St. Johns Lutheran Church

332 East Washington Avenue
Madison, WI
2021.09.00

11/22/2022 - URBAN DESIGN COMMISSION

Potter Lawson
Success by Design

Potter Lawson
749 University Row Suite 300
Madison, WI 53705
608-274-2741

Drawing Index

C = Issued for Construction
B = Issued for Bidding
R = Issued for Reference Only

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S116	COVER DRAWING
GENERAL	
CD01	COVER DRAWING
GENERAL	
--	SURVEY
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LD103	SECOND FLOOR LIGHTING PLAN
LD104	TENTH FLOOR LIGHTING PLAN
LD105	LIGHTING BUILDING FACADE
LD106	LIGHTING SCHEDULE

PROJECT INFORMATION

PROPOSED USES:
1ST FLOOR — WORSHIP, OFFICE / BUSINESS
2ND - 10TH FLOORS — MULTI-FAMILY RESIDENTIAL

CURRENT ZONING: UMX - URBAN MIXED USE
PROPOSED ZONING: UMX - URBAN MIXED USE
URBAN DESIGN DIST: UDD4

SETBACKS
FRONTYARD: 5' - EAST WASHINGTON AVENUE
SIDEYARD: 5' - NORTH HANCOCK
15' - WEST SIDE
REAR YARD: 10'

BUILDING HEIGHT
ALLOWED: 8 STORIES + 2 ADDITIONAL (CONDITIONAL USE)
PROPOSED: 10 STORIES
1 STORY - MIXED USE (WORSHIP & OFFICE)
9 STORIES - RESIDENTIAL
2 STORIES - PARKING (BELOW GRADE)

BUILDING FOOTPRINT: 16,848SF

SITE AREA: .498 ACRES OR 21,710SF
LOT COVERAGE: SEE SITE PLAN
USABLE AREA
REQUIRED: 10SF / BEDROOM (10*166 = 1,660SF)

PROVIDED:
1ST FLOOR / AT GRADE 1,300SF
2ND FLR GREEN ROOF 600SF
UNIT BALCONIES, PATIOS 2,400SF
PROVIDED TOTAL 4,300SF

UNIT COUNT	EFF.	1 BD	2BD	3BD	TOTAL
2ND FLOOR	4	6	2	1	13
3RD-9TH FLRS	5	6	4	0	15
10TH FLOOR	3	5	4	0	12
UNIT TOTALS	42	53	34	1	130
BED TOTALS	42	53	68	3	166

PARKING COUNT		
STANDARD (8'-9" x 17'-0")	49	
STANDARD EV INSTALLED	2	(3.2%)
COMPACT	8	(12.75%)
CAR ACCESSIBLE	3	
VAN ACCESSIBLE	1	
TOTAL	63	

BIKE STALLS:	REQUIRED	PROVIDED	
RESIDENTIAL LONG TERM (65 Floor / 66 Wall Mounted)	131	131	Interior - Parking levels
RESIDENTIAL VISITOR	13	13	Exterior - on site
WORSHIP (1/50 SEATS)	4	4	Exterior - on site
OFFICE (1/2,000sf)	3	3	Exterior - on site
TOTAL	151	151	

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11/22/2022	URBAN DESIGN COMMISSION

COVER DRAWING

CD01

11/23/2022 11:59:29 AM

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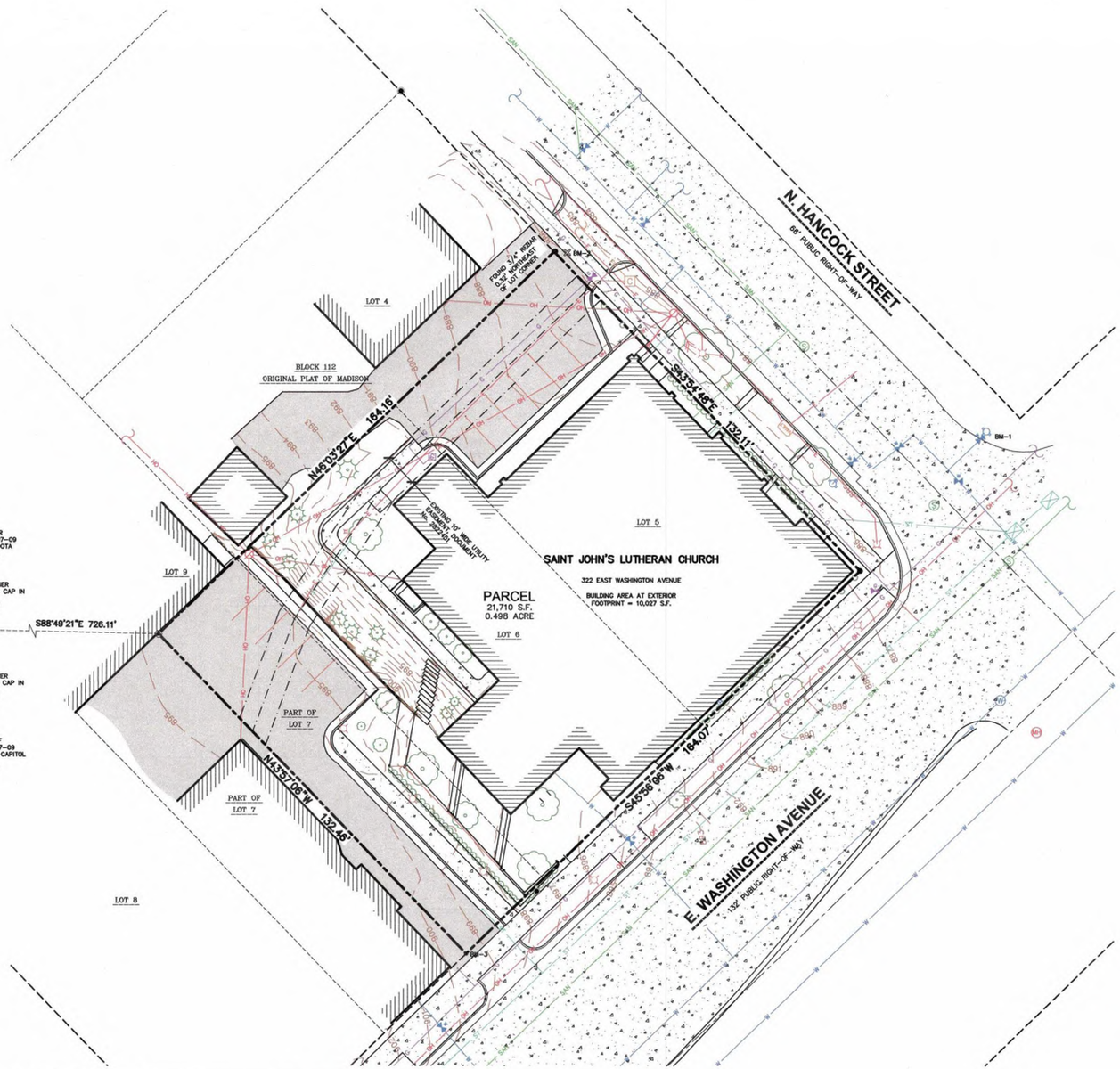
EXISTING CONDITIONS SURVEY

BEING ALL OF LOTS 5 AND 6 AND THE EASTERLY 32 FEET OF LOT 7, BLOCK 112, ORIGINAL PLAT OF THE CITY OF MADISON, CITY OF MADISON, DANE, COUNTY, WISCONSIN.



LEGEND

- GOVERNMENT CORNER
- MAG NAIL FOUND
- 3/4" REBAR FOUND
- SANITARY MANHOLE
- WATER MANHOLE
- HYDRANT
- WATER VALVE
- STORM SEWER ACCESS
- GAS REGULATOR/METER
- GAS VALVE
- MANHOLE – UNVERIFIED TYPE
- LIGHT POLE
- POWER POLE W/GUY
- VAULT
- CABLE PEDESTAL
- DECIDUOUS TREE
- SECTION LINE
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- PLATTED LOT LINE
- EASEMENT LINE
- CONCRETE CURB & GUTTER
- SAN — SANITARY SEWER
- W — WATER LINE
- ST — STORM SEWER
- G — NATURAL GAS
- OH — OVERHEAD LINE
- E — UNDERGROUND ELECTRIC
- BUILDING
- 895 — INDEX CONTOUR
- 894 — INTERMEDIATE CONTOUR
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- PAVEMENT STRIPING
- END OF FLAGGED UTILITIES

NOTES

1. FIELD WORK PERFORMED BY MAYO CORPORATION IN 2005 AND SUPPLEMENTED BY JSD PROFESSIONAL SERVICES, INC. ON JULY 28, 2021.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE WEST LINE IF THE SOUTHWEST QUARTER OF SECTION 13-07-09, RECORDED AS N01°10'39"E.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. CONTOUR INTERVAL IS ONE FOOT.
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No.'s 20212810356 AND 20212810408, WITH A START DATE OF JULY 12, 2021.
6. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
   CITY OF MADISON ENGINEERING
   MADISON GAS AND ELECTRIC COMPANY (MG&E) (ELECTRIC AND GAS)
   CHARTER COMMUNICATIONS
   AMERICAN TRANSMISSION
   LEVEL 3 IS NOW CENTURYLINK
   TDS TELECOM-MIDDLETON
   MCI
   AT&T DISTRIBUTION
   STATE OF WISCONSIN DIVISION OF FACILITIES MANAGEMENT
   WISCONSIN DEPARTMENT OF ADMINISTRATION-DIVISION OF ENTERPRISE TECHNOLOGY
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.

LEGAL DESCRIPTION

BEING ALL OF LOTS 5 AND 6 AND THE EASTERLY 32 FEET OF LOT 7, BLOCK 112, ORIGINAL PLAT OF THE CITY OF MADISON, CITY OF MADISON, DANE, COUNTY, WISCONSIN.

TAX KEY NO: 251/0709-133-2411-0

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT UNDER THE DIRECTION OF ST. JOHN'S LUTHERAN CHURCH THIS EXISTING CONDITIONS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR

8/4/22
DATE

WISCONSIN JOHN KREBS S-1878 McFARLAND, WISCONSIN LAND SURVEYOR

VICINITY MAP
NOT TO SCALE

north
SCALE IN FEET
20' 0 20'
SCALE 1" = 20'

LINE TABLE		
LINE	BEARING	DISTANCE
A–B	N 01°10'00" E	503.87'
B–D	N 01°10'52" E	1,553.35'
B–C	N 01°10'52" E	502.34'
D–E	N 01°10'39" E	701.14'

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	884.91	BURY BOLT ON HYDRANT, NORTHERLY CORNER OF E. WASHINGTON AVE. AND N. HANCOCK ST.
BM-2	886.09	CUT CROSS NEAR NORTH CORNER OF SITE
BM-3	899.64	M.A.G. NAIL AT SOUTH CORNER OF SITE

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
ST. JOHN'S LUTHERAN CHURCH

CLIENT ADDRESS:
322 E. WASHINGTON AVENUE
MADISON, WI 53703

DIGGERS HOTLINE
Toll Free (800) 242-8511

PROJECT:
ST. JOHN'S LUTHERAN CHURCH

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WISCONSIN

PLAN MODIFICATIONS:

#	Date:	Description:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: JK 08/03/22
Approved: TJB 08/03/22

SHEET TITLE:
EXISTING CONDITIONS SURVEY

SHEET NUMBER:
1 OF 1

JSD PROJECT NO: 21-10499

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332 East Washington Avenue - Existing Site

332 East Washington Avenue - Aerial

View from East Washington Avenue

View from North Hancock Street & East Washington Avenue

View from North Hancock Street

Existing Interior Image

Existing Interior Image

Existing Interior Image

View from North Butler Street & East Washington Avenue

Existing Interior Image

Existing Interior Image

Existing Interior Image

View of North Hancock Street

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Notes:

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11/22/2022	URBAN DESIGN COMMISSION

LOCATOR MAP, EXISTING CONTEXT & DEMO PHOTOS

G100

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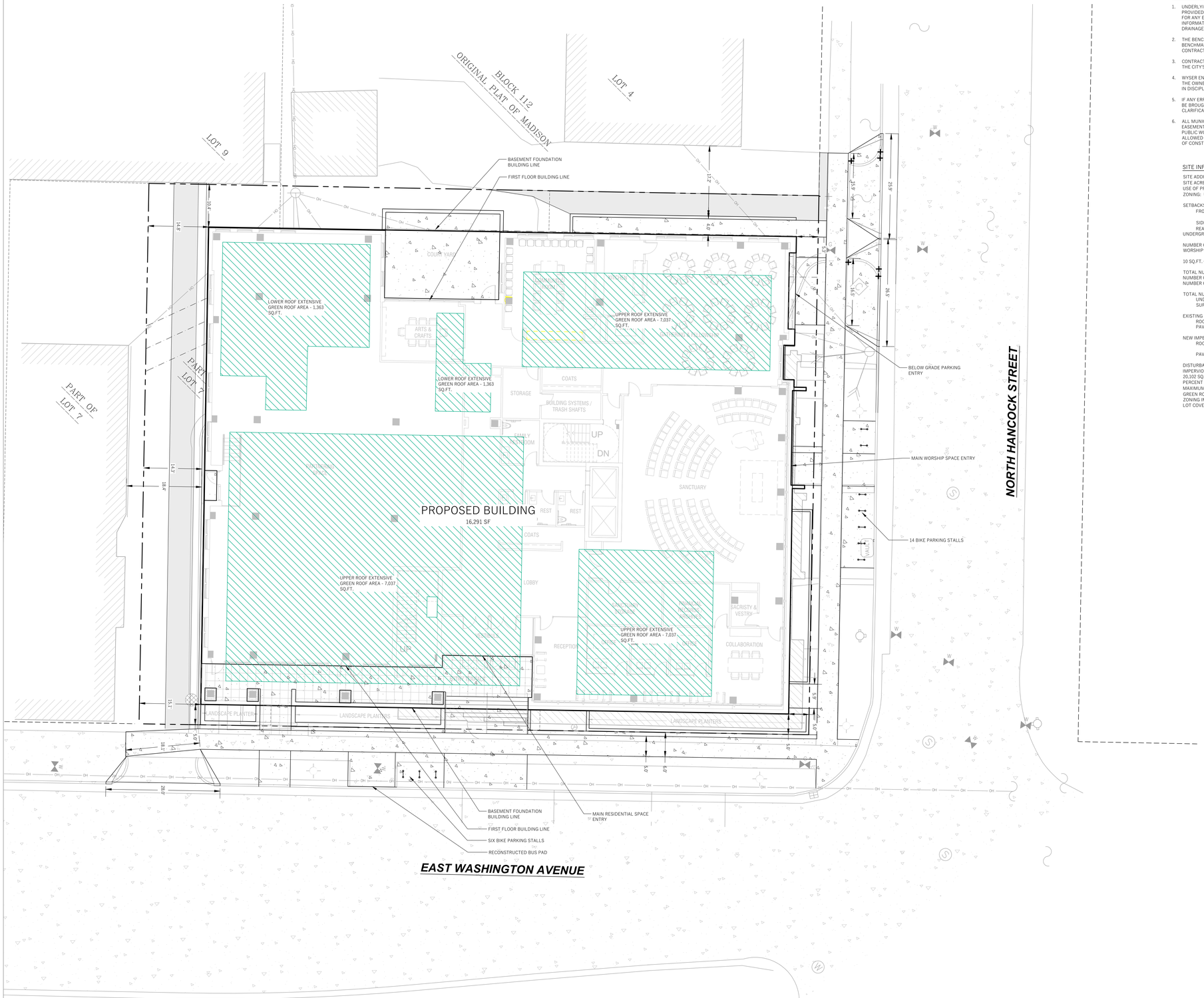

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER TREATMENT FACILITY

NORTH

0' 5' 10' 15'

1"=10' ON 30"X42"
NTS ON 11"X17"

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND CITY ISSUED PUBLIC IMPROVEMENT PLANS. NO WORK IS ALLOWED UNTIL A PRE-CONSTRUCTION MEETING IS HELD A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION ACTIVES BEGINNING.

