

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: Jannah Village Apartment Complex

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested November 30, 2022

- ☒ New development
 ☐ Alteration to an existing or previously-approved development
☐ Informational
 ☐ Initial approval
 ☒ Final approval

3. Project Type

- ☒ ~~Project in an Urban Design District~~
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
 ☐ General Development Plan (GDP)
 ☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex
- Signage**
- ☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)
☐ Signage Exception
- Other**
- ☐ Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name Lindsay Hagens
Company Simply Homes Property Mgmt
Street address 5117 Butterfield dr
City/State/Zip Madison WI 53704
Telephone 6084462224
Email Simplyhomesproperties@gmail.com

Project contact person Robert Sieger
Company Sieger Architects
Street address 73 White Oak Ln
City/State/Zip Madison Wi 53711
Telephone 6083477332
Email siegerarchitects@sbcglobal.net

Property owner (if not applicant) _____
Street address _____
 City/State/Zip _____
Telephone _____
 Email _____

Urban Design Commission Application (continued)

UDC

5. Required Submittal Materials

☒ Application Form☒ Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

☒ Development Plans (Refer to checklist on Page 4 for plan details)☒ Filing fee☒ Electronic Submittal*☒ Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with April 2021 on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Lindsay Hagens Relationship to property Owner

Authorizing signature of property owner Lindsay Hagens Date 08/24/2021

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

URBAN DESIGN COMMISSION APPROVAL PROCESS



Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Jannah Village Apartments

This apartment complex is being developed by Simply Home Property Mgmt. It will be self managed with three employees. The apartment complex will consist of four lots. Two lots will have three large apartments, with a mix of efficiencies to three bedrooms. They will have above and underground parking available to tenants. The last two lots will have a mix of two units to ten units with different style row houses. All will be three bedrooms and two car attached garages. There will be common area for all to enjoy with a clubhouse and a pool. The development will be broken down in Four phases.

Phase 1: Lot 3 Start Date of December 2022

Phase 2: Lot 1 Start Date of Late year 2023

Phase 3: Lot 2 Start Date of Fall 2024

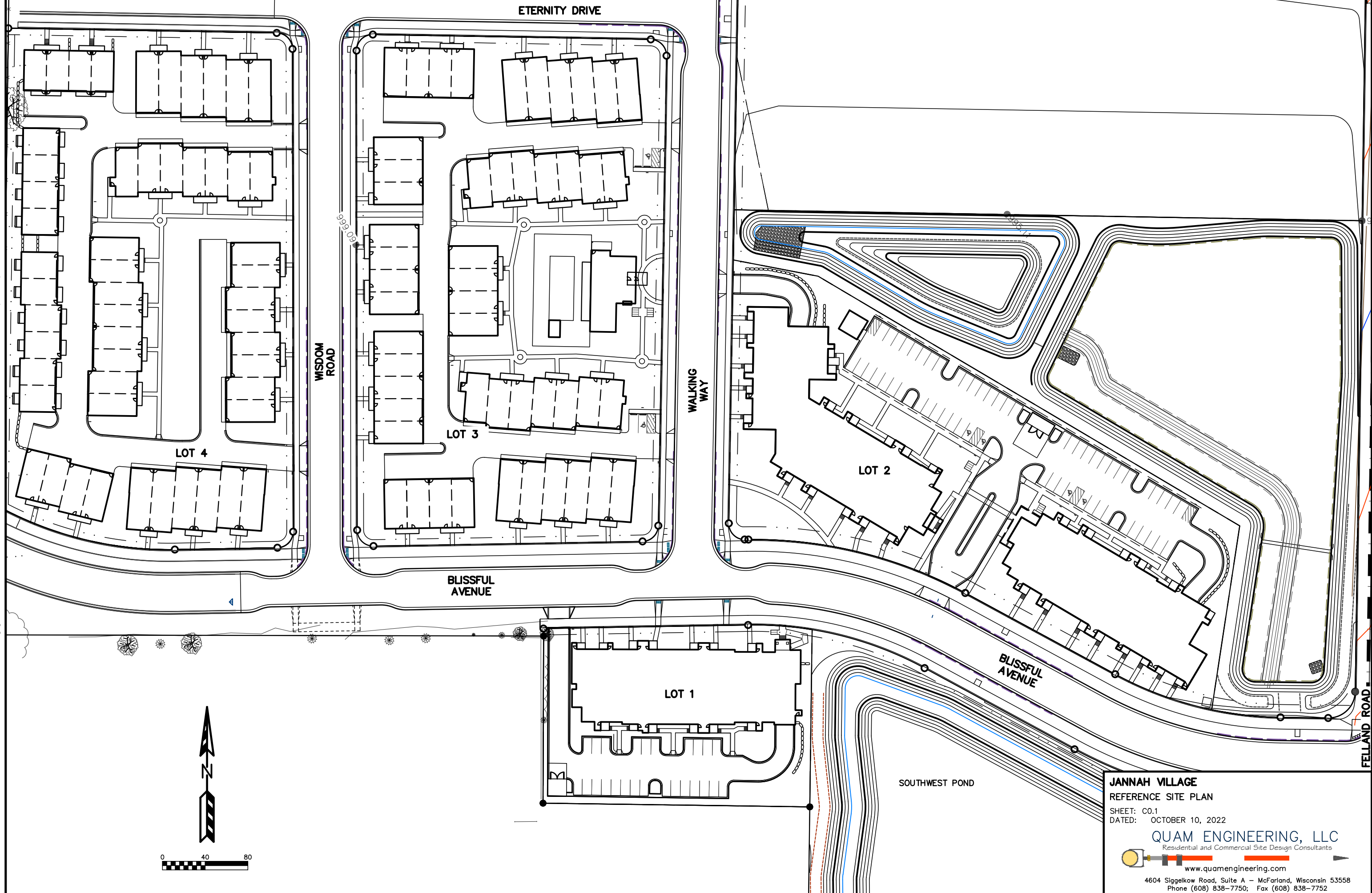
Phase 4: Lot 4 Start Date of Fall 2025

Contact information for the project:

Lindsay Hagens

Simply Homes Property Mgmt

6084462224



JANNAH VILLAGE
REFERENCE SITE PLAN

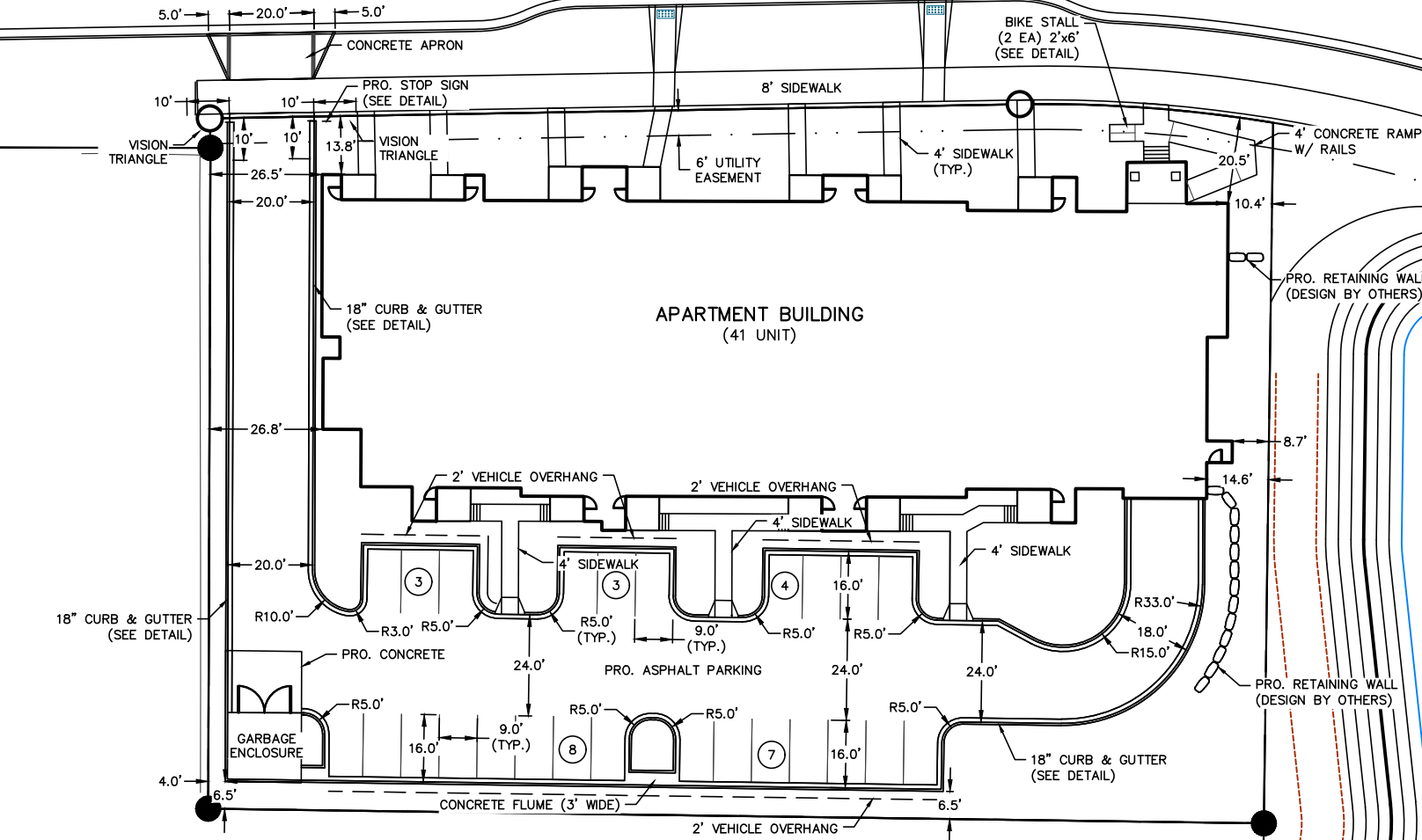
SHEET: C0.1
DATED: OCTOBER 10, 2022

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

 www.quamengineering.com

4604 Siggelkow Road, Suite A – McFarland, Wisconsin 53558
Phone (608) 838–7750; Fax (608) 838–7752

VISION TRIANGLE NOTE:
NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET.



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address TO BE DETERMINED
Site acreage (total) 0.96 ACRES
Number of building stories (above grade) 3
Total Building height above existing grade 56.78'
Total square footage of building 15,085 s.f.
Use of property MULTIFAMILY APARTMENT BUILDING
Impervious area 0.69 ACRES
Open space area 0.27 ACRES
Lot coverage 28.1%
Number of bicycle stalls shown 2
Number of Parking stalls:

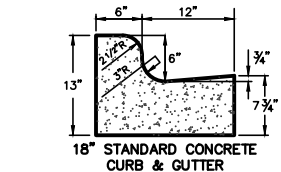
DESCRIPTION	Number
Parking (above ground)	25
Accessible (above ground)	0
Parking (garage)	36
Accessible (garage)	1
Total	62

RIGHT-OF-WAY NOTE:

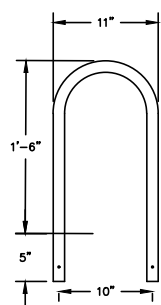
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



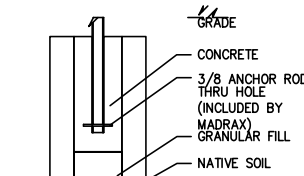
HANDICAP ACCESSIBLE SIGN DETAIL



18" CONCRETE CURB DETAIL



GRADE
MADRAX DIVISION
GRABER MANUFACTURING, INC.
1080 UNIEK DRIVE
WAUNAKEE, WI 53597
(800)448-7931 (608)849-1080



IN GROUND MOUNT (IG)
MODEL#: U190-IG-P
DETAIL - TYPICAL BIKE RACK
SCALE: NONE



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

CITY NOTE:

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

CURB & GUTTER NOTES:

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

PAVING NOTES:

PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.

THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

SIGNING NOTES:

THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING

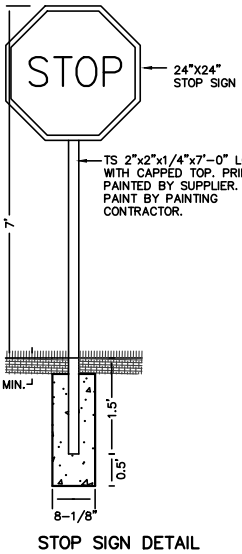
GENERAL NOTES:

THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

GENERAL NOTES:
-EXCAVATION BY CONCRETE CONTRACTOR
-POSTS SHALL BE SET BY CONCRETE CONTRACTOR & PROVIDED BY STEEL SUPPLIER.
-SIGN PROVIDED BY HARDWARE SUPPLIER & INSTALLED BY CARPENTER
-WIPE CLEAN EXCESS CONCRETE FROM POST BY CONCRETE CONTRACTOR
-CARPENTER TO DRILL HOLES IN STEEL POST FOR SIGN ATTACHMENT



STOP SIGN DETAIL

JANNAH VILLAGE - LOT 1

SITE PLAN

SHEET: C-1

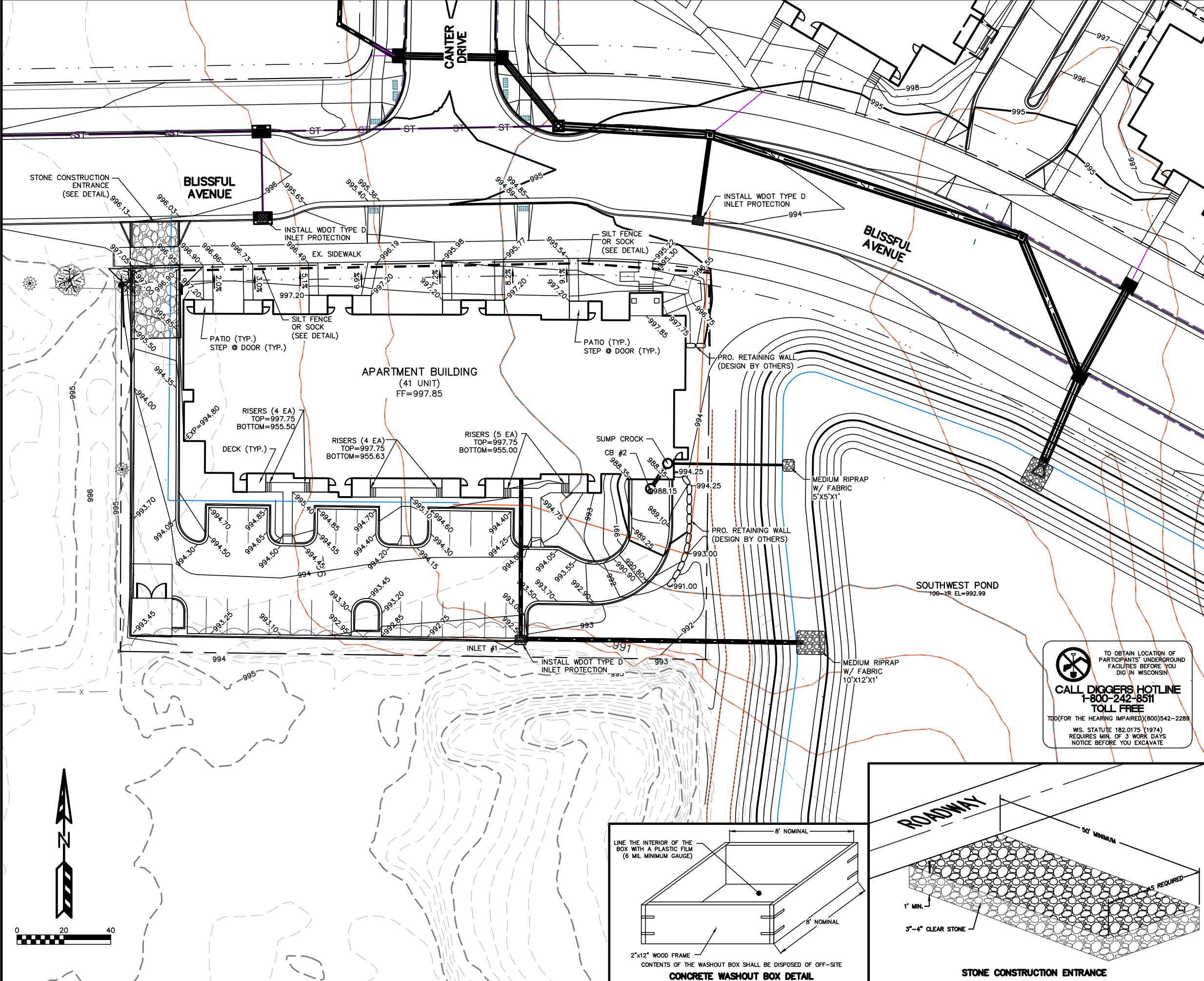
DATED: OCTOBER 10, 2022

QUAM ENGINEERING, LLC
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www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



EROSION NOTES:
SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
NOVEMBER 15, 2022
NOVEMBER 15, 2022 - JUNE 1, 2023
JUNE 2023
INSTALL INITIAL EROSION CONTROL DEVICE AND ROUGH GRADE SITE.
CONSTRUCT BUILDING, SIDEWALK, AND PAVEMENT.
APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED. (PER DNR TECH STANDARD 1058).
COMPLETE FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.

INSPECTIONS:
COMPLETE WEEKLY SELF-INSPECTION OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCES.

RESTORATION NOTES:
RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.
ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE. FERTILIZER SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.
SEEDING FROM OCTOBER 1 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WHEAT SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

OWNER:
SIMPLY HOMES MADISON, LLC
ATTN: LINDSAY HAGENS
5117 BUTTERFIELD DRIVE
MADISON, WI 53704

ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558

4' x 2" x 2" (MIN.) WOOD POST
2' MINIMUM
SILT FENCE CONSTRUCTION (SHEET FLOW)
FILTER FABRIC
SHEET FLOW
EXTEND FABRIC TO 4" BELOW SURFACE

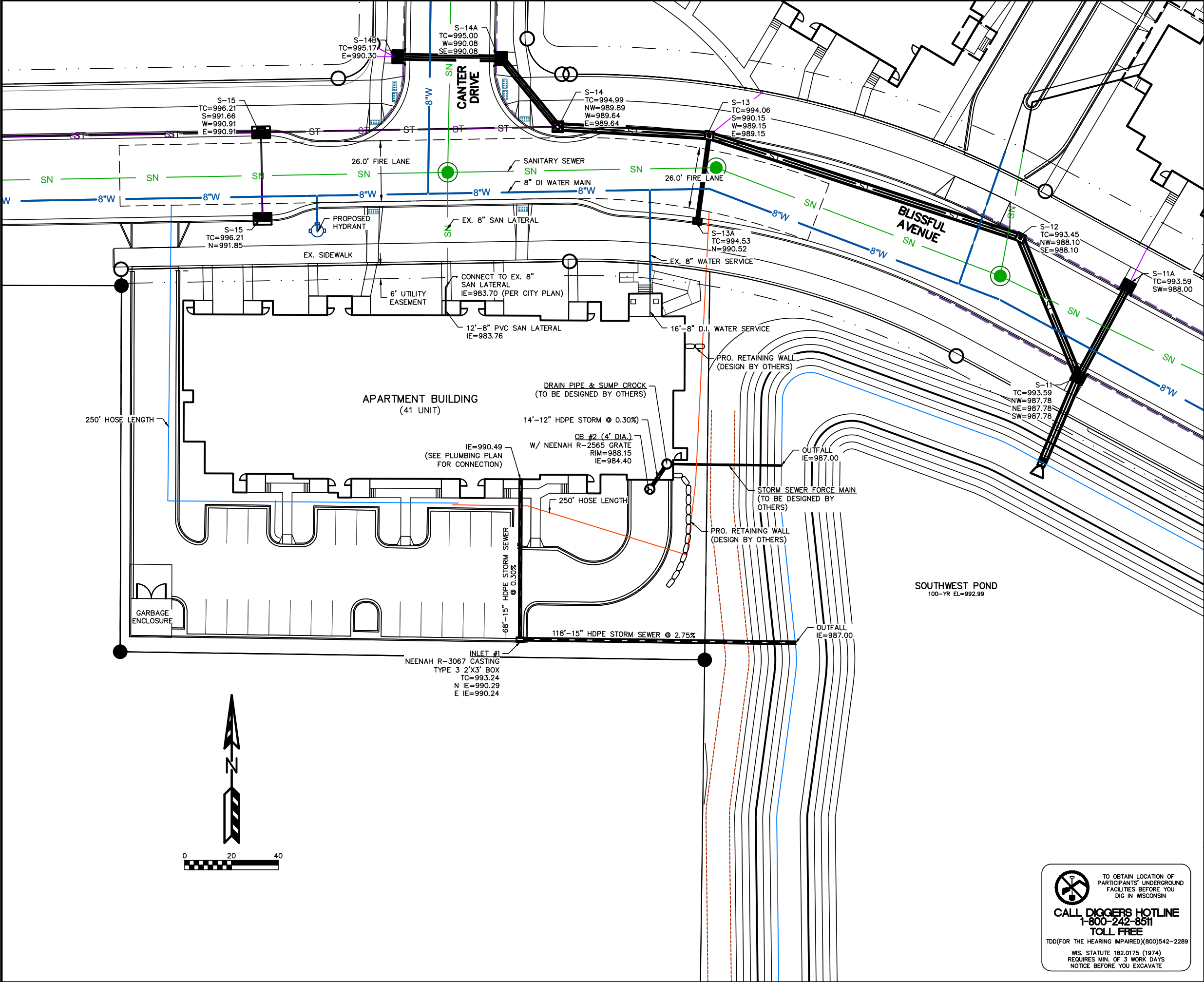
MAINTAIN SILT SOCKS UNTIL VEGETATION IS ESTABLISHED.
CROSSING ROD STAKES (10' SPACING)
NOMINAL 2" x 2" x 30" MIN
FILTEREXX SILT SOCKS (OR EQUAL) (12" DIA)
SILT SOCK DETAIL
SHEET FLOW

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE
TDD(FOR THE HEARING IMPAIRED)(800)542-2289
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

LINE THE INTERIOR OF THE BOX WITH A PLASTIC FILM (6 MIL MINIMUM GAUGE)
2"x12" WOOD FRAME
CONTENTS OF THE WASHOUT BOX SHALL BE DISPOSED OF OFF-SITE
CONCRETE WASHOUT BOX DETAIL

ROADWAY
50' MINIMUM
1' MIN.
3"-4" CLEAR STONE
STONE CONSTRUCTION ENTRANCE

JANNAH VILLAGE - LOT 1
GRADING AND EROSION CONTROL PLAN
SHEET: C-2
DATED: OCTOBER 10, 2022
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



UTILITY NOTES:

- ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.
- PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
- MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
- ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
- THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
- ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.
- SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- WATER MAIN SHALL BE CLASS 52 DUCTILE IRON PIPE, PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
- CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

GENERAL NOTES:

- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

JANNAH VILLAGE - LOT 1

UTILITY PLAN

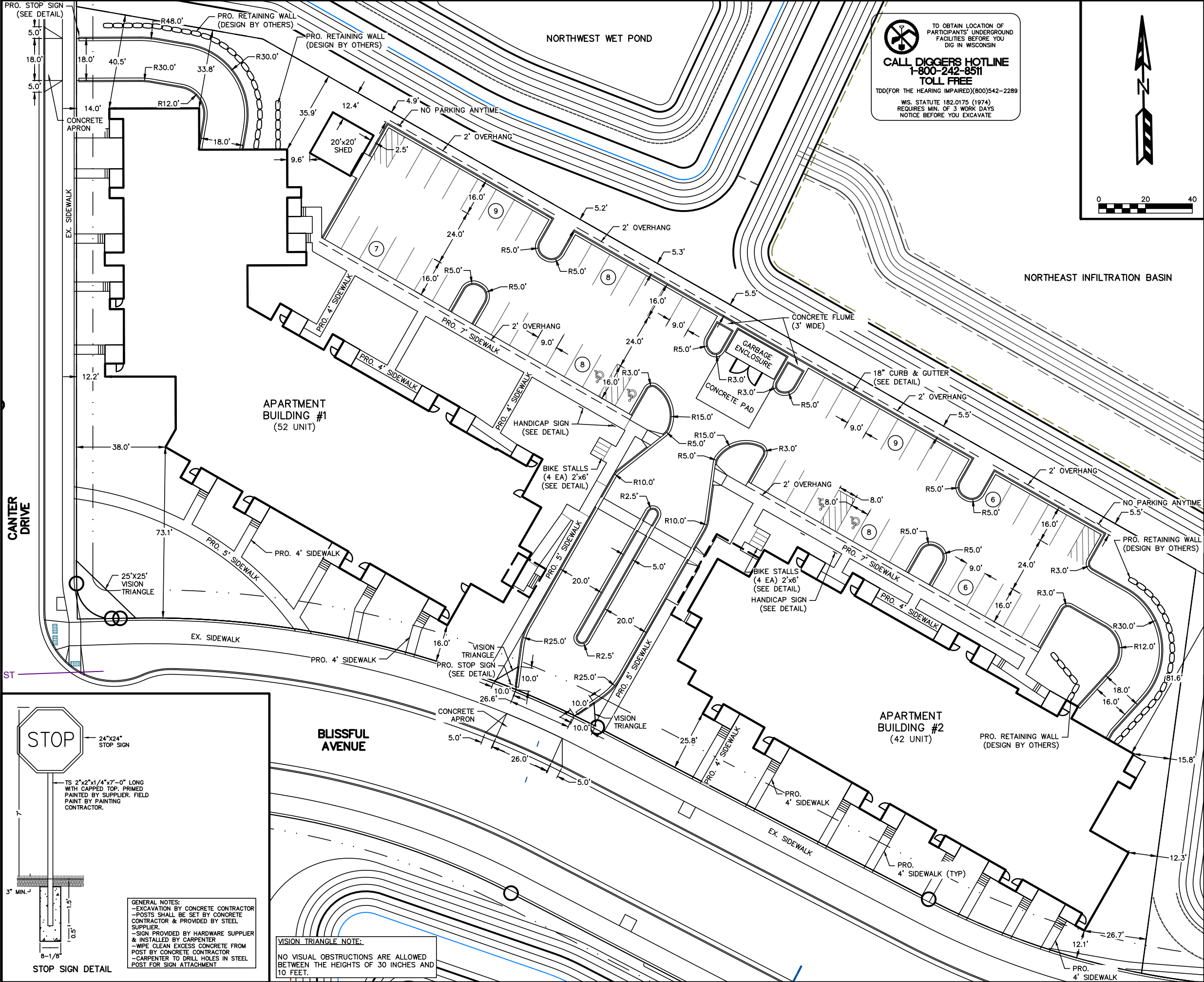
SHEET: C-3
DATED: OCTOBER 10, 2022

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



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Phone (608) 838-7750; Fax (608) 838-7752

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TOLL FREE
TDD(FOR THE HEARING IMPAIRED)(800)542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
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CITY NOTE:
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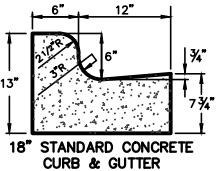
CURB & GUTTER NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
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IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

PAVING NOTES:
PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.
THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

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THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING

GENERAL NOTES:
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ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

PARKING LOT PLAN SITE INFORMATION BLOCK													
Site Address	TO BE DETERMINED												
Site acreage (total)	2.35 ACRE												
Total square footage of building	31,726 s.f.												
Use of property	MULTIFAMILY RESIDENTIAL												
Impervious area	1.62 ACRE												
Open space area	0.73 ACRE												
Lot coverage	68.9%												
Number of bicycle stalls shown	8												
Number of Parking stalls:													
<table><tr><th>DESCRIPTION</th><th>Number</th></tr><tr><td>Parking (above ground)</td><td>57</td></tr><tr><td>Accessible (above ground)</td><td>4</td></tr><tr><td>Parking (garage)</td><td>79</td></tr><tr><td>Accessible (garage)</td><td>0</td></tr><tr><td>Total</td><td>136</td></tr></table>		DESCRIPTION	Number	Parking (above ground)	57	Accessible (above ground)	4	Parking (garage)	79	Accessible (garage)	0	Total	136
DESCRIPTION	Number												
Parking (above ground)	57												
Accessible (above ground)	4												
Parking (garage)	79												
Accessible (garage)	0												
Total	136												
Number of trees shown (See Landscape Plan)													



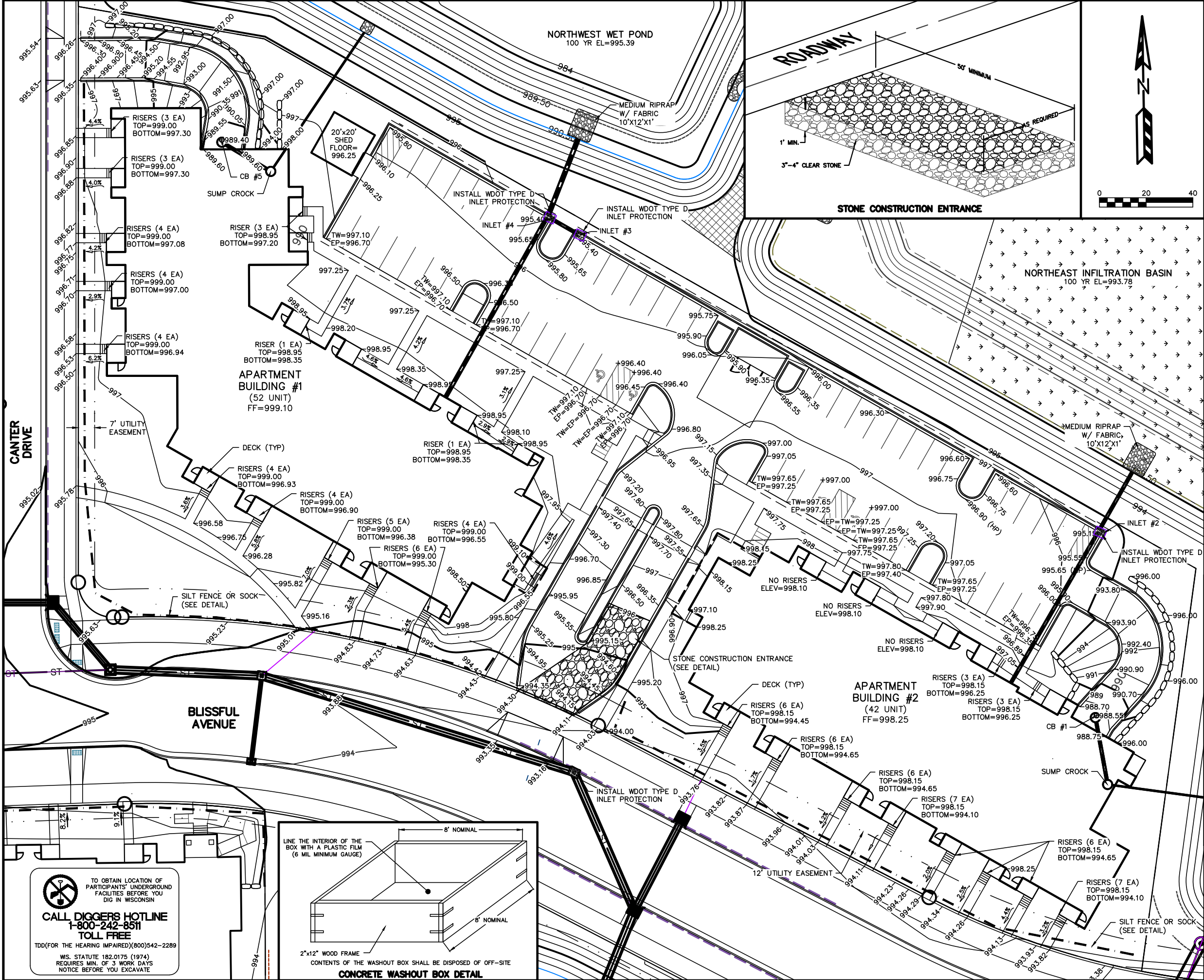
18" CONCRETE CURB DETAIL



HANDICAP ACCESSIBLE SIGN DETAIL

JANNAH VILLAGE - LOT 2
SITE PLAN
SHEET: C-1
DATED: OCTOBER 10, 2022

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EROSION NOTES:
SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
SEPTEMBER 1, 2022
SEPTEMBER 15, 2022 - JUNE 1, 2023
SEPTEMBER 15, 2023 - JUNE 1, 2024
JUNE 1, 2023 & JUNE 1, 2024
JUNE/JULY 2023 & 2024
INSPECTIONS:
COMPLETE WEEKLY SELF-INSPECTION OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCES.
RESTORATION NOTES:
RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.
ALL PVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE. FERTILIZER SHALL ME THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.
SEEDING FROM OCTOBER 1 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WHEAT SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

OWNER:
SIMPLY HOMES MADISON, LLC
ATTN: LINDSAY HAGENS
5117 BUTTERFIELD DRIVE
MADISON, WI 53704
ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558

INSTALL WDOT TYPE D INLET PROTECTION DURING CONSTRUCTION, REPLACE WITH PC BAG FOR POST-CONSTRUCTION

4" x 2" x 2" (MIN.) WOOD POST
FILTER FABRIC
SHEET FLOW
2' MINIMUM
EXTEND FABRIC TO 4' BELOW SURFACE
SILT FENCE CONSTRUCTION (SHEET FLOW)

MAINTAIN SILT SOCKS UNTIL VEGETATION IS ESTABLISHED.
CROSSING ROD STAKES (10' SPACING) NOMINAL 2" x 2" x 30" MIN
FILTEREXX SILT SOCKS (OR EQUAL) (12" DIA)
SHEET FLOW
SILT SOCK DETAIL

JANNAH VILLAGE - LOT 2
GRADING AND EROSION CONTROL PLAN
SHEET: C-2
DATED: OCTOBER 10, 2022
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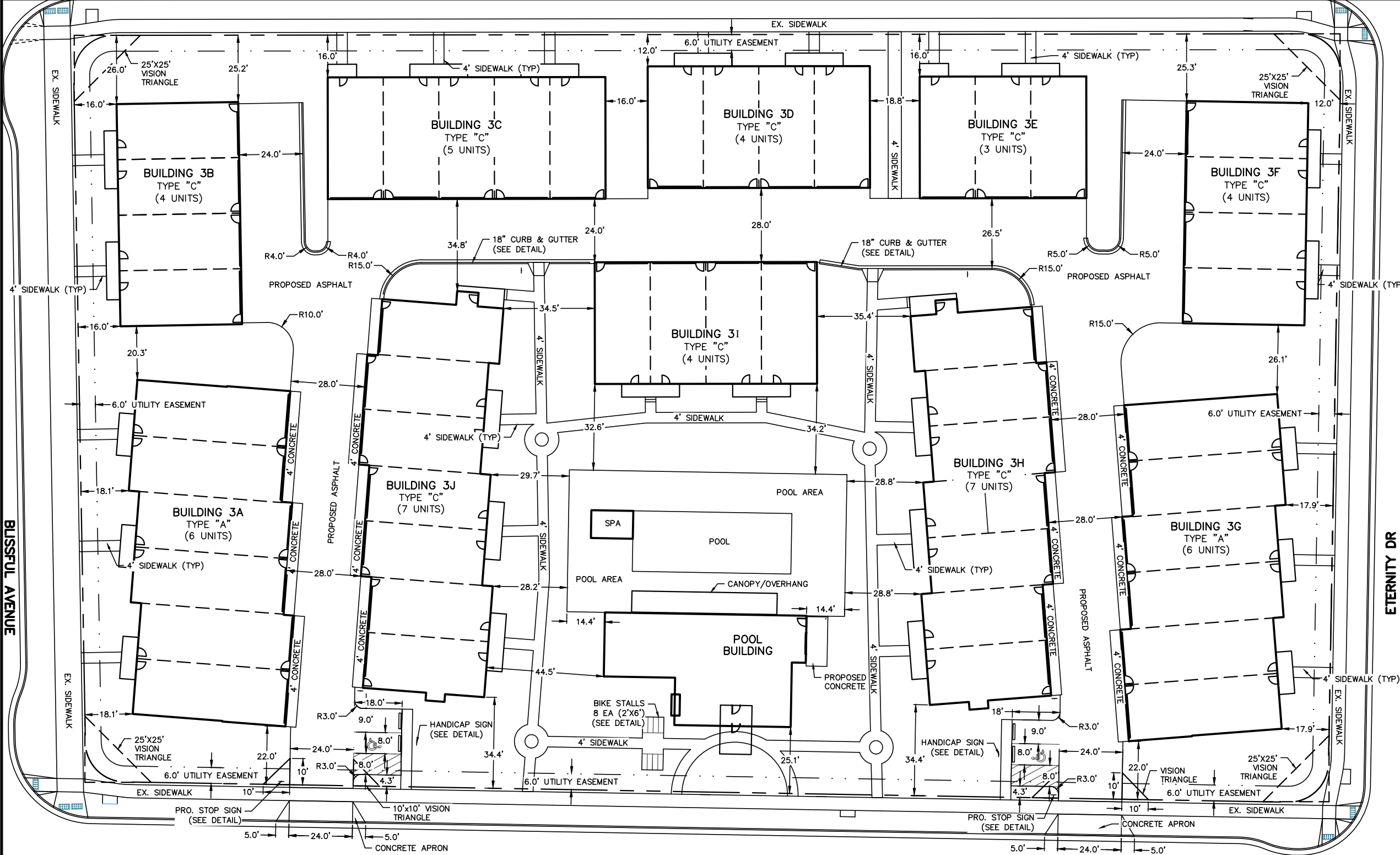
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WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

LINE THE INTERIOR OF THE BOX WITH A PLASTIC FILM (6 MIL MINIMUM GAUGE)
8" NOMINAL
8" NOMINAL
2"x12" WOOD FRAME
CONTENTS OF THE WASHOUT BOX SHALL BE DISPOSED OF OFF-SITE
CONCRETE WASHOUT BOX DETAIL

CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

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PARKING LOT PLAN SITE INFORMATION BLOCK

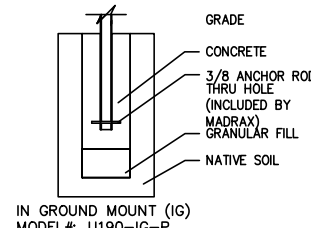
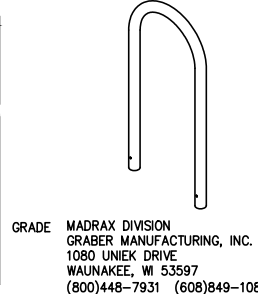
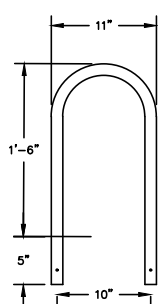
Site Address	TO BE DETERMINED
Site acreage (total)	3.11 ACRE
Use of property	MULTIFAMILY RESIDENTIAL
Impervious area	2.06 ACRE
Open space area	1.05 ACRE
Lot coverage	66.2%
Number of bicycle stalls shown	8
Number of Parking stalls:	
DESCRIPTION	Number
Parking (above ground)	4
Accessible (above ground)	1
Parking (garage)	100
Total	105
Number of trees shown	(See Landscape Plan)

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2
SCALE: NONE

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SIGNING NOTES:

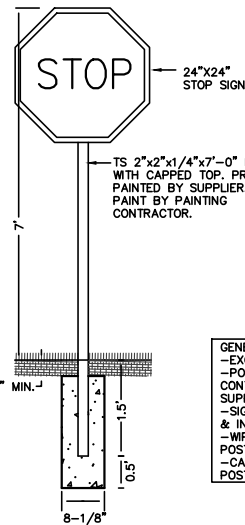
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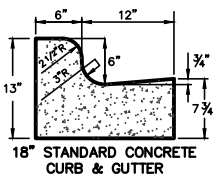
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ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE, CANTER DRIVE, AND ETERNITY DRIVE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.



