DECIDUOUS SHRUBS							
DI.LO	33	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	cont	#3, min 18" ht	99	36" o.c.
HY.BO	22	<i>Hydrangea paniculata</i> 'Ivobo' BOBO	Bobo Panicle Hydrangea	cont	#3, min 18" ht	66	30" o.c.
HY.LQ	22	<i>Hydrangea paniculata</i> 'SMHPLQF'	Little Quickfire Panicle Hydrangea	cont	#5, min 24" ht	66	36" o.c.
VI.PR	8	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	B&B	min 5' ht x w	24	8' o.c.
ORNAMENTAL GRASSES & PERENNIALS							
AM.BI	242	<i>Amsonia</i> 'Blue Ice'	Blue Ice Blue Star	cont	#1	484	12" o.c.
EC.MA	70	<i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	cont	#1	140	18" o.c.
GE.BE	167	<i>Geranium</i> 'Bevan's Variety'	Bevans Cranesbill	cont	#1	334	12" o.c.
CA.KF	72	<i>Calamagrostis</i> 'Karl Foerster'	Feather Reed Grass	cont	#2, min 30" ht	144	24" o.c.
HE.AB	138	<i>Heuchera</i> 'Autumn Bride'	Autumn Bridge Heuchera	cont	#1	276	12" o.c.
HO.HB	65	<i>Hosta</i> 'Hadsphen Blue'	Hadsphen Blue Hosta	cont	#1	130	24" o.c.
PA.NO	103	<i>Panicum virgatum</i> 'Northwind'	Northwind Switchgrass	cont	#2, min 30" ht	206	24" o.c.
GROUNDCOVERS							
LY.AU	804	<i>Lysimachia nummularia</i> 'Aurea'	Golden Creeping Jenny	cell	4" pot	-	10" o.c.
SE.AU	662	<i>Sesleria autumnalis</i>	Autumn Moor Grass	cont	#1, min 12" ht	-	15" o.c.
SEASONAL ANNUALS (RED & WHITE COLOR SCHEME)							
-	-	-	To be determined by owner pending season	pot	-	-	-
						TOTAL POINTS: 2,638	

Core Spaces
Johnson &
Bassett

Johnson Street & Bassett Street, Madison,
Wisconsin



site design group, llc
905 S. Douglas Avenue, Suite 100, Chicago, IL 60605
P: 773.467.7040 F: 773.467.7041 W: www.sitedesign.com

Landscaping Architect

ISSUANCES

Rev. #	Description	Date Issued
	UDCLUA SUBMITTAL	03/13/2023

Project No : 9991	
Drawn :	AP File : 9991_sch.dwg
Checked :	SV Scale : AS NOTED
Approved :	SV