SITE INFORMATION BLOCK:

SITE ADDRESS: 322 E. WASHINGTON STREET
SITE ACREAGE: 21,710 SQ.FT. (0.498 AC)
USE OF PROPERTY: INSTITUTIONAL / RESIDENTIAL
ZONING: URBAN MIXED USE (UXM)

SETBACKS:
FRONT YARD (E. WASHINGTON AND N. HANCOCK): 5-FEET MIN. 10-FEET MAX.
SIDE YARD (PLAN NORTH): 0-FEET MIN. OR 5-FEET
REAR YARD (PLAN WEST): 10-FEET EXCEPT FOR BURIED UNDERGROUND PARKING

NUMBER OF BEDROOMS: TBD
WORSHIP SPACE SEATING: TBD

10 SQ.FT. OF OPEN SPACE PER BEDROOM

TOTAL NUMBER OF PARKING STALLS: 63 - ALL UNDERGROUND
NUMBER OF STALLS DESIGNATED ACCESSIBLE: 4
NUMBER OF STALLS DESIGNATED AS EV: 2

TOTAL NUMBER OF BIKE STALLS: 151
UNDERGROUND: 131
SURFACE: 20

EXISTING IMPERVIOUS SURFACE AREA: 18,304 SQ.FT.
ROOFTOP: 10,027 SQ.FT.
PAVED: 8,277 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 20,102 SQ.FT.
ROOFTOP: 16,291 SQ.FT.
GREEN ROOF: 8,400 SQ.FT.
PAVED: 3,811 SQ.FT.

DISTURBANCE LIMITS: 21,710 SQ. FT.
IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS / LOT: 20,102 SQ.FT.
PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS / LOT: 92.6%
MAXIMUM LOT COVERAGE: 90% (EXCLUDING PERVIOUS PAVERS / GREEN ROOFS / DECKS)
ZONING IMPERVIOUS AREA: TBD SQ.FT.
LOT COVERAGE: TBD%

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WYSER ENGINEERING

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2021.09.00

Date	Issuance/Revisions	Symbol
11/22/2022	URBAN DESIGN COMMISSION	

SITE PLAN

C100

DIGGERS HOTLINE
Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

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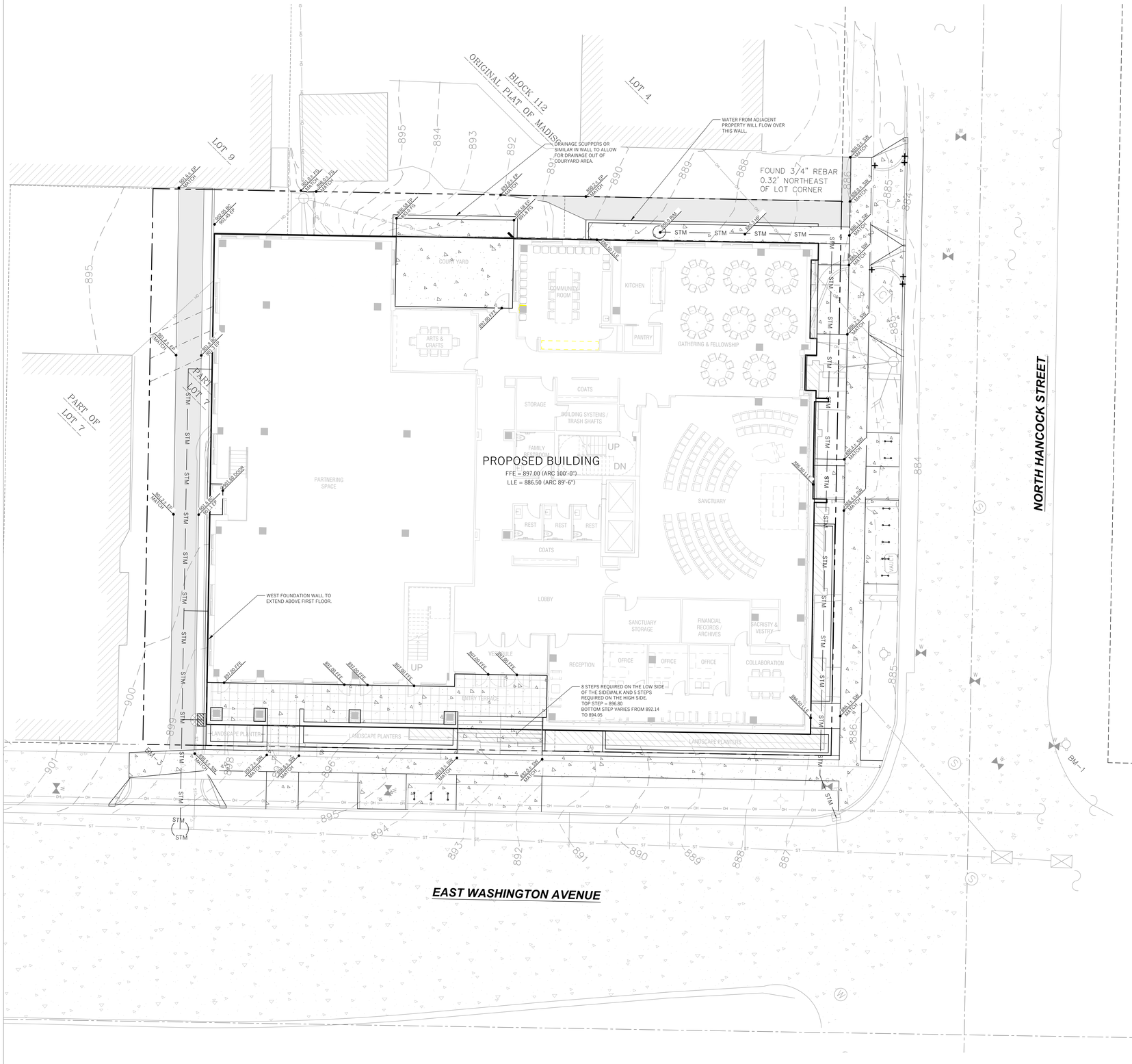

NOTE:
SPOT GRADES ARE AS FOLLOWS:
FFE - FINISHED FLOOR GRADE
EP - EDGE OF ASPHALT PAVEMENT
EC - EDGE OF CONCRETE PAVEMENT
BC - BACK OF CURB
SW - EDGE OF SIDEWALK
FG - FINISH GRADE
TW - FINISH GRADE ADJACENT TOP OF WALL
BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 1180 — PROPOSED MAJOR CONTOUR
- 1181 — PROPOSED MINOR CONTOUR
- STM — PROPOSED STORM SEWER
- SILT FENCE
- INLET PROTECTION
- DITCH CHECK
- 1181.25 EP — SPOT GRADE
- DRAINAGE GRADE BREAK
- 1.0% — DRAINAGE ARROW

NORTH

0' 5' 10' 15'

1"=10' ON 30"X42"
NTS ON 11"X17"

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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. POST WDNR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY.CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
15. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
16. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
17. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
18. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
19. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
20. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
21. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEPT MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
23. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
24. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
25. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
26. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
27. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
28. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT RACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: http://dnr.wi.gov/botw/
29. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: https://www3.epa.gov/npdes/pubs/concretewashout.pdf. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

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St. Johns Lutheran Church

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Madison, WI

2021.09.00

Date	Issuance/Revisions	Symbol
11/22/2022	URBAN DESIGN COMMISSION	

GRADING PLAN

C200

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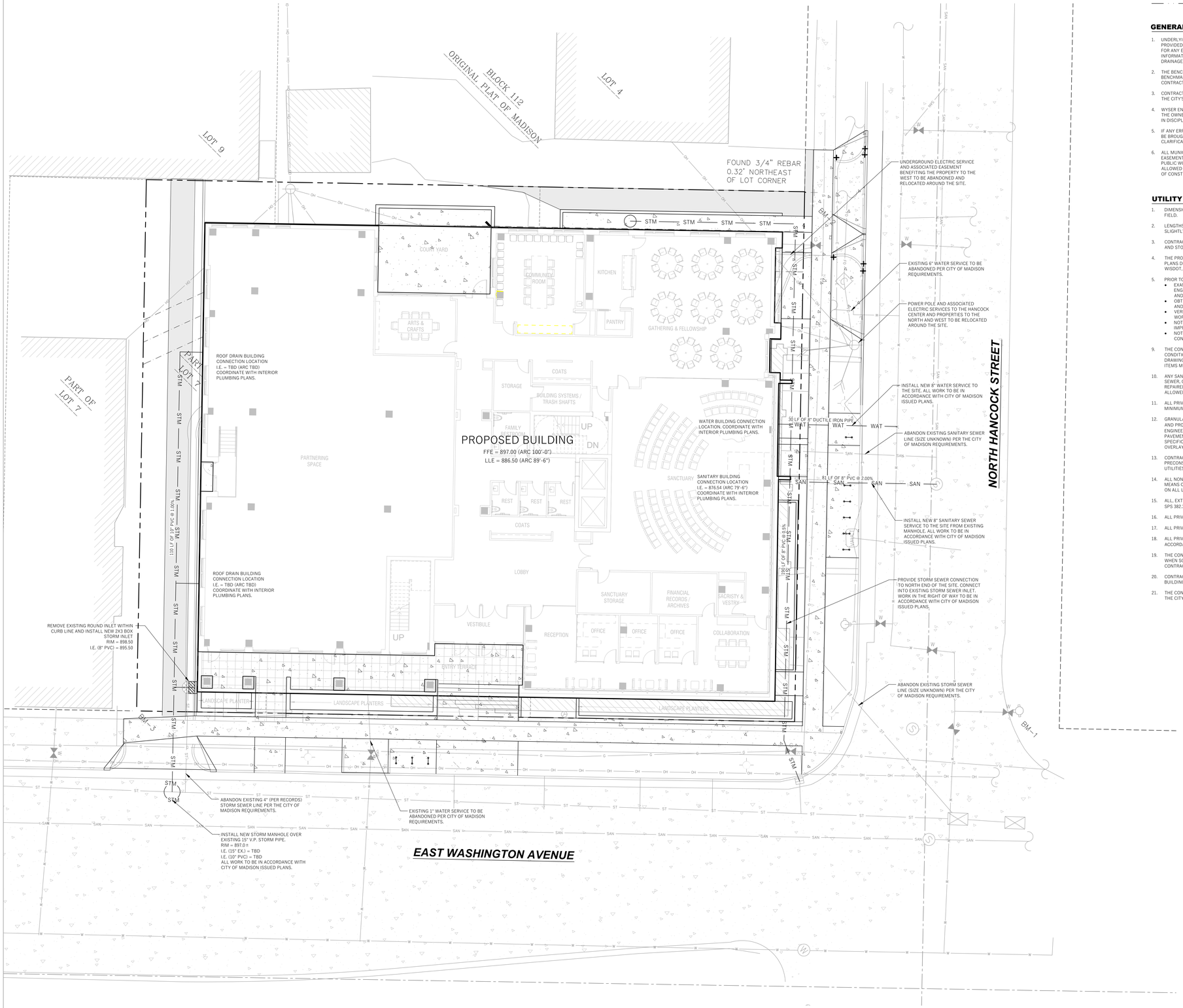

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT — PROPOSED WATER MAIN
- SAN — PROPOSED SANITARY SEWER
- STM — PROPOSED STORM SEWER
- GAS — PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E — PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- STORMWATER TREATMENT FACILITY

NORTH

0' 5' 10' 15'

1"=10' ON 30"X42"
NTS ON 11"X17"

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND CITY ISSUED PUBLIC IMPROVEMENT PLANS. NO WORK IS ALLOWED UNTIL A PRE-CONSTRUCTION MEETING IS HELD A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION ACTIVES BEGINNING.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDSPS, AND WDNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
   - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
   - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
   - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
   - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
   - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER , SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6' MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT AND BY THE CITY INSPECTION DEPARTMENT.
13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT TO SCHEDULE A PRECONSTRUCTION MEETING A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
15. ALL, EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a)b AND SPS 384.30(2)(c).
16. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
17. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
18. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
19. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
20. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
21. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AT ALL TIMES.

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UTILITY PLAN

C300

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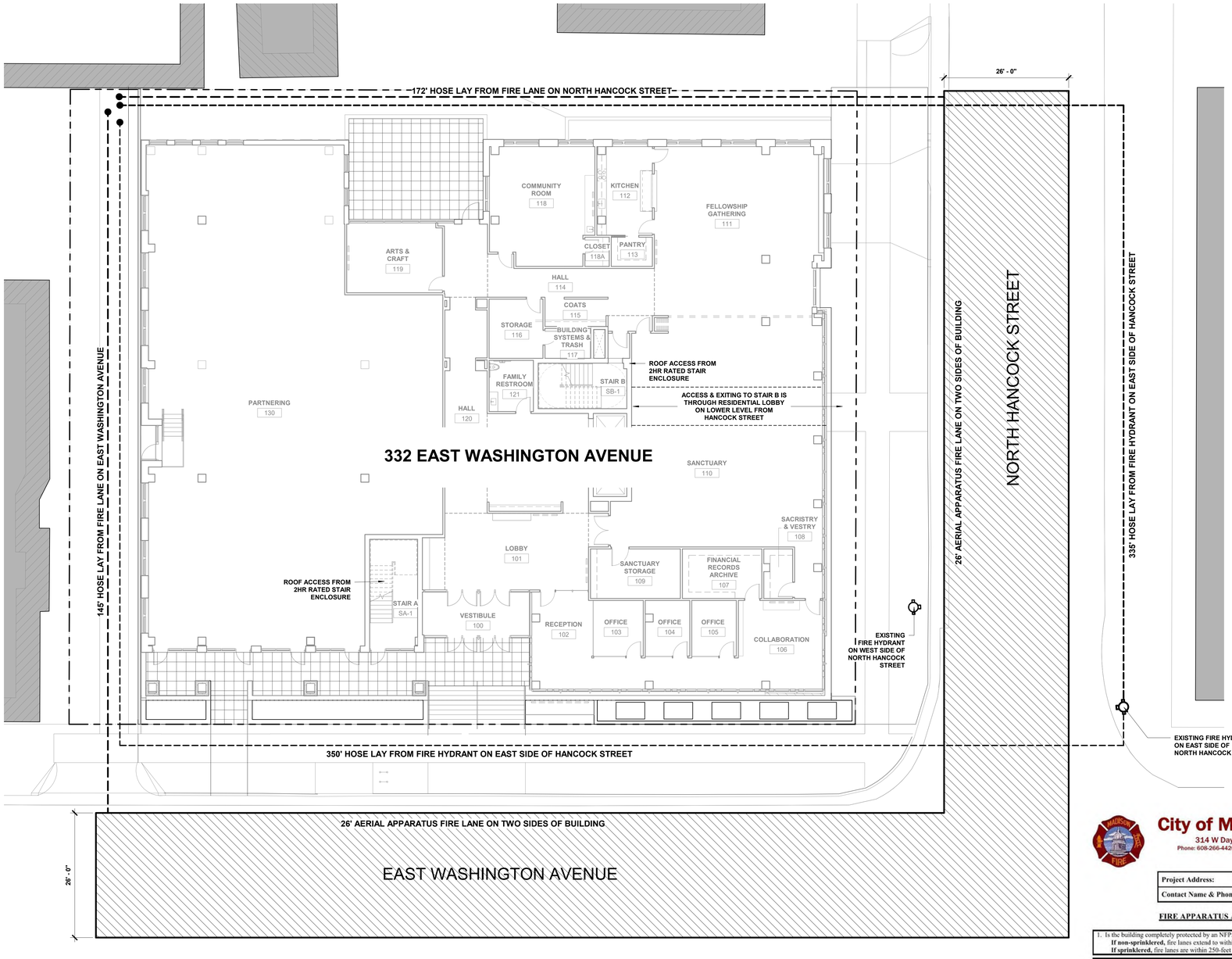

1 C400 FIRE APPARATUS PLAN
1" = 10'-0"

NORTH

0' 4' 8' 16'

