

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

☒ Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Street address _____

Telephone _____

Project contact person _____

Street address _____

Telephone _____

Property owner (if not applicant) _____

Street address _____

Telephone _____

Company _____

City/State/Zip _____

Email _____

Company _____

City/State/Zip _____

Email _____

City/State/Zip _____

Email _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner Morgan Van Riper-Rose Date _____

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150
(per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500
(per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100
(per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



November 9th, 2022

Ms. Jessica Vaughn
Urban Design Commission Secretary – Planning Division
215 Martin Luther King Jr. Blvd., Suite 017
Madison, WI 53701
jvaughn@cityofmadison.com

Re: Letter of Intent
Plato's Madison – Madison Plaza Hotel Conversion
3841 E Washington Avenue
Madison, WI 53714

Ms. Jessica Vaughn:

Republik is pleased to present our updated plans for the conversion of the existing Madison Plaza Hotel at 3841 E Washington Avenue into multifamily apartments for final approval with the Urban Design Commission.

Team:

Owner:

Republik Madison LLC
1784 Hamilton Road
Okemos, MI 48864
Contact: Morgan Van Riper-Rose
morgan@therepublik.com

MEP Engineer:

PKMR Engineers
2933 SW Woodside Dr.
Topeka, KS 66614
Contact: Bryan Leinwetter
bryan.leinwetter@pkmreng.com

Architect:

Schwerdt Design Group
2231 S.W. Wanamaker Road, Suite 303
Topeka, Kansas 66614
Contact: Shaun Elwood
sle@sdgarch.com

Civil Engineer:

Wallace Design Collective
410 N Walnut Avenue, Suite 200
Oklahoma City, OK 73104
Contact: Patrick Altendorf
patrick.altendorf@wallace.design

Republik

Project Overview:

Plato's Madison is an adaptive reuse apartment project that will encompass a full renovation and repurposing of the existing hotel property into 180 studio and 10 1-bedroom apartments. The existing Madison Plaza Hotel consists of 197 hotel rooms, ~10,000sf of banquet and meeting rooms, a fitness center, commercial laundry room, and a separate building housing an indoor pool in the property's courtyard. Once renovated, Plato's Madison will have a variety of private amenities for resident use including:

- Fitness Center
- Indoor Pool
- Co-working Spaces
 - o Quiet areas throughout the property with private and communal desks, seating and wi-fi for resident use
- Resident Lounges
 - o Communal areas for residents to gather and entertain
 - o Includes seating, televisions, and games
- Communal Laundry
- Landscaped Courtyard
 - o ~25,000sf of green space
 - o Grills and outdoor seating
- Resident Storage
 - o Private storage cages available for resident use

Previous City Meetings:

We received Initial Approval from the UDC on September 7th, 2022 and CUP approval from the Plan Commission at the October 3rd, 2022 meeting.

We plan to begin construction immediately and begin delivering units within 10-12 months.

Repvblik

Initial Approval: September 7th, 2022

Commission Feedback & Repvblik Response:

1. The applicant shall provide a landscape plan as part of the Final Approval application, including plantings in the courtyard space and the use of bark mulch.
 - a. *A landscape plans are attached herein. We have updated the courtyard landscaping significantly. Where there is exposed earth or mulch beds in the landscape islands around the building, we will enhance the planting in those areas and add fresh bark mulch. This also includes bark mulch in the courtyard space unless directed otherwise.*
2. The applicant shall update the photometric plan that responds to the concerns in the staff report, including lighting in the courtyard and along pedestrian pathways.
 - a. *An updated photometric plan is attached herein.*
3. The applicant shall update the elevations to address architectural comments, including:
 - a. Updating the color of the downspouts and gutters to match the exterior wall color,
 - i. *Downspout and gutter colors have been revised to match the surrounding façade.*
 - b. Consideration should be given to downplaying the arches in the building gable ends,
 - i. *We have removed the dark accent colors from the arches to ensure cohesiveness with the rest of the façade.*
 - c. Updating the color of the wall packs to be a lighter color to match the window frame,
 - i. *Wall packs and the surrounding wall will both be painted Requisite Gray.*
 - d. Consideration should be given to utilizing the same window type throughout, i.e. update sliding windows to match the new windows above the front entry.
 - i. *The existing windows throughout the property are in good working condition – the windows above the front entrance are being reconfigured as a direct result of removing the port cochere and reworking the roof to the entry vestibule below. We do not have the construction budget to replace the sliding unit windows but could explore adding window muntin bars to the existing storefront windows to remain above the front entry if that's preferable. We have included a rendering of that option.*
4. The advisory motion reflects that conditional use standard #9 has been fulfilled; standard #5 requires additional enhancement or rework, including consideration being given to the location and treatment of the pedestrian crosswalk connection and consider a true connection that is raised and protected.
 - a. *We have reworked the pedestrian connection to E. Washington to offer a permanent concrete sidewalk, protected from traffic with parking bumpers along the adjacent parking lot. We have also moved the outdoor bike parking to the front of the building – blocking that area off to cars where the port cochere drive thru was previously.*

Sincerely,

Morgan Van Riper-Rose

Morgan Van Riper-Rose
Repvblik

FILEPATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - CD Model_Central_V22_cak2RG35.rvt
DATE: 10/14/2022 1:47:34 PM
DRAWN BY: Author

A1 LOCATION MAP

SCALE: NOT TO SCALE



MATERIAL LEGEND

PLAN OR SECTION

	ACOUSTIC TILE (SECTION)
	BATT INSULATION
	BRICK
	CARPET
	CONCRETE
	CONCRETE MASONRY UNITS
	CONCRETE, PLASTER CUT STONE, STUCCO
	EARTH COMPACTED/DISTURBED
	METAL
	METAL STUDS
	PLYWOOD (LARGE SIZE)

RIGID INSULATION

	SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT TILE (LARGE SCALE)
	WOOD BLOCKING
	WOOD MEMBER (CONTINUOUS)
	WOOD STUDS, PARALLEL, FINISHED

ELEVATION

	BRICK
	GLASS
	WOOD

ABBREVIATIONS

A	ABOVE FINISH FLOOR
ACS PNL	ACCESS PANEL
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ACOUS PNL	ACOUSTICAL PANEL
ADMIN	ADMINISTRATION
APC	ACQUISITION PANEL
AWT	ACOUSTICAL WALL TREATMENT
ADJ	ADJUSTABLE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
L	ANGLE
ANOD	ANODIZE / ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT

B	BASEMENT
BSMT	BEAM
BRG	BEARING
BRG PL	BEARING PLATE
BR	BEDROOM
BLW	BELOW
BTWN	BETWEEN
BITUM	BITUMINOUS
BD	BOARD
BF	BOTH FACES
BS	BOTH SIDES
BW	BOTH WAYS
BOT	BOTTOM
BRKT	BRACKET
BLDG	BUILDING
BUR	BUILT-UP ROOFING

C	CABINET
CAB	CABINET UNIT HEATER
CUH	CARPET
CIP	CAST-IN-PLACE
CS	CAST STONE
CLG	CEILING
CEM	CEMENT
CTR	CENTER
CL	CENTER LINE
C TO C	CERAMIC TILE
CH BD	CHALKBOARD
C	CHANNEL
CLAR	CLEAR
CLO	CLOSET
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CJ	CONSTRUCTION JOINT, CONTROL JOINT

D	DEAD LOAD
DEM	DEMOLITION
DEPT	DEPARTMENT
D	DEPTH
DET	DETAIL
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION

D	DISHWASHER
DW	DOOR
DBL	DOUBLE
DN	DOWN
DWG	DOWNSPOUT
DF	DRAINAGE
DF	DRINKING FOUNTAIN

E	EACH
EA	EACH WAY
ESMT	EASEMENT
E	EAST
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATION
EQ	ELEVATOR
EQ	EQUAL
EQ	EQUIPMENT
EXH FN	EXHAUST FAN
EXIST	EXISTING
EXP	EXPANSION
EJ	EXPANSION JOINT
EXT	EXTERIOR
EIFS	EXTERIOR INSULATION & FINISH SYSTEM

F	FACE BRICK
FC BRK	FACE OF FINISH
FG	FIBERGLASS
FGL	FINISH
FE	FINISH FLOOR ELEVATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIXT	FIXTURE
FLASH	FLASHING
FLR	FLOOR
FOO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FL	FLOW LINE
FT	FOOT / FLOOR TRANSITION
FTG	FOOTING
FDTN	FOUNDATION
FR	FRAME
FA	FRESH AIR
FURN	FURNACE
FURG	FURRING
FS	FULL SIZE

G	GAUGE
GA	GALVANIZED STEEL
GALV STL	GENERAL CONTRACTOR
GC	GLASS
GL	GRAB BAR
GYP BD	GYPSUM BOARD

H	HANDICAPPED
HCP	HARDWARE
HDW	HARDWOOD
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HT	HEIGHT
H	HIGH
HWY	HIGHWAY
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HORSEPOWER

H	HOT WATER
HW	HYD
HYD	HYDRANT

I	INCLUDED
INCL	INSIDE DIAMETER
ID	INSULATION
INT	INTERIOR

J	JANITOR
JAN	KITCHEN

K	KITCHEN
KIT	LAB
LAB	LABORATORY
LAM	LAMINATE
LAU	LAUNDRY
LAV	LAVATORY
LWC	LIGHTWEIGHT CONCRETE
LCMU	LIGHTWEIGHT CONCRETE MASONRY
LF	LINEAR FOOT
LL	LIVE LOAD
LR	LIVING ROOM
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL

M	MAINTENANCE
MAINT	MANHOLE
MH	MANUFACTURED
MFD	MANUFACTURER
MFR	MANUFACTURING
MFG	MASONRY OPENING
MO	MASTER BEDROOM
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MW	MICROWAVE
MIN	MINIMUM, MINUTE
MISC	MISCELLANEOUS
MR	MOISTURE RESISTANT
MTD	MOUNTED
MULL	MULLION

N	NOISE REDUCTION
NRC	COEFFICIENT
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE

O	OFFICE
OFF	ON CENTER
OC	OPENING
OPNG	OPPOSITE
OPP	OUTSIDE DIAMETER
OD	OUT TO OUT
O/O	OVERALL
ORD	OVERFLOW ROOF DRAIN
OH	OVERHANG
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED/ OWNER INSTALLED

P	PAINT
PT	PAIR
PR	PANEL
PNL	PAPER TOWEL DISPENSER
PTD	PARTICLE BOARD
PBD	PARTITION
PTN	PAVING
PVG	PERFORATED
PERF	PERIMETER
PERIM	PLASTER
PLAS	PERPENDICULAR
PERP	PLASTIC LAMINATE
PLAM	PLYWOOD
PLYWD	POLYVINYL CHLORIDE
PVC	POUND
LB	POUNDS PER CUBIC FOOT
PCF	POUNDS PER LINEAR FOOT
PLF	POUNDS PER SQUARE FOOT
PSF	POUNDS PER SQUARE INCH
PSI	PRECAST CONCRETE
PCC	PREFABRICATE
PREFAB	PREFINISH
PREFIN	PROJECT
PROJ	PROPERTY LINE
PL	QUARRY TILE

Q	QUARRY TILE
QT	REF

R	REFERENCE, REFRIGERATOR
REF	REFLECTED CEILING PLAN
RCP	REINFORCE
REIN	REQUIRED
REQD	RESILIENT
RESIL	RESTROOM
REST	RETURN AIR
RA	REVISION
REV	RISER, RADIUS, RANGE
R	ROOF DRAIN
RD	ROOFING
RFG	ROOM
RM	ROUGH OPENING
RO	ROUGH SAWN
RS	SANITARY NAPKIN DISPENSER
SNU	SANITARY NAPKIN DISPOSAL UNIT
SNDU	SANITARY SEWER
SS	SCHEDULE
SCHED	SECTION
SECT	SHEET
SHT	SHEET VINYL
SV	SHELVING
SHV	SHOWER
SHR	SIMILAR
SIM	SOLID CORE WOOD
SCWD	SOUND TRANSMISSION CLASS
STC	SOUTH
S	SPECIFICATION
SPEC	SPLASH BLOCK
SB	SQUARE FOOT
SF	SQUARE INCH
SO IN	SQUARE YARD
SO YD	STAINLESS STEEL
SST	STANDARD
STD	STEEL JOIST
STL JST	STORAGE
STOR	STORM DRAIN
SD	STREET
ST	STRUCTURAL

S	STRUCTURAL
STRUC	SUSPENDED CEILING
SUSP CLG	SWITCH
T	TACKBOARD
TK BD	TELEPHONE
TEL	TELEVISION
TV	TEMPERED
TMPD	TERRAZZO
TER	THICKNESS
THK	TOILET PAPER HOLDER
TPD	TONGUE AND GROOVE
T&G	TOP AND BOTTOM
T&B	TOP OF CURB
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TB	TOWEL BAR
TRANS	TRANSPARENT
*TF	TRANSPARENT WOOD FINISH
T	TREAD
TYP	TYPICAL

U	UNFINISHED
UNFIN	UNIT HEATER
UH	UNLESS NOTED OTHERWISE
UNO	V
V	VERIFY IN FIELD
VIF	VENEER
VR	VAPOR RETARDER
VNR	VENT
VENT	VENTILATION
VERT	VERTICAL
VEST	VESTIBULE
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VWC	VINYL WALL COVERING
VWF	VINYL WALL FABRIC
V	VOLT

W	WAINSCOT
WSC	WALL COVERING
WC	WATER CLOSET
WH	WATER HEATER
WP	WATERPROOFING, WORKING POINT
WT	WEIGHT
WWF	WELDED WIRE FABRIC
W	WEST, WIDE
WDW	WINDOW
WGL	WIRED GLASS
W/	WITH
W/O	WITHOUT
WD	WOOD

RENOVATION PLATO'S MADISON, WI 3841 E WASHINGTON AVE, MADISON, WI 53714

GRAPHIC SYMBOLS

ELEVATION TAG	B3 A-202 B3	BEARING ELEVATION MARK	EL - FLOOR 100'-0"
WALL SECTION TAG	B5 A-202	MATCHLINE	REGION A A-101 (L1) REGION B A-102 (L1)
DETAIL CALLOUT	A2 A-303	DESCRIPTIVE ARROW	NEW EXISTING
DETAIL REFERENCE	A1 / A-101	CENTERLINE MARK	CL
PARTITION TYPE TAG	MXA	SPOT ELEVATION	1
WINDOW TAG	11	DEMOLITION MARK	1
DOOR FRAME TAG	11	GENERAL NOTE MARK	1
DOOR TAG	D101B	NEW CONSTRUCTION MARK	1
ROOM TAG	ROOM NAME 101	REVISION MARK	1
		EQUIPMENT TAG	11
		MATERIAL TAG	1
		FLOOR / MATERIAL TRANSITION	1 2 FT

Plato's

SHEET INDEX

GENERAL

G-001	COVER SHEET
G-301	CODE REVIEW & PARTITION TYPES
G-311	CODE PLAN - FIRST FLOOR
G-312	CODE PLAN - SECOND FLOOR
Z-001	FIRST FLOOR UNIT MIX PLAN
Z-002	SECOND FLOOR UNIT MIX PLAN

C100	GENERAL NOTES
C200	OVERALL SURVEY
C201	ENLARGED SURVEY 1
C202	ENLARGED SURVEY 2
C203	TOPOGRAPHIC SURVEY
C300	OVERALL DEMO AND EROSION CONTROL PLAN
C301	ENLARGED DEMO AND EROSION CONTROL PLAN 1
C302	ENLARGED DEMO AND EROSION CONTROL PLAN 2
C400	OVERALL SITE PLAN
C401	ENLARGED SITE PLAN 1
C402	ENLARGED SITE PLAN 2
C403	FIRE ACCESS PLAN
C500	OVERALL GRADING PLAN
C501	ENLARGED GRADING PLAN 1
C502	ENLARGED GRADING PLAN 2
C600	DETAILS
C601	DETAILS

LANDSCAPE

L1	CITY LANDSCAPE PLAN
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DEMOLITION

D-101	DEMO PLAN - OVERALL FIRST FLOOR
D-102	DEMO PLAN - OVERALL SECOND FLOOR
D-111	DEMO PLAN - FIRST FLOOR - REGION A1
D-112	DEMO PLAN - FIRST FLOOR - REGION A2
D-113	DEMO PLAN - FIRST FLOOR - REGION B
D-114	DEMO PLAN - FIRST FLOOR - REGION C1
D-115	DEMO PLAN - FIRST FLOOR - REGION C2
D-116	DEMO PLAN - FIRST FLOOR - REGION D
D-121	DEMO PLAN - SECOND FLOOR - REGION A1
D-122	DEMO PLAN - SECOND FLOOR - REGION A2
D-123	DEMO PLAN - SECOND FLOOR - REGION B
D-124	DEMO PLAN - SECOND FLOOR - REGION C1
D-125	DEMO PLAN - SECOND FLOOR - REGION C2
D-126	DEMO PLAN - SECOND FLOOR - REGION D

ARCHITECTURAL

A-001	ARCHITECTURAL SITE PLAN
A-101	OVERALL FIRST FLOOR PLAN
A-102	OVERALL SECOND FLOOR PLAN
A-103	ROOF PLAN
A-111	FIRST FLOOR PLAN - REGION A1
A-112	FIRST FLOOR PLAN - REGION A2
A-113	FIRST FLOOR PLAN - REGION B
A-114	FIRST FLOOR PLAN - REGION C1
A-115	FIRST FLOOR PLAN - REGION C2
A-116	FIRST FLOOR PLAN - REGION D
A-121	SECOND FLOOR PLAN - REGION A1
A-122	SECOND FLOOR PLAN - REGION A2
A-123	SECOND FLOOR PLAN - REGION B
A-124	SECOND FLOOR PLAN - REGION C1
A-125	SECOND FLOOR PLAN - REGION C2
A-126	SECOND FLOOR PLAN - REGION D
A-201	OVERALL EXTERIOR ELEVATIONS
A-211	ENLARGED EXTERIOR ELEVATIONS I
A-212	ENLARGED EXTERIOR ELEVATIONS II
A-221	COURTYARD ELEVATIONS I
A-222	COURTYARD ELEVATIONS II
A-223	COURTYARD ELEVATIONS III
A-311	FIRST FLOOR RCP - REGION A1
A-321	SECOND FLOOR RCP - REGION A1
A-421	ENLARGED UNIT PLANS I
A-422	ENLARGED UNIT PLANS II
A-431	MILLWORK ELEVATIONS & DETAILS
A-432	MILLWORK ELEVATIONS & DETAILS - ALT
A-501	INTERIOR ELEVATIONS
A-512	SECTIONS AND DETAILS
A-513	SECTIONS AND DETAILS
A-601	DOOR / FRAME SCHEDULES & HARDWARE
A-611	HOLLOW METAL DOOR & FRAME DETAILS
A-612	ALUMINUM DOOR & FRAME DETAILS
A-701	FINISH SCHEDULE
A-711	TYPICAL CORRIDOR FINISH PLAN

INTERIORS

I-101	FIRST FLOOR FF&E PLAN - REGION A1
I-102	FIRST FLOOR FF&E PLAN - REGION C2
I-103	FIRST FLOOR FF&E PLAN - REGION D
I-104	SECOND FLOOR FF&E PLAN - REGION A1
I-105	SECOND FLOOR FF&E PLAN - REGION C2

DESIGN TEAM

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MECHANICAL / ELECTRICAL

ME-100	MECHANICAL & ELECTRICAL SYMBOL LISTS
ME-201	MEP SPECIFICATIONS
ME-202	MEP SPECIFICATIONS
ME-203	MEP SPECIFICATIONS
ME-301	FIRST FLOOR - DEMO PLAN
ME-302	SECOND FLOOR - DEMO PLAN

MECHANICAL

M-101	REGION A1 - 1ST & 2ND FLOOR PLUMBING PLAN
M-102	REGION A2 - 1ST & 2ND FLOOR PLUMBING PLAN
M-103	REGION B - 1ST & 2ND FLOOR PLUMBING PLAN
M-104	REGION C1 - 1ST & 2ND FLOOR PLUMBING PLAN
M-105	REGION C2 - 1ST & 2ND FLOOR PLUMBING PLAN
M-106	REGION D - 1ST FLOOR PLUMBING PLAN
M-107	REGION D - 2ND FLOOR PLUMBING PLAN
M-108	ENLARGED PLUMBING PLANS
M-201	REGION A1 - 1ST & 2ND FLOOR HVAC PLAN
M-202	REGION A2 - 1ST & 2ND FLOOR HVAC PLAN
M-203	REGION B - 1ST & 2ND FLOOR HVAC PLAN
M-204	REGION C1 - 1ST & 2ND FLOOR HVAC PLAN
M-205	REGION C2 - 1ST & 2ND FLOOR HVAC PLAN
M-206	REGION D - 1ST FLOOR HVAC PLAN
M-207	REGION D - 2ND FLOOR HVAC PLAN
M-301	MECHANICAL SCHEDULES

ELECTRICAL

E-100	PHOTOMETRICS
E-101	REGION A1 - 1ST & 2ND FLOOR POWER PLAN
E-102	REGION A2 - 1ST & 2ND FLOOR POWER PLAN
E-103	REGION B - 1ST & 2ND FLOOR POWER PLAN
E-104	REGION C1 - 1ST & 2ND FLOOR POWER PLAN
E-105	REGION C2 - 1ST & 2ND FLOOR POWER PLAN
E-106	REGION D - 1ST FLOOR POWER PLAN
E-107	REGION D - 2ND FLOOR POWER PLAN
E-108	UNIT PLANS - ELECTRICAL
E-201	SCHEDULES - ELECTRICAL PANELS
E-202	SCHEDULES - ELECTRICAL PANELS
E-203	SCHEDULES - ELECTRICAL PANELS
E-301	SCHEDULES - ELECTRICAL

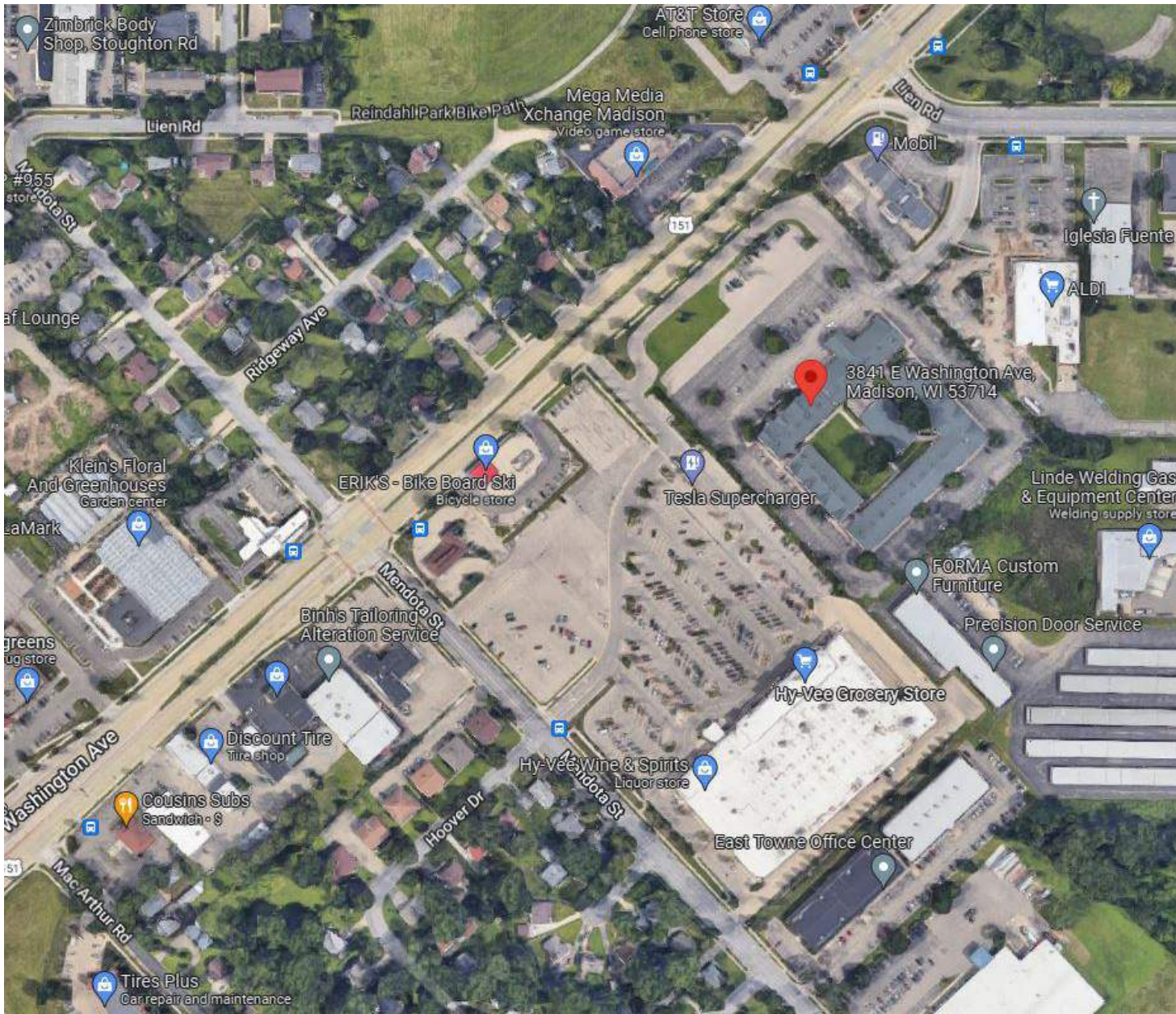


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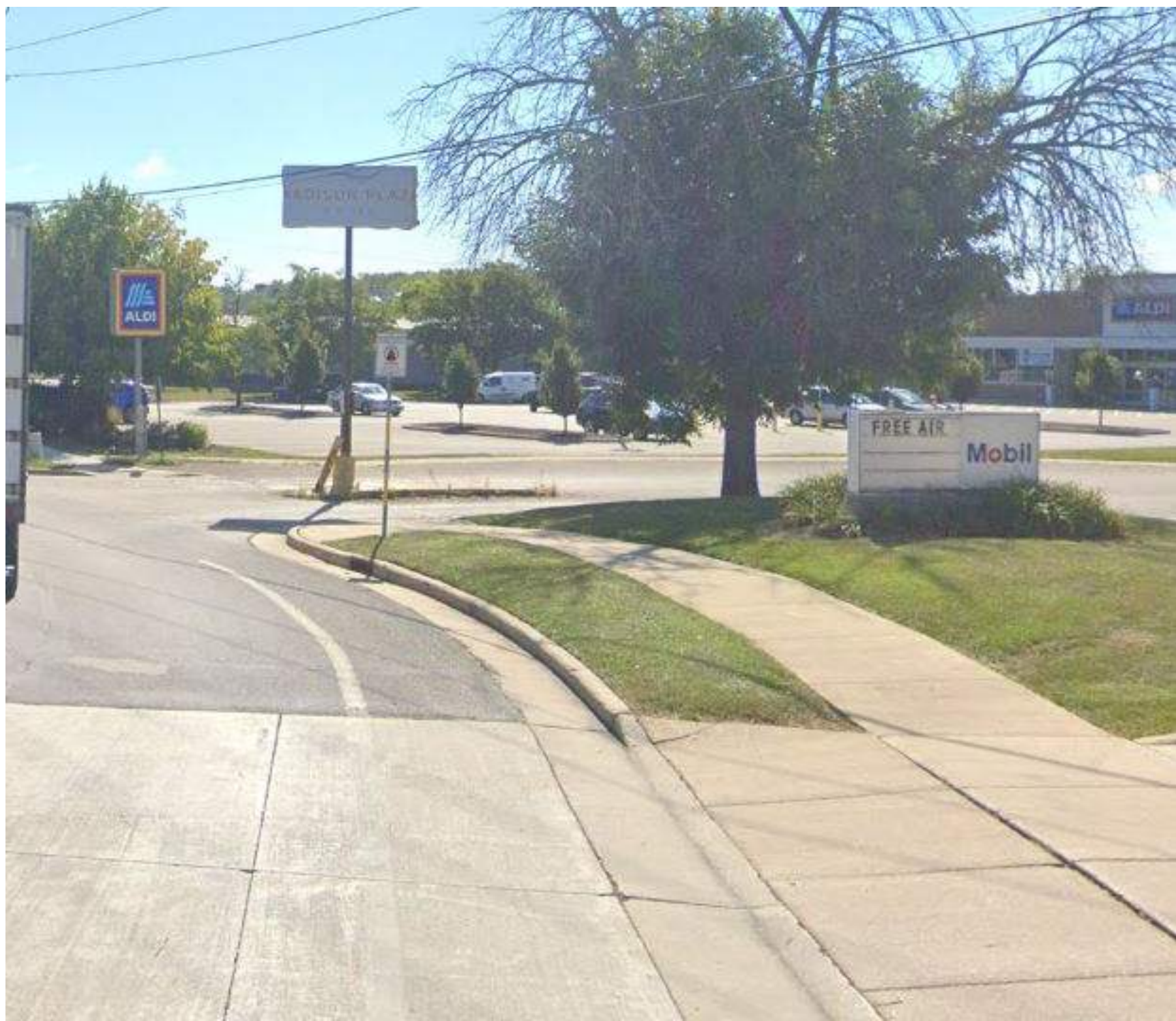
A3 MADISON SATELLITE SITE PLAN
SCALE: 12" = 1'-0"



A2 SIGNAGE - BUILDING - TO BE DEMOLISHED
SCALE: 12" = 1'-0"



A1 SIGNAGE - E EASHINGTON AVE - OFF STREET
SCALE: 12" = 1'-0"



B5 SIGNAGE - LIEN RD
SCALE: 12" = 1'-0"



B2 ALDI - 3925 LIEN RD
SCALE: 12" = 1'-0"



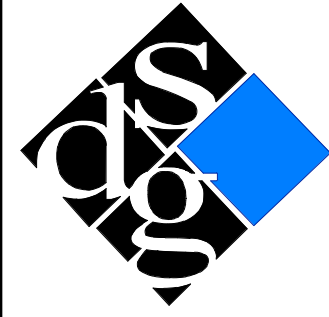
B4 ERIKS BIKES SKIS BOARDS - 3813 E WASHINGTON
SCALE: 12" = 1'-0"



B1 HY-VEE 3801 E WASHINGTON AVE
SCALE: 12" = 1'-0"



B3 MOBIL - 3859 E WASHINGTON
SCALE: 12" = 1'-0"



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PROGRESS PRINT

NOT FOR
CONSTRUCTION

DATE: 07/15/2022

RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
SITE CONTEXT
INFORMATION

PROJECT NUMBER
0210377

SHEET NUMBER
G-002

FILEPATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - CD Model_Central_V22_csk2RG35.rvt
DATE: 10/14/2022 1:48:06 PM
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UNIT MIX LEGEND

<div></div>	STUDIO	
	FIRST FLOOR:	90 UNITS
<div></div>	ONE BEDROOM	
	FIRST FLOOR:	5 UNITS
		SECOND FLOOR: 5 UNITS
		190 TOTAL UNITS
<div></div>	STAIR / ELEVATOR	
	FIRST FLOOR:	1,822 SF
<div></div>	AMENITY / PUBLIC SPACE	
	FIRST FLOOR:	16,162 SF
<div></div>	OFFICE SPACE	
	FIRST FLOOR:	955 SF
<div></div>	PUBLIC RESTROOMS	
	FIRST FLOOR:	525 SF
<div></div>	MECHANICAL / STORAGE	
	FIRST FLOOR:	1,935 SF
	SECOND FLOOR: 2,780 SF	

UNIT TYPES AND QUANTITIES

FIRST FLOOR

STUDIO	81
1 BEDROOM	3
ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95

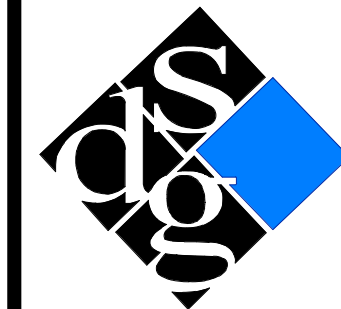
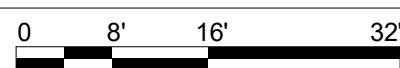
SECOND FLOOR

STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95

UNIT TOTAL: 190

A1 FIRST FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

OCTOBER 14, 2022

SHEET TITLE

FIRST FLOOR UNIT MIX
PLAN

PROJECT NUMBER


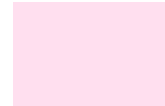

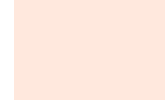
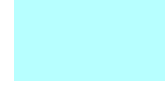


0210377

SHEET NUMBER

Z-001

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UNIT MIX LEGEND

	STUDIO	
	FIRST FLOOR:	90 UNITS
	SECOND FLOOR:	90 UNITS
	ONE BEDROOM	
	FIRST FLOOR:	5 UNITS
	SECOND FLOOR:	5 UNITS
190 TOTAL UNITS		
	STAIR / ELEVATOR	
	FIRST FLOOR:	1,822 SF
	SECOND FLOOR:	3,066 SF
	AMENITY / PUBLIC SPACE	
	FIRST FLOOR:	16,162 SF
	SECOND FLOOR:	8,096 SF
	OFFICE SPACE	
	FIRST FLOOR:	955 SF
	SECOND FLOOR:	0 SF
	PUBLIC RESTROOMS	
	FIRST FLOOR:	525 SF
	SECOND FLOOR:	314 SF
	MECHANICAL / STORAGE	
	FIRST FLOOR:	1,935 SF
	SECOND FLOOR:	2,780 SF

UNIT TYPES AND QUANTITIES

FIRST FLOOR

STUDIO	81
1 BEDROOM	3
ACCESSIBLE UNITS	
STUDIO - TYPE A	3
STUDIO - TYPE B	6
1 BEDROOM - TYPE A	1
1 BEDROOM - TYPE B	1
TOTAL:	95

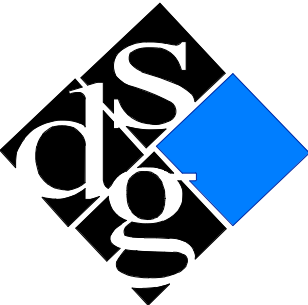
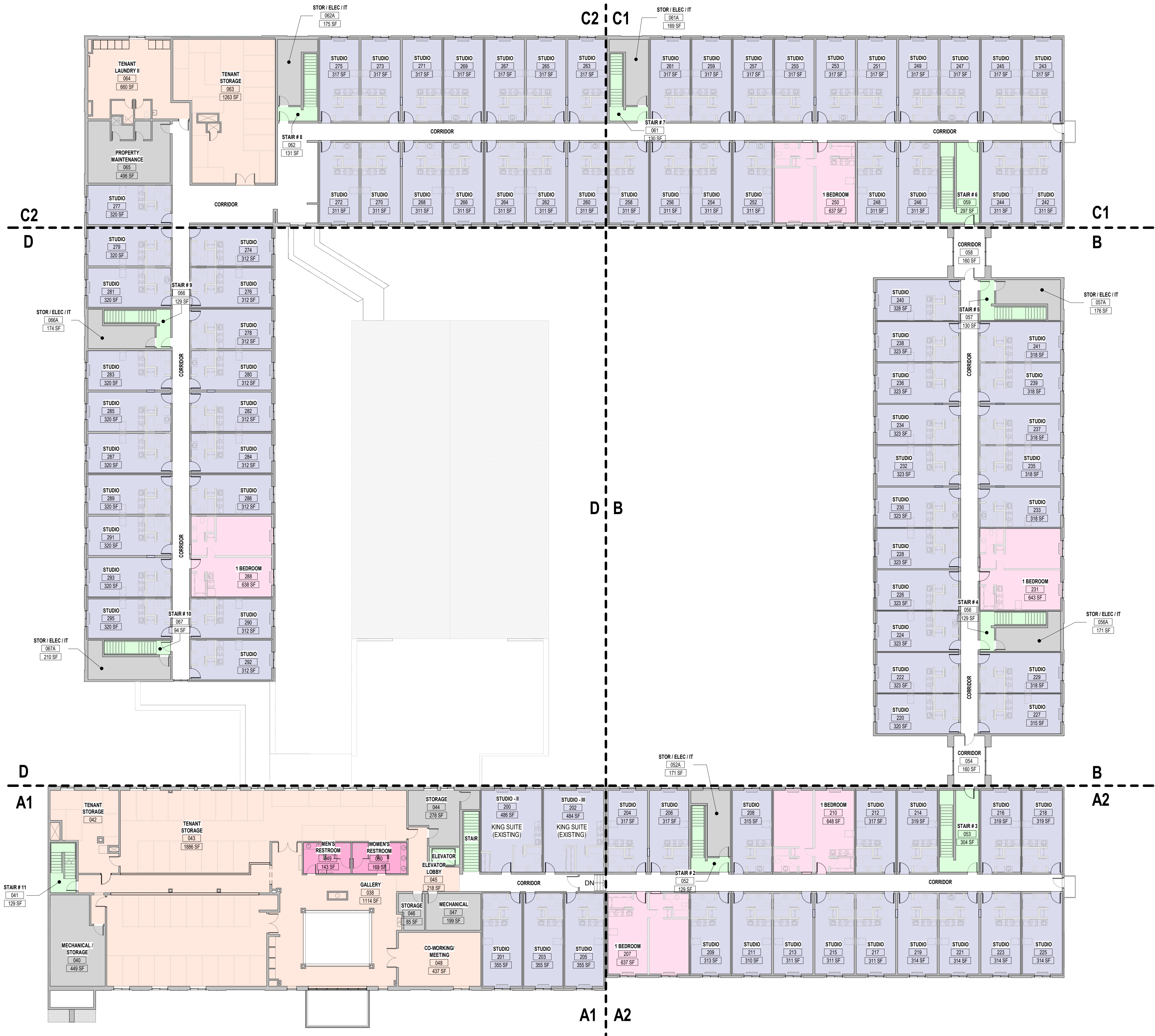
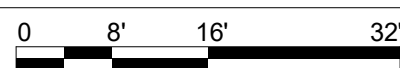
SECOND FLOOR

STUDIO	88
STUDIO - II (EXISTING SUITE)	1
STUDIO - III (EXISTING SUITE)	1
1 BEDROOM	5
TOTAL:	95

UNIT TOTAL: 190

A1 SECOND FLOOR UNIT MIX

SCALE: 1/16" = 1'-0"



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
SECOND FLOOR UNIT MIX
PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
Z-002

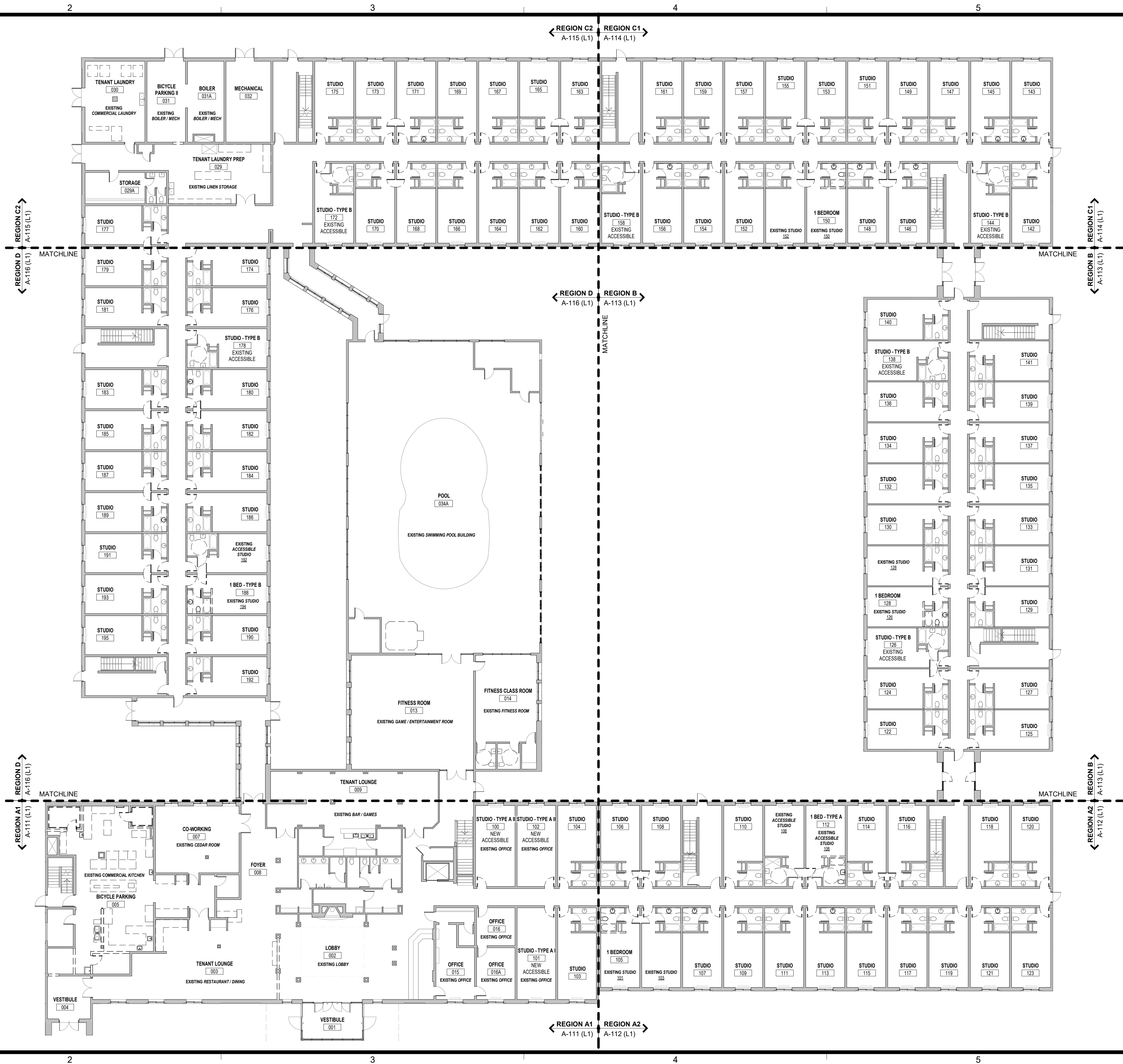
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GENERAL DEMO NOTES

- GENERAL & ALL SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL SHEETS AND SPECIFICATIONS PRIOR TO START OF THE RESPECTIVE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE CREWS PERFORMING DEMOLITION AND CONSTRUCTION ACTIVITIES ON SITE. THIS INCLUDES VERIFYING THE STRUCTURAL STABILITY OF THE PARTS OF THE BUILDING BEING WORKED ON.
- PROTECT EXISTING WORK TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ITEMS OR AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
- REFERENCE MEP DRAWINGS FOR GENERAL LOCATIONS FOR FLOOR SLAB DEMOLITION REQUIRED FOR UNDERSLAB MEP WORK.
- REMOVE WALL PAPER ON ALL WALLS; BY OWNER.
- BRACE / SHORE ALL WALLS AND STRUCTURE AS REQUIRED WHILE PERFORMING THE WORK.
- NOTIFY ARCHITECT AND OWNER IF EXCESSIVE WOOD ROT, RUST AND/OR DETERIORATION IS FOUND DURING CONSTRUCTION WHEN AREAS OF THE BUILDING ARE UNCOVERED.
- REFERENCE MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES OR COMMENTS.
- ALL HVAC, FIRESPRINKLE AND ELECTRIC TO REMAIN UNLESS NOTED OTHERWISE.
- CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNO.
- CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
- REPAIR AND PAINT ALL DOOR FRAMES UNO (REF DOOR SCHED).
- REMOVE EXISTING FLOORING IN UNIT COORIDORS; BY OWNER
- REFER TO GENERAL NOTES ON NEW CONSTRUCTION OVERALL FLOOR PLANS
- REMOVE AND SALVAGE ALL EXISTING LAUNDRY EQUIPMENT & LINEN STORAGE; BY OWNER.
- SALVAGE REMOVED DOORS, DOOR FRAMES AND DOOR HARDWARE; BY OWNER.