STOP SIGN DETAIL




18" CONCRETE CURB DETAILS

JANNAH VILLAGE - LOT 3

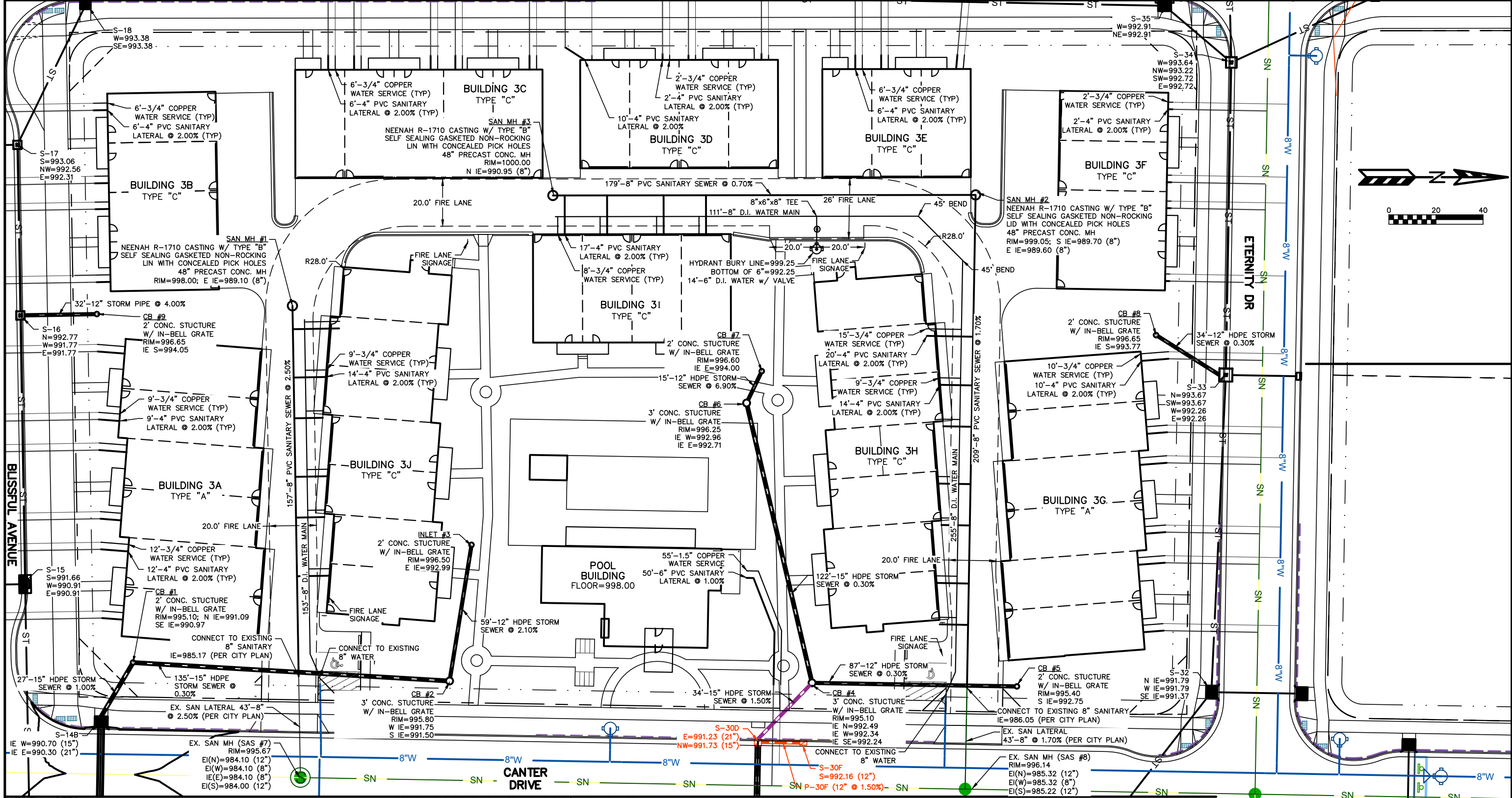
SITE PLAN

SHEET: C-1
DATED: OCTOBER 10, 2022

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UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.

WATER MAIN SHALL BE CLASS 52 DUCTILE IRON PIPE, PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.

CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

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JANNAH VILLAGE - LOT 3

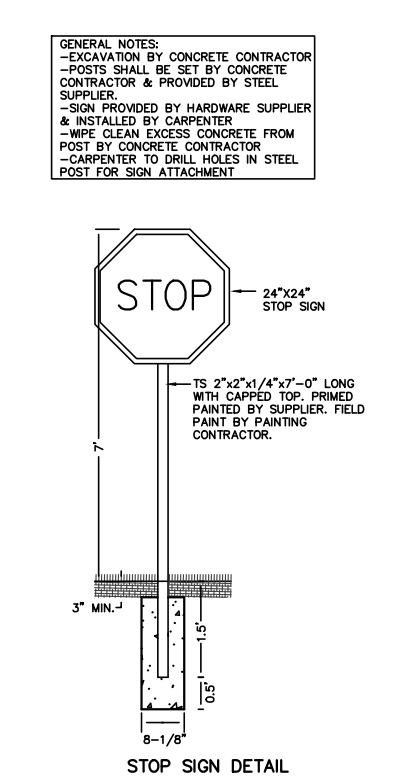
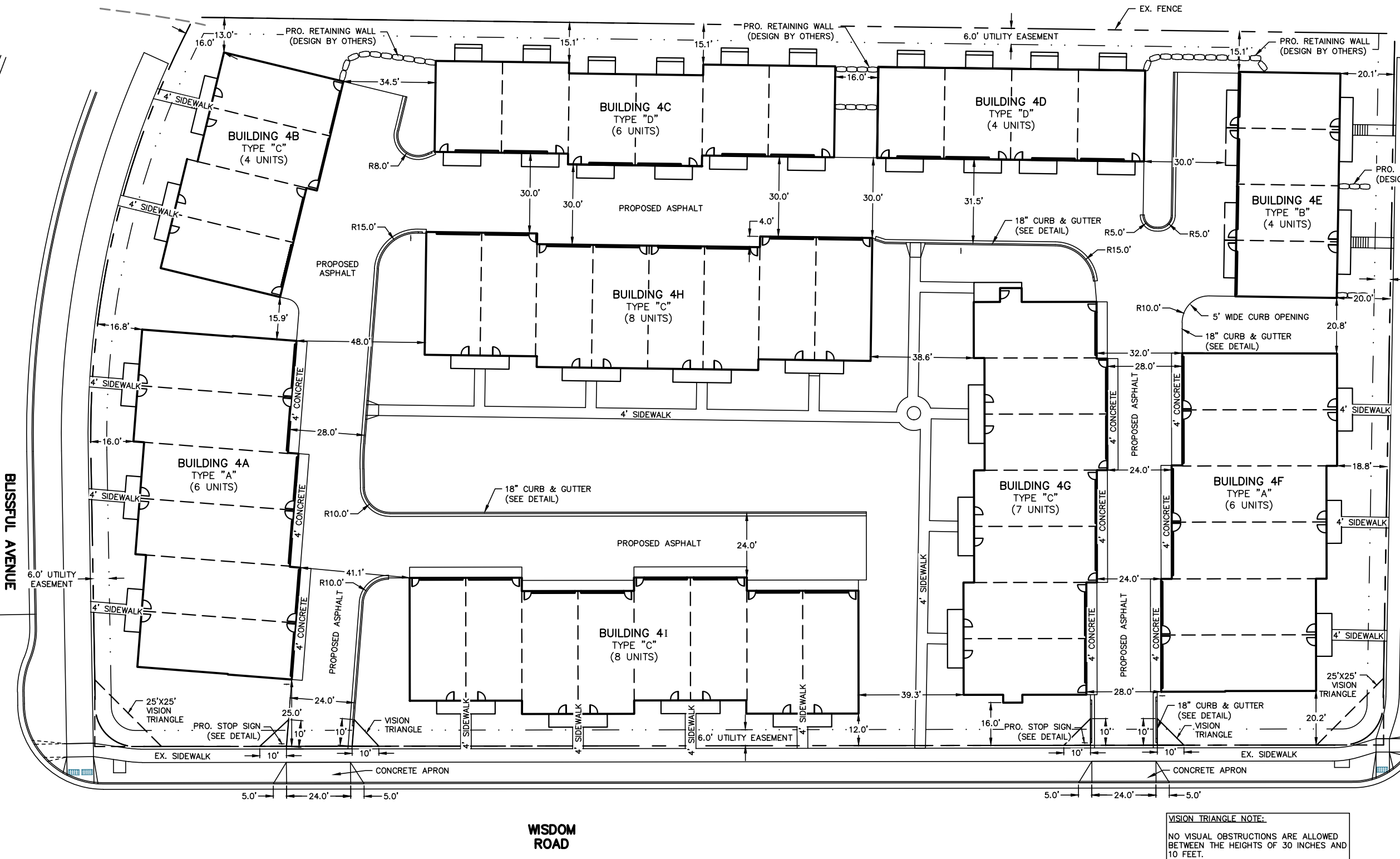
UTILITY PLAN

SHEET: C-3
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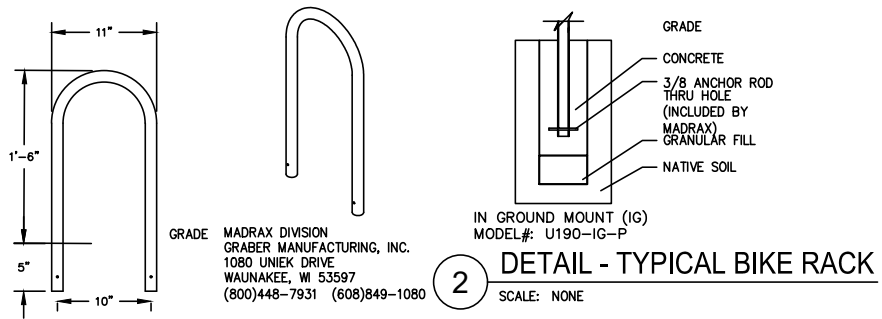
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VISION TRIANGLE NOTE:
NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET.

PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address	TO BE DETERMINED
Site acreage (total)	2.96 ACRE
Use of property MULTIFAMILY RESIDENTIAL	
Impervious area	1.98 ACRE
Open space area	0.98 ACRE
Lot coverage	66.9%
Number of bicycle stalls shown	0
Number of Parking stalls:	
DESCRIPTION	Number
Parking (above ground)	0
Accessible (above ground)	0
Parking (garage)	106
Total	106
Number of trees shown	(See Landscape Plan)



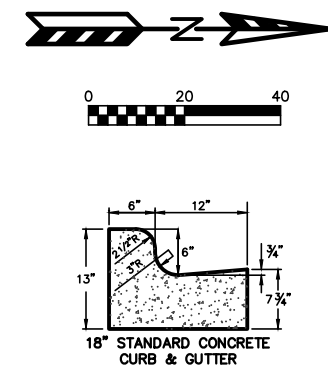


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JANNAH VILLAGE – LOT 4

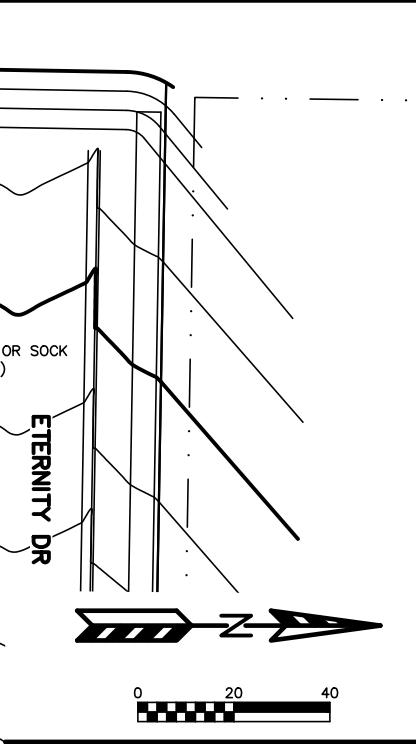
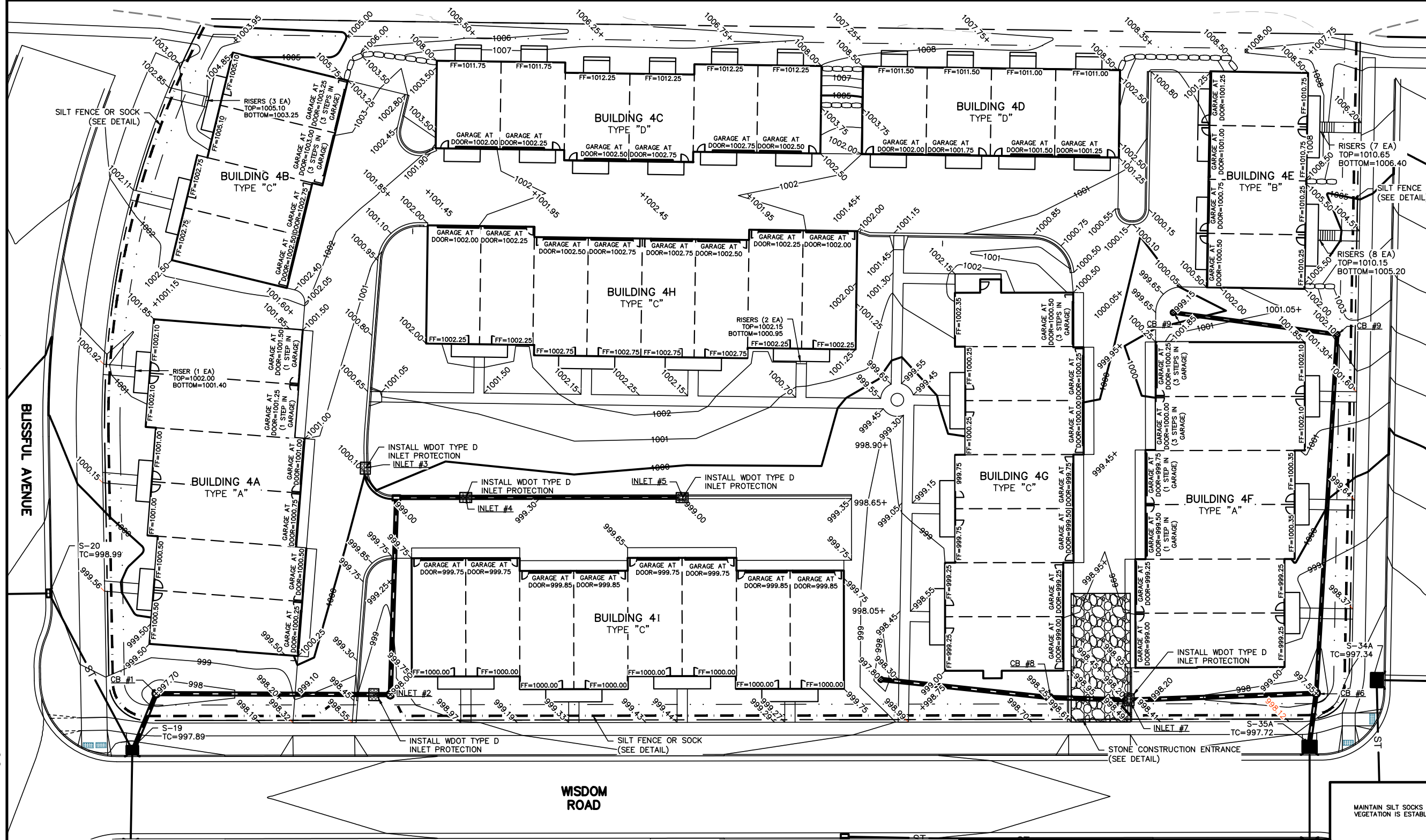
SITE PLAN

SHEET: C-1
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RESTORATION NOTES:
RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.

ALL PVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH. ALL PVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

FERTILIZER SHALL ME THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM OCTOBER 1 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WHEAT SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

EROSION NOTES:
THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

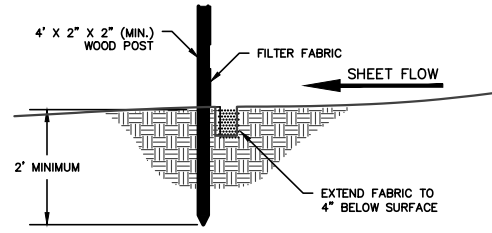
EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
APRIL 1, 2023 - APRIL 15, 2023
APRIL 15, 2023 - JULY 1, 2023
JULY 1, 2023 - SEPTEMBER 1, 2024
SEPTEMBER 1, 2024 - OCTOBER 1, 2024

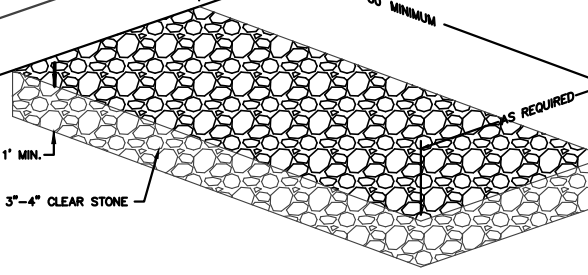
INSTALL INITIAL EROSION CONTROL DEVICES AND ROUGH GRADE SITE.
CONSTRUCT UTILITIES AND PRIVATE DRIVE BINDER.
CONSTRUCT BUILDINGS.
APPLY MULCH OR EROSION MAT TO PVIOUS DISTURBED AREAS THAT HAVE NOT BEEN RESTORED (PER DNR TECH STANDARD 1058). COMPLETE FINAL LANDSCAPING, RESTORE ALL PVIOUS DISTURBED AREAS.

OWNER:
SIMPLY HOMES MADISON, LLC
ATTN: LINDSAY HAGENS
5117 BUTTERFIELD DRIVE
MADISON, WI 53704

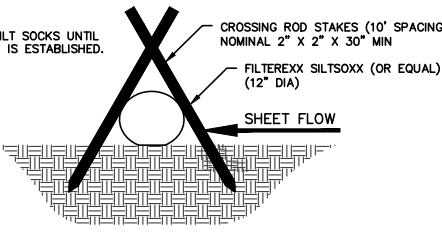
ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558



SILT FENCE CONSTRUCTION (SHEET FLOW)



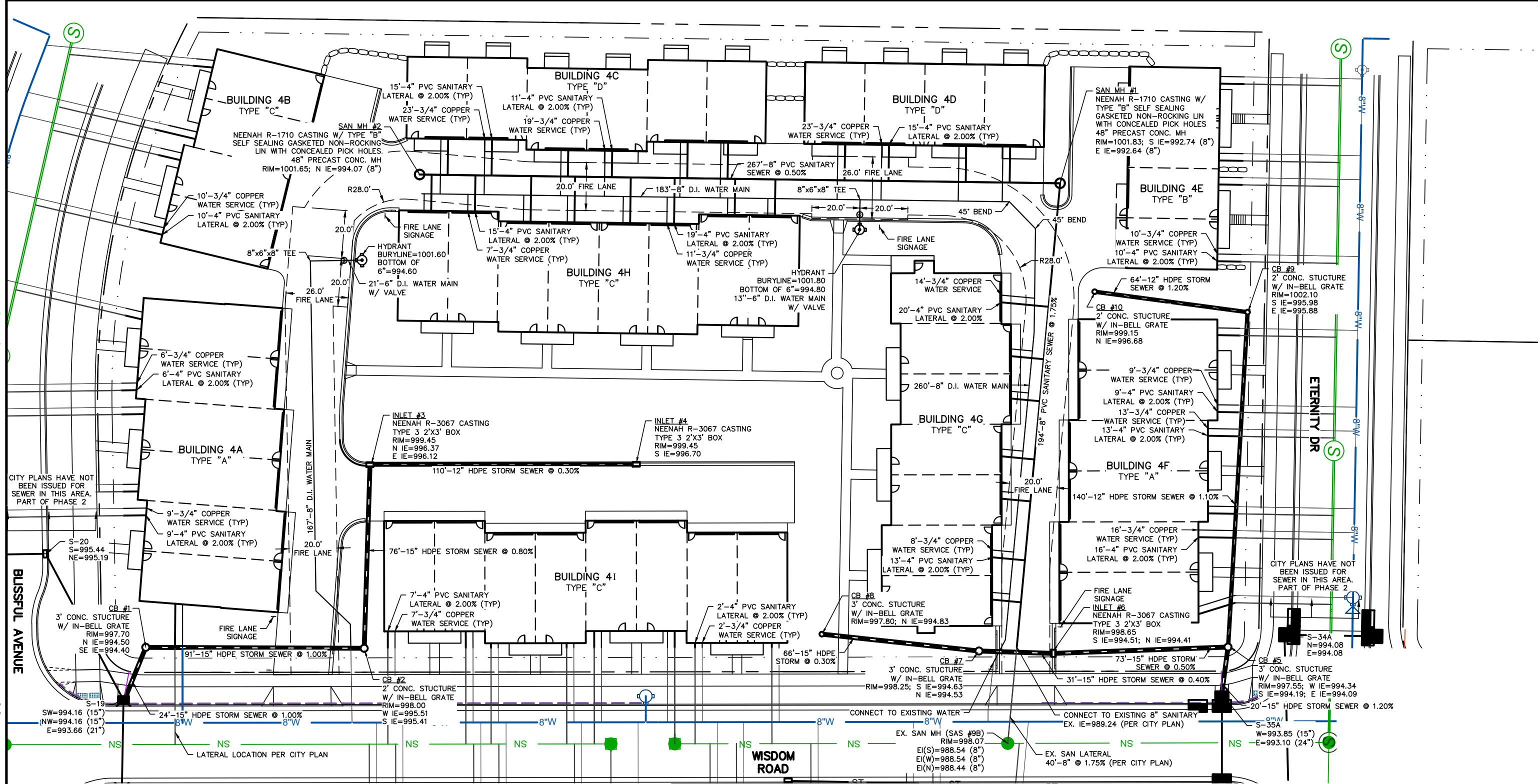
STONE CONSTRUCTION ENTRANCE



SILT SOCK DETAIL

JANNAH VILLAGE - LOT 4
GRADING AND EROSION CONTROL PLAN
SHEET: C-2
DATED: OCTOBER 10, 2022

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.

WATER MAIN SHALL BE CLASS 52 DUCTILE IRON PIPE, PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.

CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0715 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

JANNAH VILLAGE - LOT 4

UTILITY PLAN

SHEET: C-3

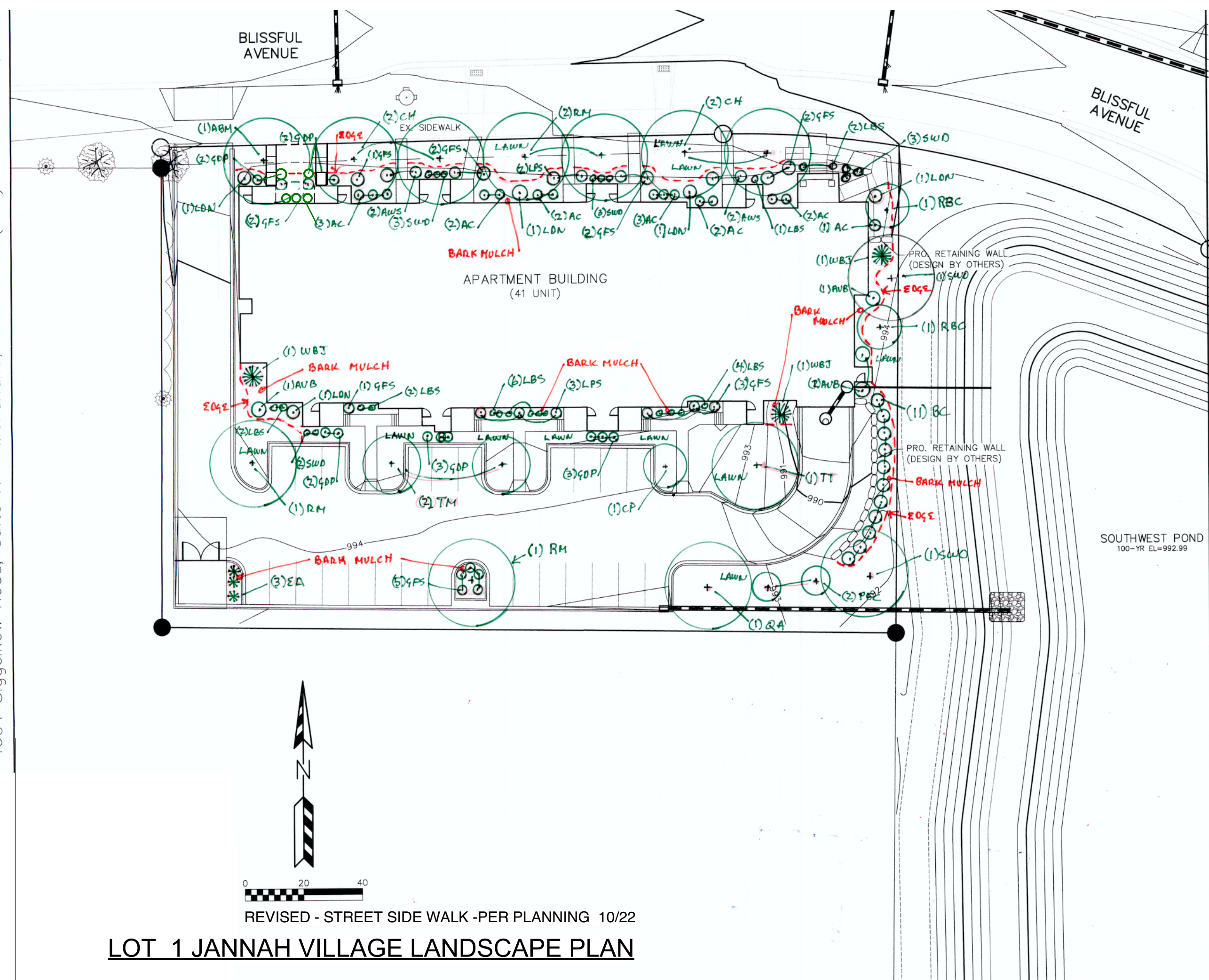
DATED: OCTOBER 10, 2022

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants




www.quamengineering.com

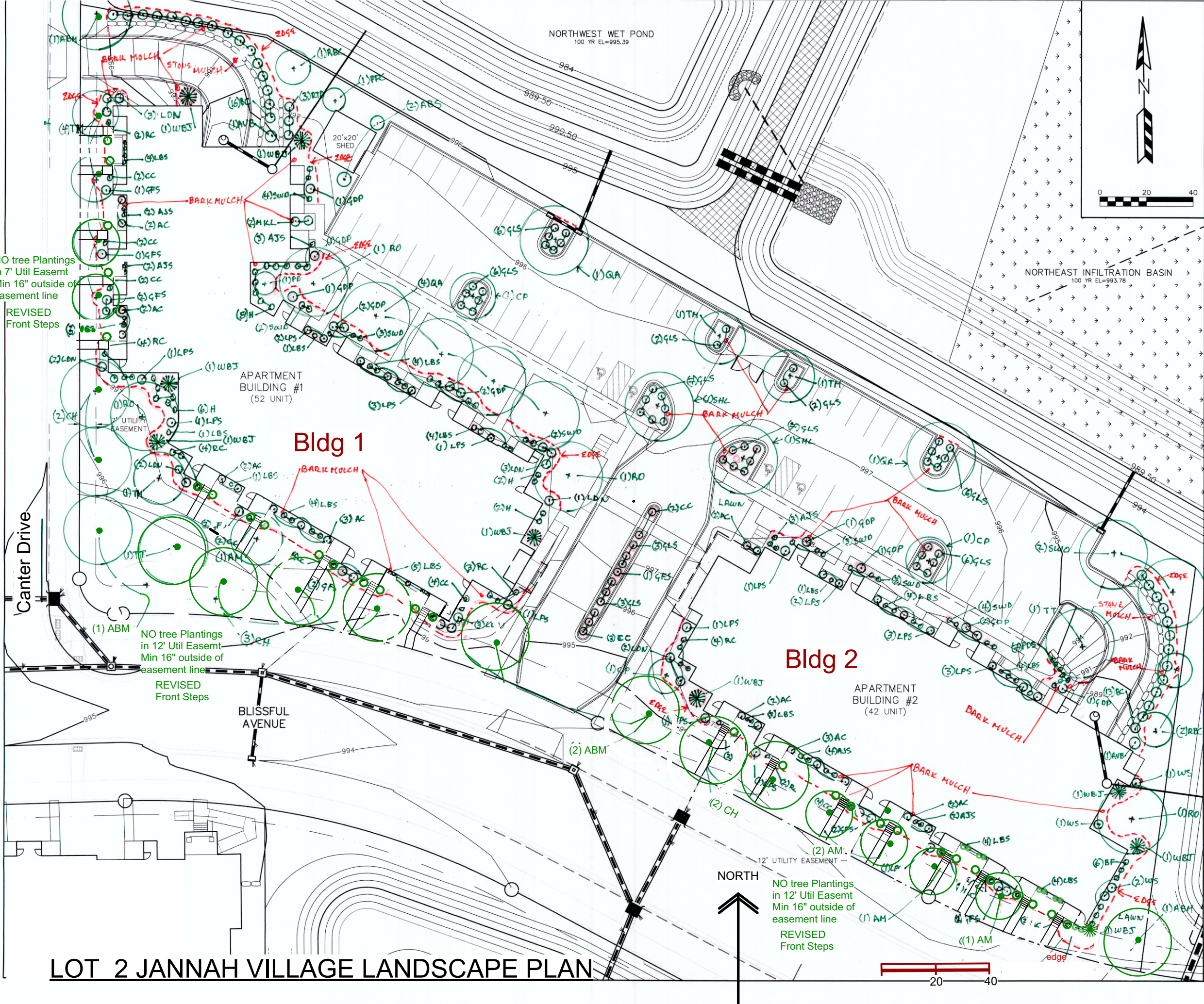
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
13 Red Maple Trl Madison, WI 53717
608-826-0032 paulskidmore@tds.net

LA 1		owner		architect	
LINDSAY HAGENS Jannah Village Madison, WI				 <p>SiegerARCHITECTS ARCHITECTURE</p>	
		project		<p>73 WHITE OAKS LN Madison, WI 53711</p> <p>Phone: 608.347.7332 siegerarchitects@sbloglobal.net</p>	

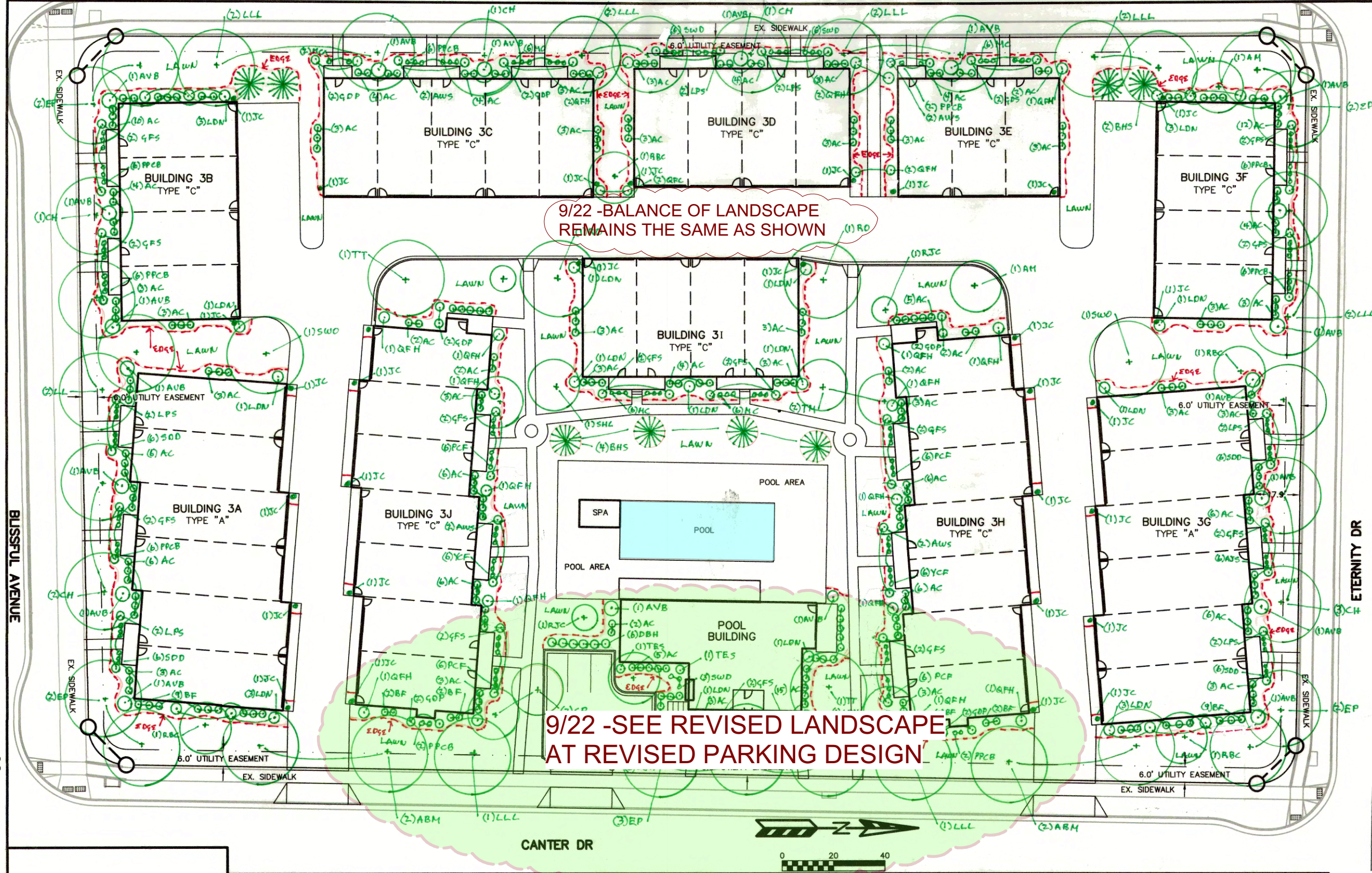
QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A — McFarland, WI 53558 (608) 7750-7750 \LH-03-18\LH03-LOTS 1-2 BASE.DWG



REVISED 7/11/22 - MOVED ALL TREES FROM UTILITY EASEMENT FRONT ENTRY STEP
REVISED 10/2/22

LA 2	
LINDSAY HAGENS Jannah Village Madison, WI	
SieglerARCHITECTS ARCHITECTURE	
73 WHITE OAKS LN Madison, WI 53711 Phone: 608-347-7332 sieglerarchitects@sieglobal.net	
LANDSCAPE ARCHITECT CONSULTANT PAUL SKIDMORE Landscape Architect, LLC 13 Red Maple Trl Madison, WI 53717 608-826-0032 paulskidmore@tds.net	

BLISSFUL AVENUE

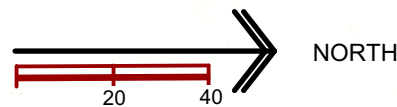


9/22 -BALANCE OF LANDSCAPE
REMAINS THE SAME AS SHOWN

9/22 -SEE REVISED LANDSCAPE
AT REVISED PARKING DESIGN

REVISED 1/2022 - REDUCED FRONT BUILDING SETBACKS FOR ENLARGED GREEN SPACE @ INTERNAL SITE
CONDITIONS OF PRIOR MADISON UDC AND PLANNING COMMISSION DEVELOPMENT APPROVAL

LOT 3 JANNAH VILLAGE LANDSCAPE PLAN



JANNAH VILLAGE - LOT 3
LANDSCAPE PLAN

LINDSAY HAGENS
Jannah Village
Madison, WI

architect
SiegerARCHITECTS
ARCHITECTURE
73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332 siegerarchitects@sbgglobal.net

