



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 7, 2022

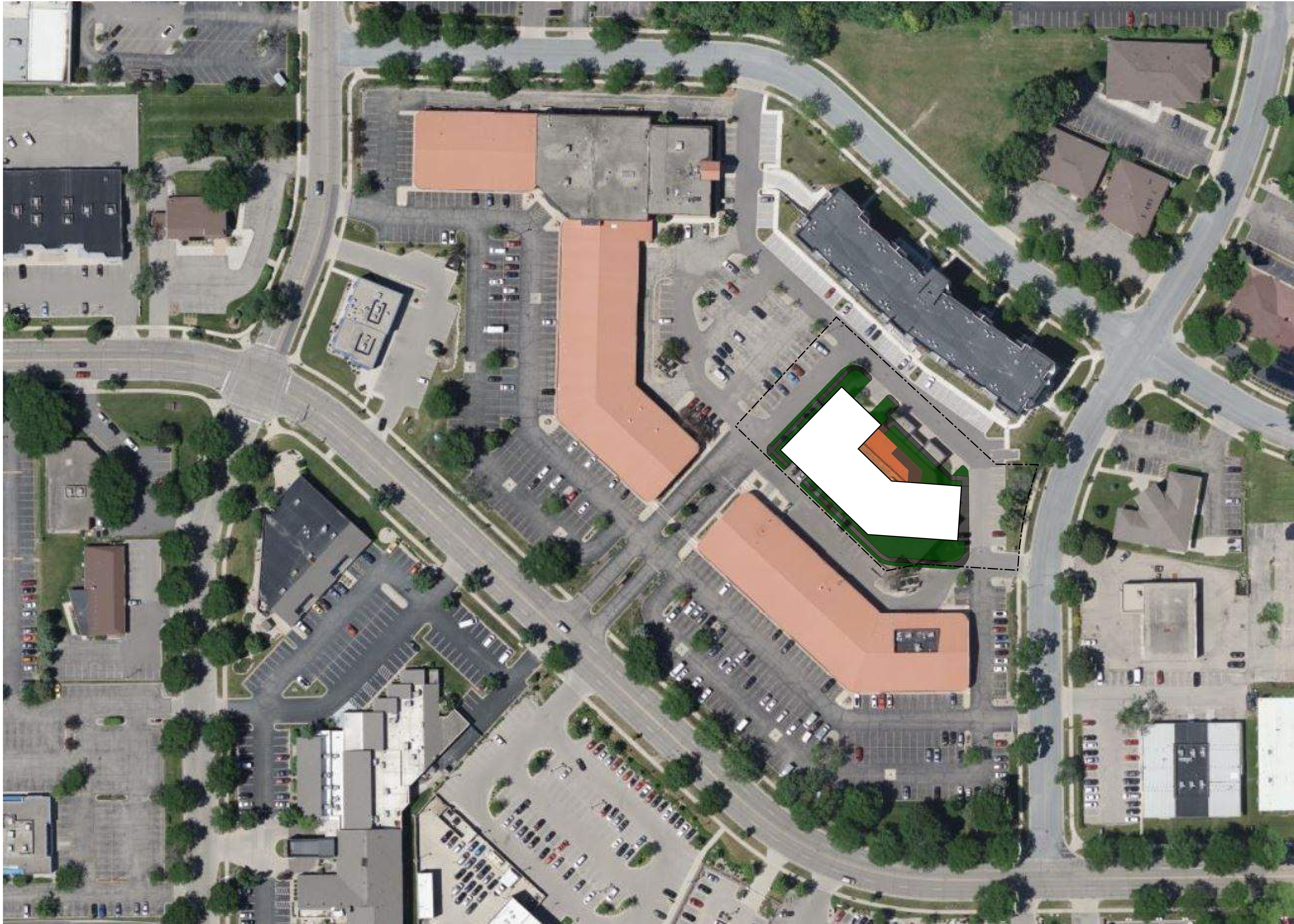
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G100



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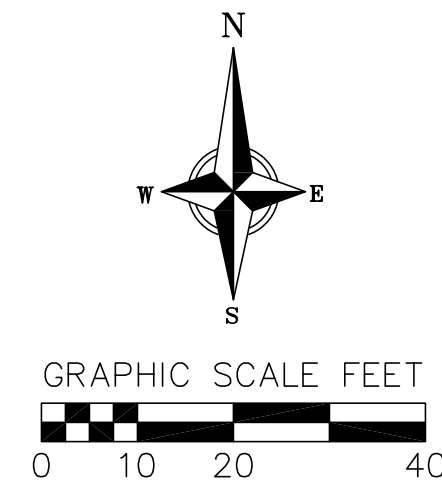
REVISION SCHEDULE		
Mark	Description	Date




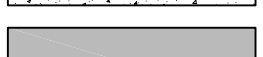
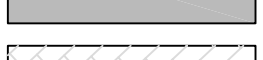






SHEET TITLE

SITE CONTEXT

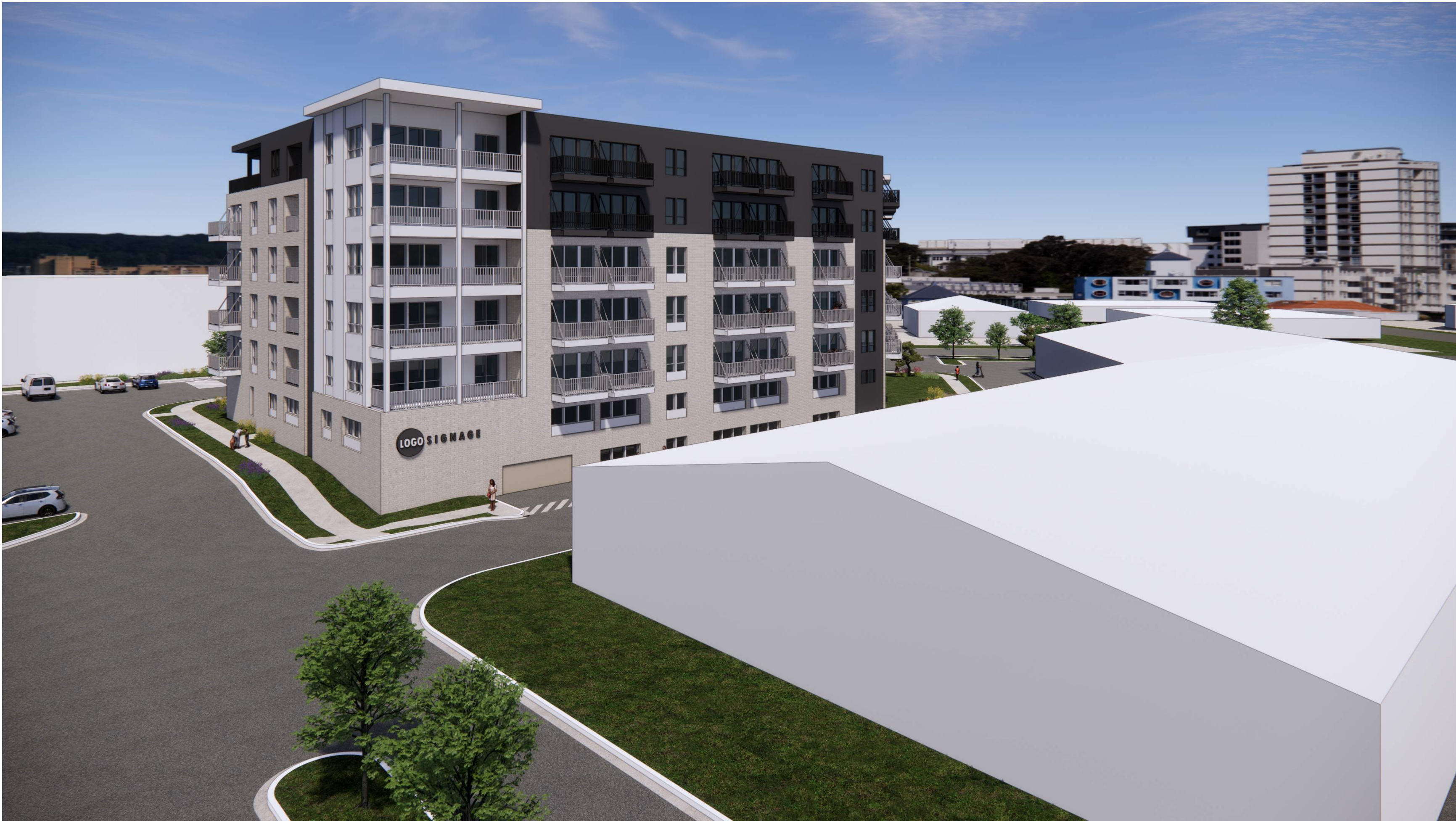
SHEET NUMBER

G101



- ### SITE PLAN LEGEND
- | | |
|-------------------------------------------------------------------------------------|----------------------------------------|
|  | PROPERTY BOUNDARY |
|  | CURB AND GUTTER (REVERSE CURB HATCHED) |
|  | PROPOSED CONCRETE |
|  | PROPOSED LIGHT-DUTY ASPHALT |
|  | PROPOSED PERMEABLE PAVERS |
|  | PROPOSED RAILING |
|  | PROPOSED SIGN |
|  | PROPOSED LIGHT POLE |
|  | PROPOSED BOLLARD |
|  | PROPOSED ADA DETECTABLE WARNING FIELD |
|  | PROPOSED HANDICAP PARKING |

NOT FOR CONSTRUCTION



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REVISION SCHEDULE		
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SHEET TITLE

AERIAL PERSPECTIVE

SHEET NUMBER

A200



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

AERIAL PERSPECTIVE

SHEET NUMBER

A201



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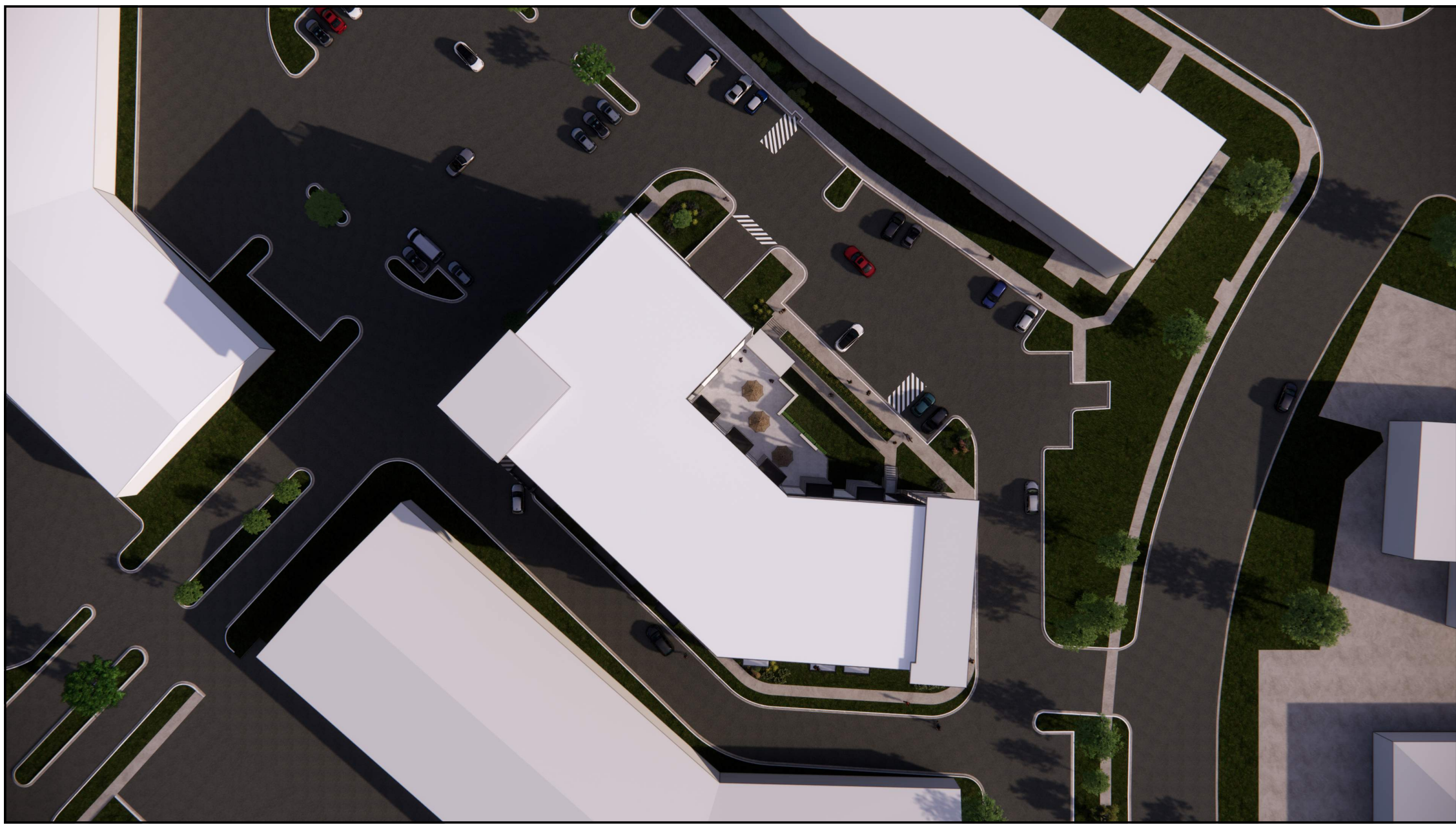
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