Sheet Title
PLANTING SCHEDULE

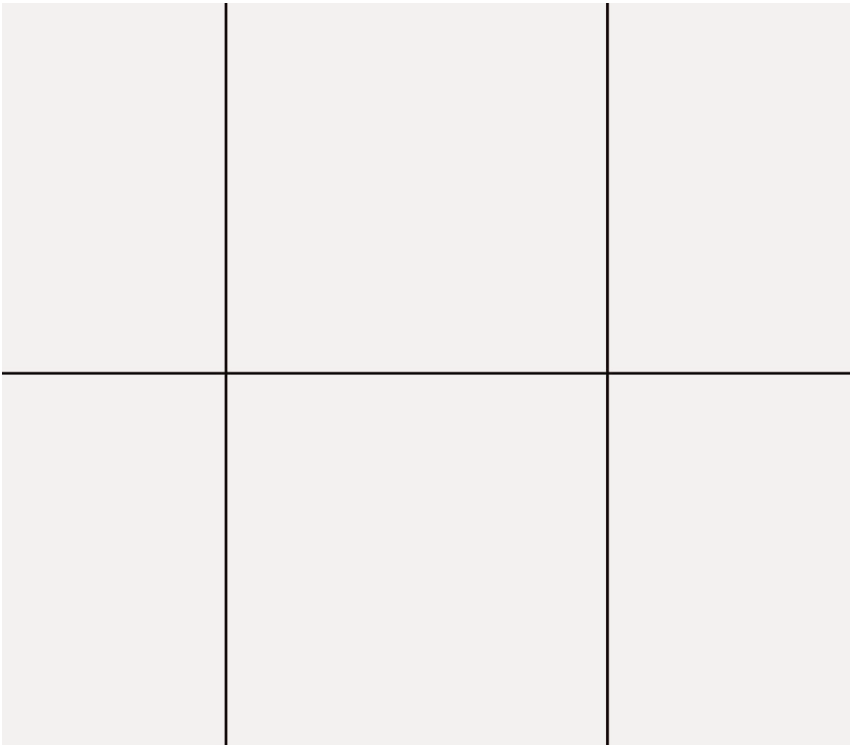
Drawing Number

L606

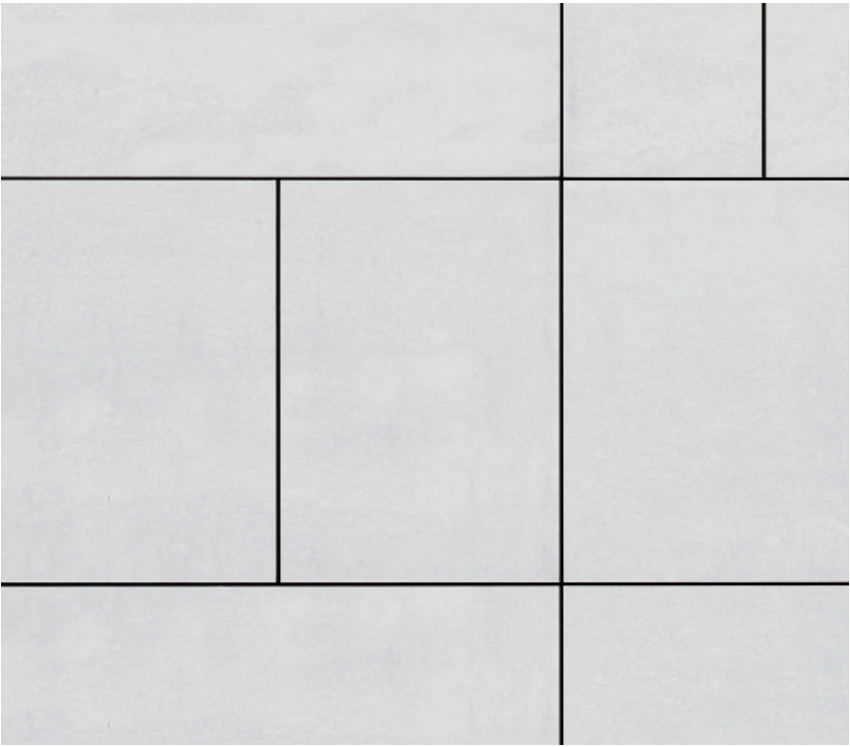
EXTERIOR MATERIALS



COMPOSITE WOOD: COMPOSITE WOOD SIDING, 5 1/2” VERTICAL PLANKS, BASIS OF DESIGN - NEWTECHWOOD TONGUE AND GROOVE, JAPANESE OAK



METAL PANEL (GRID): ALUMINUM COMPOSITE METAL PANEL, BASIS OF DESIGN - ALPOLIC PE, WHITE



FIBER CEMENT PANEL: FIBER CEMENT PANEL, REVEAL TRIM BASIS OF DESIGN - JAMES HARDIE ARCHITECTURAL COLLECTION, OFF-WHITE



BRICK: MODULAR CONCRETE BRICK RUNNING BOND WITH SOLDIER COURSES BASIS OF DESIGN - COUNTY MATERIALS HERITAGE COLLECTION, SABLE



METAL PANEL (INFILL): SINGLE SKIN METAL PANEL VERTICAL 2” BOX RIB, BASIS OF DESIGN - MORIN MATRIX MX-1, OFF-WHITE

Kahler Slater

Milwaukee | Madison | Chicago | Richmond

www.kahlerslater.com