LA-3

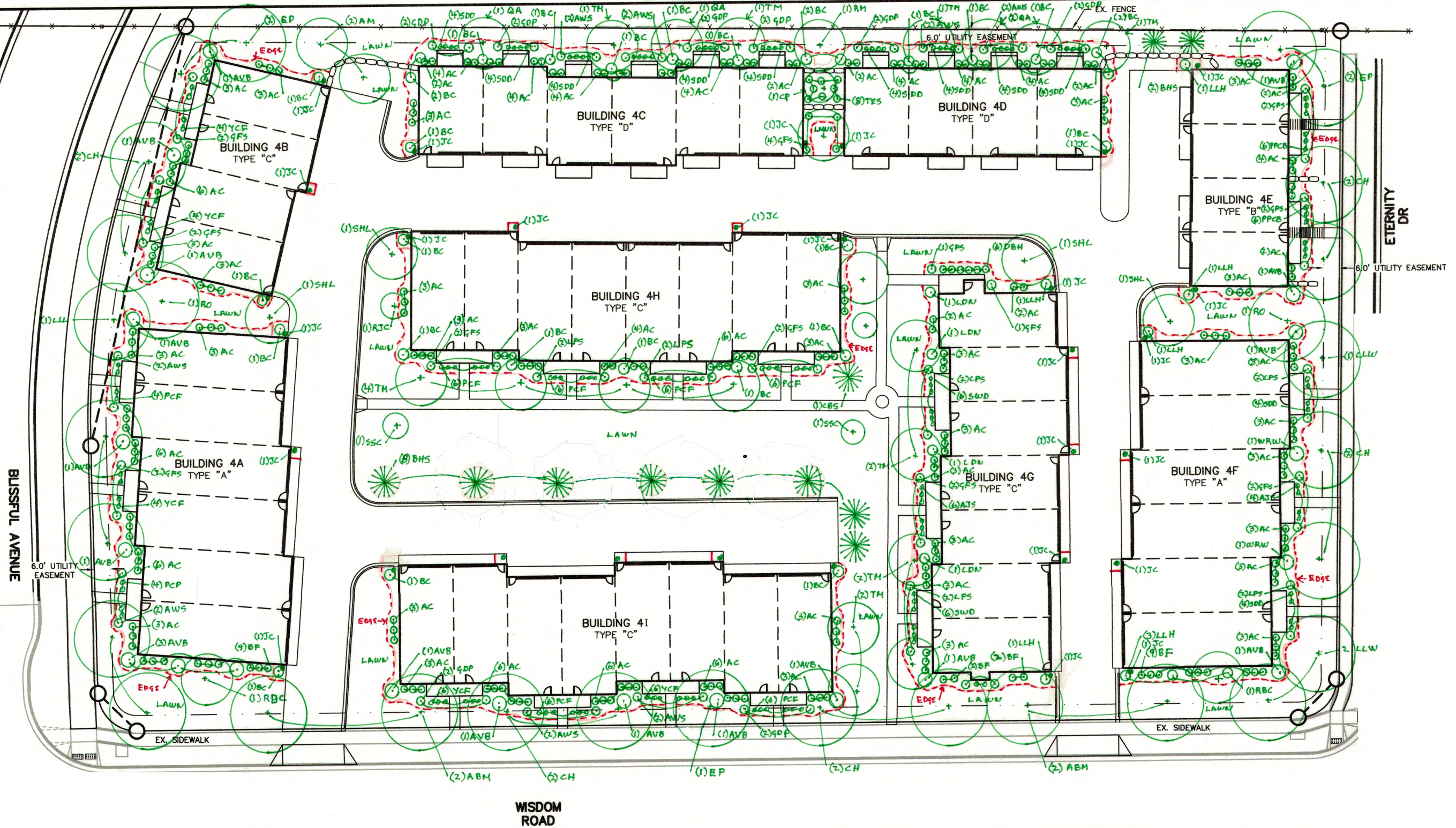
4.22.22

LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
13 Red Maple Trl Madison, WI 53717
608-826-0032 paulskidmore@tds.net



LOT 3 JANNAH VILLAGE LANDSCAPE PLAN

JANNAH VILLAGE – LOT 3



PLANT LIST – Lot 1					
KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(15) Canopy Trees					
ABM	1	2 ½"	Autumn Blaze Maple	Acer Freemanii	BB
AM	4	2"	Amur Maple	Acer Ginnala	BB
QA	1	2"	Quaking Aspen	Populus Tremuloides	BB
RM	4	2 ½"	Red Maple	Acer Rubrum	BB
SWO	2	2 ½"	Swamp White Oak	Quercus Bicolor	BB
TM	2	2"	Tatarian Maple	Acer Tataracum	BB
TT	1	2 ½"	Tulip Tree	Liriodendron Tulipifera	BB
(5) Ornamental Trees					
CP	1	2"	Ironwood	Ostrya Virginiana	BB
PFC	2	2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RBC	2	12"	River Birch	Betula Nigra	BB
(74) Deciduous Shrubs					
AC	15	18"	Dwarf Fothergilla	Fothergilla Gardenii	Pot
AVB	4	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
AWS	4	24"	New Jersey Tea	Ceanothus Americanus	Pot
BC	11	24"	Black Chokeberry	Aronia Melanocarpa	Pot
GDP	12	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
GFS	18	24"	St. John's Wort	Hypericum Kalmianum	Pot
LDN	5	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
LPS	5	24"	Steeplebush	Spiraea Tomentosa	Pot
(6) Evergreen Shrubs					
EA	3	4'	Emerald Arborvitae	Thuja O 'Smaragd'	BB
WBJ	3	3'	Wichita Blue Juniper	Juniperus Scopulorum	BB
(28) Perennials					
AJS	1	1 G	A J Sedum	Sedum spectabile 'AJ'	Con
LBS	17	1 G	Little Bluestem Grass	Schizachyrium Scoparium	Con
SWD	11	1 G	Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Bluegrass sod.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 ½" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

PLANT LIST – Lot 2					
KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(42) Canopy Trees					
ABM	6	2 ½"	Autumn Blaze Maple	Acer Freemanii	BB
AM	3	2"	Amur Maple	Acer Ginnala	BB
CH	10	2 ½"	Common Hackberry	Celtis Occidentalis	BB
QA	6	2"	Quaking Aspen	Populus Tremuloides	BB
RO	4	2 ½"	Red Oak	Quercus Rubrum	BB
SHL	2	2"	Skyline Honey Locust	Gleditsia Tricanthos	BB
SWO	2	2 ½"	Swamp White Oak	Quercus Bicolor	BB
TM	7	2"	Tatarian Maple	Acer Tataracum	BB
TT	2	2 ½"	Tulip Tree	Liriodendron Tulipifera	BB
(10) Ornamental Trees					
ABS	2	5'	Autumn Brilliance Serviceberry	Amelanchier Grandiflora "AB"	BB
CP	3	2"	Ironwood	Ostrya Virginiana	BB
PFC	1	2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
PD	1	2"	Pagoda Dogwood	Cornus Alternifolia	BB
RBC	3	12"	River Birch	Betula Nigra	BB
(216) Deciduous Shrubs					
AC	18	18"	Dwarf Fothergilla	Fothergilla Gardenii	Pot
AVB	2	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
BC	29	24"	Black Chokeberry	Aronia Melanocarpa	Pot
BF	6	18"	Bronx Forsythia	Forsythia	Pot
CC	31	18"	Cranberry Colonaster	Coloneaster Apiculatus	Con
GDP	12	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
GFS	12	24"	St. John's Wort	Hypericum Kalmianum	Pot
GLS	48	15"	Gro Low Sumac	Rhus Aromatica	Pot
LDN	16	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
LPS	33	24"	Steeplebush	Spiraea Tomentosa	Pot
MKL	2	36"	Miss Kim Lilac	Syringa Pubescens	Pot
RTD	3	24"	Red Twig Dogwood	Cornus Sericea	Pot
WJS	4	24"	White Snowberry	Symphoricarpos Alba	Pot
(22) Evergreen Shrubs					
RC	13	18"	Russian Cypress	Microbiota Decussata	Con
WBJ	9	3'	Wichita Blue Juniper	Juniperus Scopulorum	BB
(108) Perennials					
AJS	16	1 G	A J Sedum	Sedum spectabile 'AJ'	Con
H	18	1 G	Hosta Standard Hosta	Hosta	Con
LBS	46	1 G	Little Bluestem Grass	Schizachyrium Scoparium	Con
PDS	7	1 G	Prairie Dropseed	Sporobolus Heterolepis	Con
SWD	21	1 G	Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Bluegrass sod.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 ½" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

PLANT LIST – Lot 3					
KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(50) Canopy Trees					
ABM	4	2 ½"	Autumn Blaze Maple	Acer Freemanii	BB
AM	2	2"	Amur Maple	Acer Ginnala	BB
CH	6	2 ½"	Common Hackberry	Celtis Occidentalis	BB
EP	11	2 ½"	Exclamation Planetree	Platanus Occidentalis	BB
LLL	14	2 ½"	Little Leaf Linden	Tilia Cordata	BB
RO	2	2 ½"	Red Oak	Quercus Rubrum	BB
SHL	1	2"	Skyline Honey Locust	Gleditsia Tricanthos	BB
SWO	2	2 ½"	Swamp White Oak	Quercus Bicolor	BB
TM	4	2"	Tatarian Maple	Acer Tataracum	BB
TT	2	2 ½"	Tulip Tree	Liriodendron Tulipifera	BB
(11) Ornamental Trees					
CP	3	2"	Ironwood	Ostrya Virginiana	BB
RBC	5	12"	River Birch	Betula Nigra	BB
RJC	3	2"	Red Jade Crab	Malus 'Red Jade'	BB
(8) Evergreen Trees					
BHS	8	5'	Black Hills Spruce	Picea Pungens Densata	BB
(392) Deciduous Shrubs					
AC	220	18"	Dwarf Fothergilla	Fothergilla Gardenii	Pot
AVB	19	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
AWS	8	24"	New Jersey Tea	Ceanothus Americanus	Pot
BF	26	18"	Bronx Forsythia	Forsythia B 'Bronxensis'	Pot
DBH	14	18"	Dwarf Bush Honeysuckle	Diervilla Lonicera	Pot
GDP	13	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
GFS	26	24"	St. John's Wort	Hypericum Kalmianum	Pot
LDN	24	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
LPS	12	24"	Steeplebush	Spiraea Tomentosa	Pot
MKL	2	36"	Miss Kim Lilac	Syringa Pubescens	Pot
QFH	23	1 G	Quick Fire Hydrangea	Hydrangea Paniculata	BB
PJM	3	24"	PJM Rhododendron	Rhododendron 'PJM'	BB
TES	2	18"	Tiger Eye Sumac	Rhus Typhina	Pot
(199) Perennials					
AJS	12	1 G	A J Sedum	Sedum spectabile 'AJ'	Con
JC	30	1 G	Jackman Clematis	Clematis Jackmanii	Con
MC	33	1 G	Moonbeam Coreopsis	Coreopsis 'Moonbeam'	Con
PCF	24	1 G	Purple Cone Flower	Echinacea Purpurea	Con
PPCB	46	1 G	Palace Purple C Bells	Heuchera 'Palace Purple'	Con
SDD	27	1 G	Pardon Me Day Lily	Hemerocallis 'Pardon Me'	Con
SWD	15	1 G	Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Con
YCF	12	1 G	Yellow Cone Flower	Echinacea	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Bluegrass sod.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 ½" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

PLANT LIST – Lot 4					
KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(56) Canopy Trees					
ABM	4	2 ½"	Autumn Blaze Maple	Acer Freemanii	BB
AM	2	2"	Amur Maple	Acer Ginnala	BB
CH	12	2 ½"	Common Hackberry	Celtis Occidentalis	BB
EP	5	2 ½"	Exclamation Planetree	Platanus Occidentalis	BB
LLL	6	2 ½"	Little Leaf Linden	Tilia Cordata	BB
QA	4	2"	Quaking Aspen	Populus Tremuloides	BB
RM	1	2 ½"	Red Maple	Acer Rubrum	BB
RO	2	2 ½"	Red Oak	Quercus Rubrum	BB
SHL	6	2"	Skyline Honey Locust	Gleditsia Tricanthos	BB
TM	14	2"	Tatarian Maple	Acer Tataracum	BB
(7) Ornamental Trees					
CP	2	2"	Ironwood	Ostrya Virginiana	BB
PFC	2	2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RBC	2	12"	River Birch	Betula Nigra	BB
SSC	2	2"	Spring Snow Crab	Malus 'Spring Snow'	BB
(11) Evergreen Trees					
BHS	10	5'	Black Hills Spruce	Picea Pungens Densata	BB
CBS	1	5'	Colorado Blue Spruce	Picea Pungens Glauca	BB
(374) Deciduous Shrubs					
AC	205	18"	Dwarf Fothergilla	Fothergilla Gardenii	Pot
AVB	20	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
AVS	16	24"	Black Chokeberry	Ceanothus Americanus	Pot
BC	27	24"	New Jersey Tea	Aronia Melanocarpa	Pot
BF	22	18"	Bronx Forsythia	Forsythia B 'Bronxensis'	Pot
DBH	6	18"	Dwarf Bush Honeysuckle	Diervilla Lonicera	Pot
GDP	16	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
GFS	26	24"	St. John's Wort	Hypericum Kalmianum	Pot
LDN	4	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot
LLH	8	24"	Little Lime Hydrangea	Hydrangea Paniculata	Pot
LPS	12	24"	Steeplebush	Spiraea Tomentosa	Pot
TES	10	18"	Tiger Eye Sumac	Rhus Typhina	Pot
WRW	2	24"	Wine and Roses Weigelia	Weigelia Florida 'Alexandria'	Pot
(182) Perennials					
AJS	10	1 G	A J Sedum	Sedum spectabile 'AJ'	Con
JC	30	1 G	Jackman Clematis	Clematis Jackmanii	Con
PCF	44	1 G	Purple Cone Flower	Echinacea Purpurea	Con
PPCB	14	1 G	Palace Purple C Bells	Heuchera 'Palace Purple'	Con
SDD	48	1 G	Pardon Me Day Lily	Hemerocallis 'Pardon Me'	Con
SWD	12	1 G	Summer Wine Day Lily	Hemerocallis 'Summer Wine'	Con
YCF	24	1 G	Yellow Cone Flower	Echinacea	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Bluegrass sod.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 ½" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

LANDSCAPE WORKSHEET – Lot 1	
Landscape Points Required	
Developed Area =	14,965 SF
Landscape Points: 14,965 /300 x 5 =	249 points
Total Landscape Points Required	249 points
Landscape Points Supplied	
Existing canopy trees – 0 @ 35 =	0 points
Proposed canopy trees - 15 @ 35 =	525 points
Existing evergreen trees – 0 @ 35 =	0 points
Proposed evergreen trees – 0 @ 35 =	0 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 5 @ 15 =	75 points
Proposed upright evergreen shrubs – 6 @ 10 =	60 points
Existing deciduous shrubs – 0 @ 3 =	0 points
Proposed deciduous shrubs – 74 @ 3 =	222 points
Existing evergreen shrubs – 0 @ 4 =	0 points
Proposed evergreen shrubs –0 @ 4 =	0 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 28 @ 2 =	56 points
Total landscape points supplied =	938 points
Lot Frontage Landscape Required (Section 28.142(5) Development Frontage Landscaping)	
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.	
Blissful Avenue =	255 LF
Over story trees required 256'/30' = 8.5	9 trees
Shrubs required (256'/30') x 5 = 42.7	43 shrubs
Over story trees supplied	8 trees
Ornamental trees supplied	2 trees
Shrubs supplied	43 shrubs

LANDSCAPE WORKSHEET – Lot 2	
Landscape Points Required	
Developed Area =	38,819 SF
Landscape Points: 38,819/300 x 5 =	647 points
Total Landscape Points Required	647 points
Landscape Points Supplied	
Existing canopy trees – 0 @ 35 =	0 points
Proposed canopy trees - 42 @ 35 =	1,470 points
Existing evergreen trees – 0 @ 35 =	0 points
Proposed evergreen trees – 0 @ 35 =	0 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 10 @ 15 =	150 points
Proposed upright evergreen shrubs – 13 @ 10 =	130 points
Existing deciduous shrubs – 0 @ 3 =	0 points
Proposed deciduous shrubs – 216 @ 3 =	648 points
Existing evergreen shrubs – 0 @ 4 =	0 points
Proposed evergreen shrubs – 9 @ 4 =	36 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 108 @ 2 =	216 points
Total landscape points supplied =	2,650 points
Lot Frontage Landscape Required (Section 28.142(5) Development Frontage Landscaping)	
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.	
Blissful Avenue & Walking Way =	742 LF
Over story trees required 742'/30' = 24.7	25 trees
Shrubs required (742'/30') x 5 = 123.7	124 shrubs
Over story trees supplied	25 trees
Ornamental trees supplied	0 trees
Shrubs supplied	124 shrubs

<u>Landscape Points Required</u>	
Developed Area =	35,685 SF
Landscape Points: $35,685/300 \times 5 =$	<u>595 points</u>
<u>Total Landscape Points Required</u>	<u>595 points</u>
<u>Landscape Points Supplied</u>	
Existing canopy trees – 0 @ 35 =	0 points
Proposed canopy trees - 50 @ 35 =	1,750 points
Existing evergreen trees – 0 @ 35 =	0 points
Proposed evergreen trees – 8 @ 35 =	280 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees – 11 @ 15 =	165 points
Proposed upright evergreen shrubs – 0 @ 10 =	0 points
Existing deciduous shrubs – 0 @ 3 =	0 points
Proposed deciduous shrubs – 392 @ 3 =	1,176 points
Existing evergreen shrubs – 0 @ 4 =	0 points
Proposed evergreen shrubs – 0 @ 4 =	0 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 199 @ 2 =	398 points
Total landscape points supplied =	<u>3,769 points</u>
<u>Lot Frontage Landscape Required</u>	
(Section 28.142(5) Development Frontage Landscaping)	
“One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.”	
<u>Canter Drive, Blissful Ave, Eternity Drive, & Wisdom Rd =</u>	1,496 LF
Over story trees required $1,496'/30' = 49.8$	<u>50 trees</u>
Shrubs required $(1,496'/30') \times 5 = 249.3$	<u>249 shrubs</u>
Over story trees supplied	<u>40 trees</u>
Ornamental trees supplied	<u>10 trees</u>
Shrubs supplied	<u>249 shrubs</u>

Plant Specifications

General Information

is hereinafter referred to as the Owner and may be represented by an approved representative. Paul Skidmore hereinafter referred to as the **Landscape Architect**.

The Contractor signing this Agreement, or his duly appointed representative is hereinafter referred to as the **Contractor**.

Bidding is based on sheets LA1-4 dated 4/22 and specifications.

The competency and responsibility of Bidders will be considered in making the award. The Owner reserves the right to reject any or all bids, and to waive informality in bids recieved.

Responsibilities of Contractor

Laws and Ordinances: The Contractor and all Subcontractors shall bind themselves to comply with all laws and ordinances and requirements of all authorities having jurisdiction over this property, and shall protect the owners from damage arising from violation thereof.

The Contractor shall give his personal supervision to the work, and have a responsible superintendent continuously on the job to act for him.

Terms of payment will be as established by the Owner.

Public liability and property damage insurance will be as determined by the Owner.

Approval and Rejection of Materials

Approval: The selection of all materials and execution of all operations required under these drawings and specifications are subject to approval of the Landscape Architect or Owner.

Rejection: The Landscape Architect or Owner shall have the right to reject all material and all work which in his opinion does not meet the requirements of the drawings and specifications at any stage of the operation, All rejected material shall be removed by the Contractor as directed.

Layout

The Contractor shall layout his work and set necessary markers and stakes, and be responsible for the corrections. The Landscape Architect, or Owner, reserves the right to relocate shrubs and trees from positions on the plans prior to planting. The Contractor shall notify the Landscape Architect, Owner at least three (3) days in advance that the locations are staked and ready for approval prior to planting.

Extra or Omitted Work

While no new or unforeseen items are anticipate, they shall be classed as extra work in they cannot be covered by any of the specifications or drawings. The Contractor shall submit detailed prices for any extras to the Landscape Architect, and shall perform extras upon written acceptance from the Owner or Landscape Architect. In the absence of such written order, he shall not be entitled to payment for such extra work. All bids for extra work shall be submitted monthly.

Changes in the Work

The Landscape Architect shall have authority to order minor changes in the work not involving an adjustment in the contract sum or extension of the contract documents. Such changes may be rejected by field order or by written order. Such changes shall be binding on the Owner and Contractor.

The Owner without invalidating the contract, may order changes in the work consisting of additions, deletions or the other revisions, with the contract time being adjusted accordingly. All changes in the work shall be authorized by change order and shall be executed under the applicable conditions to the contract documents.

Landscape Architect's Status

The Landscape Architect is the agent of the Owner. He has authority to stop work whenever such stoppage may be necessary to insure the proper execution of the Contract.

The Landscape Architect is the interpreter of the conditions of the contract and the judge of its performance; he shall side neither with the Owner nor with the Contractor, but shall use his powers under the Contract to enforce its faithful performance by both.

Drawings and Specifications

Should there be anything shown on the drawings but not described in the specifications, or not shown on the drawings but described in specifications, the same shall be fully executed and carried out as if drawn, shown, or described in both. The Contractor is not to make any alterations or corrections on the drawings or in the specifications. Should any error appear, the same is to be referred to the Landscape Architect before the bids are submitted, or the work is commenced, or as otherwise specified herein.

Landscape Contractor to verify all plant quantities prior to bid.

Examination of Site

All contractors submitting proposals for this work shall first examine the site and all conditions at the site. All proposals shall take into consideration all such conditions as may effect the work under this contract.

Measurements, Layouts and Levels

All lines and levels necessary for the location and erection of the landscape construction and for the excavation, filling, and grading work shall be established by the Contractor. The Contractor shall take his own measurements of the site, verifying it with the drawings, and shall be responsible for the proper fit of his portion of the completed work.

Extra changes or compensation will not be allowed on the account of differences between actual measurements and the dimensions shown on the drawings, but any such differences that may be found shall be submitted to the Landscape Architect for adjustment before proceeding with the work.

Substitution of Materials

The Contractor, **before submitting his bid**, shall locate all necessary materials as called for in the plans and specifications, and shall be assured of their availability for use on the job.

The Contract bids shall be based upon providing the specified materials, processes, products, etc. identified in the specifications, and/or indicated on the drawings.

Substitutes will be permitted only upon admission of proof that specified plants are not obtainable, and with the authorization of the Landscape Architect. Written requests with nearest available size, and variety of plant, and price adjustments, are to be submitted to the Landscape Architect.

Supervision

The Landscape Architect will not emgage in any way to superintend so as to relieve the Contractor of responsibility for the consequences of neglect or carelessness by him or his subordinates.

Scope

Perform all work required to complete the landscape installation including all labor, materials, services, and equipment necessary and described herein and shown on the accompanying drawings.

Applicable Standards

American Standard for Nursery Stock, latest edition.

American Joint Committee on Horticultural Nomenclature, edition of SStandardized Plant Names.

General Notes

All plants shall conform to the standards as given in Grades and Standards of Nursery Plants, published by the AAN.

The Landscape Contractor is responsible for verification of all quantities. Any discrepancies shall be brought to the attention of the Landscape Architect; however, it's the Contractor's responsibility to provide all trees as shown on the plans, and plant beds so that each has the proper quantity of shrubs for the areas designated.

Proposed trees are to be located either completely in or completely out of the planting beds. **Bedlines are not to be obstructed.**

The Landscape Contractor is responsible for all staking and guying of trees.

Existing Trees & Areas Outside of Grading Limits

Trees and vegetation to be saved shall be protected from damage by a wood fence barricade prior to or during cleaning operations. Trees to be saved will be designated by the Owner. No trees are to be removed from areas outside the limits of grading from specifically designated undisturbed areas within the constructions area. If, in the opinion of the Landscape Architect, a contractor damages a tree not to be removed, the Contractor will be fined **\$100.00 per caliper inch** for each damaged tree. The Contractor will also be responsible for all costs in removing the damaged tree from the site.

Water

Water will be available on the site at no expense to the Contractor. Hoses and other watering equipment required for the work shall be furnished by the Contractor at his expense.

Berms

The Contractor is responsible for the construction of all berms shown on the landscape planting plans or berm plans. Berms may be built of excavated soil from bed preparation and/or stockpile material, should follow contour according to plans. If more material is necessary for berm construction, Contractor is responsible for additional material. All grades should be smooth slopes to allow for mowing without scalping lawn areas. Settling and refilling should be accomplished before planting grass, or other plant materials.

Clean-up

During the work, the premises are to be kept neat and orderly at all times. Storage areas for plants and other materials shall be so organized that they too are neat and orderly. All trash including debris resulting from removing weeds or from planting areas, preparing beds, or planting plants shall be removed from the site daily as the work progresses. All walks and drives shall be kept clean by sweeping and/or hosing. excavated soil may be distributed on the site as directed by the owner.

Acceptance

Acceptance for all landscape work shall be given after final inspection by the Owner and/or Landscape Architect, provided the job is in a completed, undamaged condition, and there is grass (substantial coverage) in all grass areas. At this time, the Owner will assume maintenance on the accepted work. Acceptance of partial phases will be considered by the Owner.

Maintenance

The Contractor shall maintain all trees, shrubs, and groundcover under this Contract until acceptance, by watering, mowing, spraying and replacing as necessary to keep plants in a healthy, vigorous condition, and shall rake bed areas as may be required to keep neat.

The Contractor shall maintain **all grass** areas under this Contract until acceptance by watering, mowing, spraying, etc. Occasional weeding may be required; however, it is anticipated that mowing will be sufficient to control weeds.

Cultivating: Shall consist of scarifying the two inches so lumps of soil are less the 2" diameter, and all weeds are removed.

Weeding: Shall consist of digging out all plant material other than the desired shrubs and groundcovers every two weeks. Weeding may be handled by herbicide spraying at the Contractor's expense if it is acceptable to all parties concerned.

Guarantee

All plants shall be guaranteed by the Contractor, for a twelve (12) month period after date of acceptance. The Contractor shall replace all dead materials and all materials not in a vigorous, thriving condition, as soon as weather permits and on notification by the Landscape Architect. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Landscape Architect shall be final.

Plants used for replacement shall be of the same kind of size as those originally planted, and shall be planted as originally specified, replacements shall carry a twelve (12) month guarantee from date of replacement. Any damage, including runs in lawn and bed areas, incurred in making replacements shall be immediately repaired.

At the direction of the Landscape Architect, plants may be replaced at the start of next year's planting or digging season; but in such cases, dead plants shall be removed from the premises as soon as they are designated to be replaced.

The Owner agrees for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

To insure that proper maintenance is being performed by the Owner during the guarantee period, the Contractor shall:

1. Make at least one site inspecton every month to ascertain any maintenance deficiencies.
2. Inform Owner's maintenance supervisor of any maintenance deficiencies.
3. Prepare written documentation of the site inspection, noting all deficiencies encountered, maintenance personnel who are made aware of deficiencies, suggested remedy methods, and any other pertinent comments on maintenance.
4. Submit this written documentation of the monthly inspection to the Landscape Architect as well as to the Owner.

The Above guarantee shall not apply where plants die after acceptance because of injury by storms, drowning from floods, hail, freeze, insects, disease, injury by humans, machines or theft. These items are to be negotiated between the Owner and Contractor.

Plants (General)

Plant material shall be delivered to the site only after the beds are prepared and are ready for planting. all shipments of nursery materials shall be thoroughly protected from the sun and from drying winds during transit. All plants that cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Ball of earth on B&B plants shall be kept covered with soil or other acceptable material. All plants remain property of the Contractor until final acceptance.

Plants shall be nursery grown, healthy, vigorous, bushy, well balanced, of normal habit of growth for the species, and shall be free from disease, insect eggs and larvae. they shall have crown and root ball sizes that meet or exceed the standards set forth in "Grades & Standards for Nursery Plants by the AAN. The specified sizes shall be before pruning and plants shall be measured with their branches in normal position. Plants shall not be pruned prior to delivery, except upon special approval. All pruning of new trees and shrubs, as directed by the landscape Architect, shall be executed by the Contractor at no additional cost to the Owner.

Trees shall be healthy, vigorous, full-branched, single leader, well shaped, and shall meet the trunk diameter, height, and spread requirements of the plant list, and meet the standards of "Grades & Standards for Nursery Plants". Balls shall be firm, neat, slightly tapered and well burlapped. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be sized in accordance with the AAN Standards.

All shrubs and groundcovers shall be of "specimen" quality, full and bushy to the ground, and of compact growth.

All plants shall be hardy underclimatic conditions similar to those in locality of the project.

Should the Contractor encounter soil condition that is inhospitable to normal planting, it is his responsibility to modify the soil so that the plants will thrive. These modifications may include providing any extra soil as may be required for planting.

Tree & Shrub Planting

Plant deciduous trees in tree-pit 2'-0" greater in diameter than ball and at a height that assures roper drainage and vigorous growth. Plant evergreen trees in tree-pits 2'-0" greater in diameter than all at a height for proper drainage an vigorous growth. Fill bottom of pit (to depth of root ball) with a mixture of soil that shall be one (1) part existing top soil, to one (1) part peat moss, to one (1) part clean sand. After settling the tree, the pit shall be backfilled with soil mix, then carefully settled by watering to prevent air pockets. Form a 4" watering ring for each tree. Fertilize with Osmacote at the rate recommended by the manufacturer.

Plant shrubs in beds 8" larger than the root ball and at a height which assures proper drainage and vigorous growth. Backfill with soil mixture in the same proportions as for tree planting. Osmacote fertilizer shall be applied at the rate recommended by the manufacturer.

All plant beds plus an area three feet greater in diameter than the ball around each tree shall be mulched with 3" of clean organic mulch.

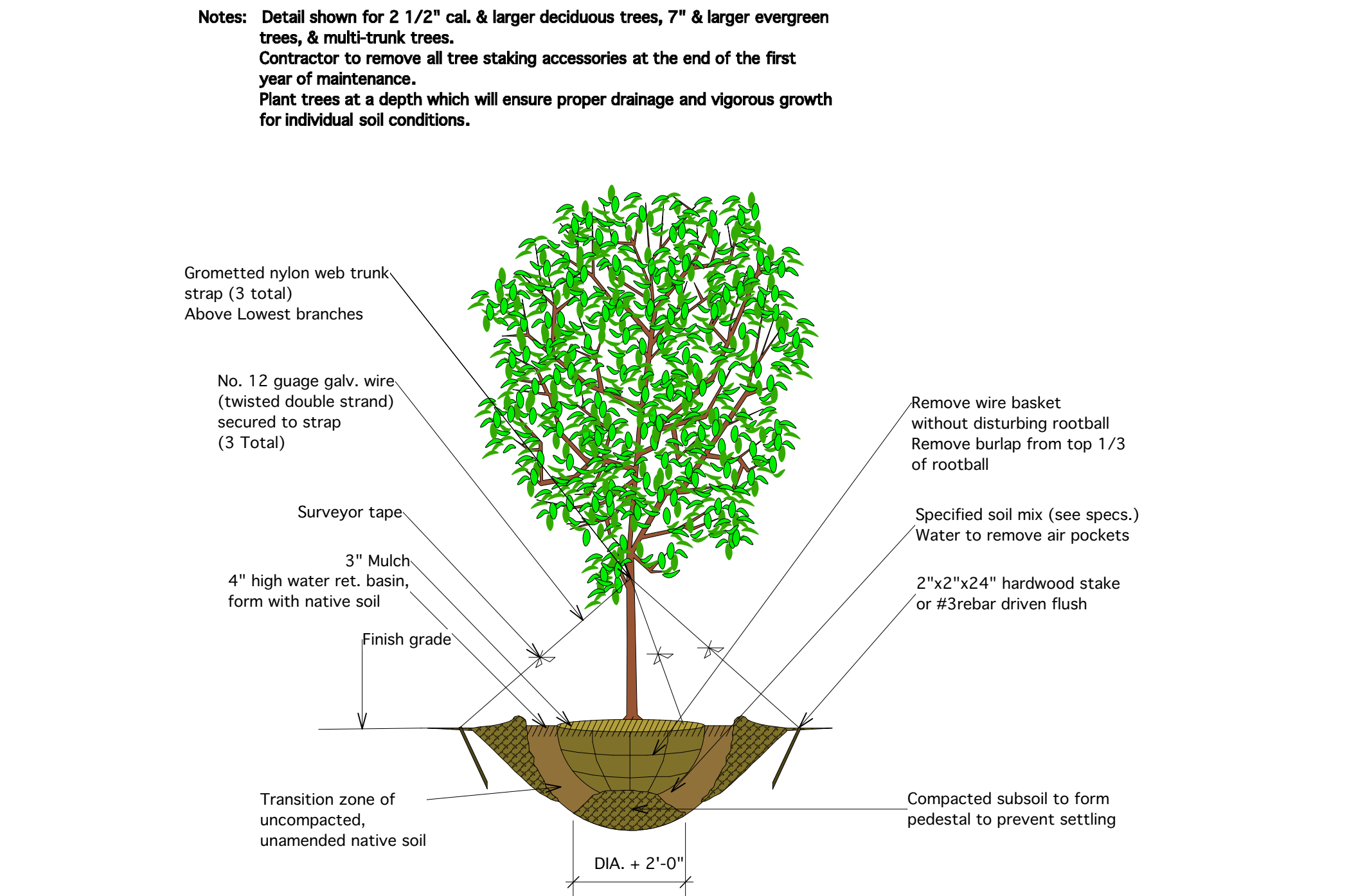
Groundcover / Seasonal Color

Groundcover beds shall be excavated to a depth of 6". Remove all stones, roots hardpan, debris, etc.. Roto-till excavated bed to a depth of 6". Add sufficient planting soil (1part organic, 1part sand, 2 part top soil) to raise entire bed 6" above original grade. Fertilize with Osmacote fertilizer at the rate of four pounds per 100 square feet. Add 1 lb. of bonemeal per50 square feet, rake in top 2" of planting soil, rake smoothly. Mulch with 3" mini bark chips.

Grass Planting

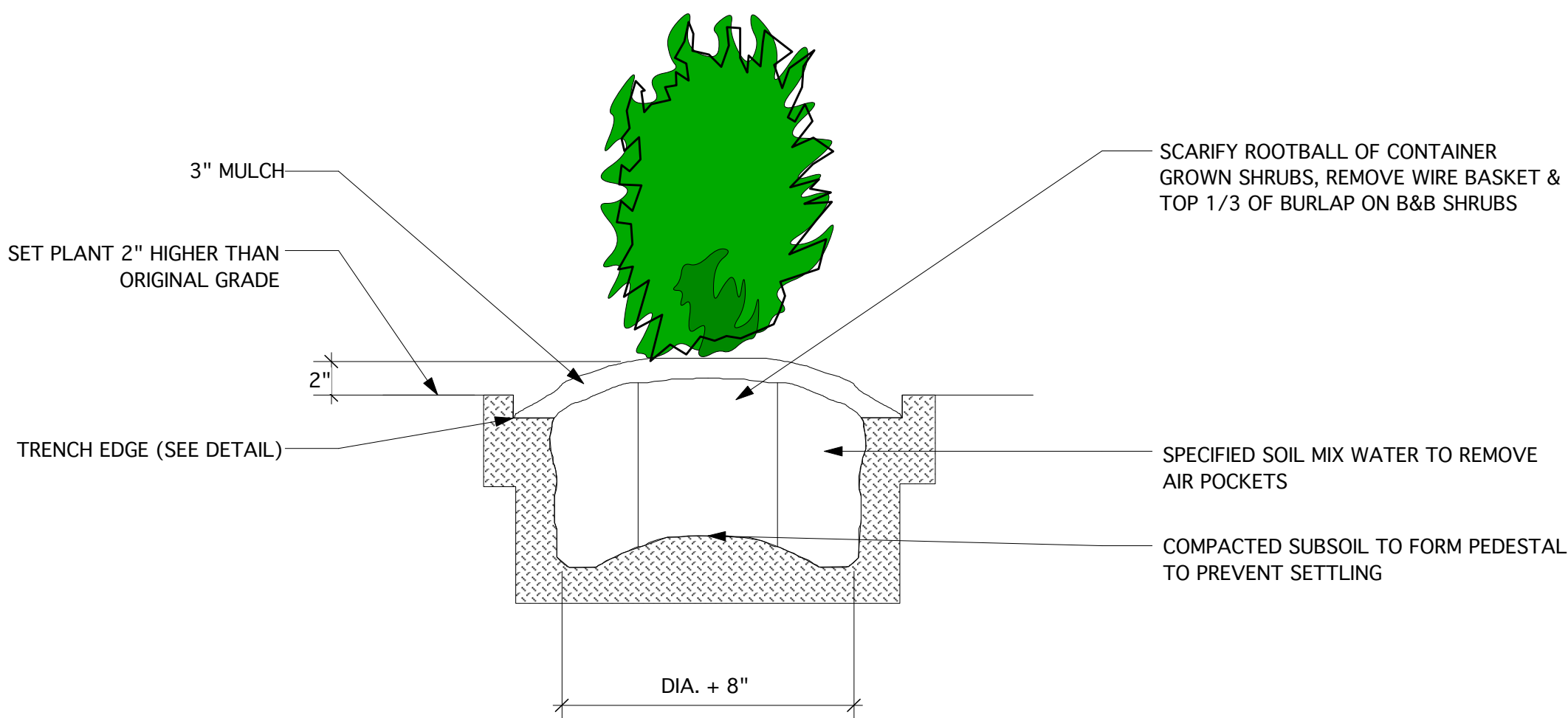
All areas to be sodded shall be raked to a depth of 2" below finished grade of seed or sod beds and raked smoothly. Areas next to sidewalks and curbs shall be graded down one inch below finish grade to allow for thickness of grass build-up. All grass areas shall be fertilized with a commercial fertilizer at the rate as recommended by grass seed supplier.

Sod areas will be planted with sod as indicated on the plans. All sod shall be placed closely so joints are flush between blocks. Sodded areas shall be rolled with a 200 pound roller, watered thoroughly and re-rolled.