A1 OVERALL FIRST FLOOR DEMO PLAN

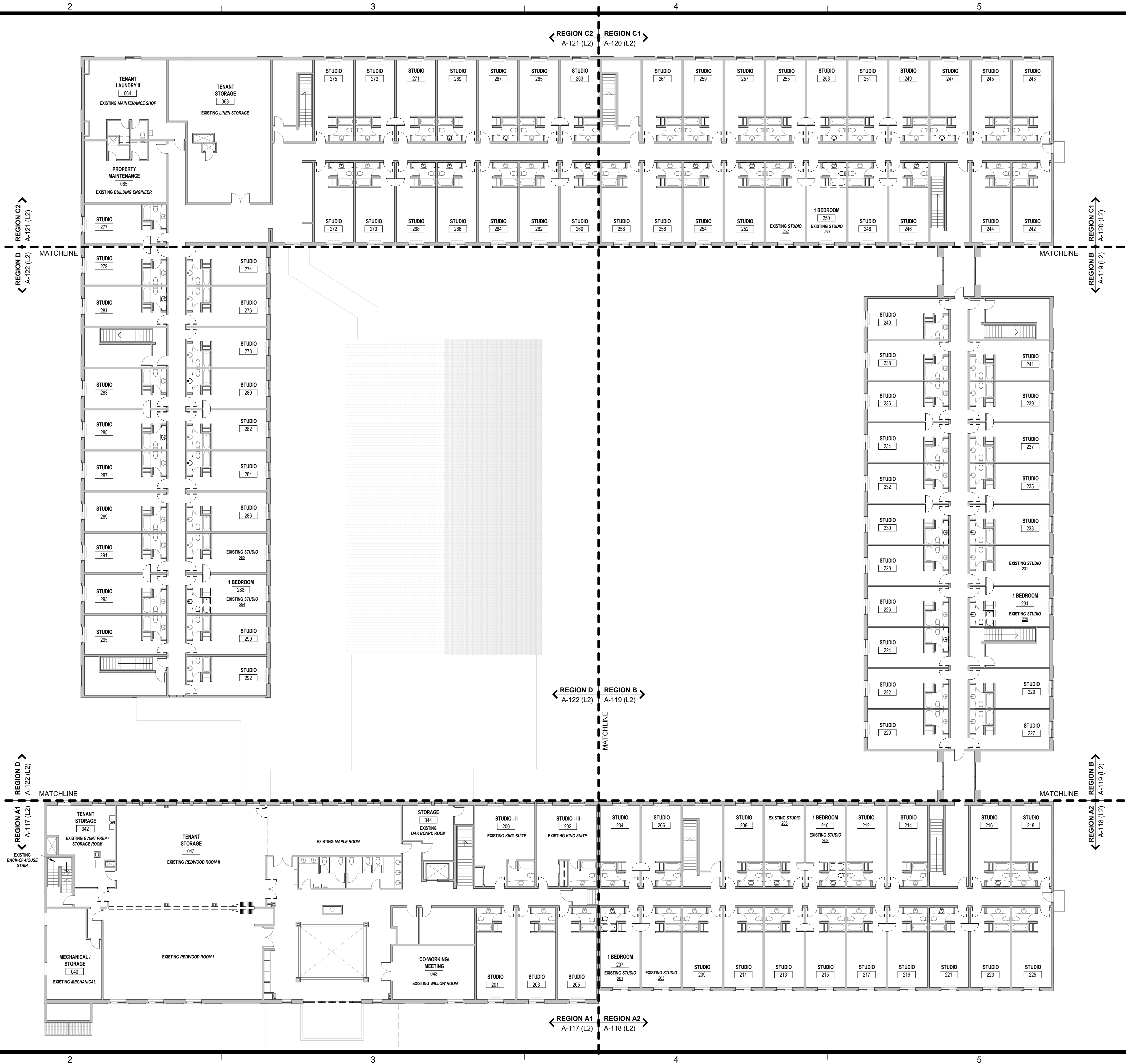
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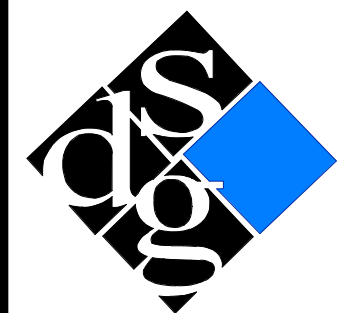
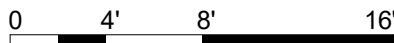
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GENERAL DEMO NOTES

1. GENERAL & ALL SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL SHEETS AND SPECIFICATIONS PRIOR TO START OF THE RESPECTIVE WORK.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE CREWS PERFORMING DEMOLITION AND CONSTRUCTION ACTIVITIES ON SITE. THIS INCLUDES VERIFYING THE STRUCTURAL STABILITY OF THE PARTS OF THE BUILDING BEING WORKED ON.
3. PROTECT EXISTING WORK TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ITEMS OR AREAS DAMAGED BY CONSTRUCTION ACTIVITIES.
4. REFERENCE MEP DRAWINGS FOR GENERAL LOCATIONS FOR FLOOR SLAB DEMOLITION REQUIRED FOR UNDERSLAB MEP WORK.
5. REMOVE WALL PAPER ON ALL WALLS; BY OWNER.
6. BRACE / SHORE ALL WALLS AND STRUCTURE AS REQUIRED WHILE PERFORMING THE WORK.
7. NOTIFY ARCHITECT AND OWNER IF EXCESSIVE WOOD ROT, RUST AND/OR DETERIORATION IS FOUND DURING CONSTRUCTION WHEN AREAS OF THE BUILDING ARE UNCOVERED.
8. REFERENCE MEP DRAWINGS FOR ADDITIONAL DEMOLITION NOTES OR COMMENTS.
9. ALL HVAC, FIRESPRINKLE AND ELECTRIC TO REMAIN UNLESS NOTED OTHERWISE.
10. CLEAN ALL WINDOW FRAMES AND GLAZING TO REMAIN UNO.
11. CLEAN ALL DOOR FRAMES AND DOORS TO REMAIN.
12. REPAIR AND PAINT ALL DOOR FRAMES UNO (REF DOOR SCHED).
13. REMOVE EXISTING FLOORING IN UNIT COORIDORS; BY OWNER
14. REFER TO GENERAL NOTES ON NEW CONSTRUCTION OVERALL FLOOR PLANS
15. REMOVE AND SALVAGE ALL EXISTING LAUNDRY EQUIPMENT & LINEN STORAGE; BY OWNER.
16. SALVAGE REMOVED DOORS, DOOR FRAMES AND DOOR HARDWARE; BY OWNER.



A1 OVERALL SECOND FLOOR DEMO PLAN
SCALE: 1/16" = 1'-0"



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

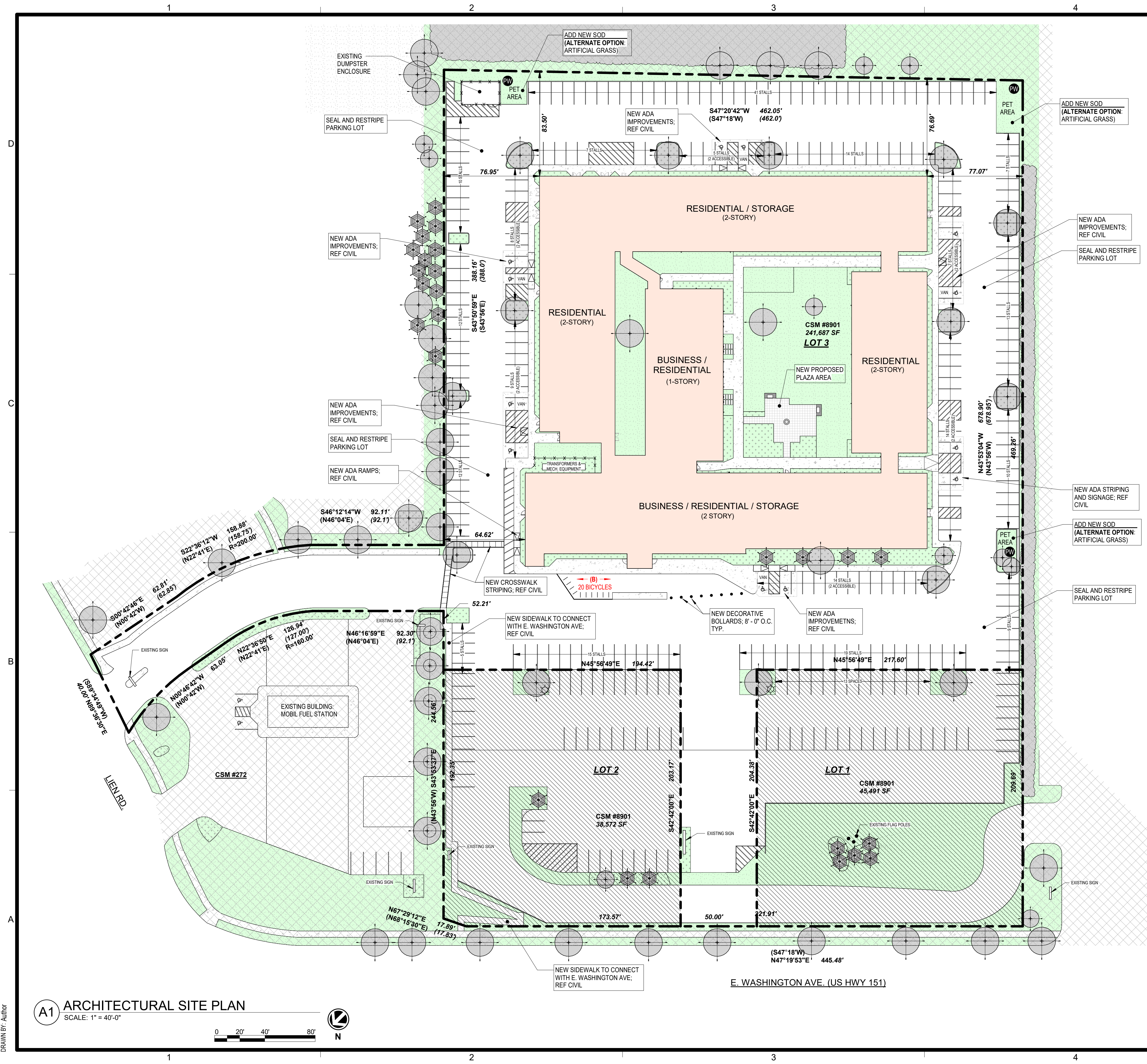
SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
DEMO PLAN - OVERALL
SECOND FLOOR

PROJECT NUMBER
0210377

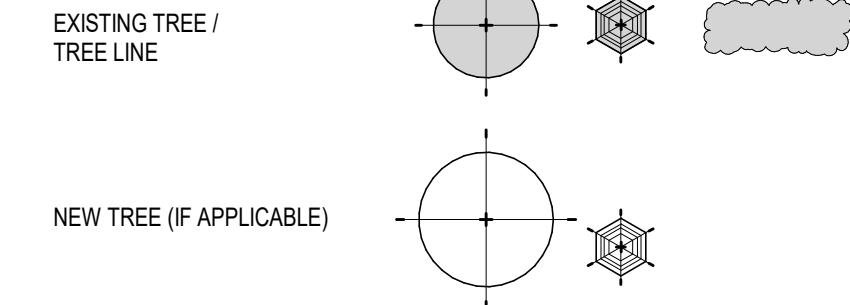
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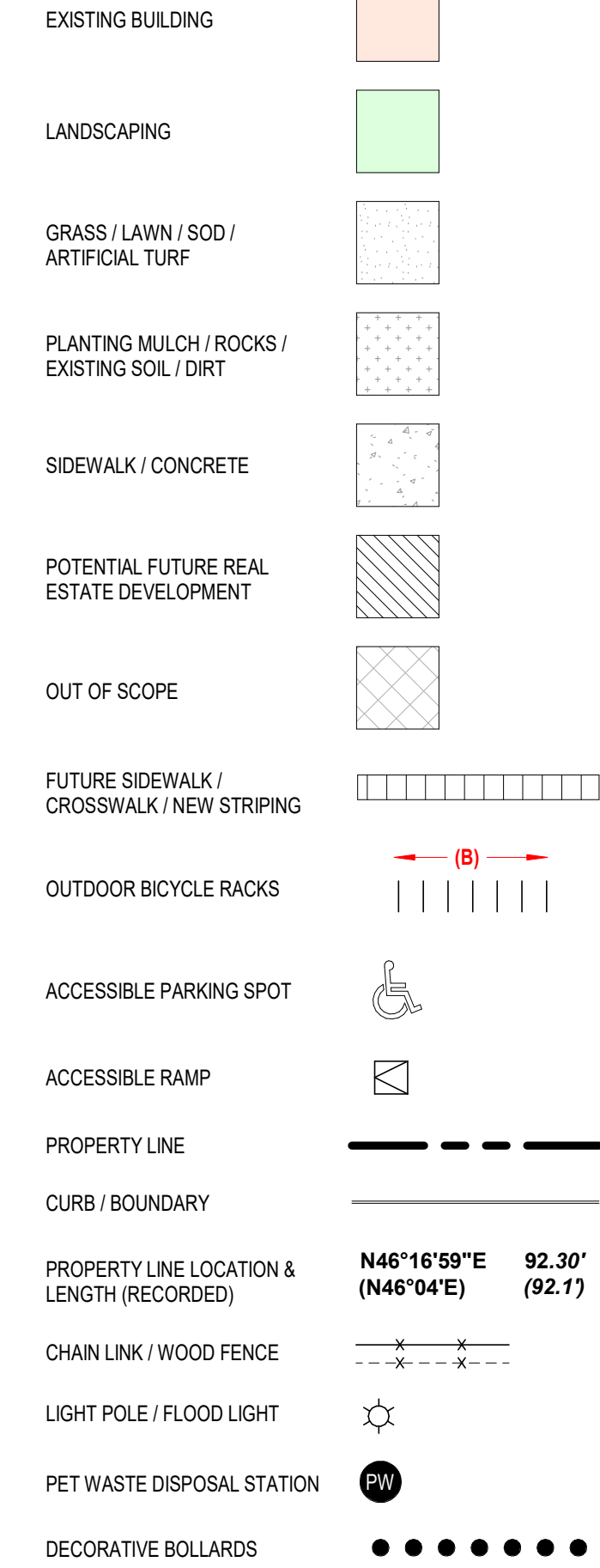


ARCHITECTURAL SITE PLAN

LANDSCAPING



SITE / SURVEY



DATA

EXISTING BUILDING	RENOVATION	
• RESIDENTIAL - 197 GUEST ROOMS	• RESIDENTIAL:	STUDIOS 180
• MEETING ROOMS	• CO-WORKING	1-BEDROOMS 10
• FITNESS ROOM	• BICYCLE STORAGE	TOTAL: 190
• GAME ROOM	• TENANT STORAGE	
• INDOOR POOL	• LOUNGES	LOT 3 AREA: +1,241,687 SF
• KITCHEN	• FITNESS	10% SITE IMPROVEMENT
• BAR	• RECREATION	ALLOWANCE: +/- 24,168 SF

PARKING

REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.14(1)(3) & TABLE 28I-2 FOR LOCAL PARKING REQUIREMENTS. CURRENTLY ZONED AS CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL).

EXISTING QTY	OVERALL	
LOT 3	331 STALLS	
	239 STALLS	
NEW QTY	OVERALL	
LOT 3	324 STALLS	
	232 STALLS	
REQUIRED	LOT 3	
	0 STALLS	
PROVIDED	LOT 3 (TOTAL)	
	232 STALLS [COMPLIANT]	

ACCESSIBLE PARKING

REQUIRED	IBC 1106.2 (2%)	
	5 STALLS	
	1 STALL	
PROVIDED:	COMBINED:	
	12 STALLS TOTAL [COMPLIANT]	
	5 STALLS [COMPLIANT]	

BICYCLE PARKING

REFERENCE CITY OF MADISON, WISCONSIN - CODE OF ORDINANCES: 28.14(1)(1) & TABLE 28I-3 FOR BICYCLE PARKING REQUIREMENTS.

REQUIRED	TENANT (1 PER UNIT); GUEST (1 PER 10 UNITS); ENCLOSED (MIN 90%) UN-ENCLOSED	
	190 STALLS	
	19 STALLS (MAX 100'-0" FROM ENTRANCE)	
	189 STALLS	
	20 STALLS	
PROVIDED	TENANT: GUEST:	
	194 ENCLOSED STALLS [COMPLIANT]	
	20 UN-ENCLOSED STALLS (WITHIN 100'-0" OF ENTRANCE) [COMPLIANT]	



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
ARCHITECTURAL SITE PLAN

PROJECT NUMBER
0210377




SHEET NUMBER
A-001

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GENERAL PLAN NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK, EQUIPMENT AND LABOR PERSONNEL.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION WITH ALL UTILITY RELOCATIONS THAT ARE REQUIRED.
3. THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE THE BEST KNOWLEDGE OF THE ARCHITECT AND SHOULD NOT BE CONSIDERED ALL ENCOMPASSING.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION. ANY EXISTING CONDITION VARIANCE FOUND WITH THESE DRAWINGS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT.
5. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES PROVIDED ARE FOR REFERENCE ONLY.
6. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING UTILITIES TO REMAIN UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
7. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN SUCH A MANNER AS TO PROTECT EXISTING SITE ELEMENTS WHICH ARE TO REMAIN IN SERVICE.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF ANY FILL MATERIAL INTO DOWNSTREAM SYSTEM OF RECEIVING CHANNELS (REF CIVIL).
10. ALL EXISTING FURNITURE IS TO BE REMOVED AND HANDLED WITHOUT DAMAGE OR DETERIORATION; ANY NEW FURNITURE IS OWNER PROVIDED.
11. EXISTING WALLS SHOWN WITH SOLID GRAY HATCH ARE EXISTING AND NEW WALLS WILL HAVE A WHITE OPAQUE FILL.
12. ALL FLOOR PLAN DIMENSIONS ARE TO / FROM FINISHED FACE OF WALL (WHEN A WALL IS INCLUDED IN THE DIMENSION STRING).
13. PATCH AND REPAIR ANY DAMAGED DRYWALL AND BASEBOARD; COVER ANY OPEN / ABANDONED ELECTRICAL BOXES WITH COVER PLATES.
14. EXISTING WALL PAPER SHALL BE REMOVED FROM ALL WALLS. DRYWALL SHALL BE PATCHED AND PREPPED AS NECESSARY TO RECEIVE PAINT.
15. REPLACE DAMAGED ACOUSTICAL CEILING TILES AND GRIDS AS NECESSARY.
16. PREPARE ALL WALL AND CEILING SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER SPECIFICATIONS.
17. ALL OTHER SURFACES SCHEDULED / NOTED TO RECEIVE PAINT (RAILINGS, DOORS, FRAMES, ETC.) SHALL BE CLEANED, REPAIRED AND RECEIVE ANY OTHER PREPARATION TO PAINT BASED ON MANUFACTURER SPECIFICATIONS.
18. ALL EXISTING PLUMBING IS TO REMAIN UNLESS OTHERWISE NOTED ON THE PLANS (REF DEMO PLANS FOR THE PLUMBING FIXTURES TO BE REMOVED).
19. GRAB BARS ARE TO BE INSTALLED WHERE THEY CURRENTLY DO NOT EXIST IN ACCESSIBLE BATHROOMS (REF A1 / G-301 FOR TYPICAL ACCESSIBILITY STANDARDS).
20. ALL EXISTING INTERIOR COMMON AREAS AND UNIT CONDITIONS SHALL BE CLEANED AND FREE OF DEBRIS; ALL INTERIOR WALLS TO BE REPAINTED (REF A-701 & A-711 FOR FINISH SCHEDULE & CORRIDOR FINISH PLAN).
21. REPAIR ANY CRACKING EXISTING SIDEWALK, CURB/GUTTERS AND REPLACE ANY DAMAGED PARKING STALL WHEELSTOPS.
22. ALL EXISTING EXTERIOR RAILINGS SHALL BE STRIPPED OF PAINT, PRIMED, AND REPAINTED (REF EXTERIOR ELEVATIONS).
23. ALL EXISTING STOREFRONTS AND WINDOWS SHALL BE CLEANED AND WILL REMAIN AS IS UNLESS IN NEED OF REPAIR / REPLACEMENT OR NEW HARDWARE (EXISTING UNIT WINDOWS ARE CURRENTLY OPERABLE AND ARE ABLE TO OPEN 13").
24. ALL EXISTING STORAGE / ELECTRICAL / MECHANICAL CLOSETS ARE TO REMAIN AS IS UNO.
25. ROOFS TO BE CLEANED. ANY LOOSE OR DAMAGED SHINGLES AND TPO / MEMBRANES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS. REPAIR / REPLACE COPINGS, GUTTERS AND DOWNSPOUTS AS NECESSARY.
26. OWNER MUST PROVIDE 1 WASHER AND 1 DRYER MINIMUM FOR EVERY 10 UNITS (19 WASHERS AND 19 DRYERS TOTAL). AT LEAST 1 WASHER AND 1 DRYER OUT OF THE REQUIRED TOTAL MUST BE SIDE-BY-SIDE FOR WHEELCHAIR ACCESSIBILITY OR AN EQUIVALENT STACKABLE UNIT IN ACCORDANCE WITH 2009 ANSI 117.1. REF ENLARGED REGION PLANS FOR WASHER AND DRYER LOCATIONS AND SPATIAL REQUIREMENTS FOR ACCESSIBILITY.
27. PREPARE NEW PET AREAS AND PLACE DOWN NEW SOD IF NECESSARY. INSTALL NEW PET WASTE DISPOSAL STATIONS (REF A-001 FOR LOCATIONS).
28. CAMERAS TO REMAIN AS IS. PROTECT / COVER CAMERAS DURING PAINTING AND ANY DEMOLITION OR NEW CONSTRUCTION; PER OWNER REVIEW ANY EXISTING FIRE EXTINGUISHER CABINETS FOR RUST, FUNCTIONALITY AND DEBRIS. CLEAN AND REPAIR / REPLACE AS NEEDED.
29. FIRE-SEAL ALL MEP PENETRATIONS THROUGH EXPOSED RATED WALL AND FLOOR ASSEMBLIES.
30. REPLACE PTACS AS NECESSARY (REF MEP).
31. REPAIR AND CLEAN ALL PLUMBING FIXTURES THAT ARE NOT FUNCTIONAL; REPLACE IF NECESSARY.
32. REPAIR / REPLACE EXISTING DOORS AS NECESSARY; FIRE-RATING, SAFETY HARDWARE, ACCESSIBILITY, ETC. MUST COMPLY WITH INFORMATION GIVEN IN A-601.
33. SEAL AND RESTRIPE EXISTING PARKING LOT; REF SITE PLAN.
34. ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET (ALSO REFER TO GENERAL DEMO NOTES ON OVERALL DEMO PLANS).

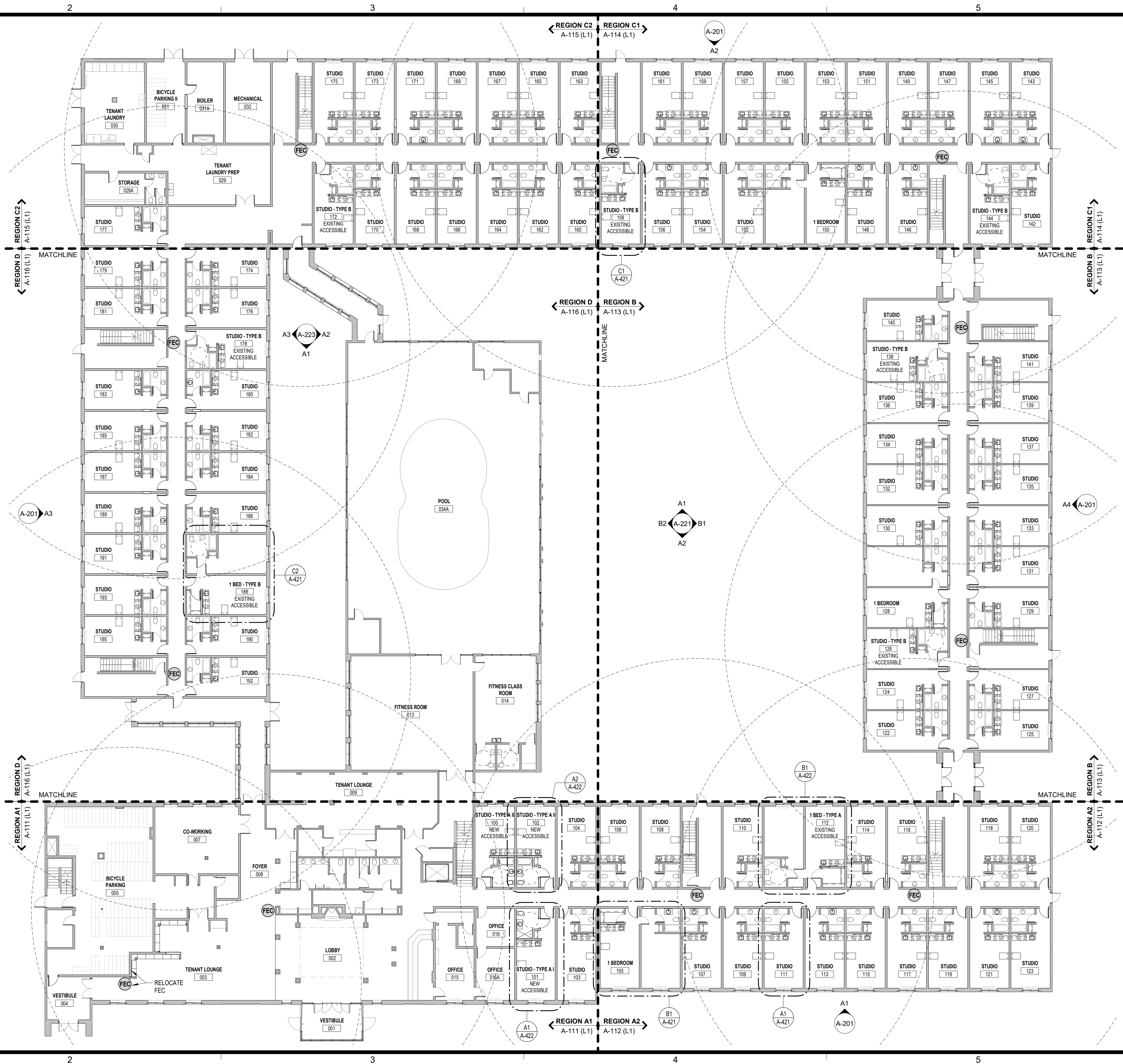
FIRE SAFETY LEGEND

-  FIRE EXTINGUISHER CABINET; EXISTING
-  FIRE EXTINGUISHER; EXISTING
-  EMERGENCY EXIT LIGHT

A1 OVERALL FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

0 8' 16' 32'



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
OVERALL FIRST FLOOR
PLAN

PROJECT NUMBER
0210377




SHEET NUMBER
A-101

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GENERAL PLAN NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, COUNTY AND CITY LAWS AND ORDINANCES AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, NPES AND INDUSTRIAL ACCIDENT COMMISSION RELATED TO SAFETY AND CHARACTER OF THE WORK, EQUIPMENT AND LABOR PERSONNEL.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATION WITH ALL UTILITY RELOCATIONS THAT ARE REQUIRED.
3. THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE THE BEST KNOWLEDGE OF THE ARCHITECT AND SHOULD NOT BE CONSIDERED ALL ENCOMPASSING.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION. ANY EXISTING CONDITION VARIANCE FOUND WITH THESE DRAWINGS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT.
5. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES PROVIDED ARE FOR REFERENCE ONLY.
6. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING UTILITIES TO REMAIN UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
7. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN SUCH A MANNER AS TO PROTECT EXISTING SITE ELEMENTS WHICH ARE TO REMAIN IN SERVICE.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF ANY FILL MATERIAL INTO DOWNSTREAM SYSTEM OF RECEIVING CHANNELS (REF CIVIL).
10. ALL EXISTING FURNITURE IS TO BE REMOVED AND HANDLED WITHOUT DAMAGE OR DETERIORATION; ANY NEW FURNITURE IS OWNER PROVIDED.
11. EXISTING WALLS SHOWN WITH SOLID GRAY HATCH ARE EXISTING AND NEW WALLS WILL HAVE A WHITE OPAQUE FILL.
12. ALL FLOOR PLAN DIMENSIONS ARE TO / FROM FINISHED FACE OF WALL (WHEN A WALL IS INCLUDED IN THE DIMENSION STRING).
13. PATCH AND REPAIR ANY DAMAGED DRYWALL AND BASEBOARD; COVER ANY OPEN / ABANDONED ELECTRICAL BOXES WITH COVER PLATES.
14. EXISTING WALL PAPER SHALL BE REMOVED FROM ALL WALLS. DRYWALL SHALL BE PATCHED AND PREPPED AS NECESSARY TO RECEIVE PAINT.
15. REPLACE DAMAGED ACOUSTICAL CEILING TILES AND GRIDS AS NECESSARY.
16. PREPARE ALL WALL AND CEILING SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER SPECIFICATIONS.
17. ALL OTHER SURFACES SCHEDULED / NOTED TO RECEIVE PAINT (RAILINGS, DOORS, FRAMES, ETC.) SHALL BE CLEANED, REPAIRED AND RECEIVE ANY OTHER PREPARATION TO PAINT BASED ON MANUFACTURER SPECIFICATIONS.
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19. GRAB BARS ARE TO BE INSTALLED WHERE THEY CURRENTLY DO NOT EXIST IN ACCESSIBLE BATHROOMS (REF A1 / G-301 FOR TYPICAL ACCESSIBILITY STANDARDS).
20. ALL EXISTING INTERIOR COMMON AREAS AND UNIT CONDITIONS SHALL BE CLEANED AND FREE OF DEBRIS; ALL INTERIOR WALLS TO BE REPAINTED (REF A-701 & A-711 FOR FINISH SCHEDULE & CORRIDOR FINISH PLAN).
21. REPAIR ANY CRACKING EXISTING SIDEWALK, CURB/GUTTERS AND REPLACE ANY DAMAGED PARKING STALL WHEELSTOPS.
22. ALL EXISTING EXTERIOR RAILINGS SHALL BE STRIPPED OF PAINT, PRIMED, AND REPAINTED (REF EXTERIOR ELEVATIONS).
23. ALL EXISTING STOREFRONTS AND WINDOWS SHALL BE CLEANED AND WILL REMAIN AS IS UNLESS IN NEED OF REPAIR / REPLACEMENT OR NEW HARDWARE (EXISTING UNIT WINDOWS ARE CURRENTLY OPERABLE AND ARE ABLE TO OPEN 13").
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26. OWNER MUST PROVIDE 1 WASHER AND 1 DRYER MINIMUM FOR EVERY 10 UNITS (19 WASHERS AND 19 DRYERS TOTAL). AT LEAST 1 WASHER AND 1 DRYER OUT OF THE REQUIRED TOTAL MUST BE SIDE-BY-SIDE FOR WHEELCHAIR ACCESSIBILITY OR AN EQUIVALENT STACKABLE UNIT IN ACCORDANCE WITH 2009 ANSI 117.1. REF ENLARGED REGION PLANS FOR WASHER AND DRYER LOCATIONS AND SPATIAL REQUIREMENTS FOR ACCESSIBILITY.
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29. ALL EXTERIOR COLUMNS TO BE CLEANED AND PREPPED TO RECEIVE NEW PAINT.
30. CLEAN ALL UNIT CEILINGS AND SOFFITS. CONDITIONS ARE TO REMAIN AS IS UNLESS DAMAGED OR IN NEED OF REPAIR.
31. FIRE-SEAL ALL MEP PENETRATIONS THROUGH EXPOSED RATED WALL AND FLOOR ASSEMBLIES.
32. REPLACE PTACS AS NECESSARY (REF MEP).
33. REPAIR AND CLEAN ALL PLUMBING FIXTURES THAT ARE NOT FUNCTIONAL; REPLACE IF NECESSARY.
34. REPAIR / REPLACE EXISTING DOORS AS NECESSARY; FIRE-RATING, SAFETY HARDWARE, ACCESSIBILITY, ETC. MUST COMPLY WITH INFORMATION GIVEN IN A-601.
35. SEAL AND RESTRIPE EXISTING PARKING LOT; REF SITE PLAN.
36. ALL GENERAL NOTES ABOVE SHALL BE REFERENCED THROUGHOUT THIS SET (ALSO REFER TO GENERAL DEMO NOTES ON OVERALL DEMO PLANS).
- 37.

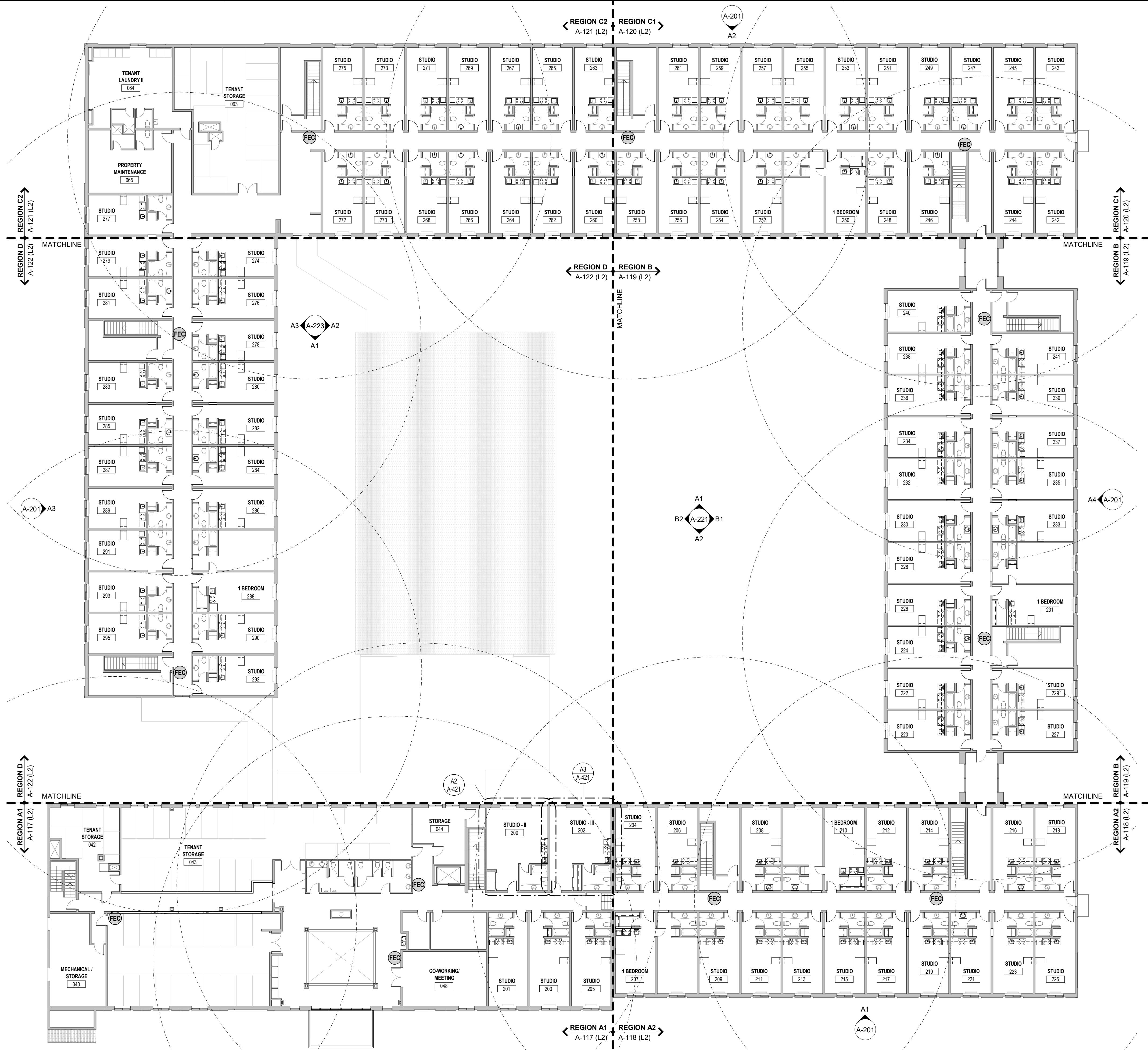
FIRE SAFETY LEGEND

-  FIRE EXTINGUISHER CABINET; EXISTING
-  FIRE EXTINGUISHER; EXISTING
-  EMERGENCY EXIT LIGHT

A1 OVERALL SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"

0 8' 16' 32'



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

OCTOBER 14, 2022

SHEET TITLE

OVERALL SECOND FLOOR PLAN

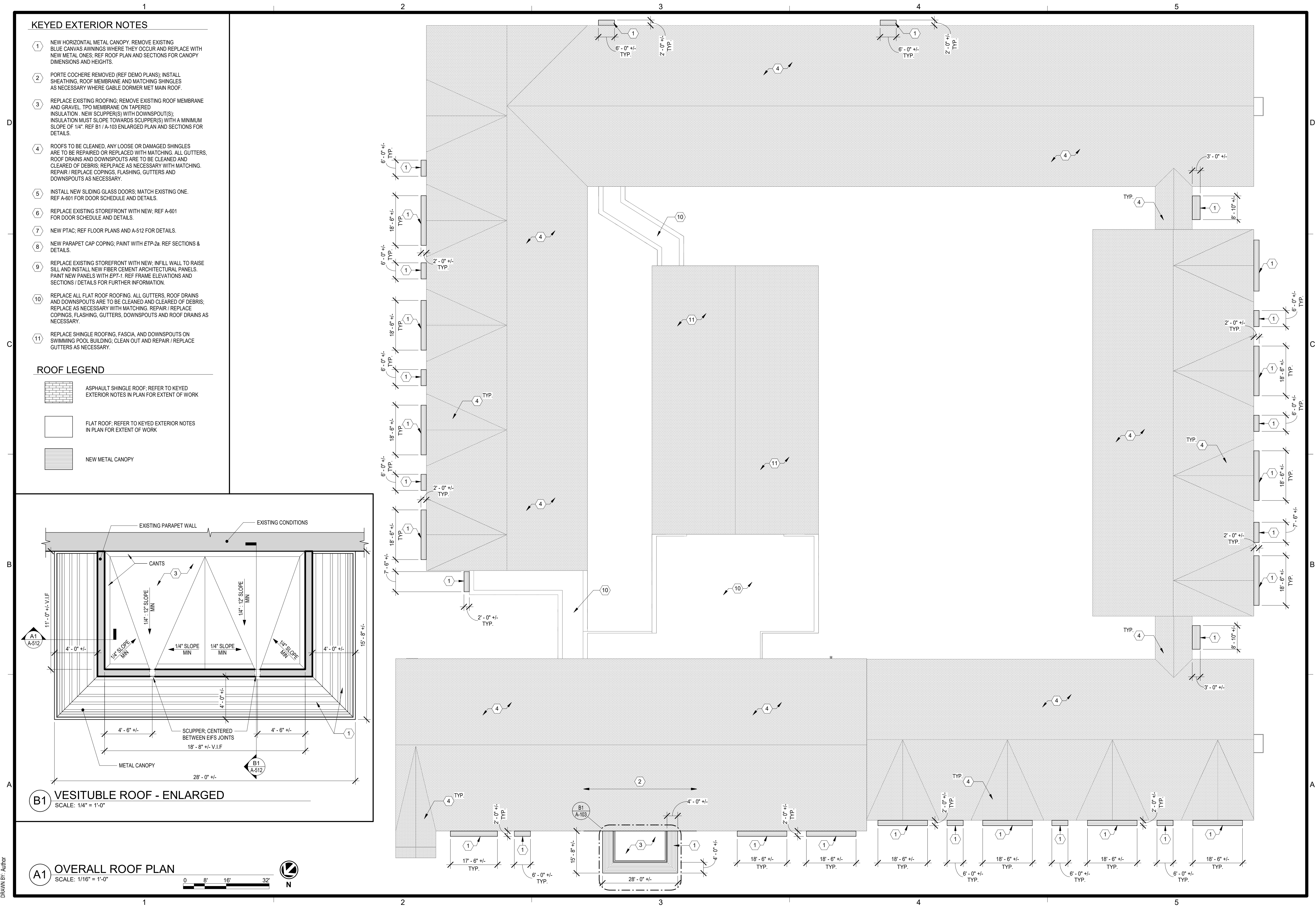
PROJECT NUMBER

0210377

SHEET NUMBER

A-102

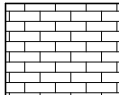

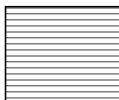
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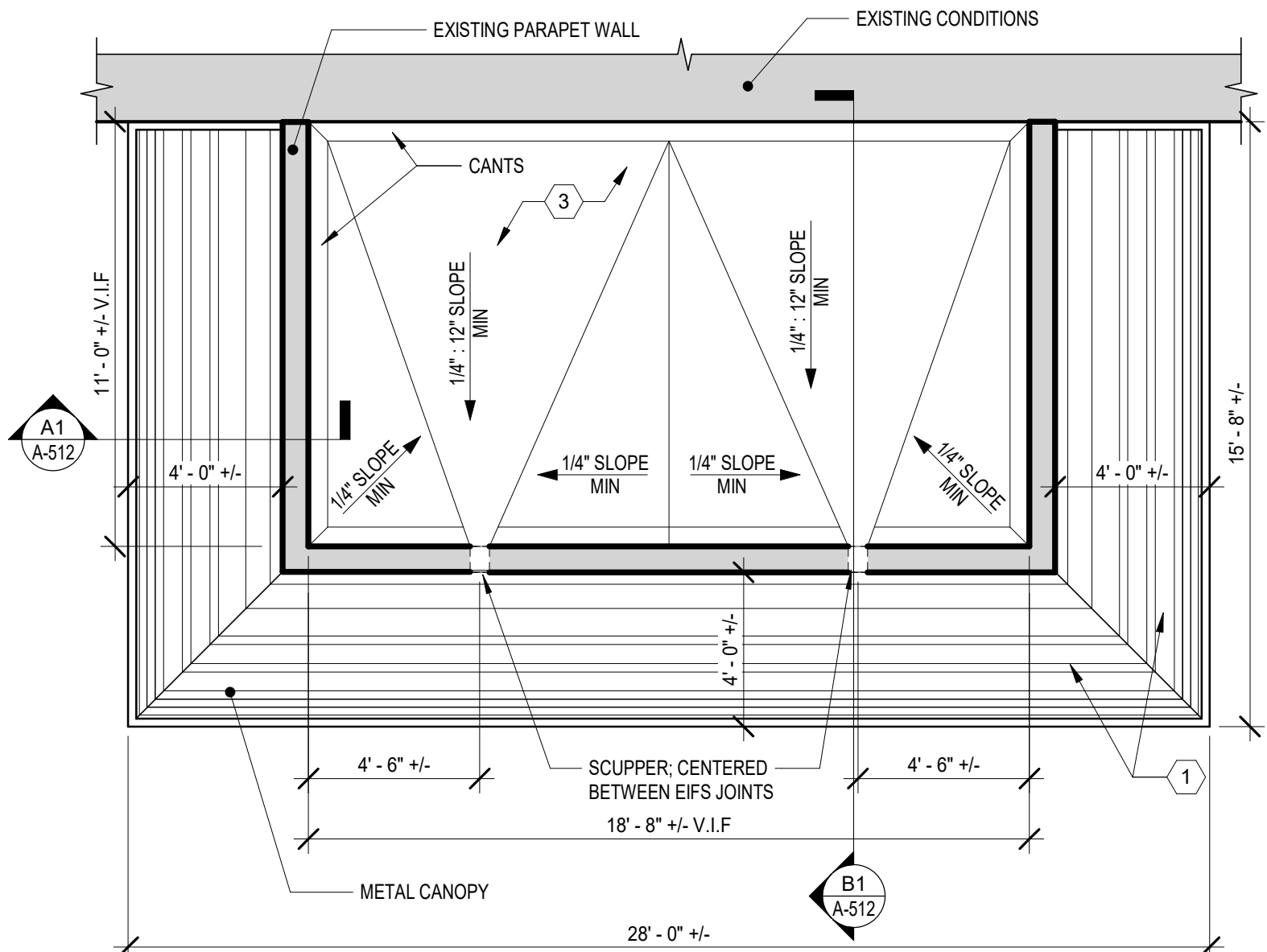


KEYED EXTERIOR NOTES

- 1 NEW HORIZONTAL METAL CANOPY. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES. REF ROOF PLAN AND SECTIONS FOR CANOPY DIMENSIONS AND HEIGHTS.
- 2 PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
- 3 REPLACE EXISTING ROOFING; REMOVE EXISTING ROOF MEMBRANE AND GRAVEL. TPO MEMBRANE ON TAPERED INSULATION. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4". REF B1 / A-103 ENLARGED PLAN AND SECTIONS FOR DETAILS.
- 4 ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS; REPLACE AS NECESSARY WITH MATCHING. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- 5 INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF A-501 FOR DOOR SCHEDULE AND DETAILS.
- 6 REPLACE EXISTING STOREFRONT WITH NEW; REF A-501 FOR DOOR SCHEDULE AND DETAILS.
- 7 NEW PTAC; REF FLOOR PLANS AND A-512 FOR DETAILS.
- 8 NEW PARAPET CAP COPING; PAINT WITH ETP-2a. REF SECTIONS & DETAILS.
- 9 REPLACE EXISTING STOREFRONT WITH NEW; INFILL WALL TO RAISE SILL AND INSTALL NEW FIBER CEMENT ARCHITECTURAL PANELS. PAINT NEW PANELS WITH EPT-1. REF FRAME ELEVATIONS AND SECTIONS / DETAILS FOR FURTHER INFORMATION.
- 10 REPLACE ALL FLAT ROOF ROOFING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS; REPLACE AS NECESSARY WITH MATCHING. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS, DOWNSPOUTS AND ROOF DRAINS AS NECESSARY.
- 11 REPLACE SHINGLE ROOFING, FASCIA, AND DOWNSPOUTS ON SWIMMING POOL BUILDING; CLEAN OUT AND REPAIR / REPLACE GUTTERS AS NECESSARY.