City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address:	332 East Washington Avenue
Contact Name & Phone #:	

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	[X] Yes	[ ] No	[ ] N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	[ ] Yes	[ ] No	[ ] N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	[X] Yes	[ ] No	[ ] N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	[X] Yes	[ ] No	[ ] N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	[X] Yes	[ ] No	[ ] N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	[X] Yes	[ ] No	[ ] N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	[X] Yes	[ ] No	[ ] N/A
d) Is the grade of the fire lane not more than a slope of 8%?	[X] Yes	[ ] No	[ ] N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	[X] Yes	[ ] No	[ ] N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	[ ] Yes	[X] No	[ ] N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	[ ] Yes	[X] No	[ ] N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	[ ] Yes	[X] No	[ ] N/A
a) Is the gate a minimum of 20-feet clear opening?	[ ] Yes	[ ] No	[ ] N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	[ ] Yes	[ ] No	[ ] N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	[ ] Yes	[X] No	[ ] N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	[ ] Yes	[ ] No	[ ] N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	[ ] Yes	[X] No	[ ] N/A
6. Is any part of the building greater than 30-feet above the grade plane?	[X] Yes	[ ] No	[ ] N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	[X] Yes	[ ] No	[ ] N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	[X] Yes	[ ] No	[ ] N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	[ ] Yes	[X] No	[ ] N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	[X] Yes	[ ] No	[ ] N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	[X] Yes	[ ] No	[ ] N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	[ ] Yes	[X] No	[ ] N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	[X] Yes	[ ] No	[ ] N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	[X] Yes	[ ] No	[ ] N/A
b) Is there at least 40' between a hydrant and the building?	[ ] Yes	[X] No	[ ] N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	[X] Yes	[ ] No	[ ] N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	[ ] Yes	[X] No	[ ] N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	[X] Yes	[ ] No	[ ] N/A
Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

Revised 1/21/2016

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Notes:

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FIRE APPARATUS PLAN

C400

9/23/2022 4:07:42 PM

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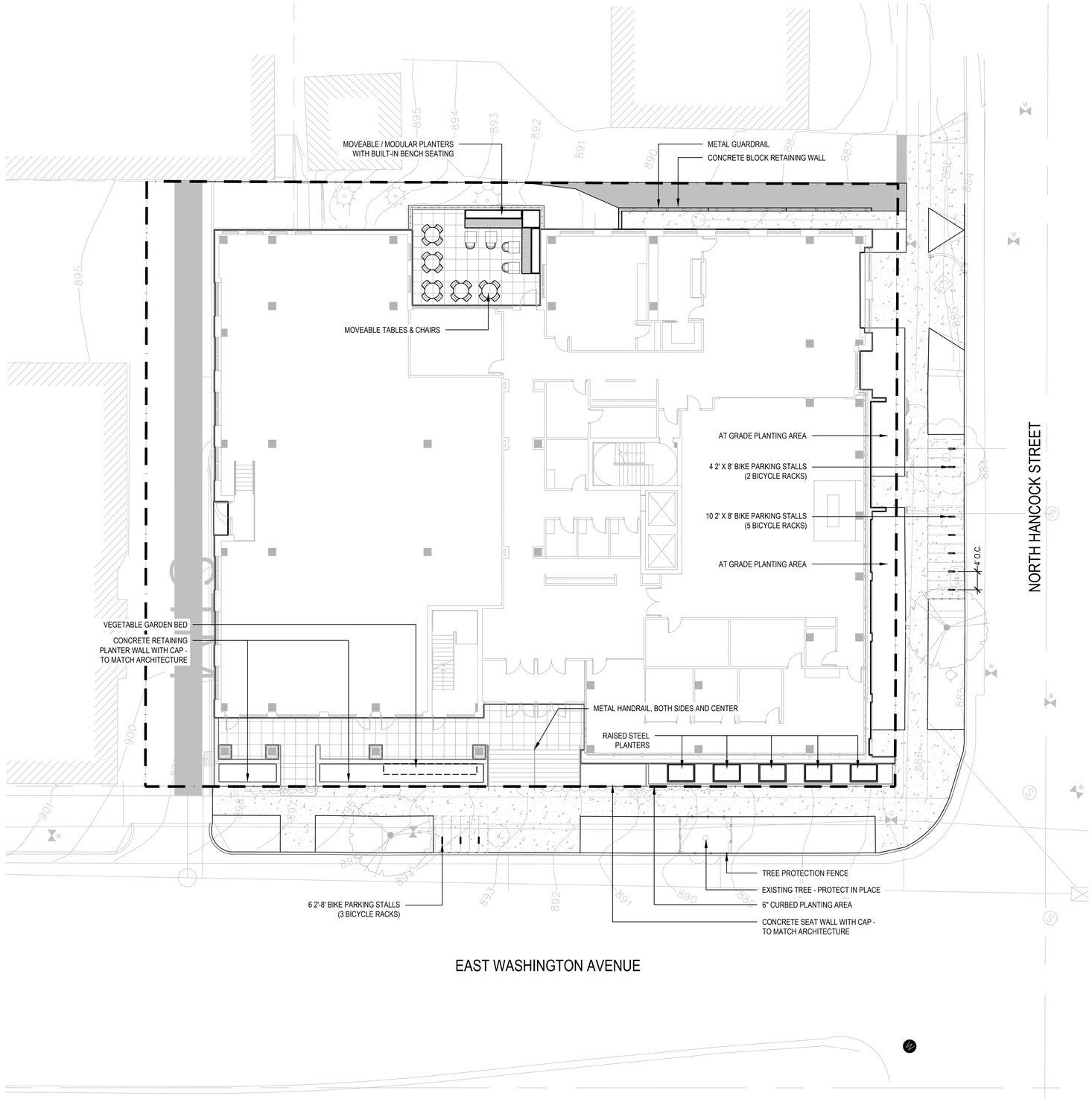

1 GROUND LEVEL & 1ST FLOOR SITE FURNISHING LAYOUT PLAN

SCALE: 1" = 10'-0"

2 GROUND LEVEL & 1ST FLOOR SITE FURNISHING SCHEDULE

HARDSCAPE & SITE FURNISHINGS SCHEDULE

- PROPERTY LINE
- CONCRETE UNIT PAVERS ON PEDESTAL
- BICYCLE RACK
  UX BIKE RACK
  SURFACE MOUNT
  POWDER COAT FINISH: PLATINUM
  AVAILABLE FROM MADRAX: 608.849.1080
- MOVEABLE TABLES & CHAIRS
- LOUNGE FURNITURE
- OUTDOOR DINING
- OUTDOOR FIRE TABLE WITH PLUMBED GAS LINE & EMERGENCY SHUT OFF

NOTES:

1. ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPERS AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
2. BICYCLE STALLS SHALL BE A MINIMUM OF 2'-0" BY 8'-0". PLACEMENT SHALL NOT RESULT IN THE OBSTRUCTION OF A WALKWAY.
3. BICYCLE RACKS SHALL BE SPACED 4'-0" APART AS INDICATED.

3 GROUND LEVEL & 1ST FLOOR SITE FURNISHINGS

MOVEABLE / MODULAR PLANTERS WITH BUILT-IN BENCH SEATING

MOVEABLE TABLES & CHAIRS

RAISED STEEL PLANTERS

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GROUND LEVEL & 1ST FLOOR SITE FURNISHING LAYOUT PLAN

L100

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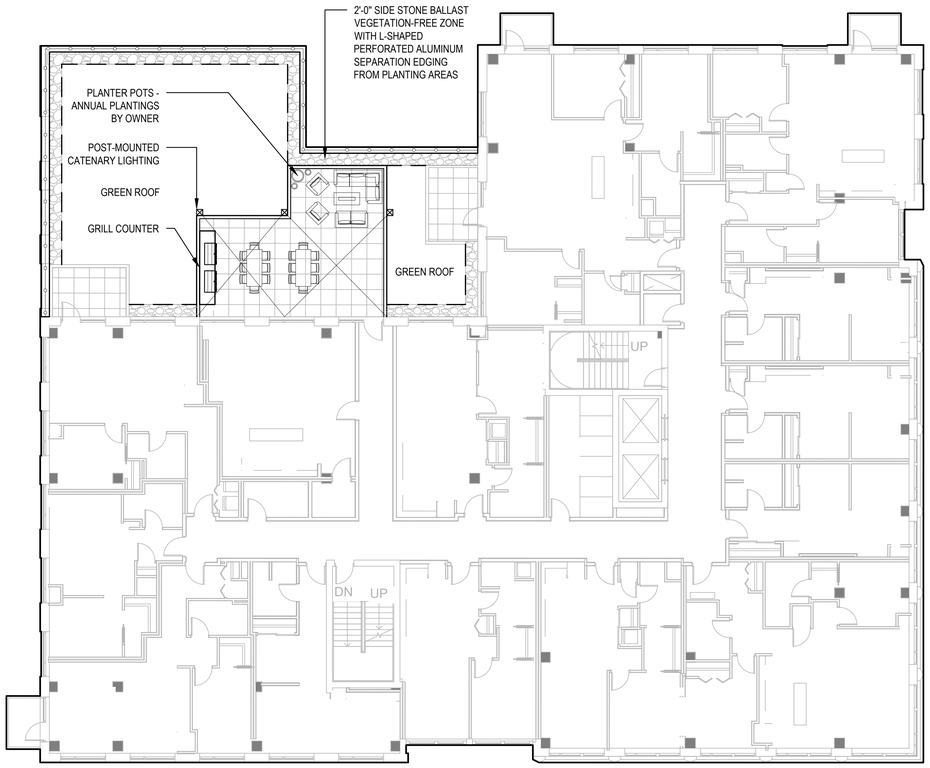
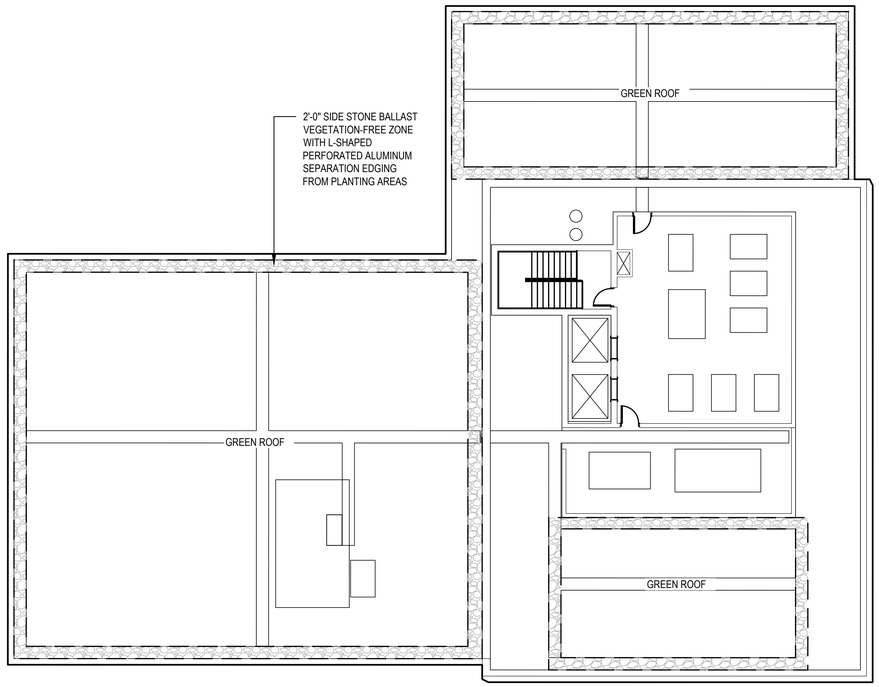


1 2ND FLOOR SITE FURNISHING LAYOUT PLAN

SCALE: 1" = 10'-0"



4 ROOF SITE FURNISHING LAYOUT PLAN

SCALE: 1" = 10'-0"

2 2ND FLOOR SITE FURNISHING SCHEDULE

HARDSCAPE & SITE FURNISHINGS SCHEDULE

- CONCRETE UNIT PAVERS ON PEDESTAL
- STONE MULCH BALLAST
- LOUNGE FURNITURE
- OUTDOOR DINING
- OUTDOOR FIRE TABLE WITH PLUMBED GAS LINE & EMERGENCY SHUT OFF

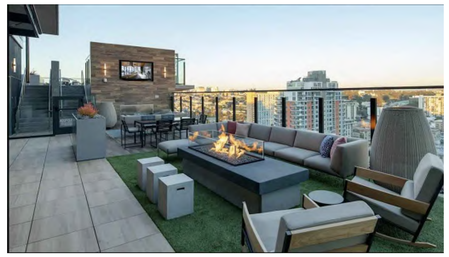
5 ROOF SITE FURNISHING SCHEDULE

HARDSCAPE & SITE FURNISHINGS SCHEDULE

- STONE MULCH BALLAST

3 2ND FLOOR SITE FURNISHINGS

GREEN ROOF OUTDOOR RESIDENTIAL TERRACE



OUTDOOR FIRE TABLE AND LOUNGE SEATING

OUTDOOR DINING AND GRILL COUNTERS WITH CATENARY LIGHTING

6 GREEN ROOF TYPOLOGY

FULL SUN SEDUM CARPET GREEN ROOF WITH BALLAST EDGING - SEE PLANTING PLAN FOR MORE INFORMATION

0 10' 20'
1" = 10'-0"
NORTH

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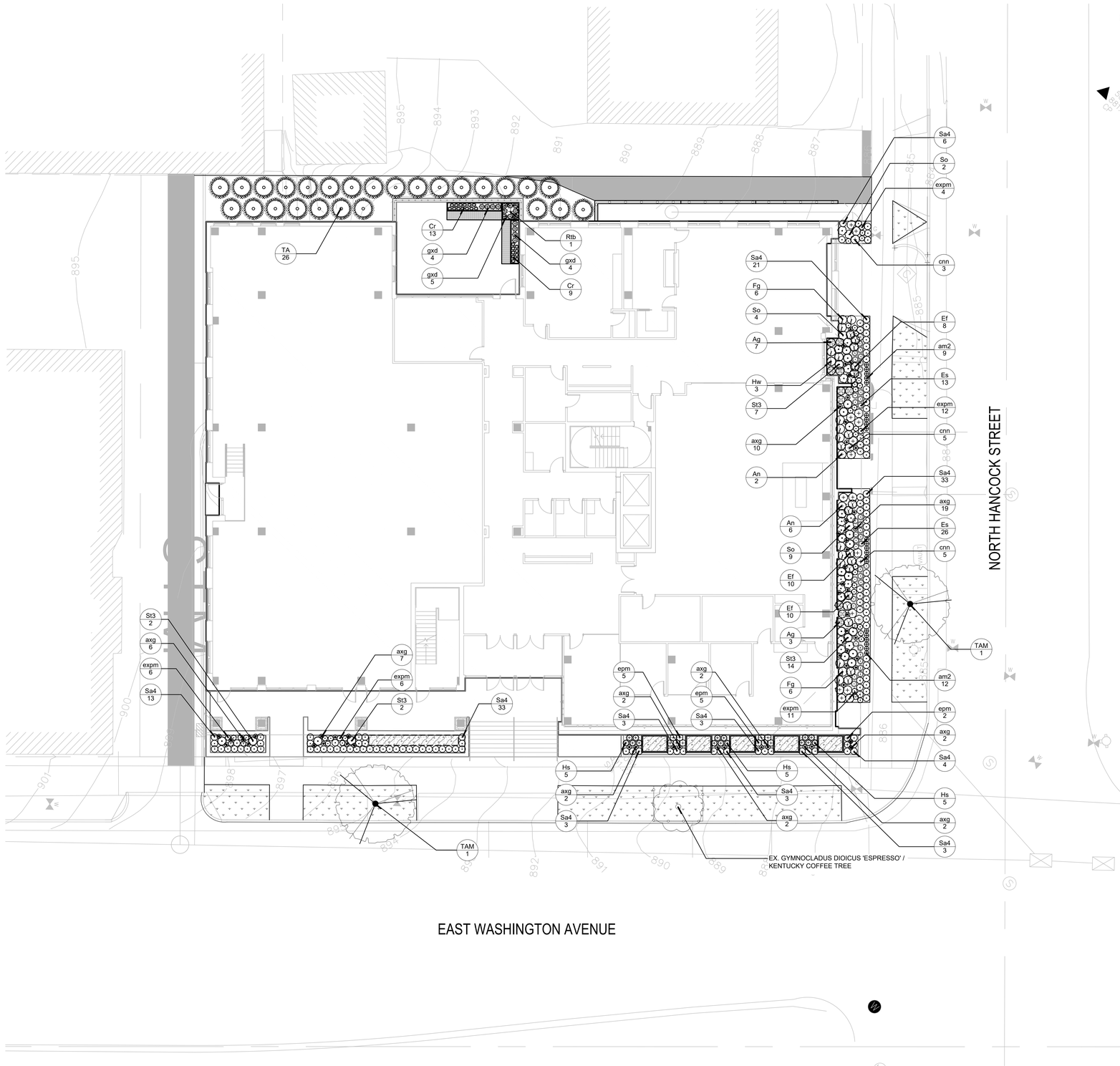
2ND FLOOR & ROOF SITE FURNISHING LAYOUT PLANS