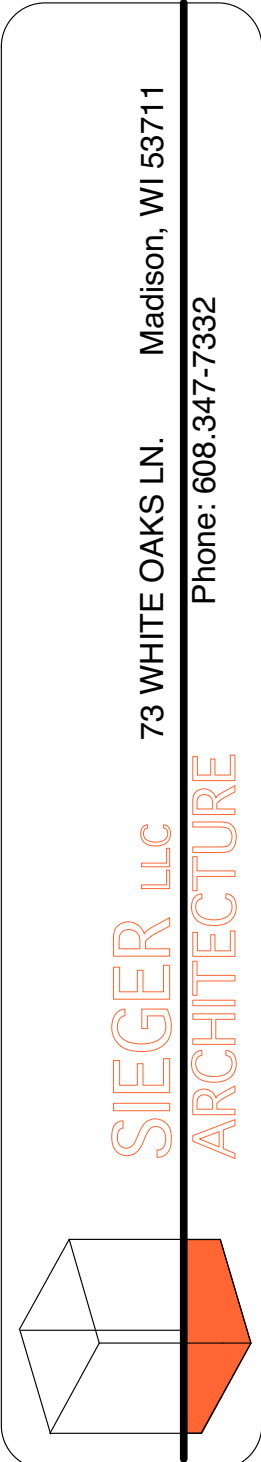
1 DECIDUOUS/ MULTI-TRUNK TREE PLANTING

ELEVATION NOT TO SCALE



2 SHRUB PLANTING

ELEVATION NOT TO SCALE



OWNER:
SIMPLE HOMES MADISON- LLC
attn LINDSAY HAGENS

PROJECT:
-- JANNAH VILLAGE

-- MADISON, WI

REVISIONS

DATE:
4-20-22
PROJECT#
2103

SHEET #
LA.6

1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLEDR12Y-180 w/ photo cell	12W LED WARM	120	42" HT LED bollard- walk lites WHITE
BB	RAB	BLEDR24Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites WHITE
CC	RAB	SLIM 18 NW	12w LED -warm	120	Wall Pack -mt ht 12' @ SPORT COURT white
EE	RAB - LED	SLEDR 5W w/ photocell	5W -LED -warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED4T 78 POLE LT w/ accesories	78W - LED WARM	120	AREA LIGHT 2 hd per 16' pole -white
GG	RAB	NLEDR6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

~~SEE SHEET C2.1 FOR ARCHITECTURAL
SITE DETAILS~~

BLISSFUL AVENUE

CANTER DRIVE

lites in soffit /
@ 10' off grade

THREE STORY APARTMENT BUILDING

REVISED FRONT ENTRY STEPS/WALKS 9/30/22

SITE LIGHTING PLAN- SITE DETAILS

architect



ILC SIEGER
ARCHITECTURE

WHITE OAKS LN
Madison, WI 53711
Phone: 608.283.6100 Fax : 608.283.6101
siegerarchitects@sbcglobal.net

**JANNAH VILLAGE 242 UNIT
MADISON, WI**

SIMPLE HOMES MADISON LLC
Linsay Hagens 608-446-2224
simplehomesproperties@gmail.com

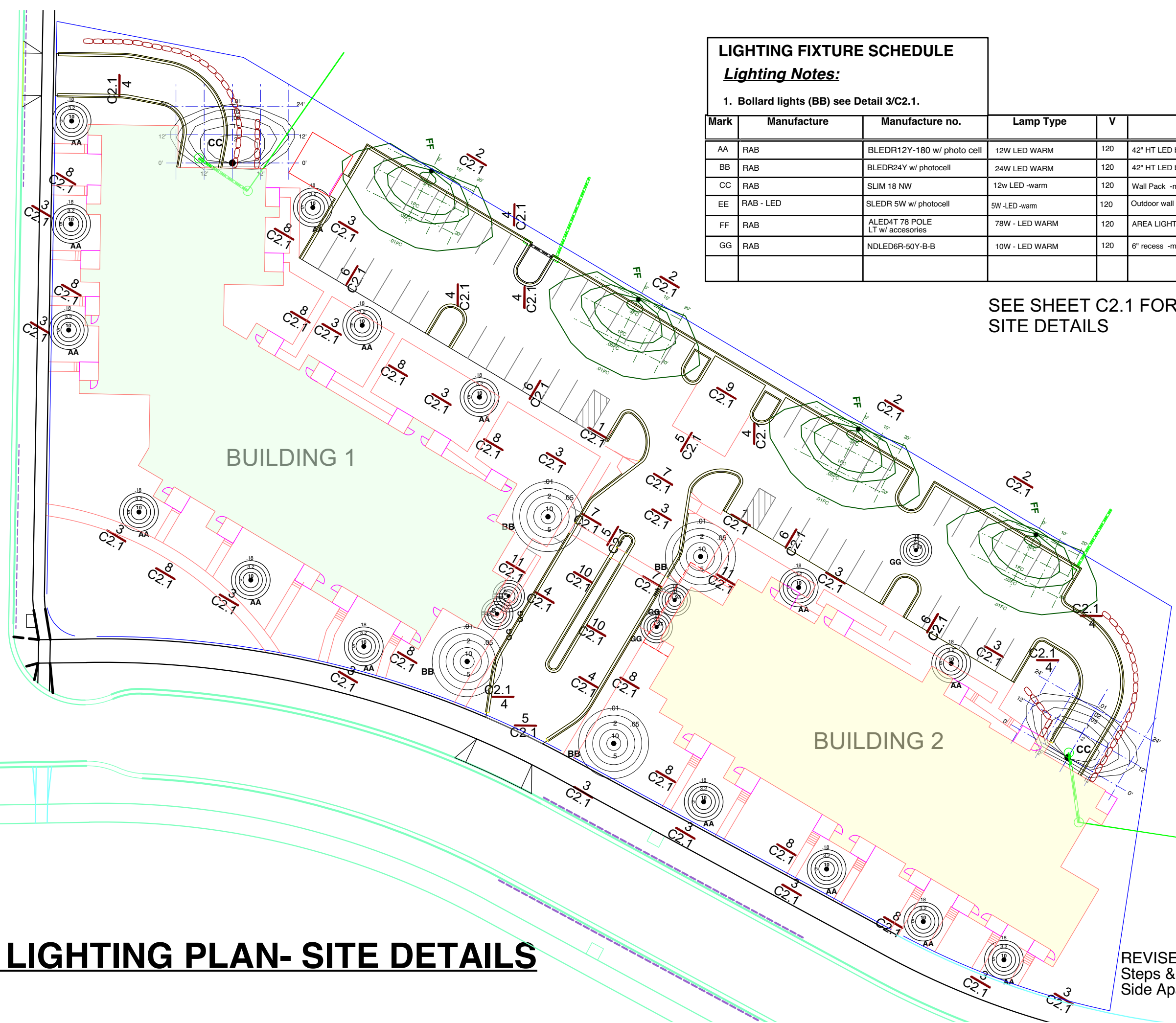
CD.1

2.12.21

1. Bollard lights (BB) see Detail 3/C2.1.

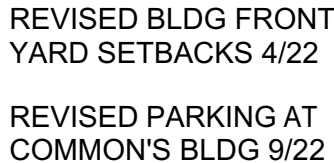
Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLED12Y-180 w/ photo cell	12W LED WARM	120	42" HT LED bollard- walk lites WHITE
BB	RAB	BLED124Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites WHITE
CC	RAB	SLIM 18 NW	12w LED -warm	120	Wall Pack -mt ht 12' @ SPORT COURT white
EE	RAB - LED	SLED15W w/ photocell	5W -LED -warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED4T 78 POLE LT w/ accesories	78W - LED WARM	120	AREA LIGHT 2 hd per 16' pole -white
GG	RAB	NDLED6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

SEE SHEET C2.1 FOR ARCHITECTURAL
SITE DETAILS





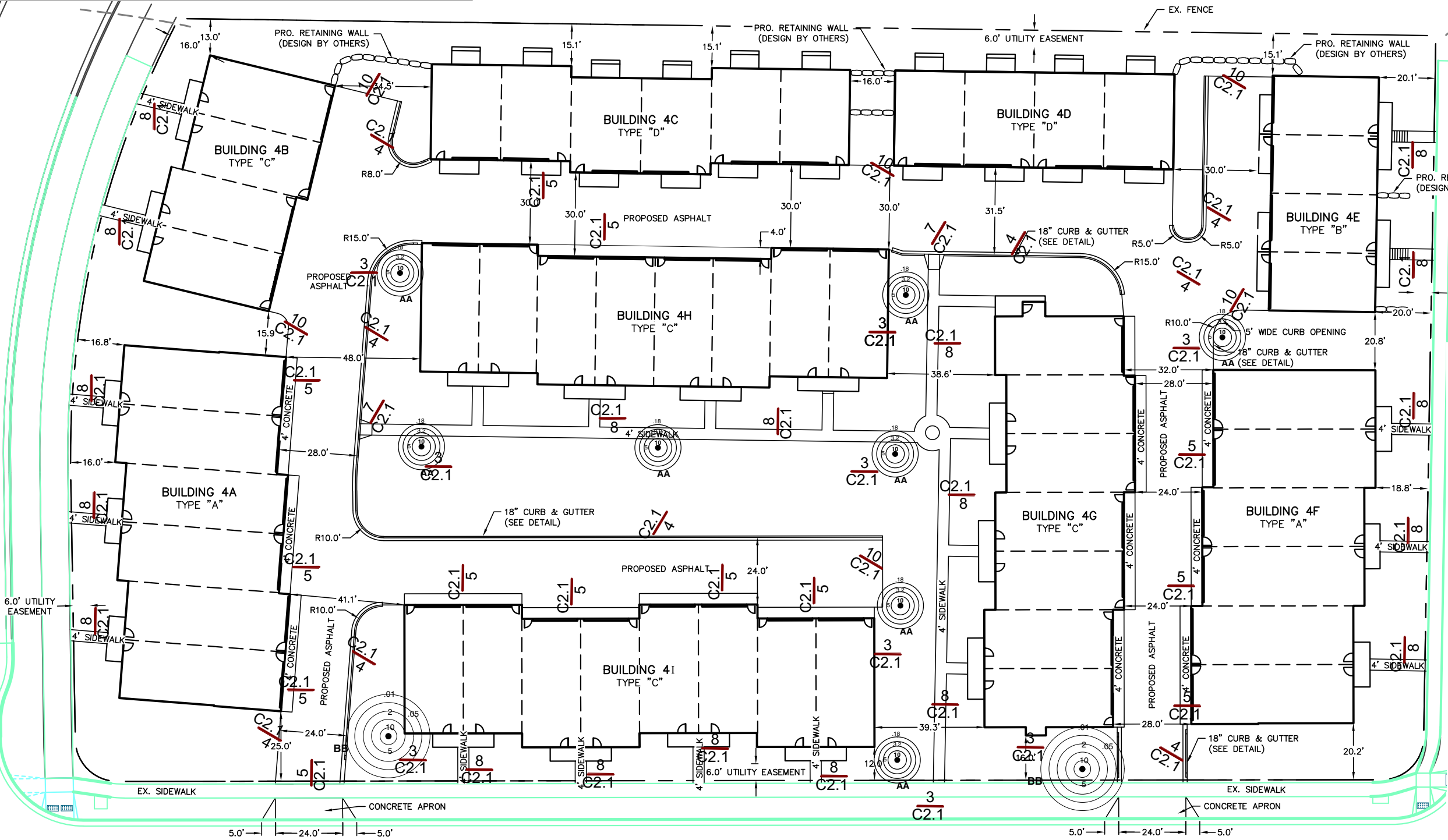
SITE LIGHTING PLAN- SITE DETAILS

REVISED 10/2/22
Steps & Walks Street
Side Apartmt 1st Floor



SCALE: 1" = 4'0" @ 11X17 SHT SIZE

CD.3	JANNAH VILLAGE 242 UNIT MADISON, WI	project	 LLC SIEGER ARCHITECTURE	 LLC SIEGER ARCHITECTURE	architect
2.12.21			SIMPLE HOMES MADISON LLC Lindsay Hagens 608-446-2224 simplehomesproperties@gmail.com		



ETERITY DRIVE

LIGHTING FIXTURE SCHEDULE

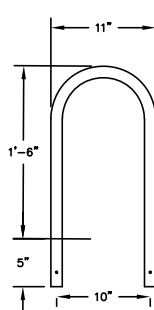
Lighting Notes:

- 1. Bollard lights (BB) see Detail 3/C2.1.

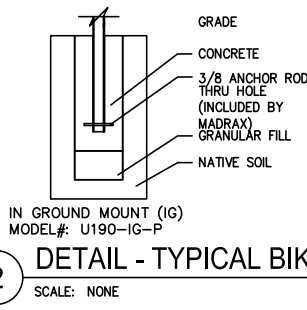
Mark	Manufacturer	Manufacture no.	Lamp Type	Description
AA	RAB	BLED12Y-180 w/ photo cell	12W LED WARM	42" HT LED bollard-walk ties WHITE
BB	RAB	BLED24Y w/ photocell	24W LED WARM	42" HT LED bollard-entry ties WHITE
CC	RAB	SLIM 18 NW	12W LED warm	Wall Pluck -mt ht 12" @ SPORT COURT white
EE	RAB - LED	SLEDR 5W w/ photocell	5W LED warm	Outdoor wall lt mt @ 24" recess in wall white
FF	RAB	ALEANT 75 POLE LTW recessed	75W - LED WARM	AREA LIGHT 2 hd per 16' pole white
GG	RAB	NOLEDR-50Y-BB	10W - LED WARM	6" recess -mt in soffit overhang @ entry

SCALE: 1" = 4'0" @ 11X17 SHT SIZE

SITE LIGHTING PLAN- SITE DETAILS

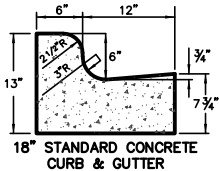


GRADE
MADRAX DIVISION
GRABER MANUFACTURING, INC.
1080 UNIEK DRIVE
WAUNAKEE, WI 53597
(800)448-7931 (608)849-1080



DETAIL - TYPICAL BIKE RACK

SCALE: NONE



18" CONCRETE CURB DETAILS

REVISED BLDG FRONT
YARD SETBACKS 4/22

projectJANNAH VILLAGE 242 UNIT
MADISON, WI

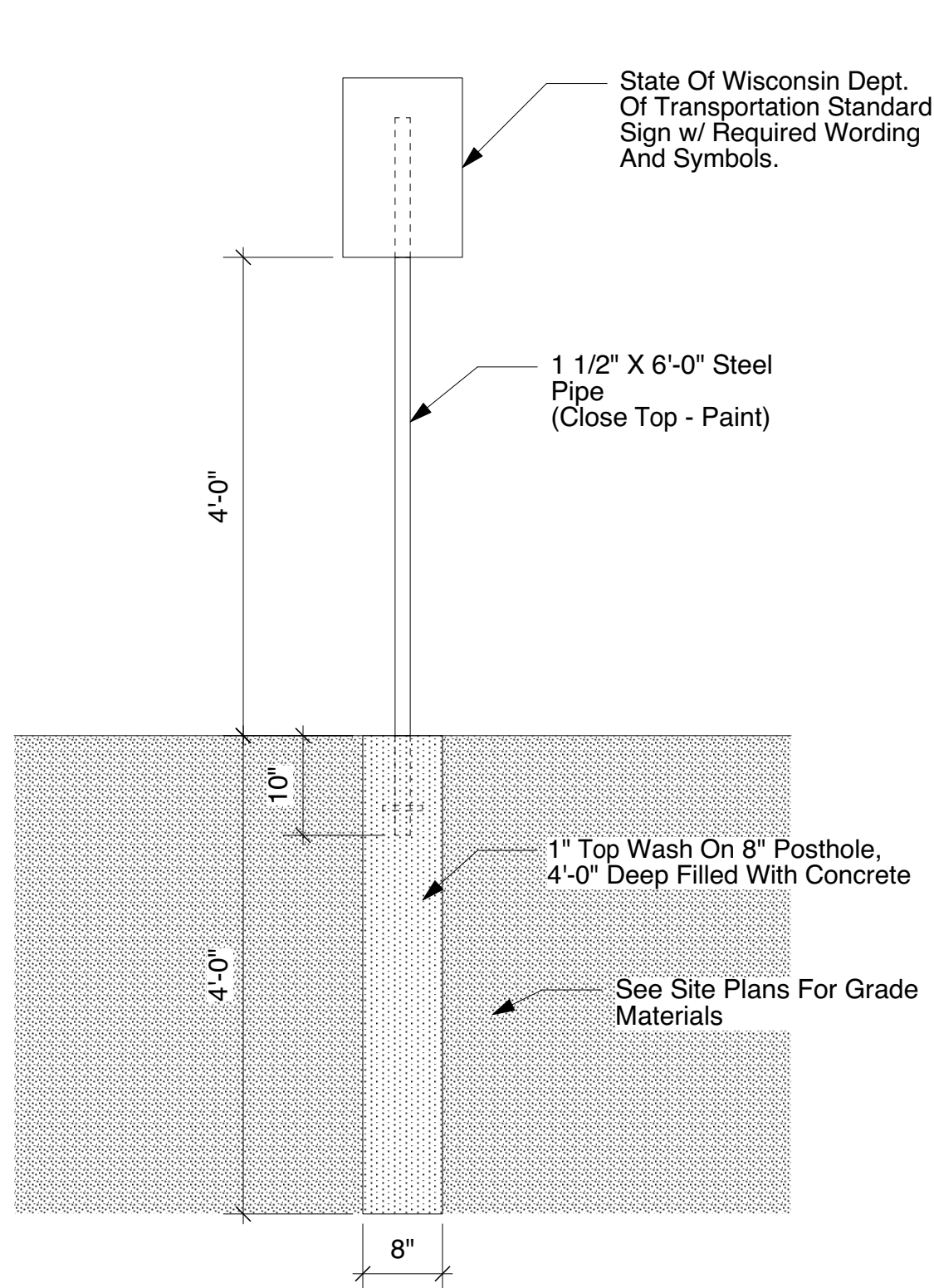
ownerSIMPLE HOMES MADISON LLC
Linsay Hagens 608-446-2224
simplehomesproperties@gmail.com

architectARCHITECTURA
LLC SIEGER

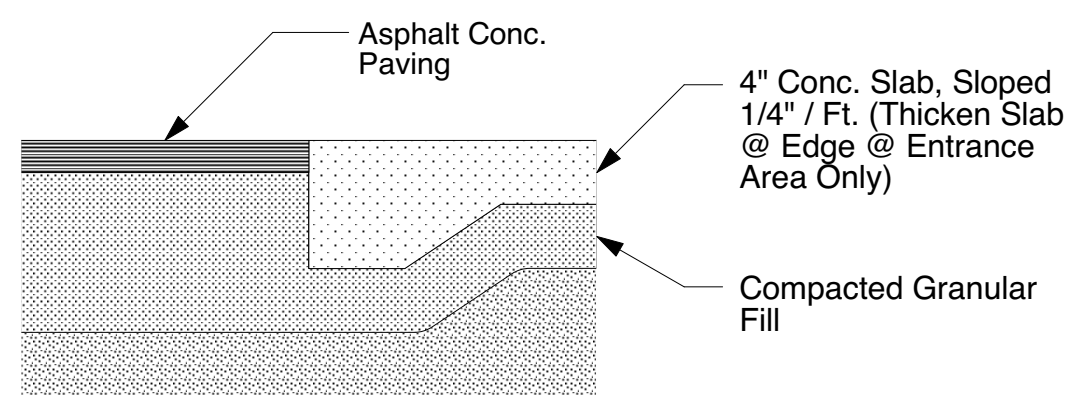
73 WHITE OAKS LN
Madison, WI 53711
Phone: 608.283.6100 Fax : 608.283.6101
siegerarchitects@sbcglobal.net

CD.4

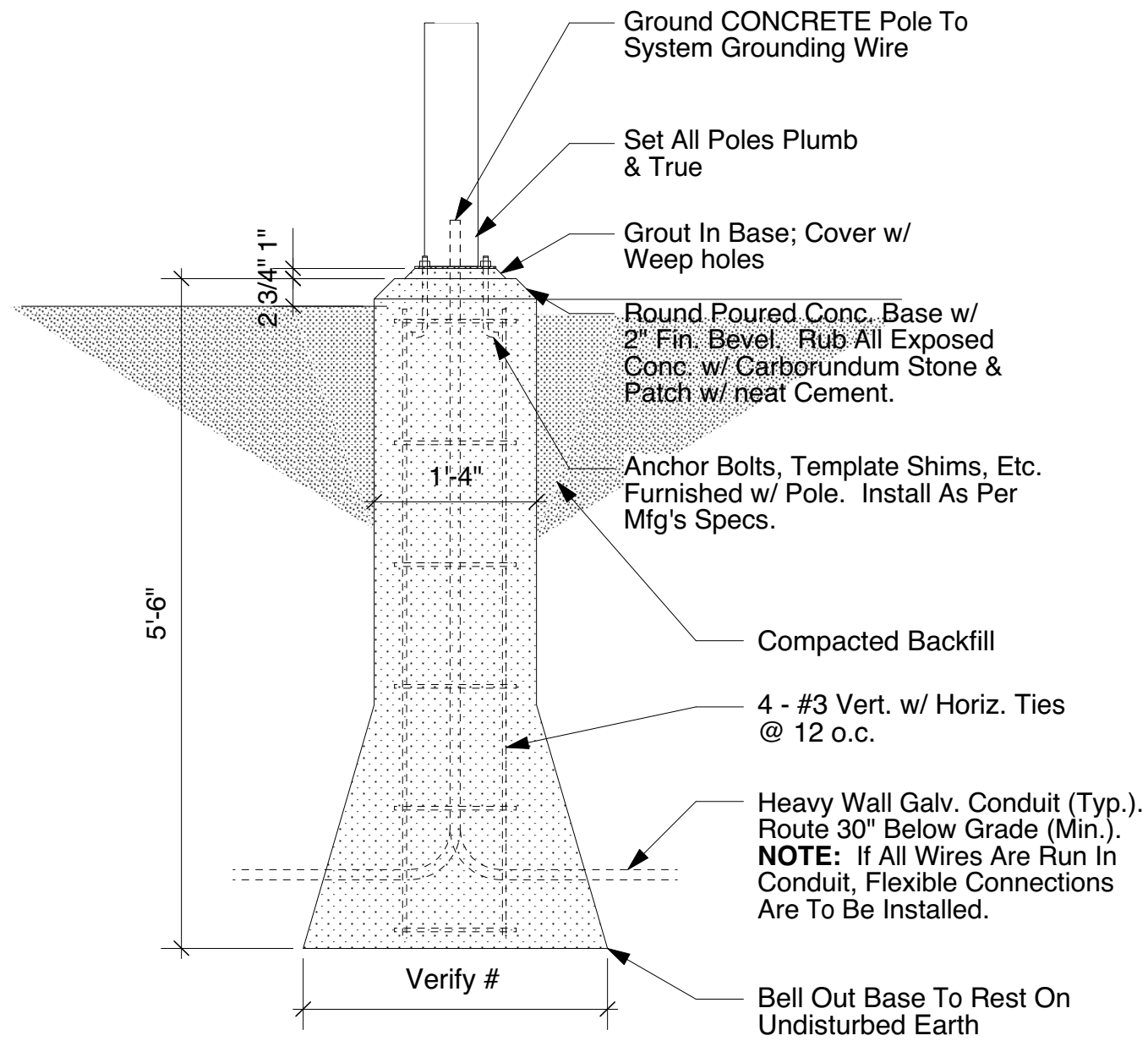
2.20.22



1 HANDICAP PARKING SIGN
Scale: 1" = 1'-0"

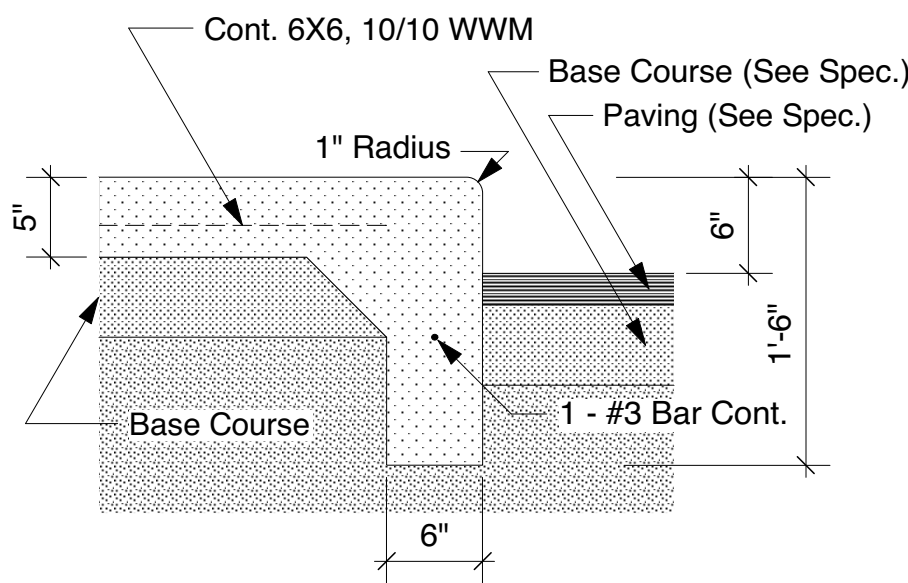


5 CONCRETE WALK EDGE DETAIL
Scale: 1" = 1'-0"

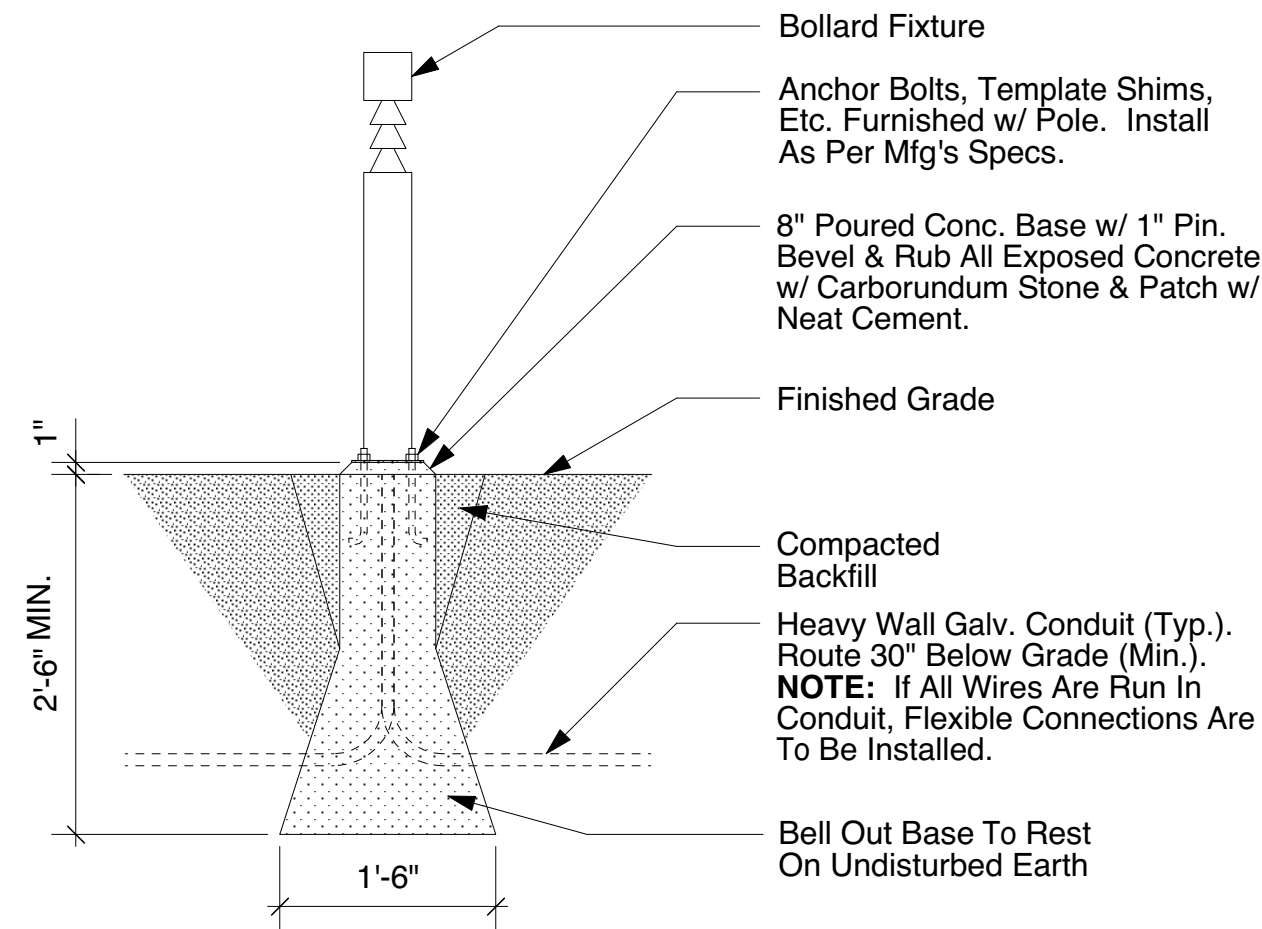


As Required By Local Soil Conditions And Code Requirements.

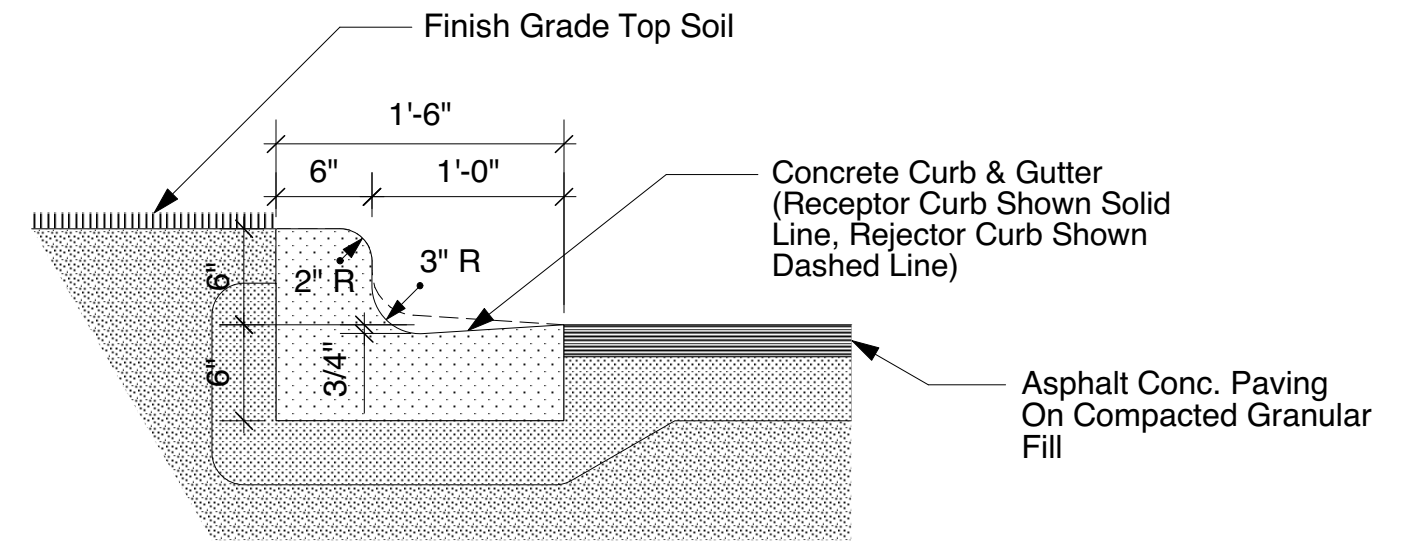
2 LIGHT POLE BASE
Scale: 3/4" = 1'-0"



6 WALK & CURB
Scale: 1" = 1'-0"

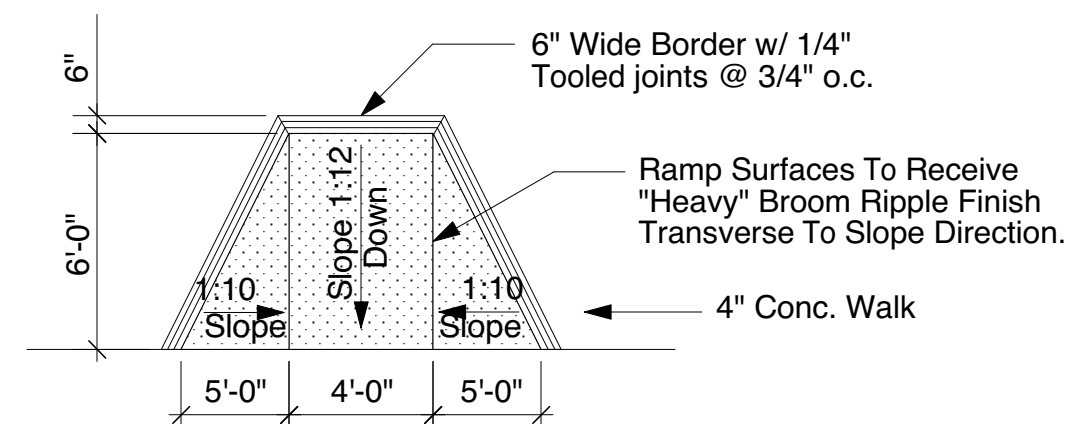


3 BOLLARD BASE
Scale: 3/4" = 1'-0"

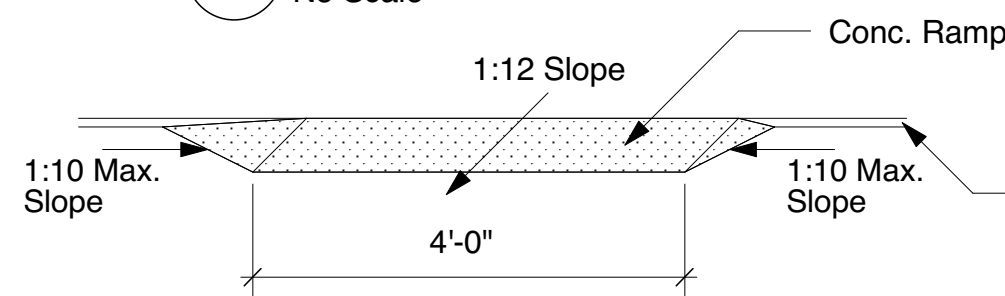


4 CURB
Scale: 1" = 1'-0"

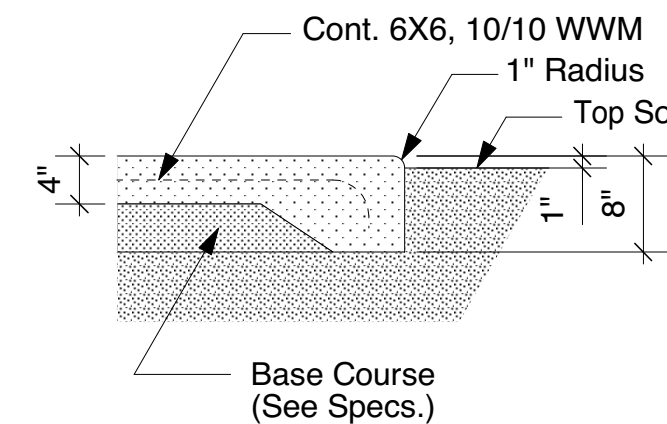
STANDARD CURB AT ALL PARKING AS WHEEL STOP