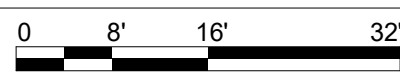
ROOF LEGEND


-  ASPHALT SHINGLE ROOF; REFER TO KEYED EXTERIOR NOTES IN PLAN FOR EXTENT OF WORK
-  FLAT ROOF; REFER TO KEYED EXTERIOR NOTES IN PLAN FOR EXTENT OF WORK
-  NEW METAL CANOPY



B1 VESITUBLE ROOF - ENLARGED
SCALE: 1/4" = 1'-0"

A1 OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"





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RENOVATION
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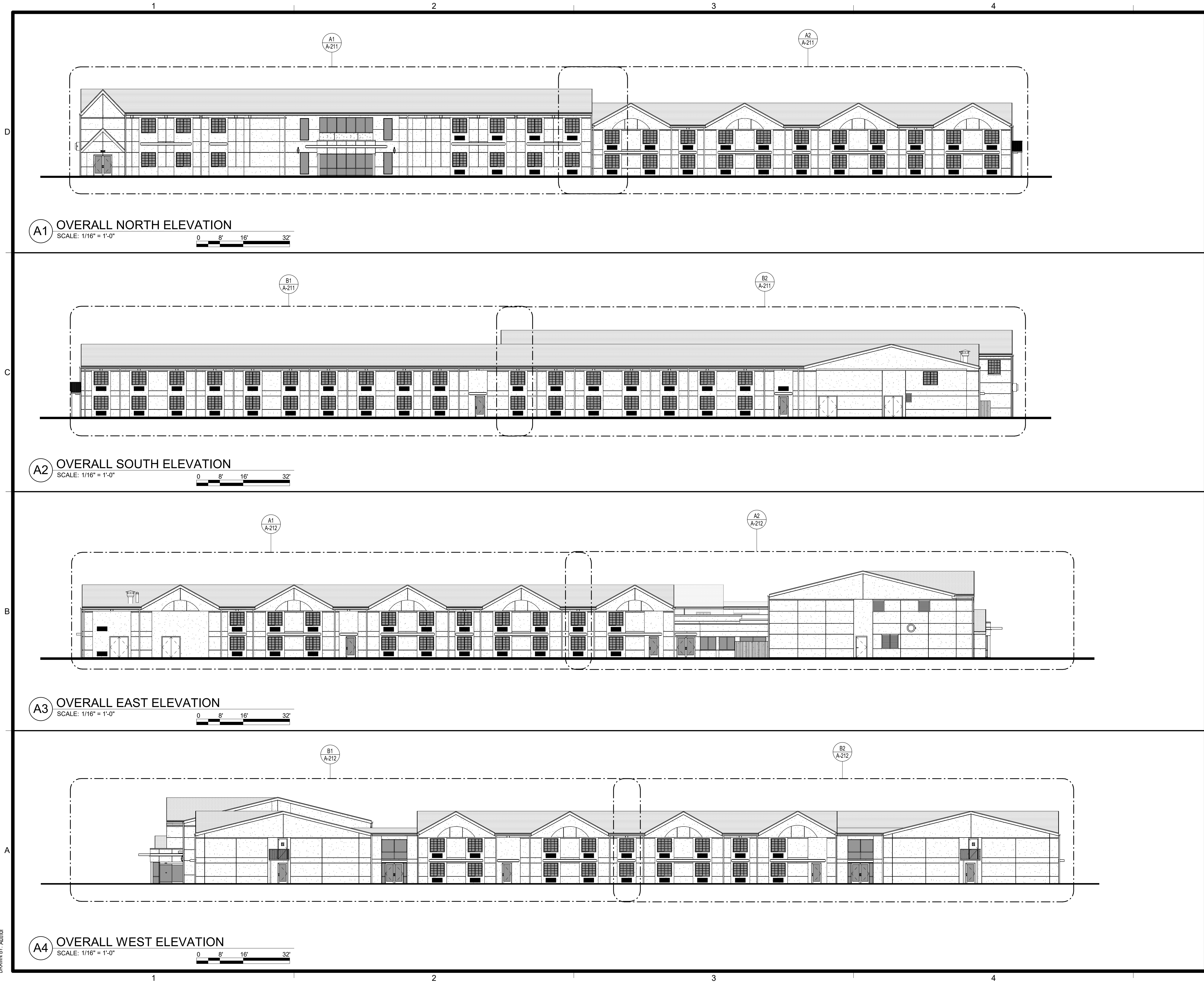
SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
ROOF PLAN

PROJECT NUMBER
0210377

SHEET NUMBER
A-103

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- ### EXTERIOR ELEVATION NOTES
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
 - DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION; THE SCALE AND GRAPHIC SCALES INCLUDED ARE FOR REFERENCE ONLY.
 - REPAIR / REPLACE ANY DAMAGED EXTERIOR MATERIALS AND ELEMENTS AS NECESSARY; ANYTHING REPAIRED OR REPLACED SHALL MATCH THE PROPERTIES (TEXTURE, MATERIAL, ETC.) OF THE EXISTING / ADJACENT ONES UNO.
 - PREPARE ALL SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER REQUIREMENTS.
 - PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
 - ALL DOWNSPOUTS SHALL BE PAINTED WITH THE COLOR CORRESPONDING TO THE WALL BEHIND IT (EPT-1a UNO).
 - ROOF FASCIAS, PARAPET CAPS, GUTTERS AND FENCING IN PROXIMITY TO BUILDING SHALL BE PAINTED WITH EPT-2 / EPT-2a UNO.
 - ALL EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-1 UNO; REF RCPS.
 - ALL PTAC LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-2a TYP) UNO. ALL OTHER MECHANICAL LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1a TYP) UNO ON PLAN OR ELEVATION.
 - ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1a TYP) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES.
 - GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

- ### EXTERIOR ELEVATION LEGEND
- | | |
|--|---|
| | EIFS / STUCCO |
| | FIBER CEMENT (NEW) - ARCHITECTURAL PANEL; MATCH EXISTING EIFS TEXTURE |
| | WOOD / TRIM |
| | BRICK |
| | ASPHALT SHINGLES |
| | METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / STRUCTURE / ETC. |
| | PTAC LOUVER |
| | MECHANICAL LOUVER |
| | ELEVATION SECTION CUT THROUGH BUILDING |

- ### EXTERIOR PAINT LEGEND
- * REF A-701 FINISH KEY FOR MORE DETAILS *
- | | |
|----------|---|
| (EPT-1) | MAIN WALLS (EIFS / MASONRY / FIBER CEMENT)
SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY |
| (EPT-1a) | DOORS, DOWNSPOUTS, MECH / LOUVERS (METALS)
SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY |
| (EPT-2) | ACCENT, FASCIA, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD)
SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY |
| (EPT-2a) | PTAC LOUVERS, GUTTERS, COPINGS, DOORS (METALS)
SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY |



RENOVATION
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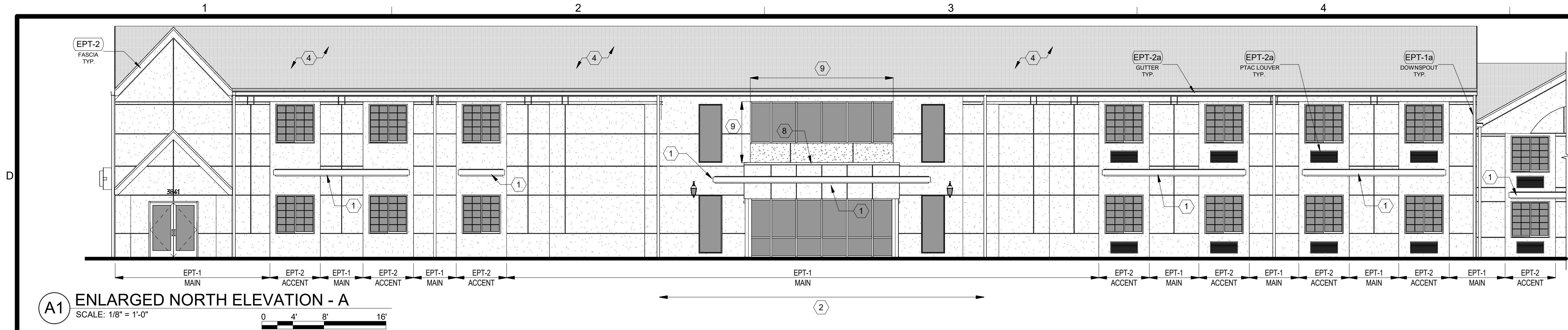
SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
OVERALL EXTERIOR
ELEVATIONS

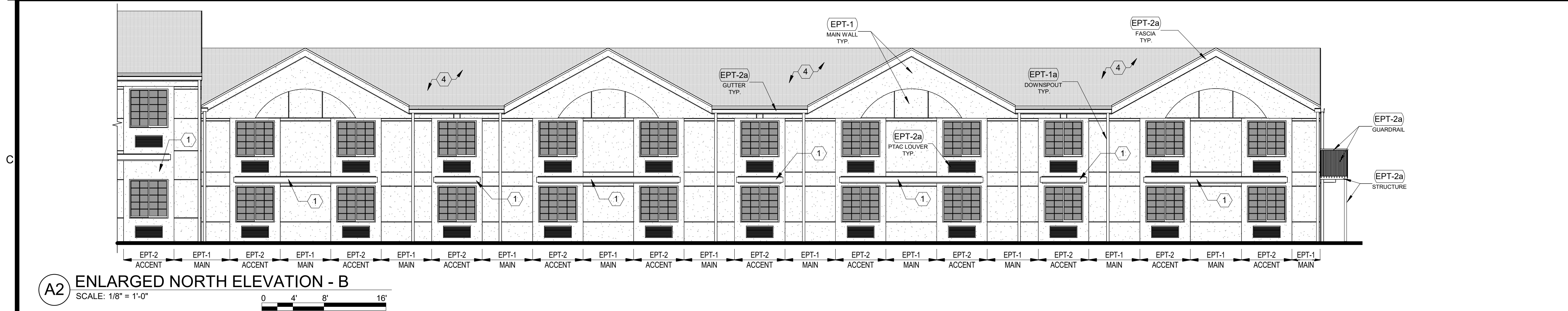
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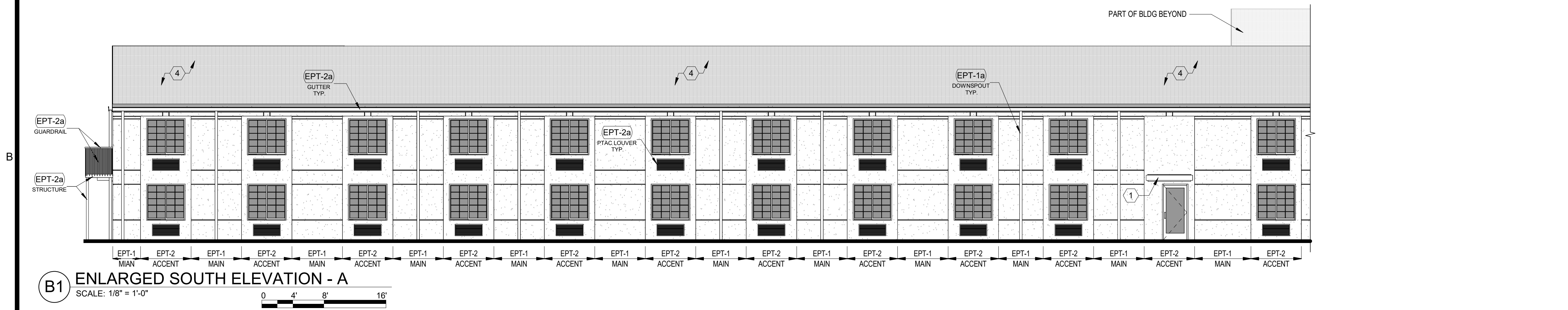
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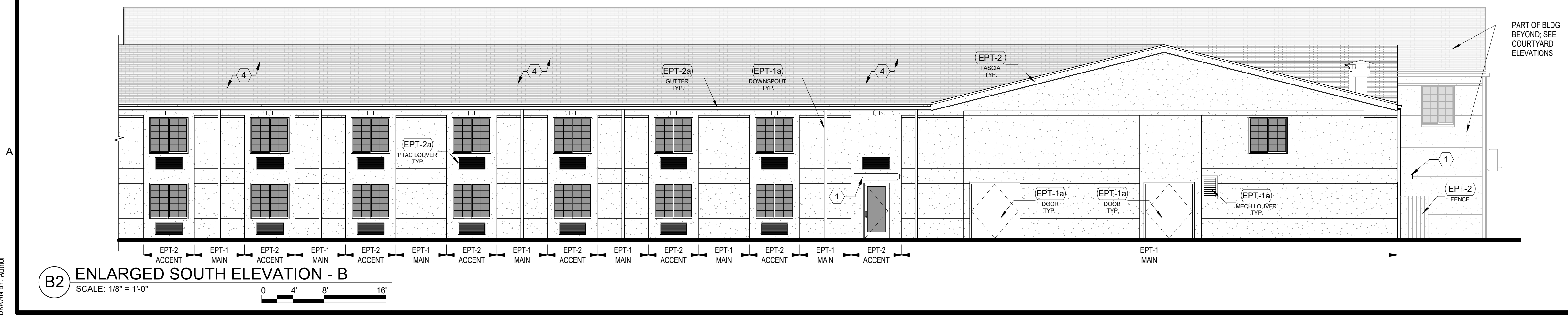
A1 ENLARGED NORTH ELEVATION - A
SCALE: 1/8" = 1'-0"



A2 ENLARGED NORTH ELEVATION - B
SCALE: 1/8" = 1'-0"



B1 ENLARGED SOUTH ELEVATION - A
SCALE: 1/8" = 1'-0"



B2 ENLARGED SOUTH ELEVATION - B
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

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- GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT (NEW) - ARCHITECTURAL PANEL; MATCH EXISTING EIFS TEXTURE
	WOOD / TRIM
	BRICK
	ASPAHLT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / STRUCTURE / ETC.
	PTAC LOUVER
	MECHANICAL LOUVER
	ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT LEGEND

* REF A-701 FINISH KEY FOR MORE DETAILS *

	MAIN WALLS (EIFS / MASONRY / FIBER CEMENT); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
	DOORS, DOWNSPOUTS, MECH / LOUVERS (METALS); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
	ACCENT, FASCIA, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
	PTAC LOUVERS, GUTTERS, COPINGS, DOORS (METALS); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY

KEYED EXTERIOR NOTES

- NEW HORIZONTAL METAL CANOPY. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN AND SECTIONS FOR CANOPY DIMENSIONS AND HEIGHTS.
- PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
- REPLACE EXISTING ROOFING; REMOVE EXISTING ROOF MEMBRANE AND GRAVEL. TPO MEMBRANE ON TAPERED INSULATION. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4"; REF B1 / A-103 ENLARGED PLAN AND SECTIONS FOR DETAILS.
- ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS; REPLACE AS NECESSARY WITH MATCHING. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
- INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF A-601 FOR DOOR SCHEDULE AND DETAILS.
- REPLACE EXISTING STOREFRONT WITH NEW; REF A-601 FOR DOOR SCHEDULE AND DETAILS.
- NEW PTAC; REF FLOOR PLANS AND A-512 FOR DETAILS.
- NEW PARAPET CAP COPING; PAINT WITH EPT-2a. REF SECTIONS & DETAILS.
- REPLACE EXISTING STOREFRONT WITH NEW; INFILL WALL TO RAISE SILL AND INSTALL NEW FIBER CEMENT ARCHITECTURAL PANELS. PAINT NEW PANELS WITH EPT-1. REF FRAME ELEVATIONS AND SECTIONS / DETAILS FOR FURTHER INFORMATION.
- REPLACE ALL FLAT ROOF ROOFING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS; REPLACE AS NECESSARY WITH MATCHING. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS, DOWNSPOUTS AND ROOF DRAINS AS NECESSARY.
- REPLACE SHINGLE ROOFING, FASCIA, AND DOWNSPOUTS ON SWIMMING POOL BUILDING; CLEAN OUT AND REPAIR / REPLACE GUTTERS AS NECESSARY.



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

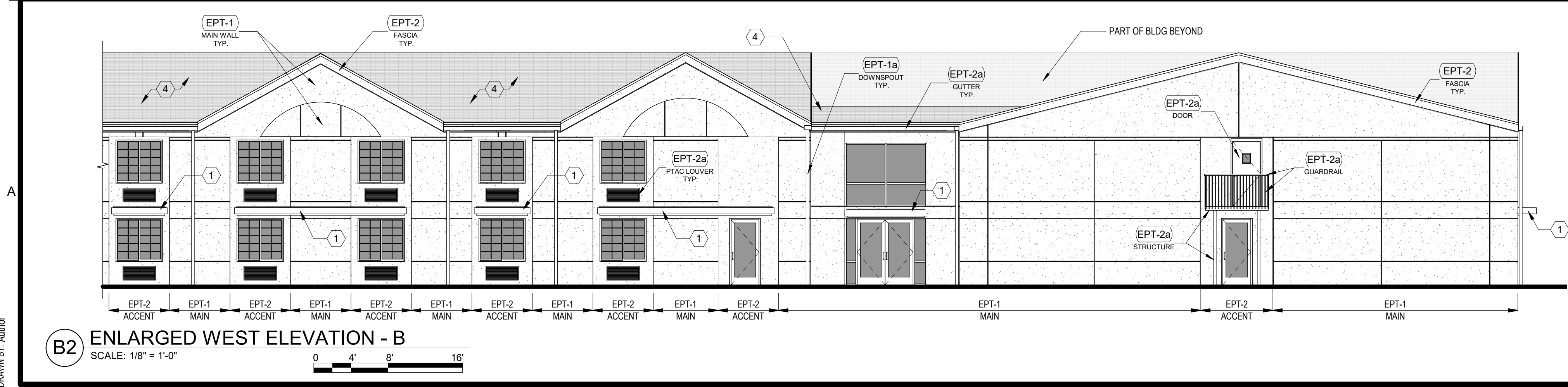
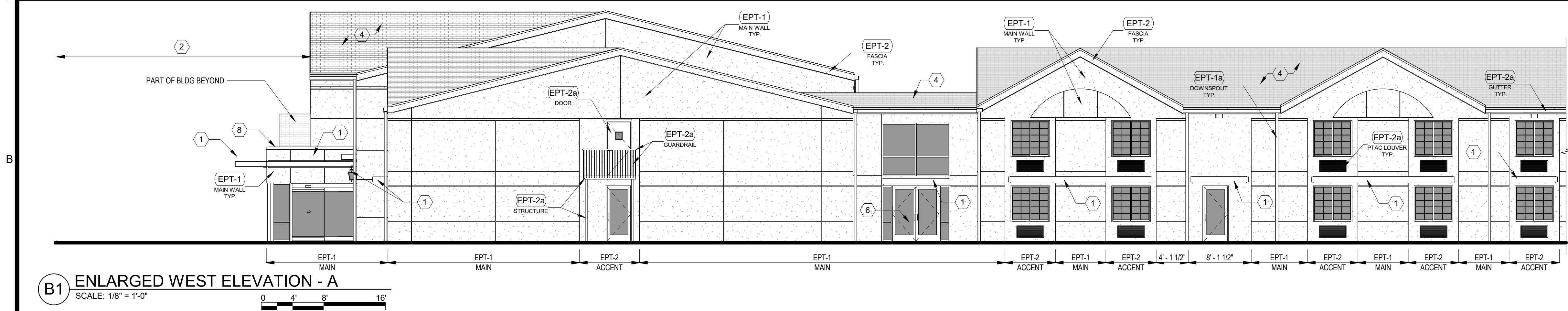
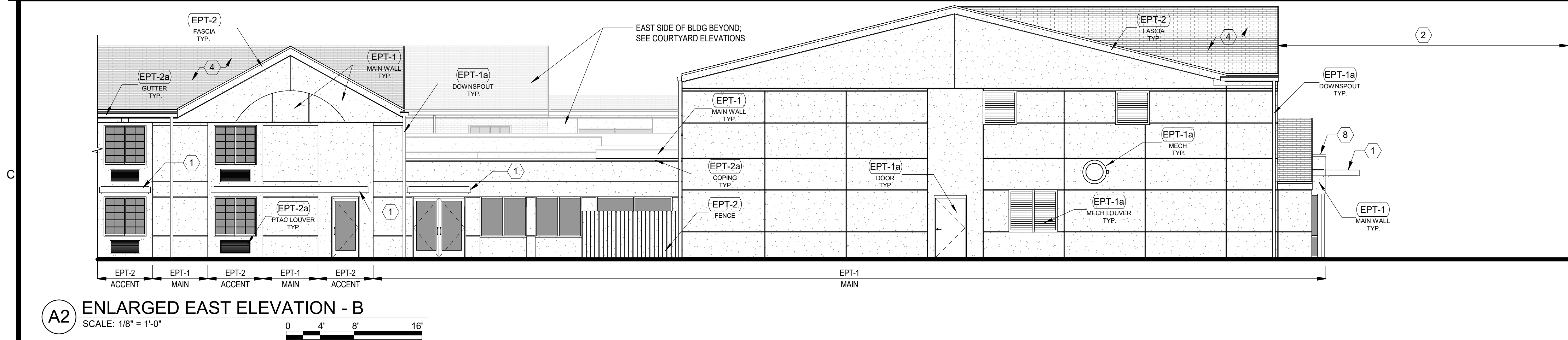
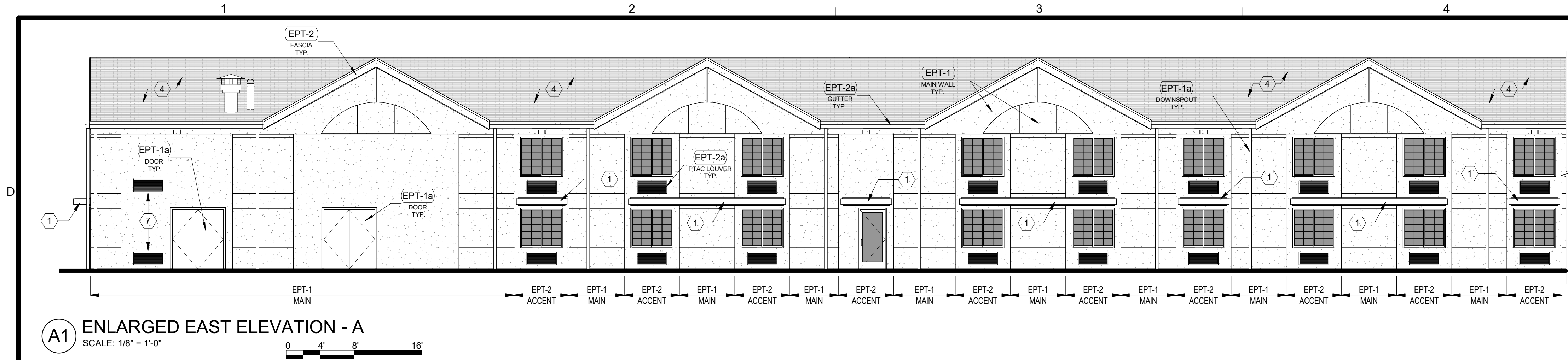
SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
ENLARGED EXTERIOR ELEVATIONS I

PROJECT NUMBER
0210377

SHEET NUMBER
A-211

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EXTERIOR ELEVATION NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
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- PREPARE ALL SURFACES AS NECESSARY TO APPLY PAINT, ALONG WITH ANY OTHER PREPARATIONS BASED ON MANUFACTURER REQUIREMENTS.
- PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
- ALL DOWNSPOUTS SHALL BE PAINTED WITH THE COLOR CORRESPONDING TO THE WALL BEHIND IT (EPT-1a UNO).
- ROOF FASCIA, PARAPET CAPS, GUTTERS AND FENCING IN PROXIMITY TO BUILDING SHALL BE PAINTED WITH EPT-2 / EPT-2a UNO.
- ALL EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-1 UNO; REF ROPS.
- ALL PTAC LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-2a TYP) UNO. ALL OTHER MECHANICAL LOUVERS SHALL BE PAINTED WITH THE COLOR OF THEIR HOST WALL (EPT-1a TYP) UNO ON PLAN OR ELEVATION.
- ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1a TYP) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES. GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND

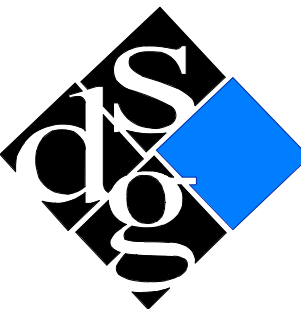
- EIFS / STUCCO
- FIBER CEMENT (NEW) - ARCHITECTURAL PANEL; MATCH EXISTING EIFS TEXTURE
- WOOD / TRIM
- BRICK
- ASPAHLT SHINGLES
- METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / STRUCTURE / ETC.
- PTAC LOUVER
- MECHANICAL LOUVER
- ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT LEGEND

- * REF A-701 FINISH KEY FOR MORE DETAILS *
- EPT-1 MAIN WALLS (EIFS / MASONRY / FIBER CEMENT); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
 - EPT-1a DOORS, DOWNSPOUTS, MECH / LOUVERS (METALS); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
 - EPT-2 ACCENT, FASCIA, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
 - EPT-2a PTAC LOUVERS, GUTTERS, COPINGS, DOORS (METALS); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY

KEYED EXTERIOR NOTES

- NEW HORIZONTAL METAL CANOPY. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN AND SECTIONS FOR CANOPY DIMENSIONS AND HEIGHTS.
- PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
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- INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF A-601 FOR DOOR SCHEDULE AND DETAILS.
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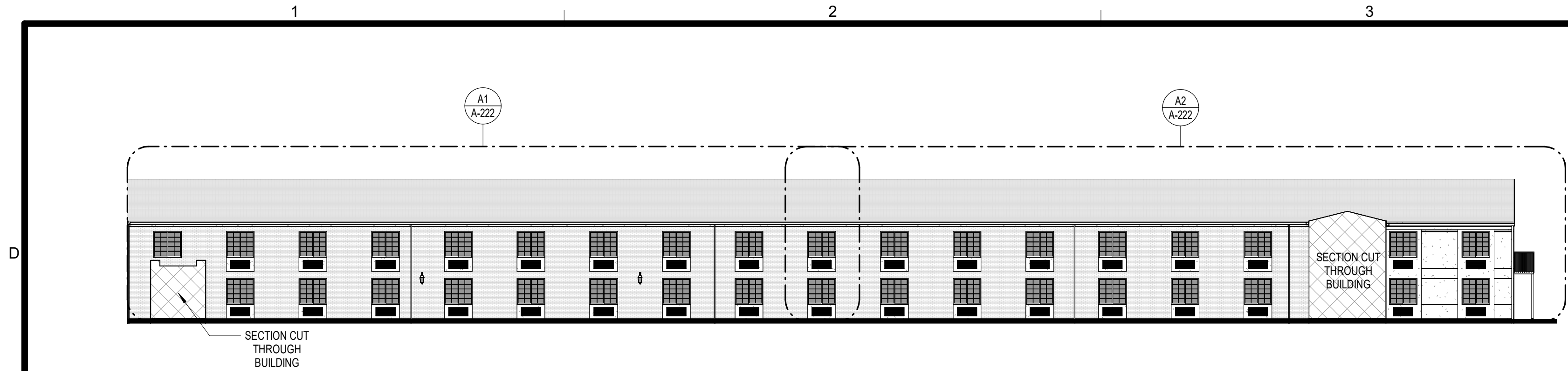
SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
ENLARGED EXTERIOR
ELEVATIONS II

PROJECT NUMBER
0210377

SHEET NUMBER
A-212

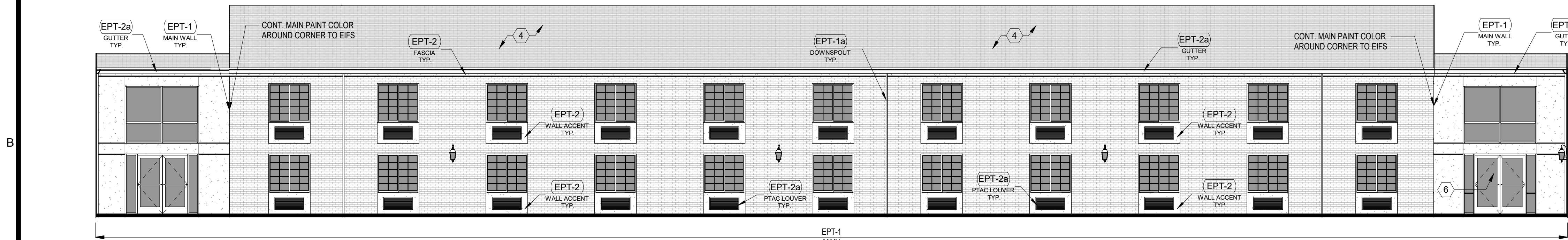
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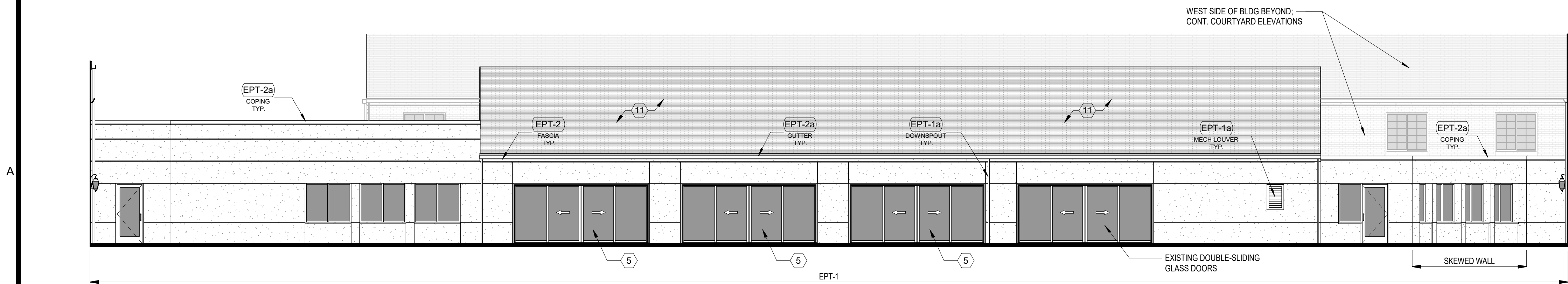
A1 OVERALL NORTH ELEV - COURTYARD
SCALE: 1/16" = 1'-0"



A2 OVERALL SOUTH ELEV - COURTYARD
SCALE: 1/16" = 1'-0"



B1 EAST ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"



B2 WEST ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES

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5. PAINT COLORS SHOULD NOT CHANGE AT OUTSIDE CORNERS UNO.
6. ALL DOWNSPOUTS SHALL BE PAINTED WITH THE COLOR CORRESPONDING TO THE WALL BEHIND IT (EPT-1a UNO).
7. ROOF FASCIA, PARAPET CAPS, GUTTERS AND FENCING IN PROXIMITY TO BUILDING SHALL BE PAINTED WITH EPT-2 / EPT-2a UNO.
8. ALL EXTERIOR SOFFITS SHALL BE PAINTED WITH EPT-1 UNO; REF ROPS.
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10. ALL PAINTABLE EXTERIOR DOORS AND THEIR FRAMES / TRIM SHALL BE PAINTED THE COLOR OF THEIR HOST WALL (EPT-1a TYP) UNO. EXCLUDE ALUMINUM STOREFRONT DOORS AND FRAMES.

GENERAL NOTES SHALL BE REFERENCED THROUGHOUT.

EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT (NEW) - ARCHITECTURAL PANEL; MATCH EXISTING EIFS TEXTURE
	WOOD / TRIM
	BRICK
	ASPAHLT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / STRUCTURE / ETC.
	PTAC LOUVER
	MECHANICAL LOUVER
	ELEVATION SECTION CUT THROUGH BUILDING

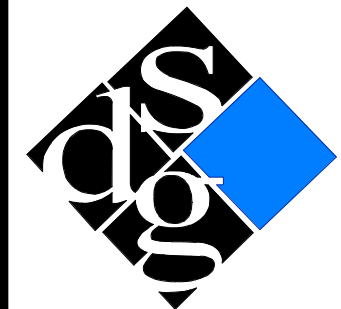
EXTERIOR PAINT LEGEND

* REF A-701 FINISH KEY FOR MORE DETAILS *

(EPT-1)	MAIN WALLS (EIFS / MASONRY / FIBER CEMENT); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
(EPT-1a)	DOORS, DOWNSPOUTS, MECH / LOUVERS (METALS); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
(EPT-2)	ACCENT, FASCIA, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
(EPT-2a)	PTAC LOUVERS, GUTTERS, COPINGS, DOORS (METALS); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY

KEYED EXTERIOR NOTES

1. NEW HORIZONTAL METAL CANOPY. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN AND SECTIONS FOR CANOPY DIMENSIONS AND HEIGHTS.
2. PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
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7. NEW PTAC; REF FLOOR PLANS AND A-512 FOR DETAILS.
8. NEW PARAPET CAP COPING; PAINT WITH EPT-2a. REF SECTIONS & DETAILS.
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11. REPLACE SHINGLE ROOFING, FASCIA, AND DOWNSPOUTS ON SWIMMING POOL BUILDING; CLEAN OUT AND REPAIR / REPLACE GUTTERS AS NECESSARY.



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

OCTOBER 14, 2022

SHEET TITLE

COURTYARD ELEVATIONS I

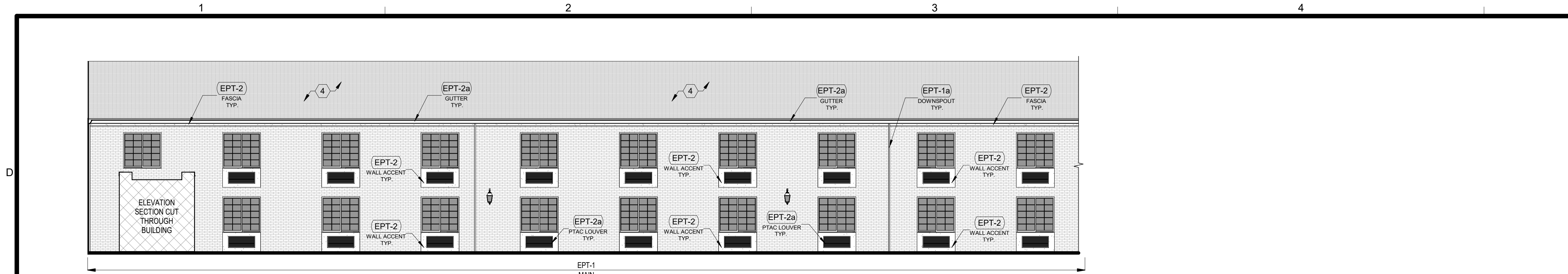
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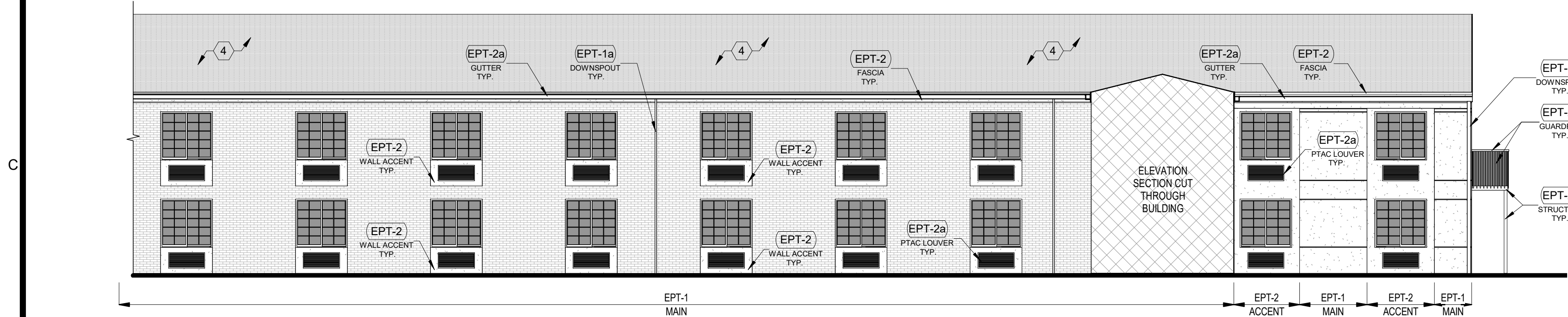
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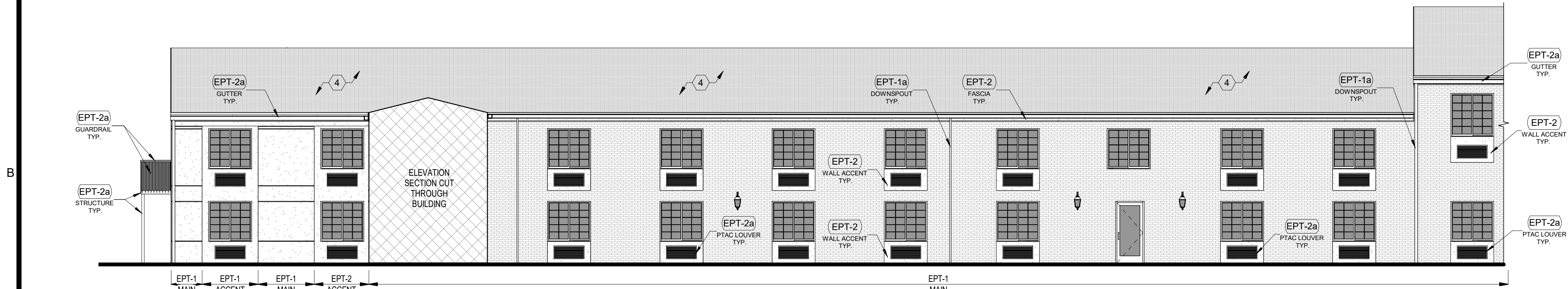
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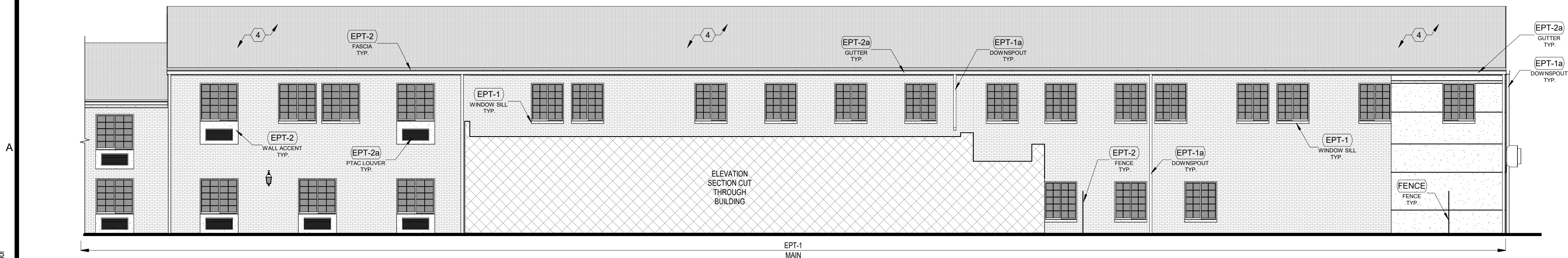
A1 NORTH ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"



A2 NORTH ELEV - B - COURTYARD
SCALE: 1/8" = 1'-0"



B1 SOUTH ELEV - A - COURTYARD
SCALE: 1/8" = 1'-0"



B2 SOUTH ELEV - B - COURTYARD
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATION LEGEND

	EIFS / STUCCO
	FIBER CEMENT (NEW) - ARCHITECTURAL PANEL; MATCH EXISTING EIFS TEXTURE
	WOOD / TRIM
	BRICK
	ASPHALT SHINGLES
	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / STRUCTURE / ETC.
	PTAC LOUVER
	MECHANICAL LOUVER
	ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT LEGEND

* REF A-701 FINISH KEY FOR MORE DETAILS *

	MAIN WALLS (EIFS / MASONRY / FIBER CEMENT); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
	DOORS, DOWNSPOUTS, MECH / LOUVERS (METALS); SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
	ACCENT, FASCIA, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
	PTAC LOUVERS, GUTTERS, COPINGS, DOORS (METALS); SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY

KEYED EXTERIOR NOTES

- NEW HORIZONTAL METAL CANOPY. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN AND SECTIONS FOR CANOPY DIMENSIONS AND HEIGHTS.
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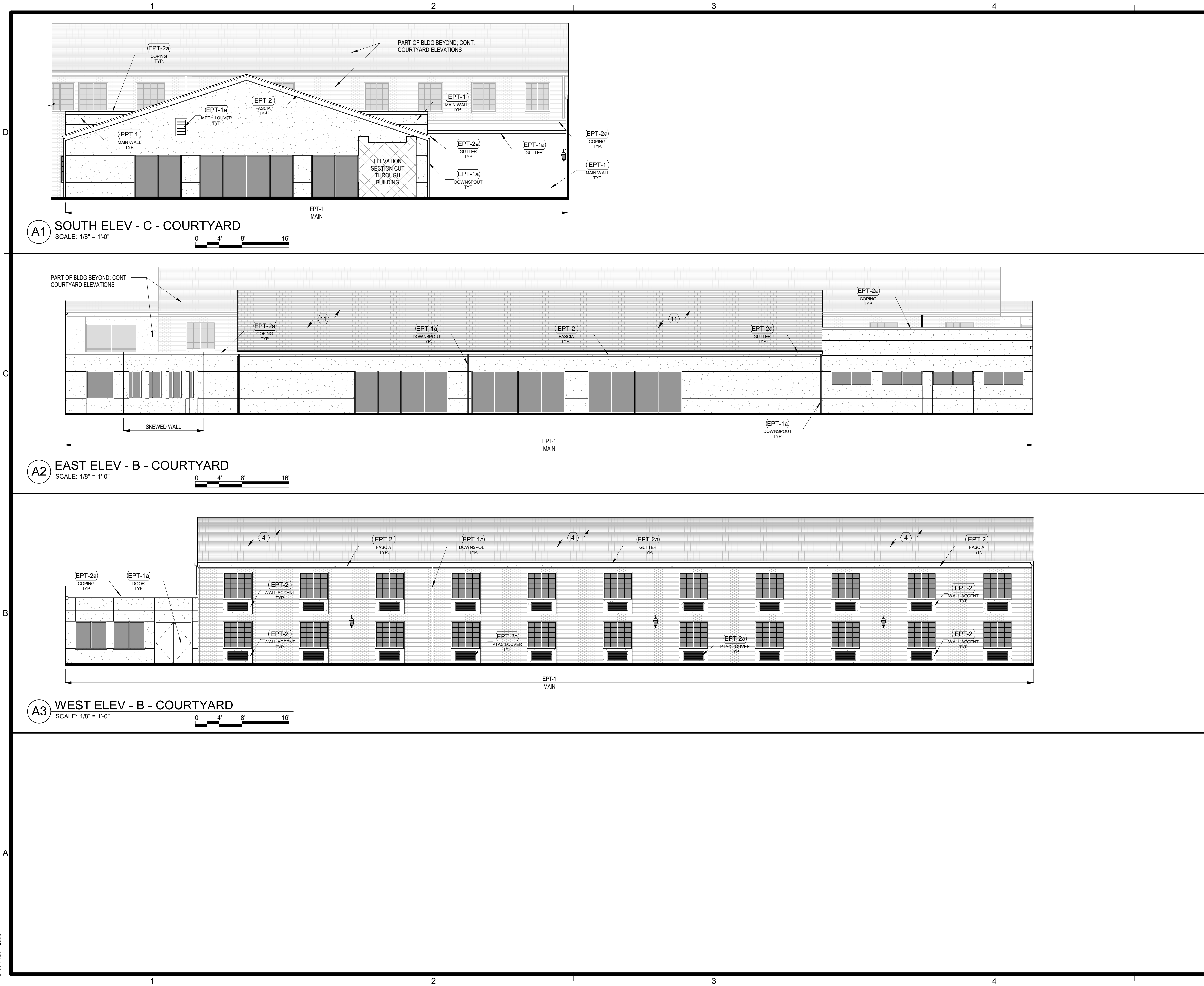
SUBMISSION DATES
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SHEET TITLE
COURTYARD ELEVATIONS
II

PROJECT NUMBER
0210377

SHEET NUMBER
A-222

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EXTERIOR ELEVATION LEGEND

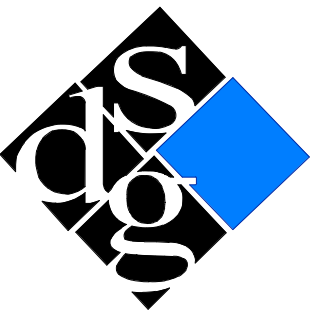
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	METAL GUTTER / DOWNSPOUT / RAILING / COPING / FLASHING / STRUCTURE / ETC.
	PTAC LOUVER
	MECHANICAL LOUVER
	ELEVATION SECTION CUT THROUGH BUILDING

EXTERIOR PAINT LEGEND

* REF A-701 FINISH KEY FOR MORE DETAILS *	
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(EPT-1a)	DOORS, DOWNSPOUTS, MECH / LOUVERS (METALS) SHERWIN WILLIAMS - SW7029 - AGREEABLE GRAY
(EPT-2)	ACCENT, FASCIA, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD) SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY
(EPT-2a)	PTAC LOUVERS, GUTTERS, COPINGS, DOORS (METALS) SHERWIN WILLIAMS - SW7023 - REQUISITE GRAY

KEYED EXTERIOR NOTES

1. NEW HORIZONTAL METAL CANOPY. REMOVE EXISTING BLUE CANVAS AWNINGS WHERE THEY OCCUR AND REPLACE WITH NEW METAL ONES; REF ROOF PLAN AND SECTIONS FOR CANOPY DIMENSIONS AND HEIGHTS.
2. PORTE COCHERE REMOVED (REF DEMO PLANS); INSTALL SHEATHING, ROOF MEMBRANE AND MATCHING SHINGLES AS NECESSARY WHERE GABLE DORMER MET MAIN ROOF.
3. REPLACE EXISTING ROOFING; REMOVE EXISTING ROOF MEMBRANE AND GRAVEL. TPO MEMBRANE ON TAPERED INSULATION. NEW SCUPPER(S) WITH DOWNSPOUT(S); INSULATION MUST SLOPE TOWARDS SCUPPER(S) WITH A MINIMUM SLOPE OF 1/4"; REF B1 / A-103 ENLARGED PLAN AND SECTIONS FOR DETAILS.
4. ROOFS TO BE CLEANED, ANY LOOSE OR DAMAGED SHINGLES ARE TO BE REPAIRED OR REPLACED WITH MATCHING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS; REPLACE AS NECESSARY WITH MATCHING. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS AND DOWNSPOUTS AS NECESSARY.
5. INSTALL NEW SLIDING GLASS DOORS; MATCH EXISTING ONE. REF A-601 FOR DOOR SCHEDULE AND DETAILS.
6. REPLACE EXISTING STOREFRONT WITH NEW; REF A-601 FOR DOOR SCHEDULE AND DETAILS.
7. NEW PTAC; REF FLOOR PLANS AND A-512 FOR DETAILS.
8. NEW PARAPET CAP COPING; PAINT WITH ETP-2a. REF SECTIONS & DETAILS.
9. REPLACE EXISTING STOREFRONT WITH NEW; INFILL WALL TO RAISE SILL AND INSTALL NEW FIBER CEMENT ARCHITECTURAL PANELS. PAINT NEW PANELS WITH EPT-1. REF FRAME ELEVATIONS AND SECTIONS / DETAILS FOR FURTHER INFORMATION.
10. REPLACE ALL FLAT ROOF ROOFING. ALL GUTTERS, ROOF DRAINS AND DOWNSPOUTS ARE TO BE CLEANED AND CLEARED OF DEBRIS; REPLACE AS NECESSARY WITH MATCHING. REPAIR / REPLACE COPINGS, FLASHING, GUTTERS, DOWNSPOUTS AND ROOF DRAINS AS NECESSARY.
11. REPLACE SHINGLE ROOFING, FASCIA, AND DOWNSPOUTS ON SWIMMING POOL BUILDING; CLEAN OUT AND REPAIR / REPLACE GUTTERS AS NECESSARY.