L101



1 GROUND LEVEL & 1ST FLOOR PLANTING PLAN

SCALE: 1" = 10'-0"

2 GROUND LEVEL & 1ST FLOOR PLANT SCHEDULE

SCALE: 1" = 10'-0"

PLANT SCHEDULE GROUND LEVEL & FIRST FLOOR

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	TA	Thuja occidentalis 'Art Boe' / North Pole® Arborvitae	B & B		26
SHADE TREES	**CODE**	**BOTANICAL / COMMON NAME**	**CONT.**	**SIZE**	**QTY**
	TAM	Tilia americana `McKSentry` / MckSentry Linden	B & B	2"Cal	2
DECIDUOUS SHRUBS	**CODE**	**BOTANICAL / COMMON NAME**	**CONT**	**SIZE**	**QTY**
	Ag	Aronia melanocarpa `UCONNAM012` TM / Ground Hog Black Chokeberry	2 gal	CONT.	10
	Fg	Fothergilla gardenii / Dwarf Fothergilla	2 gal	CONT.	12
	Hw	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	2 gal	CONT.	3
	Rtb	Rhus typhina `Bailtiger` TM / Tiger Eyes Sumac	5 gal	CONT.	1
GRASSES	**CODE**	**BOTANICAL / COMMON NAME**	**CONT**	**SIZE**	**QTY**
	Es	Eragrostis spectabilis / Purple Lovegrass	1 gal	CONT.	37
	Sa4	Sesleria autumnalis / Autumn Moor Grass	1 gal	CONT.	125
	St3	Sporobolus heterolepis `Tara` / Tara Prairie Dropseed	1 gal	CONT.	25
HERBACEOUS PERENNIALS	**CODE**	**BOTANICAL / COMMON NAME**	**CONT**	**SIZE**	**QTY**
	axg	Allium x `Globemaster` / `Globemaster` Giant Allium	bulb		54
	am2	Allium x 'Millenium' / Millenium Ornamental Onion	1 gal		21
	An	Amsonia hubrichtii 'Northwind' / Northwind Select Arkansas Bluestar	1 gal	CONT.	8
	cnn	Calamintha nepeta ssp. nepeta / Lesser Calamint	QUART	CONT.	13
	Cr	Carex rosea / Rosy Sedge	1 gal	CONT.	22
	epm	Echinacea purpurea `Magnus` / Magnus Purple Coneflower	1 gal	CONT.	12
	expm	Echinacea x `Pixie Meadowbrite` / Pixie Meadowbrite Purple Coneflower	1 gal	CONT.	39
	Ef	Eryngium yuccifolium 'Prairie Moon' / Prairie Moon Rattlesnake Master	1 gal	CONT.	18
	gxd	Geranium x `Dily`s` / Cranesbill	1 gal	CONT.	16
	Hs	Heliopsis helianthoides 'Summer Nights' / Summer Nights False Sunflower	1 gal	CONT.	15
	So	Symphyotrichum oblongifolium 'October Skies' / October Skies Fall Aster	1 gal	CONT.	15
GROUND COVERS	**CODE**	**BOTANICAL / COMMON NAME**	**SIZE**	**FIELD2**	**QTY**
		OVERSEED BLUEGRASS TYPE LAWN PER CITY OF MADISON STANDARDS -			1,268 sf
		VEGETABLE GARDEN PLOT ANNUALS / VEGETABLES BY OWNER -			144 sf

City of Madison Landscape Worksheet

St. John's Lutheran Church
September 26th, 2022 — UMX District

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	4,862	n/a	16	81
			Landscape Points Required	**81**

Development Frontage	LF	Overstory Tree Req. (or x2 for Orn./Evrgrn. Tree Sub.)	Shrubs Required
Hancock St	132	4	22
E Washington Ave	164	5	27

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0		0
Ornamental Tree	15	0		0
Evergreen Tree	15	0		0
Shrub, deciduous	2	25		50
Shrub, evergreen	3	0		0
Perennial/Ornamental Grass	2	328		656
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0		0
			Development Frontage Points Total	**706**

Interior Parking Lots	N/A
Total Parking Lot Area	n/a

General Site, Foundation, Screening				
Element	**Point Value**	**Quantity Proposed**	**Quantity Existing**	**Points Achieved**
Overstory Deciduous Tree	35	0		0
Ornamental Tree	15	0		0
Evergreen Tree	15	26		390
Shrub, deciduous	2	1		2
Shrub, evergreen	3	0		0
Perennial/Ornamental Grass	2	38		76
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0		0
			General Site Plantings Total	**468**
			TOTAL LANDSCAPE POINTS	**1174**

0 10' 20'
1" = 10'-0"

NORTH

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St. Johns Lutheran Church

332 East Washington Avenue
Madison, WI

2021.09.00

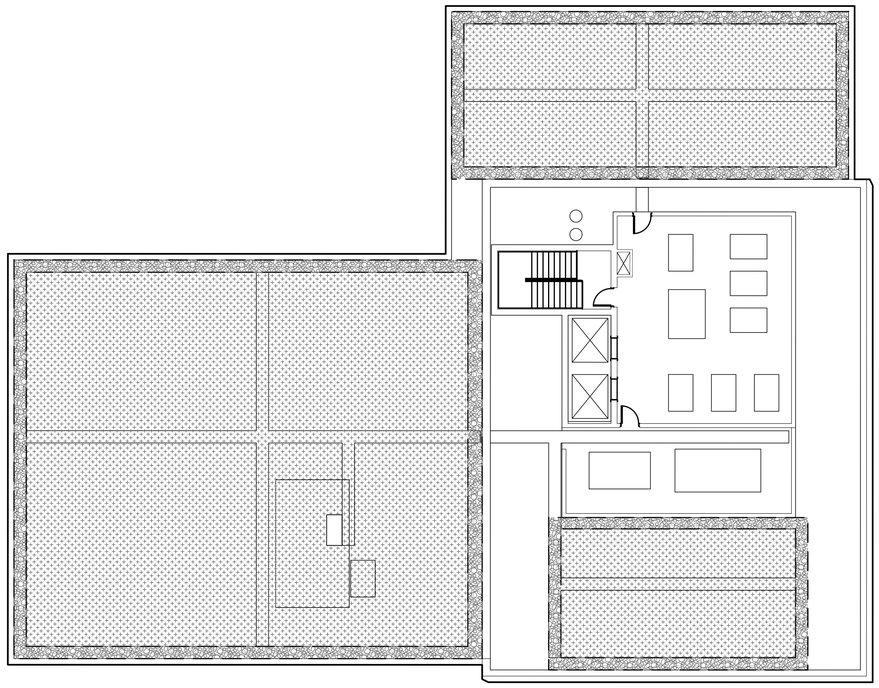
Date	Issuance/Revisions	Symbol
11/22/2022	URBAN DESIGN COMMISSION	

GROUND LEVEL & 1ST FLOOR PLANTING PLAN

L200

1 2ND FLOOR PLANTING PLAN

SCALE: 1" = 10'-0"



3 ROOF PLANTING PLAN

SCALE: 1" = 10'-0"

2 2ND FLOOR PLANT SCHEDULE

CONCEPT PLANT SCHEDULE 2ND FLOOR

PART-SHADE SEDUM CARPET & PERENNIAL PLUGS — 1,361 sf
OVER 12 " SEMI-INTENSIVE GREEN ROOF GROWING MEDIA
Aquilegia canadensis / Eastern Columbine
Carex appalachica / Appalachian Sedge
Carex divulsa / European Grey Sedge
Carex pensylvanica / Pennsylvania Sedge
Deschampsia flexuosa / Wavy Hair Grass
Erigeron pulchellus / Robin's Plantain
Fragaria virginiana / Wild Strawberry
Meehania cordata / Meehan's Mint
Phlox divaricata / Woodland Phlox
Sedum acre / Goldmoss Stonecrop
Sedum acre 'Aureum' / Golden Stonecrop
Sedum reflexum 'Angelina' / Angelina Sedum
Sedum spurium 'Fuldaglut' / Fuldaglut Two Row Stonecrop
Sedum spurium 'Green Mantle' / Green Mantle Two Row Stonecrop
Sedum spurium 'John Creech' / John Creech Two Row Stonecrop
Sedum spurium 'Red Carpet' / Red Carpet Two Row Stonecrop
Sedum ternatum / Wild Stonecrop
Sesleria autumnalis / Autumn Moor Grass
Stachys byzantina 'Big Ears' / Big Ears Lamb's Ear
Tiarella cordifolia 'Pink Skyrocket' / Pink Skyrocket Foamflower
Tiarella x 'Elizabeth Oliver' / Elizabeth Oliver Foamflower

STONE MULCH BALLAST — 310 sf
-

NOTES:

1. SUBJECT TO AVAILABILITY, THE PART-SHADE PLANTING AREA WILL BE COMPOSED OF THE NOTED PERENNIAL SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND PLANTED AS PLUGS OR 4" POTS, AND PLANTED DIRECTLY INTO SEDUM CARPET.
2. PART-SHADE SEDUM CARPET SPECIES COMPOSITION SUBJECT TO AVAILABILITY, SEDUM CARPET WILL BE COMPOSED OF THE NOTED SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL.

4 ROOF PLANT SCHEDULE

CONCEPT PLANT SCHEDULE ROOF

FULL SUN SEDUM CARPET — 6,598 sf
OVER 12 " SEMI-INTENSIVE GREEN ROOF MEDIA
Sedum acre / Goldmoss Stonecrop
Sedum acre 'Aureum' / Golden Stonecrop
Sedum album 'Coral Carpet' / Coral Carpet Stonecrop
Sedum album 'Murale' / Chubby Fingers Stonecrop
Sedum hispanicum / Spanish Stonecrop
Sedum kamtschaticum / Orange Stonecrop
Sedum kamtschaticum 'Floriferum' / Russian Stonecrop
Sedum kamtschaticum 'Variegatum' / Variegated Stonecrop
Sedum rupestre 'Angelina' / Angelina Sedum
Sedum rupestre 'Blue Spruce' / Blue Spruce Sedum
Sedum sexangulare / Tasteless Stonecrop
Sedum spurium 'Fuldaglut' / Fuldaglut Two Row Stonecrop
Sedum spurium 'John Creech' / John Creech Two Row Stonecrop
Sedum spurium 'Red Carpet' / Red Carpet Two Row Stonecrop
Sedum stefco / Stonecrop
Sedum takesimense 'Golden Carpet' / Golden Carpet Sedum
Sedum x 'Immergrunchen' / Immergrunchen Stonecrop

STONE MULCH BALLAST — 5,560 sf
-

NOTE:

FULL-SUN SEDUM CARPET SPECIES COMPOSITION SUBJECT TO AVAILABILITY, SEDUM CARPET WILL BE COMPOSED OF THE NOTED SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL

NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL PROTECT BENCHMARKS.
3. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
4. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
5. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
6. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
7. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, BHOFMANN@CITYOFMADISON.COM - OR - 608-266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
8. CITY FORESTRY MAY DETERMINE FINAL STREET TREE SPECIES SELECTION.
9. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, VEGETATED ROOF SYSTEMS, AND EXTERIOR SITE FURNISHINGS. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
10. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
11. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
12. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
13. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
14. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING MAY BE REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
15. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300- PART 1 STANDARDS FOR PRUNING.

0 10' 20'
1" = 10'-0"
NORTH

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PRELIMINARY
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St. Johns Lutheran Church

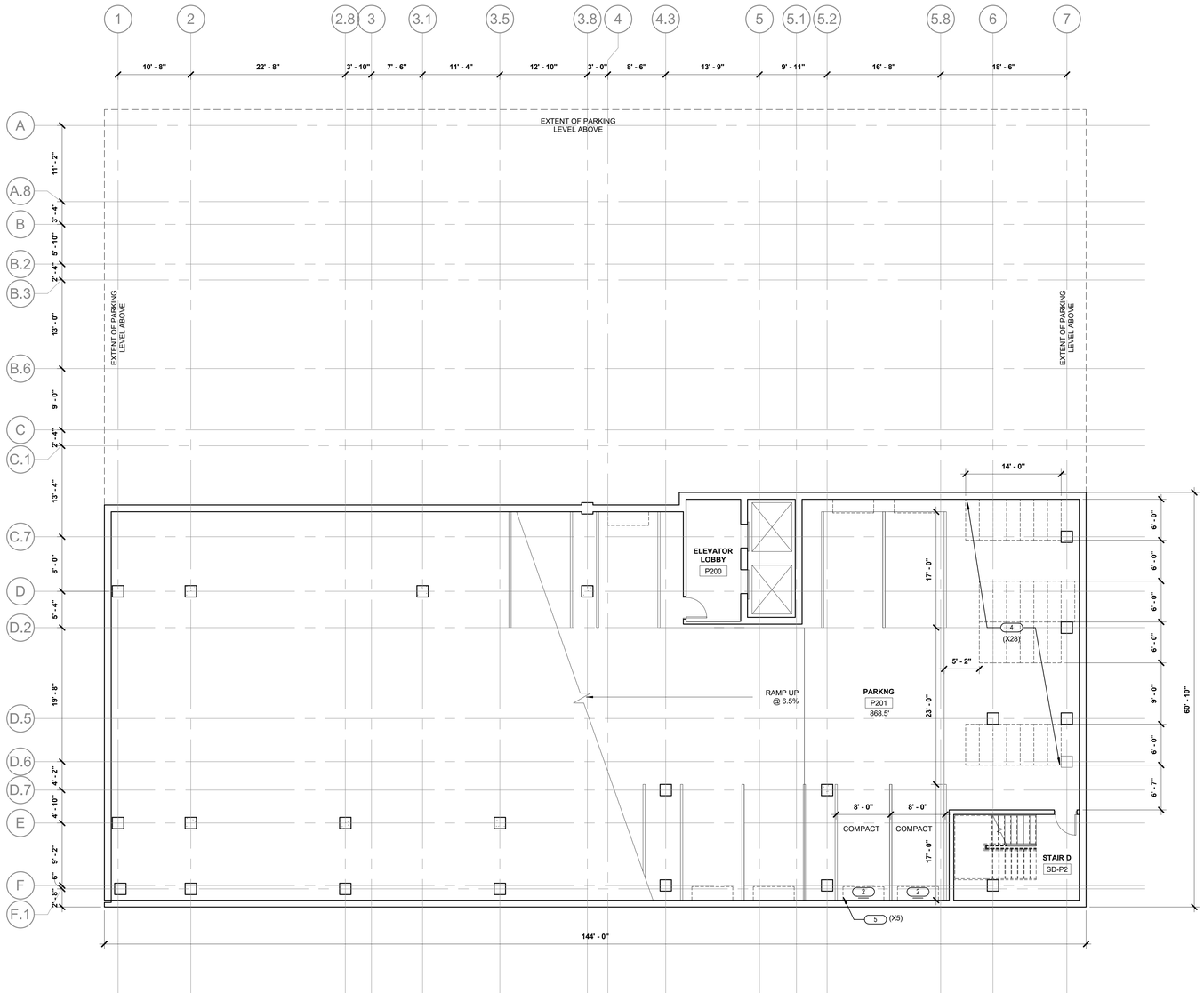
332 East Washington Avenue
Madison, WI

2021.09.00

Date	Issuance/Revisions	Symbol
11/22/2022	URBAN DESIGN COMMISSION	

2ND FLOOR & ROOF PLANTING PLANS

L201



1 A101 PARKING LEVEL 2
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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Notes:

GENERAL NOTES:

1. ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" HORIZONTALLY ORIENTED, FLOOR MOUNTED, U.O.N.

