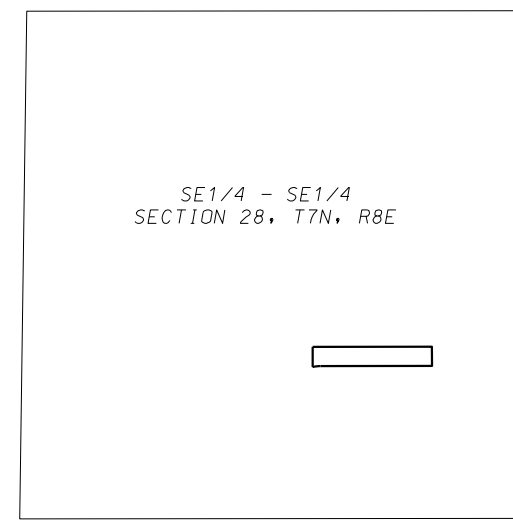


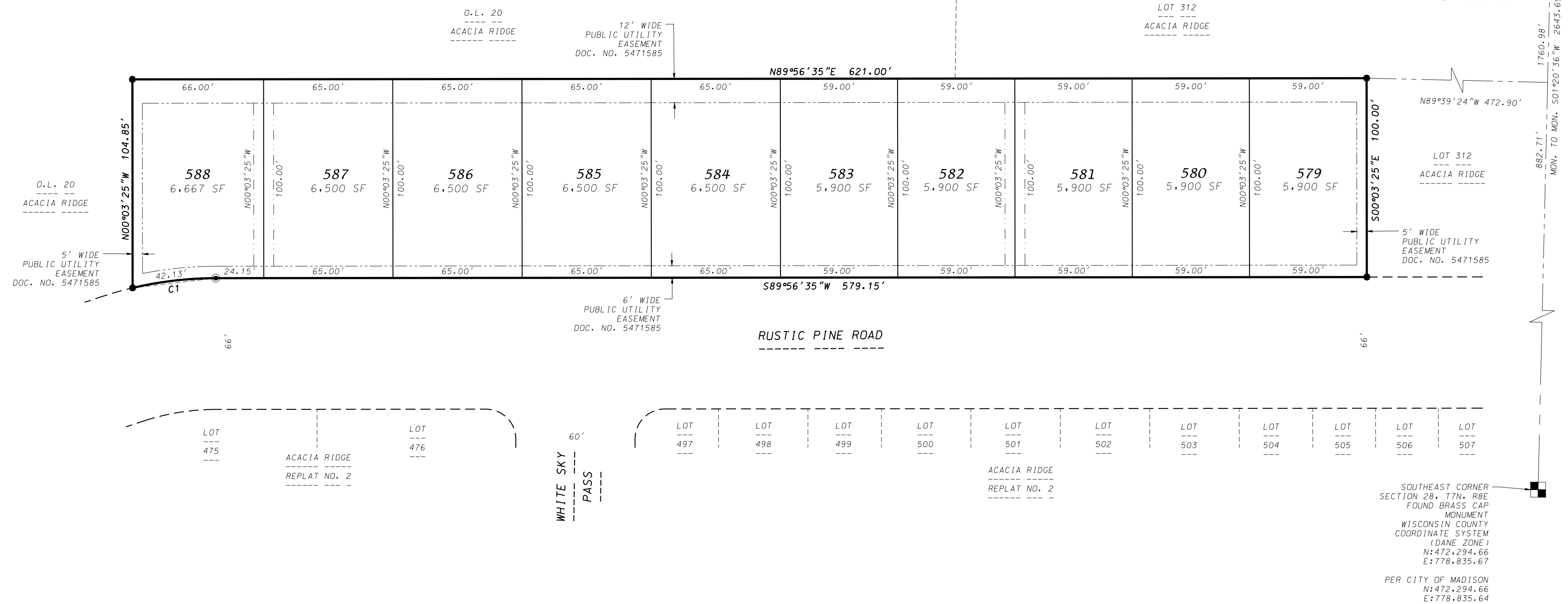
ACACIA RIDGE REPLAT NO. 3

LOTS 313 THROUGH 321, ACACIA RIDGE,
LOCATED IN THE SE1/4 OF THE SE1/4 OF SECTION 28, T7N, R8E, CITY OF MADISON, DANE COUNTY WISCONSIN

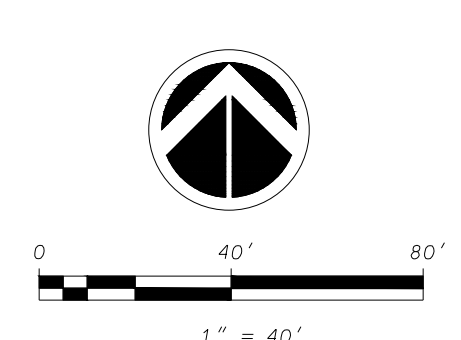
CURVE TABLE						
CURVE NUMBER	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1	183.00	42.13	42.22	S83°20'01.5"W	13°13'07"	IN-N76°43'29"E



LOCATION MAP
1"=1000'



- LEGEND**
- Found 1-1/4" Rebar
 - Found 3/4" Rebar
- All other lot corners are marked with 3/4"x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
- Public Utility Easement
 - Public Utility Easements as herein set forth are for the use of PUBLIC BODIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.



BEARINGS REFERENCED TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 28, T7N, R8E WISCONSIN COUNTY COORDINATE SYSTEM (DANE ZONE) BEARING S01°20'36"W

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregan, Professional Land Surveyor S-2742 do hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin State Statutes and the Subdivision Regulations of the City of Madison, and under the direction of the owners listed below, I have surveyed, divided and mapped "Acacia Ridge Replat No. 3" and that such plat correctly represents all the exterior boundaries and the subdivision of the land surveyed as is described as follows:

Lots 313 through 321, within Acacia Ridge, recorded in Volume 61-0058 of Plats on pages 21-31 as Document Number 5471585, Dane County Registry, located in the SE1/4 of the SE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin.