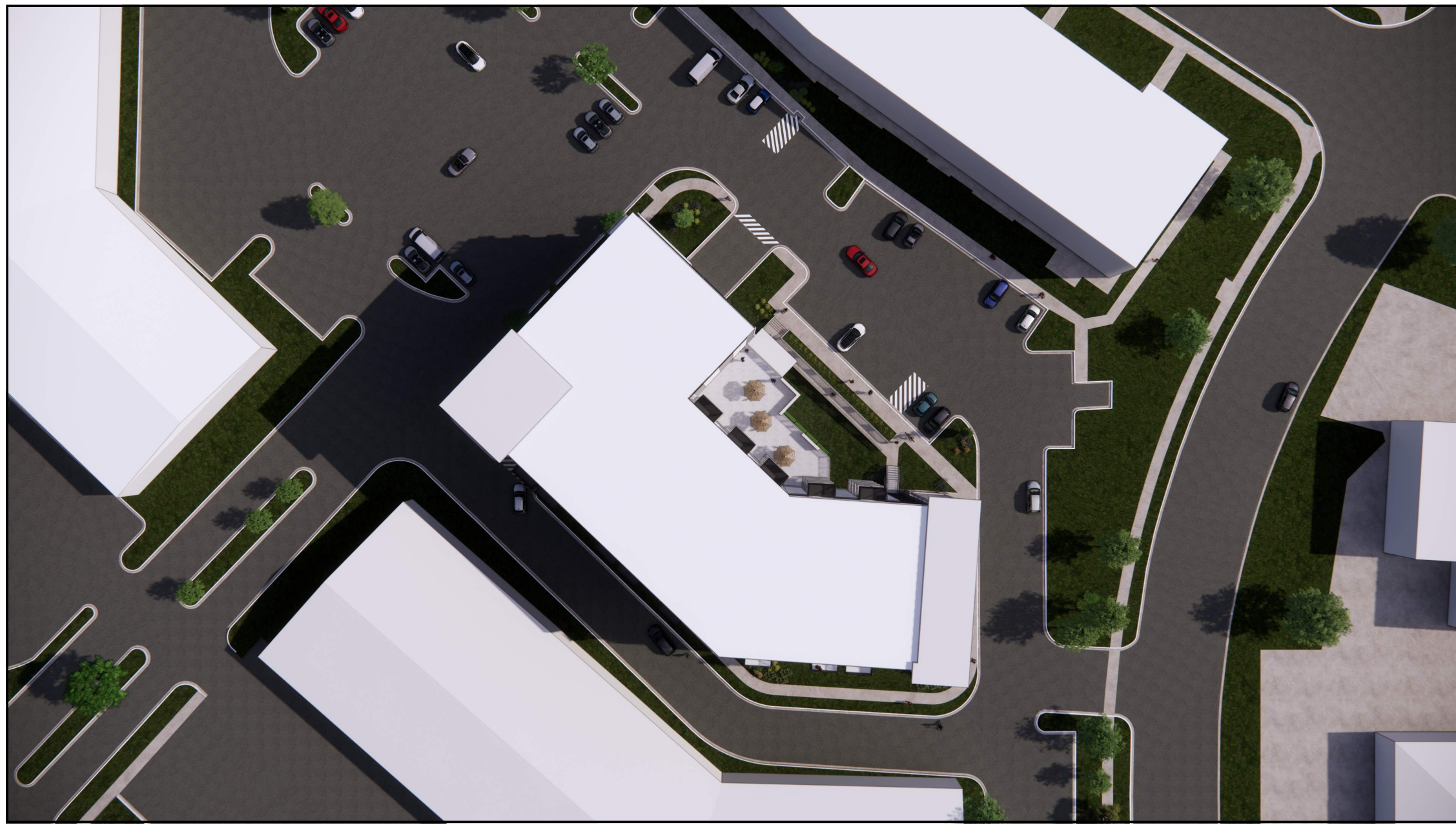
EXTERIOR
PERSPECTIVES

SHEET NUMBER

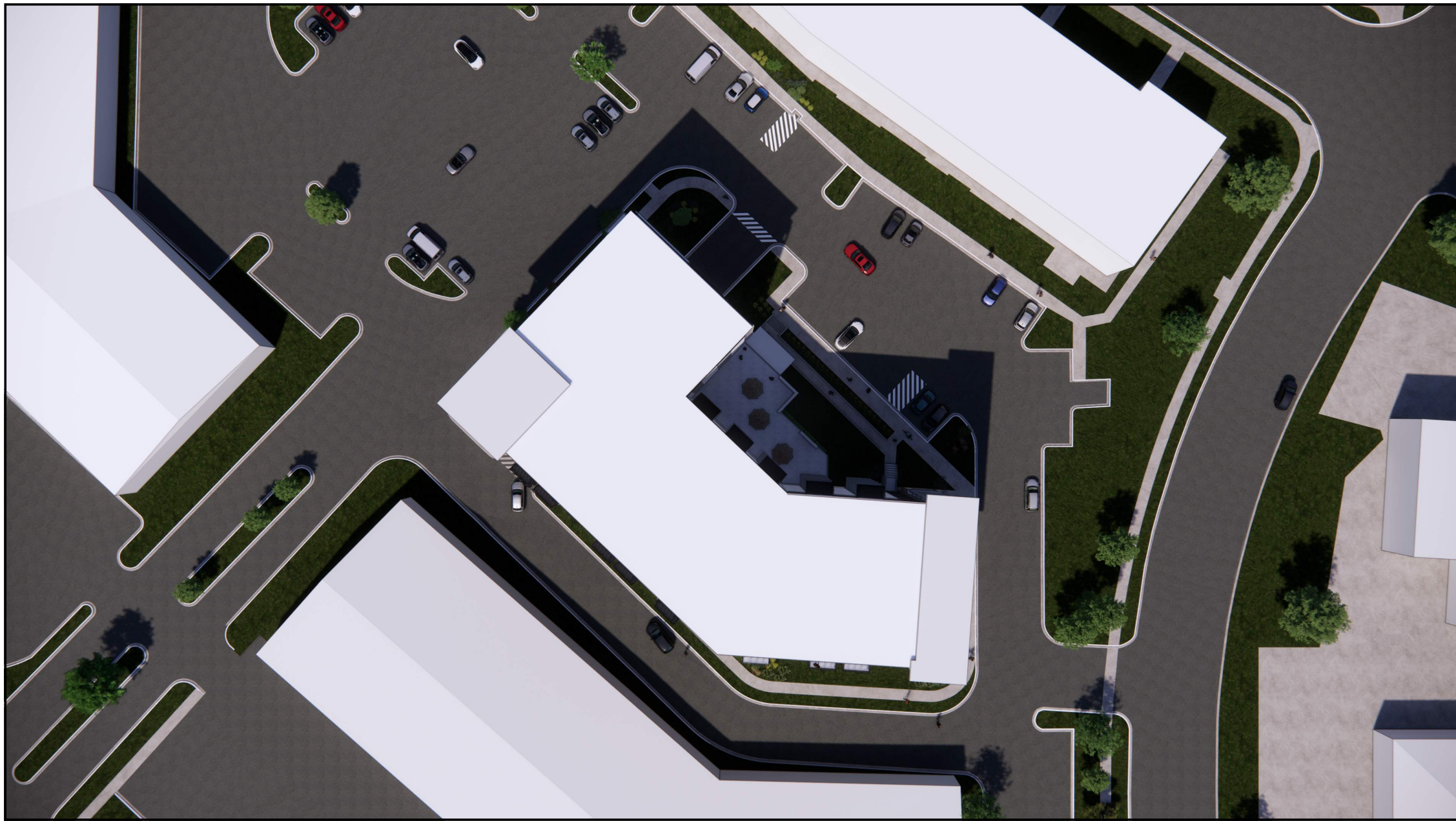
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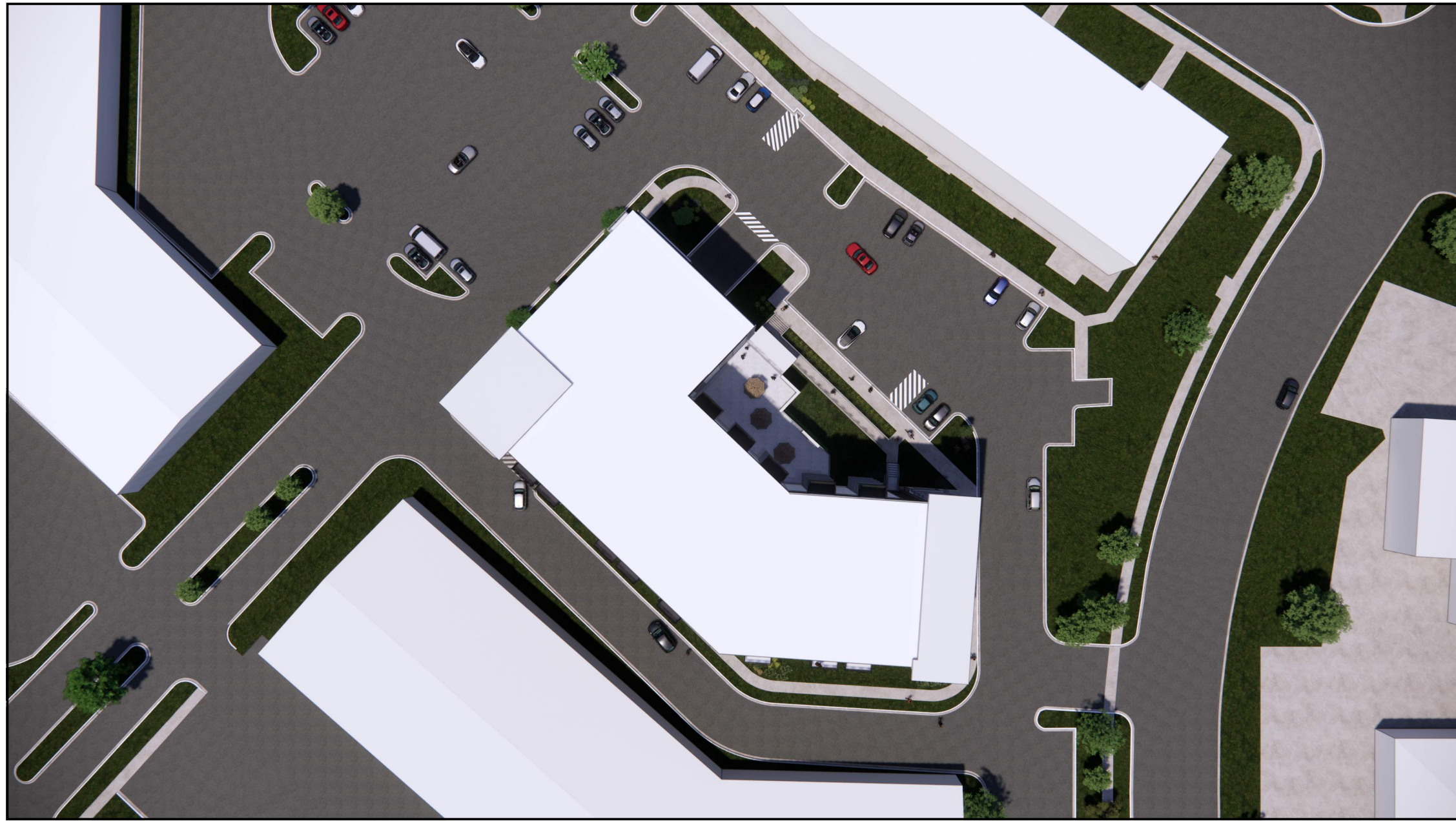
SHADOW ON MARCH 21ST @ 9AM



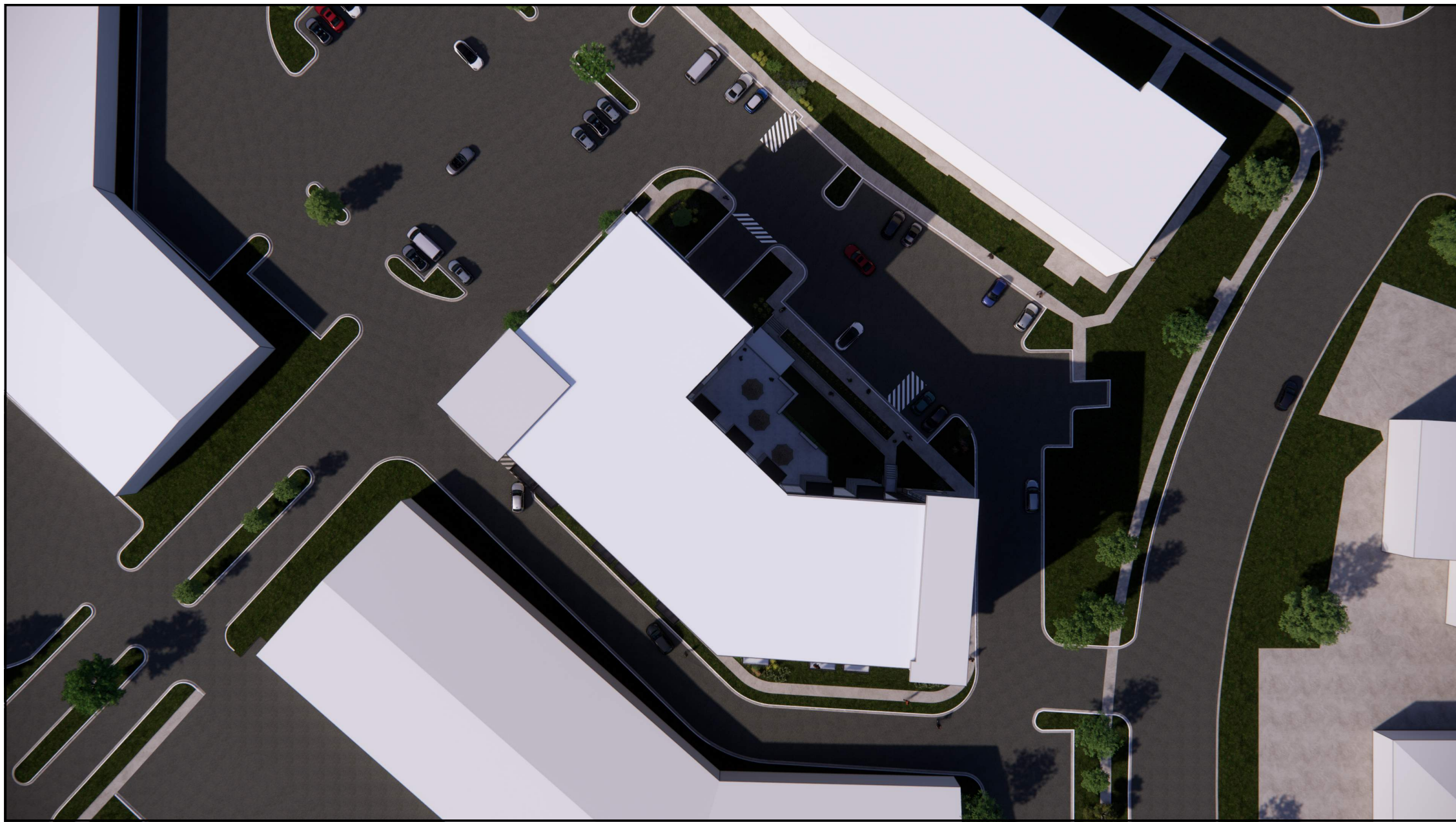
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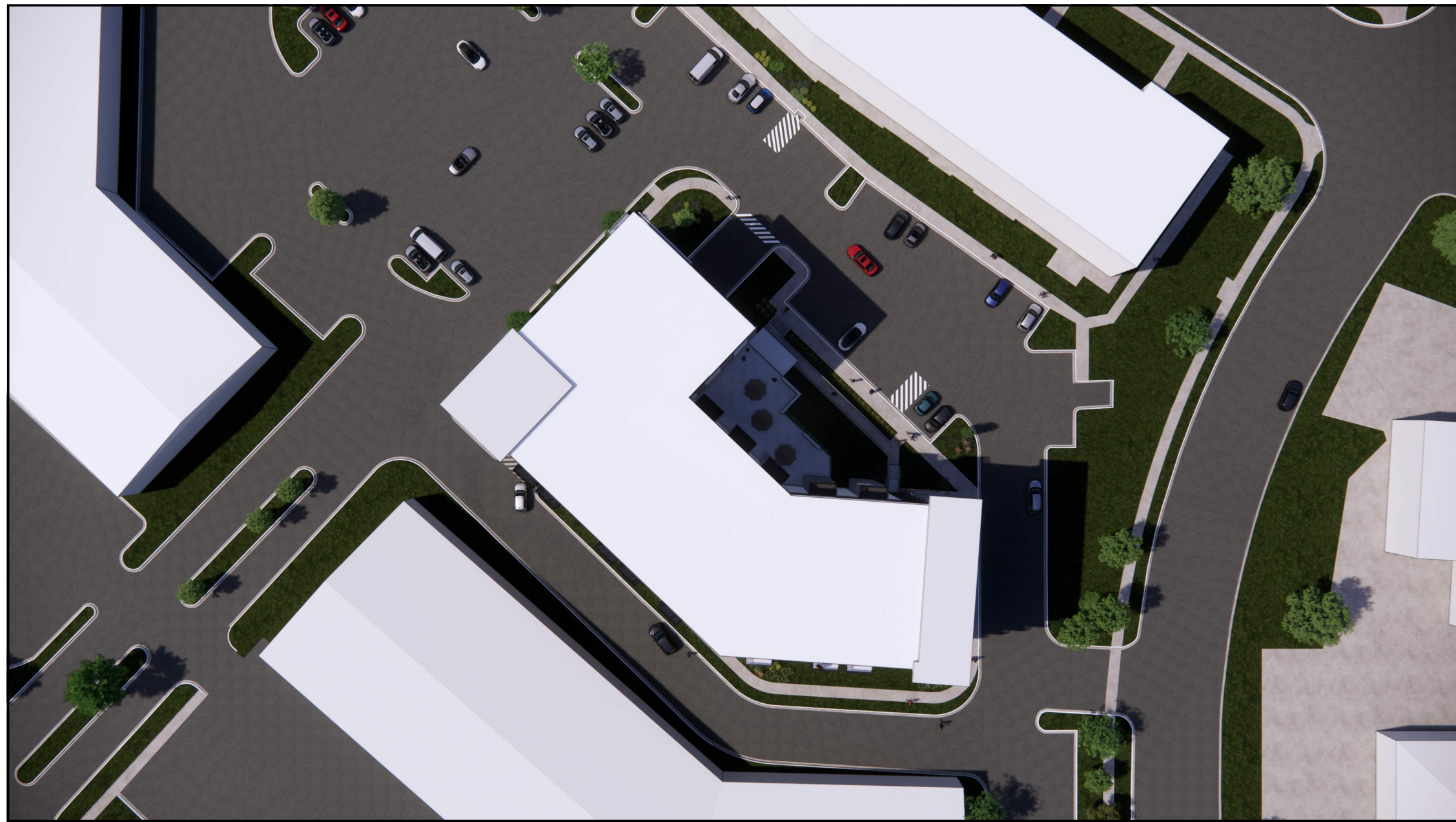
SHADOW ON MARCH 21ST @ 2PM



SHADOW ON JUNE 21ST @ 2PM



SHADOW ON MARCH 21ST @ 4PM



SHADOW ON JUNE 21ST @ 4PM



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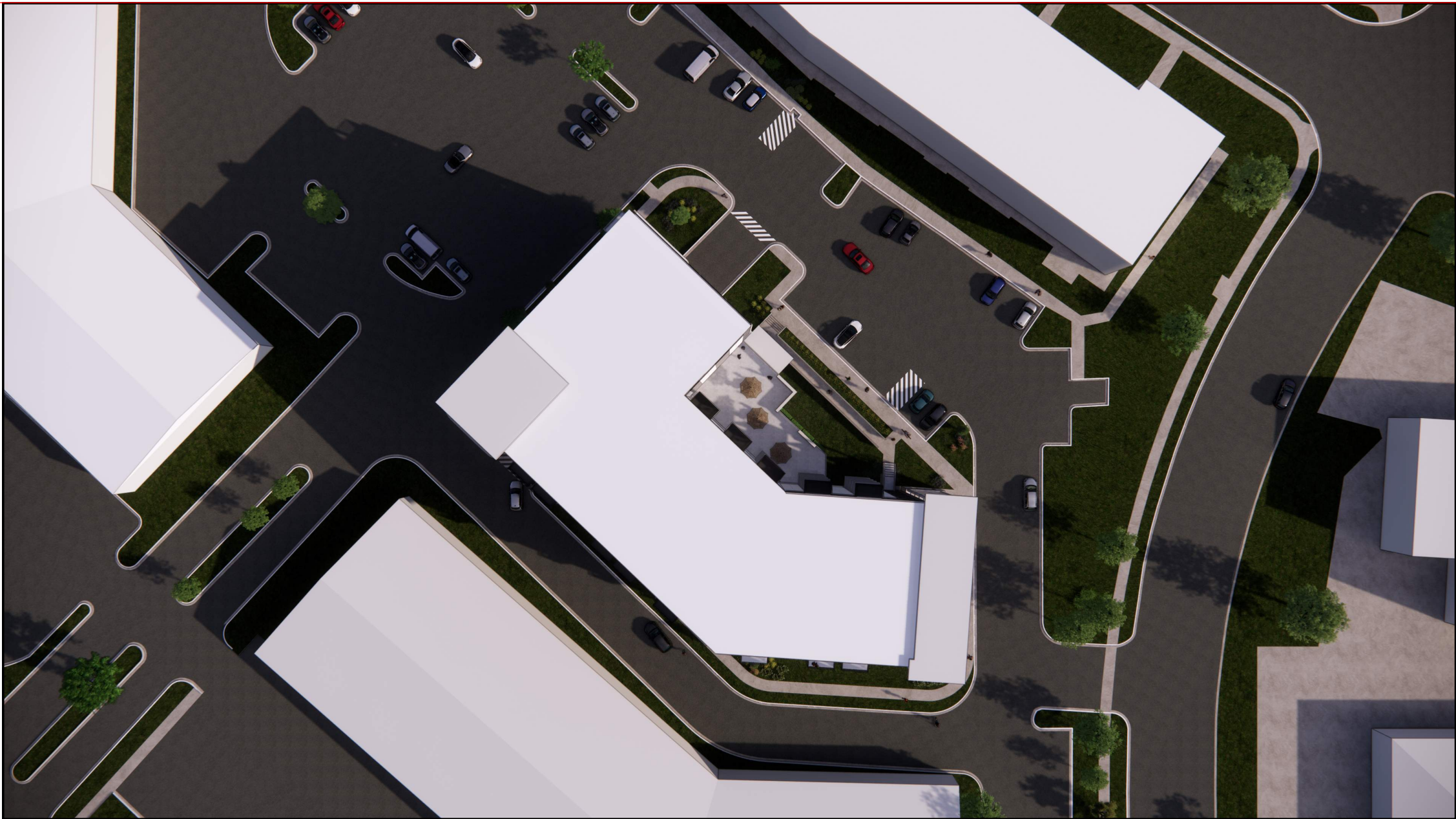
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SHADOW STUDY