KEYNOTES:

1. ADA PARKING SIGNAGE
2. COMPACT VEHICLE PARKING SIGNAGE
3. NEW EV CHARGING STATION AND SIGNAGE
4. GROUND OR FLOOR MOUNTED BIKE RACKS
5. WALL MOUNTED BIKE RACKS
6. 3'-0" X 6'-0" X 8'-0" STORAGE LOCKERS

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PARKING LEVEL TWO PLAN

A101

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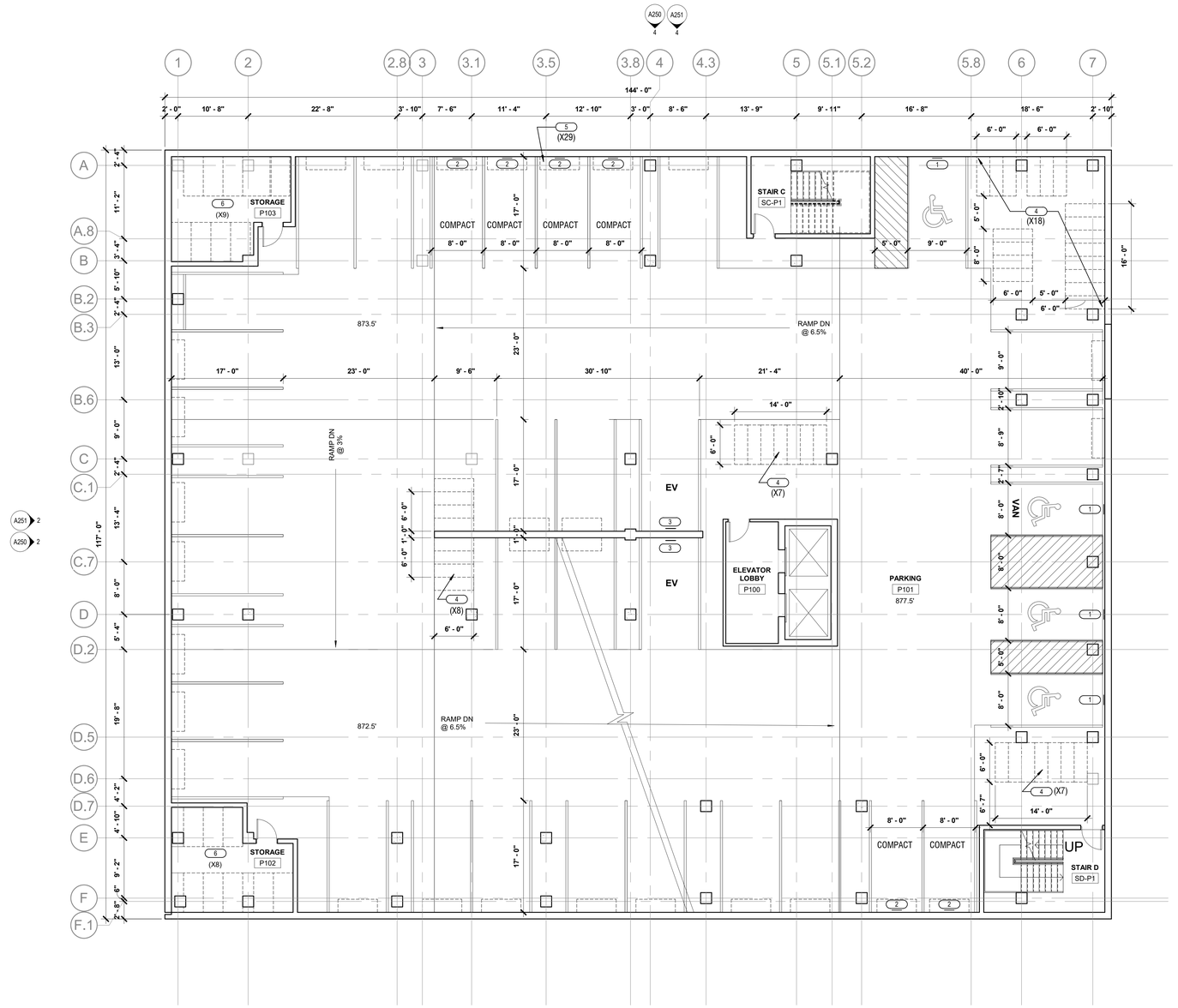

1 A102 PARKING LEVEL 1
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

Notes:

GENERAL NOTES:

1. ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" HORIZONTALLY ORIENTED, FLOOR MOUNTED, U.O.N.

KEYNOTES:

1. ADA PARKING SIGNAGE
2. COMPACT VEHICLE PARKING SIGNAGE
3. NEW EV CHARGING STATION AND SIGNAGE
4. GROUND OR FLOOR MOUNTED BIKE RACKS
5. WALL MOUNTED BIKE RACKS
6. 3'-0" X 6'-0" X 8'-0" STORAGE LOCKERS

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PARKING LEVEL ONE PLAN

A102

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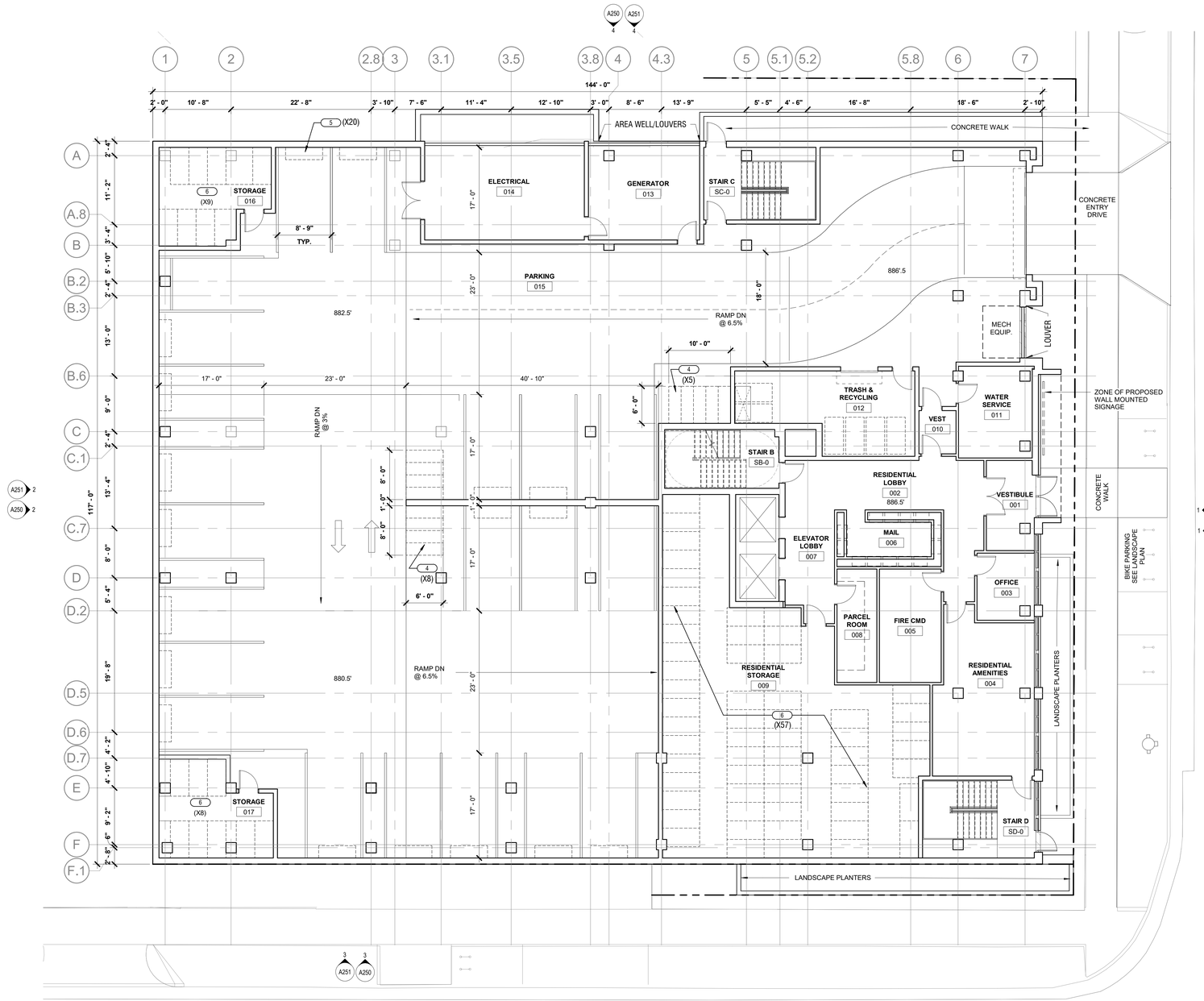

1 A103 LOWER LEVEL
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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Notes:

GENERAL NOTES:

1. ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
2. ALL BIKE STALLS ARE 2'-0" X 6'-0" HORIZONTALLY ORIENTED, FLOOR MOUNTED, U.O.N.

KEYNOTES:

1. ADA PARKING SIGNAGE
2. COMPACT VEHICLE PARKING SIGNAGE
3. NEW EV CHARGING STATION AND SIGNAGE
4. GROUND OR FLOOR MOUNTED BIKE RACKS
5. WALL MOUNTED BIKE RACKS
6. 3'-0" X 6'-0" X 8'-0" STORAGE LOCKERS

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LOWER LEVEL PLAN

A103

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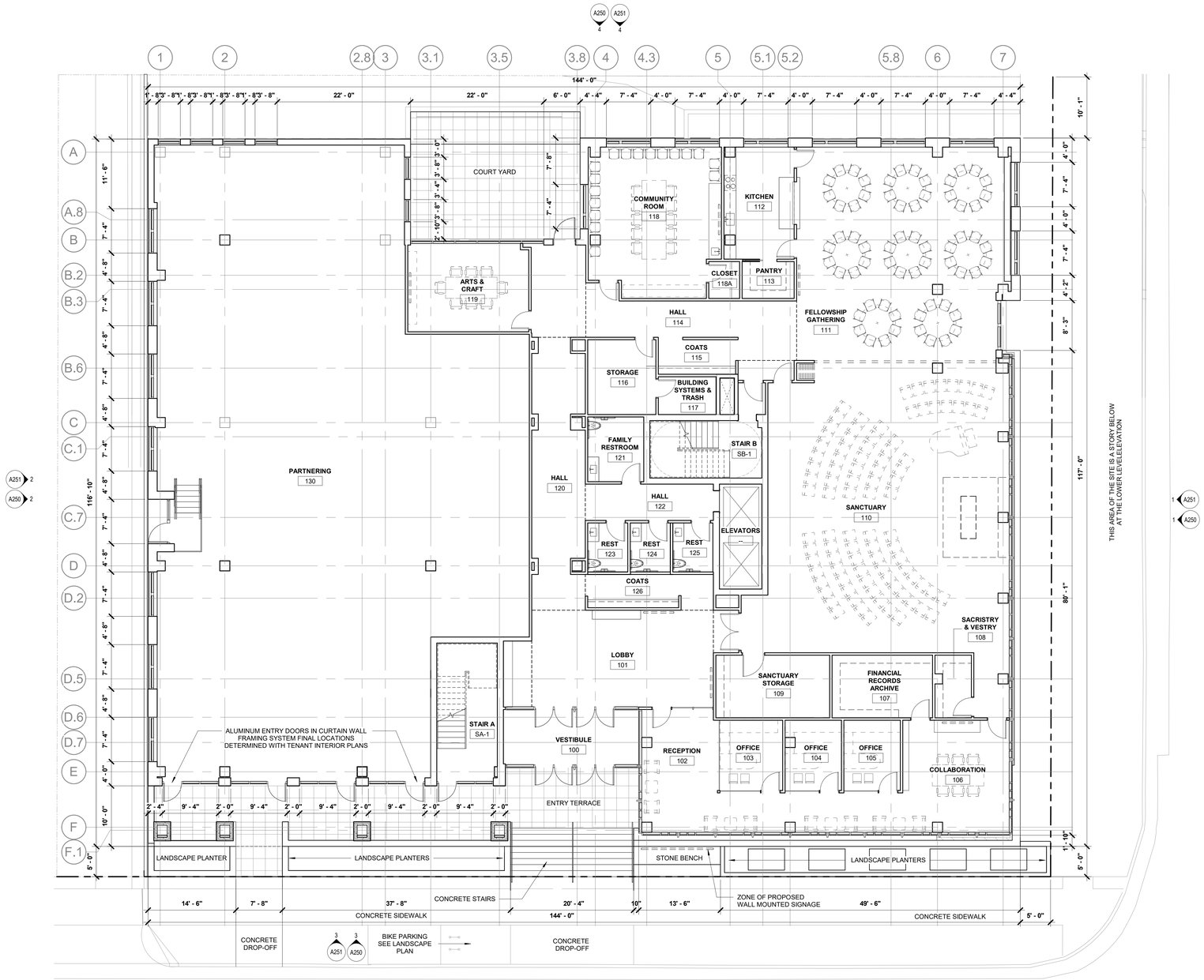

1 A104 FIRST FLOOR PLAN
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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Notes:

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FIRST FLOOR PLAN

A104

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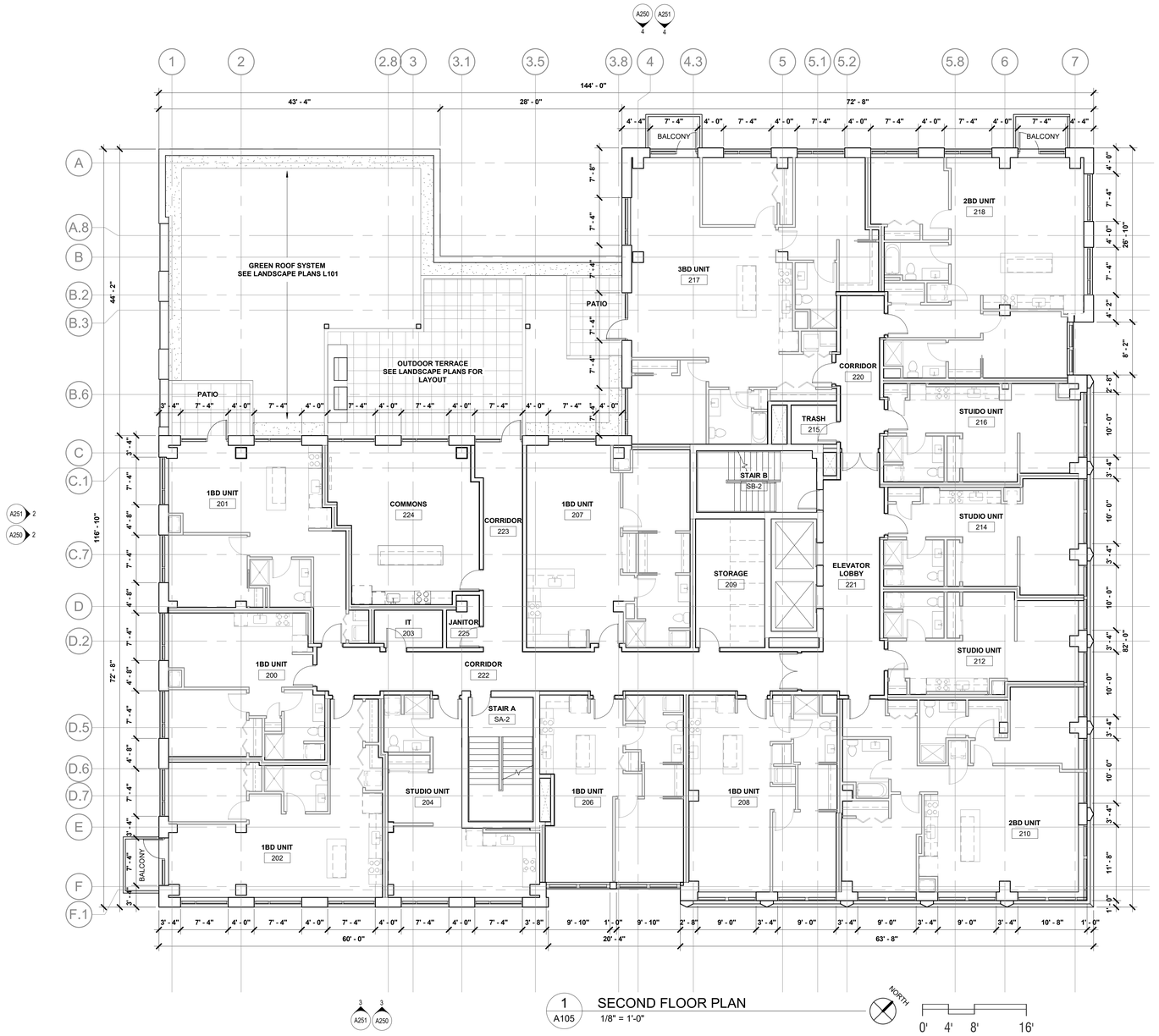