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
COURTYARD ELEVATIONS
III

PROJECT NUMBER
0210377

SHEET NUMBER
A-223



FRAME ELEVATIONS

GENERAL DOOR AND FRAME NOTES

- ## HARDWARE SETS

- SAFETY / MISCELLANEOUS**
A DOOR VIEWER / PEEP HOLE
B RESIDENTIAL SECURITY / DOOR GUARD LATCH (AT OWNER'S DISCRETION)
C DOOR STOPPER (AT OWNER'S DISCRETION)
D HINGES, HEAVY DUTY
E EGRESS CRASHBAR / PUSHBAR
F SELF-CLOSING DOOR CLOSER
G HINGES, SELF-CLOSING, HEAVY-DUTY
H HARDWARE PER MFR
I FAIL-SAFE MAGNETIC ELECTRONIC DOOR STOP
L ELECTRONIC AUTO-TELESCOPING MECHANISM

MODIFIER NOTES:

'(a)' AFTER HARDWARE DESIGNATION
IN SCHEDULE INDICATES THE
HARDWARE MUST BE FIRE-RATED

'(b)' AFTER HARDWARE DESIGNATION
IN SCHEDULE INDICATES THE HARDWARE
WILL BE COORDINATED / PROVIDED BY
DOOR MFR

DOOR SCHEDULE - EXISTING

DOOR / FRAME MATERIAL KEY

HM	HOLLOW METAL
AL	ALUMINUM
HCWD	HOLLOW-CORE WOOD

GLAZING TYPE

G1-A 1" LOW-E INSULATED GLASS; TEMPERED & TINTED / REFLECTIVE
INTERIOR SIDE • CLEAR INSULATED GLASS LAYER

EXTERIOR SIDE

G

INTERIOR SIDE

- CLEAR INSULATED GLASS LAYER
- SEALED AIR SPACE LAYER
- * LOW-E FILM COATING

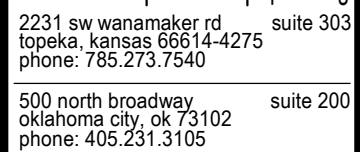
*NOTE: FILM TO BE USED IS
GM - ILLUMINA - a
(SH4FG1MX) + LUCE OR
COMPARABLE

DOOR SCHEDULE - NEW

SIZE			FUNCTION	QTY	DOOR						FRAME								FIRE RATIN
TYPE	W	H			MATL	GLAZ	EL	DOOR FINISH		MATL	GLAZ	FRAME / TRIM FINISH		EL	DETAIL				
								EXT SIDE	INT SIDE			EXT SIDE	INT SIDE		HEAD	JAMB			
NF-B	3' - 0"	7' - 0"	INT; CORRIDOR, EGRESS (RATED)	4	HM	-	1	PT-3	PT-3	EXIST	-	PT-3	PT-3	EXIST	EXIST	EXIST	D(a), E(a), F(a)	90 MIN	
NF-C	3' - 0"	7' - 0"	INT; CORRIDOR, EGRESS	1	HM	-	1	PT-3	PT-3	EXIST	-	PT-3	PT-3	EXIST	EXIST	EXIST	D, E, F	-	
NM-B	3' - 0"	7' - 0"	INT; MNGMNT, MECH / ELEC / STOR	1	HM	-	1	PT-3	PT-3	HM	-	PT-3	PT-3	A	A2 / A-611	B2 / A-611	4, C, G	-	
NR-A	3' - 0"	7' - 0"	INT; DWELL UNIT ENTRY (RATED)	190	HM	-	1	PT-3	PT-3	EXIST	-	PT-3	PT-3	EXIST	EXIST	EXIST	1(a), A(a), B, C, D(a), F(a)	20 MIN	
NR-B.1	3' - 0"	7' - 0"	INT; BATHROOM, ACCESSIBLE	3	HCWD	-	1	PT-3	PT-3	HM	-	PT-3	PT-3	A	A1 / A-611	B1 / A-611	2	-	
NR-D.1	3' - 0"	7' - 0"	INT; CLOSET / PASSAGE, ACCESSIBLE	1	HCWD	-	1	PT-3	PT-3	HM	-	PT-3	PT-3	A	A1 / A-611	B1 / A-611	8	-	
NR-F.1	6' - 0"	7' - 0"	EXT; TENANT ENTRY	1	AL / GLAZ	G1-A	2	AL-1	AL-1	AL / GLAZ	G1	AL-1	AL-1	B	A1 / A-612, C1 / A-612	B1 / A-612, D1 / A-612	3(b), D(b), E(b), F(b)	-	
NR-G.1	6' - 0"	7' - 0"	EXT; TENANT ENTRY, COURTYARD	1	AL / GLAZ	G1-A	2	AL-1	AL-1	AL / GLAZ	G1	AL-1	AL-1	B	A1 / A-612, C1 / A-612	B1 / A-612, D1 / A-612	10(b), D(b), E(b), F(b)	-	
NR-H	3' - 0"	7' - 0"	INT; TENANT AMENITY	2	HM	-	1	PT-3	PT-3	HM	-	PT-3	PT-3	A	A2 / A-611, A3 / A-611	B2 / A-611, B3 / A-611	3, D, F	-	
NR-H.1	3' - 0"	7' - 0"	INT; TENANT AMENITY, EXIST OPENING	1	HM	-	1	PT-3	PT-3	HM	-	PT-3	PT-3	EXIST	EXIST	EXIST	3, D, F	-	
NR-L	16' - 0"	7' - 0"	EXT, COURTYARD	3	AL / GLAZ	G1-A	3	AL-1	AL-1	AL / GLAZ	-	AL-1	AL-1	C	A2 / A-612	B2 / A-612	7(b), H(b)	-	



DOOR ELEVATIONS



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**RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714**

SUBMISSION DATES
OCTOBER 14, 2022

SHEET TITLE
DOOR / FRAME
SCHEDULES & HARDWARE

PROJECT NUMBER
0210377

SHEET NUMBER
A-601

FILEPATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - CD Model_Central_V22_cak2RG35.rvt
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INTERIOR FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR		WALLS				CEILING FINISH
		FINISH	BASE	NORTH	EAST	SOUTH	WEST	
001	VESTIBULE	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
002	LOBBY	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
002A	RECEPTION	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
003	TENANT LOUNGE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
004	VESTIBULE	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
005	BICYCLE PARKING	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-1
005A	MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
005B	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
006	STAIR # 11	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
007	CO-WORKING	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
008	FOYER	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
009	TENANT LOUNGE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
009A	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
009B	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
010	MEN'S RESTROOM	EXISTING	EXISTING	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	ACT-2
011	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	PT-1, EXISTING TL	ACT-2
012	ELEVATOR LOBBY	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
012A	JANITOR	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
012B	ELEC / MECH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
013	FITNESS ROOM	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
014	FITNESS CLASS ROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
014A	MEN'S RESTROOM	EXISTING	EXISTING	PT-1	EXISTING TL	PT-1	PT-1	PT-2
014B	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	EXISTING TL	PT-2
014C	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
015	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
016	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
016A	OFFICE	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
017	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
018	STAIR # 1	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
018A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
019	STAIR # 2	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
020	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
021	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
022	STAIR # 3	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
022A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
023	STAIR # 4	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
024	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
025	STAIR # 5	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
026	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
027	STAIR # 7	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
028	STAIR # 8	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
029	TENANT LAUNDRY PREP	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	EXISTING
029A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
030	TENANT LAUNDRY	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	EXISTING
031	BICYCLE PARKING II	PC-1	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
031A	BOILER	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
032	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
033	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
034	SWIMMING POOL DECK	EXISTING	EXISTING	PT-4a	PT-4a	PT-4a	PT-4a	PT-2a
034B	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
034C	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
035	STAIR # 9	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
036	STAIR # 10	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
036A	SPRINKLER	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
037	VESTIBULE	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
038	GALLERY	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
039	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
040	MECHANICAL / STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
041	STAIR # 11	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
042	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
043	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
044	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
045	ELEVATOR LOBBY	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
046	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
047	MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
048	CO-WORKING/ MEETING	CPT-3	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
049	MEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
050	WOMEN'S RESTROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
051	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
052	STAIR # 2	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
052A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
053	STAIR # 3	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	EXISTING
054	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
055	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, ACT-2
056	STAIR # 4	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
056A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
057	STAIR # 5	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
057A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
058	CORRIDOR	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
059	STAIR # 6	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
060	CORRIDOR	REF A-711	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
061	STAIR # 7	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
061A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
062	STAIR # 8	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
062A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
063	TENANT STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
064	TENANT LAUNDRY II	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
065	PROPERTY MAINTENANCE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
066	STAIR # 9	CPT-1	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
066A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
067	STAIR # 10	CPT-1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2, EXISTING ACT
067A	STOR / ELEC / IT	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING

ELEVATOR CAB FINISH NOTE: REPLACE FLOORING AND SIDE PANELS; ADD MATCHING HANDRAILS ON THE OTHER 2 SIDES OF THE CAB. CLEAN AND POLISH EXISTING STEEL SURFACES AND DOORS. THOROUGHLY CLEAN CEILING.

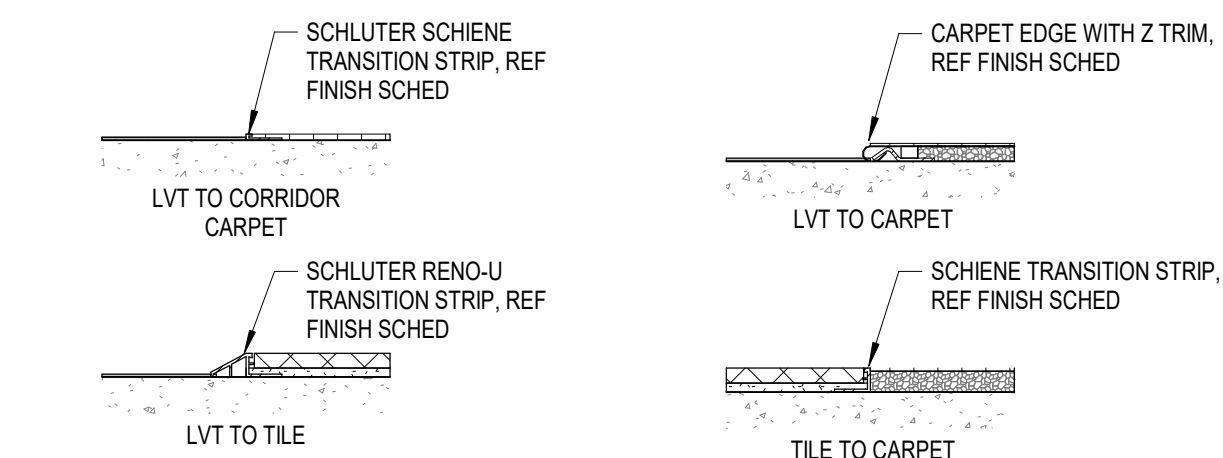
POOL DECK FINISH NOTE: SHOULD THE OWNER DECIDE TO BACKFILL EXISTING SWIMMING POOL AND HOT TUB, THEY SHALL GIVE DIRECTION ON NEW FLOORING FINISHES.

TYPICAL UNIT FINISH SCHEDULE

ROOM NAME	FLOOR		WALLS				CEILING FINISH
	FINISH	BASE	NORTH	EAST	SOUTH	WEST	
STUDIO - I (TYPICAL)	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - II	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - III	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
1 BEDROOM - TYPICAL	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - ACCESSIBLE - TYPE A (I & II)	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
1 BEDROOM - ACCESSIBLE - TYPE A	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
STUDIO - ACCESSIBLE - TYPE B	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2
1 BEDROOM - ACCESSIBLE - TYPE B	LVT - 1	WB-1	PT-1	PT-1	PT-1	PT-1	PT-2
BATHROOM	EXISTING	EXISTING	PT-1	PT-1	PT-1	PT-1	PT-2

NOTES:

- REF ENLARGED UNIT PLANS FOR UNIT TYPES / ENLARGED UNIT FLOOR PLANS, FLOOR TRANSITIONS AND EXTENT OF WORK FOR FLOORING.
- BATHROOM ROW IN SCHEDULE CORRESPONDS WITH THE UNIT DIRECTLY ABOVE IT.
- OWNER TO DETERMINE FINAL FINISH COLOR PALETTE. REF FINISH PALETTE OPTIONS (IF APPLICABLE). GC TO COORDINATE & CONFIRM WITH OWNER.



TRANSITION NOTES:
-FINISH THICKNESS TO BE VERIFIED WITH OWNER SELECTION.
-TRANSITION BETWEEN FLOOR FINISHES SHALL BE LESS THAN OR EQUAL 1/4"

FINISH FLOOR TRANSITIONS

FINISH LEGEND

		<div>PAINT</div>				<div>FLOORING</div>				<div>CEILING</div>	
TYPICAL DWELLING UNIT COLORS	INTERIOR		EXTERIOR (REF EXTERIOR ELEVATIONS)		CARPET		TILE		ACT-1		
	PT-1	DESCR: WALL PAINT MFR: SHERWIN WILLIAMS COLOR: AGREEABLE GRAY NUMBER: SW7029 FINISH: EGGSHELL	EPT-1	DESCR: EXTERIOR FIELD PAINT USES: MAIN WALLS (EIFS / MASONRY / FIBER CEMENT) MFR: SHERWIN WILLIAMS COLOR: AGREEABLE GRAY NUMBER: SW7029 MODEL: LOXON SELF-CLEANING ACRYLIC (OR SIMILAR) FINISHES: FLAT / SATIN	CPT-1	DESCR: UNIT CORRIDOR FIELD CARPET MFR: MOHAWK GROUP MODEL: WHIP STITCH QS BC376 COLOR: WRAPPED SHIBORI 983 SIZE: 12FT BACKING: WELDLOK UNIBOND PLUS ADHESIVE: NUBROADLOK PREMIUM	TL-1	PORCELAIN FLOOR TILE MFR: DALTILE MODEL: SADDLE BROOK XT COLOR AND NO: WALNUT CREEK XT SD85 SIZE: 6X36 INSTALL: STAGGER	MFR: USG CEILING MODEL: RADAR HIGH NRC EDGE: TEGULAR SIZE: 2X2 COLOR AND NO: TBD OR EQUAL		
	PT-2	DESCR: CEILING PAINT MFR: SHERWIN WILLIAMS COLOR: PURE WHITE NUMBER: SW7005 FINISH: EGGSHELL			CPT-2	UNIT CORRIDOR ACCENT CARPET MFR: MOHAWK GROUP MODEL: NEW BASICS III 26 BC399 COLOR: ONYX 989 SIZE: 12FT BACKING: UNIBOND PLUS ADHESIVE: NUBROADLOK PREMIUM	TL-2	PORCELAIN FLOOR TILE MFR: DALTILE MODEL: LINDEN POINT COLOR AND NO: GRIGIO LP21 FINISH: MATTE SIZE: 12X24 INSTALL: STAGGER	ACT-1a	2X2 ACOUSTIC CEILING TILE (ALTERNATE) MFR: USG CEILING MODEL: FROST EDGE: TEGULAR SIZE: 2X2X3/4 COLOR AND NO: TBD OR EQUAL	
	PT-2a	DESCR: CEILING / STRUCTURE PAINT - SWIMMING POOL MFR: SHERWIN WILLIAMS COLOR: PURE WHITE NUMBER: SW7005 FINISH: EPOXY-BASED	EPT-1a	DESCR: EXTERIOR FIELD PAINT USES: DOORS, MECH / LOUVERS (METALS) MFR: SHERWIN WILLIAMS COLOR: AGREEABLE GRAY NUMBER: SW7029 MODEL: RESILIENCE EXTERIOR ACRYLIC LATEX (OR SIMILAR) FINISHES: FLAT / SATIN / GLOSS	CPT-3	CARPET TILE - AMENITY SPACES, PUBLIC CORRIDORS MFR: J+J FLOORING (KINETEX) MODEL: NETWORK DEMI-PLANK COLOR AND NO: TBD SIZE: 12"X48" INSTALL: ASHLAR GLUE DOWN	TL-3	PORCELAIN WALL TILE MFR: DALTILE MODEL: LINDEN POINT COLOR AND NO: GRIGIO LP21 FINISH: MATTE SIZE: 10X14 INSTALL: STACK BOND	ACT-2	EXISTING GRID AND TILE TO REMAIN; CLEAN THOROUGHLY. REPAIR / REPLACE TILES AND GRID WITH MATCHING AS NECESSARY.	
	PT-3	DESCR: DOOR PAINT/TRIM MFR: SHERWIN WILLIAMS COLOR: SPALDING GRAY NUMBER: SW6074 FINISH: EGGSHELL NOTE: ALSO USE FOR UNIT CABINETRY IF APPLICABLE. GC TO CONFIRM CABINETRY FINISH / MATERIAL WITH OWNER.	EPT-2	DESCR: EXTERIOR FIELD PAINT USES: ACCENT, FASCIAS, FENCE (EIFS / MASONRY, FIBER CEMENT / WOOD) MFR: SHERWIN WILLIAMS COLOR: REQUISITE GRAY NUMBER: SW7023 MODEL: LOXON SELF-CLEANING ACRYLIC (OR SIMILAR) FINISHES: FLAT / SATIN	LUXURY VINYL TILE		MILLWORK		LAMINATE		
PT-4	DESCR: WALL PAINT MFR: SHERWIN WILLIAMS COLOR: TBD NUMBER: TBD FINISH: TBD	EPT-2a	DESCR: EXTERIOR FIELD PAINT USES: PTAC GRILLES, DOORS (METALS) MFR: SHERWIN WILLIAMS COLOR: REQUISITE GRAY NUMBER: SW7023 MODEL: RESILIENCE EXTERIOR ACRYLIC LATEX (OR SIMILAR) FINISHES: FLAT / SATIN / GLOSS	LVT-1	LUXURY VINYL TILE MFR: SHAW FLOORS MODEL: ENDURA PLUS COLOR: SILVER DOLLAR 01055 SIZE: 7"X48" WEAR LAYER: 12MIL INSTALL: 1/3 STAGGER - FLOATING	WB-1	RUBBER WALL BASE MFR: JOHNSONITE COLOR: MOON ROCK SIZE: 4" HIGH W/ TOE KICK	PL-1	PLASTIC LAMINATE CABINETS MFR: WILSONART COLOR: FLORENCE WALNUT NUMBER: 7993-38 FINISH: FINE VELVET FINISH		
PT-4a	DESCR: WALL PAINT - SWIMMING POOL MFR: SHERWIN WILLIAMS COLOR: TBD NUMBER: TBD FINISH: EPOXY-BASED				CONCRETE	WB-2	TILE WALL BASE MFR: DALTILE MODEL: LINDEN POINT WALL BULLNOSE S-4310 COLOR AND NO: GRIGIO LP21 SIZE: 3X10	PL-2	PLASTIC LAMINATE COUNTERS MFR: PIONITE COLOR: ROCK OF AGES NUMBER: AW141 FINISH: SUEDE		
						FLOOR TRANSITIONS		METALS			
						FT-1		ALUMINUM STOREFRONT / DOOR FRAMES			
						TYP. FLOORING TRANSITION MFR: SCHLUTER SYSTEMS TYPE: SCHIENE FINISH: ANODIZED ALUMINUM NOTES: REF ENLARGED PLANS FOR LOCATIONS		AL-1			
								DESCR: ALUMINUM FRAMES / DOORS TYPE: ANODIZED ALUMINUM COLOR: MATCH EXISTING (DARK BRONZE OR EQUAL)			

GENERAL:

CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS,STREETS,WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.

ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.

UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS, WISCONSIN DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS AND WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND/OR THE APPROPRIATE LOCAL AUTHORITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, AND TAP FEES, ETC.

ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.

RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.

NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

DIGGERS HOTLINE:

ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) AND CALL "DIGGERS HOTLINE" AT 1-800-242-8511.

EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SITE WORK AND GRADING:

ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS AND CURB RAMPS SHALL COMPLY WITH THE AMERICAN DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE INTERIM FINAL RULES FOR PUBLIC RIGHT-OF-WAY, PUBLISHED IN THE FEDERAL REGISTER, SEPTEMBER 2010. WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THIS ACT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THE ADA WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THE GUIDELINES OF THE ADA, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
RAMP SLOPES SHALL NOT EXCEED 1:12
GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE

FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.

GEOTECHNICAL:

NONE PROVIDED

SURVEY:

EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY D'ONOFRIO KOTTKE AND ASSOCIATES, DATED JUNE 28, 2022.

LEGAL DESCRIPTION:

LOTS 1, 2 AND 3 OF CERTIFIED SURVEY MAP NO. 8901 RECORDED IN VOL. 49 OF CERTIFIED SURVEY MAPS, ON PAGES 259-262, AS DOCUMENT NO 2965461, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

THIS DESCRIPTION DESCRIBES ALL THE LAND DESCRIBED IN THE TITLE COMMITMENT IDENTIFIED AS FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 2121927 BEARING AN EFFECTIVE DATE OF JANUARY 20, 2022.

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR	MAG NAIL IN CONCRETE
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

EROSION CONTROL NOTES:

ALL EROSION CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND CITY OF MADISON STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, AND FOR CLEANING OF VEHICLE WHEELS IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS AND SPECIFICATIONS.

SILT FENCES: PLACEMENT OF SILT FENCES SHALL BE AS SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN. FENCING WHICH BECOMES DAMAGED SHALL BE REPLACED PROMPTLY. DEPOSITS OF SILT WHICH BUILD UP BEHIND DIKES MAY BE DISKED INTO THE SITE BEFORE PLACEMENT OF TEMPORARY COVER. AFTER TEMPORARY COVER IS PLACED OR AFTER LANDSCAPING COMMENCES, SILT SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.

TEMPORARY EROSION CONTROL:

ALL DISTURBED EARTH SURFACES WHICH ARE NOT PAVED OR BUILDING PADS SHALL BE LANDSCAPED OR REVEGETATED WITH A TEMPORARY COVER, DEPENDING ON THE PLANTING SEASON, AS OUTLINED BELOW.

SPECIES	LBS/ACRE	PERCENT PURITY
OATS ¹	131	98
CEREAL RYE ²	131	97
WINTER WHEAT ²	131	95
ANNUAL RYEGRASS ²	80	95

¹SPRING AND SUMMER SEEDING
²FALL SEEDING

PRIOR TO SEEDING, NEEDED EROSION CONTROL PRACTICES SHALL BE INSTALLED.

THE SUBGRADE SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND 10-20-10 FERTILIZER (10 LBS. PER 1000 SQ. FT. OR 450 LBS. PER ACRE) SHALL BE MIXED WITH THE LOOSENED SOIL BY DISKING OR OTHER SUITABLE MEANS.

SOIL SHALL BE TESTED AND LIME TREATED IF REQUIRED BY TESTING FIRM.

SEEDS MAY BE DRILLED OR BROADCAST UNIFORMLY.

SEEDING IMPLEMENTS SHOULD BE USED AT RIGHT ANGLES TO THE SLOPE TO MINIMIZE EROSION.

MULCH SHALL BE USED ON ALL SLOPES GREATER THAN 5 PERCENT OR AS NEEDED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL THE PLANTS EXCEED 1 INCH IN HEIGHT.

AS-BUILTS:

THE CONTRACTOR SHALL KEEP ON SITE A CURRENT SET OF THE APPROVED CONSTRUCTION WORKING DRAWINGS AT ALL TIMES. THE CONTRACTOR SHALL MARK (IN RED INK) ALL APPROVED CHANGES INCURRED FOLLOWING PUBLIC WORKS DEPARTMENT APPROVAL OF THE INITIAL DRAWINGS. THESE CHANGES MAY BE INITIATED FROM FIELD CONDITIONS OR CHANGES MADE BY THE DESIGN ENGINEER OR THE PUBLIC WORKS ENGINEER. EXCEPT FOR MINOR FIELD ADJUSTMENTS, ALL CHANGES SHALL BE REVIEWED AND AGREED TO BY THE DESIGN ENGINEER AND THE PUBLIC WORKS ENGINEER PRIOR TO FINAL APPROVAL OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT THE WORKING DRAWINGS TO THE ENGINEER OF RECORD (DESIGN ENGINEER) AFTER FINAL INSPECTION OF PROJECT TO SERVE AS A BASIS FOR DEVELOPMENT OF FINAL AS-BUILT RECORD DRAWINGS.

PERMANENT EROSION CONTROL PRACTICES:

BERMUDA GRASS SOLID SLAB SOD OR SEEDING SHALL BE USED ON THIS PROJECT IN ALL DISTURBED AREAS.

SOIL SHALL BE LOOSENED EVENLY TO A DEPTH OF 2 TO 3 INCHES AND FERTILIZER SHALL BE MIXED WITH THE LOOSENED SURFACE SOIL BY DISKING OR OTHER SUITABLE MEANS.

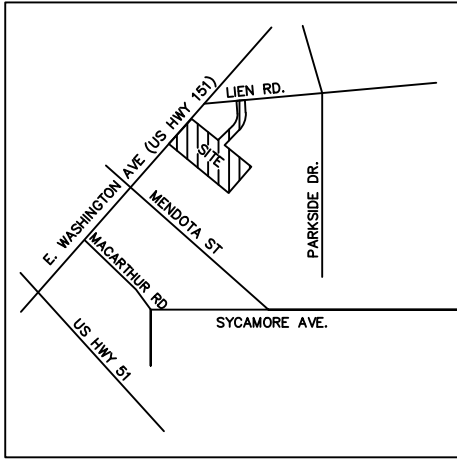
SOIL SHALL BE TESTED FOR pH AND SHALL BE TREATED WITH LIME AS REQUIRED.

THE AREA SHALL BE WATERED DAILY OR AS OFTEN AS NECESSARY TO MAINTAIN ADEQUATE SOIL MOISTURE UNTIL FINAL ACCEPTANCE OR ONE MONTH.

SODDED AND SEEDED AREAS SHALL BE PREPARED AND PLACED IN ACCORDANCE WITH CITY OF MADISON SPECIFICATIONS. SEED SLOPES LESS THAN 5%. SOD SLOPES BETWEEN 5% AND 4:1. STAKE SOD ON SLOPES GREATER THAN 4:1.

CIVIL SHEET INDEX:

C100	GENERAL NOTES
C200	OVERALL SURVEY
C201	ENLARGED SURVEY 1
C202	ENLARGED SURVEY 2
C203	TOPOGRAPHIC SURVEY
C300	OVERALL DEMO AND EROSION CONTROL PLAN
C301	ENLARGED DEMO AND EROSION CONTROL PLAN 1
C302	ENLARGED DEMO AND EROSION CONTROL PLAN 2
C400	OVERALL SITE PLAN
C401	ENLARGED SITE PLAN 1
C402	ENLARGED SITE PLAN 2
C403	FIRE ACCESS PLAN
C500	OVERALL GRADING PLAN
C501	ENLARGED GRADING PLAN 1
C502	ENLARGED GRADING PLAN 2
C600	DETAILS
C601	DETAILS
C700	UTILITY PLAN
L1	CITY LANDSCAPE PLAN



VICINITY MAP
NOT TO SCALE

LEGEND

— 660 —	EXISTING MAJOR CONTOUR	BM	BENCH MARK	OHD	OVERHEAD DOOR
— 662 —	EXISTING MINOR CONTOUR	CO	CLEANOUT	PAVT	PAVEMENT
— 660 —	NEW MAJOR CONTOUR	↓	DOWN GUY	PE	POLYETHYLENE
— 662 —	NEW MINOR CONTOUR	EP	EMERGENCY PHONE	PVC	POLY VINYL CHLORIDE
— X —	FENCE	FO	FIBER OPTIC MANHOLE	R	RADIUS
— T —	TELEPHONE OVERHEAD	FDC	FIRE DEPT CONNECTION	RD	ROOF DRAIN
— FH —	POWER LINE OVERHEAD	FH	FIRE HYDRANT	R/W	RIGHT OF WAY
— G —	GAS LINE	GW	GAS / OIL WELL	RCP	REINF CONCRETE PIPE
— O —	OIL LINE	GM	GAS METER	RJ	RESTRAINED JOINT
— PUG —	POWER UNDERGROUND	LP	LIGHT POLE	SGDI	SINGLE GRATE CURB INLET
— TUG —	TELEPHONE UNDERGROUND	P	POWER MANHOLE	SF	SQUARE FEET
— TVUG —	TV UNDERGROUND	PB	POWER POLE	SJ	SAW JOINT
— W —	WATER LINE	SS	PULL BOX	SY	SQUARE YARDS
— SS —	SANITARY SEWER LINE	ST	SANITARY MANHOLE	TC	TOP OF CURB
— SF —	FLOW LINE DITCH	S	STEAM MANHOLE	TG	TOP OF GRATE
— SF —	SILT FENCE	TJ	STORM MANHOLE	TJ	TOOLED JOINT
		T	TELEPHONE MANHOLE	TOF	TOP OF FOOTING
		TPED	TELEPHONE PEDESTAL	TP	TOP OF PAVEMENT
		XFMR	TRANSFORMER PAD	TR	TOP OF RIM
		VALVE	VALVE	TS	TOP OF STEP
		WH	WATER HYDRANT	TW	TOP OF WALL
		WM	WATER METER	UNO	UNLESS NOTED OTHERWISE
		WELL	WATER WELL		
		LS	LIFT STATION MANHOLE		

NOT FOR
CONSTRUCTION



wallace
design
collective

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RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

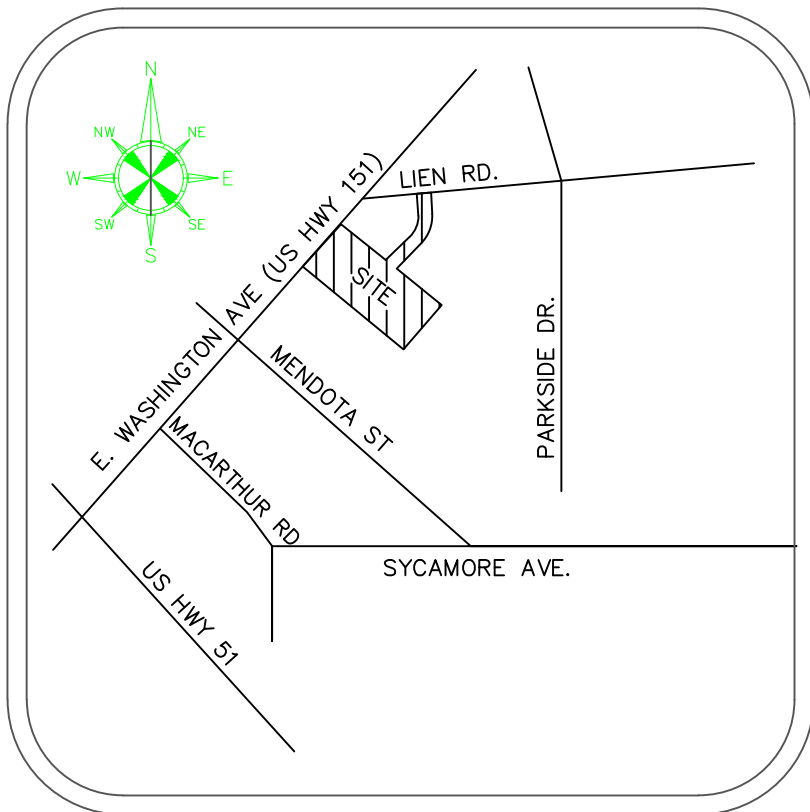
SHEET TITLE
GENERAL
NOTES

PROJECT NUMBER
2280028

SHEET NUMBER
C100

MISCELLANEOUS NOTES

- N1 The basis of bearings of this survey is based on the most Northwesterly lines of Lots 1, 2 and 3, Certified Survey Map Number 8901, City of Madison, Dane County, Wisconsin, recorded May 5, 1998 in Volume 48 of Certified Survey Maps, Page 259, as Document Number 2965461, having a recorded bearing of North 47° 19' 53" West.
- N2 The table below described the type and number of visible striped parking stalls entirely within the property boundary. Stalls that are partially within boundary are listed under the heading "partial". Partial stalls are not counted in total
- | VISIBLE STRIPED PARKING | | | | | |
|-------------------------|----------|---------|--------------------|---------------------|-------|
| REGULAR | HANDICAP | TRAILER | PARTIAL
REGULAR | PARTIAL
HANDICAP | TOTAL |
| 340 | 11 | 0 | 0 | 0 | 351 |
- N3 The subject property contains 325,753 square feet or 7.4783 acres.
- N4 During our field site visit, there was not observable evidence of earth moving work, building construction or building additions within recent months.
- N5 During our field site visit, there was not observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- N6 All measured and recorded bearings and dimensions are the same unless noted otherwise.
- N7 Visible evidence of direct physical access to a dedicated public right of way is observed by the drive entrance to and from Lien Road, as shown hereon.
- N8 There were no changes in street right of way lines either completed or proposed available from the controlling jurisdiction. There was no evidence of recent street or sidewalk construction or repairs.
- N9 This survey was made in accordance with the laws and/or Minimum Standards of the State of Wisconsin.
- N10 There is no visible evidence of cemeteries, individual gravesites or burial grounds on the subject property.
- N11 The building area shown hereon is for the exterior building dimensions at ground level.
- N12 This survey does not constitute a title search by the surveyor to determine ownership or easements of record, rights of way, or title or record. The surveyor has relied upon First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.
- N13 This ALTA/NSPS Land Title Survey, and the information hereon, may not be used for any additional or extended purposes beyond that for which it was intended and may not be used by any parties other than those to which it is certified.
- N14 The property forms a mathematically closed figure without gaps or gores.
- N15 All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, parking, easements, servitudes, and significant observations are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- N16 On the date of this survey, portions of the subject property were covered with up to five inches of snow and ice and plowed snow piles up to four feet in height were observed. Only the above ground improvements visible on the date of this survey are noted hereon.



VICINITY MAP

NOT TO SCALE

SURVEY RELATED ITEMS
CORRESPONDING TO SCHEDULE
B TITLE COMMITMENT

- 16 Public or private rights, if any, in such portion of the land as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. This item is not plotted hereon as it does not affect the subject property.
- 17 A Slope Easement contained in Warranty Deed recorded April 20, 1953 as Document Number 852121. This item is plotted hereon and does affect the subject property.
- 18 Finding, Determination and Declaration by the State Highway Commission of Wisconsin Establishing a Certain Controlled Access Highway in Dane County, Wisconsin recorded February 24, 1956 as Document Number 913143. This item is plotted hereon and does affect the subject property.
- 19 A Sanitary Sewer and Water Main Easement recorded December 11, 1956 as Document Number 930464, Release of Easement recorded August 27, 1998 as Document Number 3012049, and Affidavit of Correction recorded February 18, 2008 as Document Number 4398443. This item is not plotted hereon as it does not affect the subject property.
- 20 Access Restriction set forth in Quit Claim Deed recorded October 3, 1957 as Document Number 946488. This item is plotted hereon and does affect the subject property.
- 21 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998715. This item is plotted hereon and does affect the subject property.
- 22 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716. This item is plotted hereon and does affect the subject property.
- 23A Terms, Provisions and Conditions contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 23B Right of Way Easement contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is plotted hereon and does affect the subject property.
- 23C A Sign Easement contained in Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645. This item is plotted hereon and does affect the subject property.
- 24 A 40.00 foot wide Right of Way Easement contained in Warranty Deed recorded March 23, 1967 as Document Number 1180760. This item is plotted hereon and does affect the subject property.
- 25 An Easement for Sign and Underground Power recorded September 21, 1967 as Document Number 1196055. This item is plotted hereon and does affect the subject property.
- 26 Agreement Regarding Surface Water Drainage recorded April 8, 1968 as Document Number 1210484. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 27 Access Restriction set forth in Instrument recorded April 8, 1968 as Document Number 1210486. This item is plotted hereon and does affect the subject property.
- 28 Easement and Agreement recorded June 4, 1968 as Document Number 1215163 and re-recorded July 10, 1968 as Document Number 1218244. This item is plotted hereon and does affect the subject property.
- 29 A 10.00 foot wide Sanitary Sewer Easement recorded July 29, 1968 as Document Number 1219679. This item is plotted hereon and does affect the subject property.
- 30 A 7.00 foot wide Slope Easement contained in Warranty Deed recorded September 27, 1968 as Document Number 1224536. This item is plotted hereon and does affect the subject property.
- 31A A 30.00 foot wide Cross Easement Agreement recorded September 27, 1968 as Document Number 1224537. This item is plotted hereon and does affect the subject property.
- 31B Supplement to Cross Easement Agreement recorded June 19, 1995 as Document Number 2682865. This item is plotted hereon and does affect the subject property.
- 32A Terms, Provisions and Conditions noted on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 32B A 10.00 foot wide Public Utility Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 32C A 15.00 foot wide Water Service Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 33 A 10.00 foot wide Ameritech General Easement recorded May 18, 1998 as Document Number 2970474. This item is plotted hereon and does affect the subject property.
- 34 Right of Way Grant Underground Electric recorded July 29, 1998 as Document Number 2999728. This item is plotted hereon and does affect the subject property.
- 35 Right of Way Grant Underground Electric recorded June 20, 2005 as Document Number 4068621. This item is plotted hereon and does affect the subject property.

STATEMENT OF ENCROACHMENTS

- E1 A light pole encroaches 0.4 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E2 The concrete curb encroaches from 1.9 to 2.1 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E3 The concrete curb encroaches from 1.5 to 1.8 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E4 The 2 story stucco building encroaches from 8.7 to 9.4 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E5 The 2 story stucco building encroaches from 11.1 to 11.6 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E6 An overhead electric distribution line servicing light poles located on the subject property enters the subject property from adjacent privately owned lands to the North and East.
- E7 Indirect access to East Washington Avenue across the adjacent property to the Southwest, as constructed, requires travel across a portion of said adjacent property to the Southwest which does not appear to be subject to a beneficial ingress and egress easement, as per the subject title commitment.

TITLE LEGAL DESCRIPTION

Lots 1, 2 and 3 of Certified Survey Map No. 8901 recorded in Vol. 49 of Certified Survey Maps, on Pages 259–262, as Document No. 2965461, in the City of Madison, Dane County, Wisconsin.

This description describes all the land described in the title commitment identified as First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.

ALTA/NSPS LAND TITLE SURVEY

FOR

MADISON PLAZA HOTEL

PARTNER PROJECT NUMBER 22–353548.2

ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT, NUMBER 2121927, CONTAINING AN EFFECTIVE DATE OF JANUARY 20, 2022.

CERTIFICATION

To: Repvblik Madison LLC; REPVBLIK AR LLC; Knight Barry Title Services, LLC; First American Title Insurance Company, and Partner Engineering and Science, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16 and 17 of Table A thereof. The field work was completed on February 15, 2022.

David R. Cheney
David Cheney
Wisconsin Registered Land Surveyor
Registration Number S–45
Date of Survey: 2–15–2022
Date of Last Revision: 2–25–2022

PROPERTY ADDRESS: 3841 EAST WASHINGTON AVENUE; MADISON, WI 53714

Survey Prepared By:
Sarko Surveying Inc.
847 County Road JG
Mount Horeb, WI 53572
Phone: 608–832–6428
Fax: 608–848–3859
Email: rsarko@tds.net



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Engineering and Science, Inc.®

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TORRANCE, CA 90501
T 310–615–4500
http://www.partneresi.com

ZONING INFORMATION

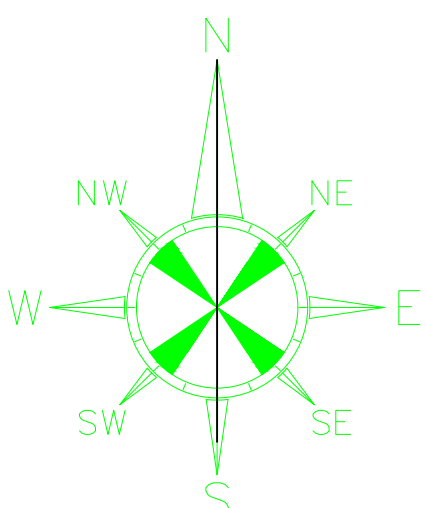
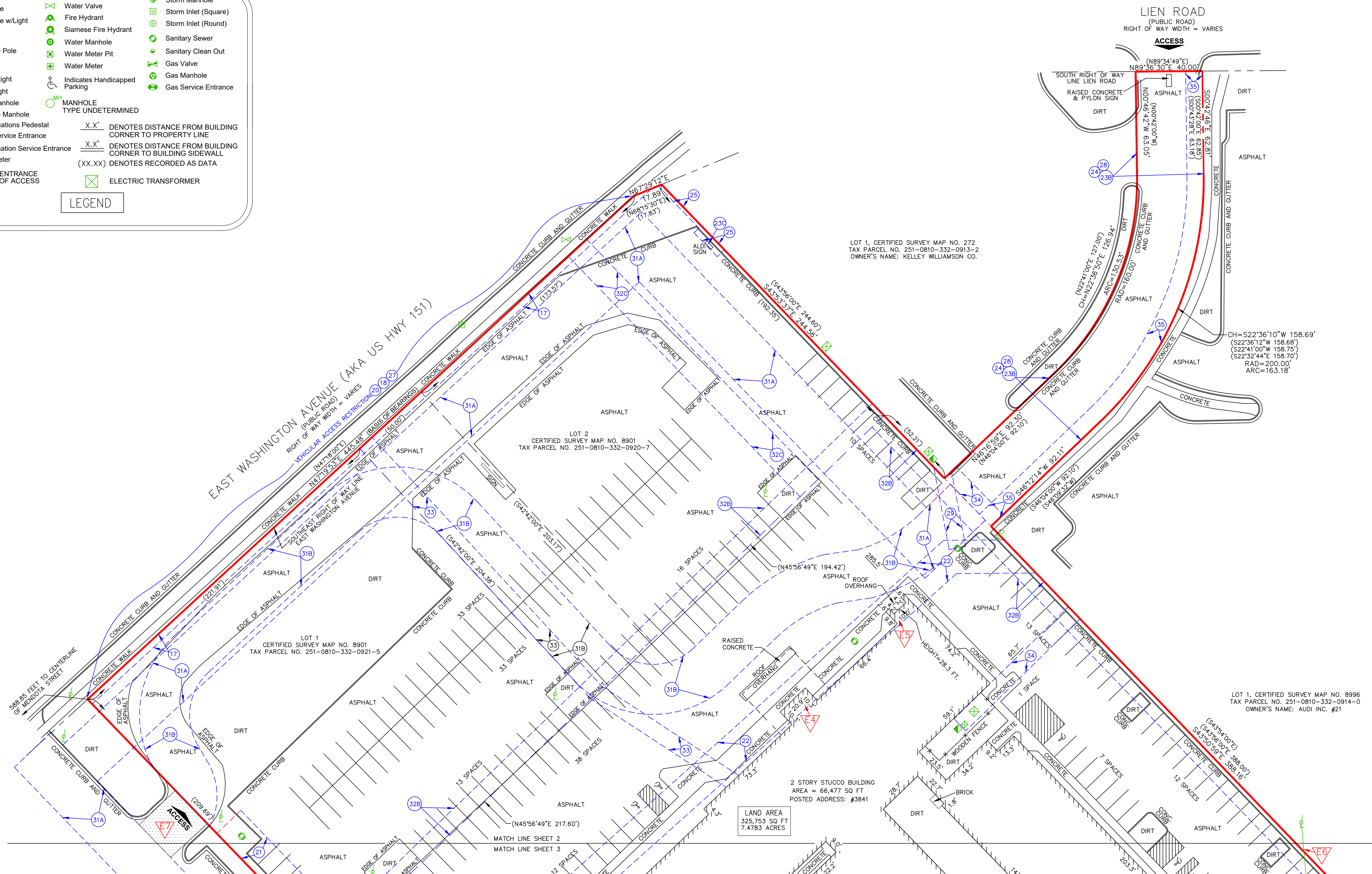
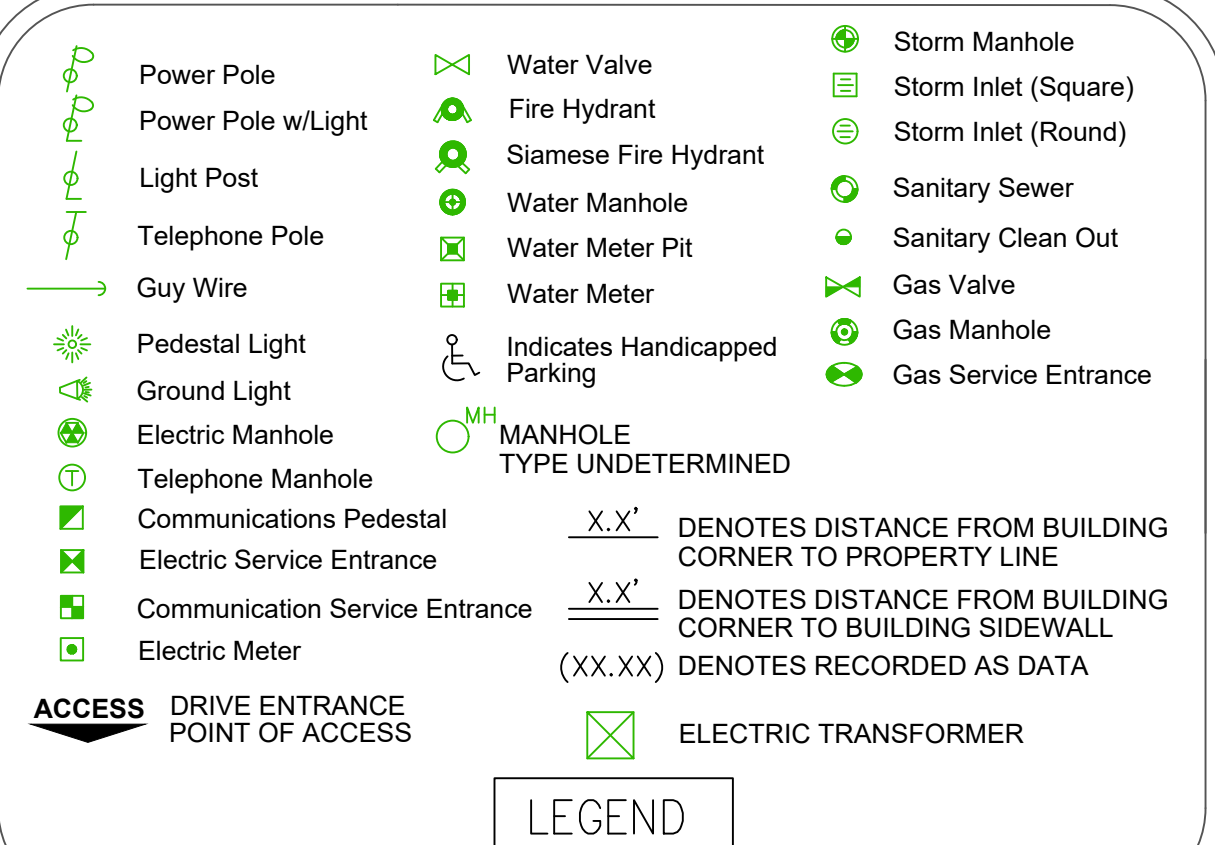
This office has not been provided with the applicable zoning information for the subject property, by the client, pursuant to Table A Items 6(a) and 6(b).