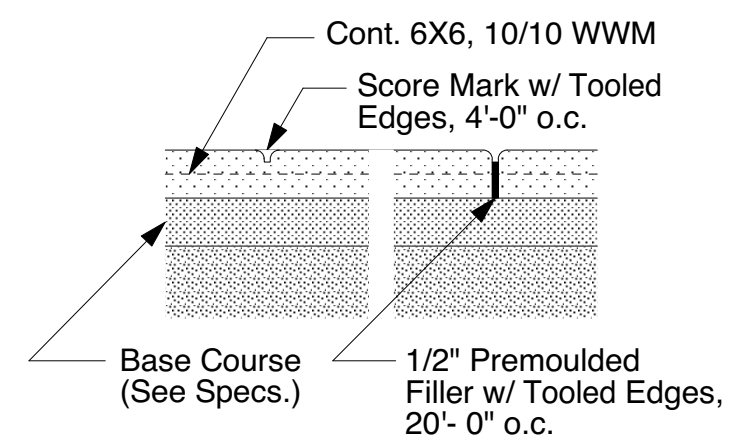
7E HANDICAPPED RAMP
No Scale



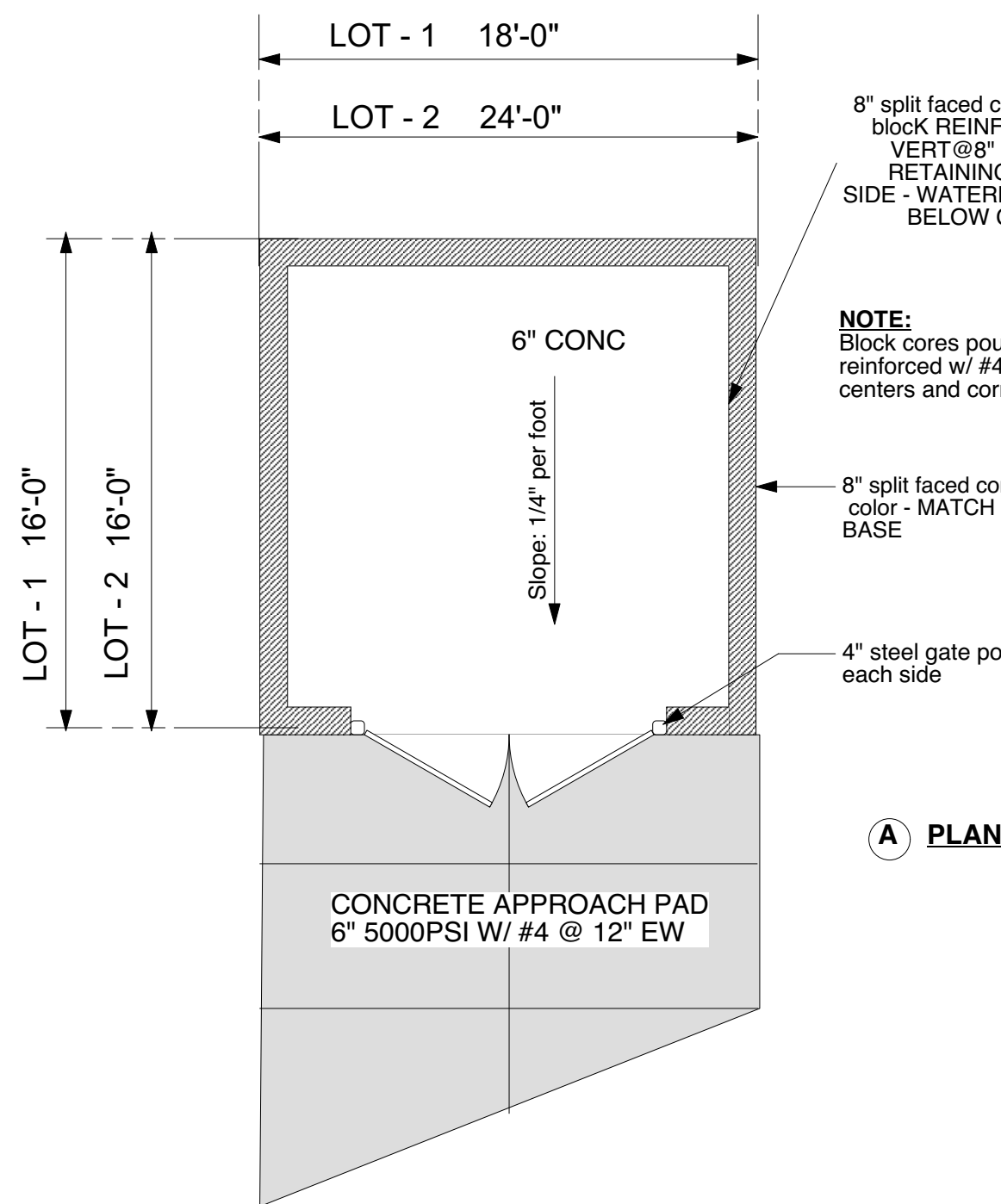
7F HANDICAPPED RAMP
No Scale



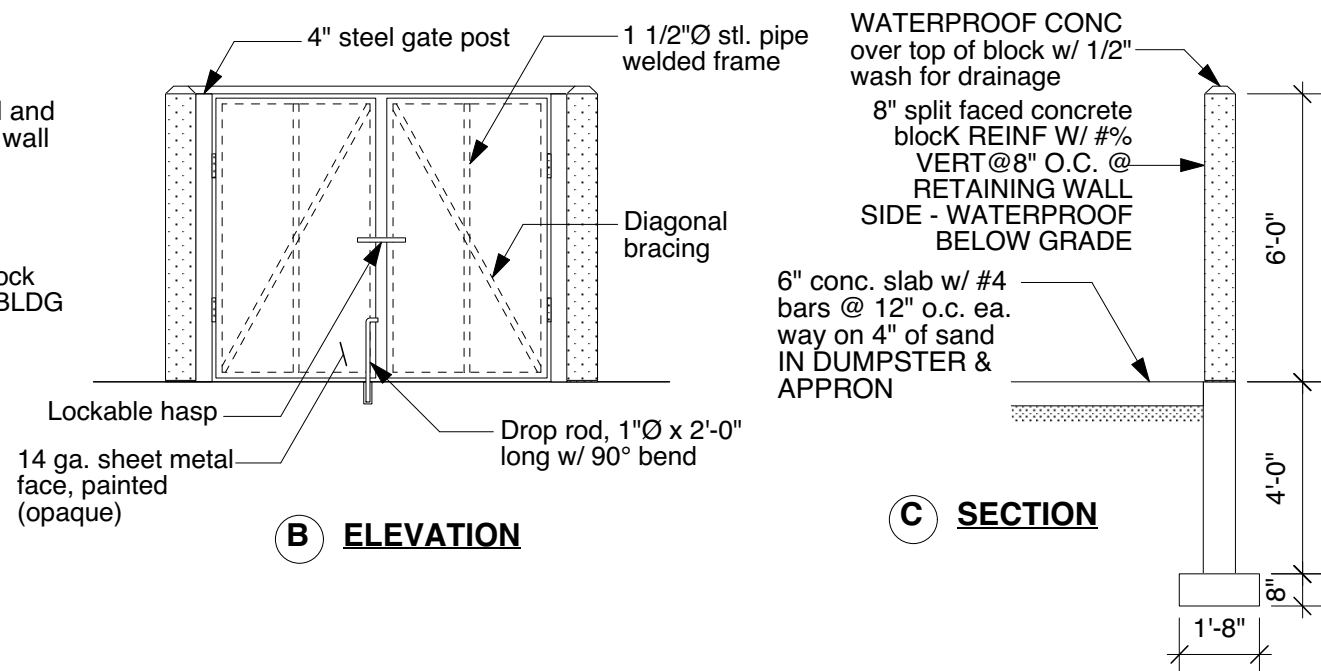
8A WALK & LAWN
Scale: 3/4" = 1'-0"



8B WALK JOINT
Scale: 3/4" = 1'-0"



9 TRASH ENCLOSURE
Scale: 1/4" = 1'-0"



10 CURB DETAIL
Scale: 1" = 1'-0"



11 Entry Waste Containers
Scale: 3/4" = 1'-0"

SITE PLANS DETAILS			C2.1
architect	project	JANNAH VILLAGE	
SIEGER ARCHITECTURE 73 WHITE OAKS LANE, Madison, WI 53711 Phone: 608-347-7332 siegerarchitects@sbcglobal.net	owner	MADISON, WI	
		Lindsay Hagens Madison, WI	
8/15/21			

*NOTE: Drawings are 50% scale for 11x17 print sets.

Technical Specifications (continued)

Construction

Mounting:

Four (4) anchor bolts provided for concrete pad mounting. Internal base support has leveling screws.

Gaskets:

High-temperature silicone gaskets seal out moisture gaskets seal out moisture

Anchor Bolt:

Anchor Bolt Dimension is available [here](#).

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

California Title:

BDLED24 can be used to comply with 2016 Title 24 Part 6 when used with a remote mounted photosensor control. Select PCS900 (120V) or PCS1900/277 (277V) to order a photosensor accessory.

Patents:

The design of BLED is protected by patents in US, Canada & China

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Equivalency:

Equivalent to 70W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Electrical

Driver:

Constant Current, Class 2, 480V, 50/60 Hz, 4kV Surge Protection, 720mA, 480V: 0.05A

THD:

9.3% at 480V

Power Factor:

83.6% at 480V

Dimensions



Features

- Patented base mount design for super sturdy installation
- Durable construction and frosted vandal-resistant polycarbonate lens
- Precision-engineered optics deliver maximum downward lighting without glare
- Four leveling screws provided for easy installation
- 100,000-hour LED lifespan



Technical Specifications (continued)

Construction

Lens:

Polycarbonate lens

Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Other

5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

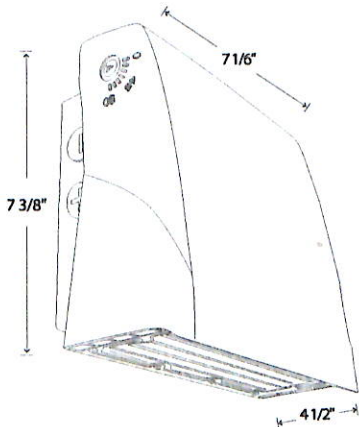
Equivalency:

Equivalent to 175W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions

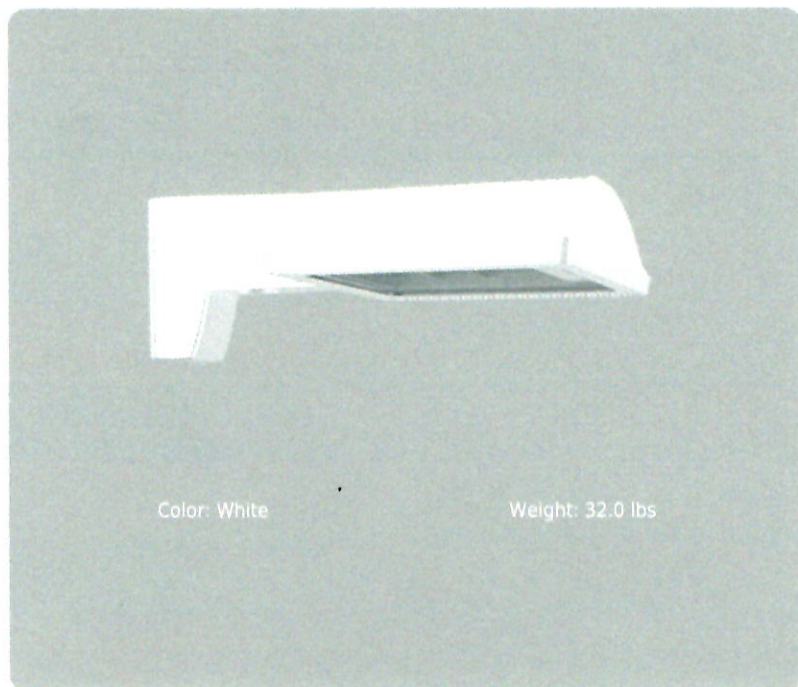


Features

- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming standard

Ordering Matrix

Family	Wattage	Style
SLIM17FA	30	ADJ
15 = 15W ADJ = Angle Adjustable		
30 = 30W		



Color: White

Weight: 32.0 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	1.31A
208V	0.80A
240V	0.69A
277V	0.60A
Input Watts	151.4W

LED Info

Watts	150W
Color Temp	4000K (Neutral)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	17,213
Efficacy	113.7 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P00001750

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Housing:

Die-cast aluminum housing, lens frame and mounting arm

IP Rating:

Ingress protection rating of IP66 for dust and water

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Reflector:

Specular vacuum-metallized polycarbonate

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics**LEDs:**

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Electrical**Driver:**

One Driver, Constant Current, Class 2, 2100mA
100-277V, 50-60Hz, Power Factor 99%

THD:

5.9% at 120V, 11.2% at 277V

Power Factor:

99.5% at 120V, 93.7% at 277V

Surge Protection:

4kV

output, color stability, driver performance, fixture finish. RAB's warranty is subject to terms and conditions found at rablighting.com/warranty.

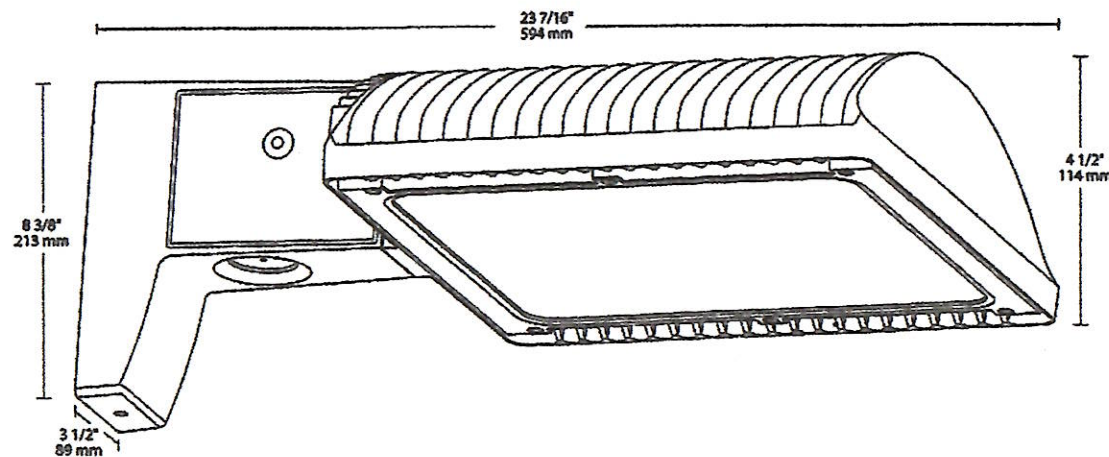
Equivalency:

Equivalent to 400W Metal Halide

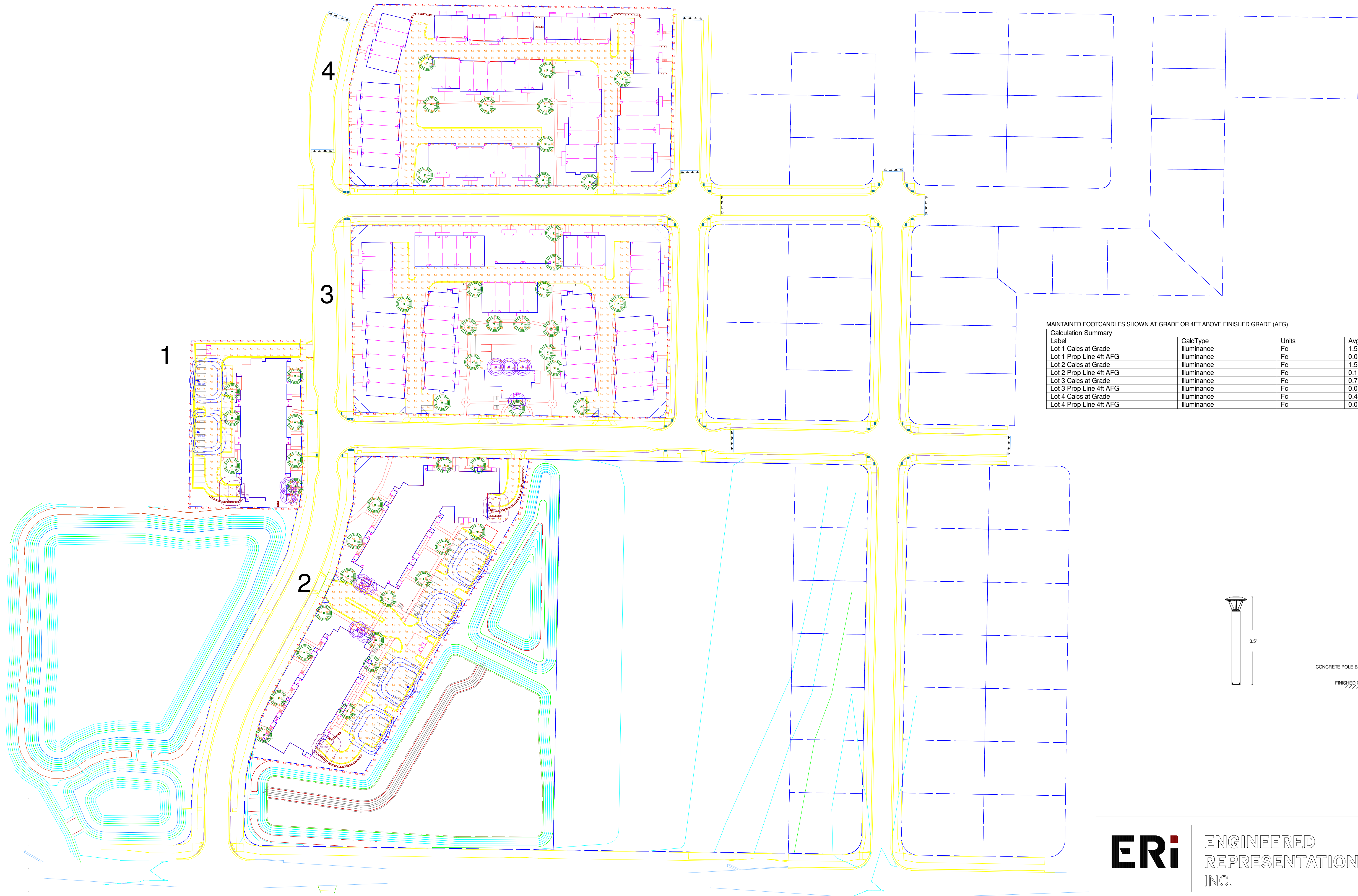
Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act. Please contact customer service to request a quote for the product to be made BAA compliant.

"FF"

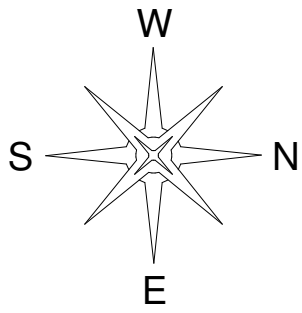
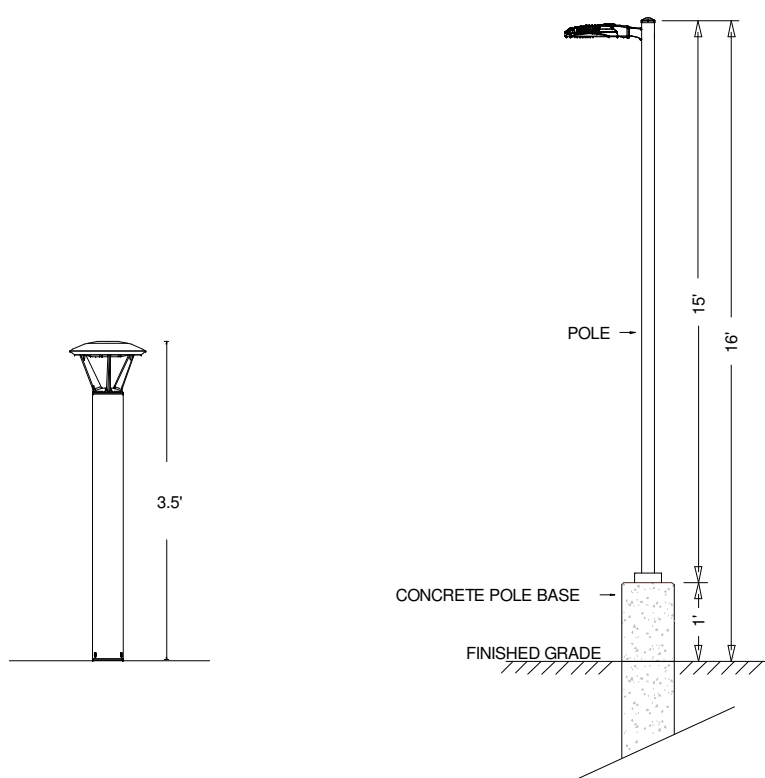
Dimensions**Features**

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty



MAINTAINED FOOTCANDLES SHOWN AT GRADE OR 4FT ABOVE FINISHED GRADE (AFG)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Lot 1 Calcs at Grade	Illuminance	Fc	1.58	10.3	0.0	N.A.	N.A.
Lot 1 Prop Line 4ft AFG	Illuminance	Fc	0.04	0.5	0.0	N.A.	N.A.
Lot 2 Calcs at Grade	Illuminance	Fc	1.53	10.1	0.0	N.A.	N.A.
Lot 2 Prop Line 4ft AFG	Illuminance	Fc	0.12	0.8	0.0	N.A.	N.A.
Lot 3 Calcs at Grade	Illuminance	Fc	0.76	8.2	0.0	N.A.	N.A.
Lot 3 Prop Line 4ft AFG	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Lot 4 Calcs at Grade	Illuminance	Fc	0.44	10.2	0.0	N.A.	N.A.
Lot 4 Prop Line 4ft AFG	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.



FIXTURE MOUNTING HEIGHTS SHOWN ON PLAN AS "MH" IN FEET ABOVE FINISHED GRADE

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Manufacturer	Description	LLF	Lum. Watts
	49	BB	Single	CREE	PWY-EDG-5M-P4-02-E-UL-WH-350-30K	0.890	22
	3	CC	Single	CREE	XSPW-B-WM-4ME-2L-30K-UL-WH	0.890	20
	6	FF	Single	CREE	OSQM-B-11L-30K7-4M-UL-NM-WH + OSQ-ML-B-DA-WH + OSQ-BLSMF + LP4C151W-0 + LP4ABT-0	0.890	72
	10	GG	Single	CREE	LR6-18L-30K + LXT6BB + RC6	0.890	20.5

Lum.	Lumens
22	1717
20	2490
72	8300
20.5	1800

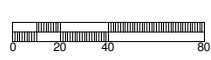
ERI

ENGINEERED
REPRESENTATION
INC.

www.engineeredrepinc.com
262.542.6285 Wauwatosa
920.751.3922 Neenah
apps@eriwi.com

Date:9/30/2022

Scale: 1"=80'

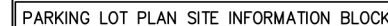


Layout By: Andy

Project: JANNAH VILLAGE - MADISON, WI

Filename: 220928QQ1AKC.AGI

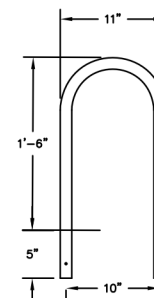
LIGHT LEVELS SHOWN ARE STRICTLY FOR PURPOSES OF ESTIMATING BILL OF MATERIALS AND THE RESULTS ARE BASED ON PROJECT DETAILS GIVEN TO ENGINEERED REPRESENTATION INC. / WALLOCK DAVIES & COMPANY LLC. BEFORE OCCUPANCY OF SPACE. ALL PROJECT DETAILS AND LIGHT LEVELS SHOULD BE VERIFIED TO COMPLY WITH SAFETY AND MUNICIPAL CODES.



**LOT 3 - BUILDING AND UNIT IDENTIFICATION FOR ADDRESSING
INTERENAL OPEN SPACE SQUARE FOOTAGE
INCREASE WITH REDUCTED Bldg.SET BACKS**

6039 sf

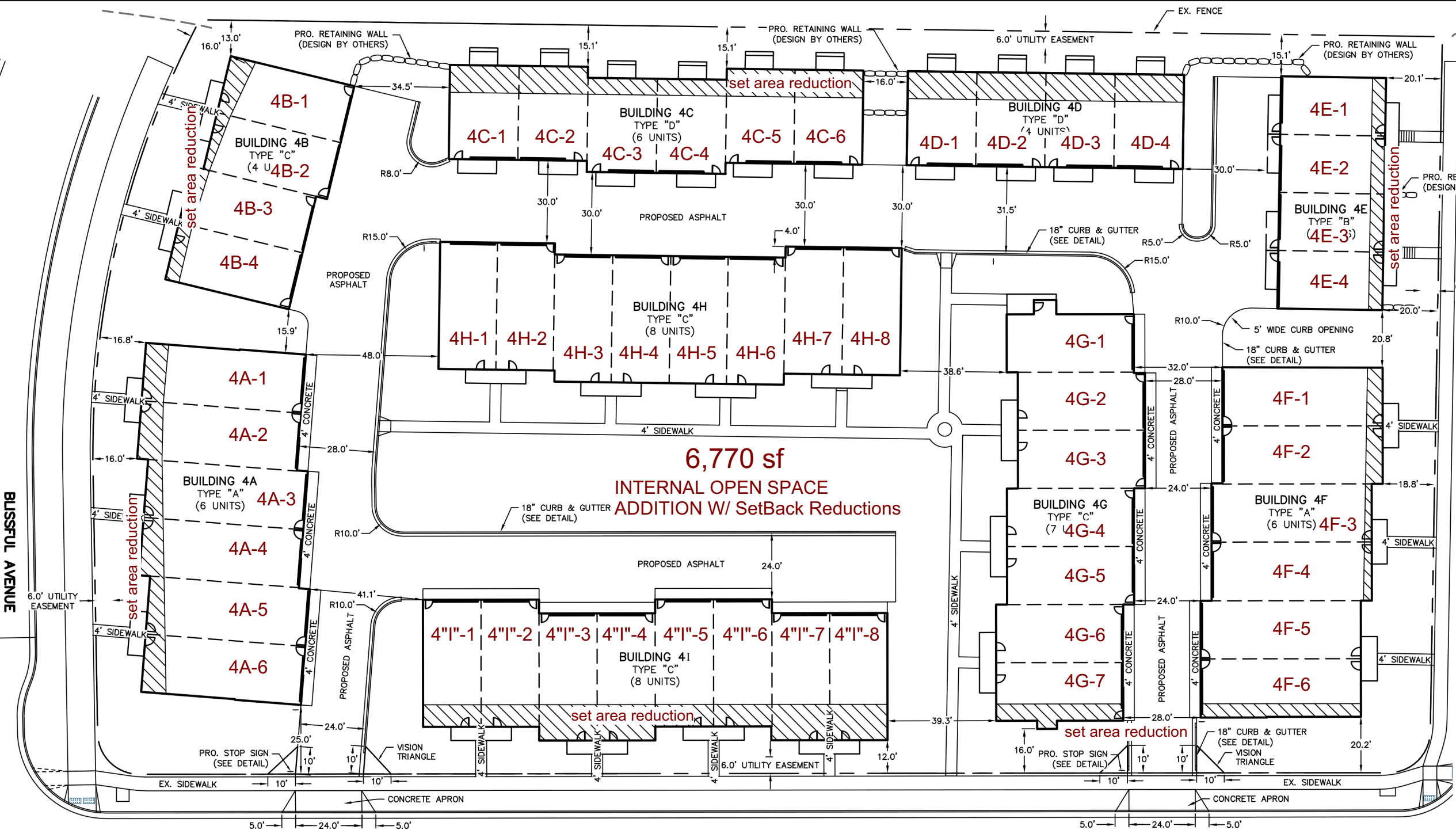
TO OBTAIN LOCATION OF
PARTICIPANTS' UNDERGROUND



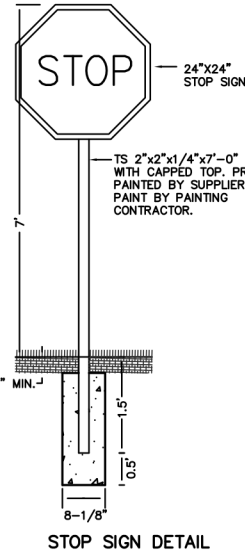
SCALE: NONE

18" CONCRETE CURB DETAILS

4604 Siggelkow Road, Suite A – McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



GENERAL NOTES:
-EXCAVATION BY CONCRETE CONTRACTOR
-POSTS SHALL BE SET BY CONCRETE CONTRACTOR & PROVIDED BY STEEL SUPPLIER.
-SIGN PROVIDED BY HARDWARE SUPPLIER & INSTALLED BY CARPENTER
-WIPE CLEAN EXCESS CONCRETE FROM POST BY CONCRETE CONTRACTOR
-CARPENTER TO DRILL HOLES IN STEEL POST FOR SIGN ATTACHMENT



CITY NOTE:

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

CURB & GUTTER NOTES:

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

PAVING NOTES:

PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.

THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

SIGNING NOTES:

THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING

GENERAL NOTES:

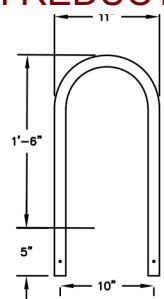
THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE, WISDOM ROAD, AND ETERNITY DRIVE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

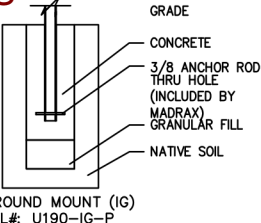
PARKING LOT PLAN SITE INFORMATION BLOCK		
Site Address	TO BE DETERMINED	
Site acreage (total)	2.98 ACRE	
Number of building stories (above grade)	X	
Building height	XXX	
Total Building height above existing grade	XXX	
Total square footage of building	XXX s.f.	
Use of property	MULTIFAMILY RESIDENTIAL	
Impervious area	1.98 ACRE	
Open space area	0.98 ACRE	
Lot coverage	66.9%	
Number of bicycle stalls shown	0	
Number of Parking stalls:		
DESCRIPTION	Number	
Parking (above ground)	0	
Accessible (above ground)	0	
Parking (garage)	106	
Total	106	
Number of trees shown (See Landscape Plan)		

LOT 4 - BUILDING AND UNIT IDENTIFICATION FOR ADDRESSING
INTERNAL OPEN SPACE SQUARE FOOTAGE
INCREASE WITH REDUCTED Bldg.SET BACKS
6,770 sf



WISDOM ROAD

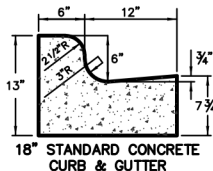
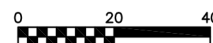
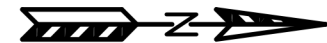
GRADE MADRAX DIVISION
GRABER MANUFACTURING, INC.
1080 UNITEK DRIVE
WALUNAKEE, WI 53597
(800)448-7931 (608)849-1080



IN GROUND MOUNT (IG)
MODEL#: U190-IG-P
2
SCALE: NONE

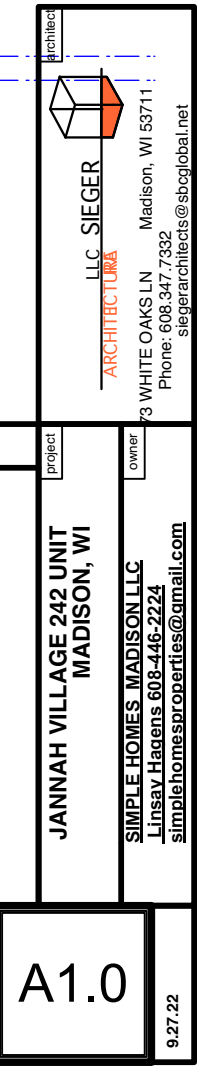
PROJECT SITE & BUILDING DESIGNER:
SiegerARCHITECTS
Madison, WI

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE
TDD(FOR THE HEARING IMPAIRED)(800)542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



18" CONCRETE CURB DETAILS

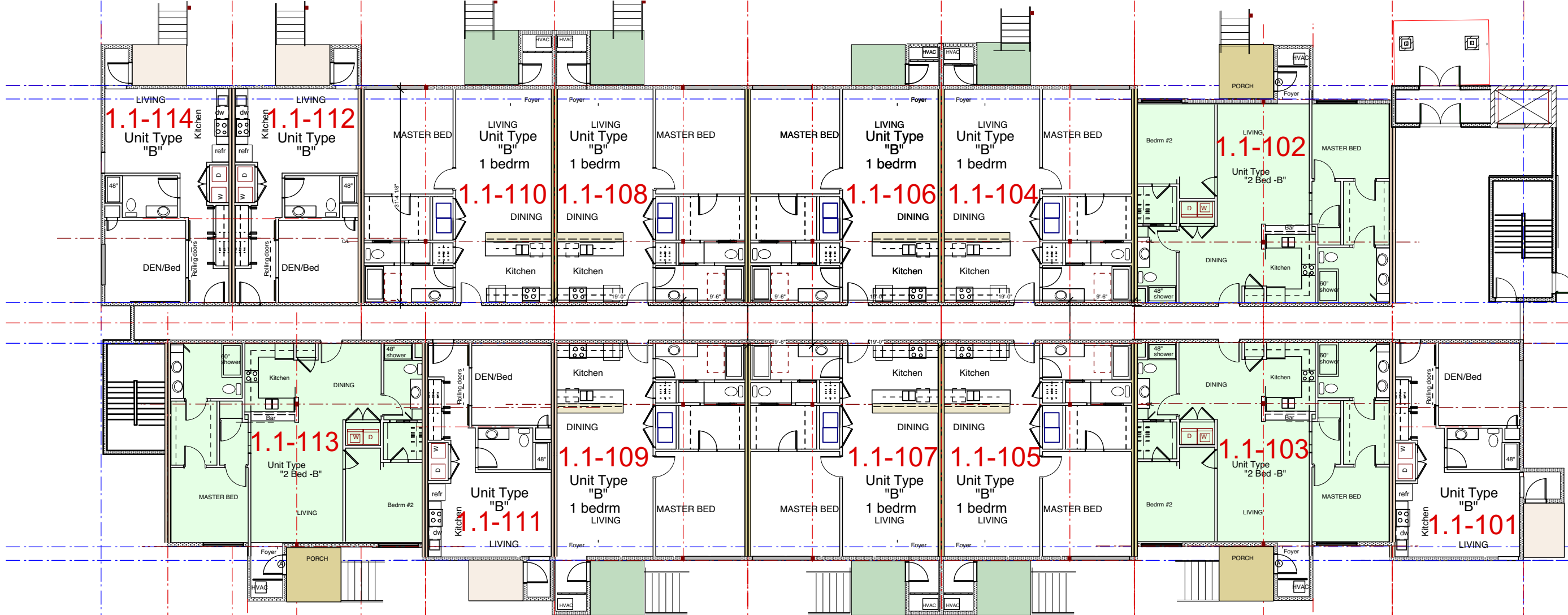
JANNAH VILLAGE - LOT 4
SITE PLAN
SHEET: C-1.S
DATED: MARCH 8, 2022 SUPPLEMENT -7/11/2022
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



LOT 1 - BUILDING-1

41 TOTAL

11- Mini-one
9- 2 bedroom
21- 1bedrom



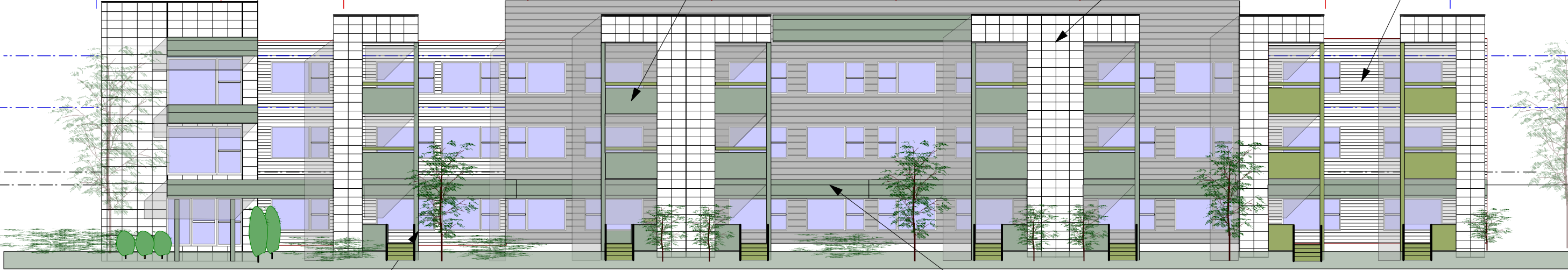
TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

3/4" - 4X8' EXT MDO PANEL
PAINT COLOR OPTION #1

HARD BOARD PANEL #4
equal to Nichiha Panels

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

6" SMART SIDING #4



8" STL PIPE DECK COLUMN
PAINT COLOR OPTION #1

10" SMART SIDING #3

6" SMART SIDING #1

REVISED 10/2/22 -ENTRY STEPS & UNIT NUMBERS

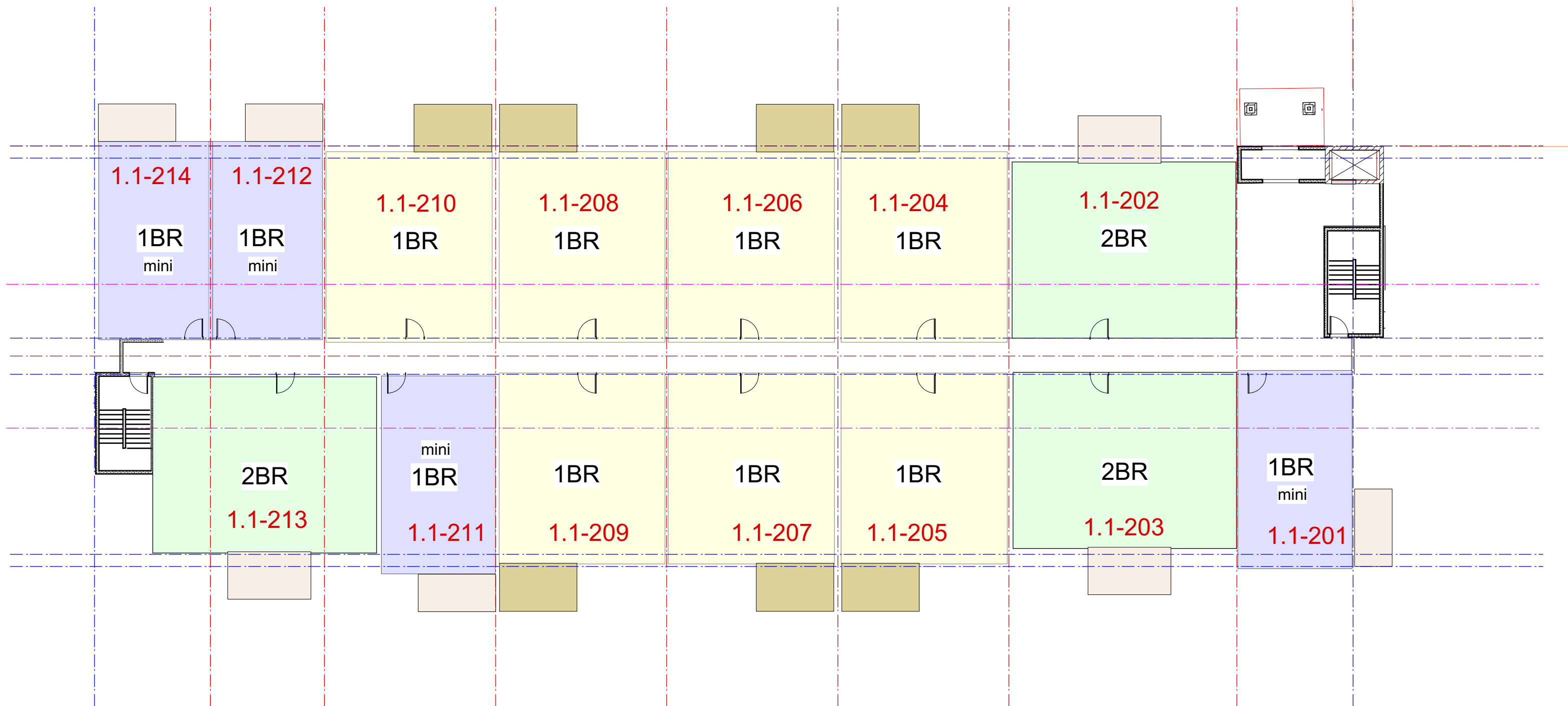
STREET ELEVATION - LOT 1
MAIN FLOOR PLAN - Numbered Units