SHEET NUMBER

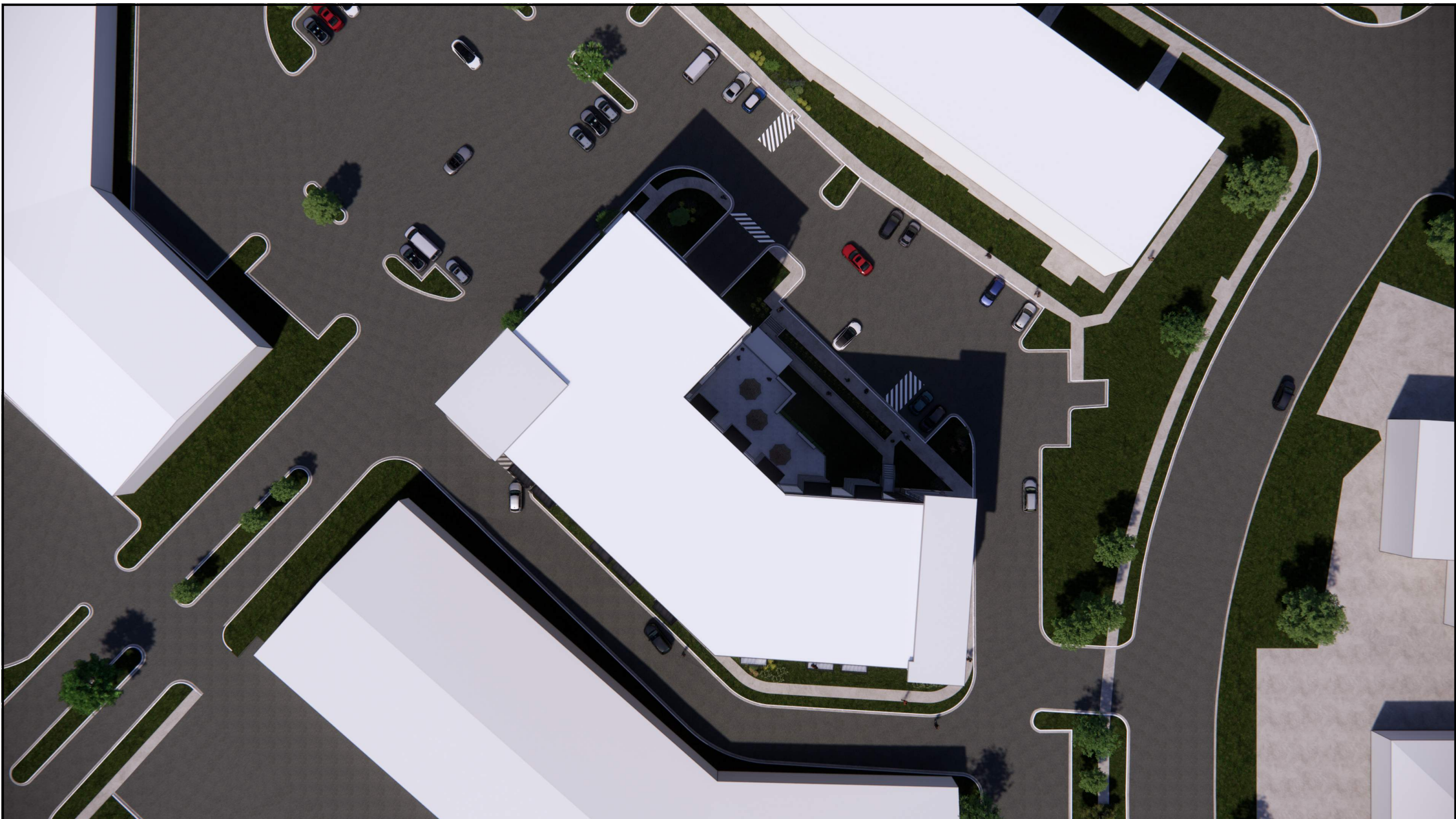
A300



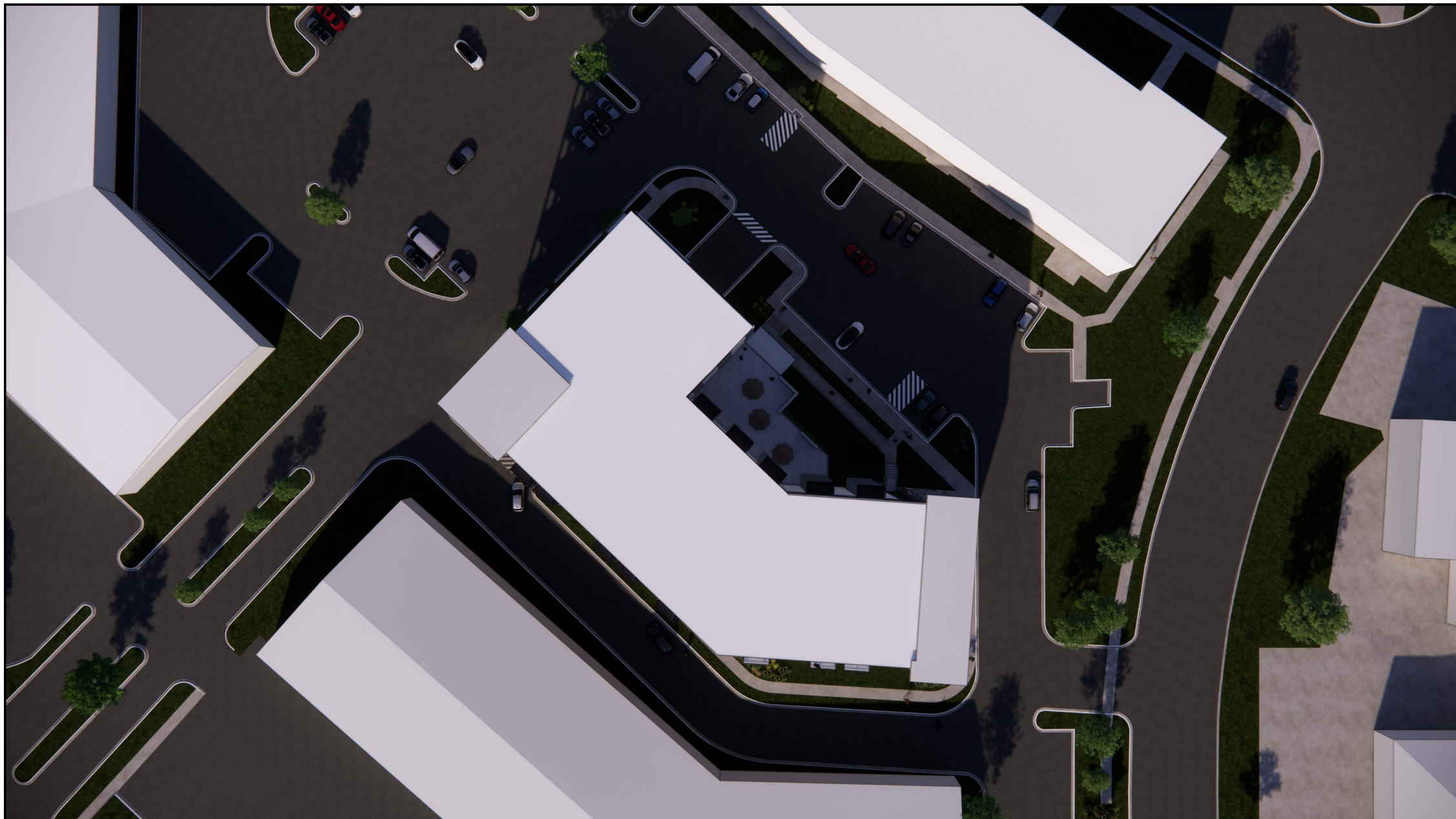
SHADOW ON SEPTEMBER 21ST @ 9AM



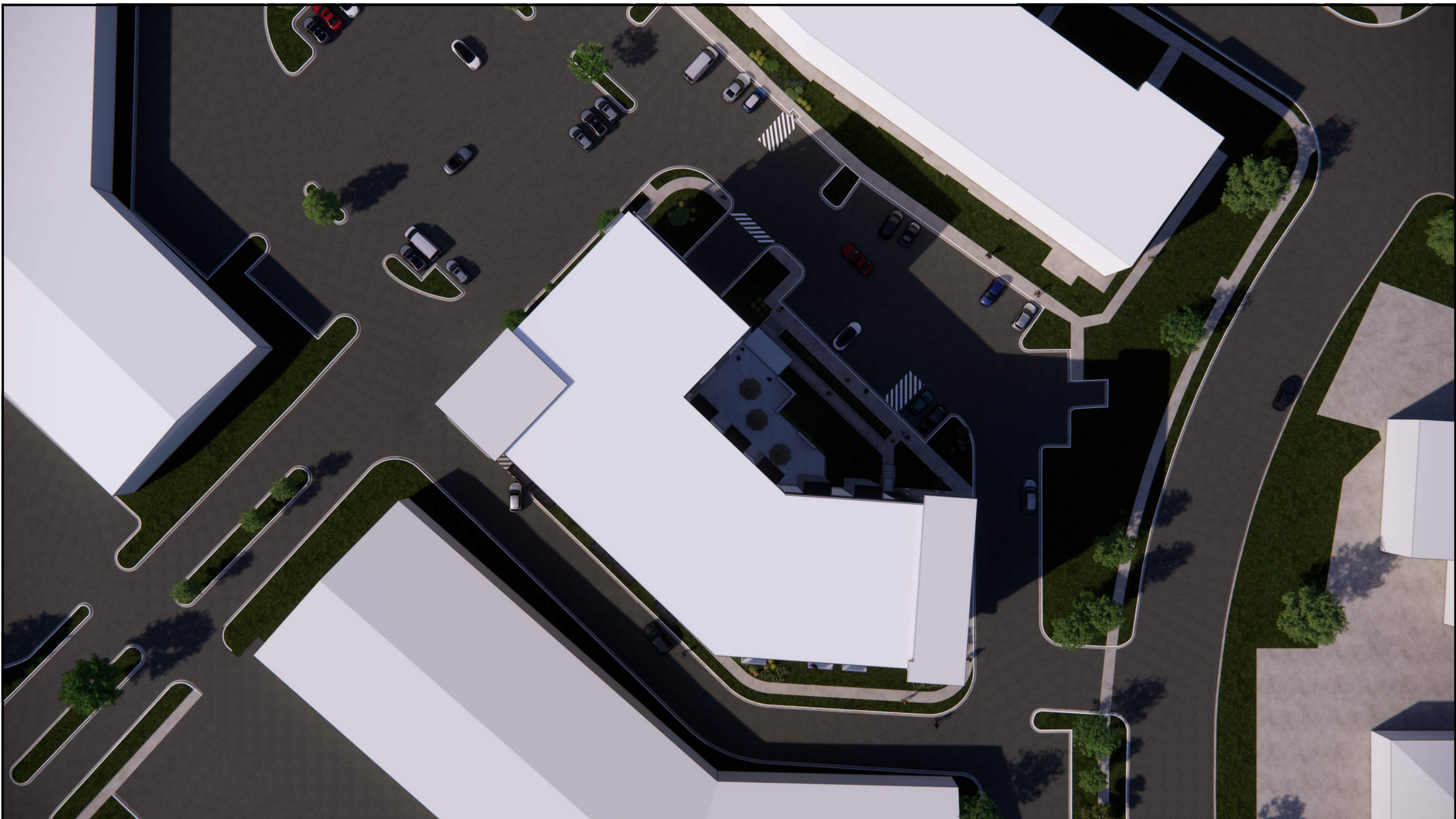
SHADOW ON DECEMBER 21ST @ 9AM



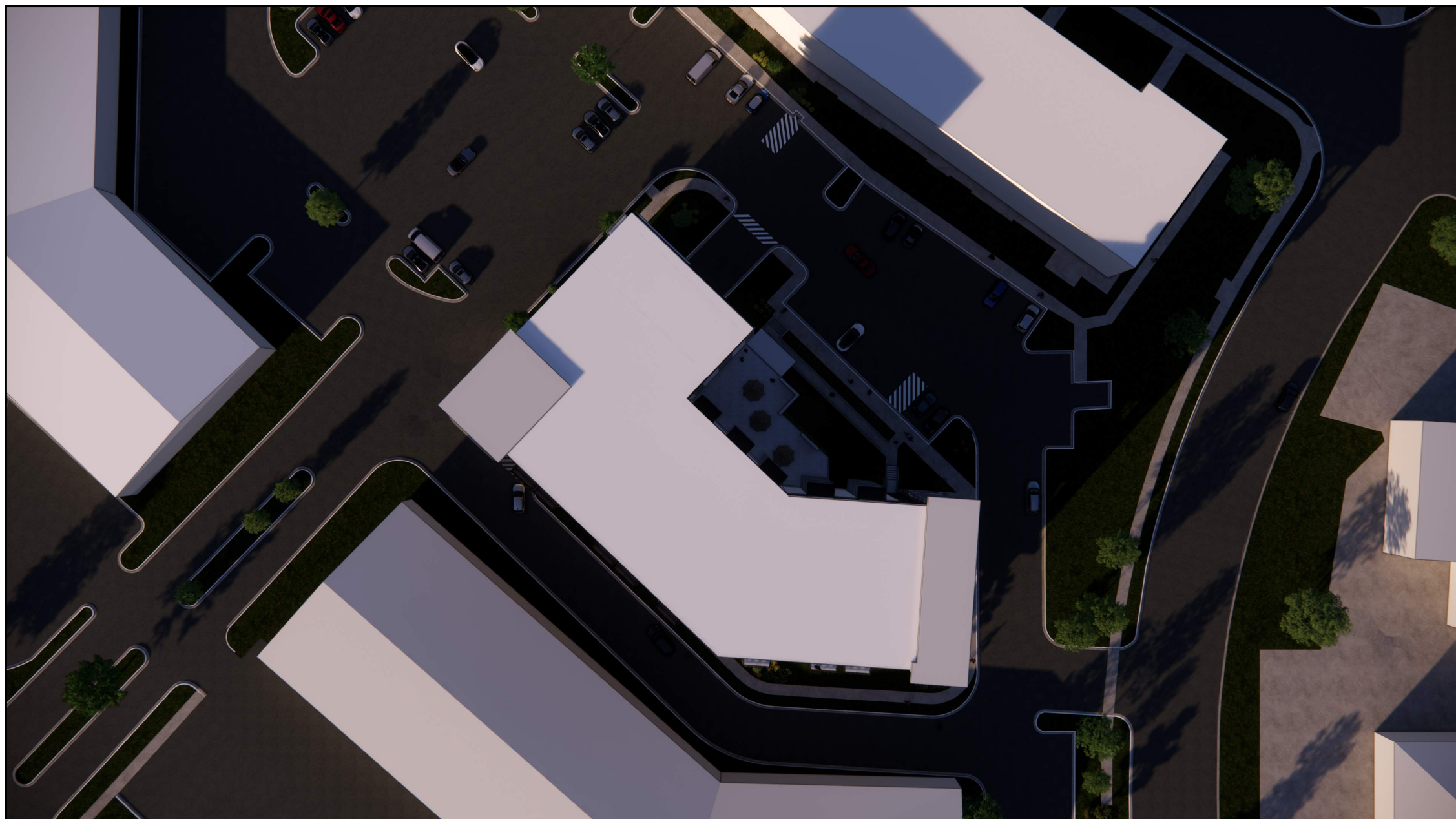
SHADOW ON SEPTEMBER 21ST @ 2PM



SHADOW ON DECEMBER 21ST @ 2PM



SHADOW ON SEPTEMBER 21ST @ 4PM



SHADOW ON DECEMBER 21ST @ 4PM



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REVISION SCHEDULE		
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SHEET TITLE

SHADOW STUDY

SHEET NUMBER

A301



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
PERSPECTIVES

SHEET NUMBER

A211



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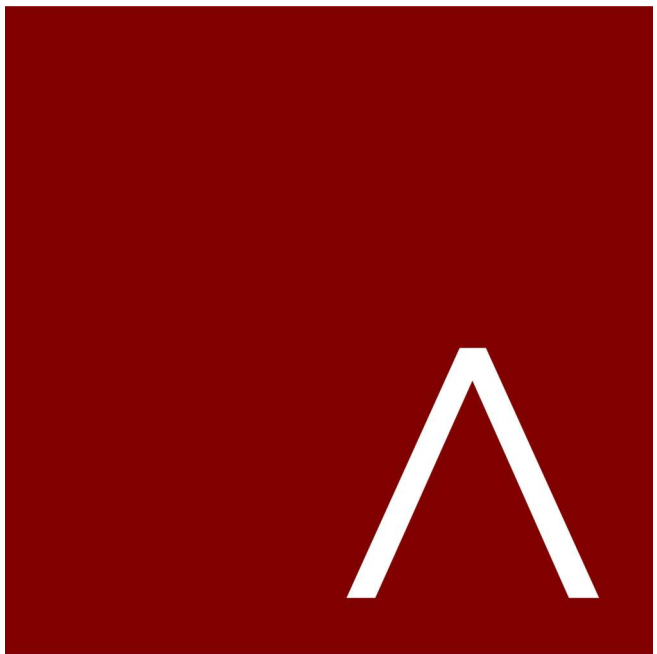
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
PERSPECTIVES

SHEET NUMBER

A212



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

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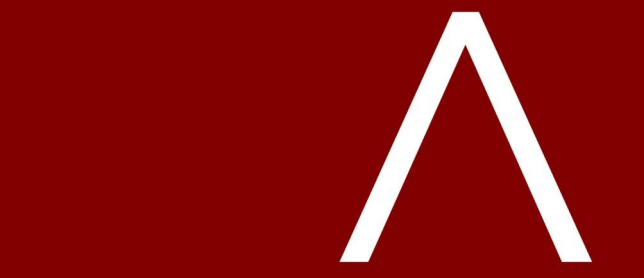
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**EXTERIOR
PERSPECTIVES**

SHEET NUMBER

A213



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JLA PROJECT NUMBER: W22-0122

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SHEET TITLE

**EXTERIOR
PERSPECTIVES**

SHEET NUMBER

A214



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SHEET TITLE

EXTERIOR
PERSPECTIVES

SHEET NUMBER

A215



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SHEET TITLE

EXTERIOR PERSPECTIVE

SHEET NUMBER

A216

MARKET SQUARE BUILDING A1

MADISON, WISCONSIN



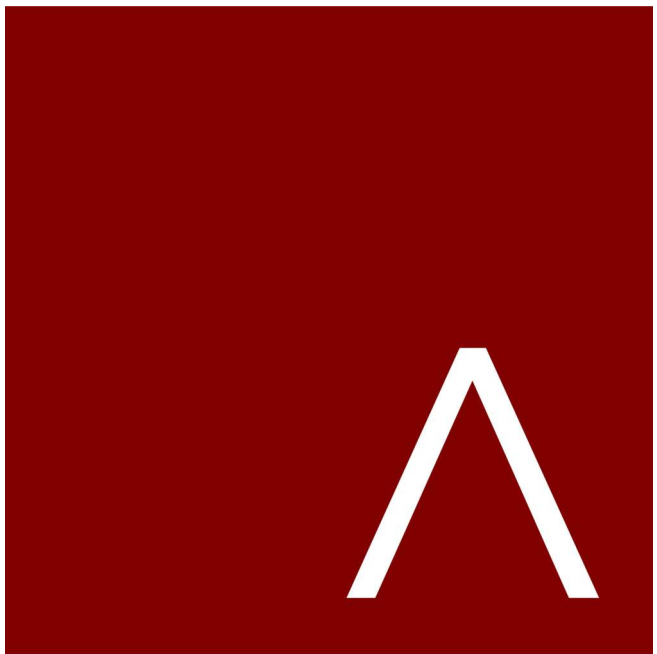
LAND USE APPLICATION SUBMITTAL

JANUARY 4th, 2023



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JLA PROJECT NUMBER: W22-0122



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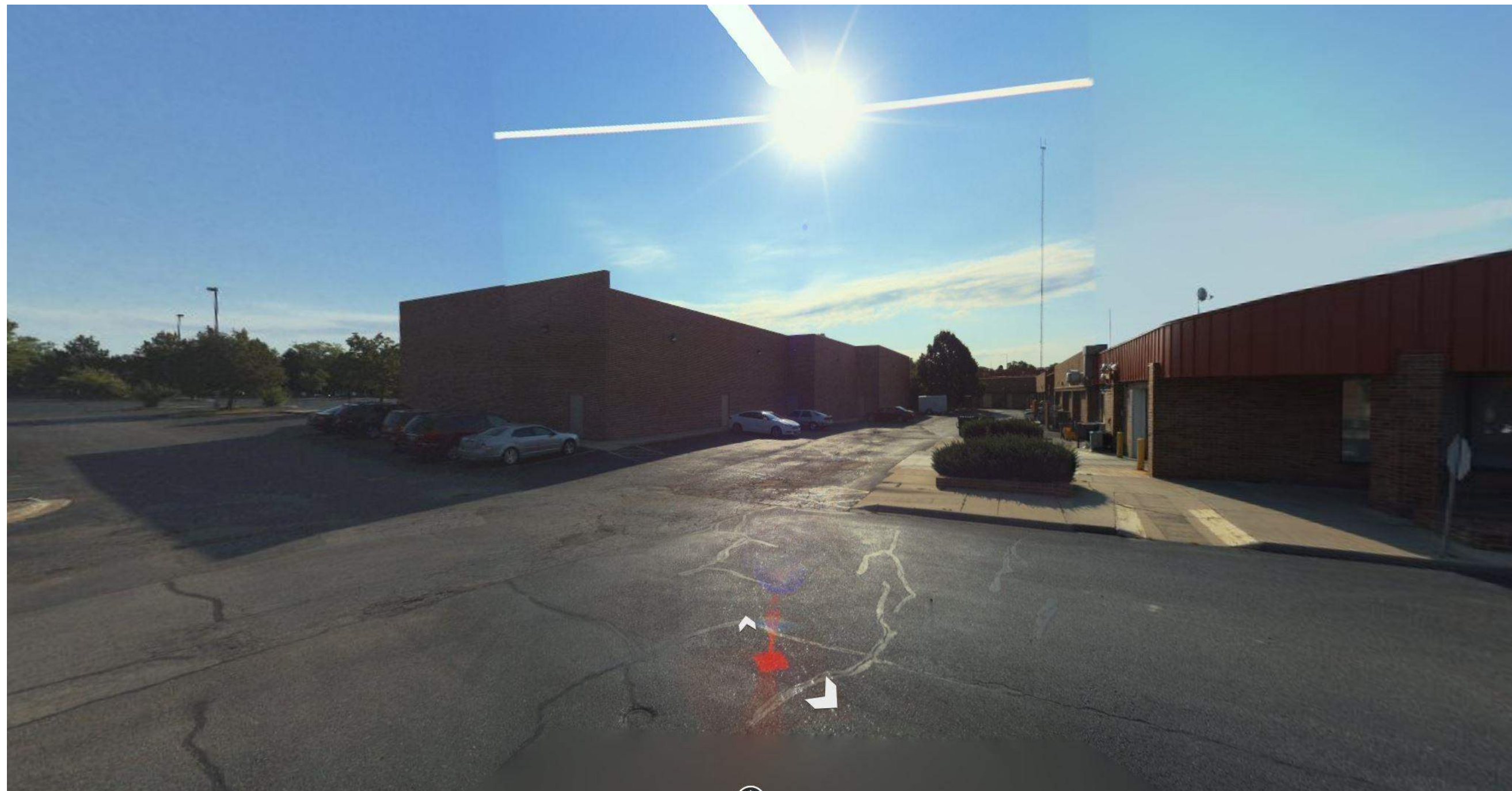
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G102