UTILITY NOTE

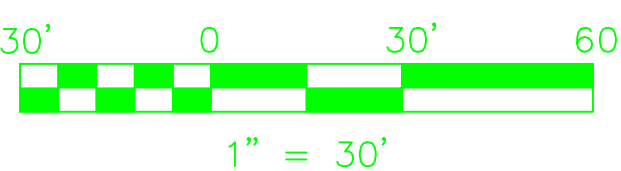
LOCATIONS OF UTILITIES ARE SHOWN HEREON BY OBSERVED ABOVE GROUND EVIDENCE ONLY. SURVEYOR WAS NOT PROVIDED WITH UTILITY PLANS OR MARKINGS TO DETERMINE ANY SUBSURFACE LOCATIONS. THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV

FLOOD ZONE

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES PARTICIPATE IN THE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE X AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 55025C 0427H DATED 9–17–2014 AND IS NOT IN A FLOOD ZONE AREA. THE FLOOD INSURANCE RATE PROGRAM WAS CONTACTED ON 2–2–2022 BY TELEPHONE OR EMAIL (www.fema.gov)



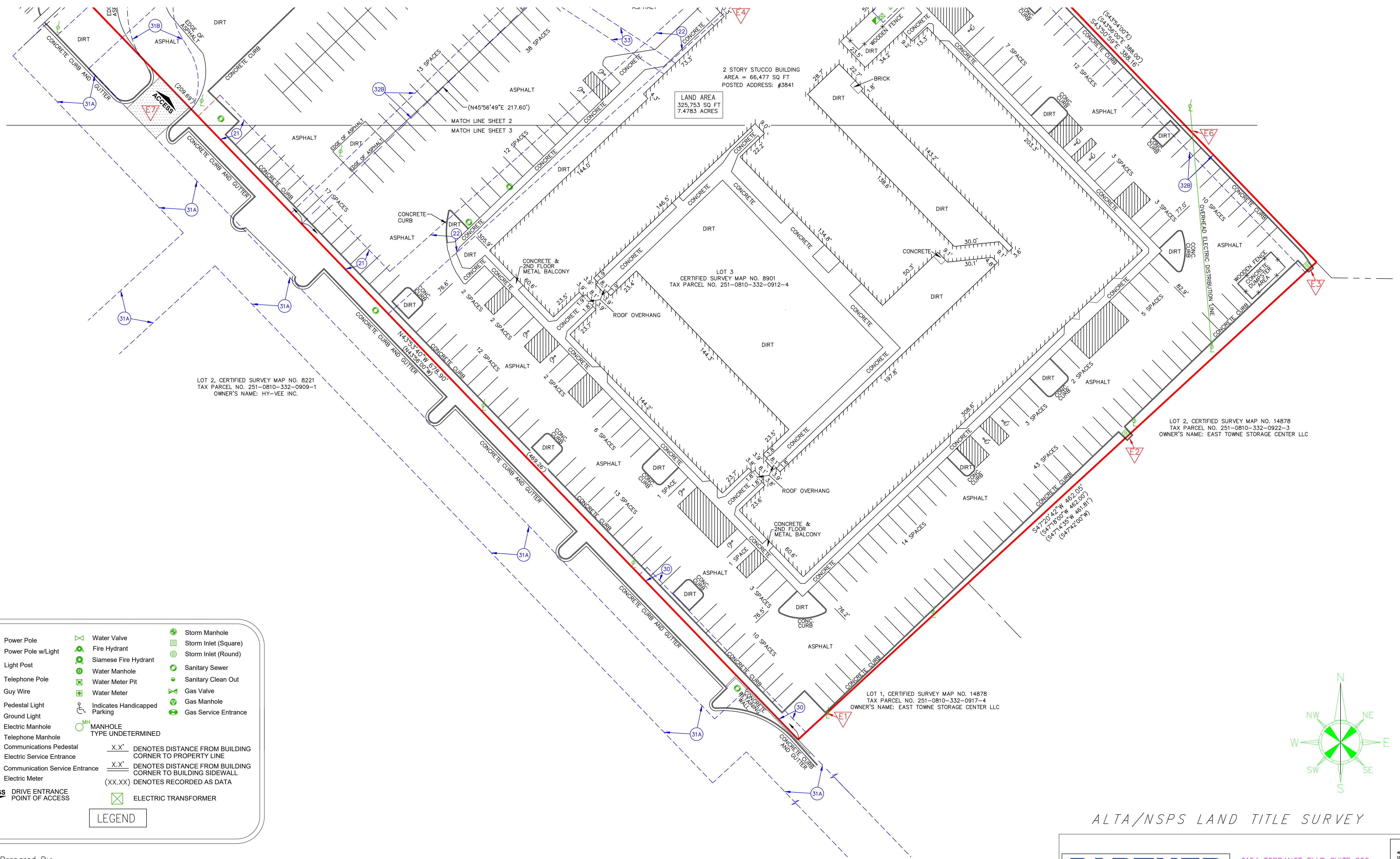
Survey Prepared By:
Sarko Surveying Inc.
 847 County Road JG
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 Phone: 608-832-6428
 Fax: 608-848-3859
 Email: rsarko@tds.net



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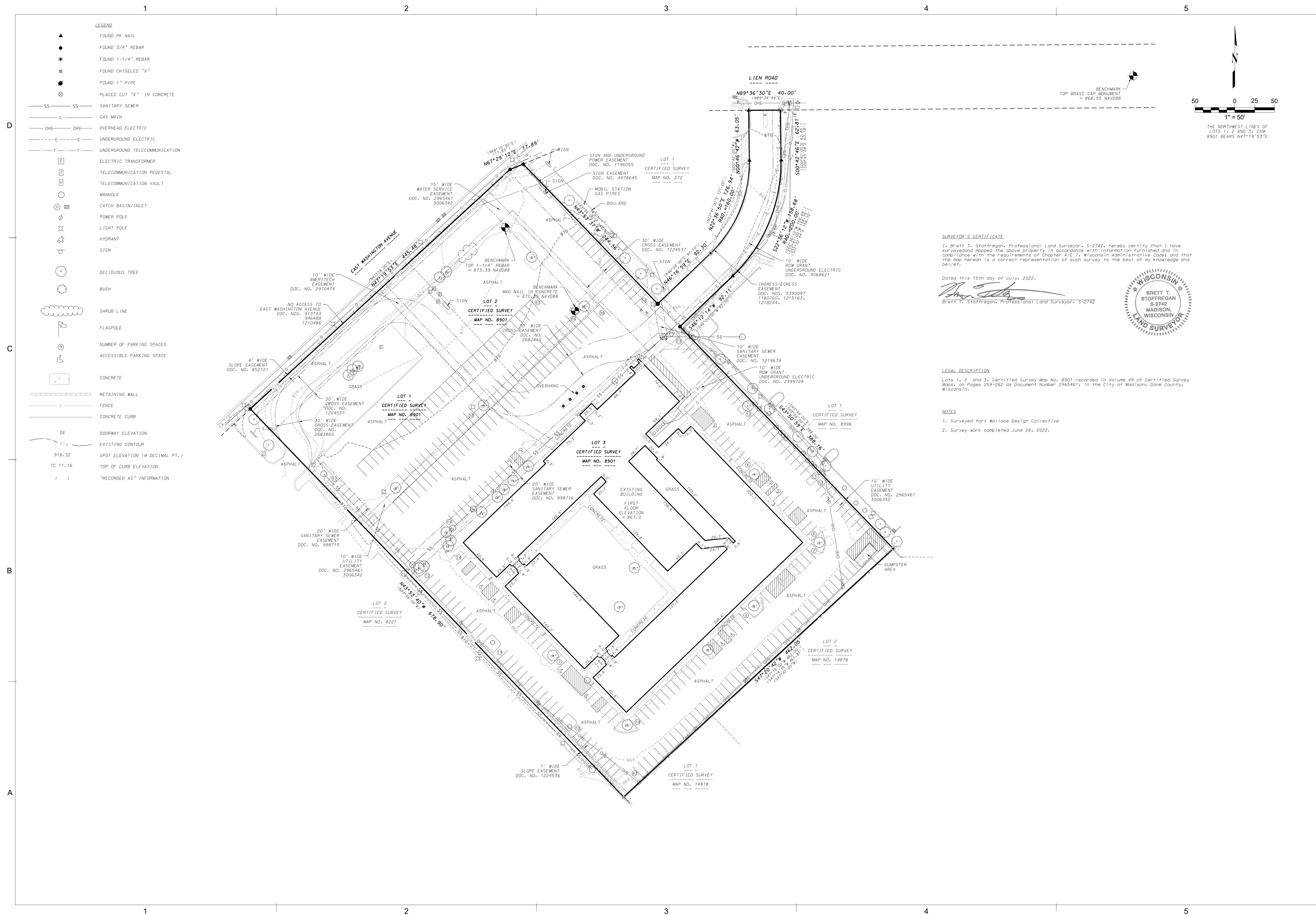


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PROGRESS PRINT

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CONSTRUCTION

DATE: 06/29/2022

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TI'S INC.

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SUBMISSION DATES
PROGRESS PRINT ONLY

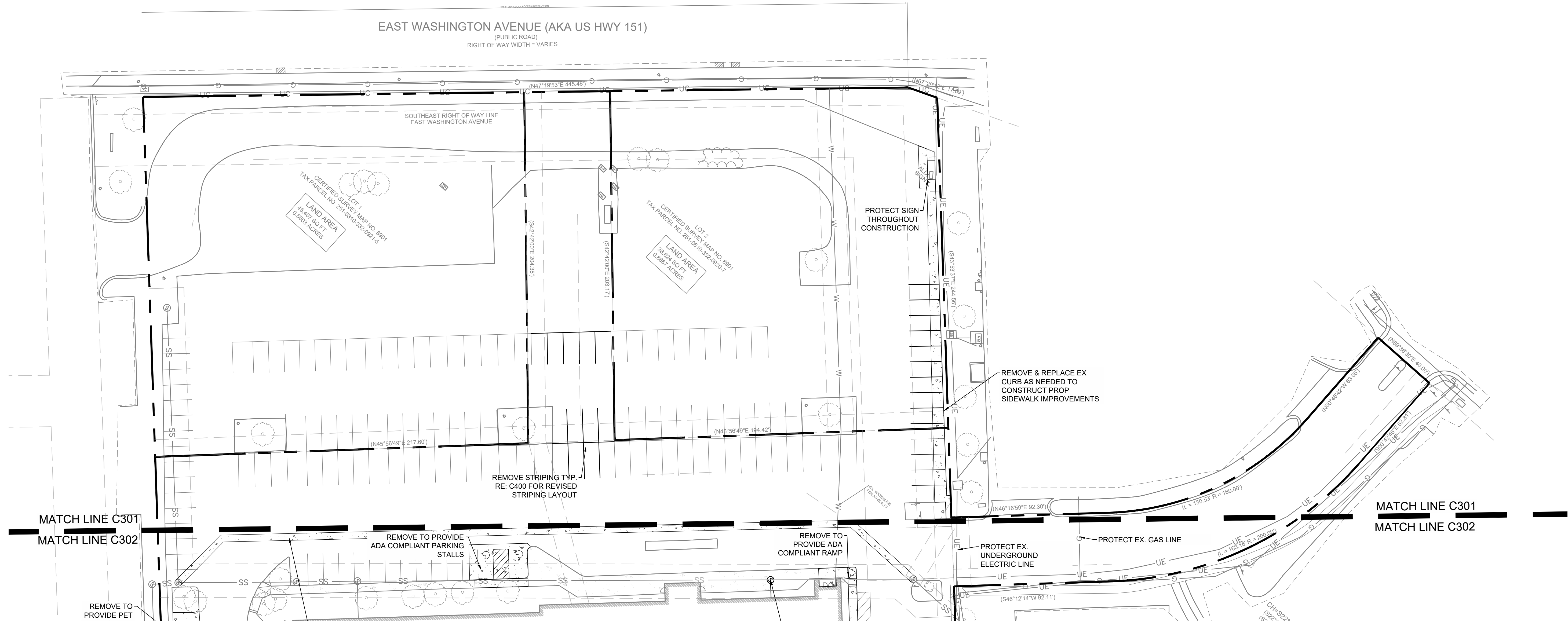
EXISTING

PROJECT NUMBER
2280028

SHEET NUMBER

C203

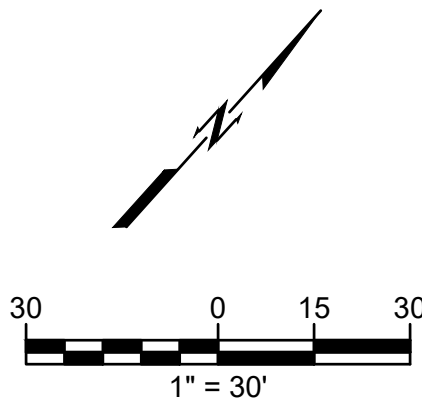
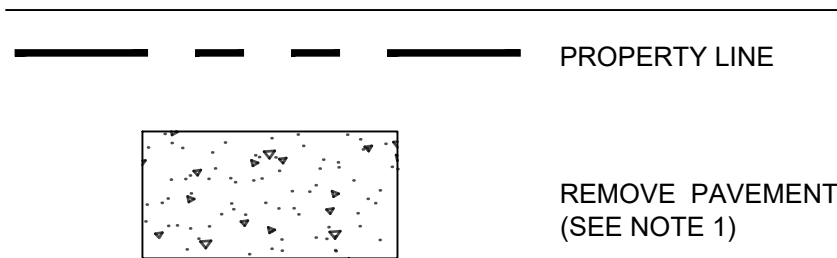
SHEET NUMBER
C300



GENERAL NOTES

1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER SPECIFICATIONS ON THE GENERAL NOTES AND STORMWATER POLLUTION PREVENTION PLAN.
9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

LEGEND



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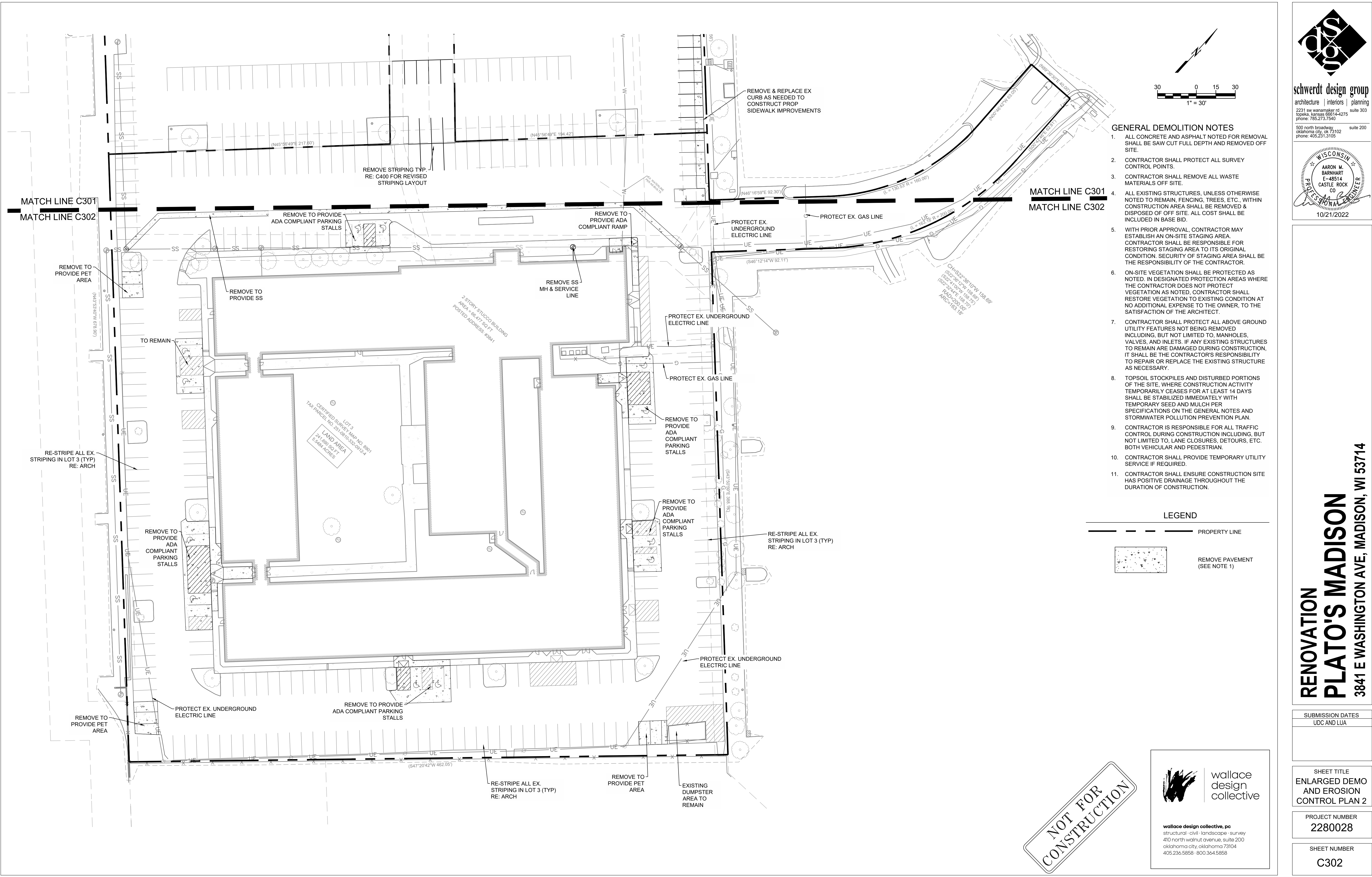
**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
**ENLARGED DEMO
AND EROSION
CONTROL PLAN 1**

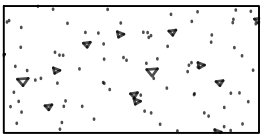
PROJECT NUMBER
2280028

SHEET NUMBER
C301



- GENERAL DEMOLITION NOTES**
1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
 2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
 3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
 4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
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 11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.

LEGEND

- PROPERTY LINE
-  REMOVE PAVEMENT (SEE NOTE 1)



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RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
ENLARGED DEMO
AND EROSION
CONTROL PLAN 2

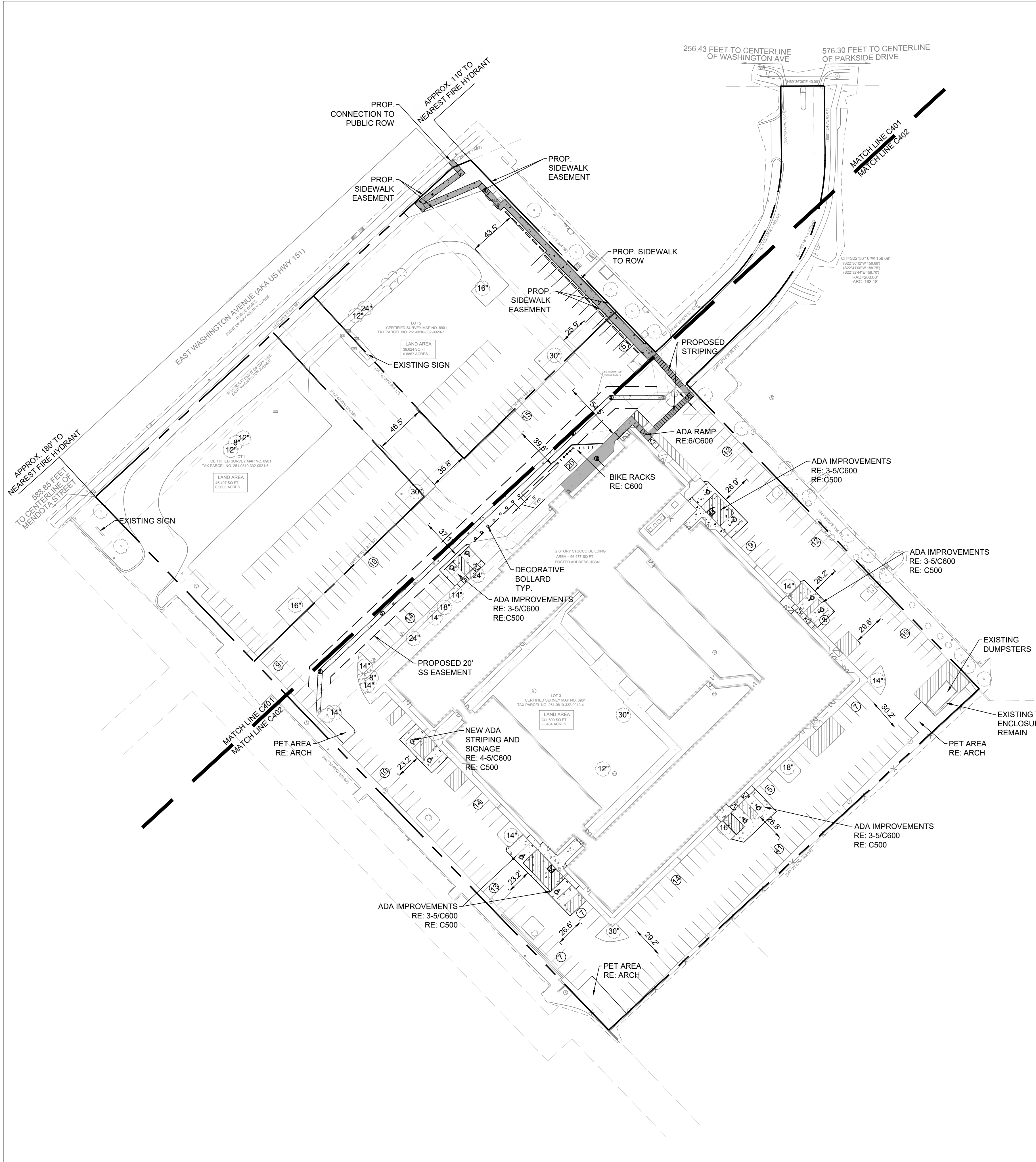
PROJECT NUMBER
2280028

SHEET NUMBER
C302



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500

0

25

50

1" = 50'

LEGEND

PROPERTY LINE

PROP. CONCRETE PAVEMENT

PROP. ACCESSIBLE PATH

#

PARKING COUNT

#

NUMBER OF BICYCLE RACKS

#

TREE DIAMETER IN INCHES

EXISTING PARKING SUMMARY

LOT 1	
PROPOSED STANDARD PARKING	39
EXISTING STANDARD PARKING	39
TOTAL STANDARD PARKING CHANGE	0

LOT 2	
PROPOSED STANDARD PARKING	31
EXISTING STANDARD PARKING	31
TOTAL STANDARD PARKING CHANGE	0

LOT 3	
PROPOSED STANDARD PARKING	219
EXISTING STANDARD PARKING	239
TOTAL STANDARD PARKING CHANGE	-20

ACCESSIBLE

PROPOSED ACCESSIBLE PARKING	12
EXISTING ACCESSIBLE PARKING	12
TOTAL ACCESSIBLE PARKING CHANGE	0

STANDARD

PROPOSED STANDARD PARKING	219
EXISTING STANDARD PARKING	239
TOTAL STANDARD PARKING CHANGE	-20

PROPOSED BICYCLE PARKING SUMMARY

LOT 3	
PROVIDED - EXTERIOR	
2' BIKE RACKS	10
TOTAL BICYCLE SPACES PROVIDED	20
REQUIRED	
TOTAL BICYCLE SPACES REQUIRED:	209
(1 PER DWELLING UNIT)	
(1 PER 10 UNITS FOR GUESTS)	
NOTE: RE: ARCH PLANS FOR INDOOR BIKE RACK LOCATIONS	


GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
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- ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
- RADII = 3'-00" U.N.O.

PROPOSED PARKING SUMMARY	
LOT 1	
PROVIDED	
ACCESSIBLE PARKING	0
STANDARD PARKING (9' X 18')	39
TOTAL PARKING PROVIDED	39
REQUIRED	
TOTAL STANDARD PARKING	N/A
TOTAL ADA PARKING REQUIRED	N/A


LOT 2	
PROVIDED	
ACCESSIBLE PARKING	0
STANDARD PARKING (9' X 18')	31
TOTAL PARKING PROVIDED	31
REQUIRED	
TOTAL STANDARD PARKING	N/A
TOTAL ADA PARKING REQUIRED	N/A

LOT 3	
PROVIDED	
ACCESSIBLE PARKING	12
STANDARD PARKING (9' X 18')	218
TOTAL PARKING PROVIDED	230
REQUIRED	
MINIMUM STANDARD PARKING	0
PER TABLE 28I-2, NO MINIMUM REQUIRED FOR CC-T ZONED PARCELS	
MAXIMUM STANDARD PARKING	387



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PROFESSIONAL ENGINEER

AARON M. BARNHART
E-48514
CASTLE ROCK
CO

10/21/2022

RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES

UDC AND LUA

SHEET TITLE

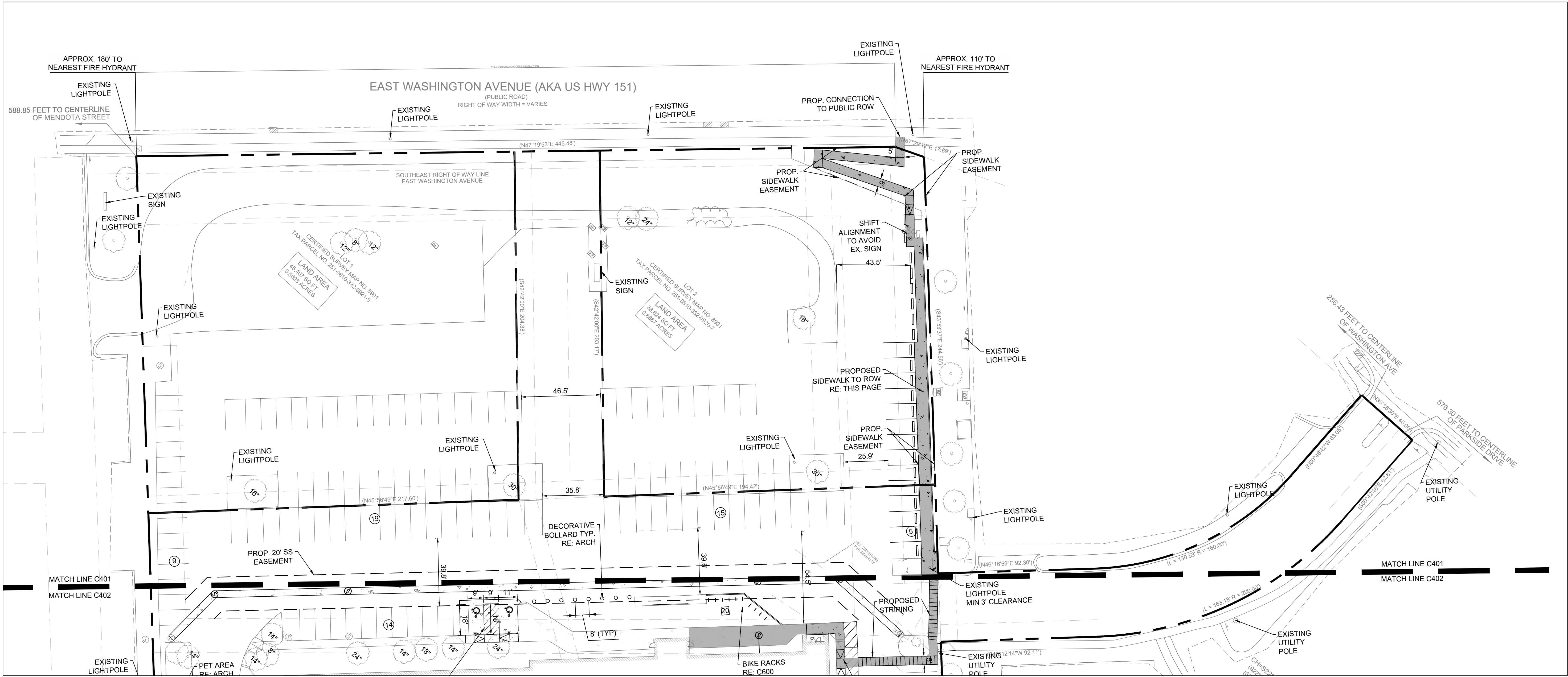
OVERALL SITE PLAN

PROJECT NUMBER

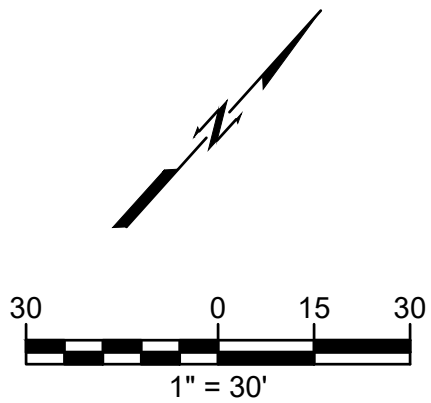
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SHEET NUMBER

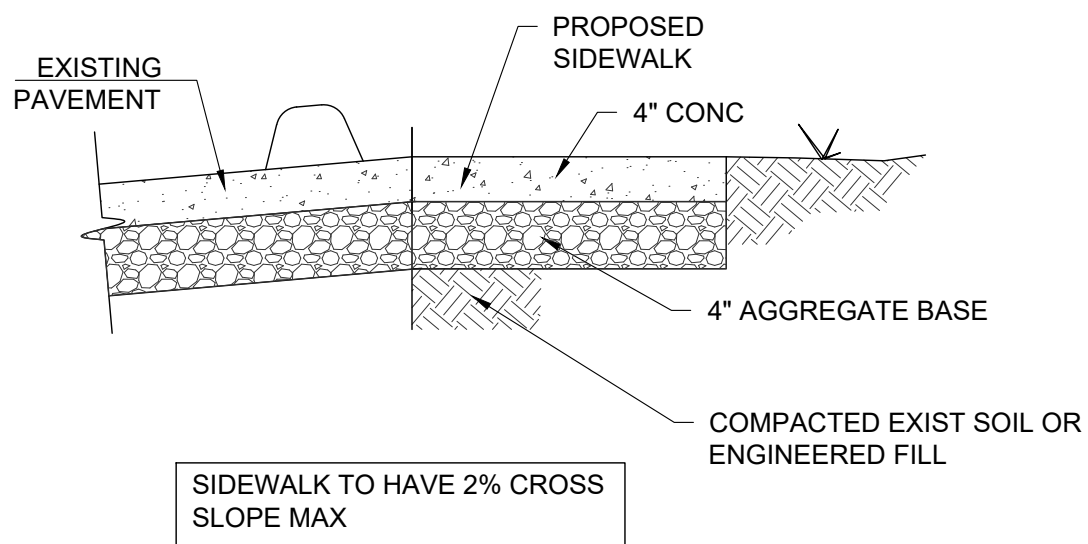
C400



- GENERAL NOTES**
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 - RADII = 3'-00" U.N.O.



LEGEND	
	PROPERTY LINE
	PROP. CONCRETE PAVEMENT
	PROP. ACCESSIBLE PATH
	PARKING COUNT
	NUMBER OF BICYCLE RACKS
	TREE DIAMETER IN INCHES



1 SIDEWALK
SCALE: NTS

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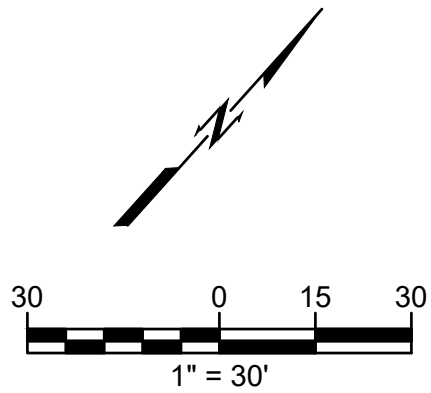
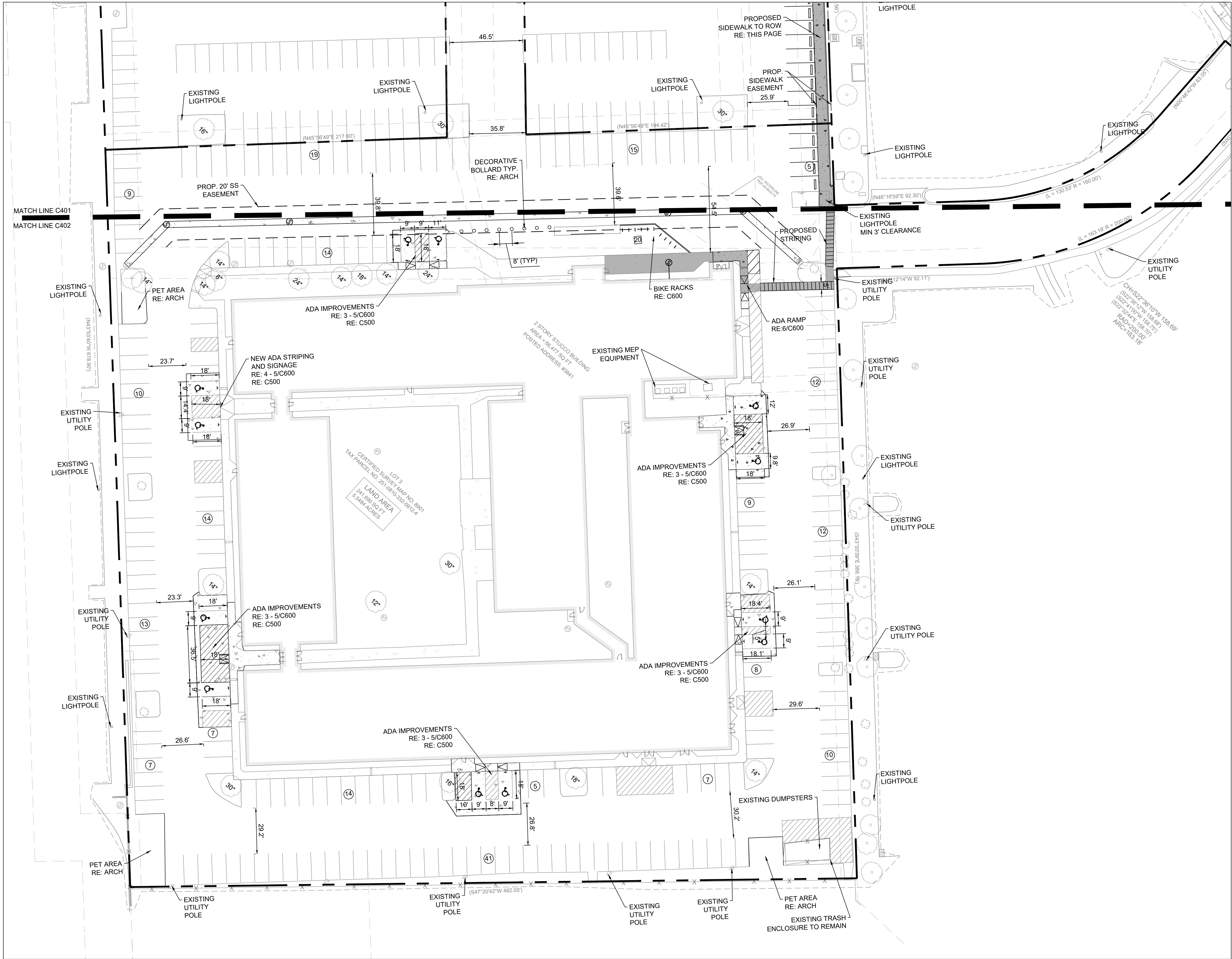
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PROFESSIONAL ENGINEER
10/21/2022

**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES UDC AND LUA
SHEET TITLE ENLARGED SITE PLAN 1
PROJECT NUMBER 2280028
SHEET NUMBER C401



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LEGEND	
	PROPERTY LINE
	PROP. CONCRETE PAVEMENT
	PROP. ACCESSIBLE PATH
	PARKING COUNT
	NUMBER OF BICYCLE RACKS
	TREE DIAMETER IN INCHES

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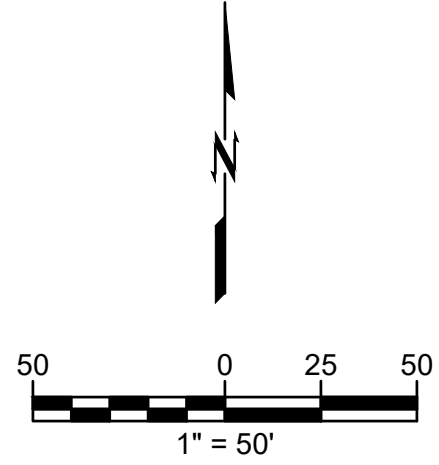
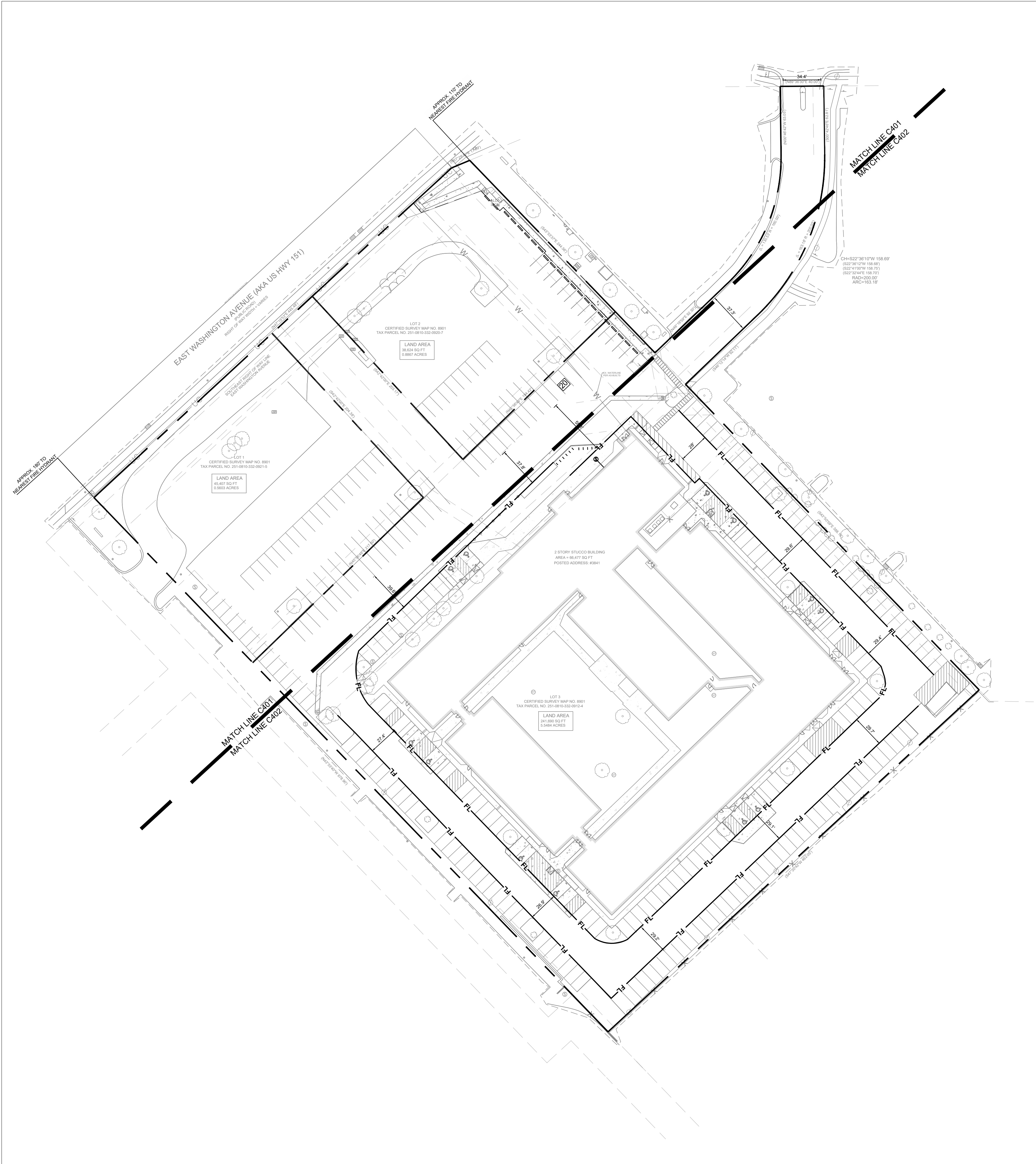
**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
ENLARGED SITE
PLAN 2

PROJECT NUMBER
2280028

SHEET NUMBER
C402



LEGEND

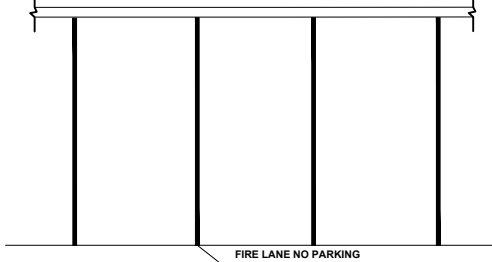
- PROPERTY LINE
- FL FIRE LANE
RE: 1/ THIS SHEET

3" HIGH X 1/2" STROKE REFLECTIVE "WHITE" LETTERS AT
20'-0" O.C. OR AS DIRECTED BY FIRE DEPT. ON SITE AND
AT EACH END TYPICAL ALL FIRE ACCESS LANES ON FACE
OF CURBS

PAINT TOP AND FRONT OF CURBS "RED" TYPICAL

FIRE LANE NO PARKING

NOTE:
1. VERIFY AND COMPLY WITH ALL GOVERNMENTAL REQUIREMENTS.
2. CONFIRM STRIPING WITH FIRE DEPARTMENT PRIOR TO
CONSTRUCTION.



STRIPES AT EDGE OF PARKING
STALL SPACE AT 20'-0" OR
AS DIRECTED BY FIRE DEPT.

CURB SIGN FOR FIRE LANE

CURB SIGN AT EDGE OF PARKING STALL

ALL MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE
WITH SECTION 503.3 AND D103.6 OF THE INTERNATIONAL FIRE CODE.