LOT 1

architect
 SIEGER LLC
ARCHITECTURE
73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@sbcglobal.net

project
JANNAH VILLAGE 242 UNIT
MADISON, WI
owner
SIMPLE HOMES MADISON LLC
Linsay Hagens 608-446-2224
simplehomesproperties@gmail.com


A1.1
9.12.22

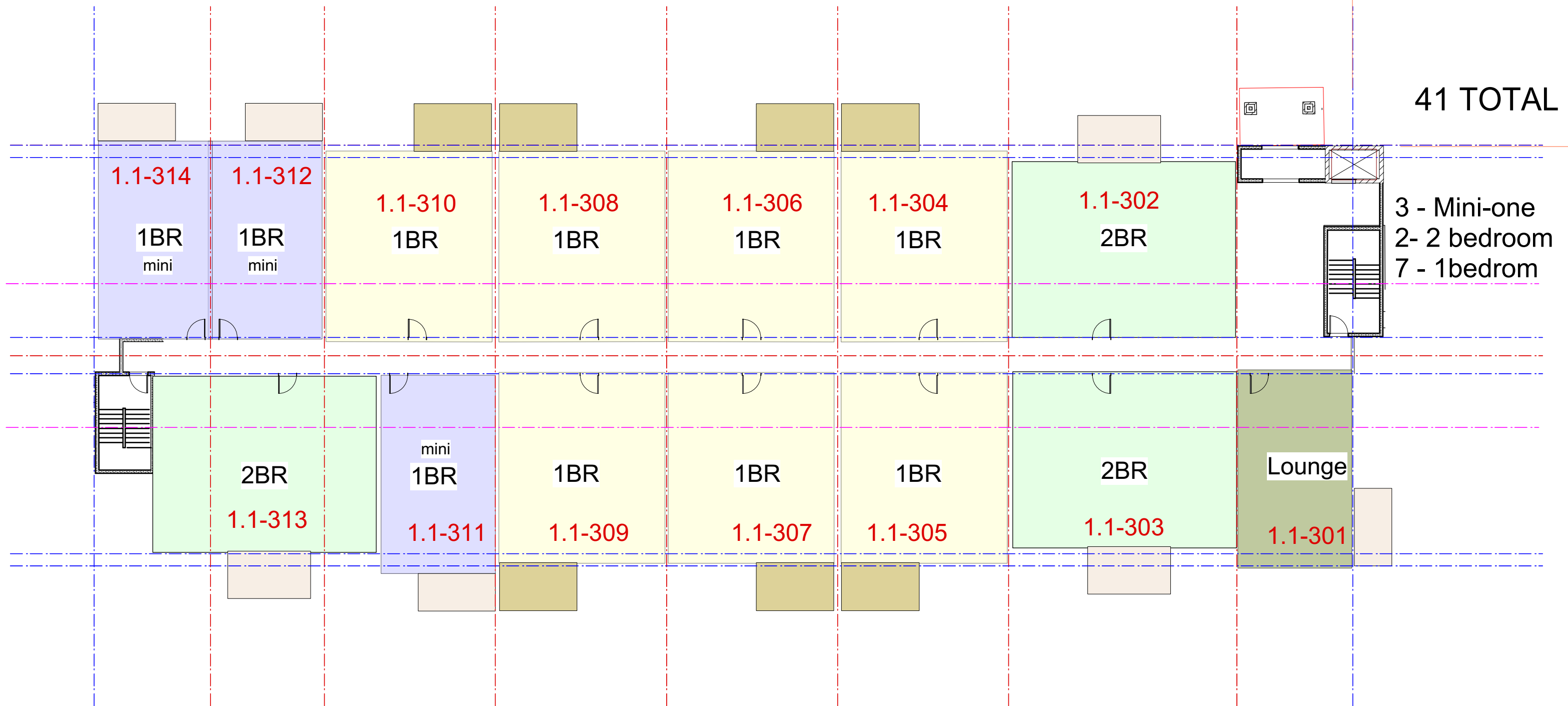


SEOND FLOOR PLAN - Numbered Units

LOT 1

REVISED 10/2/2022 - APT NUMBERS AND DOORS


architect	 <div>SIEGER LLC ARCHITECTURE</div>	project	JANNAH VILLAGE 242 UNIT MADISON, WI	A1.2
		owner	<u>SIMPLE HOMES MADISON LLC</u> <u>Linsay Hagens 608-446-2224</u> <u>simplehomesproperties@gmail.com</u>	
73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net		Madison, WI 53711		9.12.22



THIRD FLOOR PLAN - Numbered Units

LOT 1

REVISED 10/2/2022 - APT NUMBERS AND DOORS

architect	 <div>SIEGER LLC ARCHITECTURE</div> <div>73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</div>	project	JANNAH VILLAGE 242 UNIT MADISON, WI	A1.3
		owner	<u>SIMPLE HOMES MADISON LLC</u> <u>Linsav Hagens 608-446-2224</u> <u>simplehomesproperties@gmail.com</u>	
				9.12.22

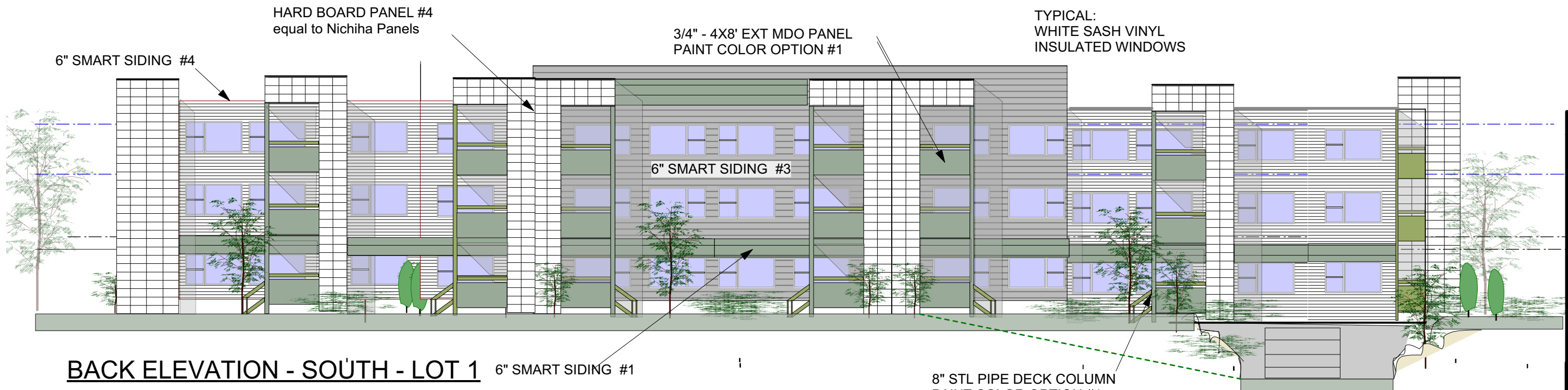


WEST ELEVATION - LOT 1



EAST ELEVATION - LOT 1

LOT 1



BACK ELEVATION - SOUTH - LOT 1

architect

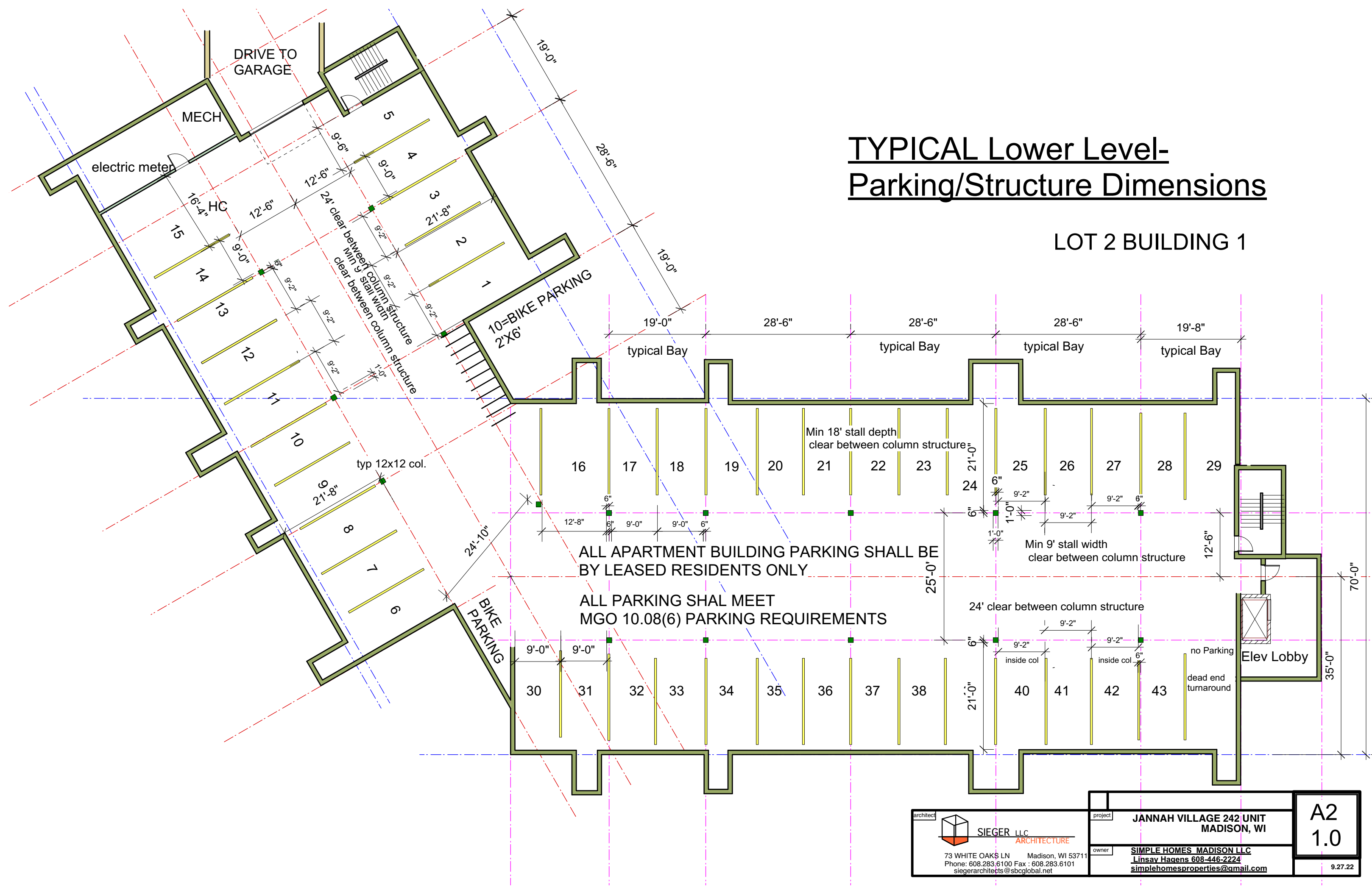
 LLC SIEGER
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332
 siegerarchitects@sbcglobal.net

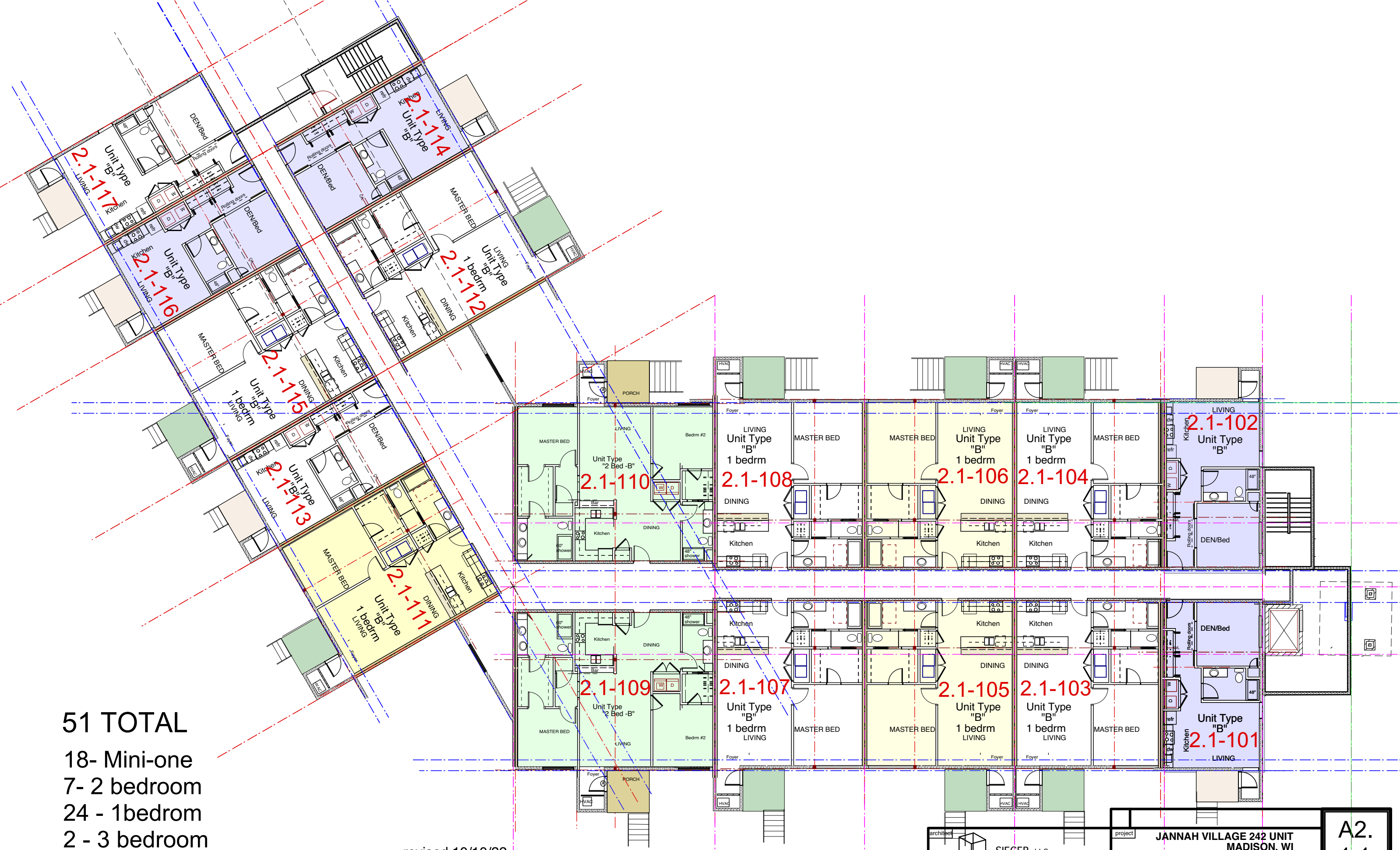
project
**JANNAH VILLAGE 242 UNIT
 MADISON, WI**
 owner
SIMPLE HOMES MADISON LLC
 Lindsay Hagans 608-446-2224
 simplehomesproperties@gmail.com

A1.4
 2.12.21

TYPICAL Lower Level- Parking/Structure Dimensions

LOT 2 BUILDING 1






51 TOTAL

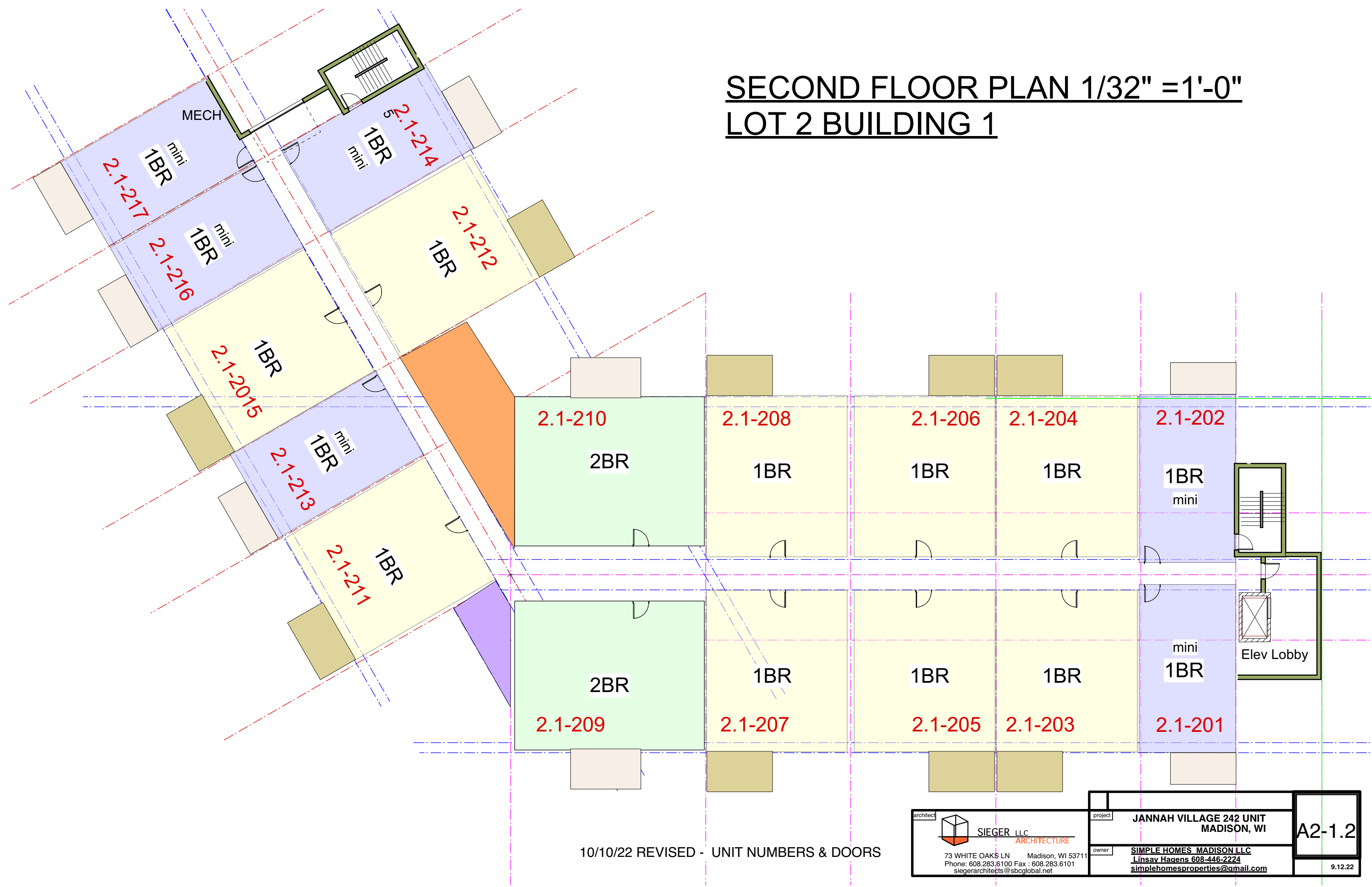
- 18- Mini-one
- 7- 2 bedroom
- 24 - 1bedrom
- 2 - 3 bedroom

revised 10/10/22
MAIN FLOOR - UNIT NUMBERED


LOT 2- Bldg1

 SIEGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax : 608.283.6101 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2. 1.1 9.12.22
	owner SIMPLE HOMES MADISON LLC Linsav Hagens 608-446-2224 simplehomesproperties@gmail.com	

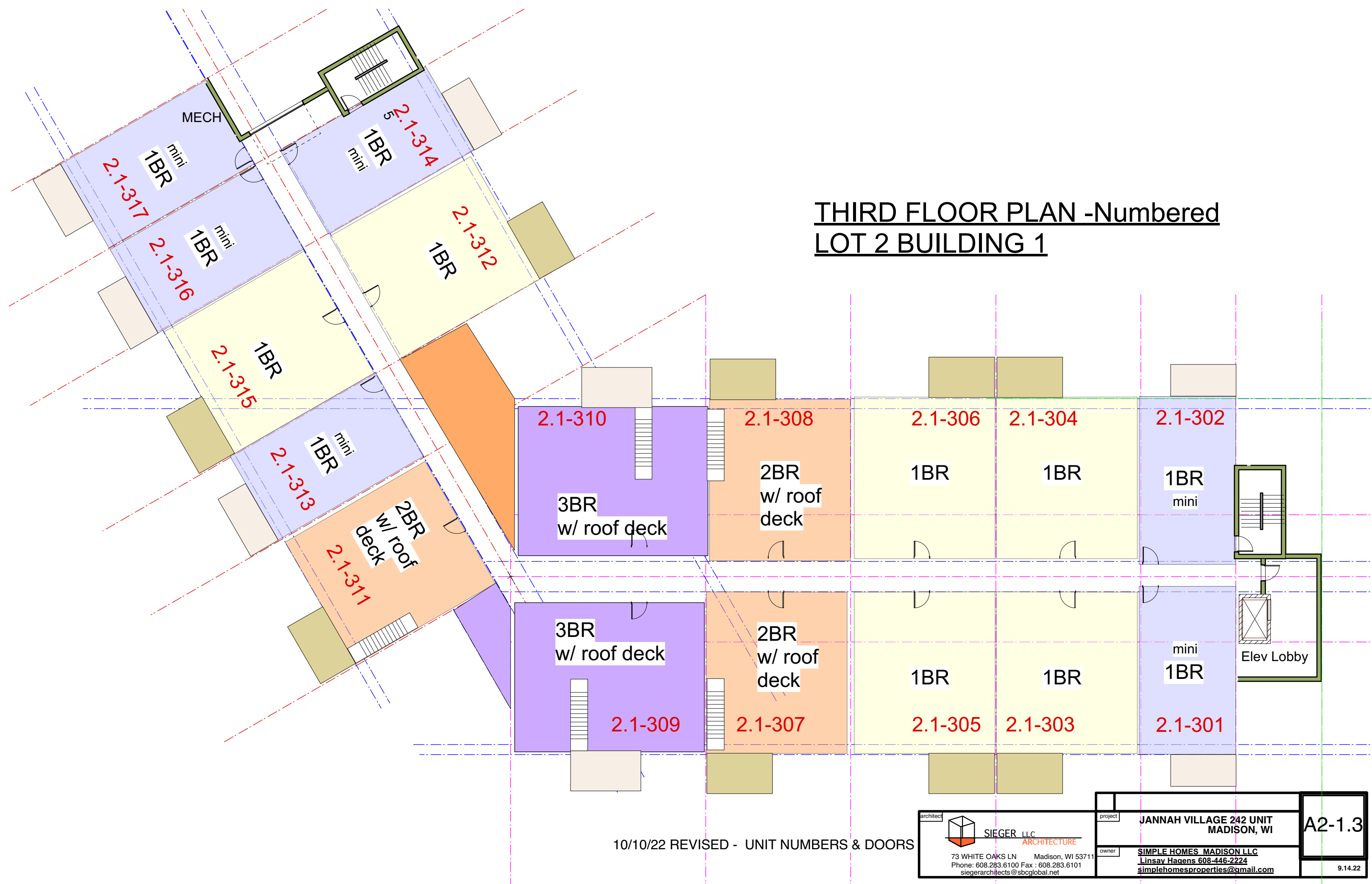
SECOND FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1




10/10/22 REVISED - UNIT NUMBERS & DOORS

 architect SIEGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2-1.2
	owner SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	
		9.12.22

THIRD FLOOR PLAN -Numbered LOT 2 BUILDING 1



10/10/22 REVISED - UNIT NUMBERS & DOORS

architect  SIEGER ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101 siegerarchitects@sbcglobal.net	project	JANNAH VILLAGE 242 UNIT MADISON, WI	A2-1.3 9.14.22
	owner	SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

ROOF TOP DECK AND BEDROOMS

HARD BOARD PANEL #4
equal to Nichiha Panels

HARD BOARD PANEL #5
equal to Nichiha Panels

WEST - CanterDrive - STREET ELEVATION -

NOTE: REAR ELEVATION -TYPICAL

6" SMART SIDING #1
8" SMART SIDING #2

ENTRY-WEST- ELEVATION -

ENTRY ELEVATION -TYPICAL - W/ COLOR OPTIONS 1&3

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

10" SMART SIDING #3

8" STL PIPE DECK COLUMN
PAINT COLOR OPTION #3

HARD BOARD PANEL #2
equal to Nichiha Panels

HARD BOARD PANEL #5
equal to Nichiha Panels

ROOF TOP DECK AND BEDROOMS

3/4" - 4X8' EXT MDO PANEL
PAINT COLOR OPTION #3

6" SMART SIDING #4

SOUTH- BLISSFUL STREET ELEVATION -

NOTE: REAR ELEVATION -TYPICAL

LOT 2- Bldg1

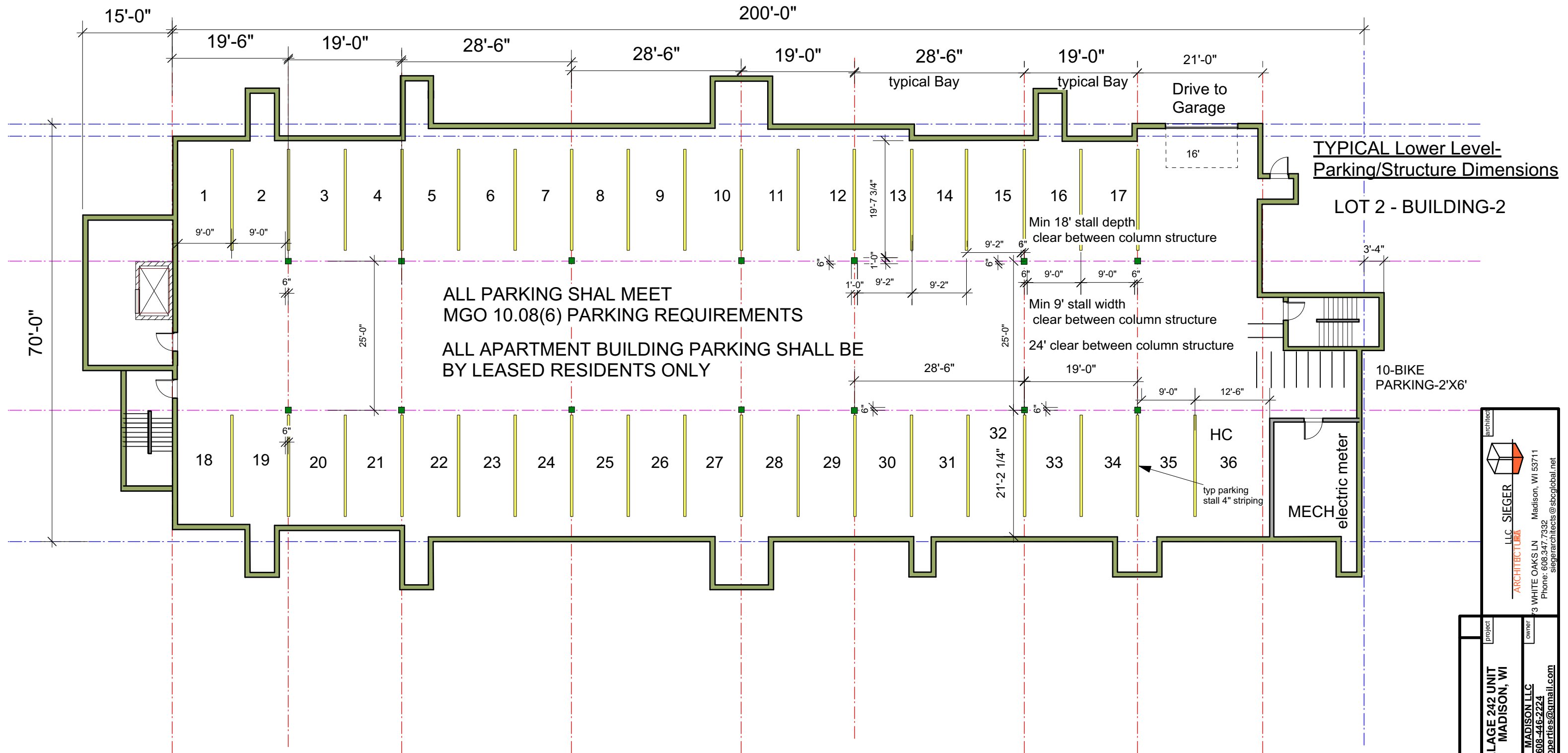
10/2/22 revised entry steps

architect  **SIEGER LLC**
ARCHITECTURE
73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@sbcglobal.net

project **JANNAH VILLAGE 242 UNIT**
MADISON, WI
owner **SIMPLE HOMES MADISON LLC**
Linsay Hagens 608-446-2224
simplehomesproperties@gmail.com

A2-1
.4

8.15.21



**TYPICAL Lower Level-
Parking/Structure Dimensions**

LOT 2 - BUILDING-2

**ALL PARKING SHAL MEET
MGO 10.08(6) PARKING REQUIREMENTS**
**ALL APARTMENT BUILDING PARKING SHALL BE
BY LEASED RESIDENTS ONLY**

**10-BIKE
PARKING-2'X6'**

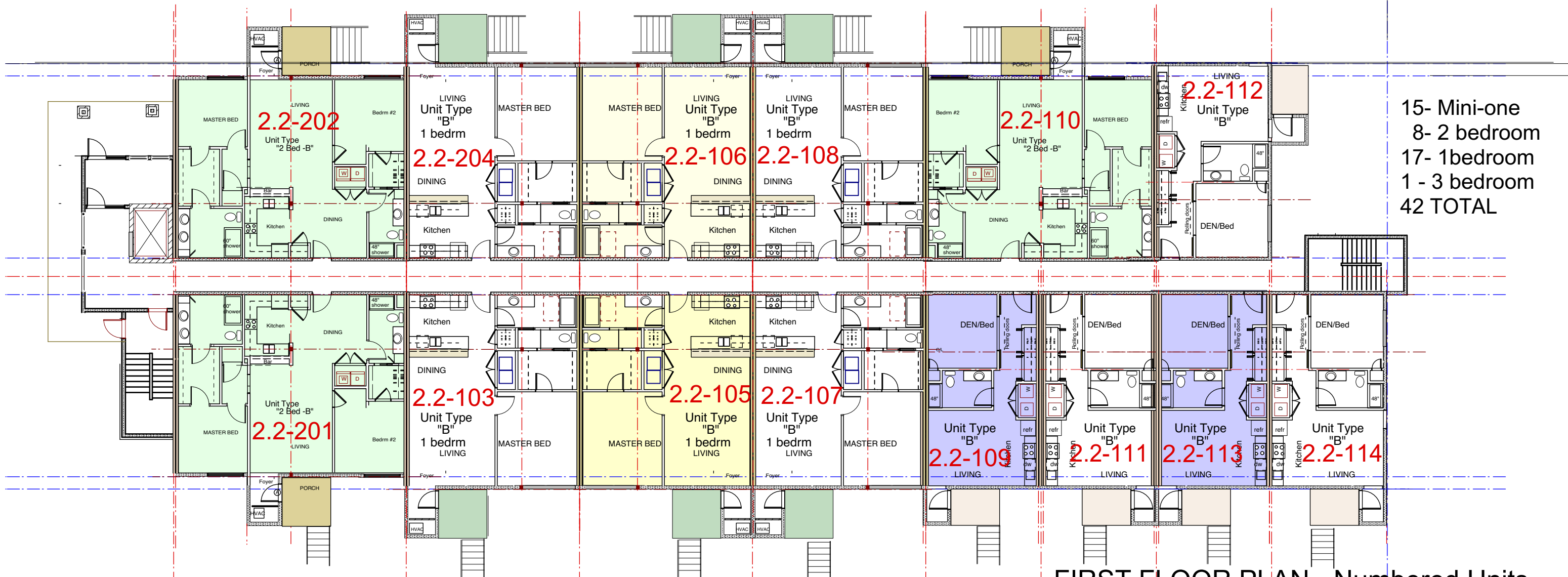
MECH
electric meter

architect
ARCHITECTURA
LLC SIEGER
3 WHITE OAKS LN
Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@sbcglobal.net

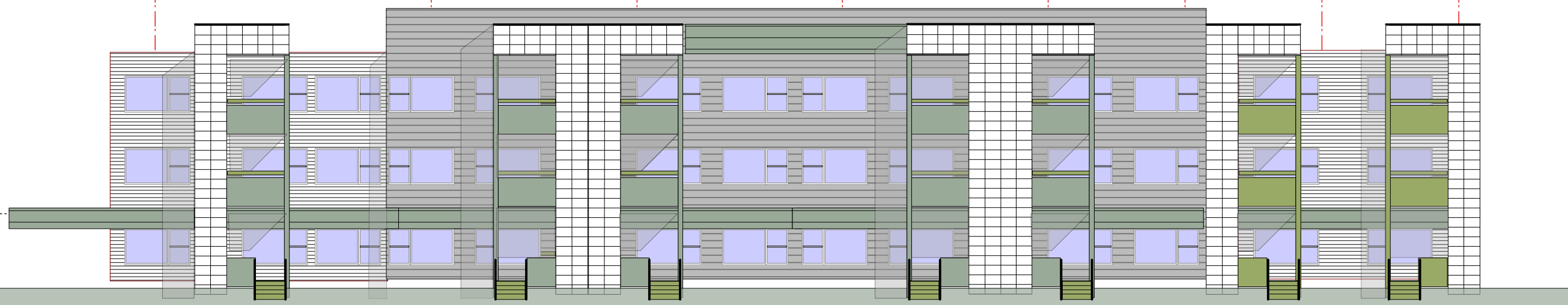
project
**JANNAH VILLAGE 242 UNIT
MADISON, WI**
owner
SIMPLE HOMES - MADISON LLC
Linsay Hagans 608-446-2224
simplehomesproperties@gmail.com

**A2-
2.0**

7.28.22



FIRST FLOOR PLAN - Numbered Units



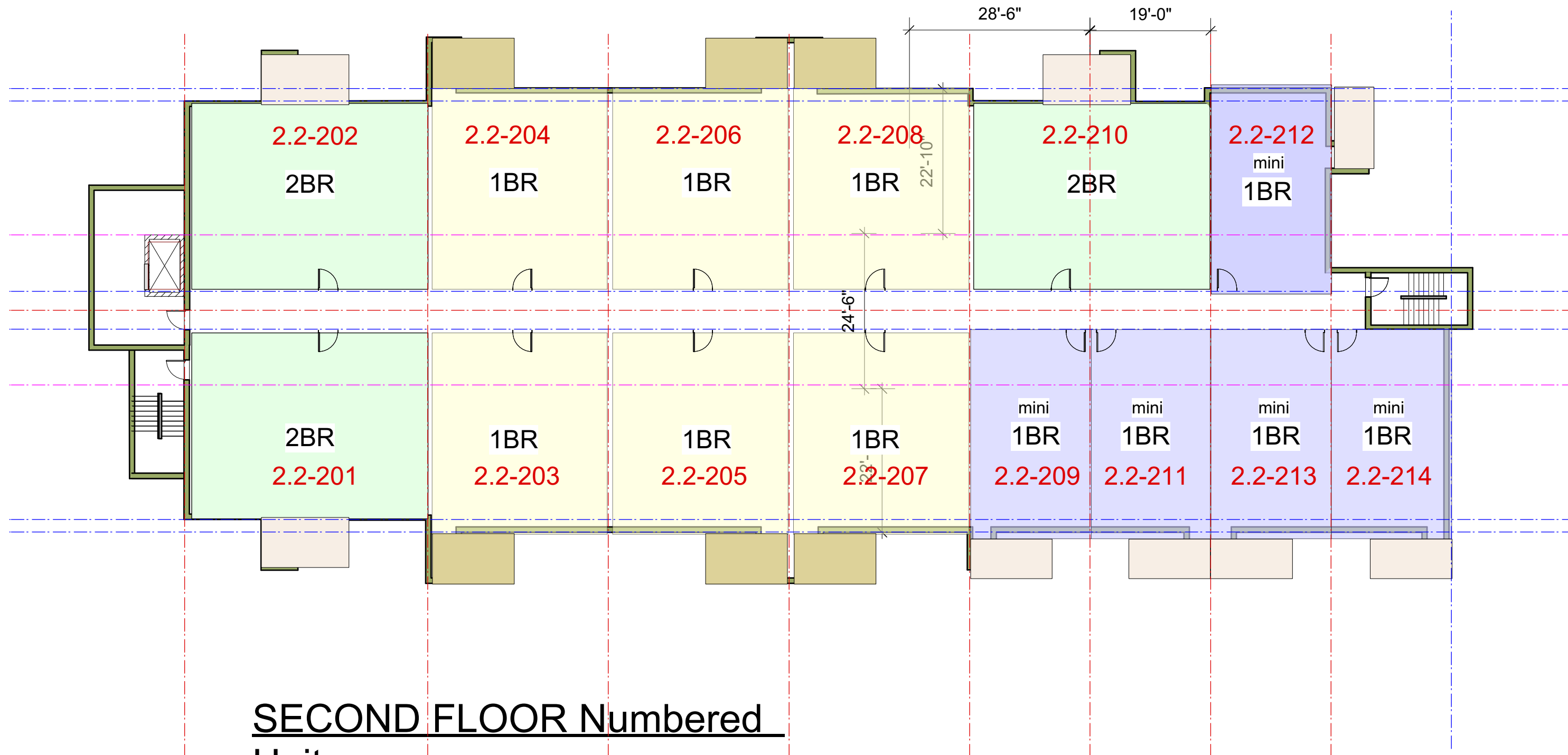
STREET ELEVATION - LOT 1

REVISED 10/2/22 STREET STEPS -UNIT NUMBERS

LOT 2- Bldg2

architect  **SIEGER LLC**
ARCHITECTURE
73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@sbcglobal.net


project	JANNAH VILLAGE 242 UNIT MADISON, WI	A2.2 1
owner	SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	
		2.12.21