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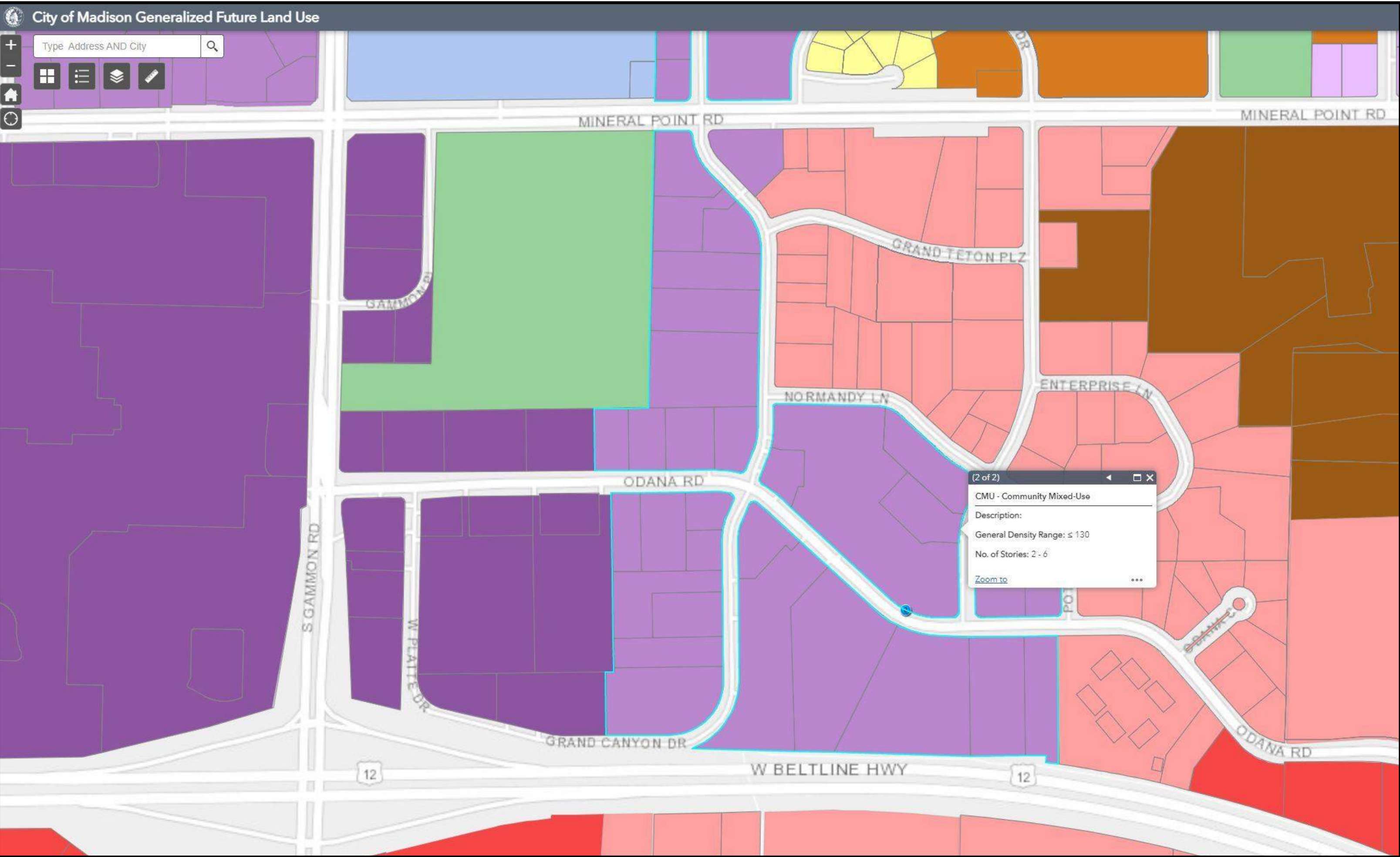
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE CONTEXT

SHEET NUMBER

G103



Mixed-Use Future Land Use Categories

Mixed-Use and Commercial Building Form	Neighborhood Mixed-Use (NMU)	Community Mixed-Use (CMU)	Regional Mixed-Use (RMU)	Downtown Mixed-Use (DMU)	Downtown Core (DC)
Commercial Block Building					
Civic or Institutional Building					
Residential - Commercial Conversion					
Live-Work Building					
Single-Family Attached Building					
Small Multifamily Building					
Courtyard Multifamily Building					
Large Multifamily Building					
Parking / Liner Buildings					
Free-Standing Commercial Building					
Podium Building					
Flex Building					
Number of Stories	2-4	2-6	2-12	See Downtown Plan, page 37	
General Residential Density Range	≤70	≤130	--	--	--



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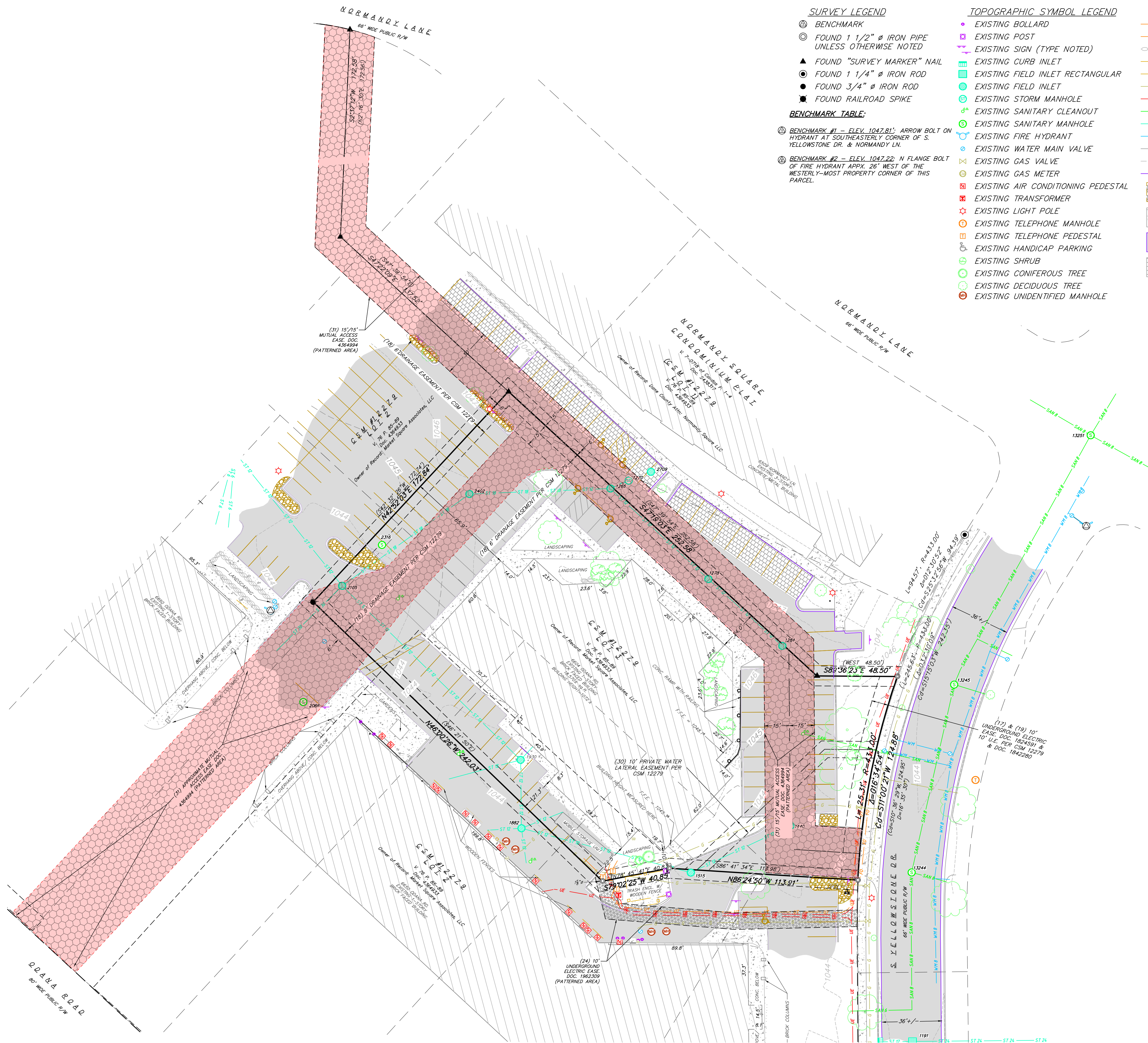
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SHEET TITLE














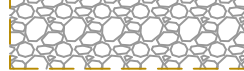

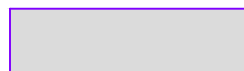
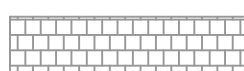
ZONING SUMMARY

SHEET NUMBER

G103



WORK LEGEND

- | | |
|-------------------------------------------------------------------------------------|-------------------------------------------|
|  | EXISTING FIBER OPTIC LINE |
|  | EXISTING UNDERGROUND TELEPHONE |
|  | EXISTING RETAINING WALL |
|  | EXISTING METAL RAILING |
|  | EXISTING WOOD FENCE |
|  | EXISTING GAS LINE |
|  | EXISTING UNDERGROUND ELECTRIC LINE |
|  | EXISTING SANITARY SEWER LINE (SIZE NOTED) |
|  | EXISTING STORM SEWER LINE (SIZE NOTED) |
|  | EXISTING WATER MAIN (SIZE NOTED) |
|  | EXISTING MAJOR CONTOUR |
|  | EXISTING MINOR CONTOUR |
|  | EXISTING EDGE OF PAVEMENT |
|  | EXISTING GRAVEL SURFACE |
|  | EXISTING CONCRETE SURFACE |
|  | EXISTING ASPHALT SURFACE |
|  | EXISTING BRICK PAVER SURFACE |

DESCRIPTION:

Lot 3 of Certified Survey Map No. 12279, recorded in the Office of the Register of Deeds for Dane County, Wisconsin, in Volume 76 of Certified Survey Maps, Pages 85-89, as Document No. 4364993, located in the Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 25, Township 07 North, Range 08 East, in the City of Madison, Dane County, Wisconsin.

GENERAL SURVEY NOTES:

- 1) *This survey was prepared based upon information provided in the Title Commitment NCS-965490-MAD, dated June 18, 2019 at 8:00 a.m. from First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703, now located at 3330 University Ave., Suite A, Madison, WI 53705.*
 - 2) *This survey is based upon field work performed on July 25-26, 2022. Any changes in site conditions after July 26, 2022 are not reflected by this survey.*
 - 3) *Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title survey may disclose.*
 - 4) *No attempt has been made as a part of this survey to obtain or show data concerning size, depth, condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities contact the appropriate agencies.*
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20223001429 and 20223001464. Location of buried private utilities are not within the scope of this survey.*
- 5) *Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Digger's Hotline at 1-800-242-8511.*
 - 6) *Vertical datum is NAVD88.*
 - 7) *Parcel is subject to and benefits from cross access, parking, ingress & egress easements in Document Nos. 21442275, 4364994 that include parking areas, sidewalks, drives, curb-cuts, etc. Refer to documents.*

EXISTING SANITARY STRUCTURE TABLE			
STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
2066	SAN MH	1044.08	
2316	SAN MH	1044.13	
13244	SAN MH	1043.79	N 8" 1034.94
			E 6" 1035.07
13245	SAN MH	1044.57	N 8" 1034.60
			S 8" 1034.65
13251	SAN MH	1045.17	N 8" 1033.79
			E 6" 1035.61
			S 8" 1033.79
			W 8" 1035.31

EXISTING STORM SEWER STRUCTURE TABLE			
STRUCTURE PT. #	STRUCTURE TYPE	R/M ELEVATION	INVERT
1191	SQUARE INLET	1043.26	E 24" RCP 1039.22
			S 24" RCP 1038.93
			W 12" RCP 1039.41
1199	CURB INLET	1043.24	E 12" RCP 1039.72
1266	ROUND INLET	1046.52	NE 12" PVC 1040.26
			E 12" PVC 1040.70
			SW 18" RCP 1040.24
1270	STMH STORMCEPTOR	1047.20	
1278	ROUND INLET	1046.64	E 12" PVC 1041.99
			W 12" PVC 1041.93
1284	ROUND INLET	1045.93	W 12" PVC 1042.41
1440	ROUND INLET	1043.14	SW 12" PVC 1040.04
1515	ROUND INLET	1044.10	E 12" PVC 1039.88
			NW 12" PVC 1039.90
1882	ROUND INLET	1044.24	NE 12" PVC 1038.88
			E 12" PVC 1038.96
			SW 12" PVC 1039.08
			NW 12" PVC 1038.74
			SE 12" PVC 1038.87
1930	ROUND INLET	1043.10	NE 12" PVC 1038.76
			SE 12" PVC 1038.69
			SW 12" PVC 1038.74
			W 12" PVC 1038.68
2105	ROUND INLET	1043.21	N 18" RCP 1037.71
			E 12" RCP 1038.99
			S 30" RCP 1036.80
			W 12" RCP 1036.94
2311	ROUND INLET	1043.89	E 12" RCP 1037.63
			SE 6" PVC 1038.37
			SE 6" PVC 1038.03
			WSW 12" RCP 1037.63
2402	ROUND INLET	1045.92	NE 18" RCP 1039.46
			SSW 18" RCP 1039.03
2709	ROUND INLET	1047.36	

SURVEYED FOR:
Walter Wayne Development
702 North High Point Road
Suite 200
Madison, WI 53717

SURVEYED BY:
Vierbicher Associates, Inc.
By: Baiba M. Rozite, PLS
600 W. Virginia St., Suite 601
Milwaukee, WI 53204
(262) 408-5564
broz@vierbicher.com

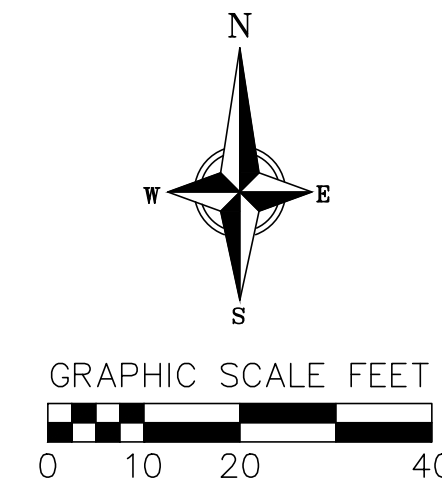
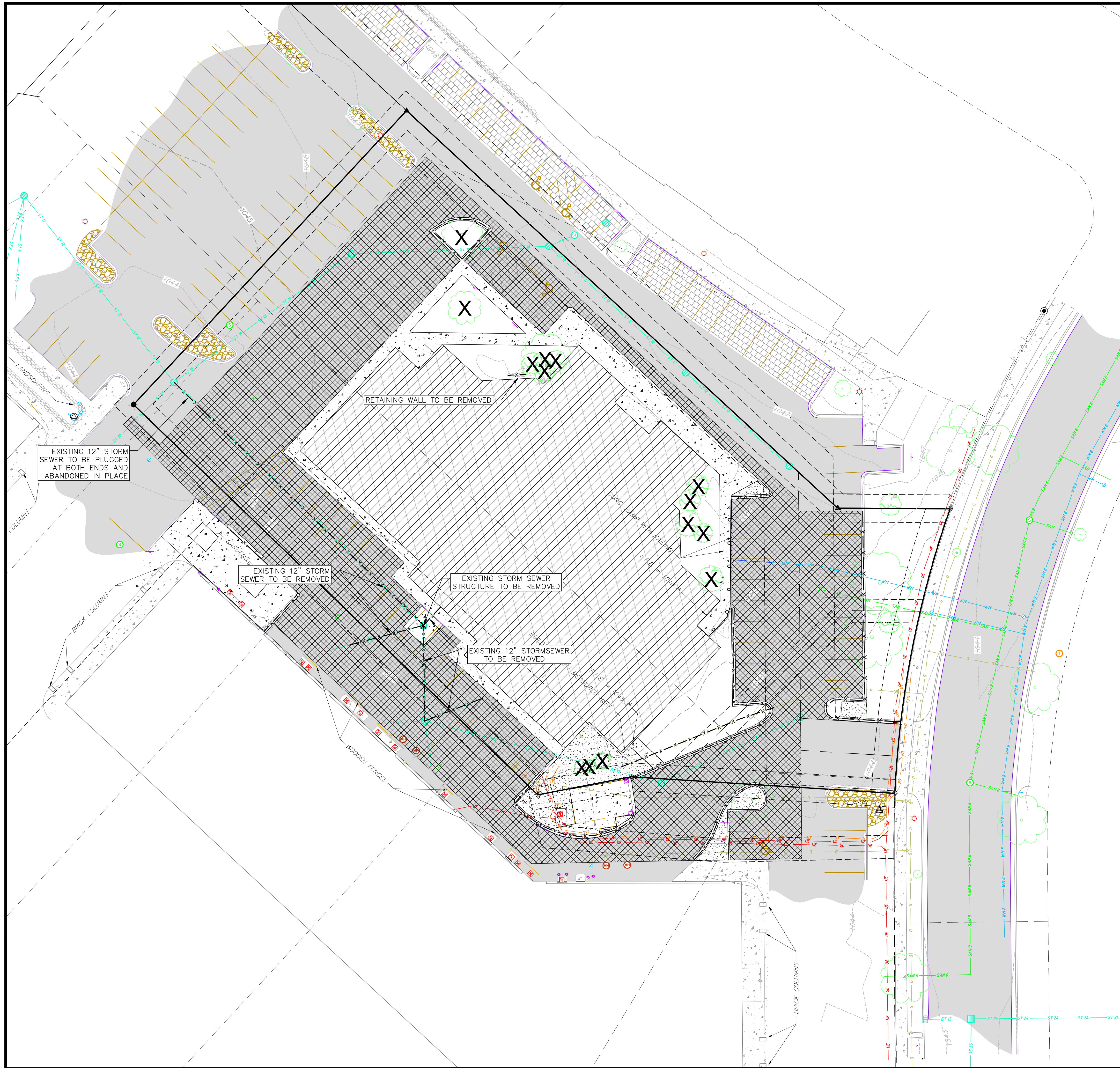
DIGGERS HOTLINE
Dial **811** or (800) 242-8511
www.DiggersHotline.com



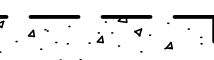
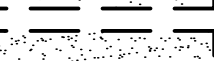
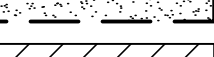