1 A105 SECOND FLOOR PLAN
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(4) STUDIOS
(6) 1 BEDROOM UNITS
(2) 2 BEDROOM UNITS
(1) 3 BEDROOM UNIT
(13) UNITS

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SECOND FLOOR PLAN

A105

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1 A106 THIRD FLOOR PLAN
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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THIRD FLOOR PLAN

A106

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1 A107 FOURTH FLOOR
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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FOURTH FLOOR PLAN

A107

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1 A108 FIFTH FLOOR
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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FIFTH FLOOR PLAN

A108

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1 A109 SIXTH FLOOR
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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SIXTH FLOOR PLAN

A109

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1 A110 SEVENTH FLOOR
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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SEVENTH FLOOR PLAN

A110

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1 A111 EIGHTH FLOOR
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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EIGHTH FLOOR PLAN

A111

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1 A112 NINTH FLOOR
1/8" = 1'-0"

SEE SECOND FLOOR PLAN FOR TYPICAL DIMENSIONS

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(5) STUDIOS
(6) 1 BEDROOM UNITS
(4) 2 BEDROOM UNIT
(15) UNITS

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NINTH FLOOR PLAN

A112

9/23/2022 2:58:10 PM

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1 A113 TENTH FLOOR
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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Notes:

UNIT COUNT
(3) STUDIOS
(5) 1 BEDROOM UNITS
(4) 2 BEDROOM UNITS
(12) UNITS

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TENTH FLOOR PLAN

A113

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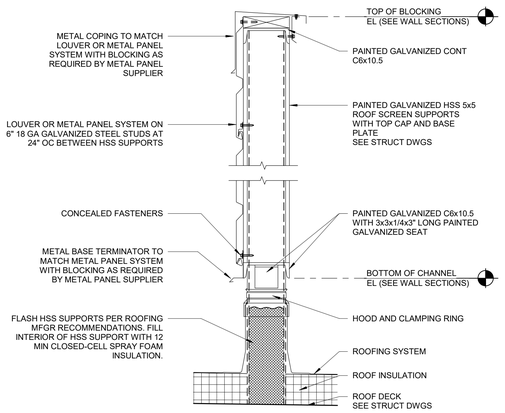
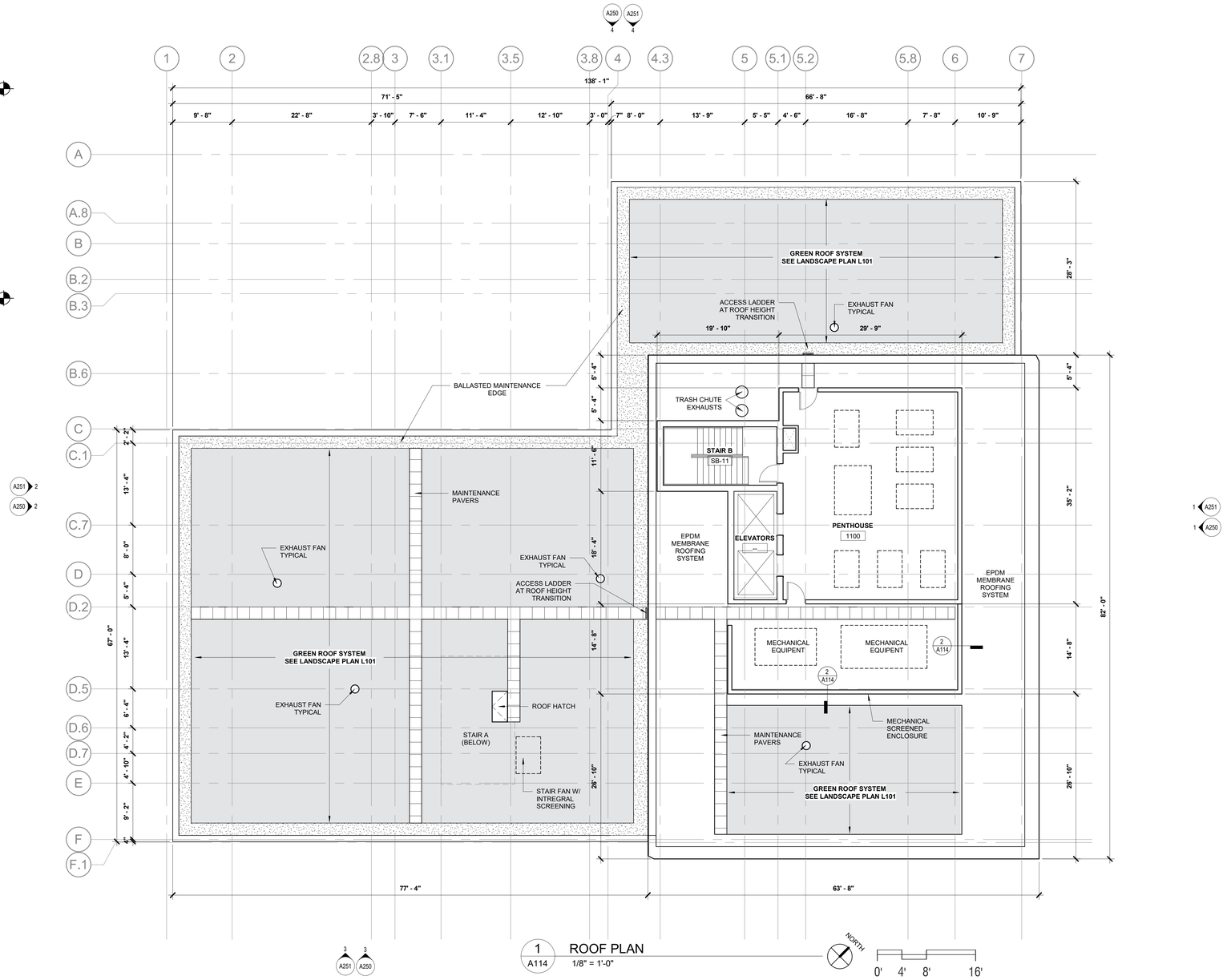


2 A114 EQUIPMENT SCREEN SECTION
1 1/2" = 1'-0"



1 A114 ROOF PLAN
1/8" = 1'-0"

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ROOF PLAN

A114

9/23/2022 2:58:32 PM

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3 A250 SOUTH-EAST ELEVATION
3/32" = 1'-0"

1 A250 NORTH-EAST ELEVATION
3/32" = 1'-0"

4 A250 NORTH-WEST ELEVATION
3/32" = 1'-0"

2 A250 SOUTH-WEST ELEVATION
3/32" = 1'-0"

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Notes:

ELEVATION KEY NOTES

1 BRICK VENEER - RUNNING BOND
2 BRICK VENEER - STACKED SOLDER BOND
3 PRECAST CONCRETE PANEL (ALTERNATE: STONE VENEER PANELS)
4 STONE VENEER PANEL
5 STONE COPING/ SILL
6 STONE VENEER PLANTER W/ STONE COPING
7 STONE VENEER BENCH
8 PRECAST STONE SILL
9 ALUMINUM GUARDRAIL - ANODIZED MEDIUM BRONZE
10 CONCRETE BALCONY
11 SITE CAST CONCRETE RETAINING WALL/ FOUNDATION
12 PRECAST CONCRETE BASE
13 HIGH DENSITY FIBER CEMENT BOARD
14 ACCENT STEEL LINTEL
15 CONCEALED FASTENER ANODIZED METAL PANEL - MEDIUM BRONZE
16 COILING GARAGE DOOR - PAINTED
17 MECHANICAL LOUVER - PAINTED
18 ALUMINUM SLATS
19 FAUX WOOD VENEER EXTRUDED ALUMINUM FIN
20 FIBER GLASS WINDOW GLAZING SYSTEM - MEDIUM BRONZE
21 FIBER GLASS WINDOW WALL GLAZING SYSTEM - MEDIUM BRONZE
22 FIBER GLASS STOREFRONT GLAZING SYSTEM - MEDIUM BRONZE
23 CURTAIN WALL GLAZING SYSTEM - ANODIZED MEDIUM BRONZE / STAINED GLASS/ LAMINATED COLORED INLAYS
24 CURTAIN WALL GLAZING SYSTEM - ANODIZED MEDIUM BRONZE
25 ZONE OF PREPOSED SIGNAGE

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BUILDING ELELVATIONS

A250

11/23/2022 12:00:09 PM

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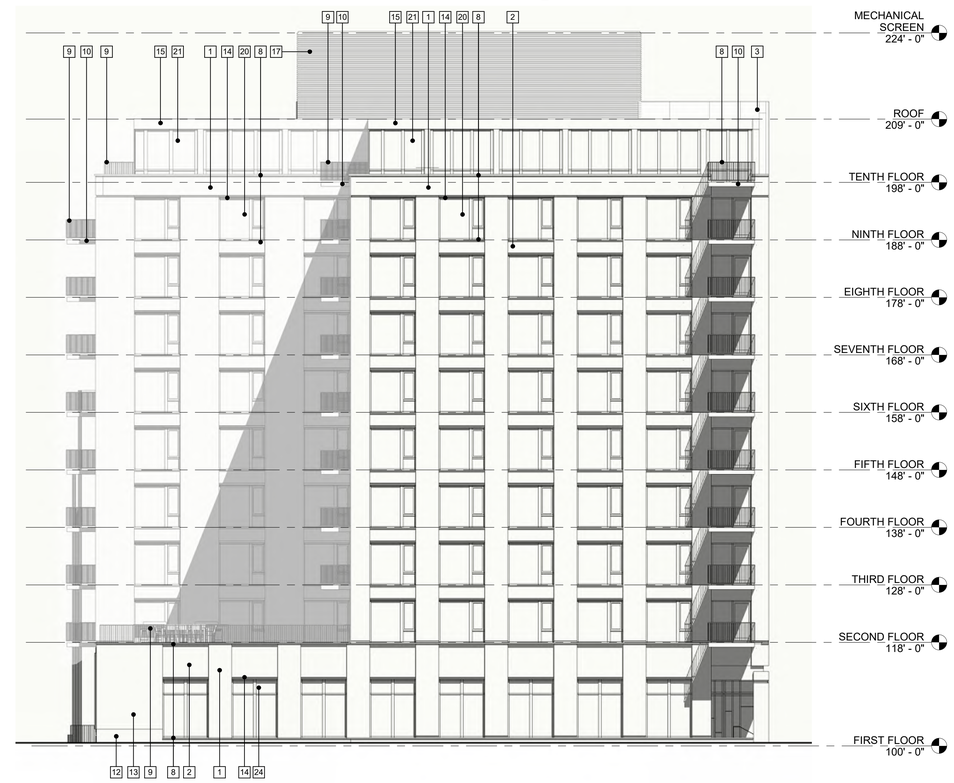
3 A251 SOUTH-EAST ELEVATION
3/32" = 1'-0"

1 A251 NORTH-EAST ELEVATION
3/32" = 1'-0"

4 A251 NORTH-WEST ELEVATION
3/32" = 1'-0"



2 A251 SOUTH-WEST ELEVATION
3/32" = 1'-0"

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Notes:

ELEVATION KEY NOTES

1 BRICK VENEER - RUNNING BOND
2 BRICK VENEER - STACKED SOLDER BOND
3 PRECAST CONCRETE PANEL (ALTERNATE: STONE VENEER PANELS)
4 STONE VENEER PANEL
5 STONE COPING/ SILL
6 STONE VENEER PLANTER W/ STONE COPING
7 STONE VENEER BENCH
8 PRECAST STONE SILL
9 ALUMINUM GUARDRAIL - ANODIZED MEDIUM BRONZE
10 CONCRETE BALCONY
11 SITE CAST CONCRETE RETAINING WALL/ FOUNDATION
12 PRECAST CONCRETE BASE
13 HIGH DENSITY FIBER CEMENT BOARD
14 ACCENT STEEL LINTEL
15 CONCEALED FASTENER ANODIZED METAL PANEL - MEDIUM BRONZE
16 COILING GARAGE DOOR - PAINTED
17 MECHANICAL LOUVER - PAINTED
18 ALUMINUM SLATS
19 FAUX WOOD VENEER EXTRUDED ALUMINUM FIN
20 FIBER GLASS WINDOW GLAZING SYSTEM - MEDIUM BRONZE
21 FIBER GLASS WINDOW WALL GLAZING SYSTEM - MEDIUM BRONZE
22 FIBER GLASS STOREFRONT GLAZING SYSTEM - MEDIUM BRONZE
23 CURTAIN WALL GLAZING SYSTEM - ANODIZED MEDIUM BRONZE / STAINED GLASS / LAMINATED COLORED INLAYS
24 CURTAIN WALL GLAZING SYSTEM - ANODIZED MEDIUM BRONZE
25 ZONE OF PREPOSED SIGNAGE

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332 East Washington Avenue
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BUILDING ELEVATIONS

A251

11/23/2022 12:00:44 PM

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01. East Perspective

02. West Perspective

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PERSPECTIVES

A260

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01. South Perspective

03. North Perspective

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PERSPECTIVES

A261

11/23/2022 12:02:01 PM

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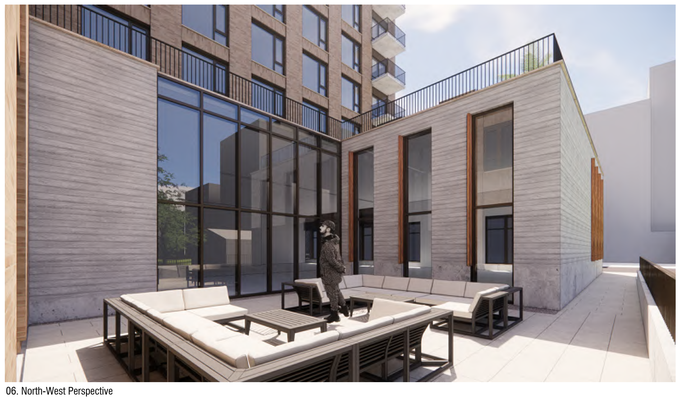
01. South Perspective