1 FIRE LANE STRIPING
SCALE: NTS



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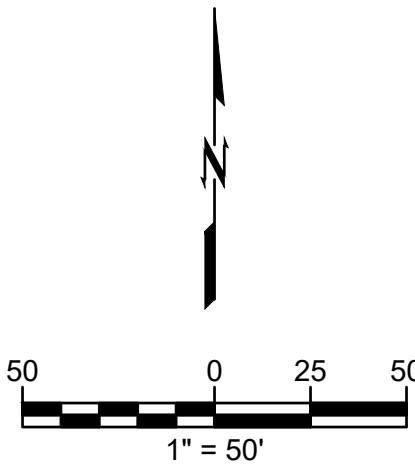
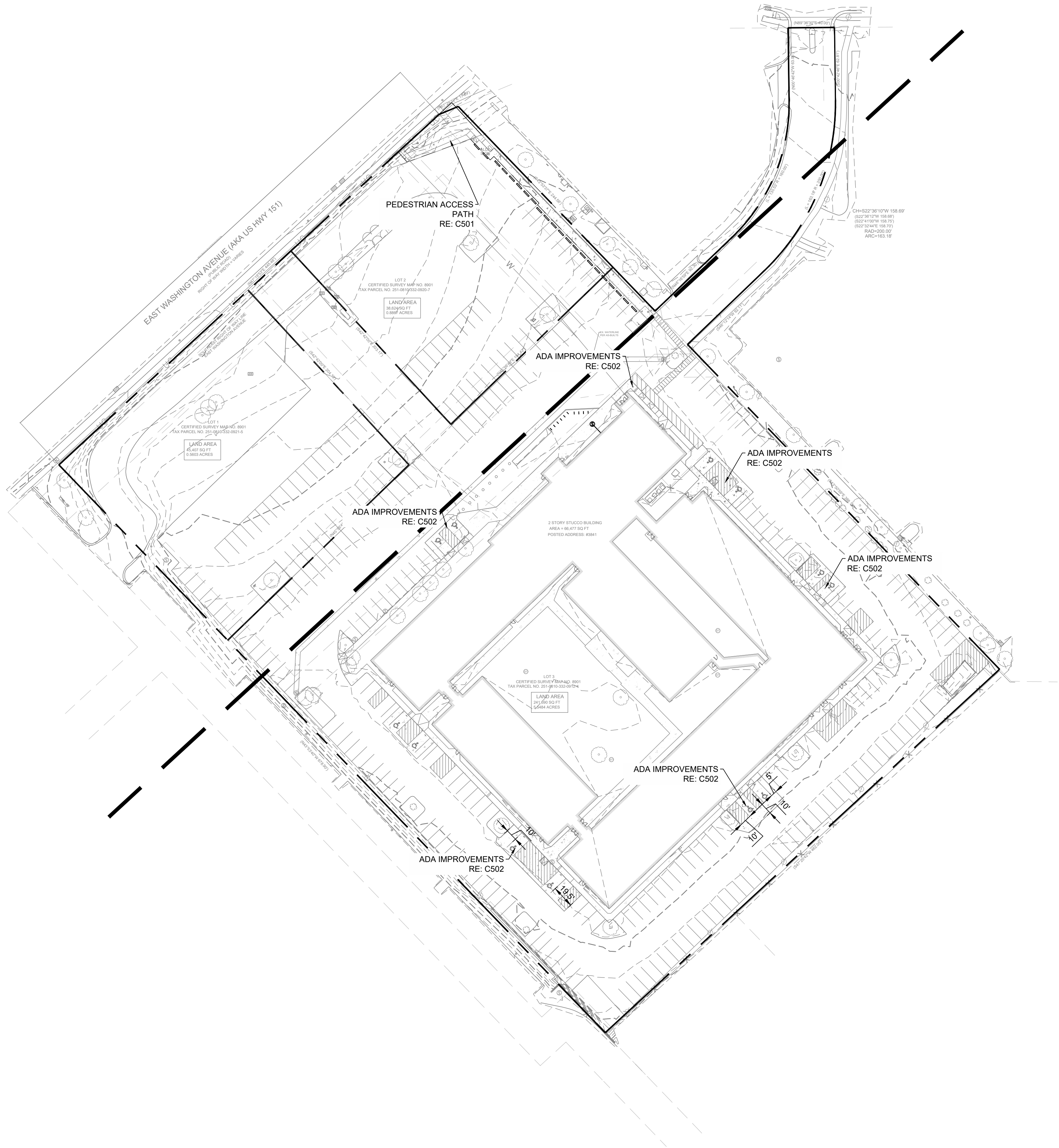
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SUBMISSION DATES
UDC AND LUA

SHEET TITLE
FIRE ACCESS
EXHIBIT

PROJECT NUMBER
2280028

SHEET NUMBER
C403



GENERAL NOTES

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
5. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
6. ALL SIDEWALKS AND RAMPS TO HAVE MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND

---	PROPERTY LINE
- - - - -1200	EXISTING MAJOR CONTOUR
- - - - -1200	EXISTING MINOR CONTOUR
- - - - -1200	PROPOSED MAJOR CONTOUR
- - - - -1200	PROPOSED MAJOR CONTOUR

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR MAG NAIL IN CONCRETE	
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

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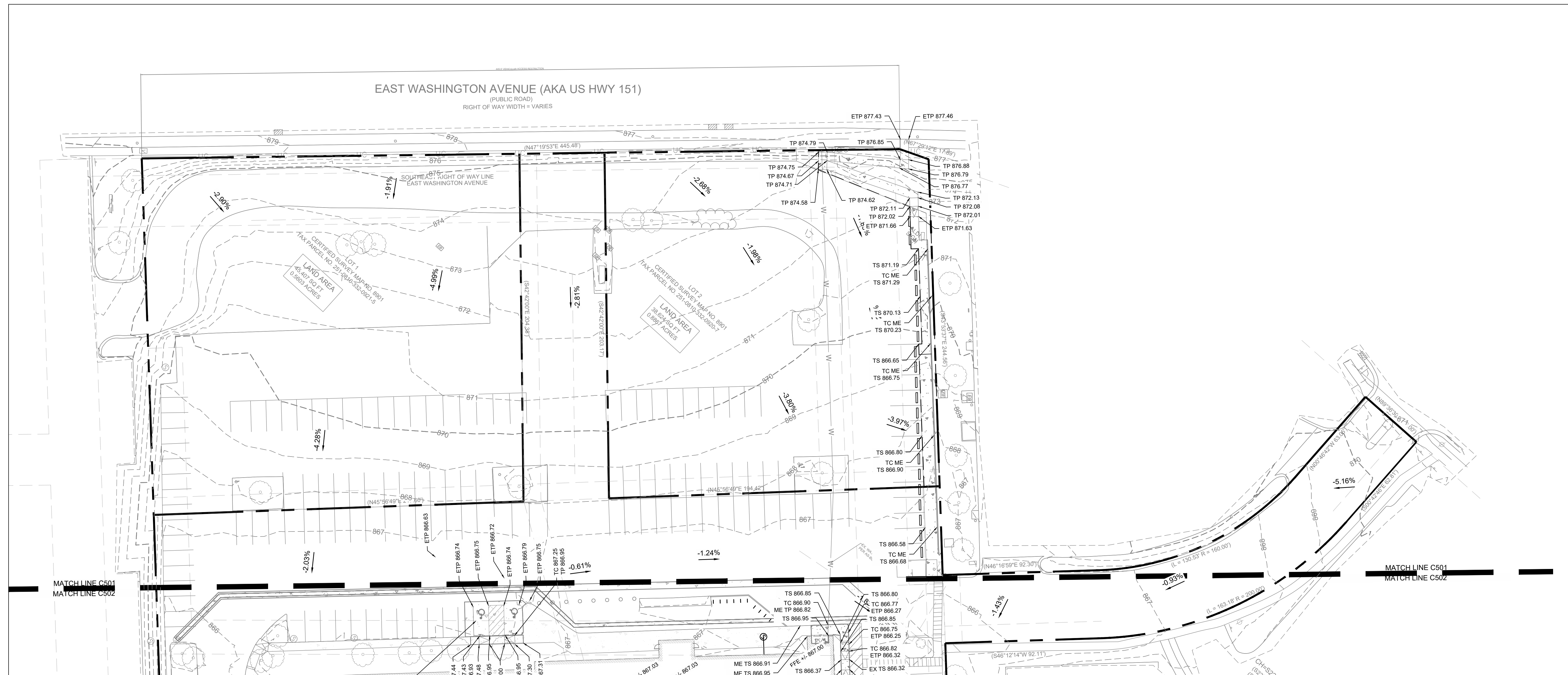
RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
OVERALL
GRADING PLAN

PROJECT NUMBER
2280028

SHEET NUMBER
C500



GENERAL NOTES

1. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
5. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY Dewatering, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
6. ALL SIDEWALKS AND RAMPS TO HAVE MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR	MAG NAIL IN CONCRETE
ELEV: 868.55	ELEV: 876.39	ELEV: 870.35

LEGEND

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR

PROPERTY LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED MAJOR CONTOUR
PROPOSED MAJOR CONTOUR

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10/21/2022

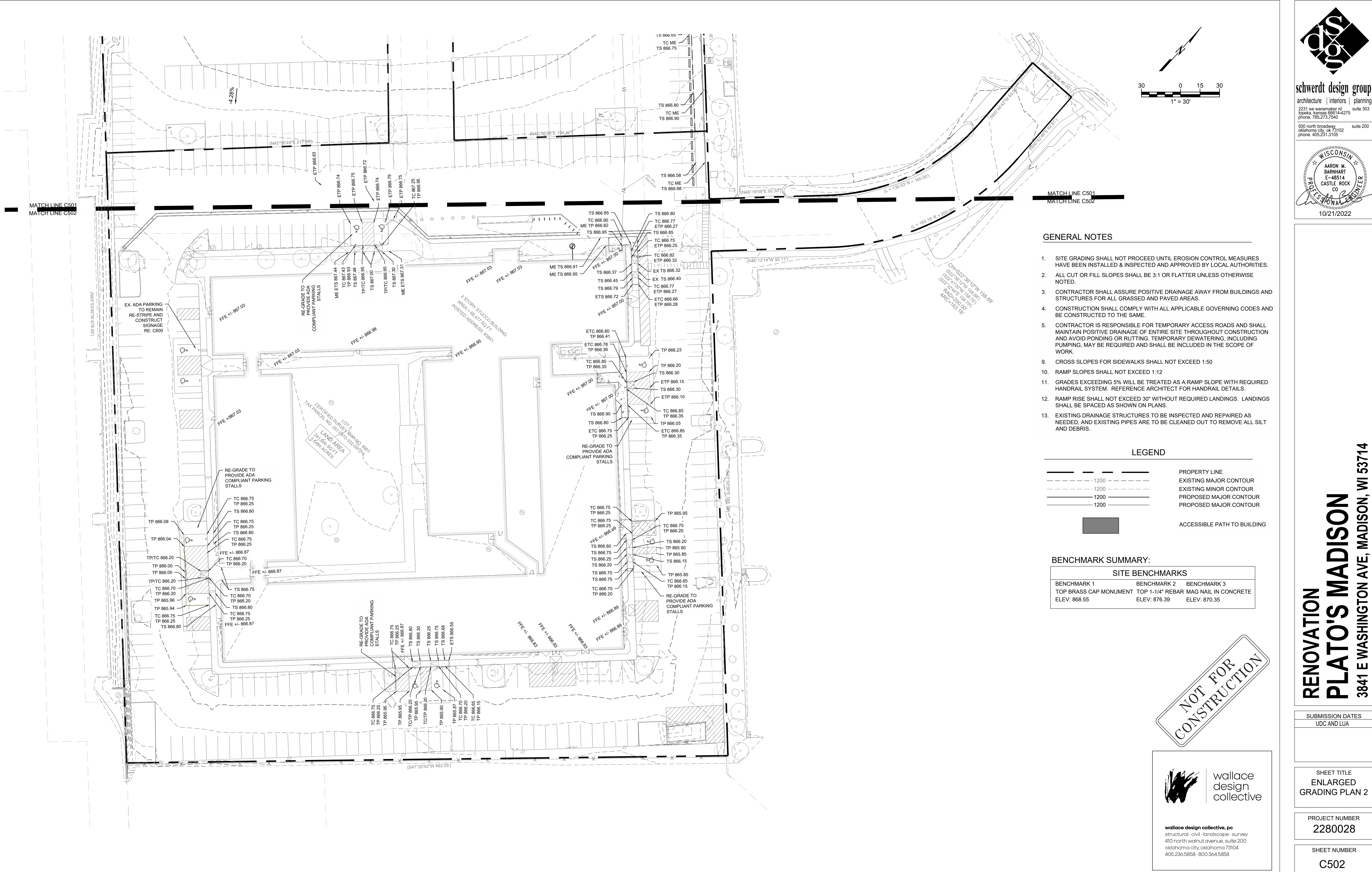
**RENOVATION
PLATO'S MADISON**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
ENLARGED
GRADING PLAN 1

PROJECT NUMBER
2280028

SHEET NUMBER
C501



GENERAL NOTES

- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- CROSS SLOPES FOR SIDEWALKS SHALL NOT EXCEED 1:50
- RAMP SLOPES SHALL NOT EXCEED 1:12
- GRADES EXCEEDING 5% WILL BE TREATED AS A RAMP SLOPE WITH REQUIRED HANDRAIL SYSTEM. REFERENCE ARCHITECT FOR HANDRAIL DETAILS.
- RAMP RISE SHALL NOT EXCEED 30° WITHOUT REQUIRED LANDINGS. LANDINGS SHALL BE SPACED AS SHOWN ON PLANS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

LEGEND

---	PROPERTY LINE
- - - -	EXISTING MAJOR CONTOUR
- - - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	ACCESSIBLE PATH TO BUILDING

BENCHMARK SUMMARY:

SITE BENCHMARKS		
BENCHMARK 1	BENCHMARK 2	BENCHMARK 3
TOP BRASS CAP MONUMENT	TOP 1-1/4" REBAR MAG NAIL IN CONCRETE	
ELEV: 866.55	ELEV: 876.39	ELEV: 870.35

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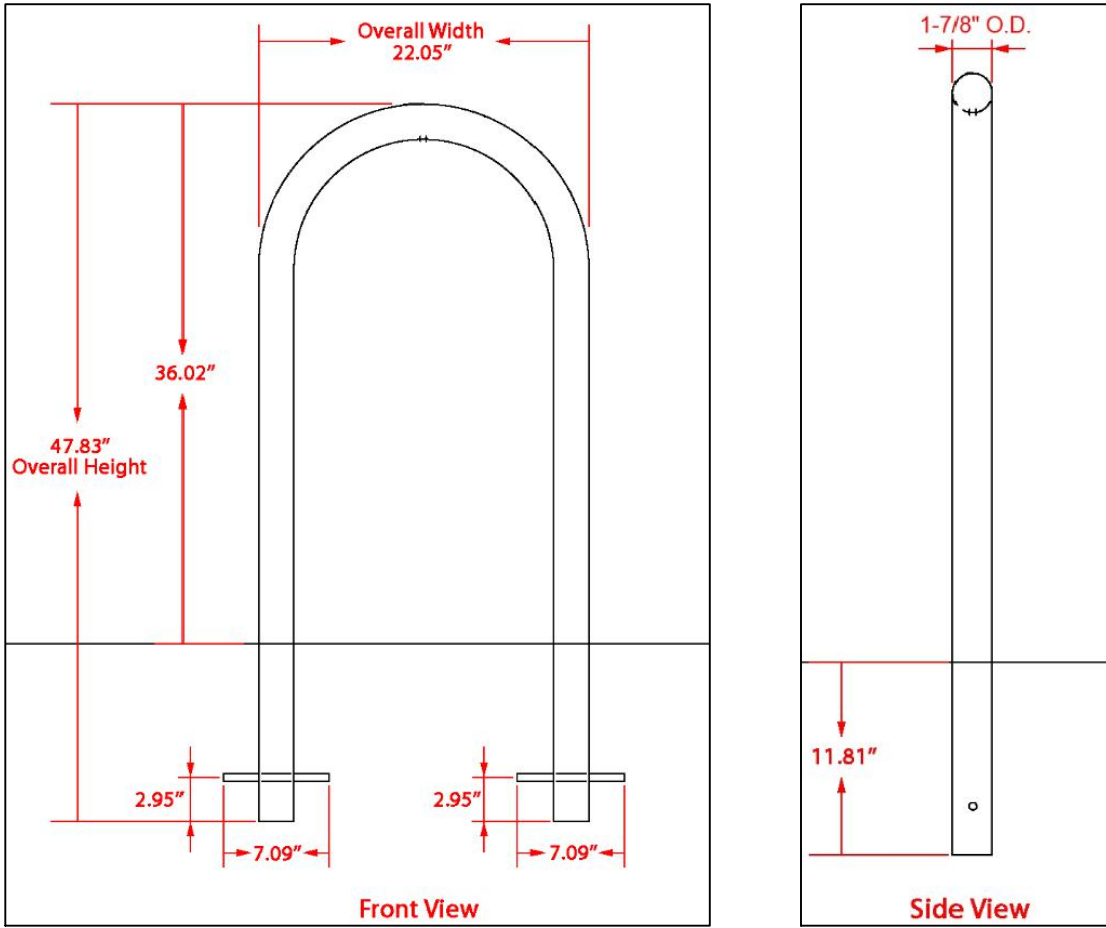
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AARON M. BARNHART
E-48514
CASTLE ROCK
CO
PROFESSIONAL ENGINEER
10/21/2022

RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES UDC AND LUA
SHEET TITLE ENLARGED GRADING PLAN 2
PROJECT NUMBER 2280028
SHEET NUMBER C502

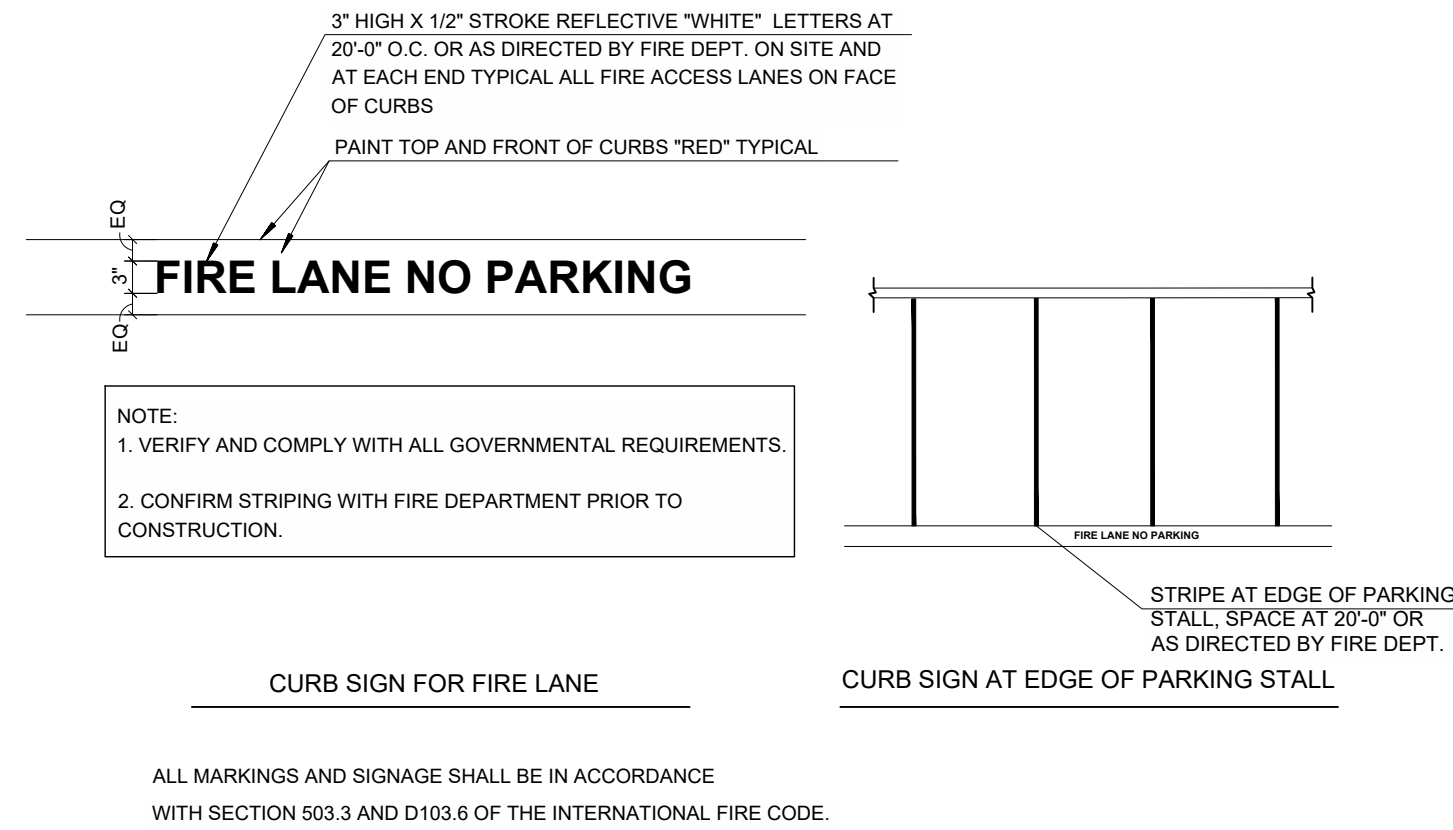
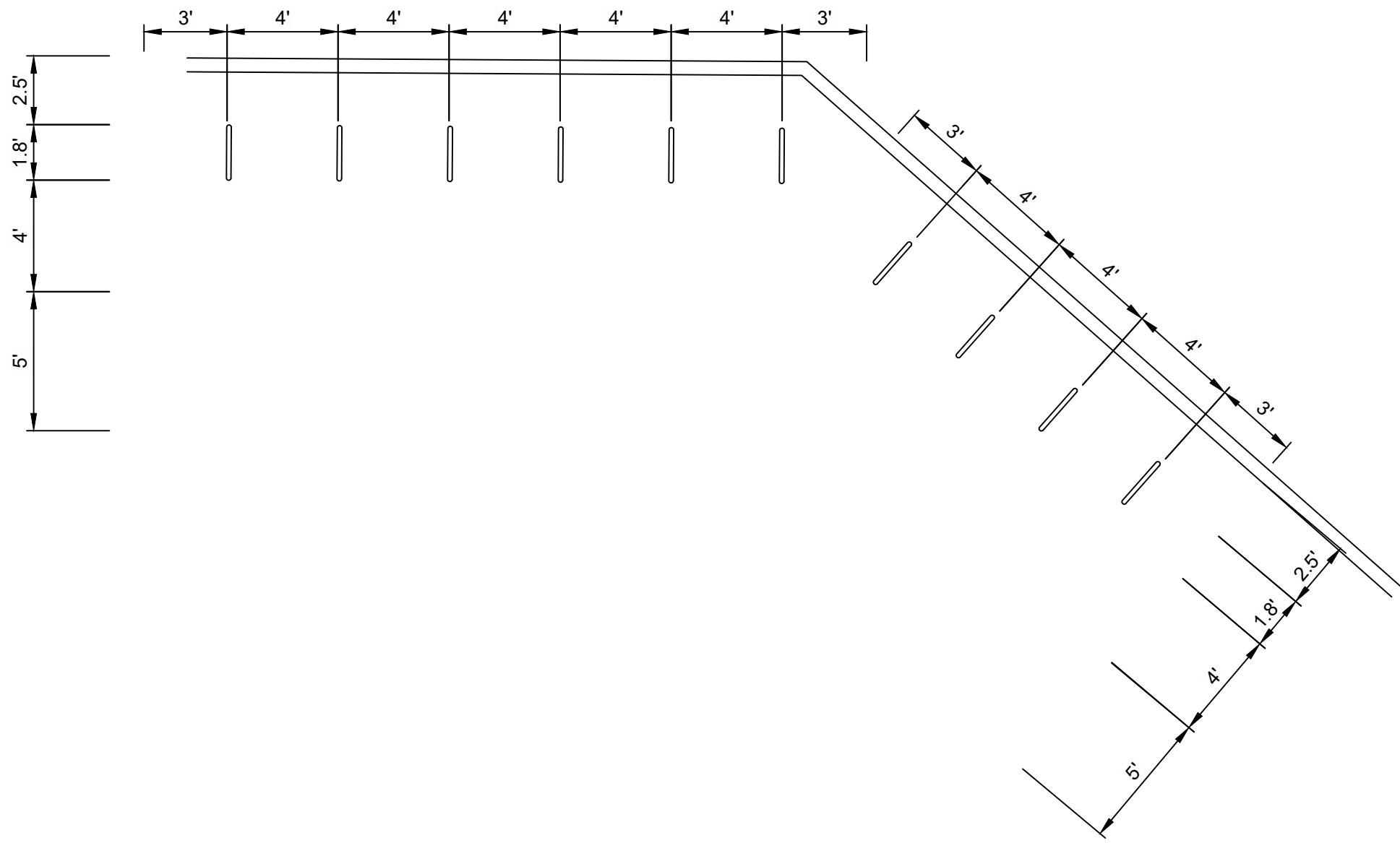


Material	Finish	Dimensions	Weight
Steel tubing	Powder-coated black	22.05' w x 47.83' h Above ground: 22.05' w x 36.02' h	24 lbs.

Type of Mount: Inground mount
Size of Tubing: 1-7/8" O.D. x 11-gauge

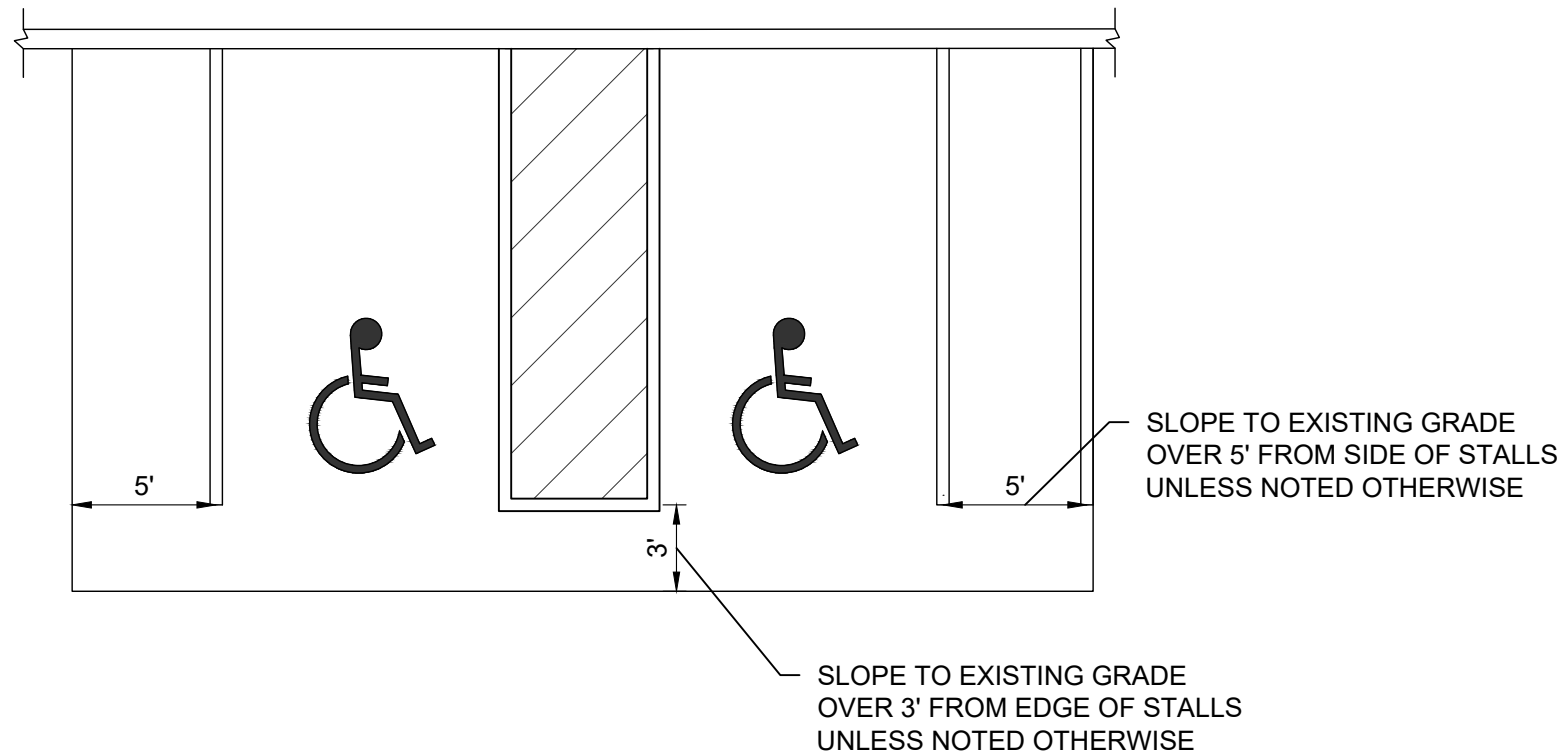
1 BIKE RACK

SCALE: NTS



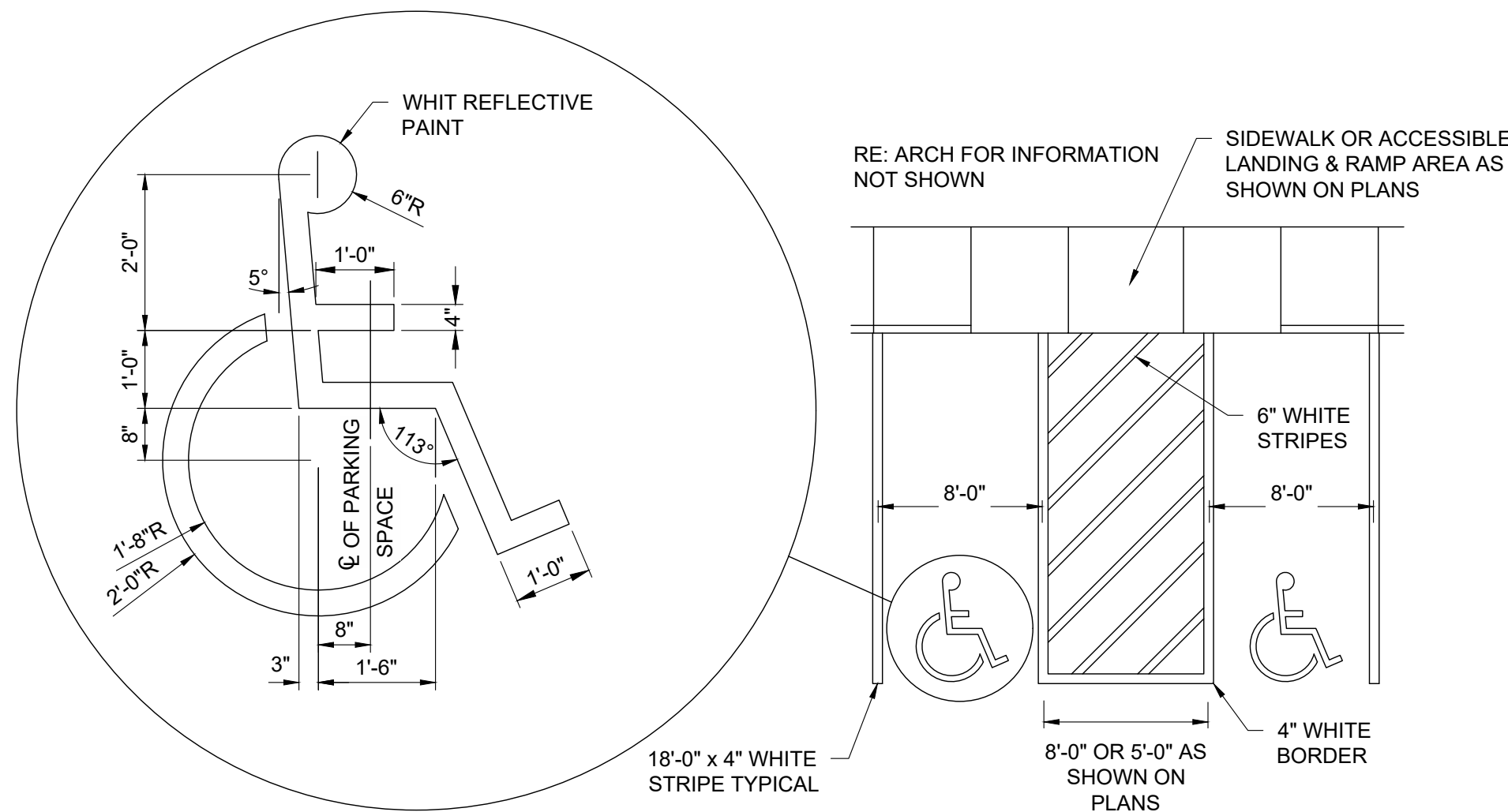
2 FIRE LANE STRIPING

SCALE: NTS



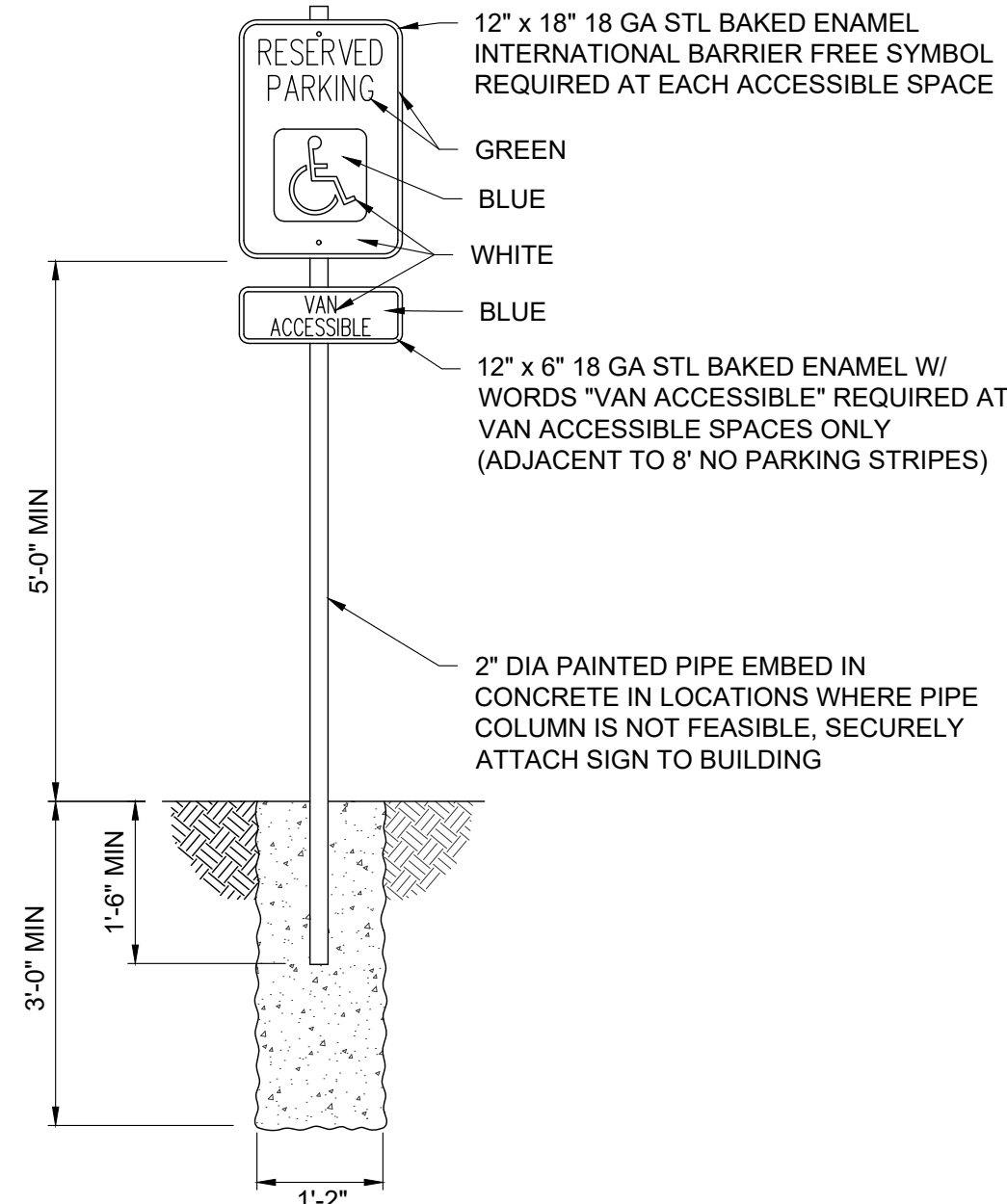
3 ADA STALL RAISE

SCALE: NTS



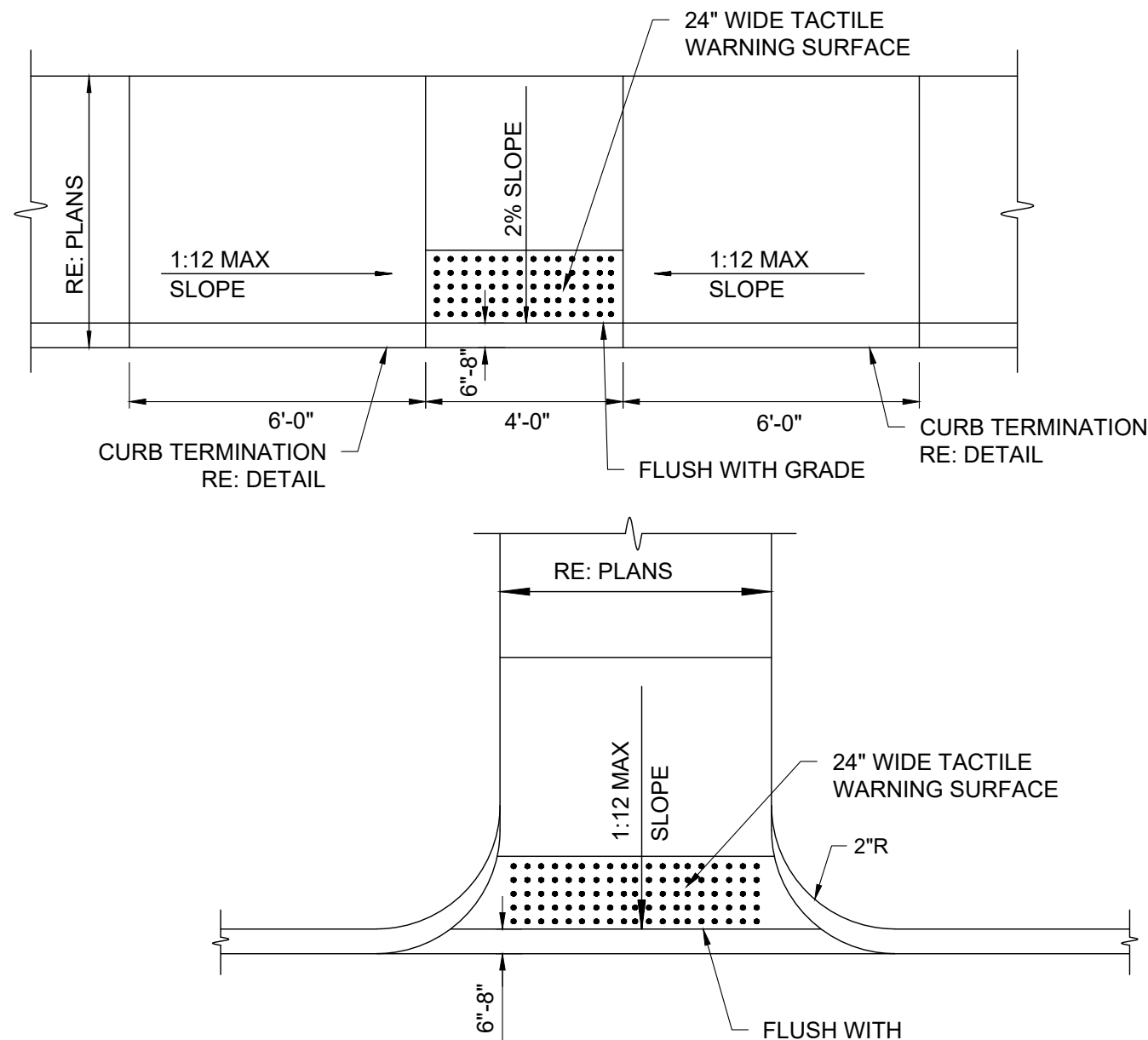
4 ACCESSIBLE STRIPING

SCALE: NTS



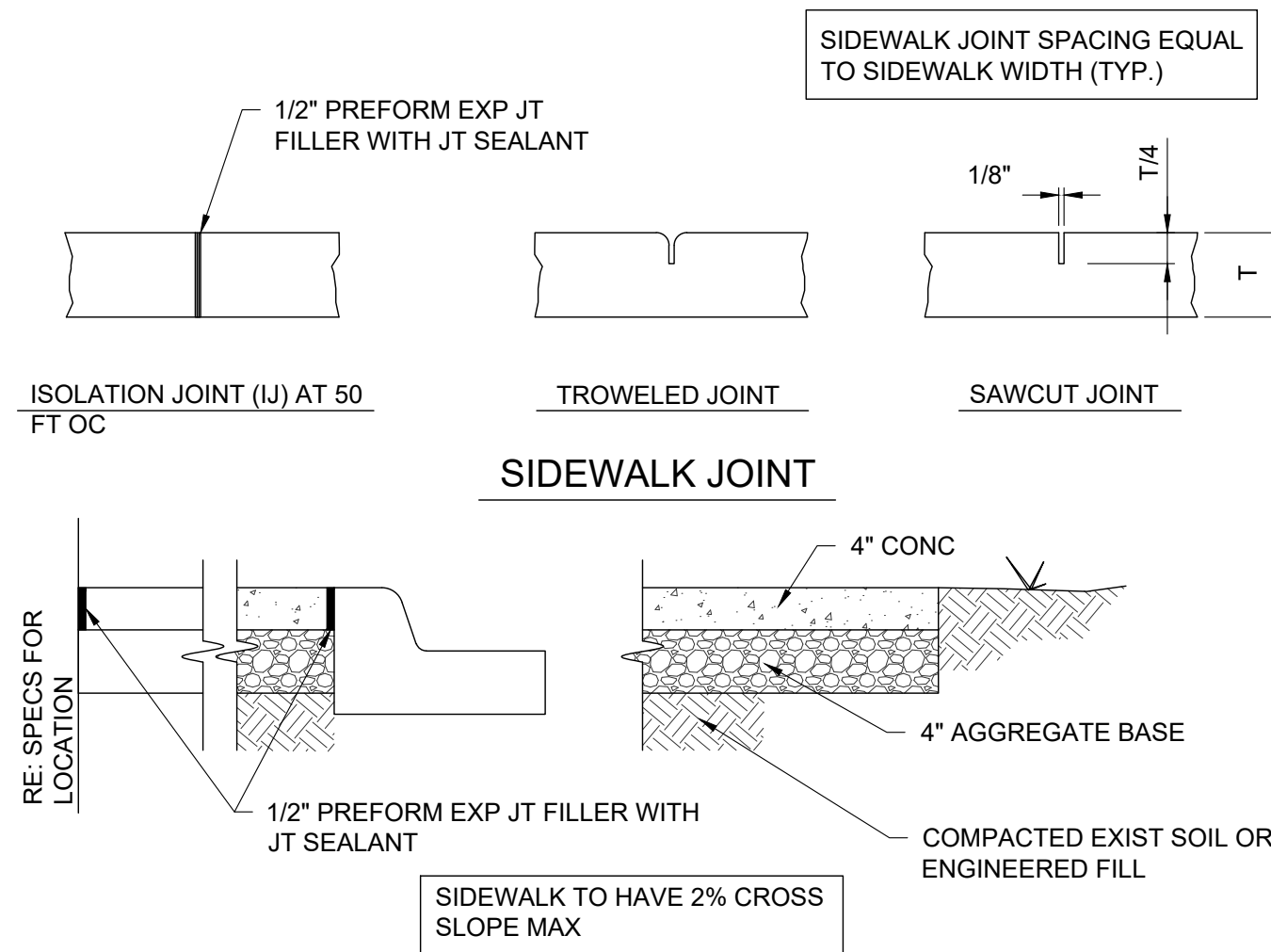
5 ACCESSIBLE SIGNAGE

SCALE: NTS



6 CURB RAMPS

SCALE: NTS



7 SIDEWALK

SCALE: NTS

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RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
DETAILS

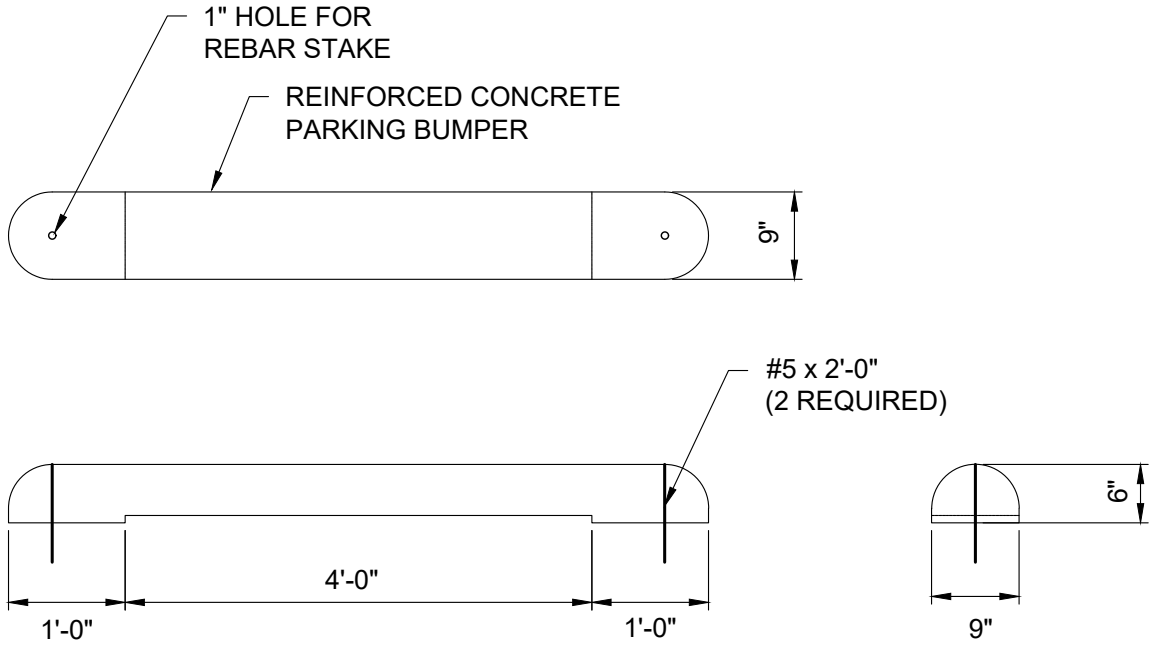
PROJECT NUMBER
2280028

SHEET NUMBER
C600

1

(NOT INCLUDED IN THIS MILESTONE)