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

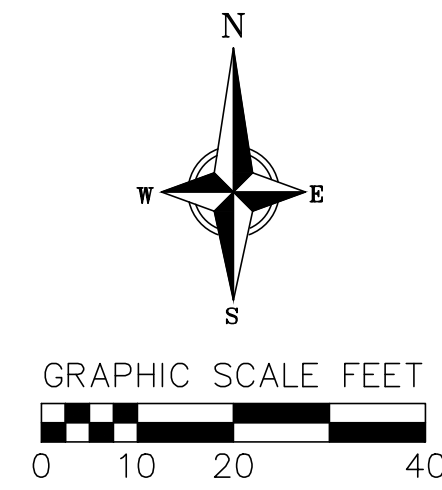
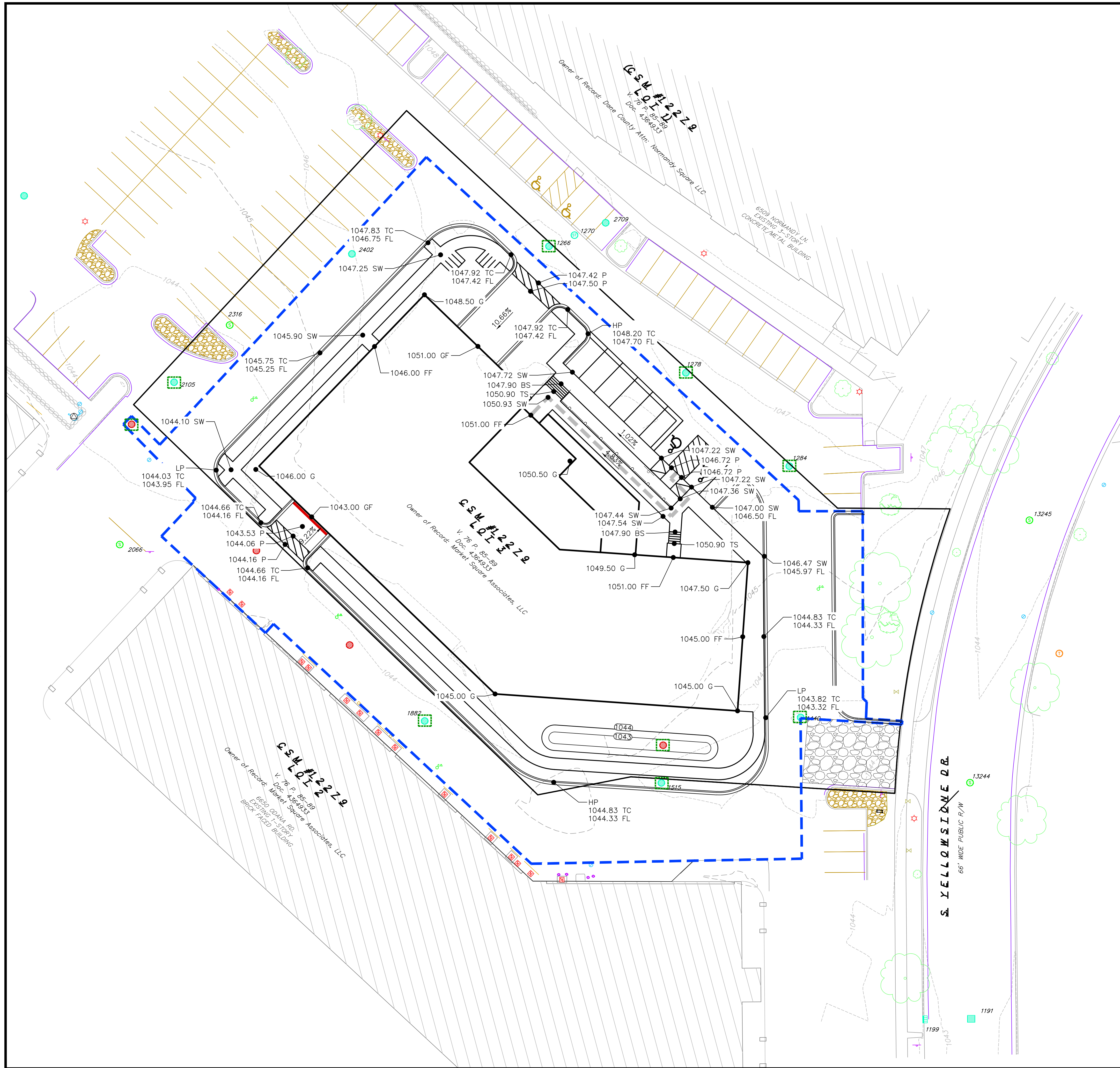
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C1.0



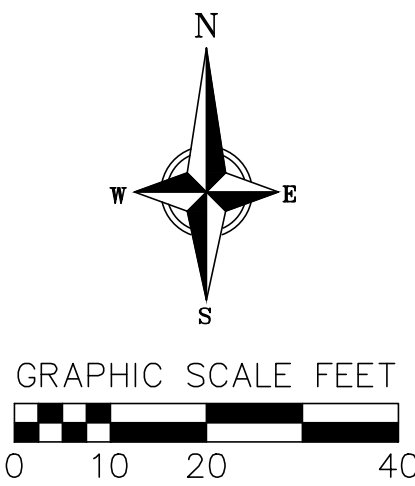
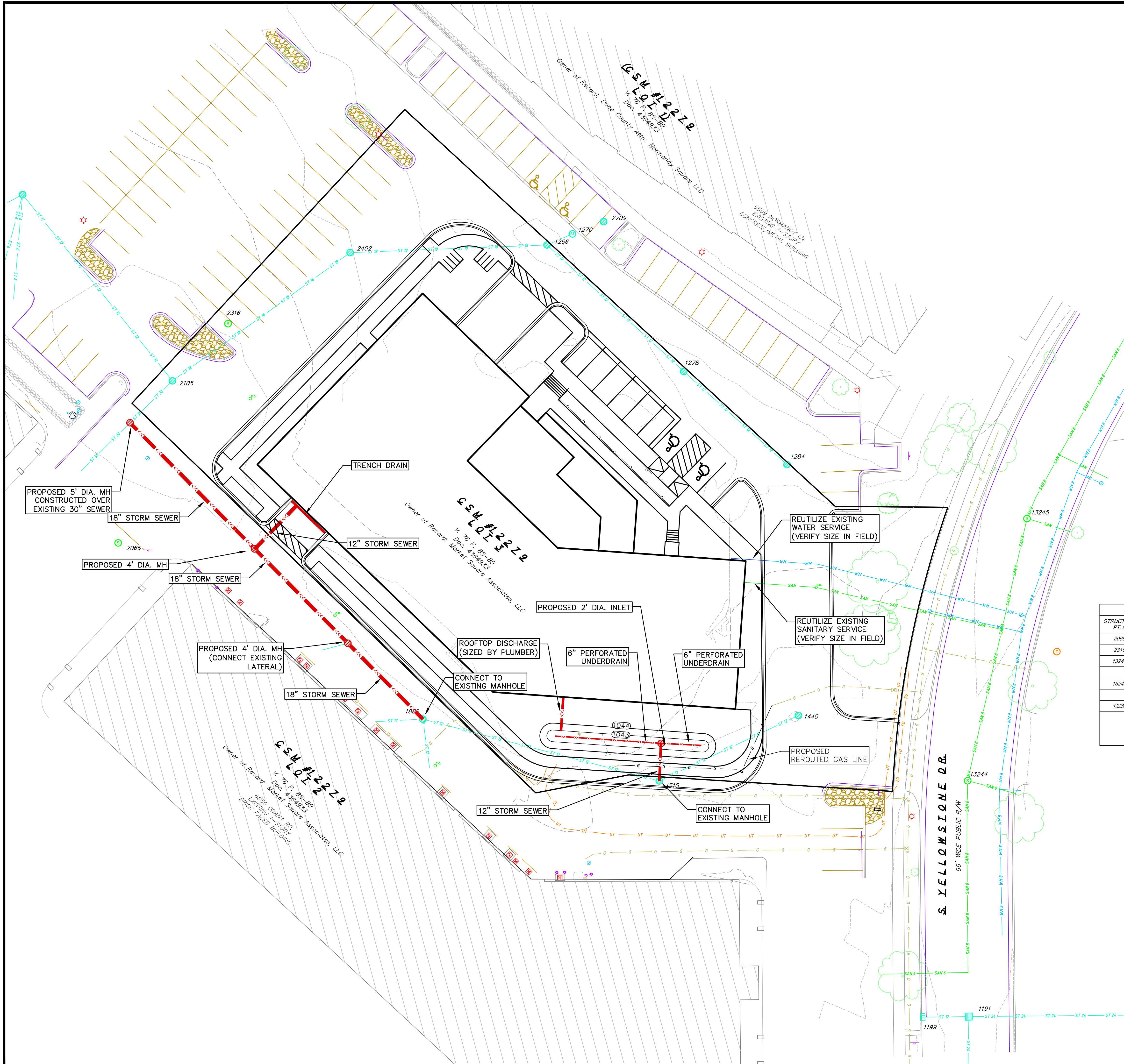
- ### DEMOLITION PLAN LEGEND
- | | |
|-------------------------------------------------------------------------------------|---------------------------|
|  | CURB AND GUTTER REMOVAL |
|  | ASPHALT REMOVAL |
|  | CONCRETE REMOVAL |
|  | GRAVEL REMOVAL |
|  | BUILDING REMOVAL |
|  | TREE REMOVAL |
|  | UTILITY STRUCTURE REMOVAL |
|  | UTILITY LINE REMOVAL |

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- ### GRADING LEGEND
- | | |
|-------------------------------------------------------------------------------------|--------------------------|
|  | EXISTING MAJOR CONTOURS |
|  | EXISTING MINOR CONTOURS |
|  | PROPOSED MAJOR CONTOURS |
|  | PROPOSED MINOR CONTOURS |
|  | DRAINAGE DIRECTION |
|  | PROPOSED SLOPE ARROWS |
|  | EXISTING SPOT ELEVATIONS |
|  | PROPOSED SPOT ELEVATIONS |
|  | DISTURBED LIMITS |
|  | INLET PROTECTION |
|  | TRACKING PAD |

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- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER ENDWALL
 - STORM SEWER CURB INLET
 - STORM SEWER CURB INLET W/MANHOLE
 - STORM SEWER FIELD INLET
 - ROOF DRAIN CLEANOUT
 - SANITARY SEWER PIPE (GRAVITY)
 - SANITARY SEWER PIPE (FORCE MAIN)
 - SANITARY SEWER LATERAL PIPE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER MAIN
 - WATER SERVICE LATERAL PIPE
 - FIRE HYDRANT
 - WATER VALVE
 - CURB STOP
 - WATER VALVE MANHOLE
 - PROPOSED PIPE INSULATION
 - GAS MAIN
 - ELECTRIC SERVICE

ABBREVIATIONS

STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE


EXISTING SANITARY STRUCTURE TABLE

STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
2086	SAN MH	1044.08	
2316	SAN MH	1044.13	
13244	SAN MH	1043.79	N 8" 1034.94
			E 8" 1035.07
13245	SAN MH	1044.57	N 8" 1034.60
			S 8" 1034.65
13251	SAN MH	1045.17	N 8" 1033.79
			E 8" 1035.61
			S 8" 1033.79
			W 8" 1035.31

EXISTING STORM SEWER STRUCTURE TABLE

STRUCTURE PT. #	STRUCTURE TYPE	RIM ELEVATION	INVERT
1191	SQUARE INLET	1043.26	E 24" RCP 1039.22
			S 24" RCP 1038.93
			W 12" RCP 1039.41
1199	CURB INLET	1043.24	E 12" RCP 1039.72
1266	ROUND INLET	1046.52	NE 12" PVC 1040.26
			E 12" PVC 1040.70
			SW 18" RCP 1040.24
1270	STMH STORMCEPTOR	1047.20	
1278	ROUND INLET	1046.64	E 12" PVC 1041.99
			W 12" PVC 1041.93
1284	ROUND INLET	1045.93	W 12" PVC 1042.41
1440	ROUND INLET	1043.14	SW 12" PVC 1040.04
1515	ROUND INLET	1044.10	E 12" PVC 1039.88
			NW 12" PVC 1039.90
1882	ROUND INLET	1044.24	NE 12" PVC 1038.88
			E 12" PVC 1038.96
			SW 12" PVC 1039.08
			NW 12" PVC 1038.74
			SE 12" PVC 1038.87
1930	ROUND INLET	1043.10	NE 12" PVC 1038.76
			SE 12" PVC 1038.69
			SW 12" PVC 1038.74
			W 12" PVC 1038.68
2105	ROUND INLET	1043.21	N 18" RCP 1037.74
			E 12" RCP 1038.00
			S 30" RCP 1038.80
			W 12" RCP 1038.04
2311	ROUND INLET	1043.89	E 12" RCP 1037.63
			SE 6" PVC 1038.37
			SE 6" PVC 1038.03
			WSW 12" RCP 1037.63
2402	ROUND INLET	1045.92	NE 18" RCP 1039.46
			SSW 18" RCP 1039.03
2709	ROUND INLET	1047.36	

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planners | engineers | advisors

UTILITY PLAN

MARKET SQUARE SHOPPING CENTER
MADISON
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 1/3/2023
DRAFTER: JGRU
CHECKED: KUEN
PROJECT NO.: 220094

C5.0



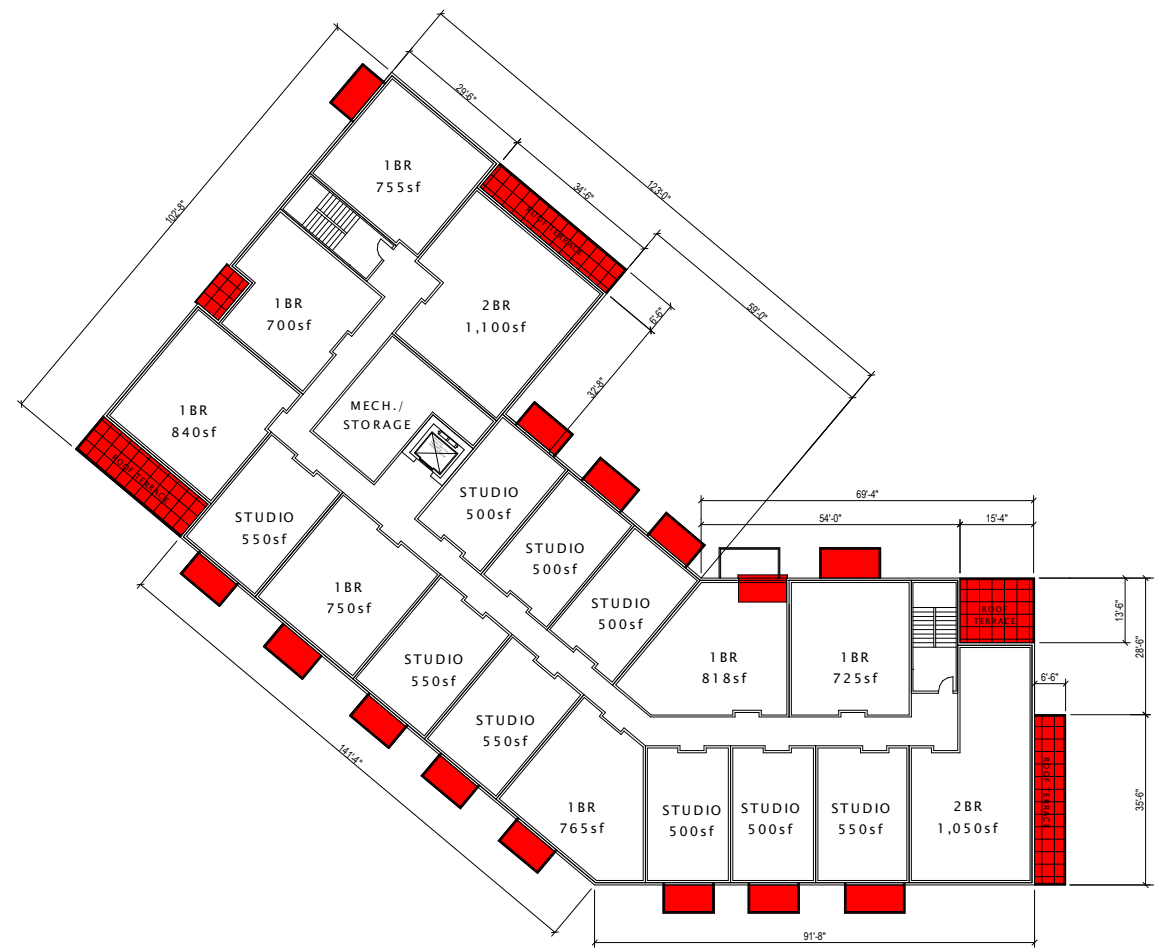
1 USABLE OPEN SPACE - 3RD FLOOR
1" = 40'-0"



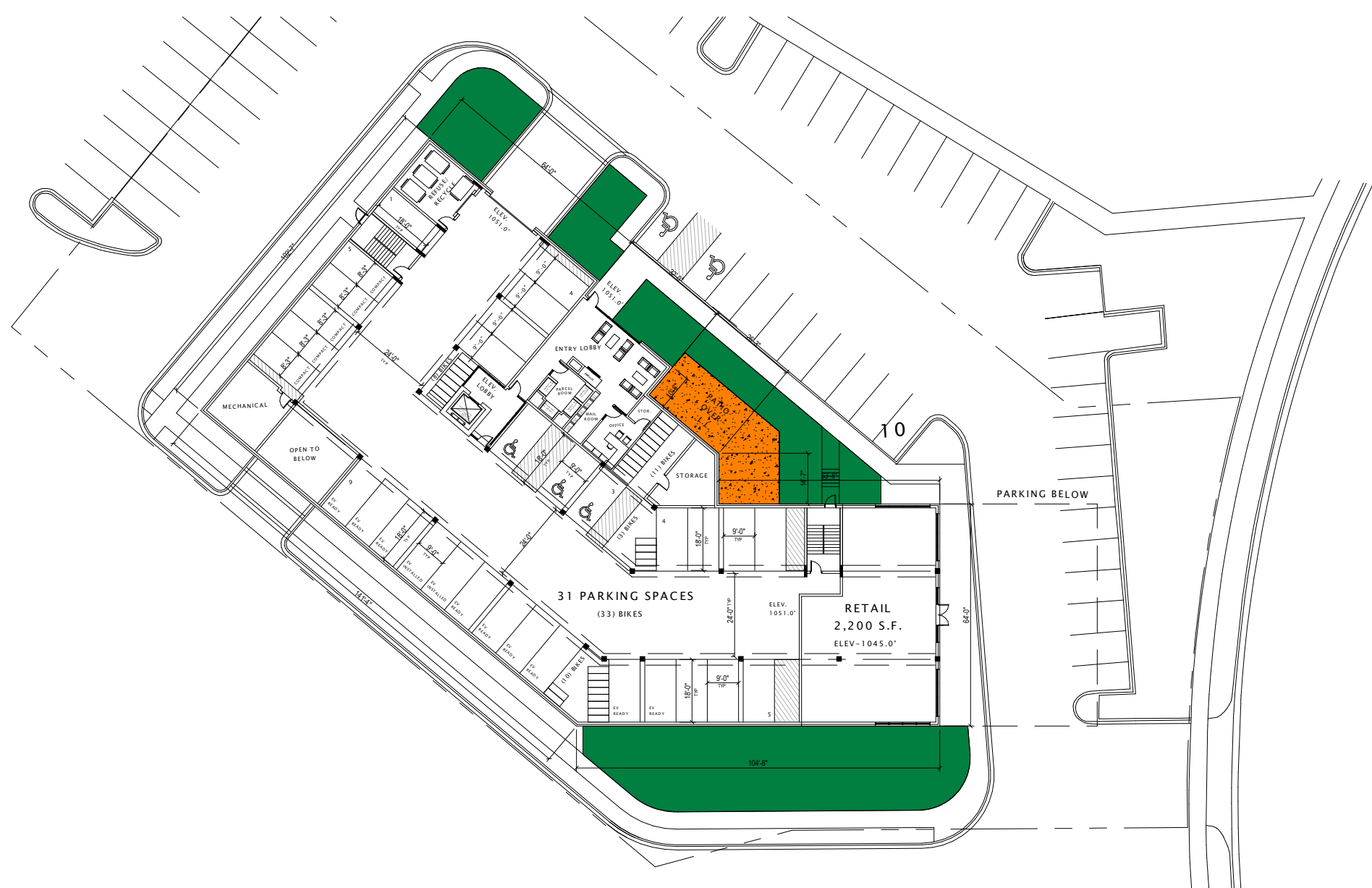
3 USABLE OPEN SPACE - 6TH FLOOR
1" = 40'-0"



6 USABLE OPEN SPACE - 2ND FLOOR
1" = 40'-0"



9 USABLE OPEN SPACE - 5TH FLOOR
1" = 40'-0"




11 USABLE OPEN SPACE - 1ST FLOOR
1" = 40'-0"

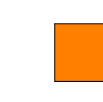


13 USABLE OPEN SPACE - 4TH FLOOR
1" = 40'-0"

USABLE OPEN AREA CHART

 DENOTES USABLE OPEN AREA
ON PLAN = 4,824 S.F.