02. South-East Perspective

03. East Perspective

04. North- East Perspective

05. North Perspective



06. North-West Perspective

07. West Perspective

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PERSPECTIVES

A262

11/23/2022 12:02:19 PM

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1. Brick Veneer

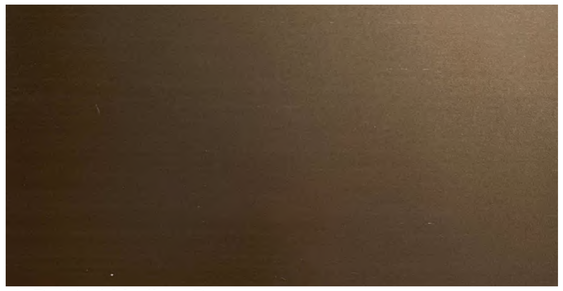
2. Stone Veneer

3. Precast Concrete

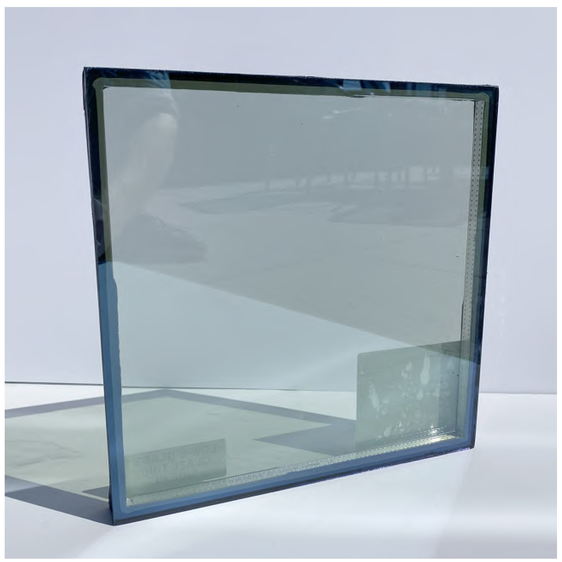
4. Wood Veneer

5. High Density Fiber Cement

6. Stained Glass/ Laminated Colored Inlay



7. Painted Medium Bronze



8. Clear Low-E Coated Glazing

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BUILDING MATERIALS

A270

11/23/2022 1:15:53 PM

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Summer 9am

Spring & Fall 9am

Winter 9am

Summer Noon

Spring & Fall Noon

Winter Noon

Summer 3pm

Spring & Fall 3pm

Winter 3pm

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SHADOW STUDY

A271

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urban design commission and plan commission review

EXTERIOR LIGHTING

St. John's Lutheran Church
332 East Washington Avenue
Madison, WI

September 26, 2022

LIGHTING ERGONOMICS

100 Sunbridge Ln,
Buffalo Grove (Chicago), IL 60089.
Ph1: +1 312 994 2374,
mail@lightingergonomics.com

INDEX

LD100: COVER SHEET LIGHTING
LD101: LOWER LEVEL LIGHTING PLAN
LD102: FIRST FLOOR LIGHTING PLAN
LD103: SECOND FLOOR LIGHTING PLAN
LD104: TENTH FLOOR LIGHTING PLAN
LD105: LIGHTING BUILDING FACADE
LD106: LIGHTING SCHEDULES

GENERAL NOTES

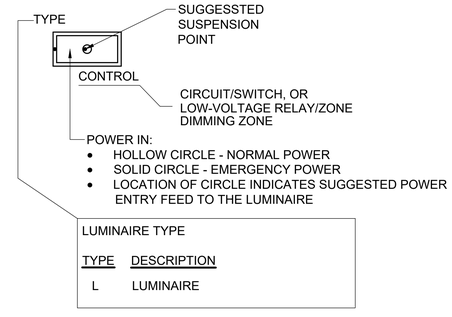
1. ALL THE SHEETS IN THIS DESIGN DEVELOPMENT MANUAL, UNLESS OTHERWISE MENTIONED, TO BE PLOTTED TO 30" X 42" SHEET
2. REFER TO LIGHTING LEGEND ON THE SIDE FOR THE FIXTURE SYMBOL & ABBREVIATION INFORMATION.
3. REFER TO SHEET LD106 FOR LUMINAIRE SCHEDULE
4. ALL DIMENSIONS ARE IN INCHES & FOOT UNLESS OTHERWISE SPECIFIED.
5. ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED. DO NOT SCALE THE DRAWING.
6. ALL THE REFERENCED HEIGHTS ARE FROM FINISHED FLOOR TO THE BOTTOM OF THE LUMINAIRE, UNLESS OTHERWISE NOTED.
7. FOR ALL THE LINEAR LUMINAIRES, EXACT LENGTH TO BE DERIVED FROM THE ARCHITECTURAL CONDITIONS WITHIN WHICH THEY ARE INSTALLED.
8. PROVISIONS FOR THE REMOTE DRIVER SHALL BE MADE IN THE NEAREST ACCESSIBLE LOCATION FOR EASY MAINTENANCE. DISTANCE OF THE DRIVER FROM THE LUMINAIRE SHALL BE MAINTAINED AS PER MANUFACTURER'S RECOMMENDATIONS
9. RELEVANT SERVICES DRAWINGS ARE TO BE READ SIMULTANEOUSLY AND PROVISION OF CUTOUTS / SLEEVES TO BE PROVIDED AS REQUIRED.
10. ALL MANUFACTURERS CONTAINED WITHIN THIS MANUAL ARE PRESENTED TO DEFINE DESIGN DIRECTION AND PERFORMANCE. ALL FINAL SELECTIONS OF MANUFACTURERS SHALL BE AS SPECIFIED OR EQUAL.

OTHER SYMBOLS

NOTE DESIGNATION

1 CONTROL NOTE

LIGHTING LEGEND



RECESSED LINEAR LED PROFILE
MOUNTING LOCATION: CEILING

SUSPENDED LINEAR LED PROFILE
MOUNTING LOCATION: CEILING

SURFACE MOUNTED LINEAR LED PROFILE
MOUNTING LOCATION: ARCHITECTURAL SOFFIT OR COVE UNDER CABINET

WALL SURFACE
MOUNTING LOCATION: WALL

WALL RECESSED
MOUNTING LOCATION: WALL

PENDANT/SUSPENDED LUMINANCE
MOUNTING LOCATION: CEILING

SURFACE MOUNTED DOWNLIGHT
MOUNTING LOCATION: CEILING

RECESSED DOWNLIGHT LUMINAIRE
MOUNTING LOCATION: CEILING

TRACK
MOUNTING LOCATION: AS NOTED

TRACK HEAD
MOUNTING LOCATION: TRACK

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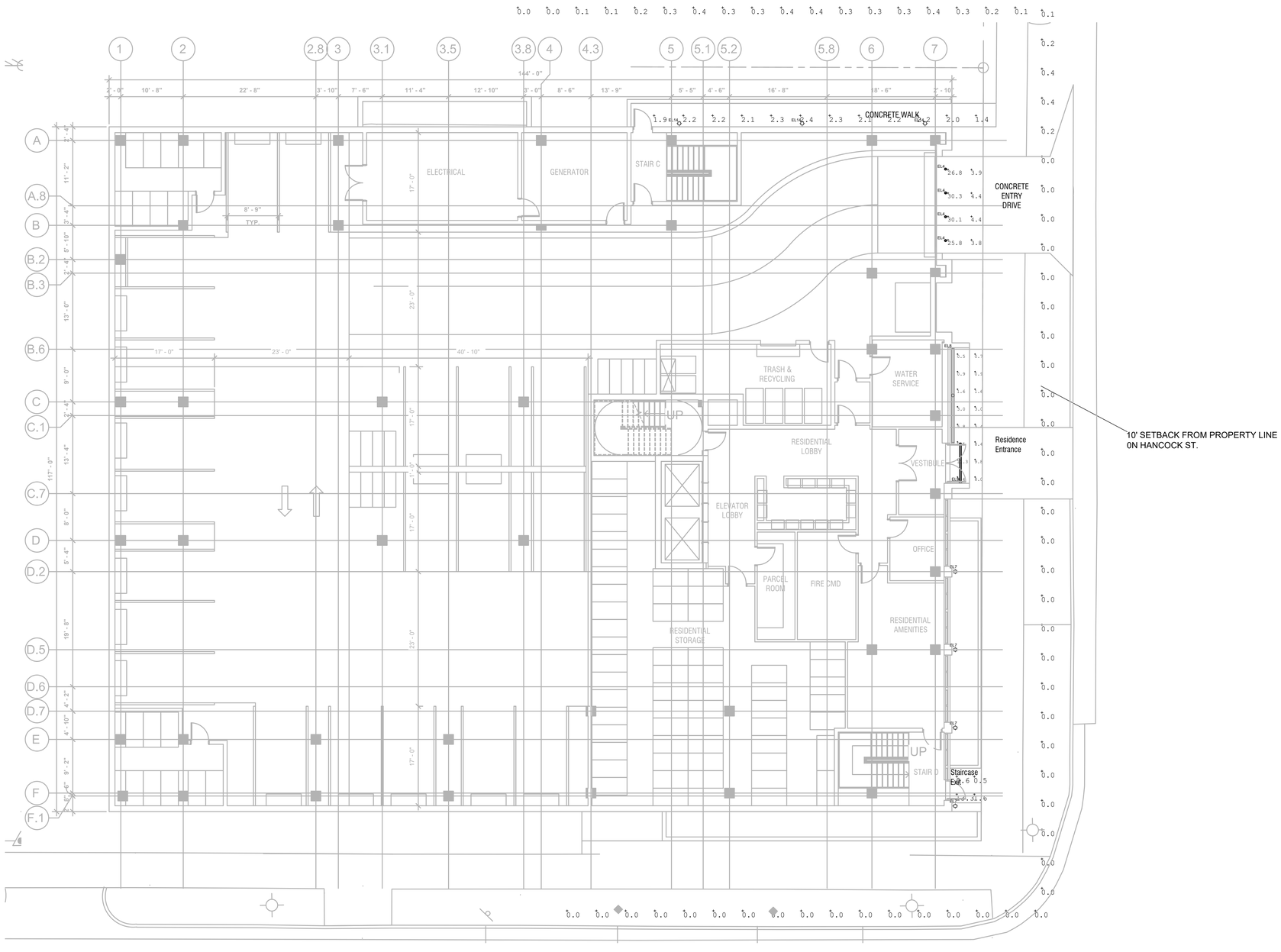
COVER SHEET

LD100



Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	LF ENTRANCE RES_Floor	4.99	11.30	0.50	9.98
2	LF CONCRETE WALK_Planar	2.11	2.40	1.40	1.51
3	LF STAIRCASE EXIT	4.00	13.30	0.50	8.00
4	LF ENTRY DRIVE_Planar	16.19	30.30	3.80	4.26
5	10' SETBACK REAR YARD	0.09	0.40	0.00	NA

01 LD101 LOWER LEVEL LIGHTING PLAN
1/8" = 1'-0"

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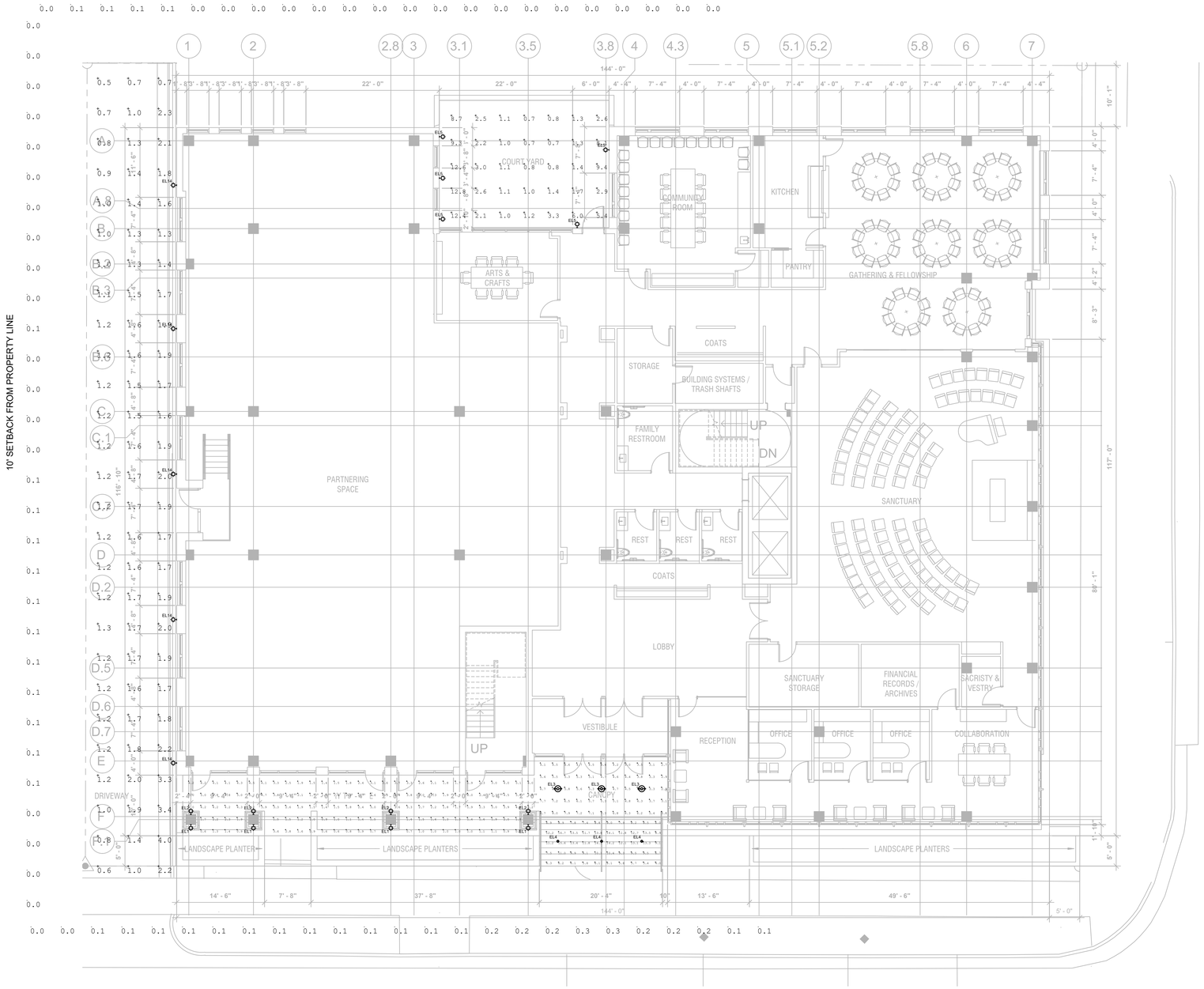
LOWER LEVEL LIGHTING PLAN

LD101



Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	FF ENTRANCE TO CHURCH (CANOPY)	7.40	16.70	2.70	2.74
2	FF ENTRY TERRACE	2.58	6.80	0.50	5.16
3	FF DRIVE WAY ON SOUTH-WEST END	1.52	4.00	0.50	3.04
4	FF COURTYARD	3.57	12.80	0.70	5.10
5	10' SETBACK to PROPERTY LINE	0.06	0.30	0.00	N.A