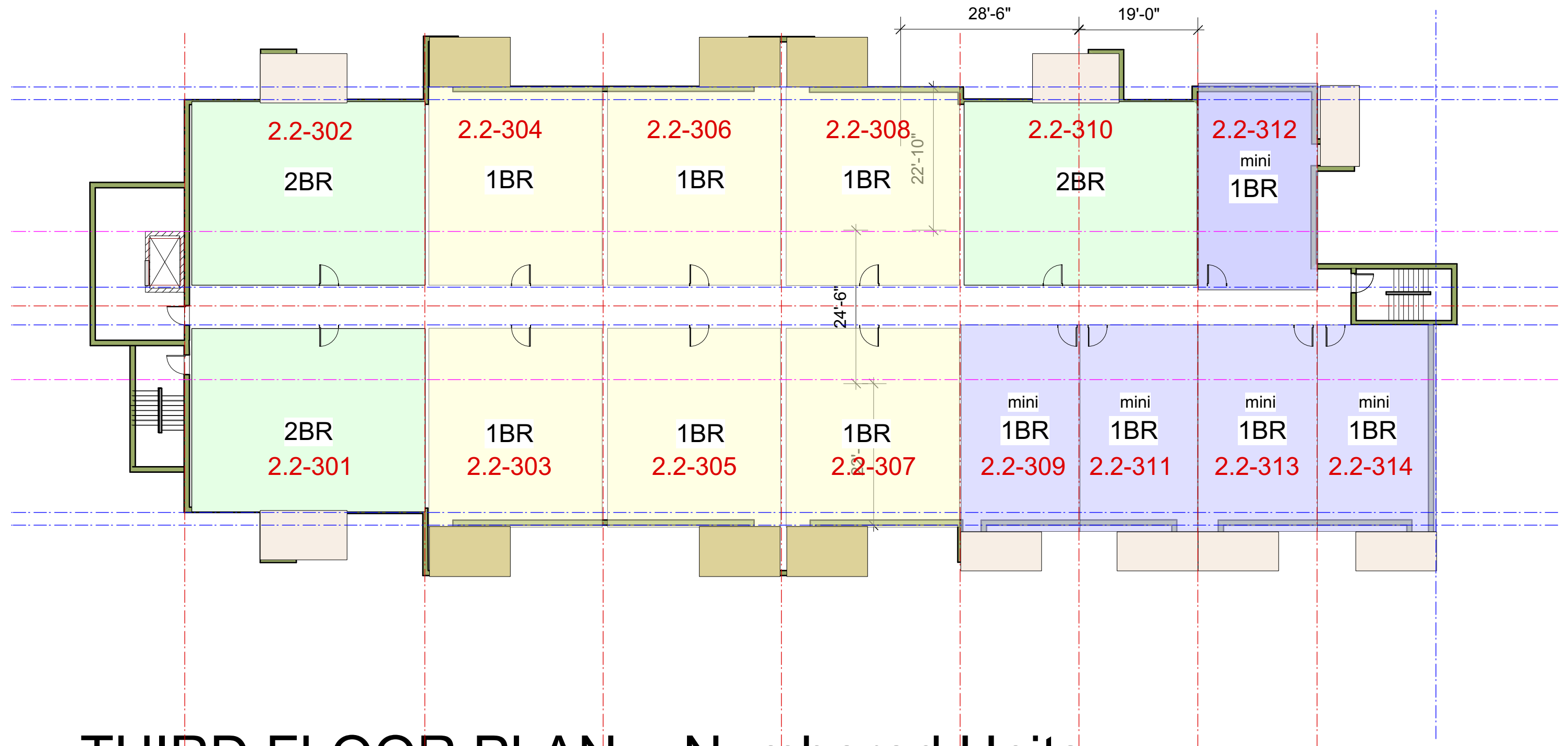


**SECOND FLOOR Numbered
Units**

REVISED 10/2/22 -UNIT NUMBERS AND DOORS

LOT 2 BLDG 2

<small>architect</small>  SIEGER LLC <small>ARCHITECTURE</small> 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax : 608.283.6101 siegerarchitects@sbcglobal.net	<small>project</small> JANNAH VILLAGE 242 UNIT MADISON, WI	A2. 2.2 9.12.22
	<small>owner</small> SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

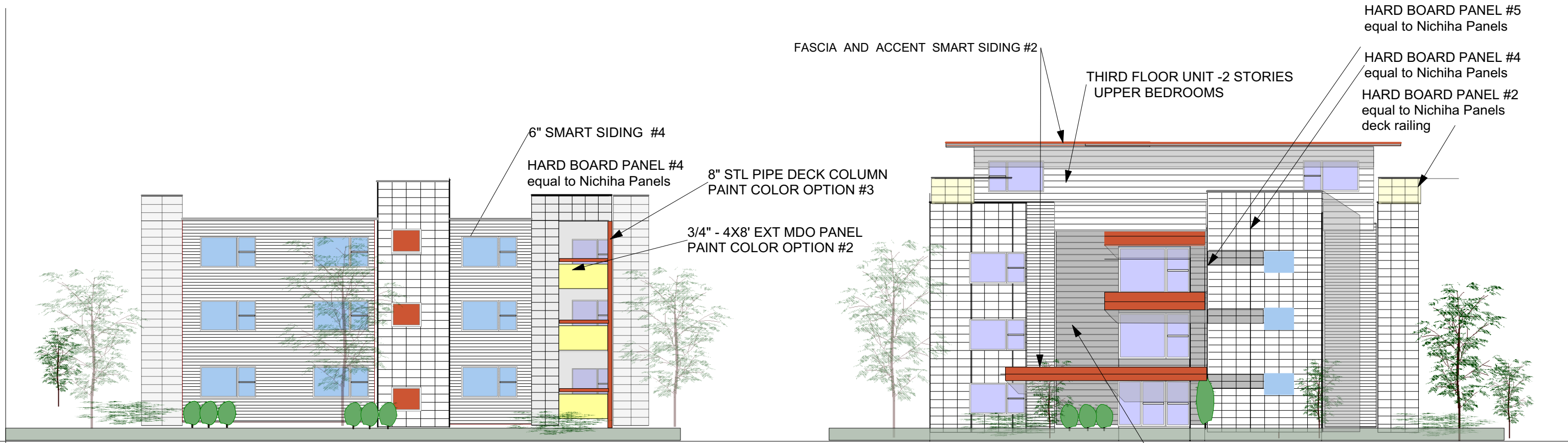


THIRD FLOOR PLAN - Numbered Units

LOT 2 BLDG 2

REVISED 10/2/22 -UNIT NUMBERS AND DOORS

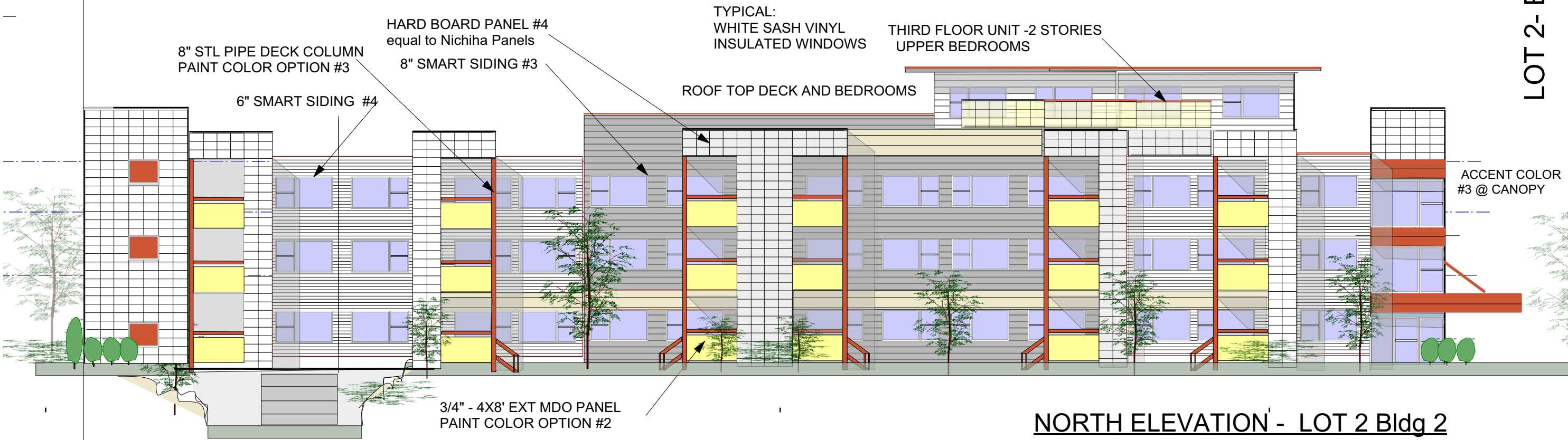
<p>architect</p> <p>SIEGER LLC ARCHITECTURE</p> <p>73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax : 608.283.6101 siegerarchitects@sbcglobal.net</p>	<p>project</p> <p>JANNAH VILLAGE 242 UNIT MADISON, WI</p> <p>owner</p> <p>SIMPLE HOMES MADISON LLC <u>Linsav Hagens 608-446-2224</u> simplehomesproperties@gmail.com</p>	<p>A2. 2.3</p> <p>9.12.22</p>
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EAST ELEVATION - LOT 2 Bldg 2


ENTRY-WEST- ELEVATION -

SEE SHEET D4 FOR COLOR OPTIONS

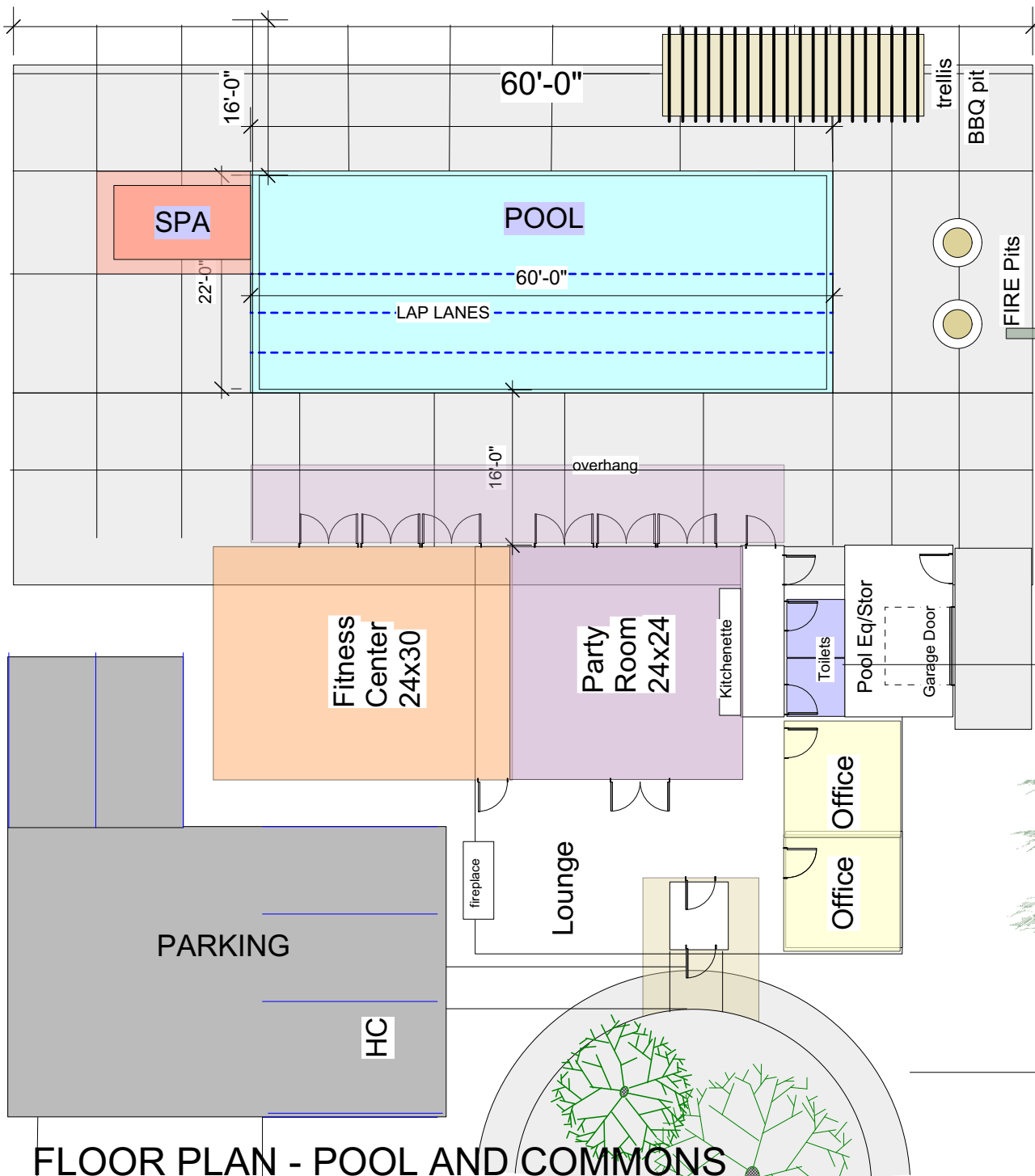


NORTH ELEVATION' - LOT 2 Bldg 2

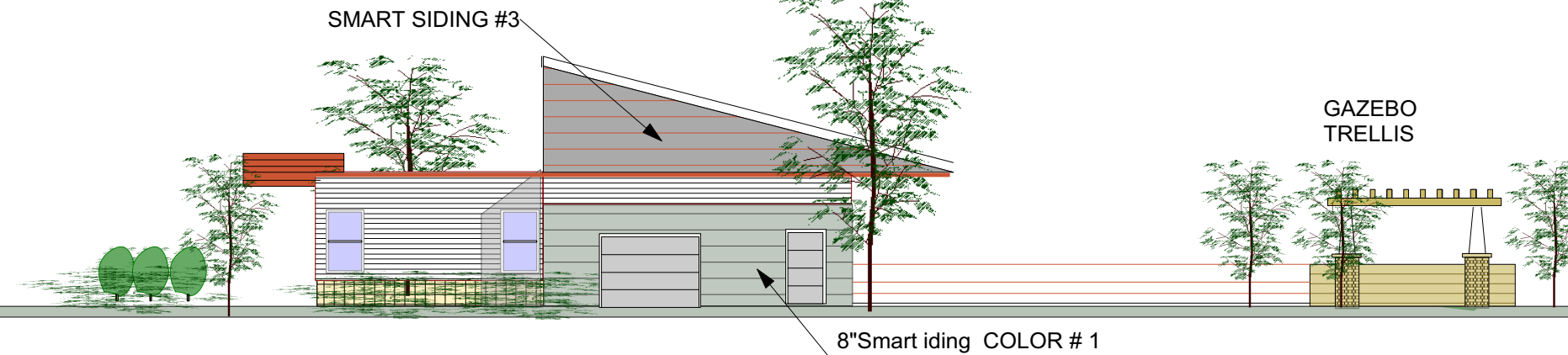
LOT 2- Bldg2

 ARCHITECT LLC SIEGER	
PROJECT JANNAH VILLAGE 242 UNIT MADISON, WI	
OWNER SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	OWNER WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net
A2.2 .4	
2.12.21	

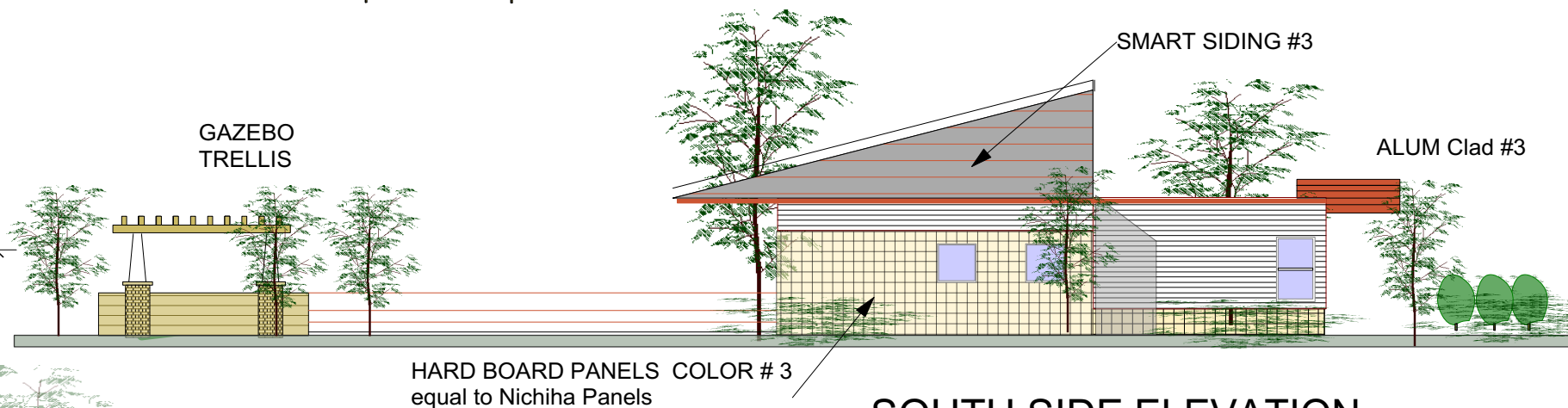
105'-0"



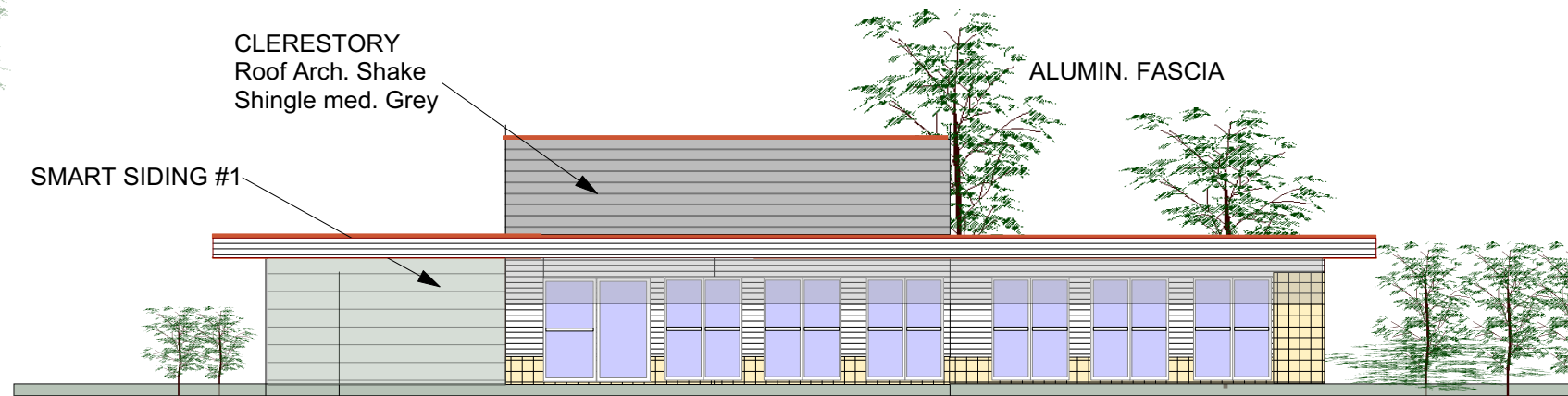
FLOOR PLAN - POOL AND COMMONS



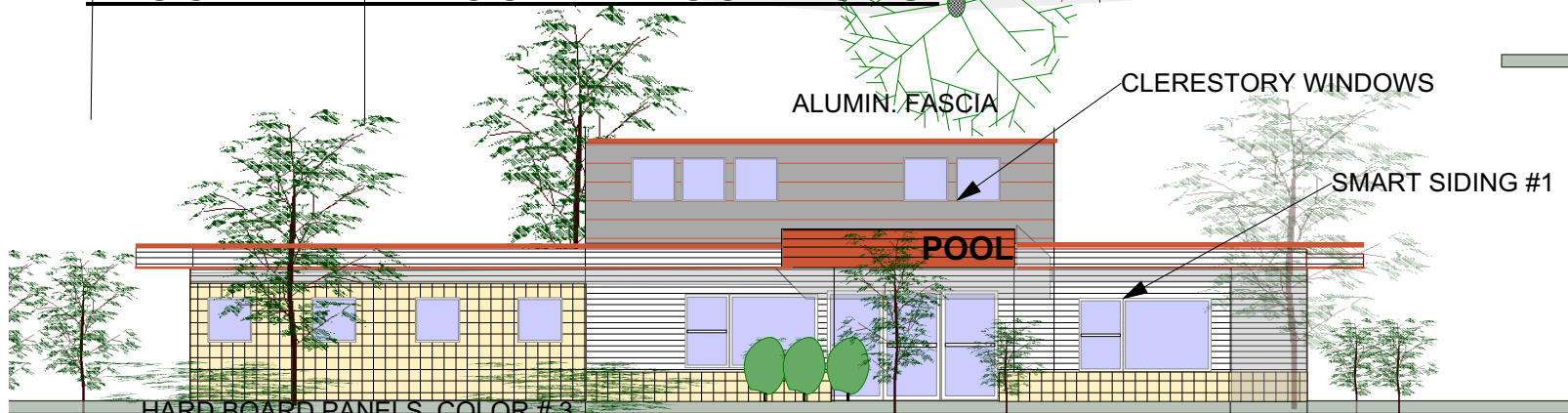
NORTH SIDE ELEVATION




SOUTH SIDE ELEVATION

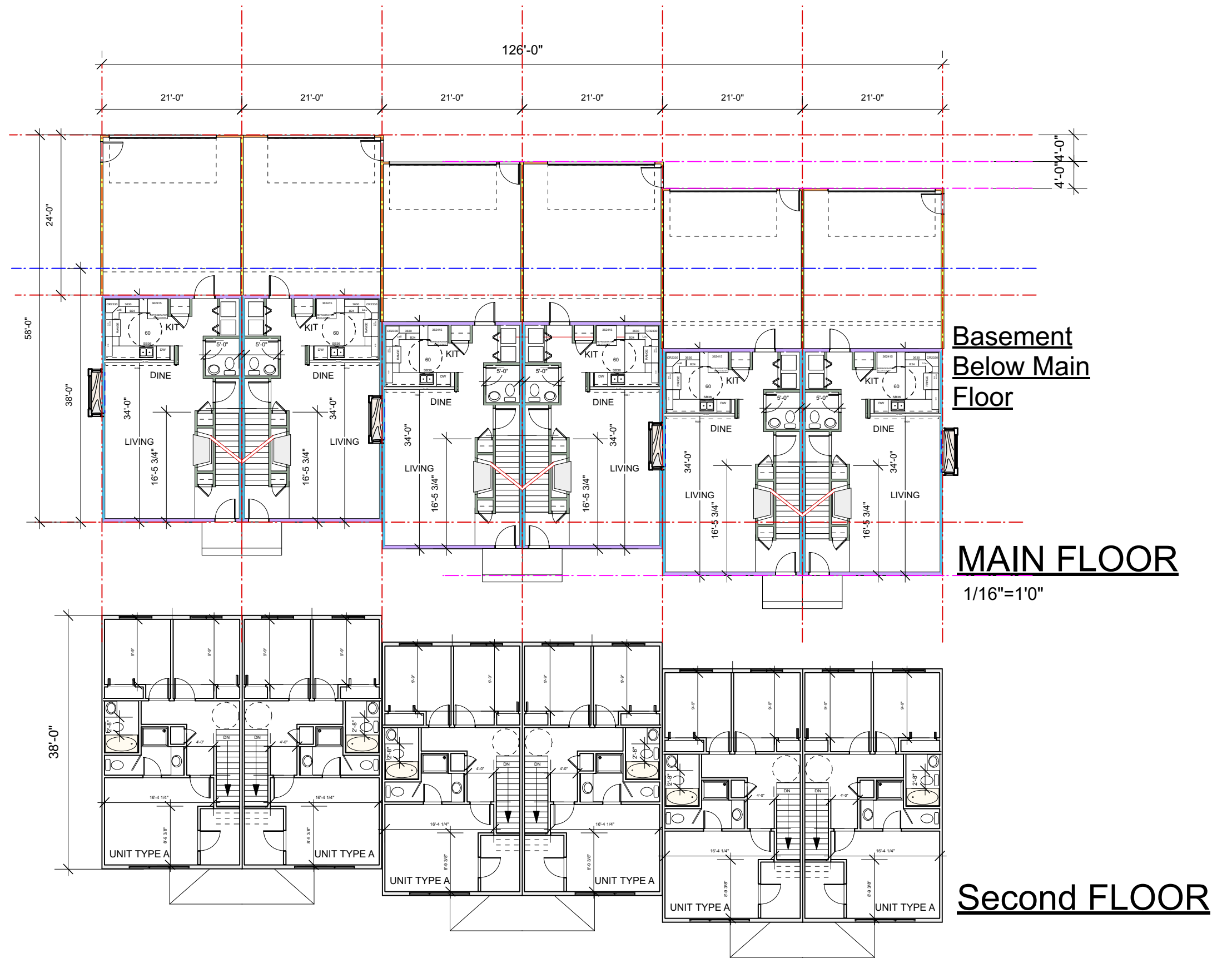


POOL- WEST SIDE ELEVATION




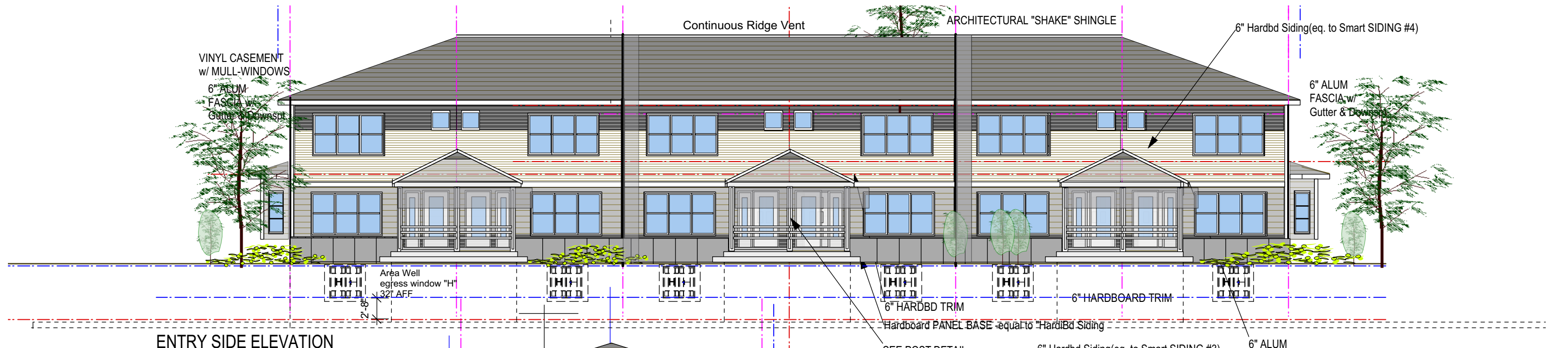
FRONT EAST SIDE ELEVATION

<p>architect</p>  <p>SIEGER LLC ARCHITECTURE</p> <p>73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>project</p> <p>JANNAH VILLAGE 242 UNIT MADISON, WI</p> <p>owner</p> <p>SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com</p>	<p>P1.1</p> <p>8.15.21</p>
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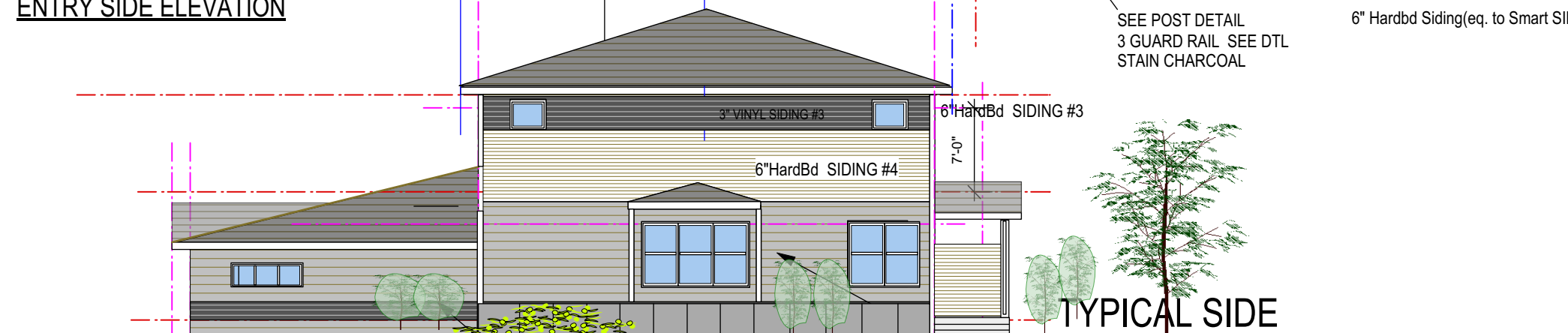


UNIT TYPE "A"

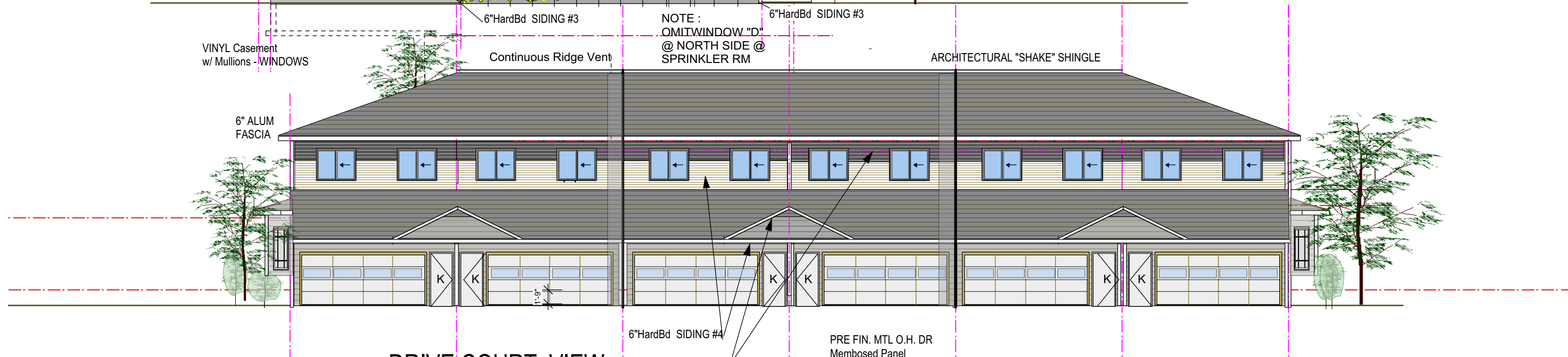
architect  SIEGER ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project	JANNAH VILLAGE MADISON, WI	A.TH.1
	owner	LINDSAY HAGENS MADISON, WI	



ENTRY SIDE ELEVATION




TYPICAL SIDE



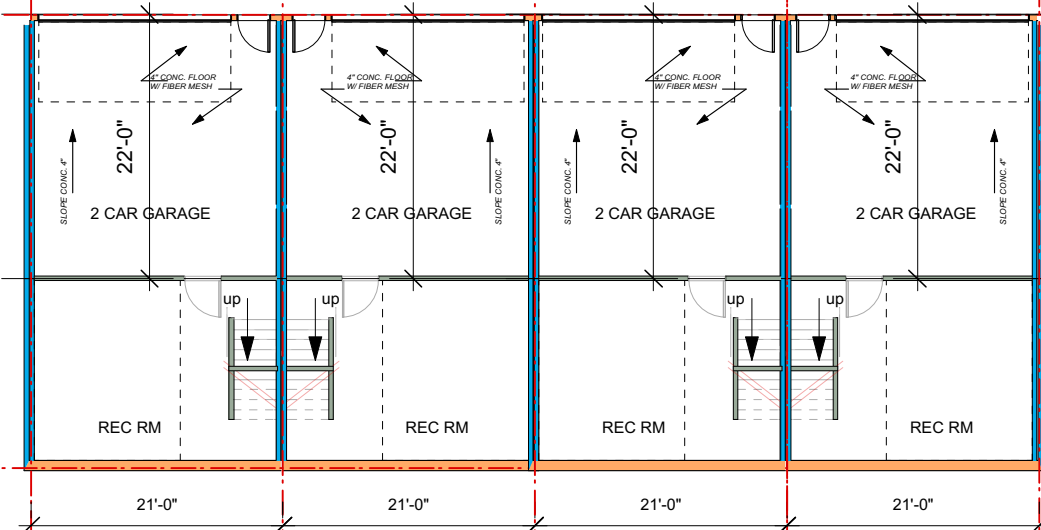
DRIVE COURT VIEW

Jannah Village TownHomes "A"

refined 4/22		ELEVATIONS		A4.1
 SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net		project Jannah Village - Town Homes Eternity Drive - Blissful Ave Madison, WI		
		owner SIMPLE HOMES MADISON LLC Lindsay Hagans simplehomesproperties@gmail.com 608-446-2222		
				8. 8.21

Garage/Lower FLOOR

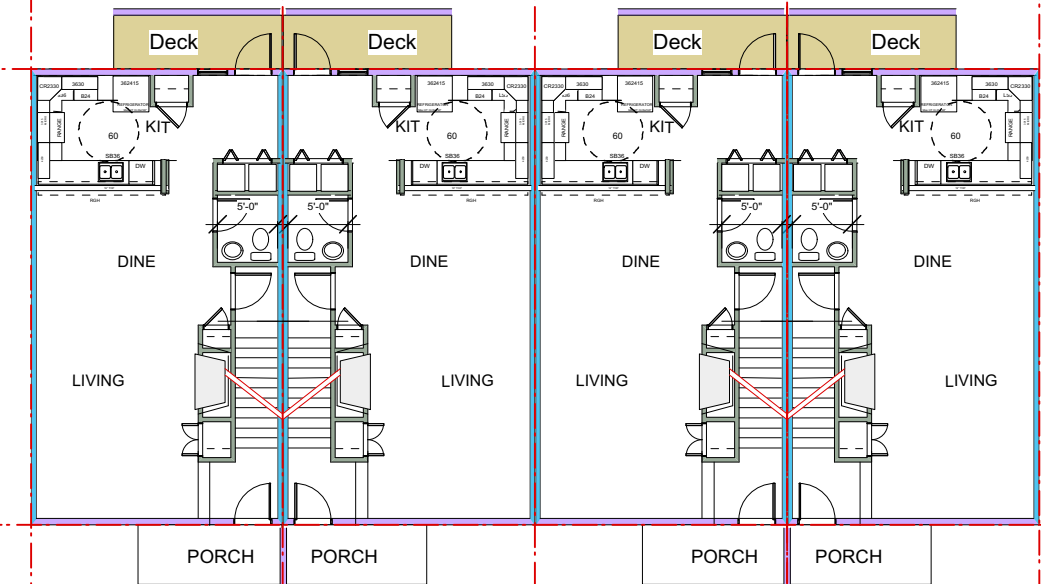
1/16"=1'0"



38'-0"

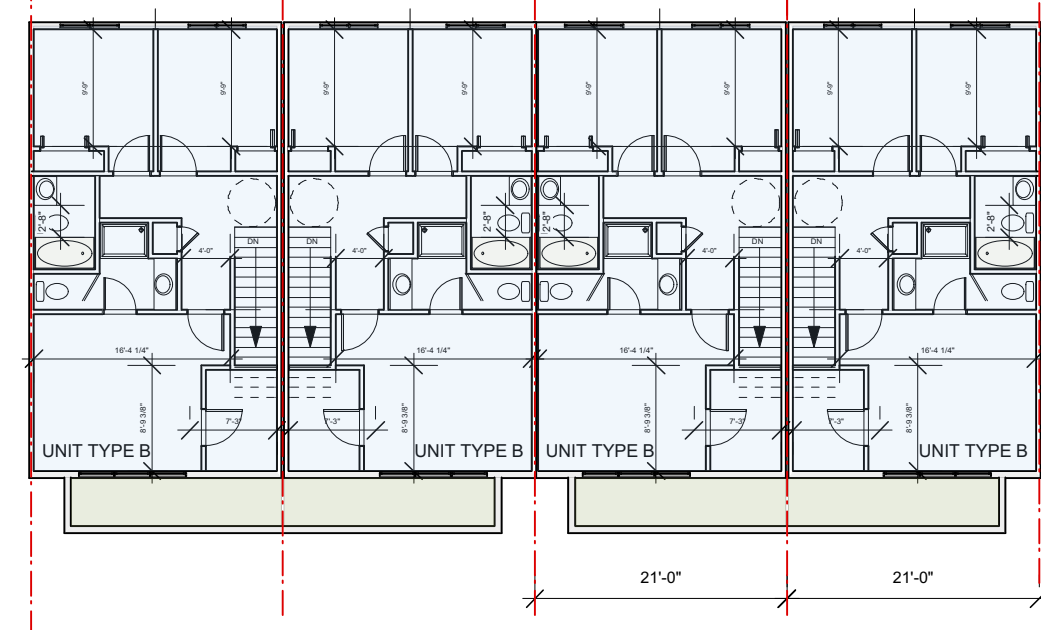
MAIN FLOOR

1/16"=1'0"

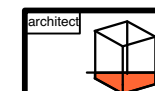


SECOND FLOOR

1/16"=1'0"



UNIT "B"