 DENOTES USABLE OPEN AREA
PRIVATE BALCONIES = 7,742 S.F.

 DENOTES USABLE OPEN AREA
ROOF DECKS = 3,994 S.F.

REQUIRED USABLE OPEN AREA =
(40 S.F. X 87 DWELLING UNITS) =
3,480 S.F.

TOTAL USABLE OPEN AREA = 16,560 S.F.



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MARKET SQUARE BUILDING A1 LAND USE APPLICATION SUBMITTAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE JANUARY 4th, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

USABLE OPEN SPACE

SHEET NUMBER

ASP-100

STUDIO UNIT

1 BD UNIT

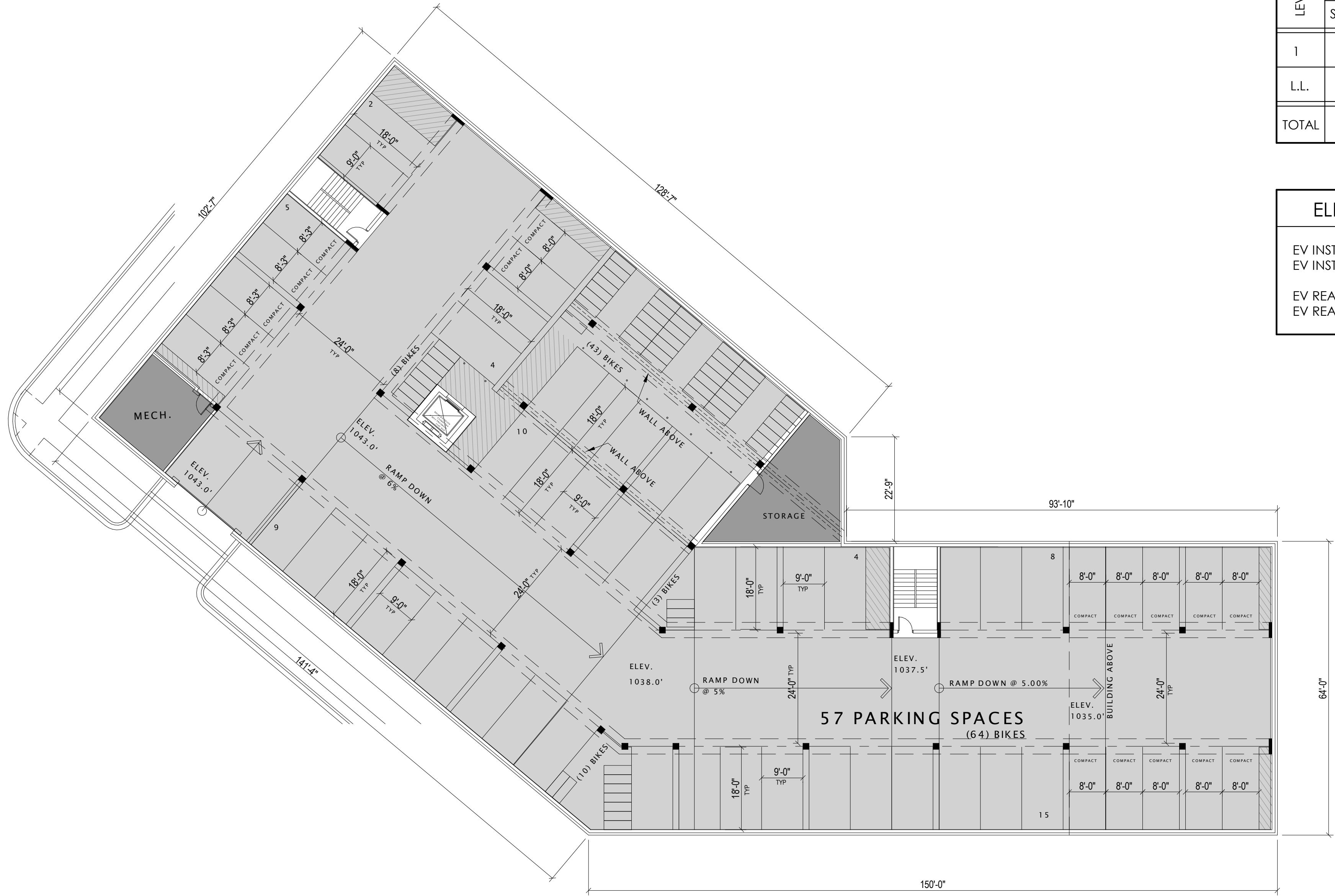
2 BD UNIT

AMENITIES

BLDG. SUPP / STOR.

CIRCULATION

PARKING



PARKING DATA					
LEVEL	AUTOMOBILE PARKING			TOTAL	BIKE PARKING
	STANDARD	COMPACT	ADA		
1	23	5	3	31	32
L.L.	40	17	0	57	64
TOTAL	59	22	3	88	96

ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED - 2%	EV INSTALLED PROVIDED - 2% (2 STALLS)
EV READY REQUIRED - 10%	EV READY PROVIDED - 10% (9 STALLS)



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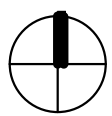
SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100

1 LOWER LEVEL PLAN
1/16" = 1'-0"



- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



PARKING DATA					
LEVEL	AUTOMOBILE PARKING			TOTAL	BIKE PARKING
	STANDARD	COMPACT	ADA		
1	23	5	3	31	32
L.L.	40	17	0	57	64
TOTAL	59	22	3	88	96

ELECTRIC VEHICLE PARKING DATA	
EV INSTALLED REQUIRED - 2%	
EV INSTALLED PROVIDED - 2% (2 STALLS)	
EV READY REQUIRED - 10%	
EV READY PROVIDED - 10% (9 STALLS)	



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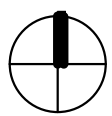
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

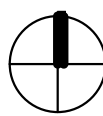
A101



- STUDIO UNIT
- 1 BD UNIT
- 2 BD UNIT
- AMENITIES
- BLDG. SUPP / STOR.
- CIRCULATION
- PARKING



1 SECOND FLOOR PLAN
1/16" = 1'-0"



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Mark	Description	Date

SHEET TITLE

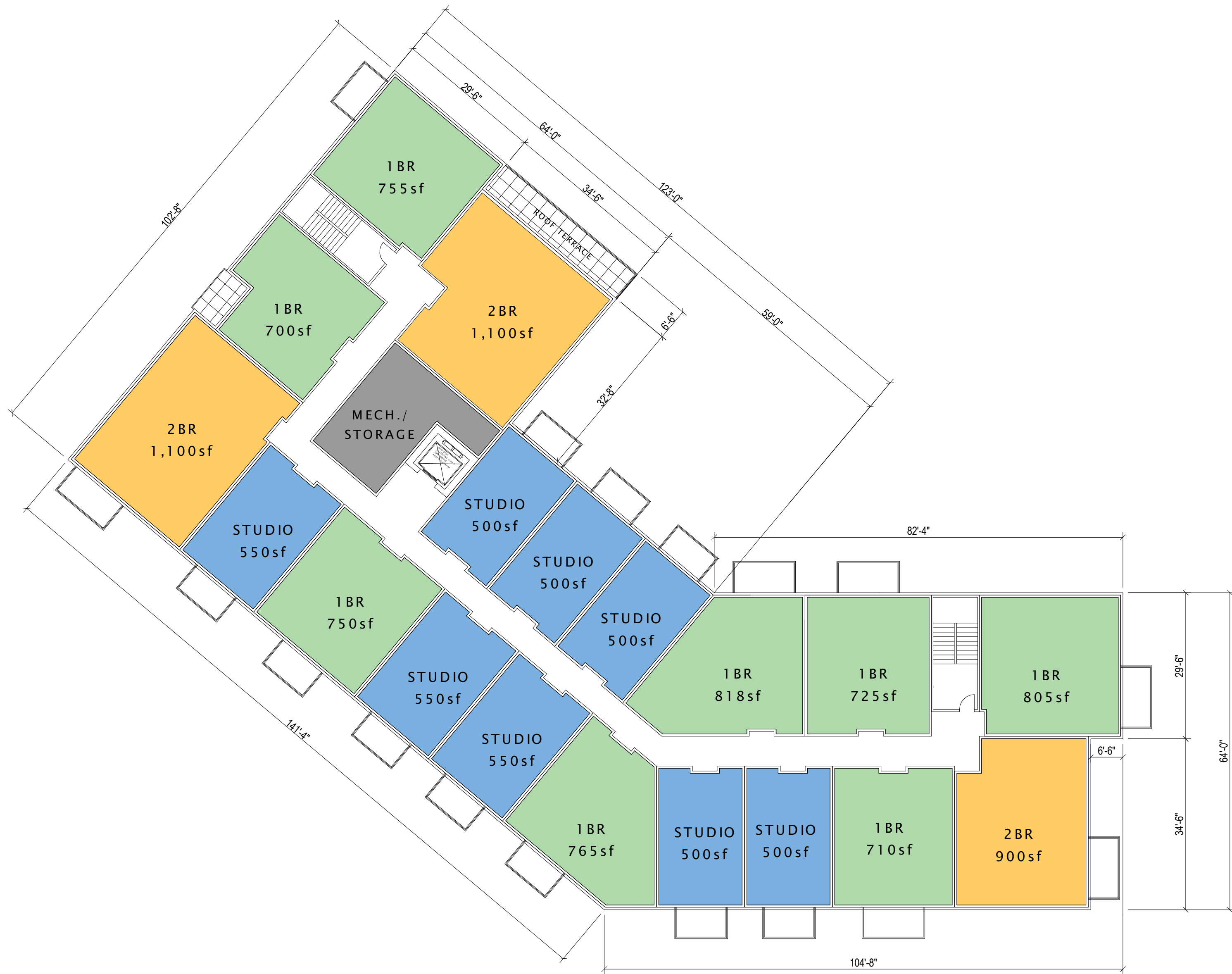
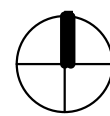
SECOND FLOOR PLAN

SHEET NUMBER

A102

1/4/2023 9:33:12 AM

1 THIRD FLOOR PLAN
1/16" = 1'-0"



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SHEET TITLE

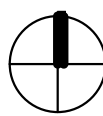
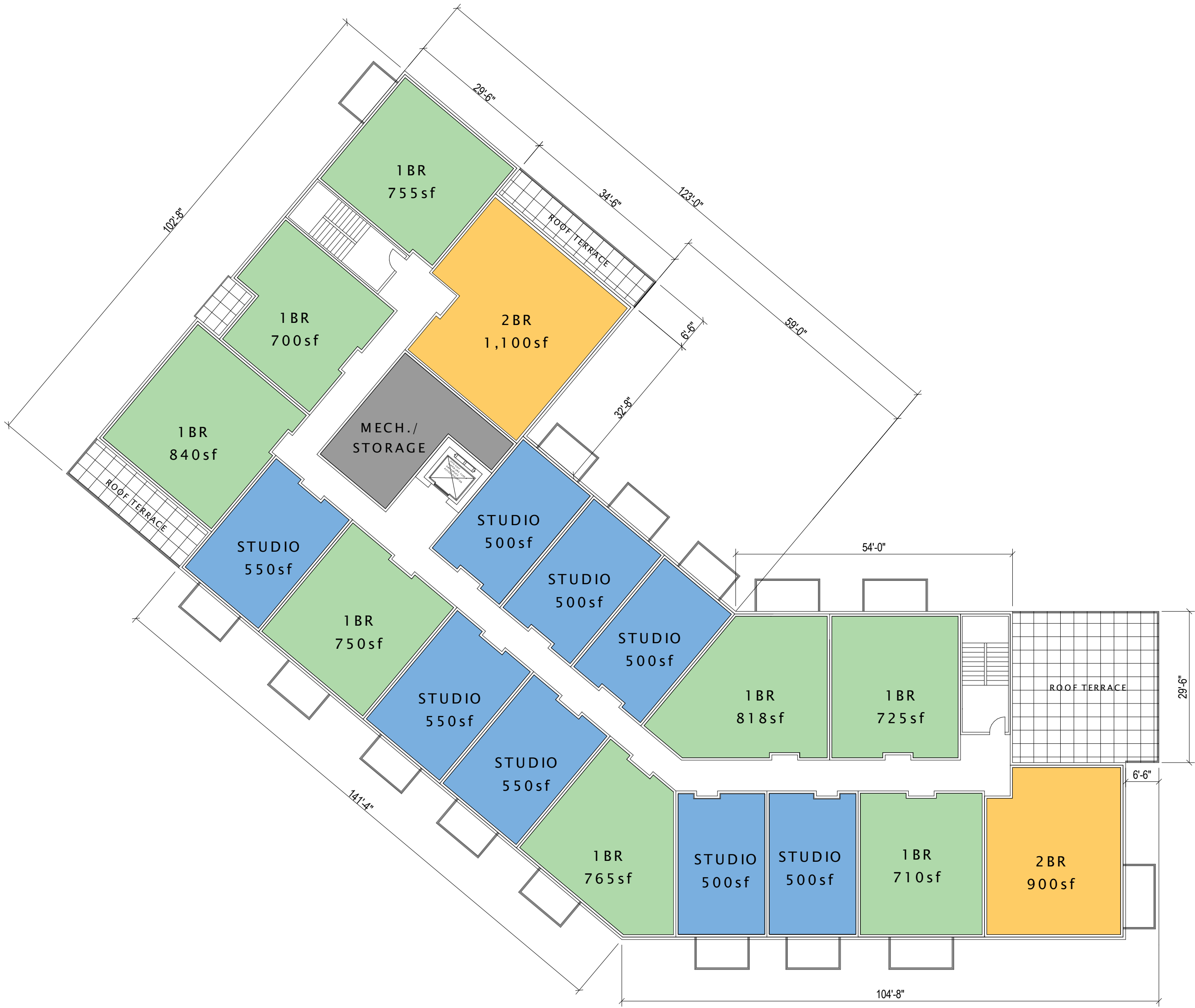
THIRD FLOOR PLAN

SHEET NUMBER

A103

1/4/2023 9:33:12 AM

① FOURTH FLOOR PLAN
1/16" = 1'-0"



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Mark	Description	Date

SHEET TITLE

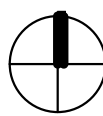
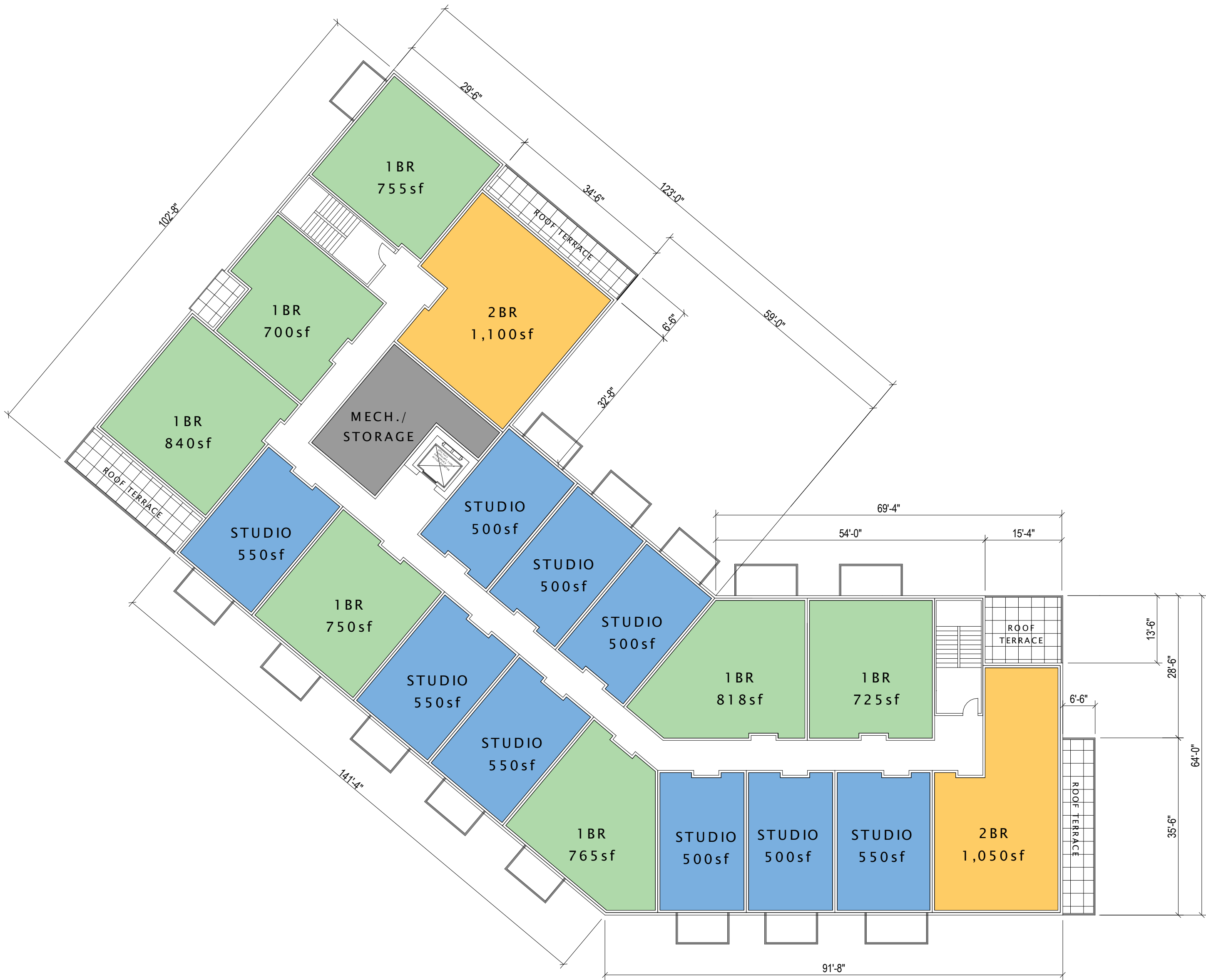
FOURTH FLOOR PLAN