Containing 62,167 square feet (1.427 acres).

Dated this 13th day of February, 2023.

Brett T. Stoffregan, Professional Land Surveyor, S-2742

- NOTES**
- All lots within this plat are subject to public easements for drainage purposes which shall be a minimum of 5 feet in width measured from the property line to the interior of each lot except that the easements shall be 12 feet in width on the perimeter of the plat. EXCEPT where shown otherwise on the face of the plat, for purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of five (5) feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared driveway agreement. Easements shall not be required on property lines shared with greenways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water.

The intra-block drainage easements shall be graded with the construction of each principle structure in accordance with the approved storm water drainage plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances.

NOTE: In the event of a City of Madison Plan Commission and/or Common Council approved re-division of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.
 - Lots within this subdivision are subject to impact fees that are due and payable at the time building permits are issued.
 - No driveway shall be constructed that interferes with the orderly operation of a pedestrian walkway.
 - This plat is subject to the following recorded instruments:
 - Declaration of Protective Covenants, Conditions and Restrictions recorded as Doc. No. 5472669; amended by Doc Nos. 5517963, 5577303, 5624586 and 5750179.
 - Declaration of Conditions, Covenants and Restrictions recorded as Doc. No. 5474970; modified by Doc. Nos. 5708339, 5784844, 5835935.
 - Declaration of Conditions, Covenants and Restrictions recorded as Doc. No. 5475376.
 - Declaration of Conditions and Covenants recorded as Doc. Nos. 5475377 and 5475378.
 - Public Utility Easements granted by Doc. No. 5471585, partially release by Doc. Nos. -----.
 - Distances shown along curves are chord lengths.

ACACIA RIDGE REPLAT NO. 3

LOTS 313 THROUGH 321, ACACIA RIDGE,
LOCATED IN THE SE1/4 OF THE SE1/4 OF SECTION 28, T7N, R8E, CITY OF MADISON, DANE COUNTY WISCONSIN

OWNER'S CERTIFICATE

East South Point, LLC a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

East South Point, LLC does further certify that this plat is required by S236.10 or S236.12 Wisconsin Statutes to be submitted to the following agencies for approval or objection:

Department of Administration
Common Council, City of Madison

In witness whereof, East South Point, LLC has caused these presents to be signed this _____ day of _____, 2023.

East South Point, LLC

STATE OF WISCONSIN)
COUNTY OF DANE) S.S

Personally came before me this _____ day of _____, 2023, the above named authorized signatory of the above named East South Point, LLC to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission expires _____
Notary Public, Dane County, Wisconsin

OWNER'S CERTIFICATE

LandBanc Ventures, LLC a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

LandBanc Ventures, LLC does further certify that this plat is required by S236.10 or S236.12 Wisconsin Statutes to be submitted to the following agencies for approval or objection:

Department of Administration
Common Council, City of Madison

In witness whereof, LandBanc Ventures, LLC has caused these presents to be signed this _____ day of _____, 2023.

LandBanc Ventures, LLC

STATE OF WISCONSIN)
COUNTY OF DANE) S.S

Personally came before me this _____ day of _____, 2023, the above named authorized signatory of the above named LandBanc Ventures, LLC to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission expires _____
Notary Public, Dane County, Wisconsin

MORTGAGEE CERTIFICATE

The Park Bank, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of lands contained in this plat, does hereby consent to the above Owner's Certificate and to the surveying, dividing, mapping and dedication of the lands described on this plat.

In witness whereof, said The Park Bank has caused these presents to be signed by its corporate officer(s) listed below on this _____ day of _____, 2023.

The Park Bank

STATE OF WISCONSIN)
COUNTY OF DANE) S.S

Personally came before me this _____ day of _____, 2023, the above named officer(s) of the above named The Park Bank, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission expires _____
Notary Public, Dane County, Wisconsin

MADISON PLAN COMMISSION CERTIFICATE

Approved for recording per the Secretary of the City of Madison Plan Commission.

By: _____ Date: _____
Matt Wachter, Secretary of Plan Commission

MADISON COMMON COUNCIL CERTIFICATE

Resolved that the plat of "Acacia Ridge Replat No. 3" located in the City of Madison, was hereby approved by Enactment Number RES-_____, File I.D. Number _____, adopted this _____ day of _____, 2023, and that said Enactment further provided for the acceptance of those lands dedicated and rights conveyed by said plat to the City of Madison for public use.

Dated this _____ day of _____, 2023.

Maribeth Witzel-Behl, City Clerk, City of Madison, Dane County, Wisconsin

CITY OF MADISON TREASURER'S CERTIFICATE

I, Craig Franklin, being the duly appointed, qualified, and acting Treasurer of the City of Madison, Dane County, Wisconsin, do hereby certify that, in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2023 on any of the lands included in the plat of "Acacia Ridge Replat No. 3".

Craig Franklin, City Treasurer, City of Madison, Dane County, Wisconsin

COUNTY TREASURER'S CERTIFICATE

I, Adam Gallagher, being the duly elected, qualified, and acting treasurer of the County of Dane, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this _____ day of _____, 2023 affecting the land included in "Acacia Ridge Replat No. 3".

Adam Gallagher, Treasurer, Dane County, Wisconsin

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2023
at _____ .M and recorded in Volume _____ of Plats on Pages
as Document Number _____.

Kristi Chlebowski, Dane County Register of Deeds

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FN: 22-07-111