SCALE: NTS



2 PARKING BUMPER

SCALE: NTS

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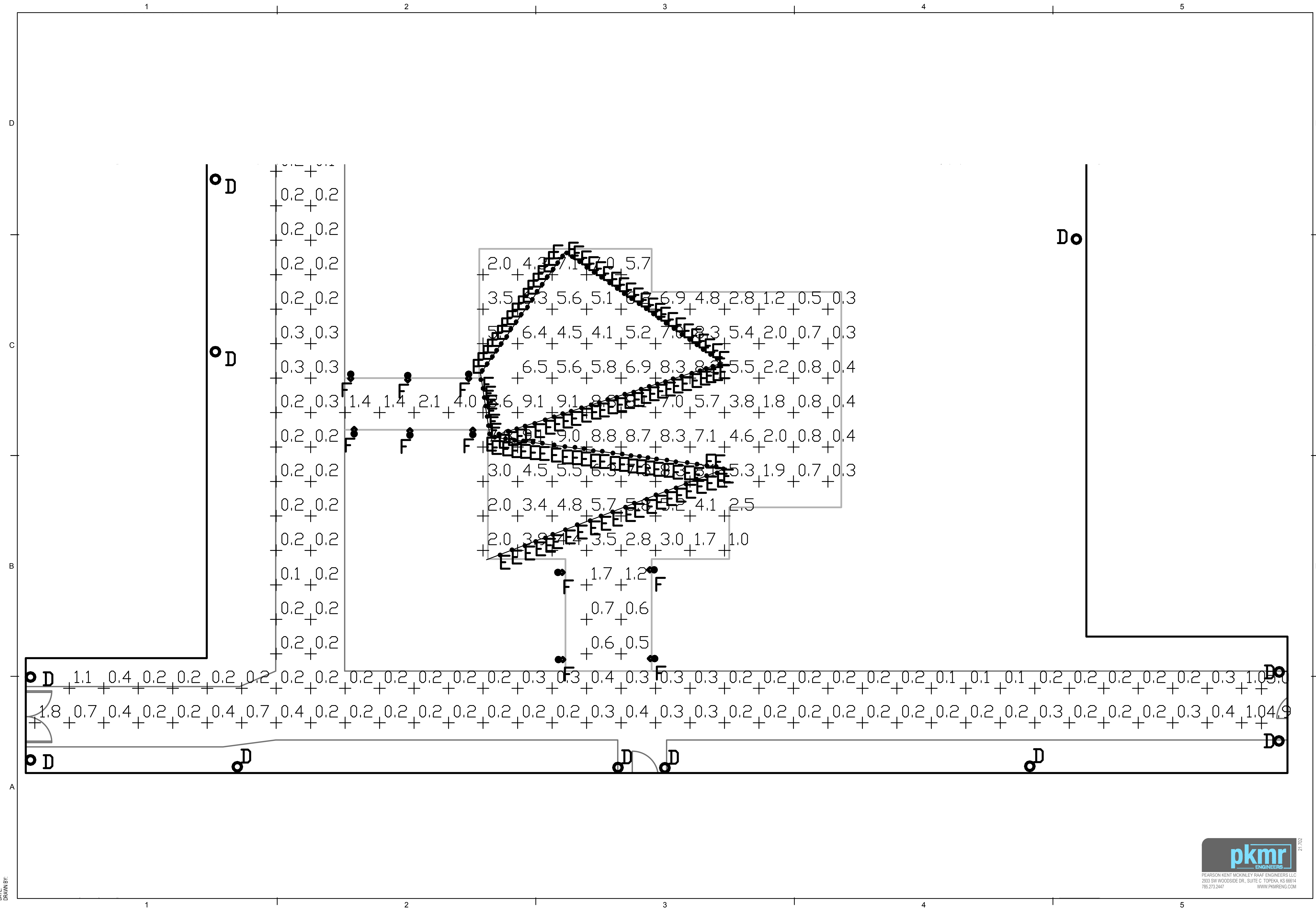
RENOVATION
PLATO'S MADISON
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
UDC AND LUA

SHEET TITLE
DETAILS

PROJECT NUMBER
2280028

SHEET NUMBER
C601



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**RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53704**

SUBMISSION DATES	
August 26, 2022	
1	September 2, 2022
2	ADDENDUM #2 9-16-22

SHEET TITLE
PHOTOMETRICS

PROJECT NUMBER
2280028

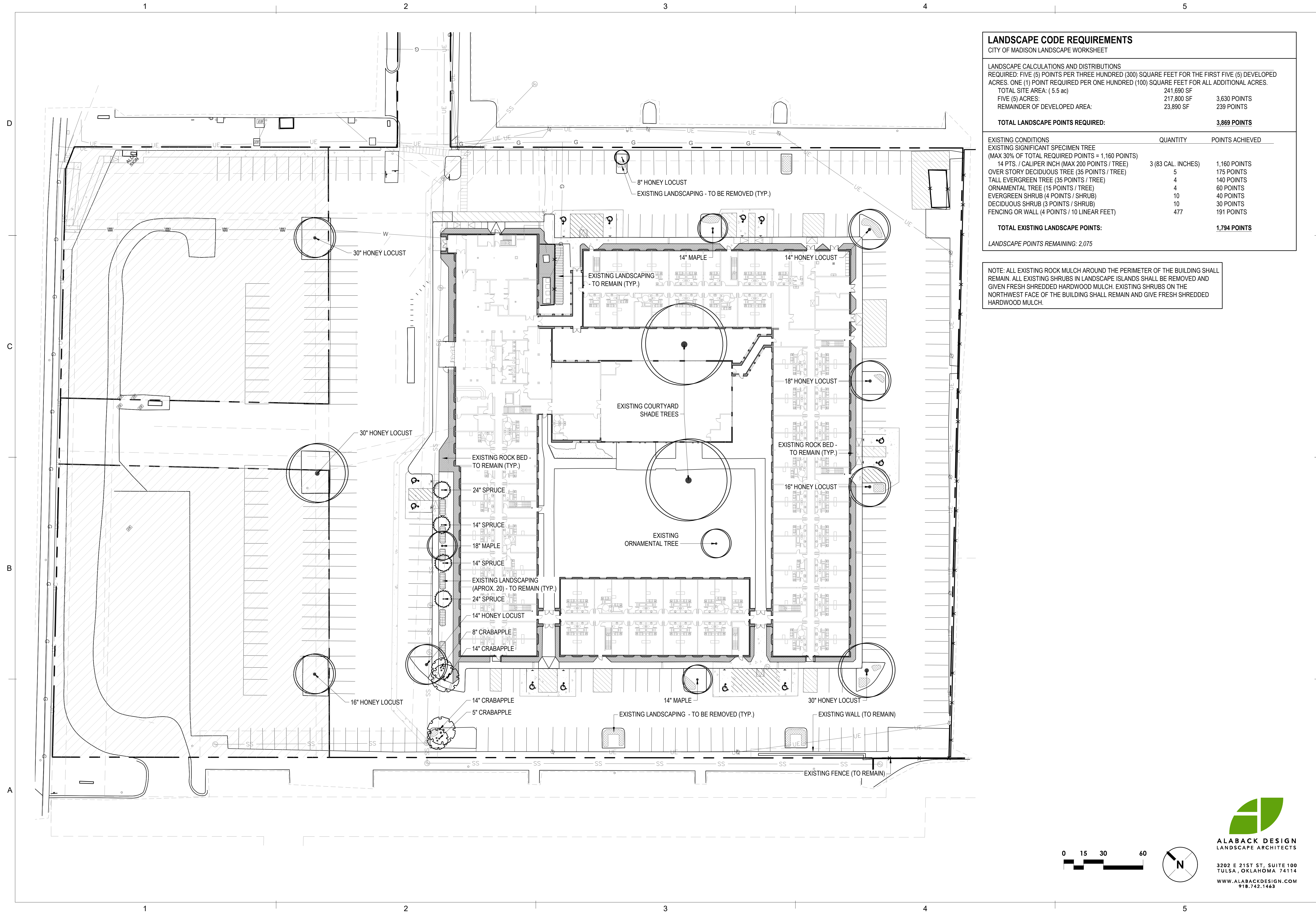
SHEET NUMBER



PEARSON KENT MCKINLEY RAAF ENGINEERS
2933 SW WOODSIDE DR., SUITE C TOPEKA, KS 66604
785.273.2447 WWW.PKMBENG.COM

7

FILE PATH:
DATE:
DRAWN BY:



LANDSCAPE CODE REQUIREMENTS
CITY OF MADISON LANDSCAPE WORKSHEET

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS
REQUIRED: FIVE (5) POINTS PER THREE HUNDRED (300) SQUARE FEET FOR THE FIRST FIVE (5) DEVELOPED ACRES. ONE (1) POINT REQUIRED PER ONE HUNDRED (100) SQUARE FEET FOR ALL ADDITIONAL ACRES.
TOTAL SITE AREA: (5.5 ac) 241,690 SF 3,630 POINTS
FIVE (5) ACRES: 217,800 SF 239 POINTS
REMAINDER OF DEVELOPED AREA: 23,890 SF

TOTAL LANDSCAPE POINTS REQUIRED: 3,869 POINTS

EXISTING CONDITIONS	QUANTITY	POINTS ACHIEVED
EXISTING SIGNIFICANT SPECIMEN TREE (MAX 30% OF TOTAL REQUIRED POINTS = 1,160 POINTS)		
14 PTS. / CALIPER INCH (MAX 200 POINTS / TREE)	3 (83 CAL. INCHES)	1,160 POINTS
OVER STORY DECIDUOUS TREE (35 POINTS / TREE)	5	175 POINTS
TALL EVERGREEN TREE (35 POINTS / TREE)	4	140 POINTS
ORNAMENTAL TREE (15 POINTS / TREE)	4	60 POINTS
EVERGREEN SHRUB (4 POINTS / SHRUB)	10	40 POINTS
DECIDUOUS SHRUB (3 POINTS / SHRUB)	10	30 POINTS
FENCING OR WALL (4 POINTS / 10 LINEAR FEET)	477	191 POINTS

TOTAL EXISTING LANDSCAPE POINTS: 1,794 POINTS

LANDSCAPE POINTS REMAINING: 2,075

NOTE: ALL EXISTING ROCK MULCH AROUND THE PERIMETER OF THE BUILDING SHALL REMAIN. ALL EXISTING SHRUBS IN LANDSCAPE ISLANDS SHALL BE REMOVED AND GIVEN FRESH SHREDDED HARDWOOD MULCH. EXISTING SHRUBS ON THE NORTHWEST FACE OF THE BUILDING SHALL REMAIN AND GIVE FRESH SHREDDED HARDWOOD MULCH.



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**RENOVATION
PLATO'S OF MADISON, WI**
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
EXISTING
LANDSCAPE PLAN

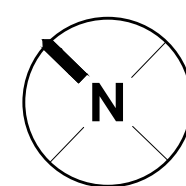
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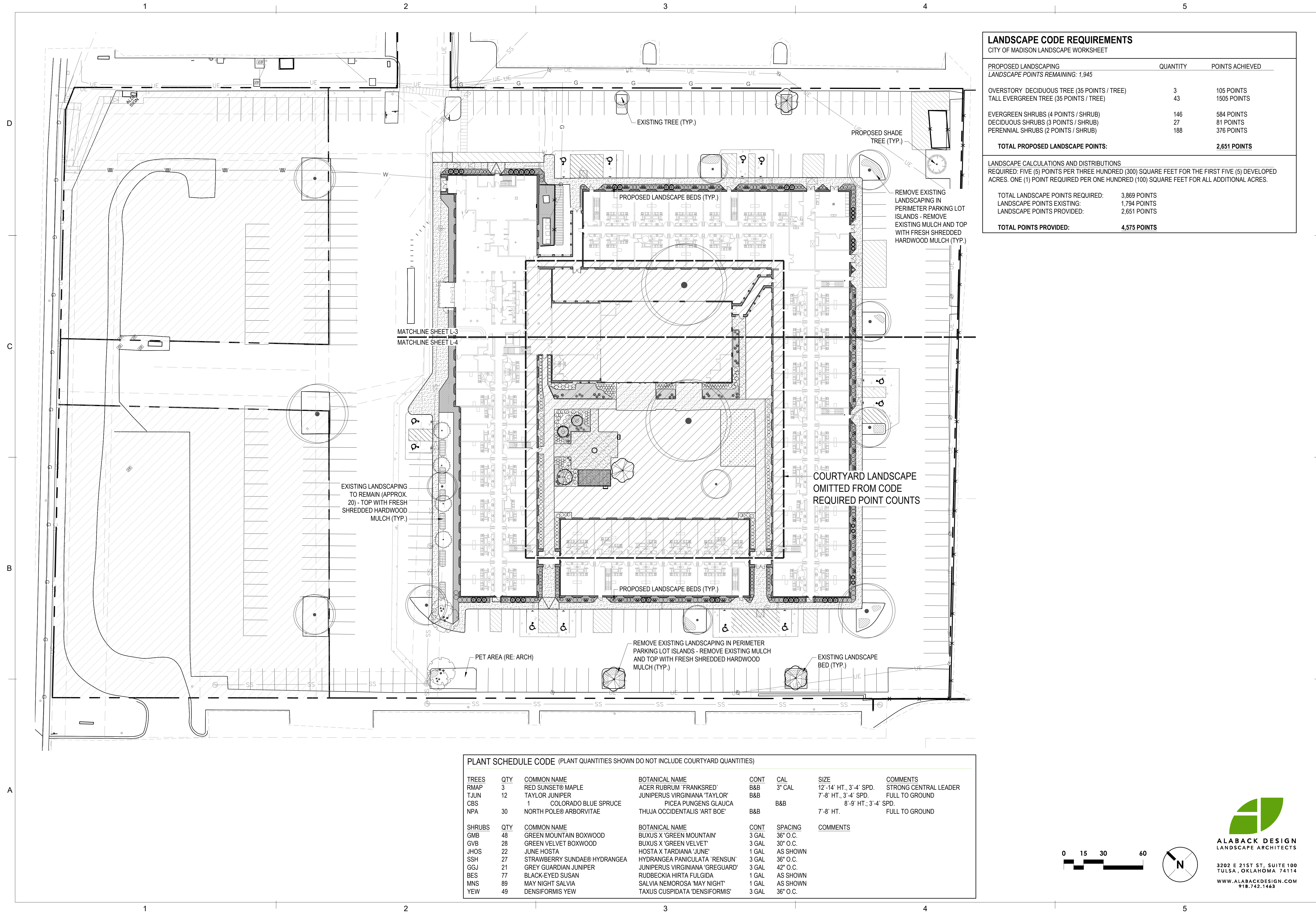
SHEET NUMBER
L-1



ALABACK DESIGN
LANDSCAPE ARCHITECTS

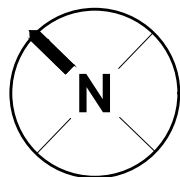
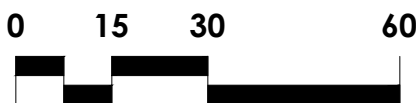
3202 E 21ST ST, SUITE 100
TULSA, OKLAHOMA 74114
WWW.ALABACKDESIGN.COM
918.742.1463





LANDSCAPE CODE REQUIREMENTS		
CITY OF MADISON LANDSCAPE WORKSHEET		
PROPOSED LANDSCAPING	QUANTITY	POINTS ACHIEVED
LANDSCAPE POINTS REMAINING: 1,945		
OVERSTORY DECIDUOUS TREE (35 POINTS / TREE)	3	105 POINTS
TALL EVERGREEN TREE (35 POINTS / TREE)	43	1505 POINTS
EVERGREEN SHRUBS (4 POINTS / SHRUB)	146	584 POINTS
DECIDUOUS SHRUBS (3 POINTS / SHRUB)	27	81 POINTS
PERENNIAL SHRUBS (2 POINTS / SHRUB)	188	376 POINTS
TOTAL PROPOSED LANDSCAPE POINTS:		2,651 POINTS
LANDSCAPE CALCULATIONS AND DISTRIBUTIONS		
REQUIRED: FIVE (5) POINTS PER THREE HUNDRED (300) SQUARE FEET FOR THE FIRST FIVE (5) DEVELOPED ACRES. ONE (1) POINT REQUIRED PER ONE HUNDRED (100) SQUARE FEET FOR ALL ADDITIONAL ACRES.		
TOTAL LANDSCAPE POINTS REQUIRED:	3,869 POINTS	
LANDSCAPE POINTS EXISTING:	1,794 POINTS	
LANDSCAPE POINTS PROVIDED:	2,651 POINTS	
TOTAL POINTS PROVIDED:		4,575 POINTS

PLANT SCHEDULE CODE (PLANT QUANTITIES SHOWN DO NOT INCLUDE COURTYARD QUANTITIES)							
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	COMMENTS
RMAP	3	RED SUNSET® MAPLE	ACER RUBRUM 'FRANKSRED'	B&B	3" CAL	12'-14' HT., 3'-4' SPD.	STRONG CENTRAL LEADER
TJUN	12	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	B&B		7'-8' HT., 3'-4' SPD.	FULL TO GROUND
CBS	1	COLORADO BLUE SPRUCE	PICEA PUNGENS GLAUCA	B&B		8'-9' HT., 3'-4' SPD.	FULL TO GROUND
NPA	30	NORTH POLE® ARBORVITAE	THUJA OCCIDENTALIS 'ART BOE'	B&B		7'-8' HT.	FULL TO GROUND
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	COMMENTS	
GMB	48	GREEN MOUNTAIN BOXWOOD	BUXUS X 'GREEN MOUNTAIN'	3 GAL	36" O.C.		
GVB	28	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'	3 GAL	30" O.C.		
JHOS	22	JUNE HOSTA	HOSTA X TARDIANA 'JUNE'	1 GAL	AS SHOWN		
SSH	27	STRAWBERRY SUNDÆ® HYDRANGEA	HYDRANGEA PANICULATA 'RENSUN'	3 GAL	36" O.C.		
GGJ	21	GREY GUARDIAN JUNIPER	JUNIPERUS VIRGINIANA 'GREGUARD'	3 GAL	42" O.C.		
BES	77	BLACK-EYED SUSAN	RUDBECKIA HIRTA FULGIDA	1 GAL	AS SHOWN		
MNS	89	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	1 GAL	AS SHOWN		
YEW	49	DENSIFORMIS YEW	TAXUS CUSPIDATA 'DENSIFORMIS'	3 GAL	36" O.C.		





ALABACK DESIGN
LANDSCAPE ARCHITECTS

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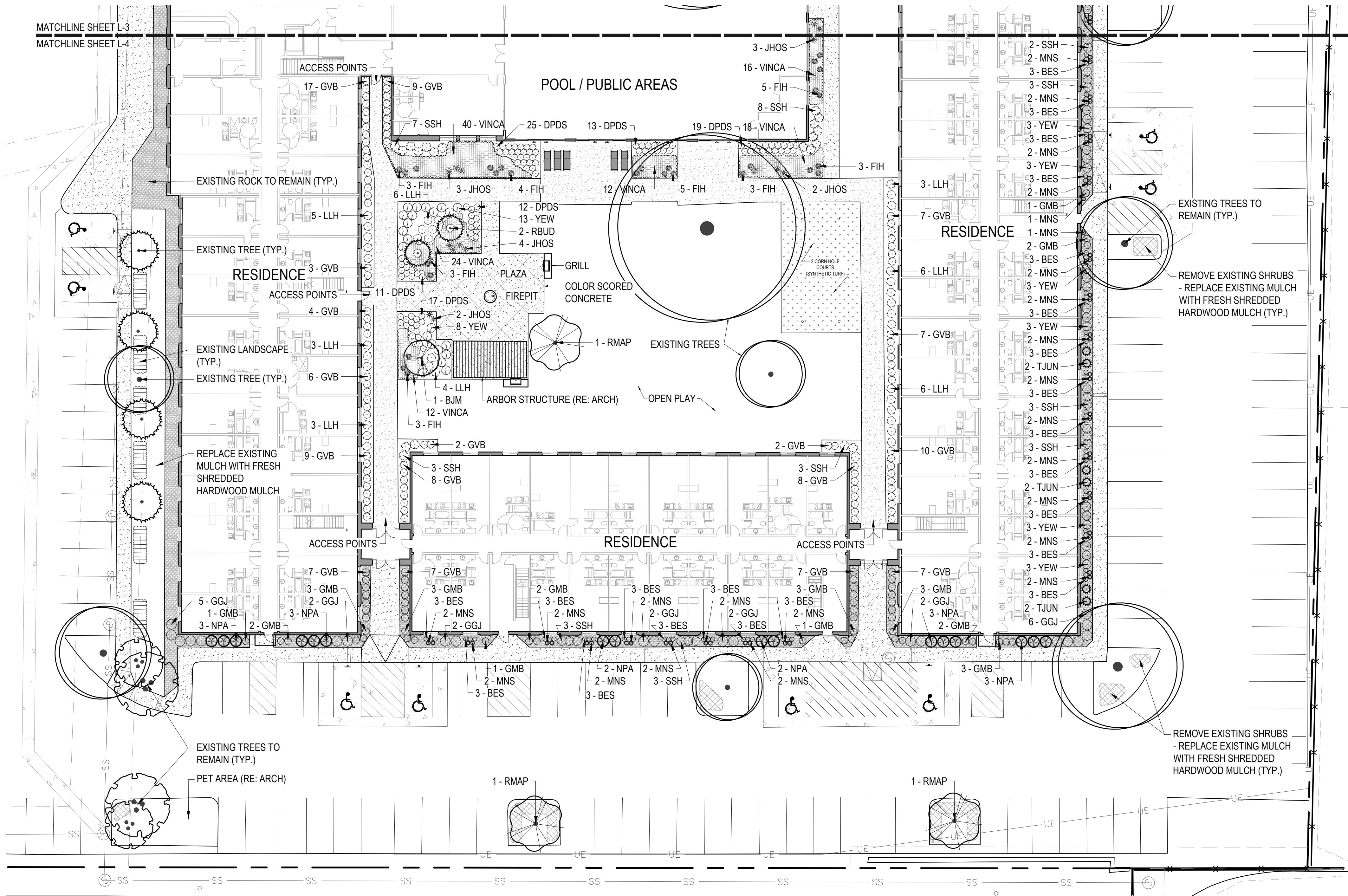
RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

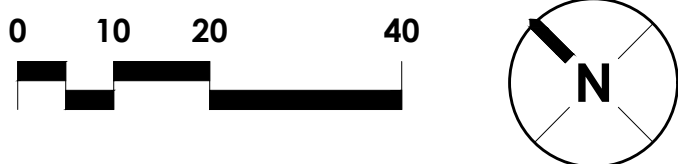
SHEET TITLE
CITY LANDSCAPE
PLAN

PROJECT NUMBER

SHEET NUMBER
L-2



PLANT SCHEDULE (PLANT QUANTITIES SHOWN ARE FOR THIS SHEET ONLY)						
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE
BJM RMAP RBUD TJUN NPA	1	BLOODGOOD JAPANESE MAPLE	ACER PALMATUM 'BLOODGOOD'	B&B	3" CAL	10'-12' HT.; 5'-6" SPD.
	3	RED SUNSET® MAPLE	ACER RUBRUM 'FRANKSRED'	B&B	3" CAL	12'-14' HT.; 3'-4" SPD.
	2	EASTERN REDBUD	CERCIS CANADENSIS	B&B	2" CAL	7'-8' HT.; 3'-4" SPD.
	6	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	B&B		7'-8' HT.; 3'-4" SPD.
	16	NORTH POLE® ARBORVITAE	THUJA OCCIDENTALIS 'ART BOE'	B&B		7'-8' HT.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	COMMENTS
GMB GVB FIH JHOS LLH SSH GGJ BES MNS DPDS YEW	27	GREEN MOUNTAIN BOXWOOD	BUXUS X 'GREEN MOUNTAIN'	3 GAL	36" O.C.	SPECIMEN
	120	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'	3 GAL	30" O.C.	STRONG CENTRAL LEADER
	29	FIRE AND ICE HOSTA	HOSTA X 'FIRE AND ICE'	1 GAL	AS SHOWN	FULL BRANCHING
	14	JUNE HOSTA	HOSTA X 'TARDIANA 'JUNE'	1 GAL	AS SHOWN	FULL TO GROUND
	36	LITTLE LIME® PANICLE HYDRANGEA	HYDRANGEA PANICULATA 'JANE'	3 GAL	42" O.C.	FULL TO GROUND
	38	STRAWBERRY SUNDAY® HYDRANGEA	HYDRANGEA PANICULATA 'RENSUN'	3 GAL	36" O.C.	
	21	GREY GUARDIAN JUNIPER	JUNIPERUS VIRGINIANA 'GREGUARD'	3 GAL	42" O.C.	
	66	BLACK-EYED SUSAN	RUDBECKIA HIRTA FULGIDA	1 GAL	AS SHOWN	
	46	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	1 GAL	AS SHOWN	
	97	DOUBLE PLAY DOOZIE® SPIREA	SPIRAEA X 'NCSX2'	3 GAL	24" O.C.	
	39	DENSIFORMIS YEW	TAXUS CUSPIDATA 'DENSIFORMIS'	3 GAL	36" O.C.	
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	O.C.	
VINCA	122	COMMON PERIWINKLE	VINCA MINOR	1 GAL	24" O.C.	



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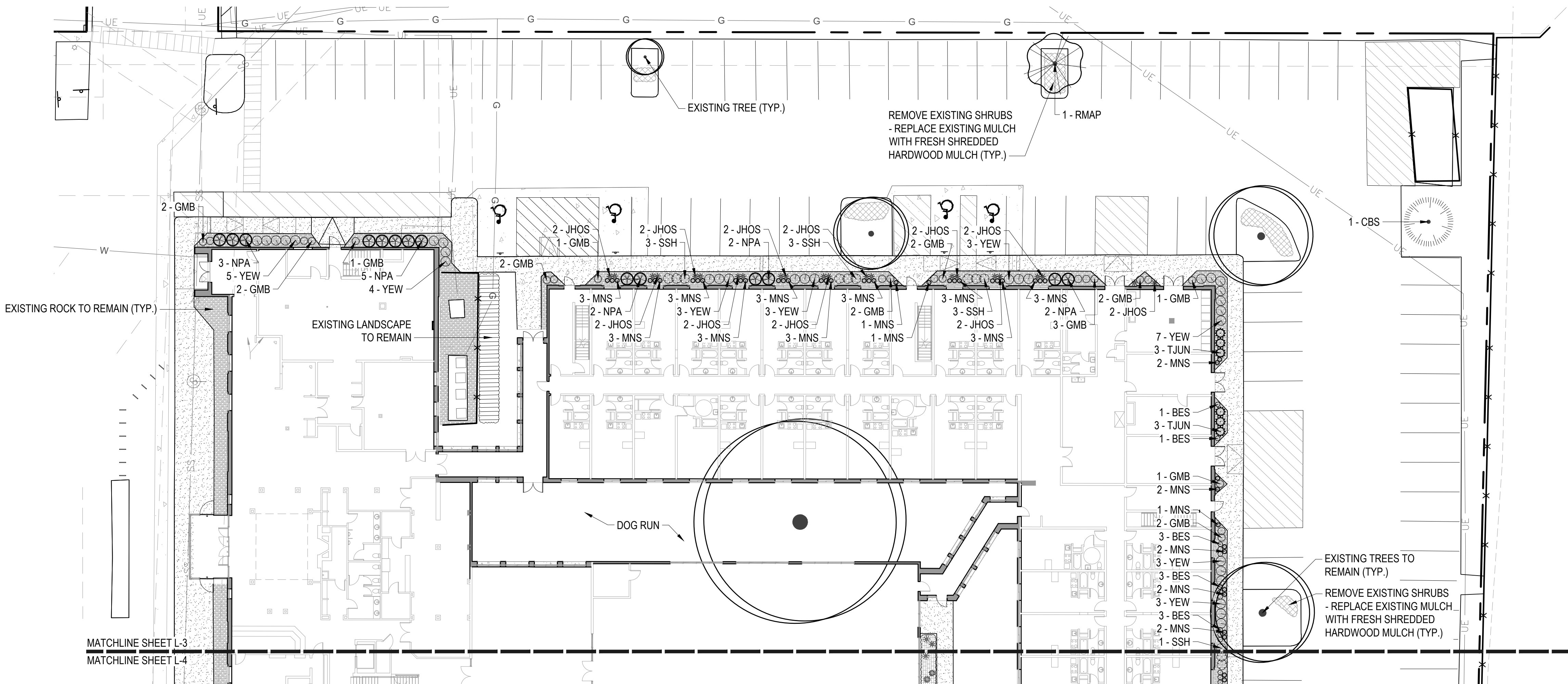
RENOVATION
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3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
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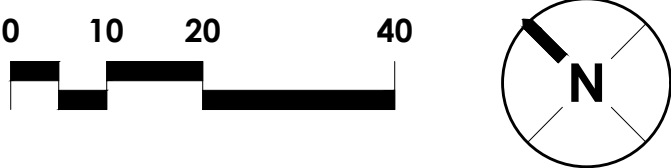
SHEET TITLE
CITY LANDSCAPE
PLAN - AREA A

PROJECT NUMBER

SHEET NUMBER
L-3



PLANT SCHEDULE (PLANT QUANTITIES SHOWN ARE FOR THIS SHEET ONLY)							
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	COMMENTS
RMAP	1	RED SUNSET® MAPLE	ACER RUBRUM 'FRANKSRED'	B&B	3" CAL	12'-14' HT., 3'-4' SPD.	STRONG CENTRAL LEADER
TJUN	6	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	B&B		7'-8' HT., 3'-4' SPD.	FULL TO GROUND
CBS	1	COLORADO BLUE SPRUCE	PICEA PUNGENS GLAUCA	B&B		8'-9' HT., 3'-4' SPD.	
NPA	14	NORTH POLE® ARBORVITAE	THUJA OCCIDENTALIS 'ART BOE'	B&B		7'-8' HT.	FULL TO GROUND
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	COMMENTS	
GMB	21	GREEN MOUNTAIN BOXWOOD	BUXUS X 'GREEN MOUNTAIN'	3 GAL	36" O.C.		
JHOS	22	JUNE HOSTA	HOSTA X TARDIANA 'JUNE'	1 GAL	AS SHOWN		
SSH	10	STRAWBERRY SUNDAE® HYDRANGEA	HYDRANGEA PANICULATA 'RENSUN'	3 GAL	36" O.C.		
BES	11	BLACK-EYED SUSAN	RUDBECKIA HIRTA FULGIDA	1 GAL	AS SHOWN		
MNS	43	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	1 GAL	AS SHOWN		
YEW	31	DENSIFORMIS YEW	TAXUS CUSPIDATA 'DENSIFORMIS'	3 GAL	36" O.C.		





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phone: 405.231.3105

PROGRESS PRINT

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CONSTRUCTION

DATE: 11/08/2022

RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
CITY LANDSCAPE
PLAN - AREA B

PROJECT NUMBER

SHEET NUMBER
L-4

PLANT SCHEDULE							
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	COMMENTS
BJM	1	BLOODGOOD JAPANESE MAPLE	ACER PALMATUM 'BLOODGOOD'	B&B	3" CAL	10'-12' HT.; 5'-6' SPD	SPECIMEN
RMAP	4	RED SUNSET® MAPLE	ACER RUBRUM 'FRANKSRED'	B&B	3" CAL	12'-14' HT.; 3'-4' SPD.	STRONG CENTRAL LEADER
RBUD	2	EASTERN REDBUD	CERCIS CANADENSIS	B&B	2" CAL	7'-8' HT.; 3'-4' SPD.	FULL BRANCHING
TJUN	12	TAYLOR JUNIPER	JUNIPERUS VIRGINIANA 'TAYLOR'	B&B		7'-8' HT.; 3'-4' SPD.	FULL TO GROUND
CBS	1	COLORADO BLUE SPRUCE	PICEA PUNGENS GLAUCA	B&B		8'-9' HT.; 3'-4' SPD.	
NPA	30	NORTH POLE® ARBORVITAE	THUJA OCCIDENTALIS 'ART BOE'	B&B		7'-8' HT.	FULL TO GROUND
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	COMMENTS	
GMB	48	GREEN MOUNTAIN BOXWOOD	BUXUS X 'GREEN MOUNTAIN'	3 GAL	36" O.C.		
GVB	120	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'	3 GAL	30" O.C.		
FIH	29	FIRE AND ICE HOSTA	HOSTA X 'FIRE AND ICE'	1 GAL	AS SHOWN		
JHOS	36	JUNE HOSTA	HOSTA X TARDIANA 'JUNE'	1 GAL	AS SHOWN		
LLH	36	LITTLE LIME® PANICLE HYDRANGEA	HYDRANGEA PANICULATA 'JANE'	3 GAL	42" O.C.		
SSH	48	STRAWBERRY SUNDAE® HYDRANGEA	HYDRANGEA PANICULATA 'RENSUN'	3 GAL	36" O.C.		
GGJ	21	GREY GUARDIAN JUNIPER	JUNIPERUS VIRGINIANA 'GREGUARD'	3 GAL	42" O.C.		
BES	77	BLACK-EYED SUSAN	RUDBECKIA HIRTA FULGIDA	1 GAL	AS SHOWN		
MNS	89	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	1 GAL	AS SHOWN		
DPDS	97	DOUBLE PLAY DOOZIE® SPIREA	SPIRAEA X 'NCSX2'	3 GAL	24" O.C.		
YEW	70	DENSIFORMIS YEW	TAXUS CUSPIDATA 'DENSIFORMIS'	3 GAL	36" O.C.		
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	O.C.		
VINCA	122	COMMON PERIWINKLE	VINCA MINOR	1 GAL	24" O.C.		

LANDSCAPING NOTES

CALL 811 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTACT LOCAL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING CONSTRUCTION OPERATIONS.

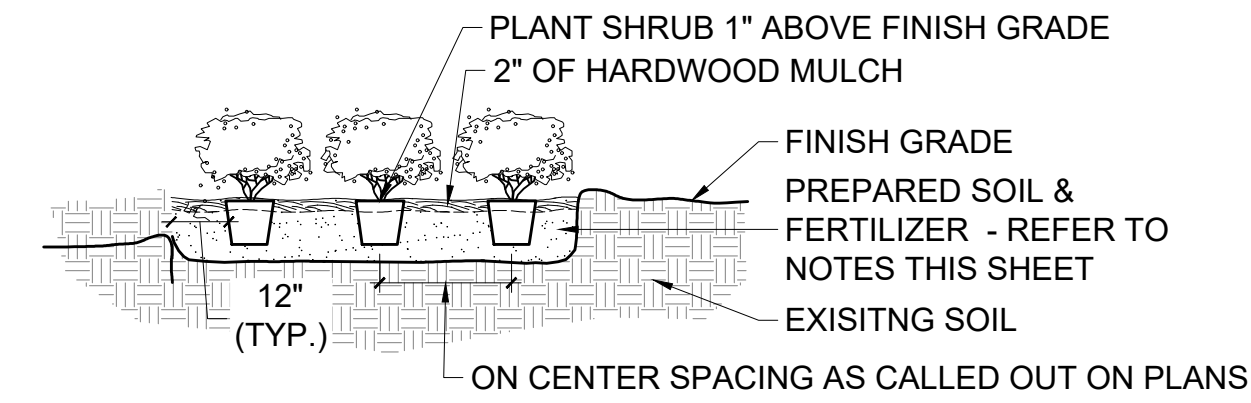
BED PREPARATION
EXCAVATE AND REMOVE EXISTING SOIL, GRASS, AND ROOTS TO A DEPTH OF 10". DO NOT WORK BEDS WHEN FROZEN OR MUDDY CONDITIONS ARE PRESENT. CROWN PLANTING BEDS TO PROVIDE POSITIVE DRAINAGE OUT OF BED AND/OR TO AREA DRAINS.

ALL PLANTING BEDS SHALL HAVE A MINIMUM 7" DEPTH OF COMPOST, 1" DEPTH OF STERILIZED COW MANURE AND 2" DEPTH OF SPHAGNUM PEAT MOSS. THOROUGHLY MIX MATERIALS TOGETHER. INCORPORATE ROOTS TRANSPLANT 1-STEP AT A RATE OF 5 LBS PER 100 SQUARE FEET AND DRY MOLASSES AT A RATE OF 3 LBS PER 100 SQUARE FEET INTO THE TOP 3'-4" OF SOIL.

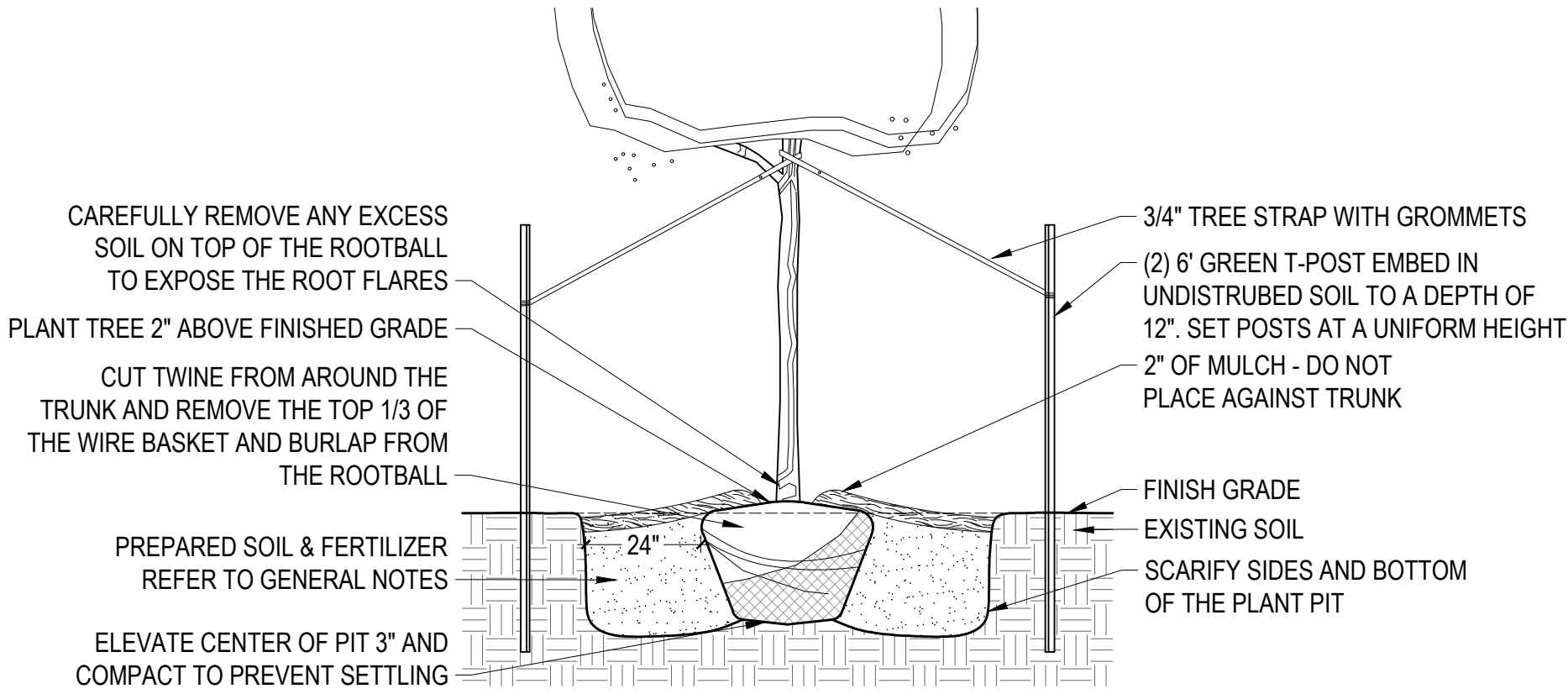
TREE BED PREPARATION
EACH TREE LOCATED OUTSIDE A PLANTING BED SHALL RECEIVE THREE CUBIC FEET OF BACK TO NATURE SOIL CONDITIONER AND ONE CUBIC FOOT OF STERILIZED COW MANURE. MIX WITH EXISTING OR IMPORTED TOPSOIL AND BACKFILL. INCORPORATE ROOTS TRANSPLANT 1-STEP AT A RATE OF 4 OUNCES PER CALIPER INCH AND 2 CUPS OF DRY MOLASSES INTO THE TOP 3'-4" OF SOIL.

MULCH
MULCH ALL TREE WELLS AND PLANTING BEDS WITH SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF TWO (2) INCHES. DO NOT PLACE MULCH AGAINST TREE TRUNKS.

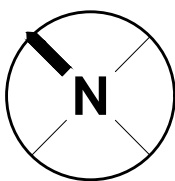
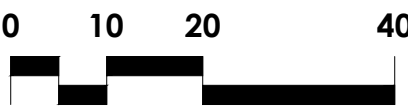
STEEL BED EDGING
(SBE) PRO-STEEL: PS3-16 3/8" X 4" BLACK STEEL BED EDGING. HAMMER INTO PLACE USING A SCRAP WOOD BLOCK SO AS NOT TO DAMAGE STEEL EDGING.