SHEET NUMBER

A104

1/4/2023 9:33:13 AM

1 FIFTH FLOOR PLAN
1/16" = 1'-0"



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Mark	Description	Date

SHEET TITLE

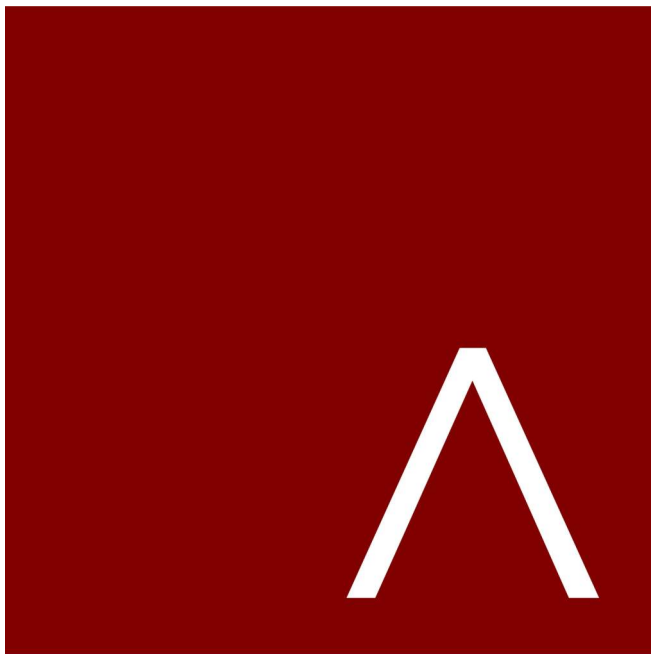
FIFTH FLOOR PLAN

SHEET NUMBER

A105

1/4/2023 9:33:14 AM

① SIXTH FLOOR PLAN
1/16" = 1'-0"



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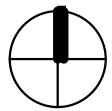
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Mark	Description	Date

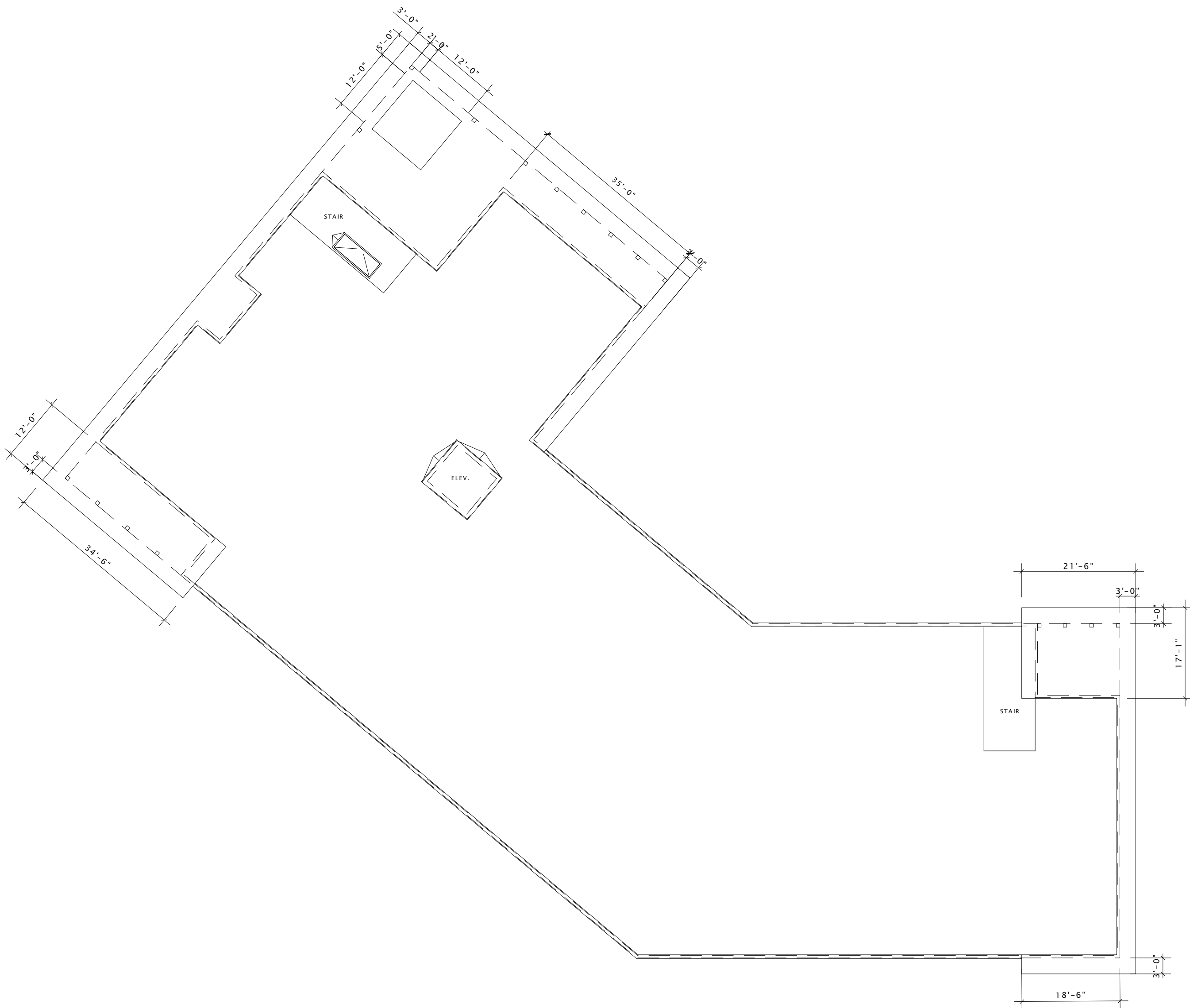
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SIXTH FLOOR PLAN

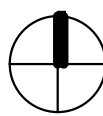
SHEET NUMBER

A106





1 ROOF PLAN
1/16" = 1'-0"



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Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A110



UTILTY BRICK-
'TUMBLEWEED'

COMPOSITE
PANEL #1 -
'IRON GRAY'

COMPOSITE
PANEL #2 -
'COBBLE
STONE'

COMPOSITE
PANEL #3 -
'AGED
PEWTER'



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

MATERIALS BOARD

SHEET NUMBER

A219



6 NORTH ELEVATION
1/8" = 1'-0"



16 EAST ELEVATION
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- COLOR

SHEET NUMBER

A500-A

COMPOSITE PANEL #2

COMPOSITE PANEL #1

MASONRY VENEER
UTILITY BRICK

STORE FRONT

67'-10"

⑥ NORTH ELEVATION B&W
1/8" = 1'-0"

COMPOSITE PANEL #2

COMPOSITE PANEL #1

75'-11"

STORE FRONT

MASONRY VENEER
UTILITY BRICK

①⑥ EAST ELEVATION B&W
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- B&W

SHEET NUMBER

A500-B



6 SOUTH ELEVATION
1/8" = 1'-0"



16 NORTHEAST ELEVATION
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- COLOR

SHEET NUMBER

A501-A



⑥ SOUTH ELEVATION B&W
1/8" = 1'-0"



① NORTHEAST ELEVATION B&W
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
B&W

SHEET NUMBER

A501-B



6 NORTHWEST ELEVATION
1/8" = 1'-0"



16 SOUTHEAST ELEVATION
1/8" = 1'-0"



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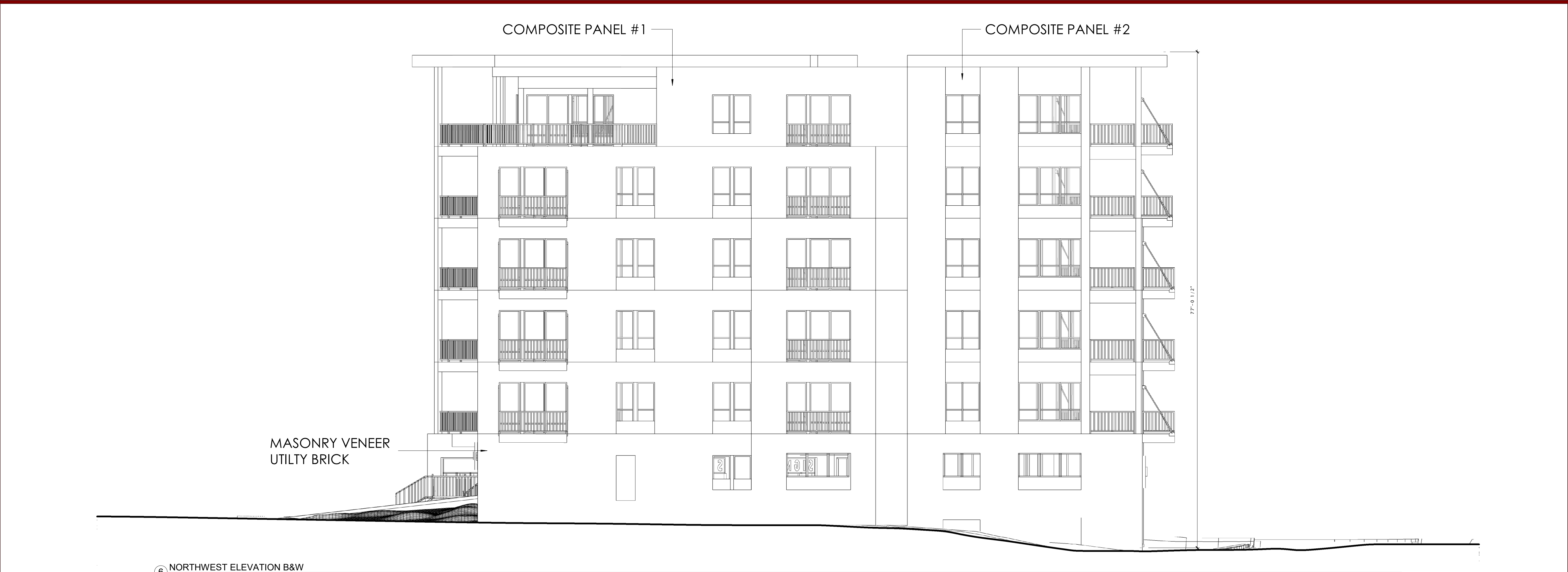
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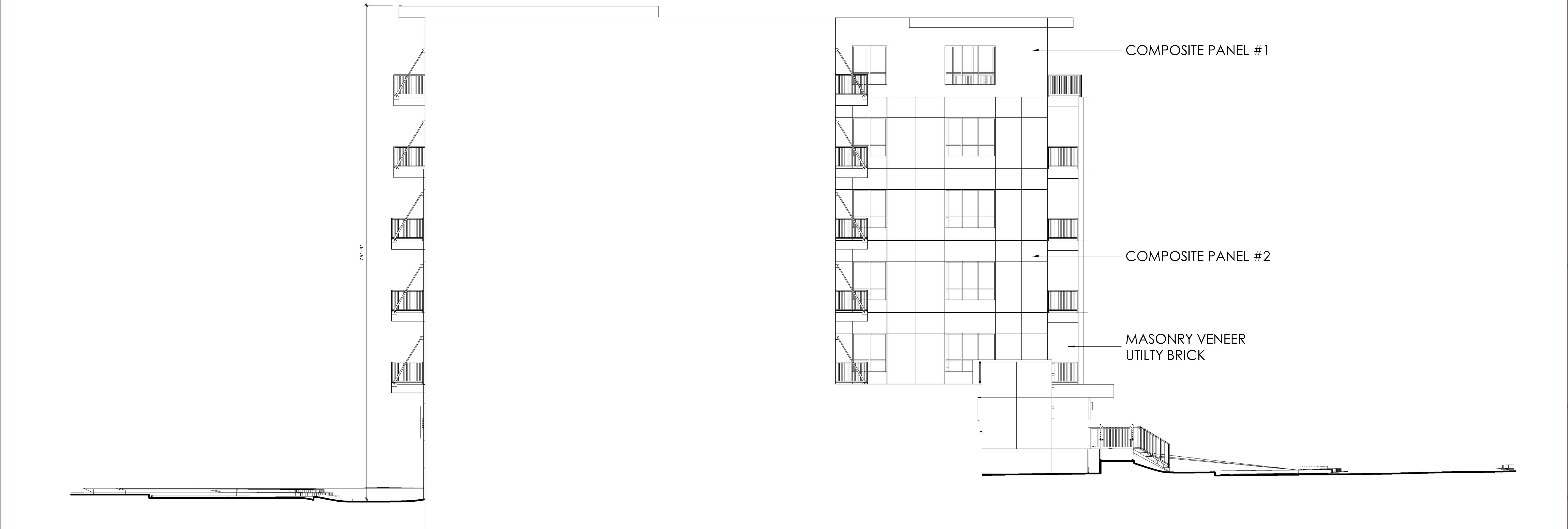
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS
- COLOR

SHEET NUMBER
A502-A



6 NORTHWEST ELEVATION B&W
1/8" = 1'-0"



16 SOUTHEAST ELEVATION B&W
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- B&W

SHEET NUMBER

A502-B



⑥ SOUTHWEST ELEVATION
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
- COLOR

SHEET NUMBER

A503-A



6 SOUTHWEST ELEVATION B&W
1/8" = 1'-0"



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SHEET TITLE

EXTERIOR ELEVATIONS
- B&W

SHEET NUMBER

A503-B

28.129 BIRD-SAFE REQUIREMENTS:

(1) **Statement of Purpose:** The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

(2) **Applicability:** Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

(3) **Measuring Glass Area:** Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

(4) **Bird-Safe Glass Treatment Requirements:** Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are 1/4" in diameter or larger and spaced at not more than a two-inch (2") by two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

(a) **Buildings or structures over 10,000 square feet:** For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

- For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
 - At least eighty-five percent (85%) of the glass must be treated; and
 - All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. See Figure 3.
- For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
 - At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
 - Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated.
- All glass railings must be treated.
- All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

(b) **Sky-bridges:** For buildings and structures of any size, all glass on above-ground bridges must be treated.

(c) **At grade glass:** For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

(5) **This Ordinance shall become effective October 1, 2020.**

BIRD GLASS CALCULATIONS MARKET SQUARE

10/10/2022

50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING

WINDOW DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
					GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW
WINDOW A 6/0 X 6/0	5.7	5.7	4.0	32.5	32.5	1.0	194.9	6.0	292.4	9.0	292.4	9.0	130.0	4.0			130.0	4.0
WINDOW B 3/0 X 8/0	2.7	7.7	1.0	20.8	249.5	12.0	499.0	24.0	207.9	10.0	311.9	15.0			207.9	10.0	62.4	3.0
WINDOW C 2/9 X 6/0	2.4	5.7	2.0	13.7	355.7	26.0	109.4	8.0	54.7	4.0						8.0		
WINDOW D 6/0 X 7/6	5.7	7.2	4.0	41.0	82.1	2.0	82.1	2.0	41.0	1.0	41.0	1.0	41.0	1.0			205.2	5.0
WINDOW E 3/0 X 6/0	2.7	5.7	2.0	15.4					61.6	4.0							107.7	7.0
WINDOW F 7/8 X 6/0	7.3	5.7	4.0	41.6					83.2	2.0								
WINDOW G 7/0 X 6/0	6.7	5.7	4.0	38.2								4.0						
WINDOW H 10/6 X 6/0	10.2	5.7	6.0	58.1							232.6	4.0						
WINDOW I 9/8 X 6/0	9.3	5.7	6.0	53.0									212.0	4.0				
WINDOW J 9/8 X 7/6	9.3	7.2	6.0	67.0									67.0	1.0				
WINDOW K 5/0 X 6/0	4.7	5.7	2.0	26.8													53.6	2.0
WINDOW L 5/0 X 6/0	2.7	7.2	2.0	19.4													38.9	2.0
WINDOW M 2/9 X 7/6	2.4	7.2	2.0	17.3										69.1	4.0			
DOOR A 3/0 X 8/0	2.7	7.7	1.0	20.8														
					719.7	TOTAL GLZ	885.4	TOTAL GLZ	740.9	TOTAL GLZ	1,051.4	TOTAL GLZ	450.0	TOTAL GLZ	277.0	TOTAL GLZ	597.7	TOTAL GLZ
					6222.0	WALL AREA	8,480.0	WALL AREA	6,160.0	WALL AREA	7,126.0	WALL AREA	1,931.0	WALL AREA	4,744.0	WALL AREA	3,946.0	WALL AREA
					11.57%	% GLAZING	10.44%	% GLAZING	12.03%	% GLAZING	14.75%	% GLAZING	23.30%	% GLAZING	5.84%	% GLAZING	15.15%	% GLAZING

PATIO DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
					GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO	GLZ AREA	# PATIO
PATIO P 6/0 X 8/0	5.7	7.7	2.0	43.9	526.7	12.0	1053.4	24.0	438.9	10.0	658.4	15.0	0.0	0.0	438.9	10.0	131.7	3.0
					526.7	TOTAL GLZ	1053.4	TOTAL GLZ	438.9	TOTAL GLZ	658.4	TOTAL GLZ	0.0	TOTAL GLZ	438.9	TOTAL GLZ	131.7	TOTAL GLZ
					6222.0	WALL AREA	8480.0	WALL AREA	6160.0	WALL AREA	7126.0	WALL AREA	1931.0	WALL AREA	4744.0	WALL AREA	3946.0	WALL AREA
					8.46%	% GLAZING	12.42%	% GLAZING	7.13%	% GLAZING	9.24%	% GLAZING	0.00%	% GLAZING	9.25%	% GLAZING	3.34%	% GLAZING

SF DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION													
					SOUTH ELEVATION		SOUTHWEST ELEVATION		NORTHWEST ELEVATION		NORTHEAST ELEVATION		SOUTHEAST ELEVATION		NORTH ELEVATION		EAST ELEVATION	
					GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF	GLZ AREA	# SF
STOREFRONT 1 9/6 X 3/8	9.2	3.3	3.0	30.4	91.1	3.0	242.9	8.0	30.4	1.0					30.4	1.0		
STOREFRONT 2 12/6 X 8/4	12.3	8.0	4.0	98.4	98.4	1.0									98.4	1.0		
STOREFRONT 3 6/0 X 3/8	5.7	3.3	2.0	18.8					56.4	3.0								
STOREFRONT 4 6/0 X 8/4	5.7	8.0	2.0	45.6	45.6	1.0												
STOREFRONT 5 12/0 X 8/0	11.7	7.7	3.0	90.1							90.1	1.0						
STOREFRONT 6 8/0 X 8/0	7.7	7.7	3.0	59.3							118.6	2.0						
STOREFRONT 7 10/0 X 8/4	9.7	8.0	3.0	77.6													155.2	2.0
STOREFRONT 8 10/0 X 8/4	14.7	8.0	4.0	117.6													235.2	2.0
					235.1	TOTAL GLZ	242.9	TOTAL GLZ	86.8	TOTAL GLZ	208.7	TOTAL GLZ	0.0	TOTAL GLZ	128.8	TOTAL GLZ	390.4	TOTAL GLZ
					6222.0	WALL AREA	8480.0	WALL AREA	6160.0	WALL AREA	7126.0	WALL AREA	1931.0	WALL AREA	4744.0	WALL AREA	3946.0	WALL AREA
					3.78%	% GLAZING	2.86%	% GLAZING	1.41%	% GLAZING	2.93%	% GLAZING	0.00%	% GLAZING	2.71%	% GLAZING	9.89%	% GLAZING

TOTALS						
SOUTH ELEVATION	SOUTHWEST ELEVATION	NORTHWEST ELEVATION	NORTHEAST ELEVATION	SOUTHEAST ELEVATION	NORTH ELEVATION	EAST ELEVATION
1,481.5	2,181.7	1,266.5	1,918.4	450.0	844.7	1,119.8
6,222.0	8,480.0	6,160.0	7,126.0	1,931.0	4,744.0	3,946.0
23.81%	25.73%	20.56%	26.92%	23.30%	17.81%	28.38%