01 LD101 FIRST FLOOR LIGHTING PLAN
1/8" = 1'-0"

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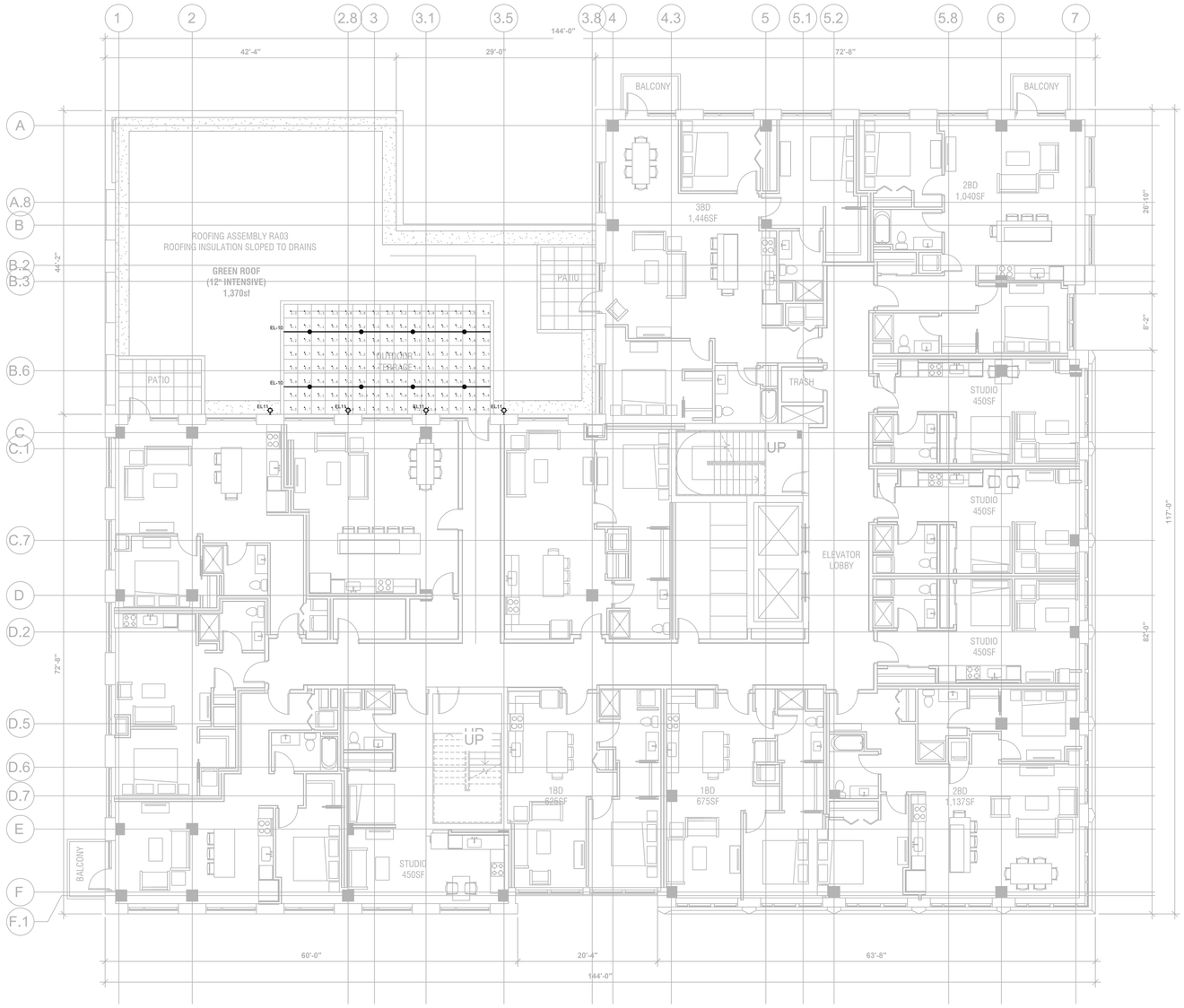
FIRST FLOOR LIGHTING PLAN

LD102



Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	2F OUTDOOR TERRACE	5.54	10.80	1.90	2.92

01 LD101 SECOND FLOOR LIGHTING PLAN
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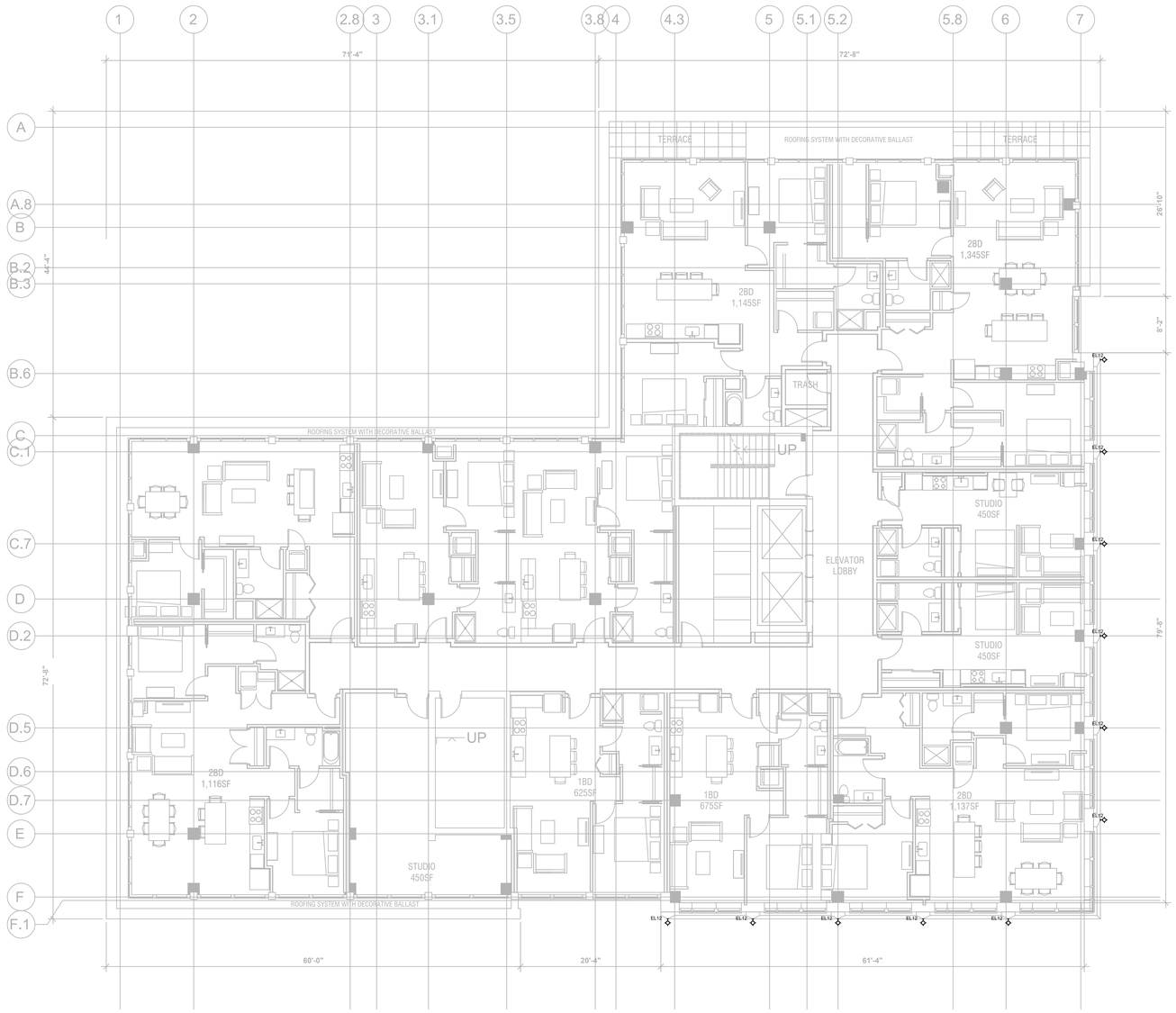
SECOND FLOOR LIGHTING PLAN

LD103



01 LD101 TENTH FLOOR LIGHTING PLAN

1/8" = 1'-0"

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TENTH FLOOR LIGHTING PLAN

LD104

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LIGHTING ERGONOMICS

Fixture type EL13
installed recessed in the wall under the concrete structure of each of the private terraces. Light distribution will be indirect with complete concealment of light source by the extent of the terrace.

Fixture type EL13
installed recessed in the wall under the concrete structure of each of the private terraces. Light distribution will be indirect with complete concealment of light source by the extent of the terrace.

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Fixture type EL12
installed as a surface mounted downlight at the top edge of the tower to light the vertical face of architecture.

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LIGHTING
BUILDING FACADE

LD105

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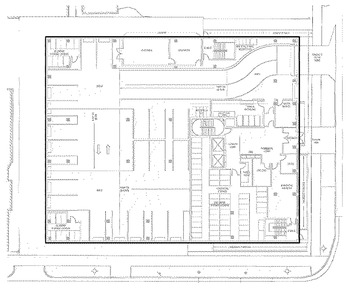
LUMINAIRE SCHEDULE

Luminaire Reference	Image	Where Fixtures are Proposed to be Used	Generic Luminaire Description: [Physical] [Mounting] [Profile/Shape] & [Function]	Reference Product	Wattage	Lumens
EL1		Partner Area Entrance Outward Columns	4-1/2"W x 11-3/8"H x 4-1/8"D Die-cast Aluminum with Tempered Glass Diffuser and Internal Power in Junction Box - Wall Mounted at 5' Above Entry Terrace Floor	Systemalux: COOL Series	24 Watts	950 Lumens
EL2		Partner Area Entrance Colonnade	4-1/2"W x 10-3/4"H x 2-1/2"D Die-cast Aluminum with Tempered Glass Diffuser and Power supply in Junction Box - Wall Mounted at 8' Above Entry Terrace Floor	Systemalux: POCKET Series	27.4 Watts	1886 Lumens
EL3		Church Entrance Above Doors	18"W x 36"H Aluminum Frame Surrounding a Stained Glass Pattern Mimicking the Church Window Staind Glass Colors and Geometric Pattern. Pendant Mount from Ceiling	VISA: Laterna Series	29 Watts	2500 Lumens
EL4		Church Entrance Above Stairway	4" Square Recessed Downlight with Black Trim Finish (Not Shown)	Systemalux: LOGO PRO SMALL Series	15 Watts	845 Lumens
EL5		Church Courtyard Walls	59-7/8"H x 4-18"W x5"D Die-cast Aluminum and Extruded Marine Grade Aluminum Alloy with Matte Safety Glass Diffuser on Both Light Emitting Sides Wall Mounted at 30" AFG to Bottom of Fixture	BEGA: LED Wall Luminaire Series 44438	36 Watts	2123 Lumens
EL6	Not Used					
EL7		Church Courtyard Walkway	6-3/4"W x 6-1/4"H x 6-1/8"D Die-cast Aluminum with Tempered Glass Diffuser and Internal Power supply in Junction Box - Wall Mounted Above Garage Door at 7' AFG	Systemalux: LOFT Series with 13 Degree Beam Angle	21.5 Watts	1485 Lumens
EL8		Exterior Resident Entrance Textured Wooden Signage Accent	4.88"W x 6"D x 4' L Extruded Aluminum Recessed Wet Location Grazing Uplight with 10 x 60 Degree Optics and Glare reducing Louver	Insight: Medley In grade (MIG) Series	9 Watts/Foot	1386 Lumens/Foot
EL9		Resident Entrance Canopy	1-1/2"W x 3-3/4"H Extruded Aluminum Channel with Cold Rolled Sheet Steel Bracket Recessed Continuous Line of Light with 35 Degree Optics	Lumenwerx: VIA 1.5 Recessed Series	10.6 Watts/Foot	500 Lumens/Foot
EL10		Outdoor Terrace	6-15/16"H x 1" Diameter Marine Grade Aluminum Cylinder with Dynamic 10 - 60 Degree Zoom Optics	Bruck: Skyline Catenary Series	8 Watts	400 Lumens
EL11		Terrace Building Walls	15"H x 3-7/8"W x 5-1/4"D Cast Aluminum Body with Luminous Acrylic Upper Diffuser Wall Mounted at 6' AFF	VISA: OW2304 SCOPE Series	8 Watts	420 Lumens UP 420 Lumens DN
EL12		Exterior Rooftop Triangular Panel Accent	2.5" Diameter x 8.13"H Extruded Aluminum Wet Location Spotlight with Very Narrow Optics Mounted at Building Roof Parapet Wall	EcoSense: Rise Series F080 Single	11.5 Watts	744 Lumens
EL13		Individual Residential Unit Balcony Uplighting	14-3/8"W x 2"H x 2-7/8"D Die Cast Aluminum Housing for Indirect Ceiling Accent Light Wall Mounted at Above Door and Centered on Balcony	VISA: ESCAPE-OUTDOOR Series	9 Watts	450 Lumens
EL14		Exterior Path and Right of Way Alley	12-1/8"W x 5-11/32"H x 7"D Die Cast Aluminum Housing for Direct Downlight (Full Cut-Off) Wall Mounted at 10' AFG	Gardco: Wall Mount Trapezoidal Wedge Mini Sconce Series	19.5 Watts	1421 Lumens

CONNECTED LIGHTING LOAD FOR ILLUMINATING BUILDINGS AND STRUCTURE

GROUND LEVEL FLOOR PLAN WITH DARK LINE INDICATING LINEAR FOOTAGE OF BUILDING PERIMETER - 532 Ft



LPD Calculations for the Building Facade Lighting

Luminaire Type	Location used on the project	Wattage	Quantity	Total Wattage
EL1	Partner Entrance Terrace Facing Outward	24 Watts	4	96 Watts
EL2	Partner Entrance Terrace Facing Inward	27.4 Watts	4	109.6 Watts
EL3	Building Entrance Doors	29 Watts	3	87 Watts
EL4	Building Entrance Stairway and Entry Drive	15 Watts	7	105 Watts
EL5	Church Court Yard Walls	30.4 Watts	5	152 Watts
EL6	Removed from Project			
EL7	Building West Wall Accent	21.5 Watts	4	86 Watts
EL8	Resident Entrance Uplighting for Signage	9 Watts/Foot	16 Feet	144 Watts
EL9	Recessed in Resident Entrance Canopy	10.6 Watts/Foot	12 Feet	127.2 Watts
EL10	Resident Terrace Seating Area	8 Watts	8	64 Watts
EL11	Resident Terrace Area Wall Lighting	8 Watts	4	32 Watts
EL12	Facade Panel Warm Downlight Accent at Rooftop	11.5 Watts	11	126.5 Watts
EL13	Uplight Emphasis on Ceilings of Residence Balconies (Not Shown on Plans)	9 Watts	39	351 Watts
EL14	North and West Wall Mounted Area Lighting	19.5 Watts	8	156 Watts
		Project Total		**1552.3 Watts**

LIGHTING CONTROLS - DESIGN INTENT NARRATIVE

GENERAL DESCRIPTION:

PROVIDE CONTROLS AS REQUIRED BY LOCAL CODE.

PROVIDE PROGRAMMABLE LIGHTING MANAGEMENT SYSTEM (PLMS) FOR ALL THE SPACES IN THE SCOPE. THIS SYSTEM WILL BE CAPABLE OF AUTOMATED FUNCTIONS SUCH AS TIME OF THE DAY SCHEDULING, PHOTOCELL INPUTS AND OCCUPANCY SENSING. SYSTEM SHALL COMPRISE OF NETWORK AND DISTRIBUTED SYSTEM TO MINIMIZE THE 0-10 V CABLING AND FOR THE EASE OF INSTALLATION AND FUTURE MAINTENANCE. SYSTEM SHALL BE CAPABLE OF INTERFACING WITH THE BUILDING MANAGEMENT SYSTEM (BMS) IF REQUESTED BY THE OWNER.

PROVIDE SCENE-CONTROL SWITCHES AT LOCATIONS ACCESSIBLE TO STAFF ONLY FOR THE CONTROL OF LIGHTING IN COMMON AREAS.

PROVIDE VACANCY AND DAYLIGHT SENSOR-CONTROLLED LIGHTING TO MEET CODE REQUIREMENTS WHERE APPLICABLE.

PROVIDE EMERGENCY LIGHTING CIRCUITS TO SELECT FIXTURES TO MEET EGRESS LIGHTING CODE REQUIREMENTS. LIGHT FIXTURES SYMBOLS WITH SOLID FILL ARE THE SUGGESTED FIXTURES THAT COULD BE CIRCUITED WITH EMERGENCY POWER.

GENERAL SEQUENCE OF OPERATION:

Exterior Façade	• Astronomical time-clock function as part of central controller/processor • Photocell • Key-pad wall station located in a location accessible to staff but out of sight of the Guests/Residents	• Photocell control will allow for automatic operation of nocturnal emphasis lighting while the time-clock function will extinguish exterior lighting per city ordinance restrictions
Exterior Site & Landscape	• Astronomical time-clock function as part of central controller/processor • Photocell • Key-pad wall station located in a location accessible to staff but out of sight of the Guests/Residents	• Photocell control will allow for automatic operation of nocturnal emphasis lighting while the time-clock function will extinguish exterior lighting per city ordinance restrictions

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LIGHTING SCHEDULE

LD106