A SHRUB PLANTING DETAIL
SCALE: NTS



B TREE PLANTING WITH STAKING
SCALE: NTS



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PROGRESS PRINT

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DATE: 11/08/2022

RENOVATION
PLATO'S OF MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

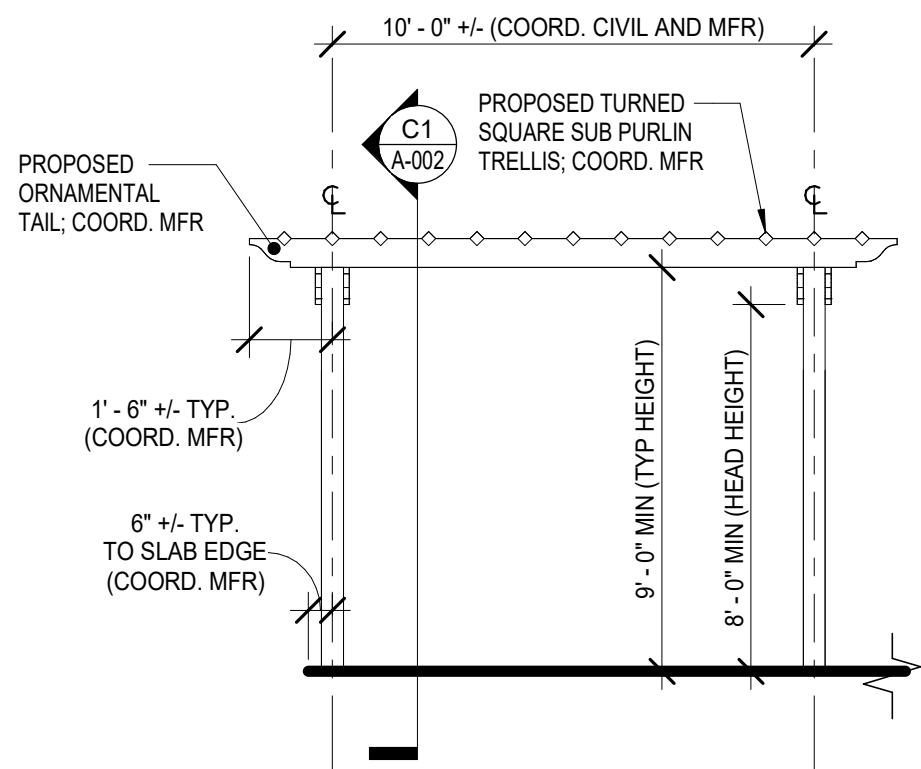
SUBMISSION DATES
PROGRESS PRINT ONLY

SHEET TITLE
**LANDSCAPE
DETAILS AND
NOTES**

PROJECT NUMBER

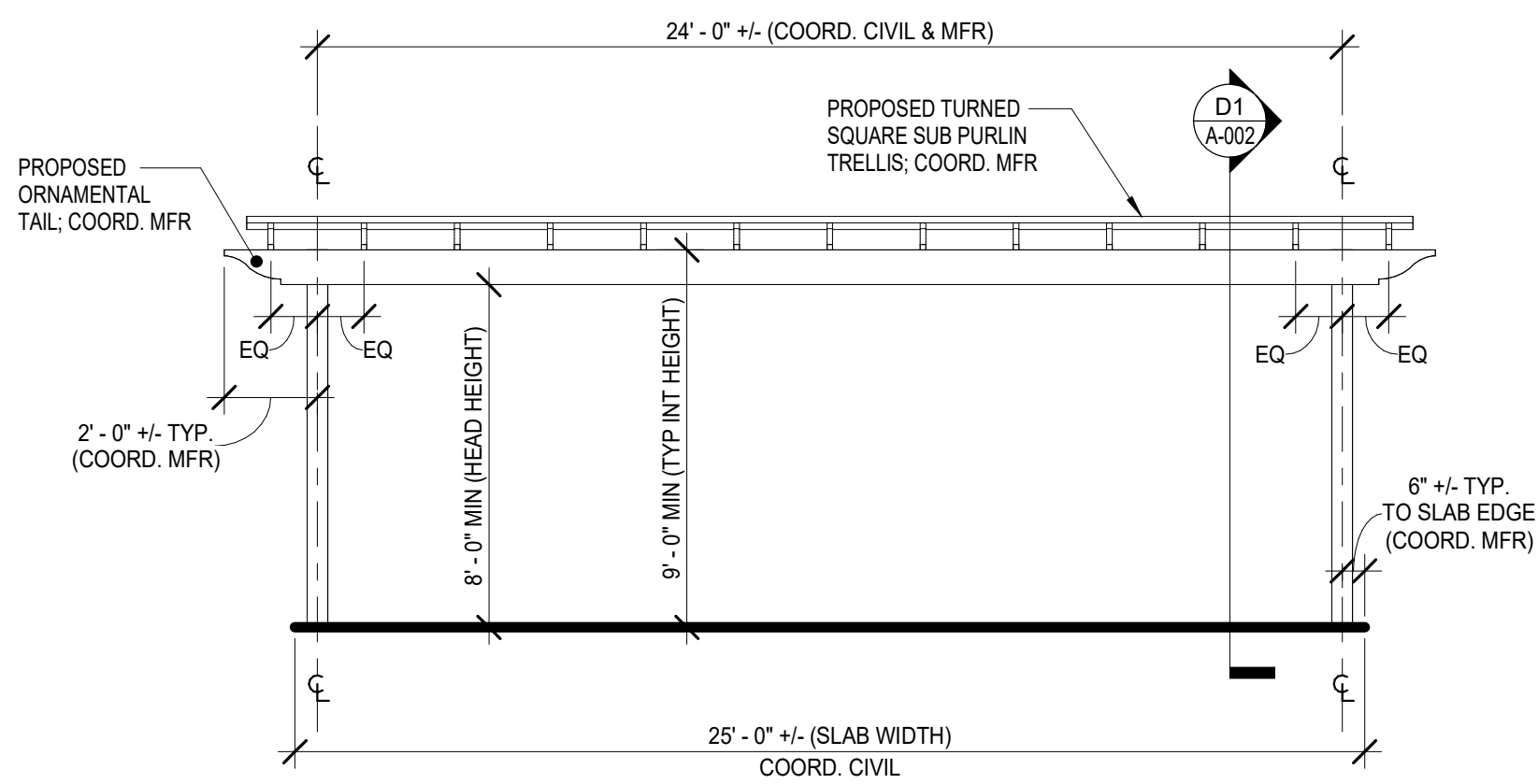
SHEET NUMBER
L-5

FILEPATH: C:\Users\Collin\Documents\210377 Plato's - Madison, WI - CD Model_Central_V22_csk2RG35.rvt
DATE: 10/26/2022 2:50:38 PM
DRAWN BY: Author



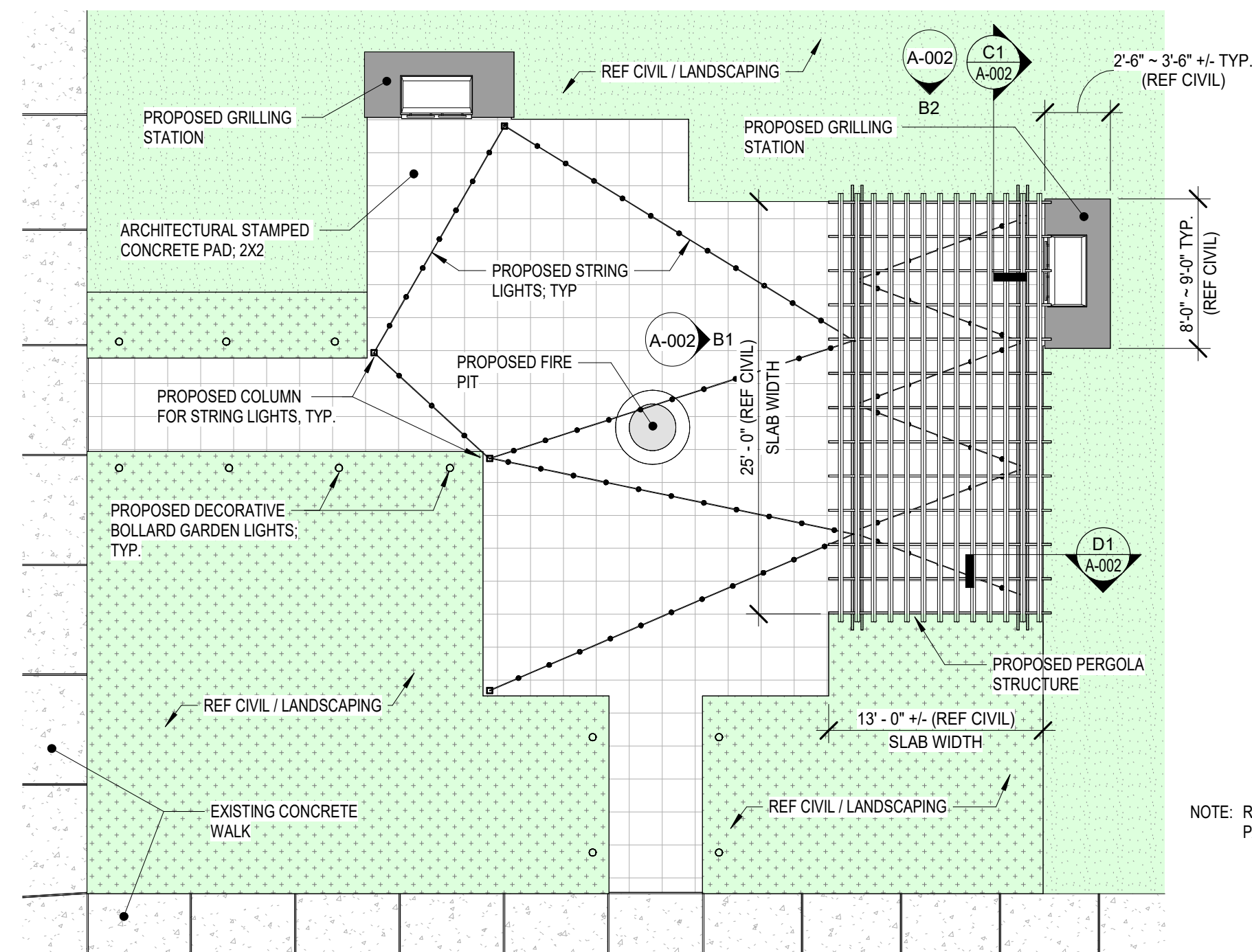
- NOTES:
1. FINAL MATERIAL FINISH / COLOR / STAIN TBD BY OWNER IN COORDINATION WITH ARCHITECT AND MFR.
 2. STRUCTURAL CONNECTIONS PER MFR; ALL EXPOSED WOOD STRUCTURAL CONNECTIONS SHALL BE ORNAMENTAL / DECORATIVE UNO.
 3. ALL PURLINS / SUBPURLINS SHALL BE SPACED EQUALLY ON CENTERS.
 4. STRUCTURAL ELEMENT (COLUMNS / BEAMS / HEADERS / PURLINS, SUB PURLINS / ETC.) DIMENSIONS AND MATERIALS PER MFR.

B2 PERGOLA ELEVATION - N
SCALE: 1/4" = 1'-0"

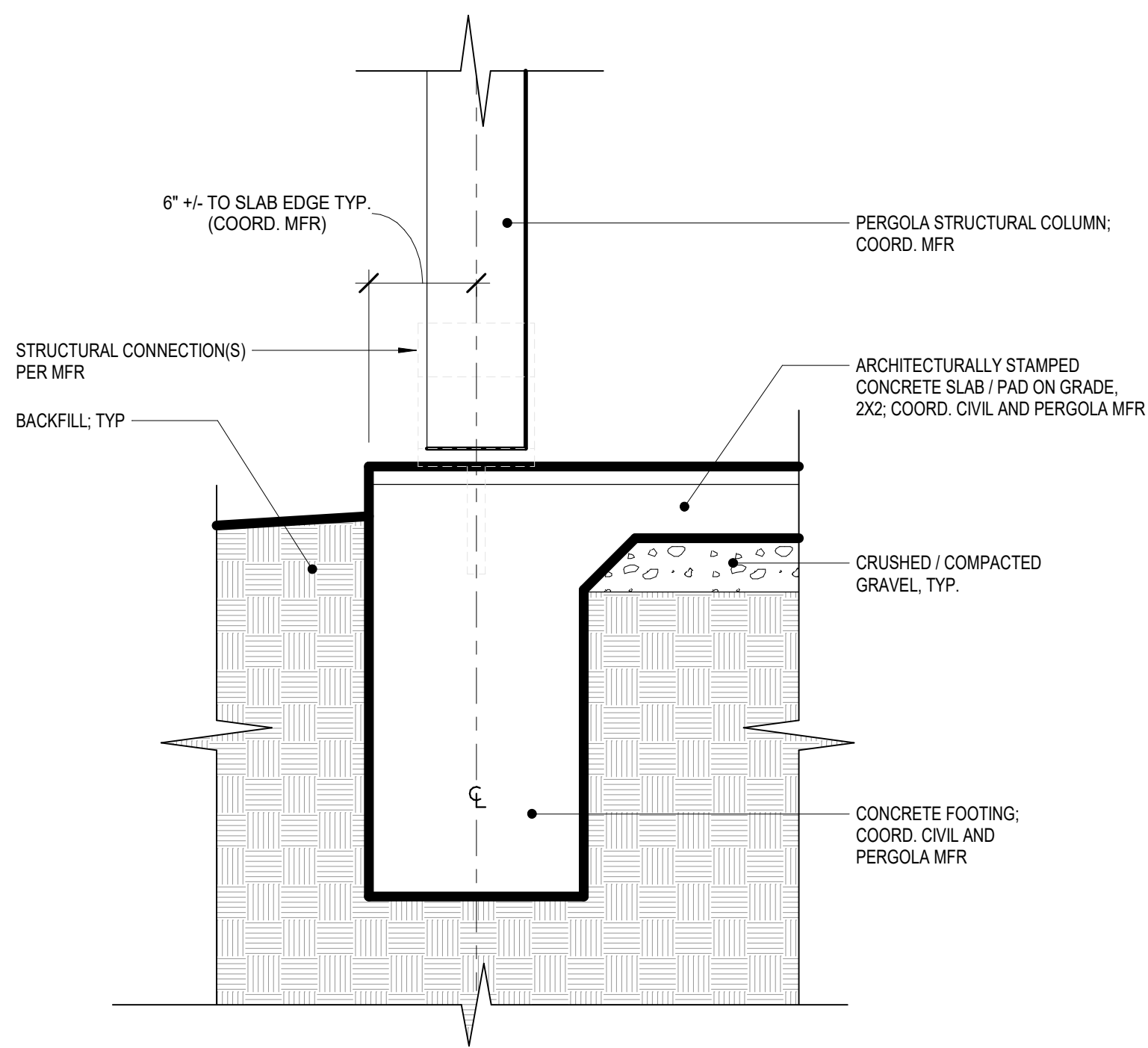
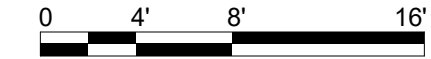


- NOTES:
1. FINAL MATERIAL FINISH / COLOR / STAIN TBD BY OWNER IN COORDINATION WITH ARCHITECT AND MFR.
 2. STRUCTURAL CONNECTIONS PER MFR; ALL EXPOSED WOOD STRUCTURAL CONNECTIONS SHALL BE ORNAMENTAL / DECORATIVE UNO.
 3. ALL PURLINS / SUBPURLINS SHALL BE SPACED EQUALLY ON CENTERS.
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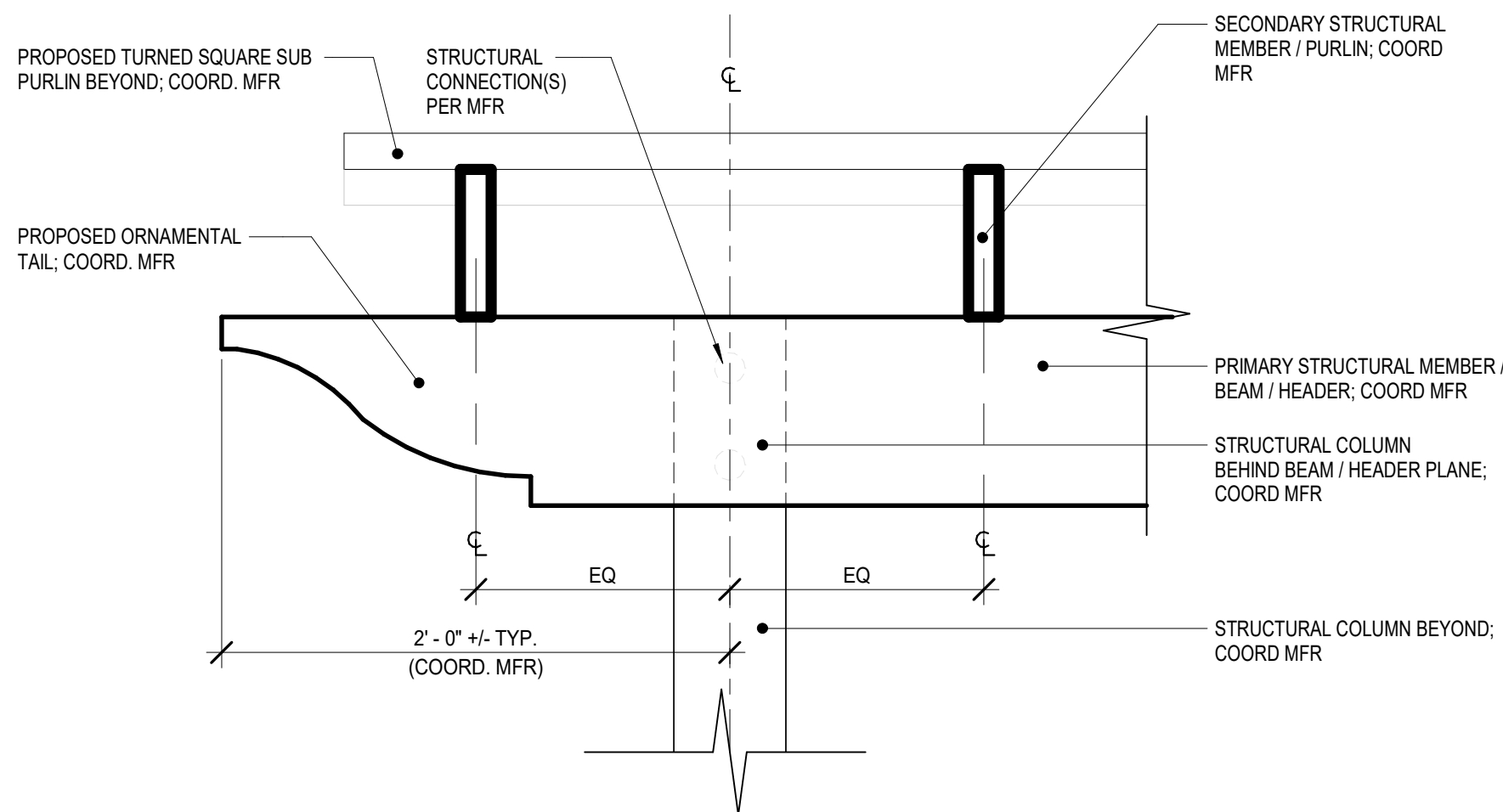
B1 PERGOLA ELEVATION - W
SCALE: 1/4" = 1'-0"



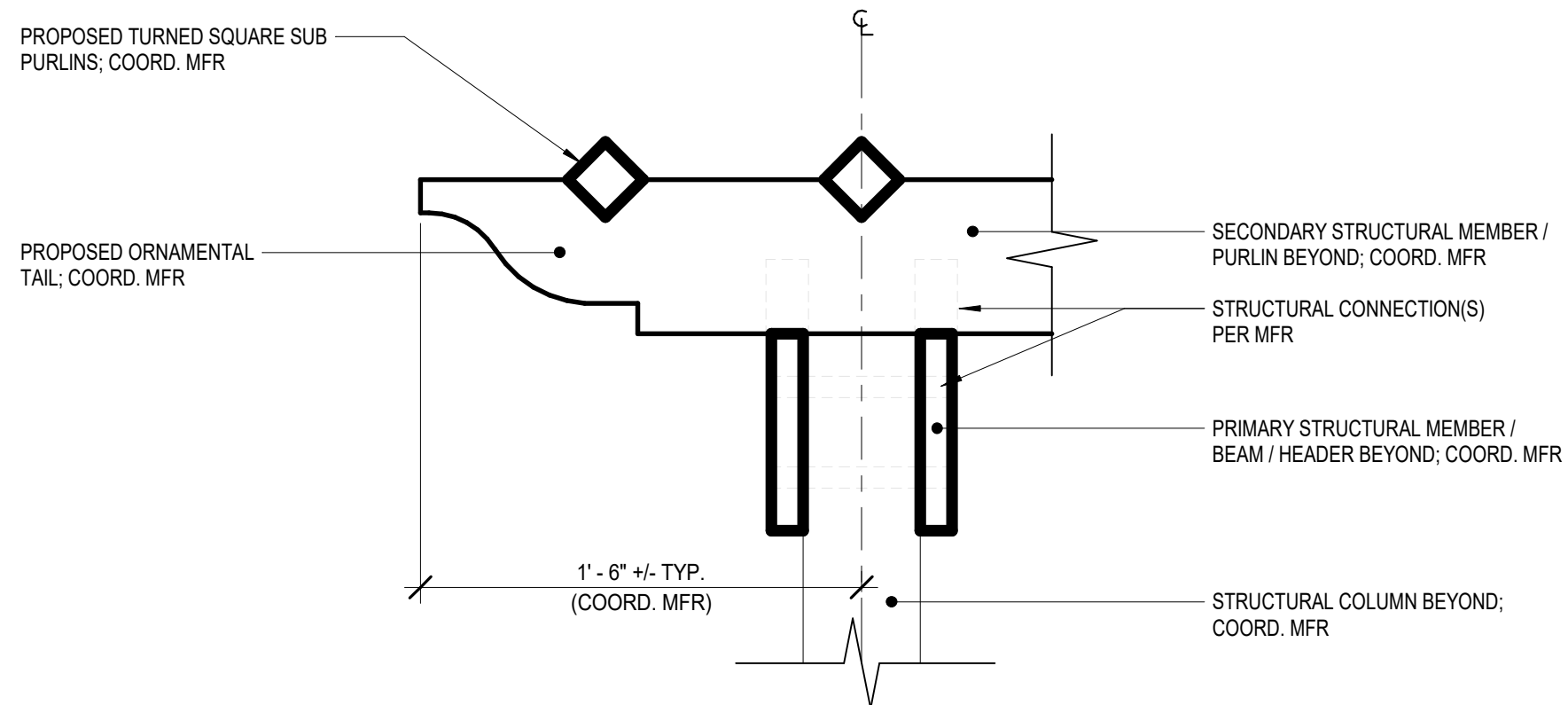
A1 ENLARGED COURTYARD PLAZA
SCALE: 1/8" = 1'-0"



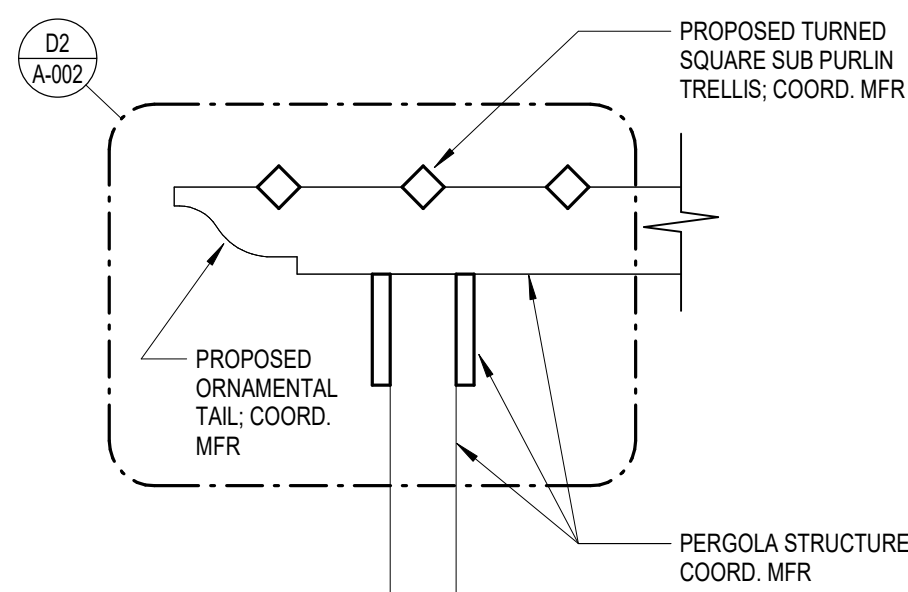
E1 PERGOLA - COLUMN @ FOOTING - I
SCALE: 1 1/2" = 1'-0"



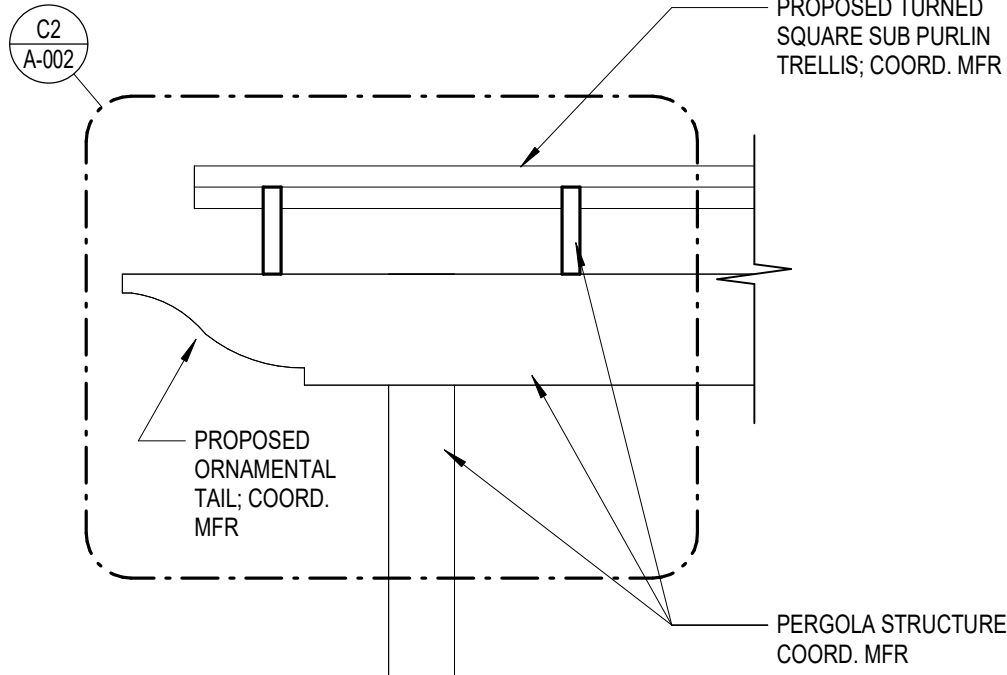
C2 PERGOLA - DETAIL - II
SCALE: 1 1/2" = 1'-0"



D2 PERGOLA - DETAIL - I
SCALE: 1 1/2" = 1'-0"



D1 PERGOLA SECTION - I
SCALE: 3/4" = 1'-0"



C1 PERGOLA SECTION - II
SCALE: 3/4" = 1'-0"



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RENOVATION
PLATO'S MADISON, WI
3841 E WASHINGTON AVE, MADISON, WI 53714

SUBMISSION DATES
OCTOBER 20, 2022

SHEET TITLE
ARCHITECTURAL SITE
DETAILS

PROJECT NUMBER
0210377

SHEET NUMBER
A-002



Project: _____

Type: _____ Length: _____

Notes:

Ordering Information

Product	Wire	Spacing	LED Type	CCT	Globe	Voltage
LSL						12
Litesphere	B Black	06 6" OC	V Very High Output	19 1900K	C Clear	12 12V DC
	W White	12 12" OC	H High Output	27 2700K	F Frosted	
		18 18" OC	S Standard Output	30 3000K	Y Yellow	
		24 24" OC		35 3500K	R Red	
		CS Custom		40 4000K	O Orange	
				50 *5000K	G Green	
				AM *Amber	B Blue	
				RB *Royal Blue	P Purple	
				RD *Red	Z Varied Colors	
				GN *Green	V LED required	
				YL *Yellow	S Saber	
					L Flare	

*Available in
VHO LED onlyFor colored globes,
3500K recommended.

Tivoli manufactures Litesphere to your specified lengths.
Individual lengths and runs must be specified at time of ordering as a separate line item.
See page 7 for run length ordering information



Lengths and Run Ordering

L ____ Length in feet
R = Max Run (200')

Number of Runs

Lead Wire Options (REQUIRED)

Standard 2 foot lead wire

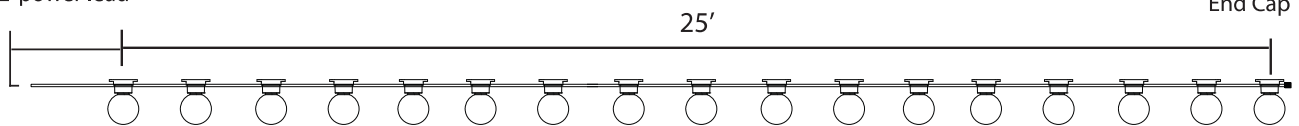
If extra lead wire is needed please add below part number

LS-EP - B Black
W White + LS-XEP - B Black
W White - Length in feet
(18ft max)

Lengths and Run Ordering Examples

L25 - 3
Length in feet Number of Runs

Standard
2' power lead



With the example above, you will receive 3 runs at 25' with standard factory 2' power lead with black wire.

Replacement Parts

LS Globes: All replacement globes come with (1) foam washer each.



LS-CG
Clear



LS-FG
Frosted



LS-SG
Saber



LS-FG
Flare



LS-YG
Yellow



LS-RG
Red



LS-OG
Orange



LS-GG
Green



LS-BG
Blue



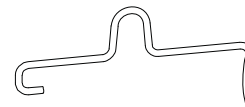
LS-PG
Purple



Very High Output



Standard & High Output



LS-HANG-CLIP

Hanger clip for installation from 8 gauge stainless steel aircraft cable (Sold Each)



LS-UVZP-BK-50 UV Zip Ties
50 pc Bag set. UV resistant, heavy duty ties.
Maximum weight up to 100 lbs./per tie.

LSL 19 V 12
12V Wedge base
1900K
LSL 27 V 12
12V Wedge base
2700K
LSL 30 V 12
12V Wedge base
3000K
LSL 35 V 12
12V Wedge base
3500K
LSL 40 V 12
12V Wedge base
4000K
LSL 50 V 12
12V Wedge base
5000K
LSL AM V 12
12V Wedge base
Amber

LSL RD V 12
12V Wedge base
Red
LSL RB V 12
12V Wedge base
Royal Blue
LSL GN V 12
12V Wedge base
Green
LSL YL V 12
12V Wedge base
Yellow
LSL OR V 12
12V Wedge base
Orange

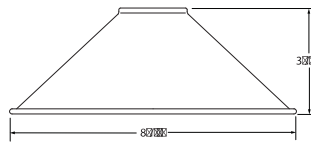
STANDARD
LSL 19 S 12
12V Wedge
base
1900K
LSL 27 S 12
12V Wedge
base
2700K
LSL 30 S 12
12V Wedge
base
3000K
LSL 35 S 12
12V Wedge
base
3500K
LSL 40 S 12
12V Wedge
base
4000K

HIGH OUTPUT
LSL 19 H 12
12V Wedge base
1900K
LSL 27 H 12
12V Wedge base
2700K
LSL 30 H 12
12V Wedge base
3000K
LSL 35 H 12
12V Wedge base
3500K
LSL 40 H 12
12V Wedge base
4000K

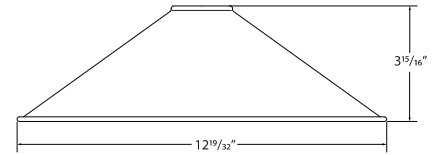


Light Shades

HAT



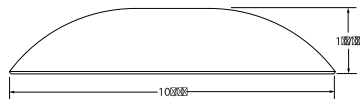
SHADE-HT-BK-BK-8
Light Shade - HAT
8.3" Black Top, Black Bottom



SHADE-HT-BK-BK-13
Light Shade - HAT
12.6" Black Top, Black Bottom
***SHADE-HT-BK-CP-13**
Light Shade - HAT
12.6" Black Top, Copper Bottom

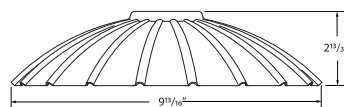
*Consult factory for lead time and MOQ

DISH

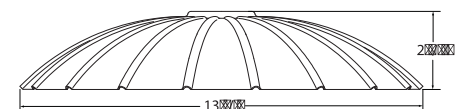


SHADE-DS-BK-BK-10
Light Shade - DISH
10.2" Black Top, Black Bottom

FLOWER



SHADE-FL-BK-BK-10
Light Shade - FLOWER
9.8" Light Shade, Black Top, Black Bottom



SHADE-FL-BK-BK-13
Light Shade - FLOWER
13.8" Light Shade, Black Top, Black Bottom

Accessories

SHADE-ADP-LSL-BK-01 Litesphere Light Shade Adapter

PVC Black Adapter - Sold individually. Includes (1) Adapters, (1) Adapter bracket, (2) set screws and (1) Allen Key

SHADE-ADP-LSL-BK-10 Litesphere Light Shade Adapter

PVC Black Adapter Kit - Sold in packs of 10. Includes (10) Adapters, (10) Adapter bracket, (20) set screws and (1) Allen Key

SHADE-ADP-LSL-BK-25 Litesphere Light Shade Adapter

PVC Black Adapter Kit - Sold in packs of 25. Includes (25) Adapters, (25) Adapter bracket, (50) set screws and (1) Allen Key

SHADE-ADP-LSL-BK-50 Litesphere Light Shade Adapter

PVC Black Adapter Kit - Sold in packs of 50. Includes (50) Adapters, (50) Adapter bracket, (100) set screws and (1) Allen Key





Mounting Accessories



LS-CABLE-60 Catenary Cable Kit - 60'
LS-CABLE-110 Catenary Cable Kit - 110'
LS-CABLE-500 Catenary Cable Kit - 500'
 (1/8th inch, includes 2 cables locks for use with loads up to 200lbs)

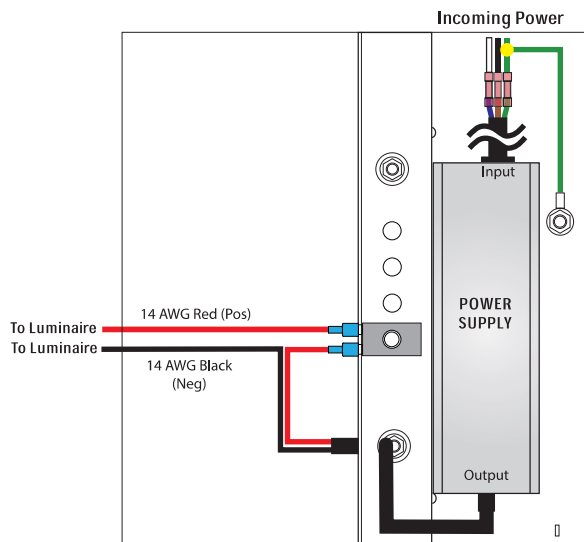


LS-LOCK-4 Cable Lock 1/8th Cable
 Cable Lock for 1/8th inch cable, Heavy-duty lockable fasteners support loads up to 330 lbs.



LS-TT Catenary Tensioning Tool
 Catenary Cable Tensioning Tool

Power Supplies

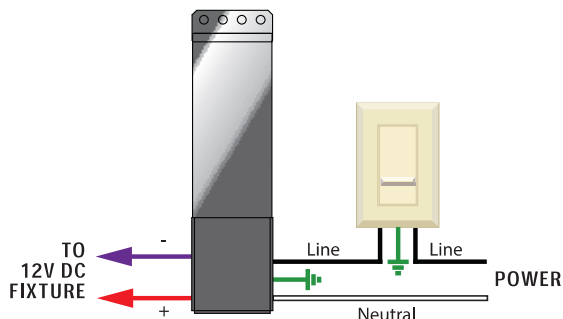


NON DIMMING

CAT NO	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	DIMENSIONS	LISTING
ADNM-60-1-5-12-D	<u>120-277V AC</u> 12V DC	60W / 1X5A	6.00" W X 6.00" L X 4.00" D	NEMA3R/ UL listed
ADNM-150-2-5-12-D	<u>120-277V AC</u> 12V DC	120W / 2X5A	10.00" W X 10.00" L X 10.00" D	
ADNM-240-3-5-12-D	<u>120-277V AC</u> 12V DC	180W / 3X5A		
ADNM-320-4-5-12-D	<u>120-277V AC</u> 12V DC	240W / 4X5A		

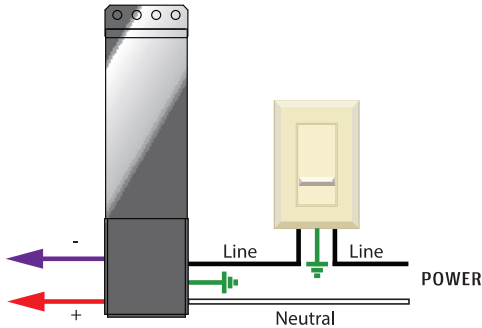
ELV DIMMING

CAT NO	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	MIN LOAD	DIMENSIONS	LISTING
EMEC601512	120V AC 12V DC	60W / 5A	3W	3.03"W X 14.3"L X 2.24"D	cETLus
EMML601512B	120V AC 12V DC	60W / 5A	30W	3.93"W X 8.13"L X 1.59"D	cETLus
EMMLH601512B	277V AC 12V DC	60W / 5A	30W	3.93"W X 8.13"L X 1.59"D	cETLus



Power Supplies Cont.

MLV DIMMING

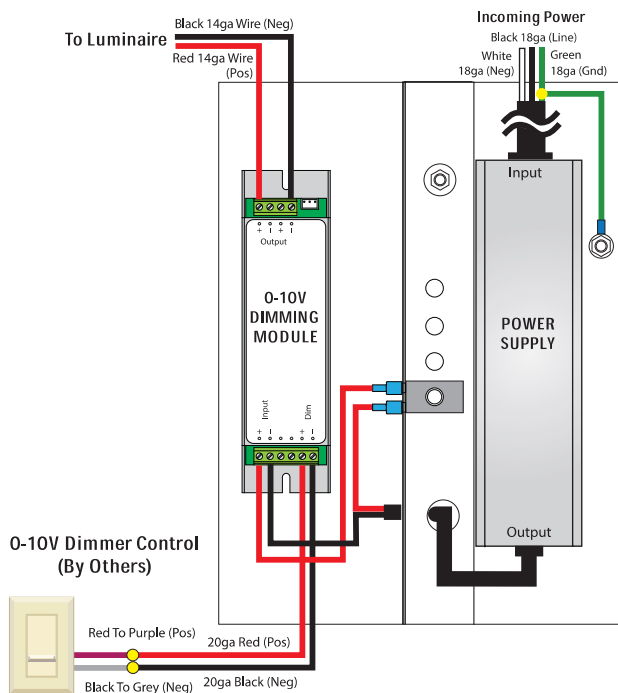


CAT NO	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	MIN LOAD	DIMENSIONS	LISTING
*JT-60-1-5-12-D	120V AC 12V DC	60W / 1X5A	N/A	4.25"W X 8.5"L X 3.25"D	NEMA3R/ cETLus
*JTH-60-1-5-12-D	277V AC 12V DC	60W / 1X5A	N/A	4.25"W X 8.5"L X 3.25"D	NEMA3R/ cETLus
*JT-240-4-5-12-D	120V AC 12V DC	240W / 4X5A	N/A	8.5"W X 16"L X 4.5"D	NEMA3R/ cETLus
*JTH-240-4-5-12-D	277V AC 12V DC	240W / 4X5A	N/A	8.5"W X 16"L X 4.5"D	NEMA3R/ cETLus
EMEC601512	120V AC 12V DC	60W / 5A	3W	3.03"W X 14.3"L X 2.24"D	IP67/ cETLus
EMML601512B	120V AC 12V DC	60W / 5A	30W	3.93"W X 8.13"L X 1.59"D	NEMA3R/ cETLus
EMMLH601512B	277V AC 12V DC	60W / 5A	30W	3.93"W X 8.13"L X 1.59"D	NEMA3R/ cETLus

*Lowest operating temperature -40°F

DESCRIPTION	CAT NO	INPUT VOLTAGE	CONTINUOUS MAX VOLT AGE AC	CONTINUOUS MAX VOLTAGE DC	MAX CLAMPING VOLTAGE 8/20 μS 20KA	DIMENSION
Universal Surge Protector	JT-120-SURGE	120V - 277V AC	320V AC	420V DC	1600	3" L X 1.625" D

0 10V DIMMING



CAT NO	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	DIMENSIONS	LISTING
ADNM-60-1-5-12-DOT	120-277V AC 12V DC	60W / 1X5A	6.00" W X 6.00" L X 4.00" D	NEMA3R/ UL listed
ADNM-150-2-5-12-DOT	120-277V AC 12V DC	120W / 2X5A	12.00" W X 12.00" L X 4.25" D	NEMA3R/ UL listed
ADNM-240-3-5-12-DOT	120-277V AC 12V DC	180W / 3X5A	12.00" W X 12.00" L X 4.25" D	NEMA3R/ UL listed
ADNM-320-4-5-12-DOT	120-277V AC 12V DC	240W / 4X5A	12.00" W X 12.00" L X 4.25" D	NEMA3R/ UL listed

Plato's

RENDERING – NEW EXTERIOR COLORS (ON EXISTING MATERIALS)

NOTE: COLORS MAY NOT LOOK ACCURATE DUE TO LIGHTING AND SHADOWS



AGREEABLE
GRAY



REQUISITE
GRAY



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NEW EXTERIOR COLORS (ON EXISTING MATERIALS)



AGREEABLE GRAY
R:209 G:203 B:193

EPT-1 (MAIN COLOR – APPLICATION 1)

USES:	MAIN WALLS (EIFS / MASONRY)
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	AGREEABLE GRAY
NUMBER:	SW7029
MODEL BASIS:	LOXON SELF-CLEANING EXTERIOR ACRYLIC (OR SIMILAR)
FINISHES AVAILABLE:	FLAT / SATIN

EIFS



DESCRIPTION: SAND / DASH / SPANISH LACE
TEXTURE

LOCATION(S): MAIN BUILDING WALLS

MASONRY - BRICK



DESCRIPTION: COMMON BOND (WITH SCORED
/ TEXTURED VARIATIONS)

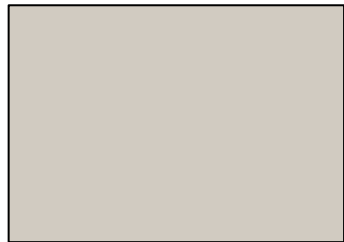
LOCATION(S): COURTYARD

OVERALL



LOCATION(S): COURTYARD

NEW EXTERIOR COLORS (ON EXISTING MATERIALS)



AGREEABLE GRAY
R:209 G:203 B:193

EPT-1a (MAIN COLOR – APPLICATION 2)

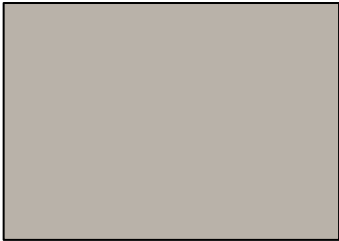
USES:	DOORS, MECHANICAL LOUVERS (METALS)
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	AGREEABLE GRAY
NUMBER:	SW7029
MODEL BASIS:	RESILIENCE EXTERIOR ACRYLIC LATEX (OR SIMILAR)
FINSIHES AVAILABLE:	FLAT / SATIN / GLOSS

DOORS & MECHANICAL LOUVERS



DESCRIPTION: HOLLOW METAL DOORS & METAL LOUVERS
LOCATION(S): MAIN BUILDING WALLS

NEW EXTERIOR COLORS (ON EXISTING MATERIALS)



REQUISITE GRAY
R:185 G:178 B:169

EPT-2 (ACCENT COLOR- APPLICATION 1)

USES:	WALL ACCENTS, FASCIA, FENCE (EIFS, FIBER CEMENT / WOOD
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	REQUISITE GRAY
NUMBER:	SW7023
MODEL BASIS:	LOXON SELF-CLEANING EXTERIOR ACRYLIC (OR SIMILAR)
FINSIHES AVAILABLE:	FLAT / SATIN

WALL ACCENTS



DESCRIPTION:

EIFS (INDICATED WHITE PORTIONS) – RECESSED / INSET FROM MAIN WALL DEPTH, SEPARATED BY ARCHITECTURAL / CONTROL JOINTS, OR BOTH.

LOCATION(S):

TYPICAL BAYS OF DWELLING UNIT WINDOWS AND MOST MAIN ENTRIES / EGRESSSES

FASCIA



DESCRIPTION:

FIBER CEMENT / WOOD
FASCIA BOARD
ROOF EDGES, GABLE
END-WALLS

LOCATION(S):

FENCING

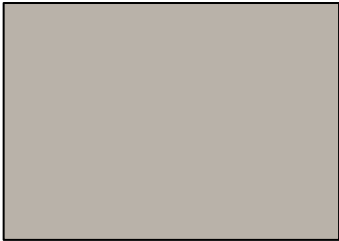


DESCRIPTION:

WOOD FENCE PLANKS,
DOG EAR
AC UNIT / TRANSFORMER
ENCLOSURE, DUMPSTER
ENCLOSURE

LOCATION(S):

NEW EXTERIOR COLORS (ON EXISTING MATERIALS)



REQUISITE GRAY
R:185 G:178 B:169

EPT-2a (ACCENT COLOR- APPLICATION 2)

USES:	PTAC GRILLES, DOORS (METALS)
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	REQUISITE GRAY
NUMBER:	SW7023
MODEL BASIS:	RESILIENCE EXTERIOR ACRYLIC LATEX (OR SIMILAR)
FINISHES AVAILABLE:	FLAT / SATIN / GLOSS

PTAC GRILLES



DESCRIPTION: GRILLES FOR PTAC UNIT AIR INTAKE
LOCATION(S): UNDER DWELLING UNIT WINDOWS AND
SOME OTHER WINDOWS



DOORS

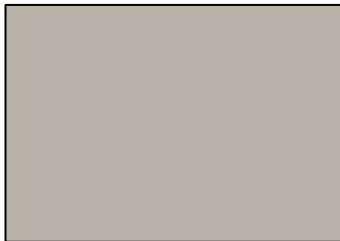


DESCRIPTION: HOLLOW METAL DOOR
LOCATION(S): IN WALLS THAT ARE ACCENT COLOR

NEW EXTERIOR COLORS (ON EXISTING MATERIALS)



AGREEABLE GRAY
R:209 G:203 B:193



REQUISITE GRAY
R:185 G:178 C B:169

EPT-1a / EPT-2a (ACCESSORY COLORS – MATCH WALL BEHIND / ADJACENT)

USES:	GUTTERS / DOWNSPOUTS, FLASHINGS / COPINGS, RAILINGS / STRUCTURE (METALS)
MANUFACTURER:	SHERWIN WILLIAMS
COLOR:	AGREEABLE GRAY / REQUISITE GRAY
NUMBER:	SW7029 / SW7023
MODEL BASIS:	RESILIENCE EXTERIOR ACRYLIC LATEX (OR SIMILAR)
FINISHES AVAILABLE:	FLAT / SATIN / GLOSS

GUTTERS / DOWNSPOUTS (TYPICAL)



GUTTERS: EPT-2a, TYP
DOWNSPOUTS: EPT-1a, TYP

FLASHINGS / COPINGS (TYPICAL)



FLASHINGS / COPINGS: EPT-2a, TYP

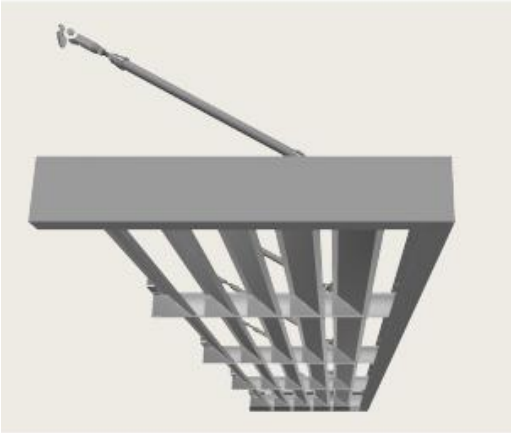
RAILINGS / STRUCTURE (TYPICAL)



RAILINGS / STRUCTURE: EPT-2a, TYP

Plato's

NEW EXTERIOR ACCESSORIES



METAL CANOPIES / AWNINGS (TYPICAL)

MANUFACTURER:	MAPES CANOPIES
MODEL BASIS:	<i>SUPERSHADE</i> (OR SIMILAR)
NUMBER:	T6-6063 (OR SIMILAR)
FINISH:	TWO COAT KYNAR
COLOR:	<i>EXTRA DARK BRONZE</i> OR <i>BLACK</i> (MATCH SHERWIN WILLIAMS <i>TRICORN BLACK</i>)
LOCATIONS:	ABOVE WINDOWS AND VESTIBULES ON FIRST FLOOR