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: W22-0122

MARKET SQUARE
BUILDING A1
LAND USE APPLICATION
SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE JANUARY 4th, 2023

REVISION SCHEDULE		
Mark	Description	Date

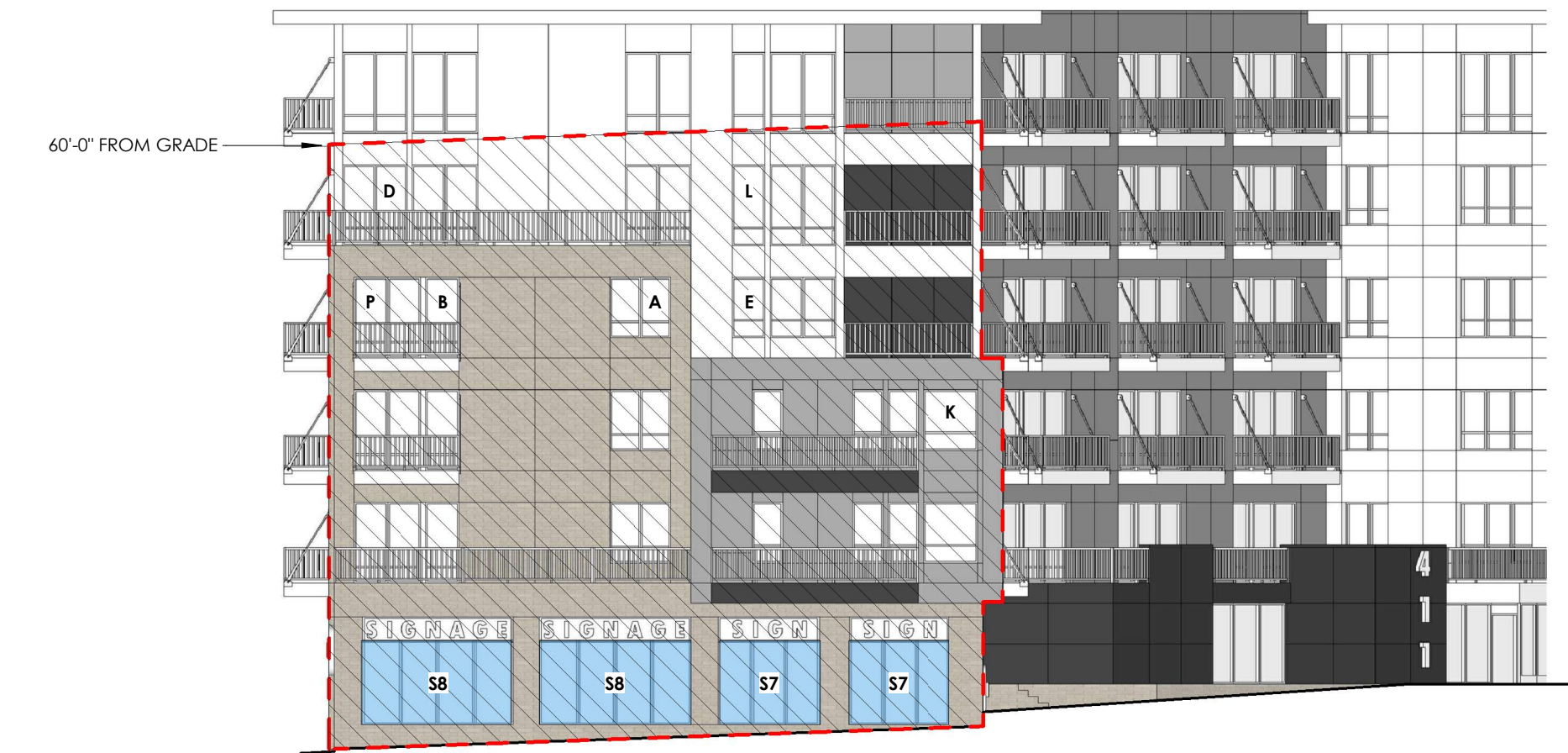
SHEET TITLE

BIRD GLASS MATRIX

SHEET NUMBER

A600

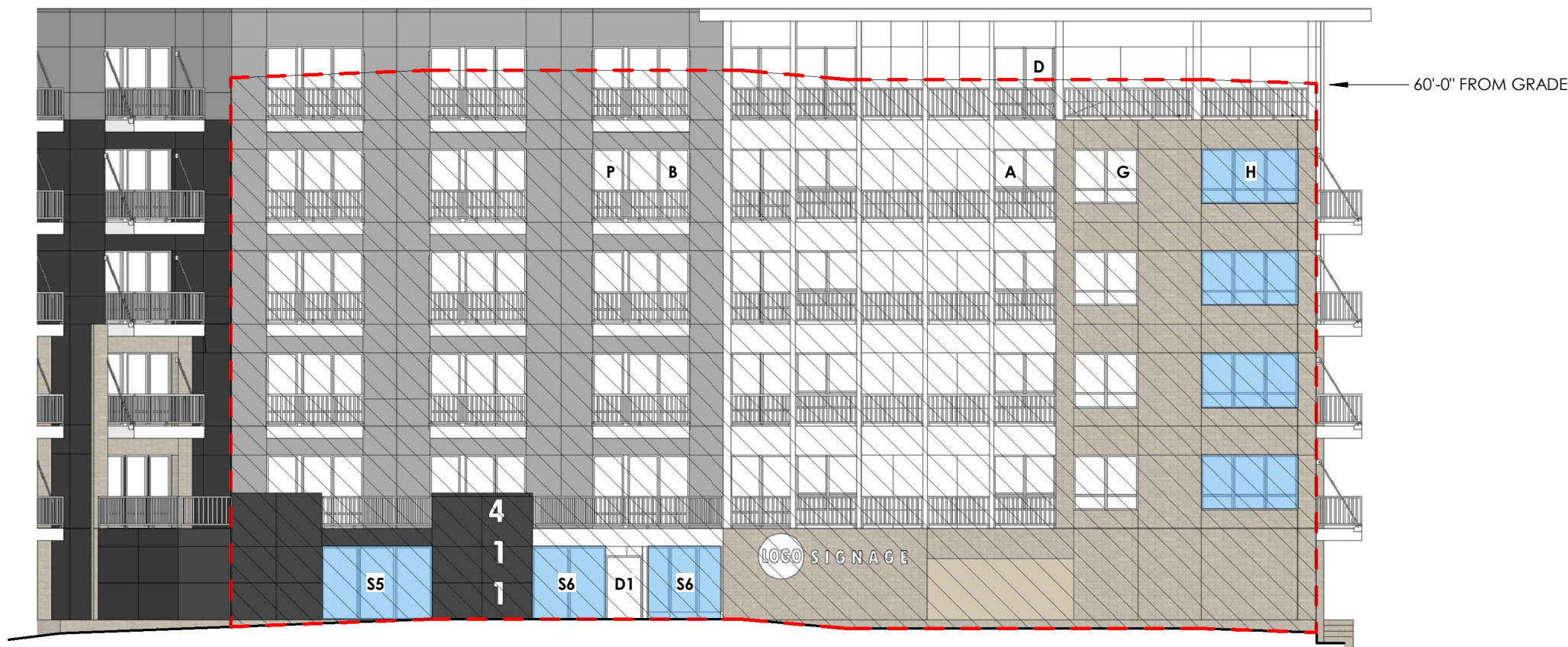
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② EAST ELEVATION BIRD GLASS
1/16" = 1'-0"



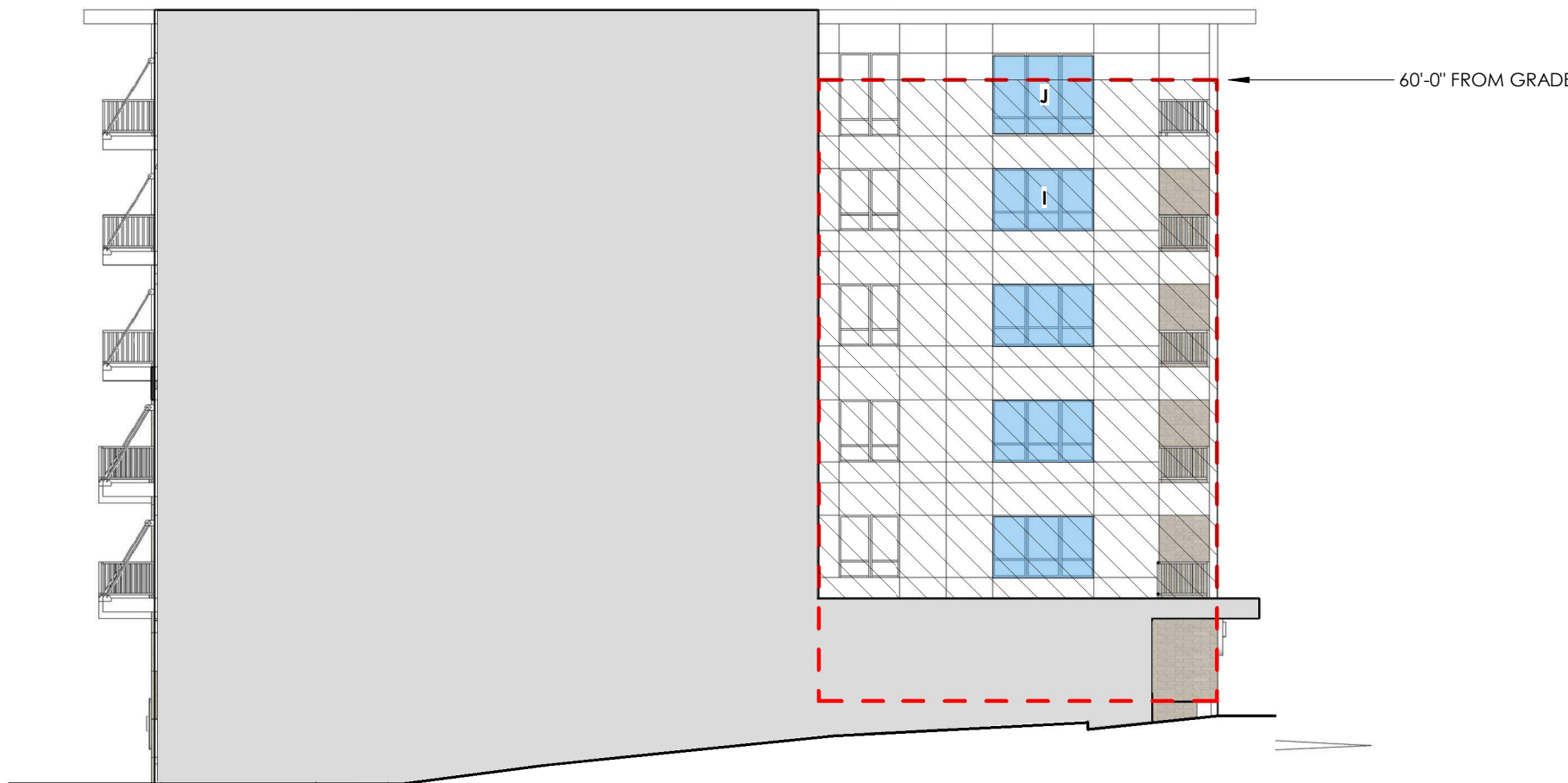
⑦ NORTH ELEVATION BIRD GLASS
1/16" = 1'-0"



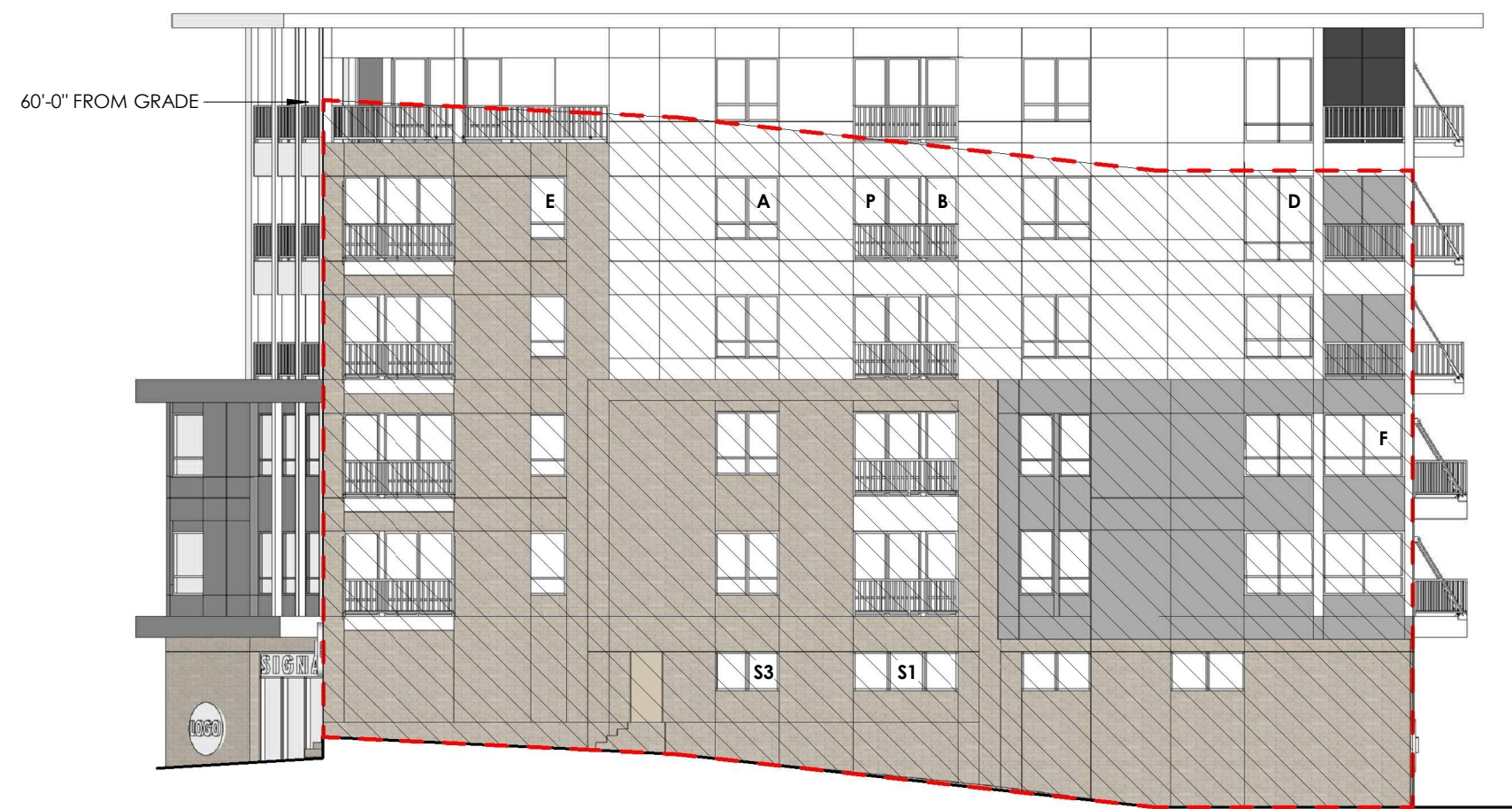
⑫ NORTHEAST ELEVATION BIRD GLASS
1/16" = 1'-0"



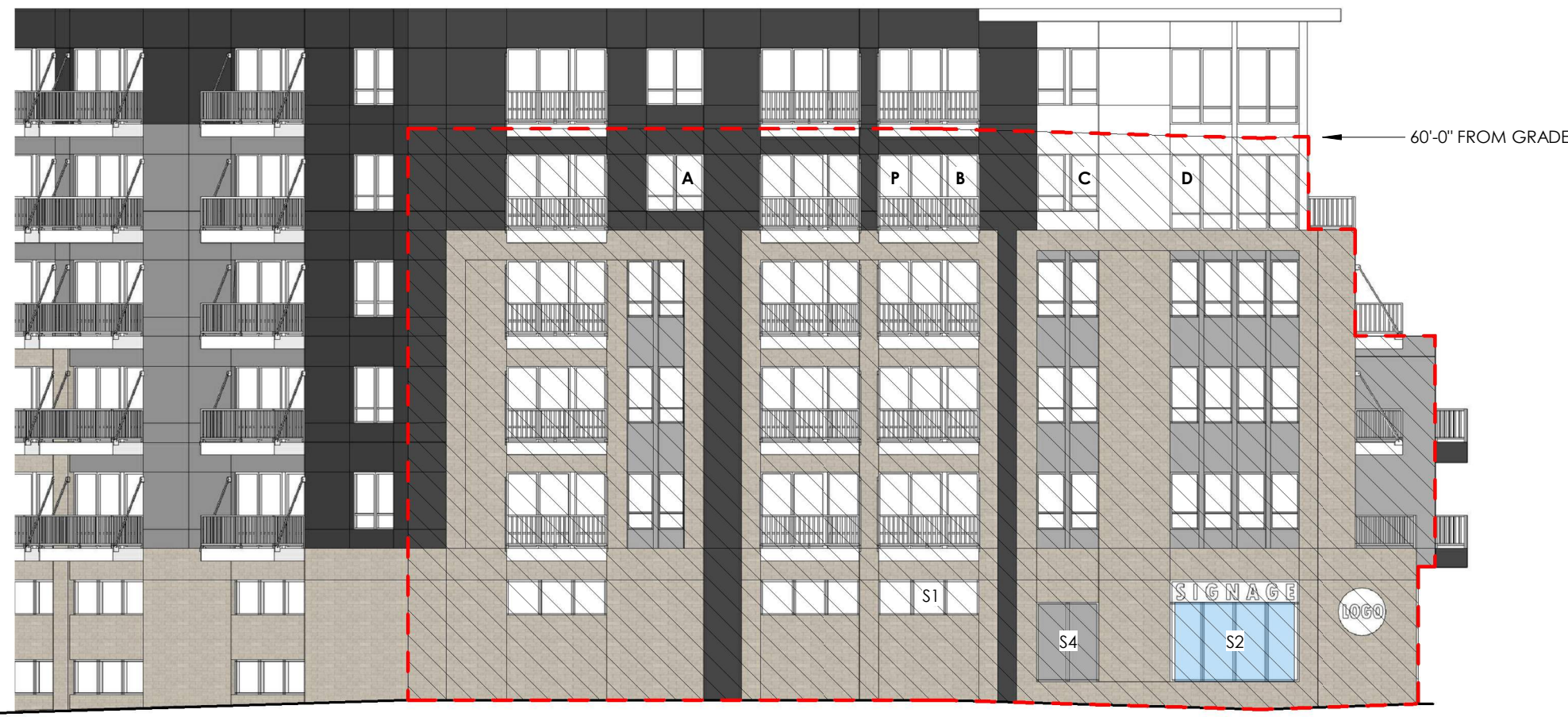
⑰ SOUTHWEST ELEVATION BIRD GLASS
1/16" = 1'-0"



⑨ SOUTHEAST ELEVATION BIRD GLASS
1/16" = 1'-0"



⑭ NORTHWEST ELEVATION BIRD GLASS
1/16" = 1'-0"



⑲ SOUTH ELEVATION BIRD GLASS
1/16" = 1'-0"

GLAZING KEYNOTES

A: WINDOW 4/0 X 6/0
B: WINDOW 3/0 X 8/0
C: WINDOW 2/9 X 6/0
D: WINDOW 6/0 X 7/6
E: WINDOW 3/0 X 4/0
F: WINDOW 7/8 X 6/0
G: WINDOW 7/0 X 4/0
H: WINDOW 10/6 X 6/0
I: WINDOW 9/8 X 6/0
J: WINDOW 9/8 X 7/6
K: WINDOW 5/0 X 4/0
L: WINDOW 3/0 X 7/6
M: WINDOW 2/9 X 7/6

D1: DOOR 3/0 X 8/0

P: PATIO DOOR 6/0 X 8/0

S1: STOREFRONT 9/6 X 3/8
S2: STOREFRONT 12/6 X 8/4
S3: STOREFRONT 6/0 X 3/8
S4: STOREFRONT 6/0 X 8/4
S5: STOREFRONT 12/0 X 8/0
S6: STOREFRONT 8/0 X 8/0
S7: STOREFRONT 10/0 X 8/4
S8: STOREFRONT 15/0 X 8/4



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**MARKET SQUARE
BUILDING A1**
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DATE OF ISSUANCE JANUARY 4th, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**BIRD GLASS EXTERIOR
ELEVATIONS**

SHEET NUMBER

A801