SIEGER
ARCHITECTURE

73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@sbcglobal.net

project

JANNAH VILLAGE
MADISON, WI

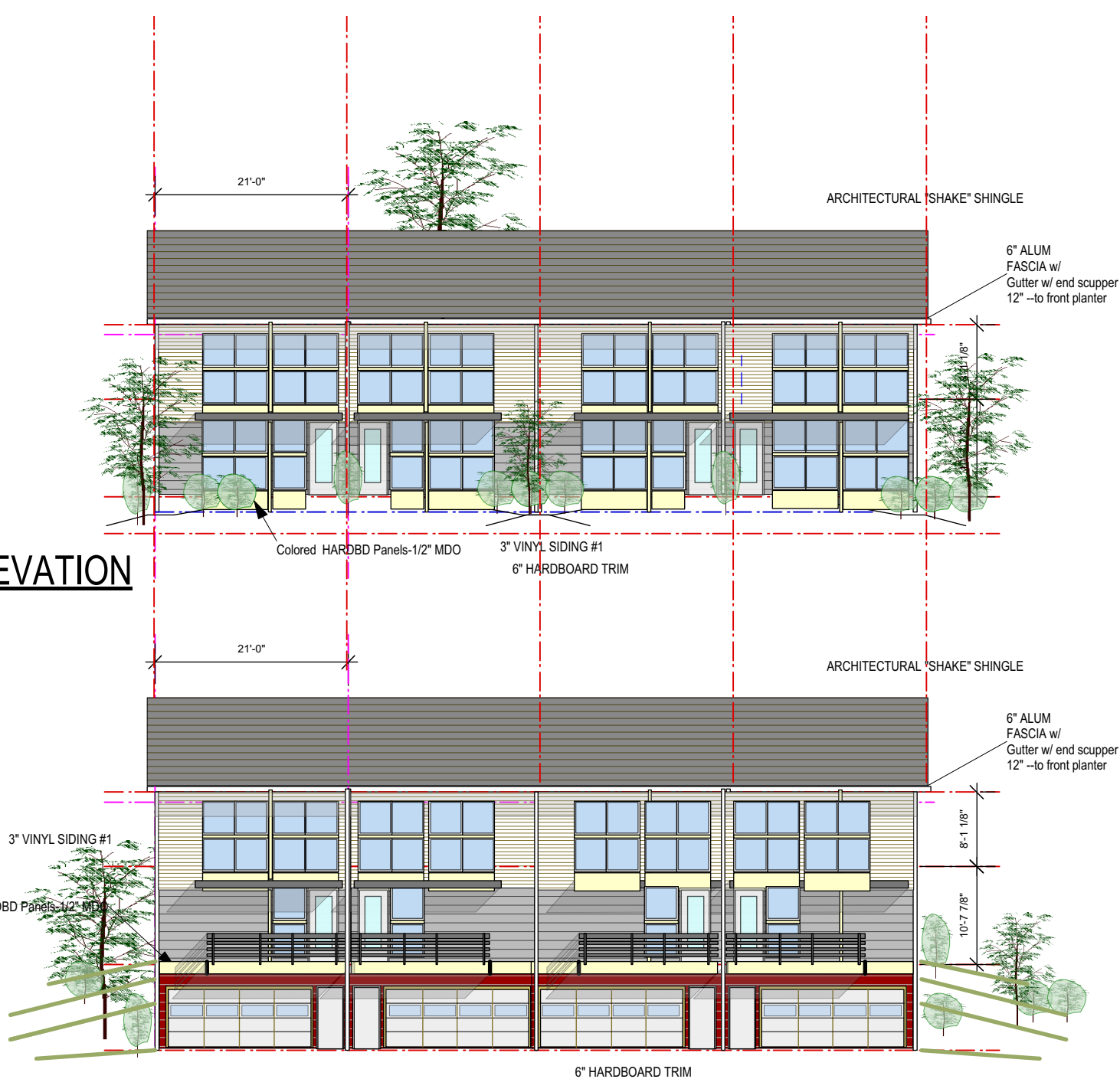
owner

LINDSAY HAGENS
MADISON, WI

B1

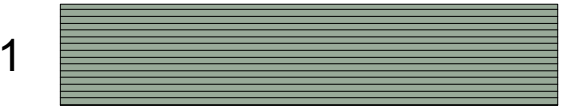
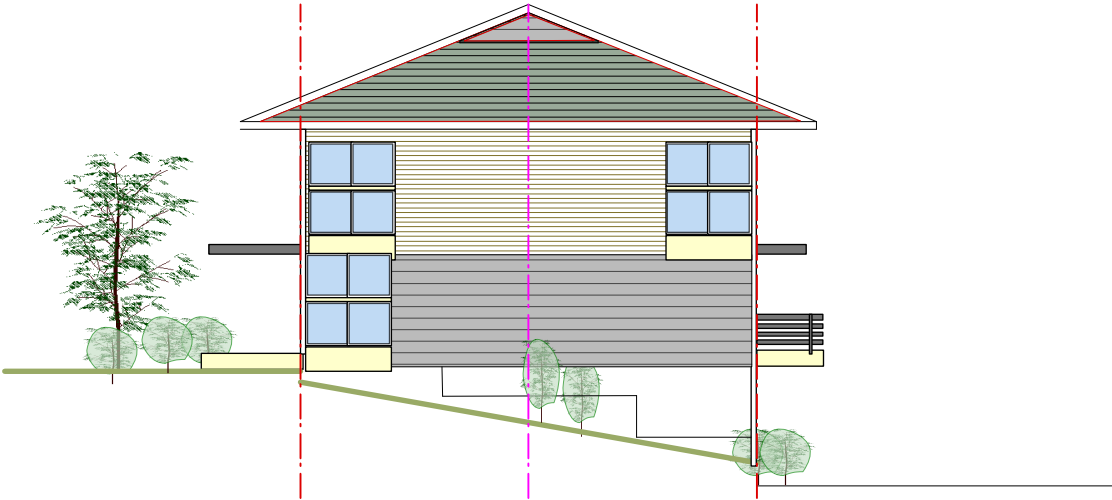
8/21

ENTRY SIDE ELEVATION

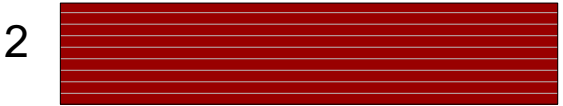


Garage SIDE ELEVATION

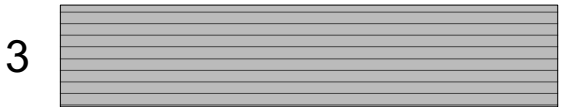
TYPICAL SIDE



LT GREEN - 6"



BURGUNDY - 6"



CHARCOAL GREY - 6" & 8"

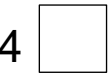


WHITE 6"

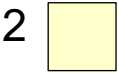
SMART SIDING
COLOR OPTIONS



1 LT GREEN



4 WHITE



2 LT YELLOW




5 GRAY



3 BURNT ORANGE

COLOR PAINT PANEL OPTIONS

UNIT "B"

 architect SIEGER ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE MADISON, WI	B4 8/21
	owner LINDSAY HAGENS MADISON, WI	

MAIN FLOOR

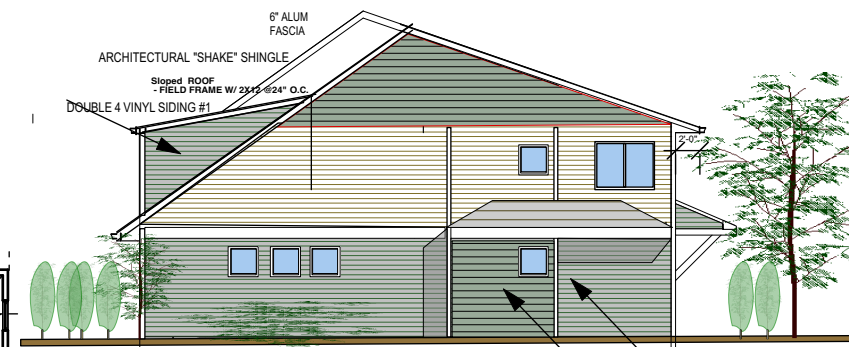
1/16"=1'0"

UPPER FLOOR

1/16"=1'0"



DRIVE COURT VIEW - TYPICAL



SIDE VIEW

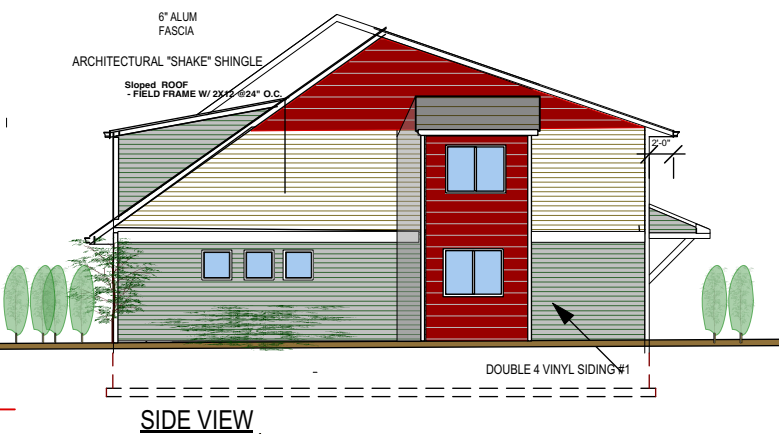
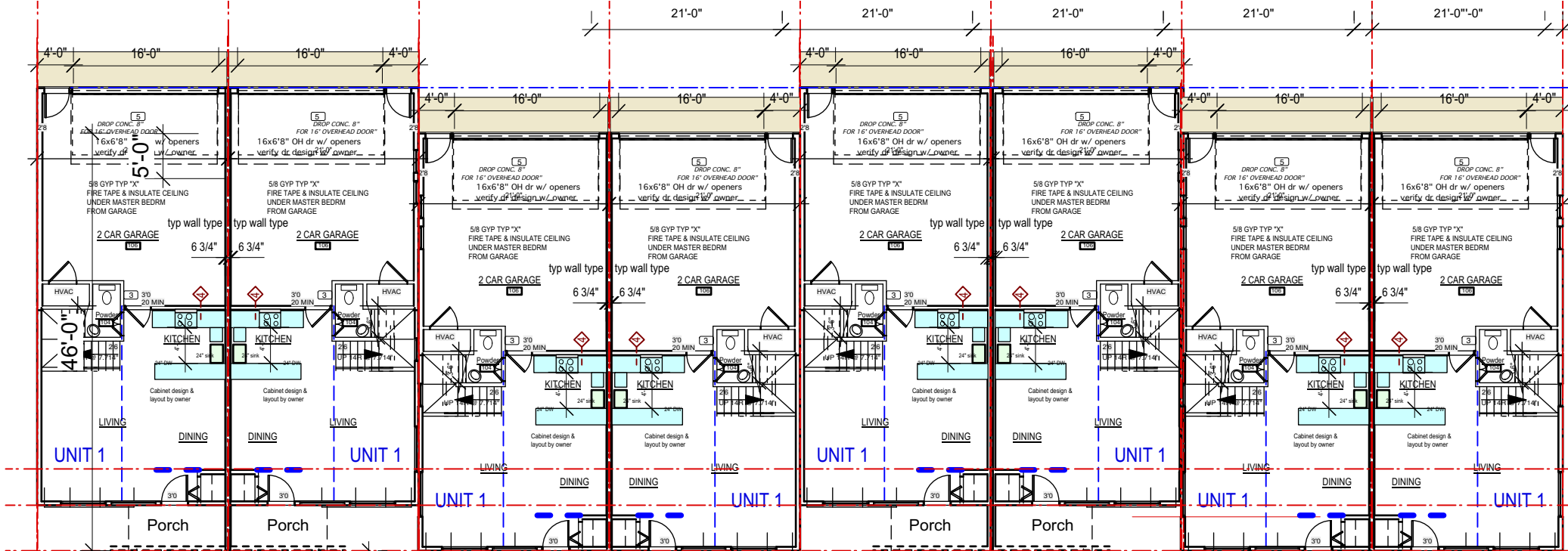
C1
7 Unit

LLC SIEGER
ARCHITECTURE
3 WHITE OAKS LN Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101
siegerarchitects@sbcglobal.net

project
OWNER
LINDSAY - 8 UNIT
Sauk City, WI
PLAN RIGHT CONSTRUCTION
SUN PRAIRIE, WI

C1.1

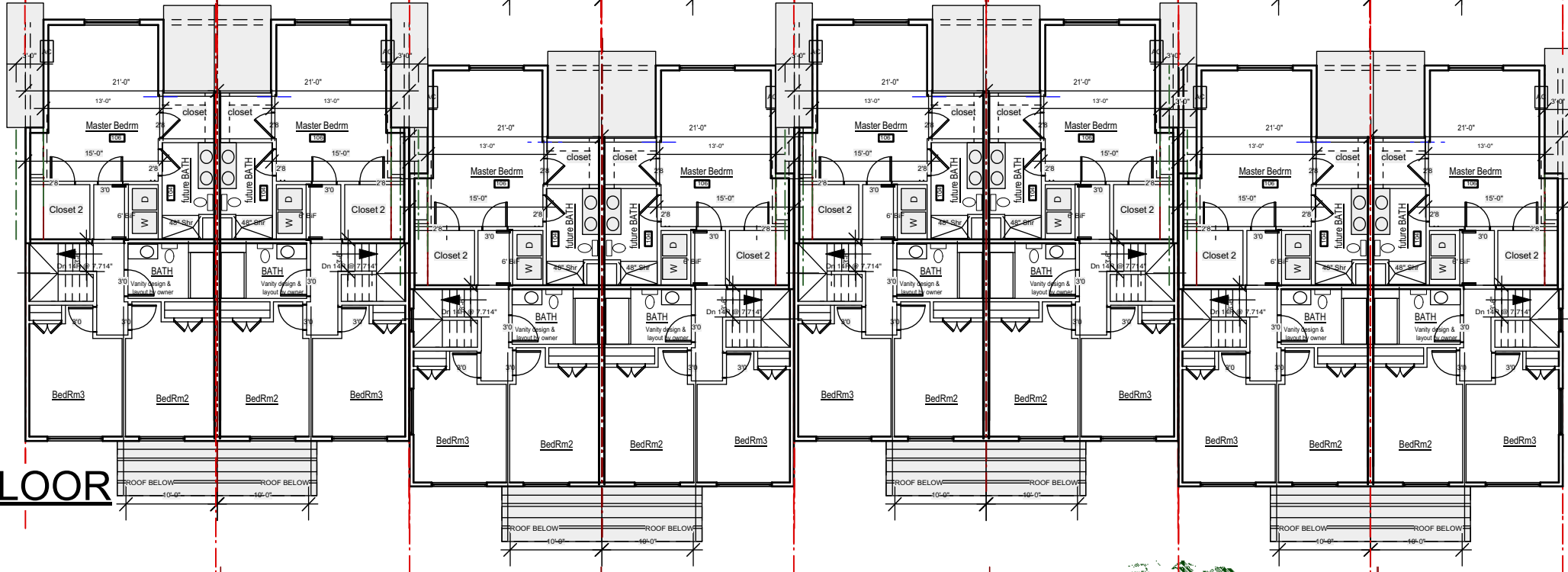
1.12.21



SEE SHEET C2 for typical Drive Court Elevation

MAIN FLOOR

1/16"=1'0"

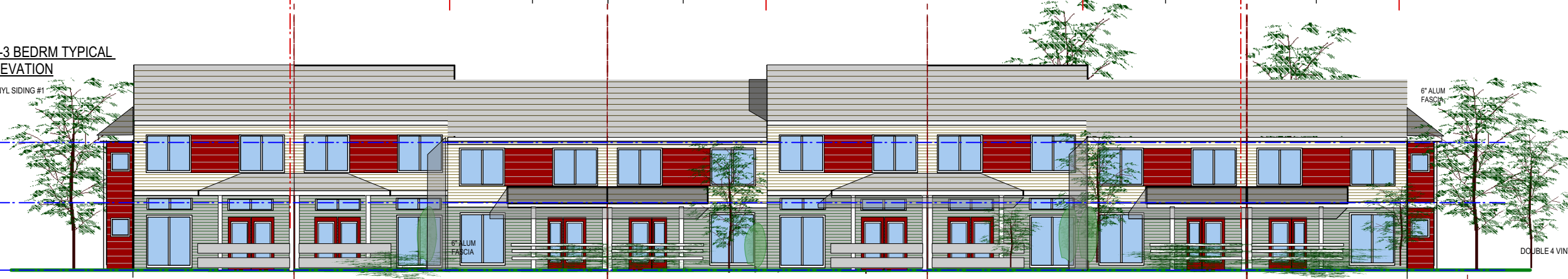


UPPER FLOOR

1/16"=1'0"

C-3 - Bdlq -3 BEDRM TYPICAL
FRONT ELEVATION

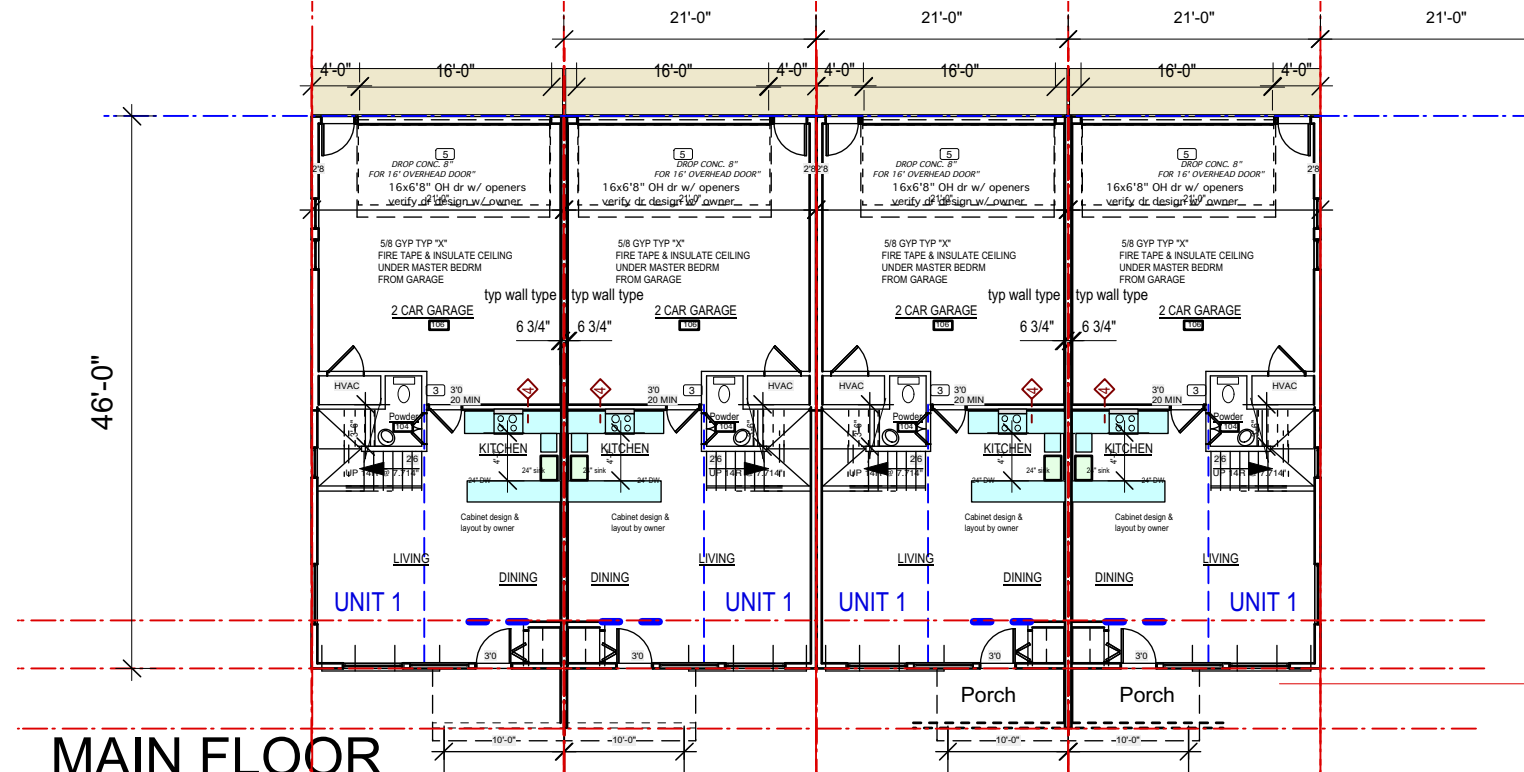
DOUBLE 4 VINYL SIDING #1



C3

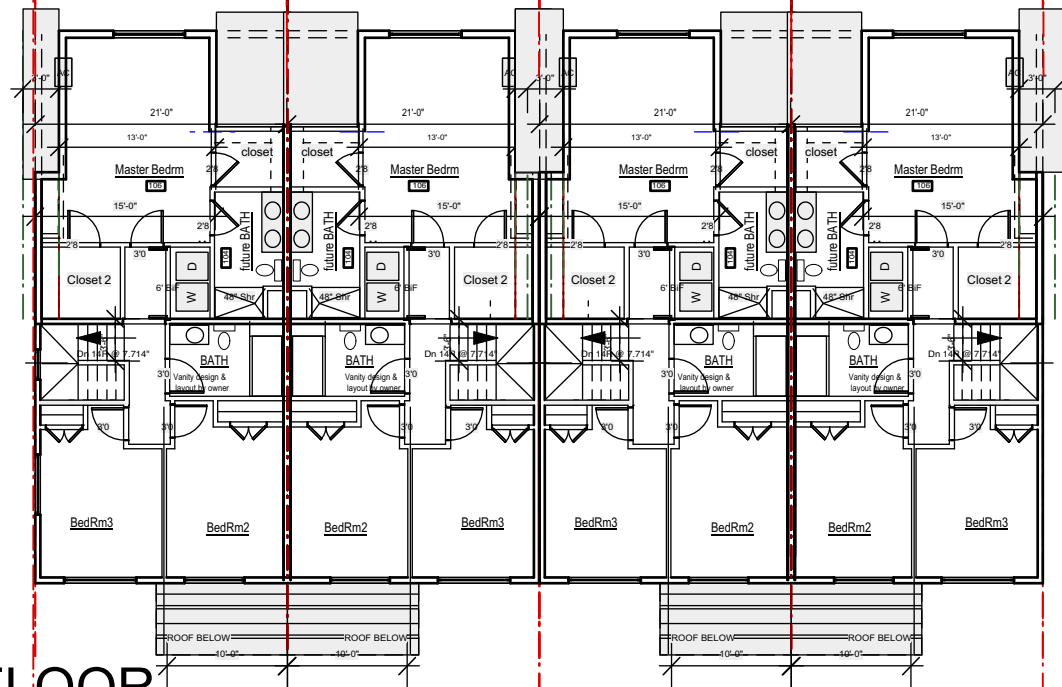
8 unit Building
Color Group #3

	project	JANNAH VILLAGE - TOWNHOME
	owner	LINDSAY HAGENS
73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net		
C3.1		
8.17.21		



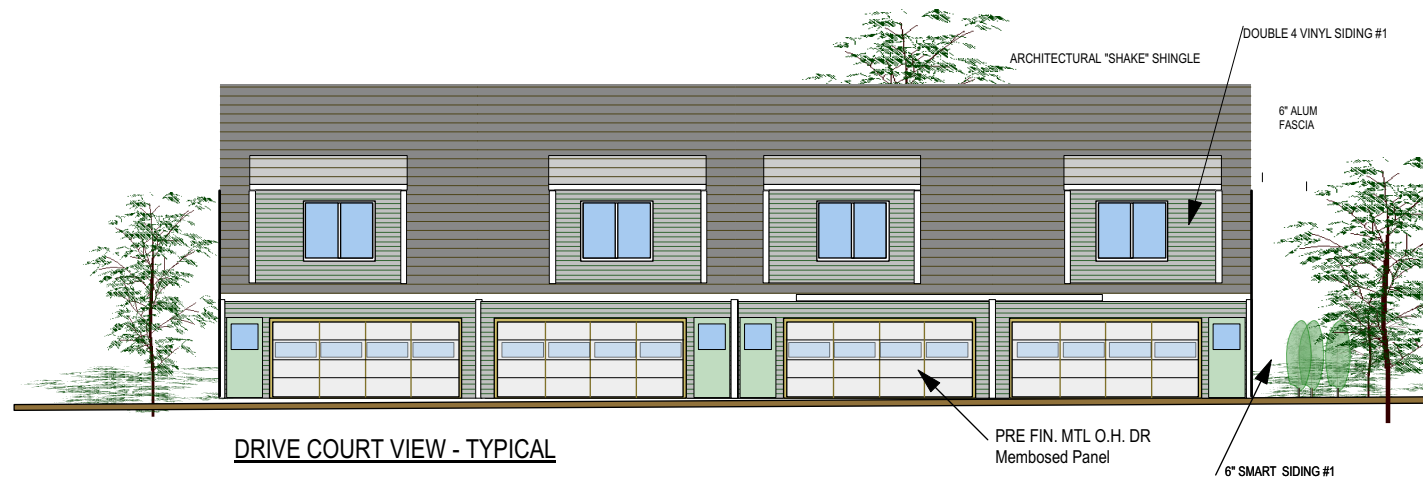
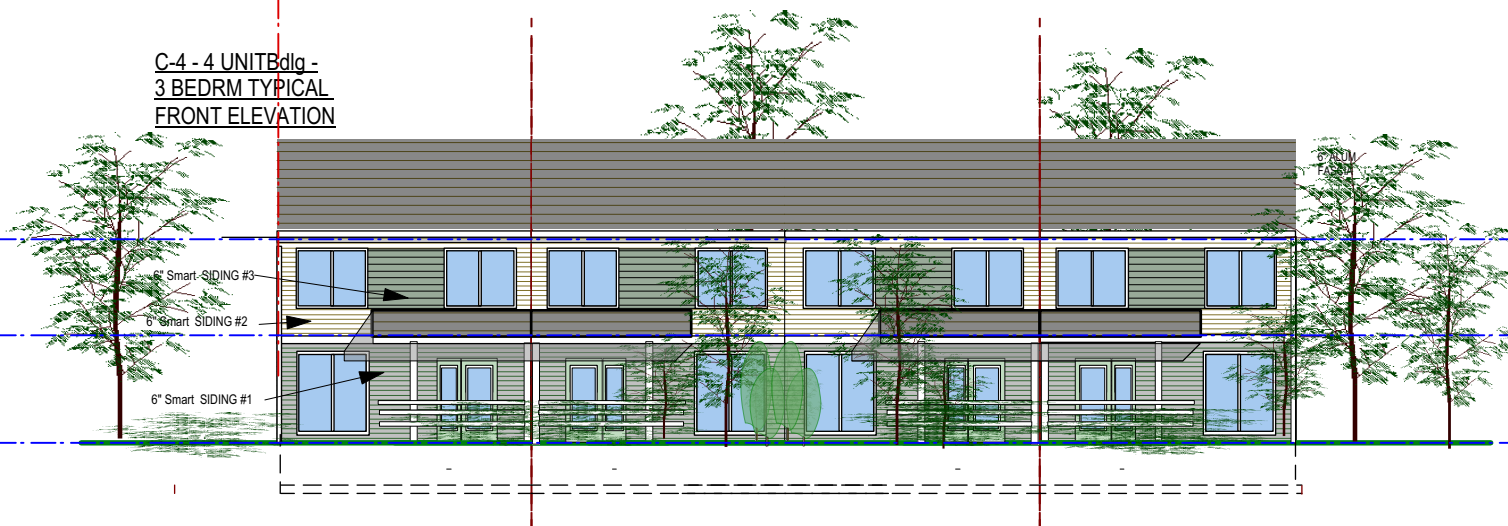
MAIN FLOOR

1/16"=1'0"

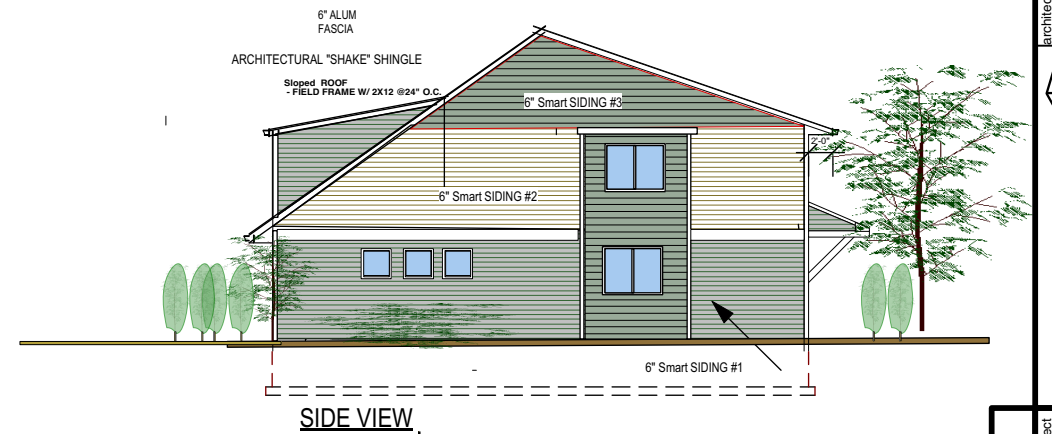


UPPER FLOOR

C-4 - 4 UNIT Bldg - 3 BEDRM TYPICAL FRONT ELEVATION



DRIVE COURT VIEW - TYPICAL



SIDE VIEW

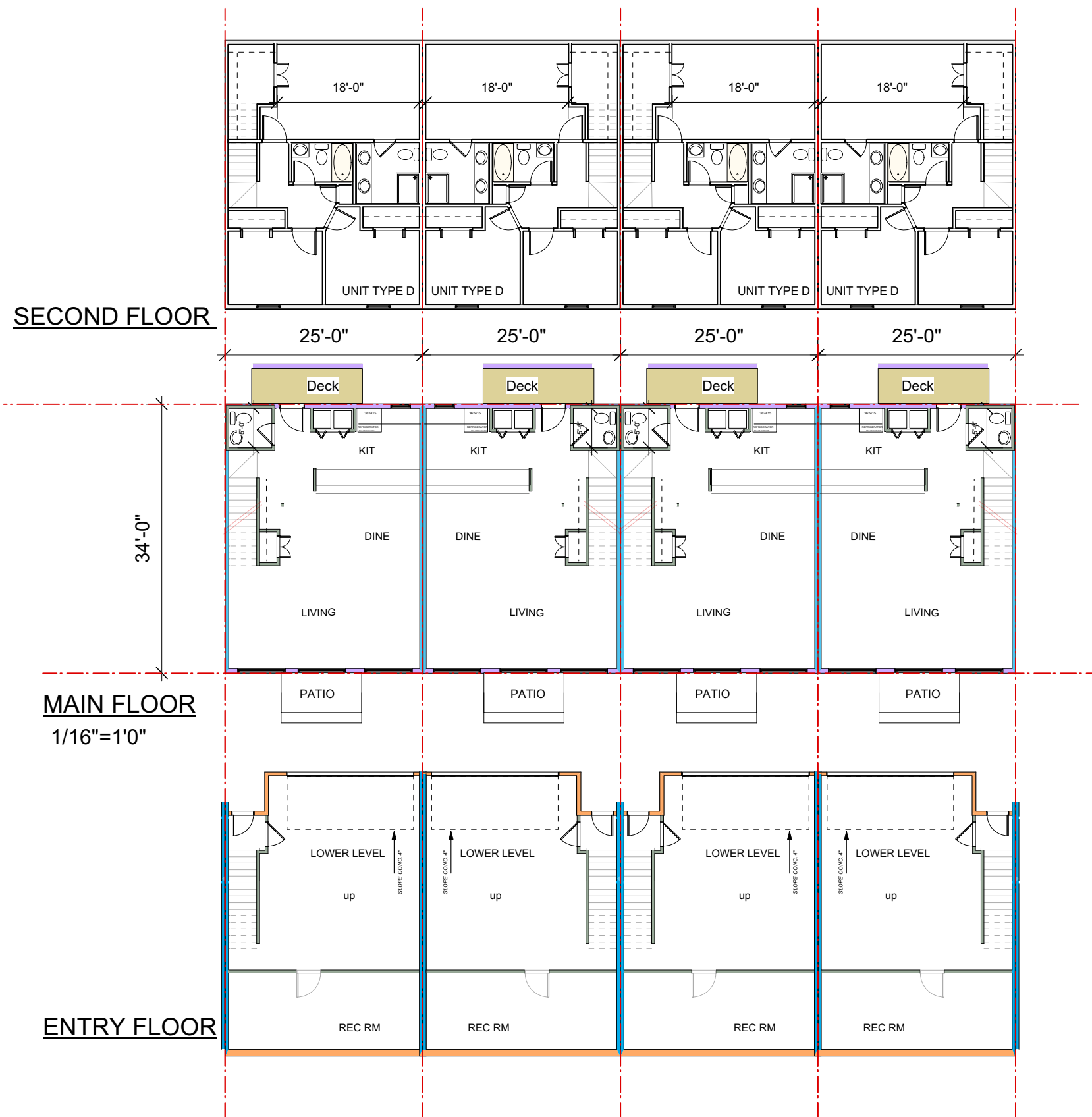
C4
4-UNIT -typical

architect
LLC SIEGER
ARCHITECTURE
3 WHITE OAKS LN
Phone: 608.283.6100 Fax: 608.283.6101
siegerarchitects@sbcglobal.net


project
LINDSAY - 8 UNIT
Sauk City, WI
owner
PLAN RIGHT CONSTRUCTION
SUN PRAIRIE, WI

C4.1

1.12.21



UNIT "D"

architect	 <div>SIEGER ARCHITECTURE</div>	project	JANNAH VILLAGE MADISON, WI	D1.0
		owner	LINDSAY HAGENS MADISON, WI	
		73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net		Madison, WI 53711

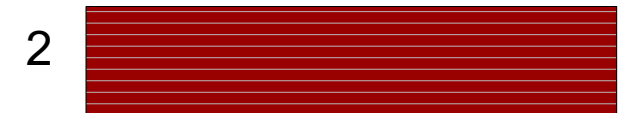
REAR ELEVATION

Garage /ENTRY FRONT ELEVATION

TYPICAL SIDE



LT GREEN - 6"



BURGUNDY - 6"



CHARCOAL GREY - 6" & 8"

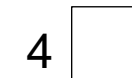


WHITE 6"

SMART SIDING
COLOR OPTIONS



LT GREEN



WHITE



LT YELLOW




GRAY

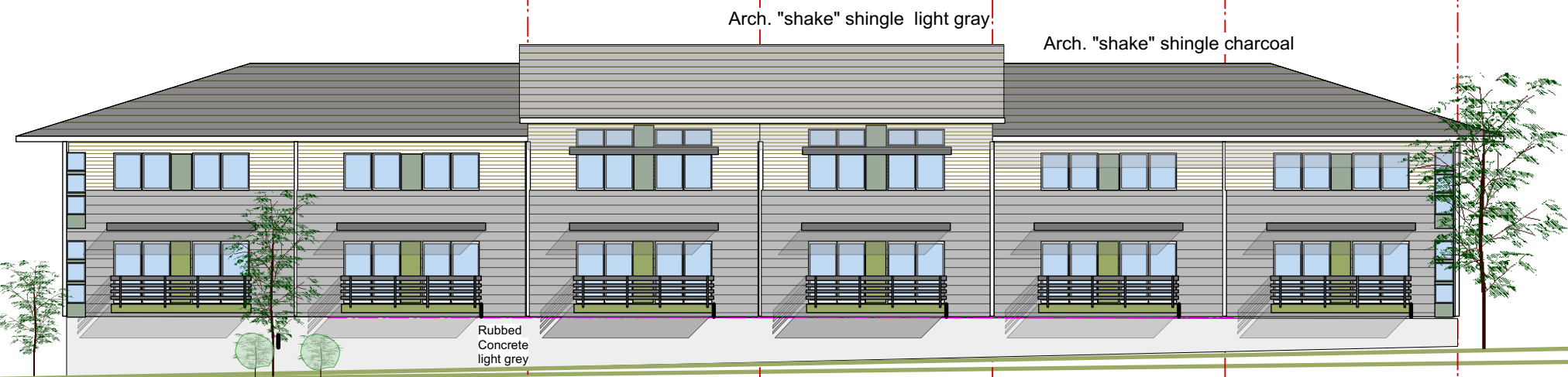


BURNT
ORANGE

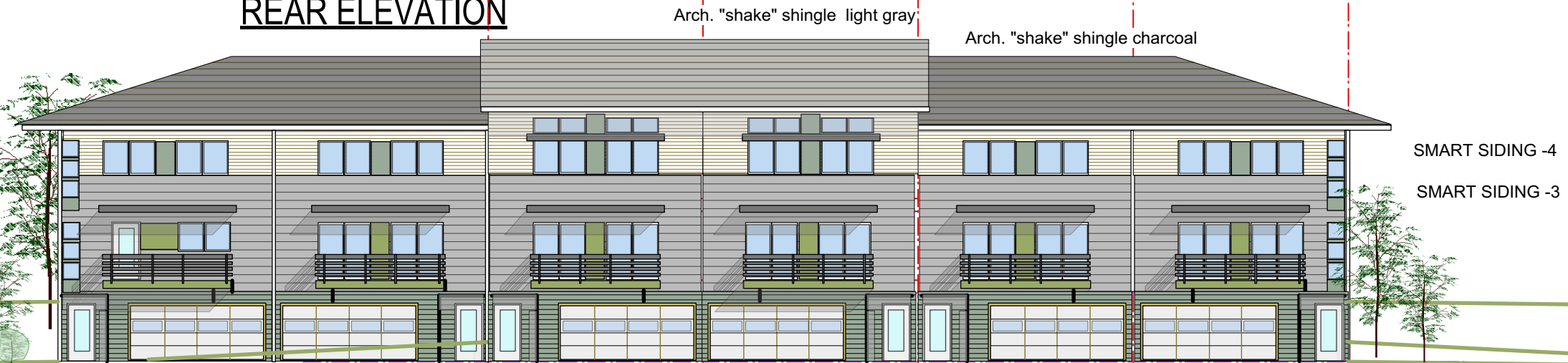
COLOR PAINT PANEL OPTIONS

UNIT "D"

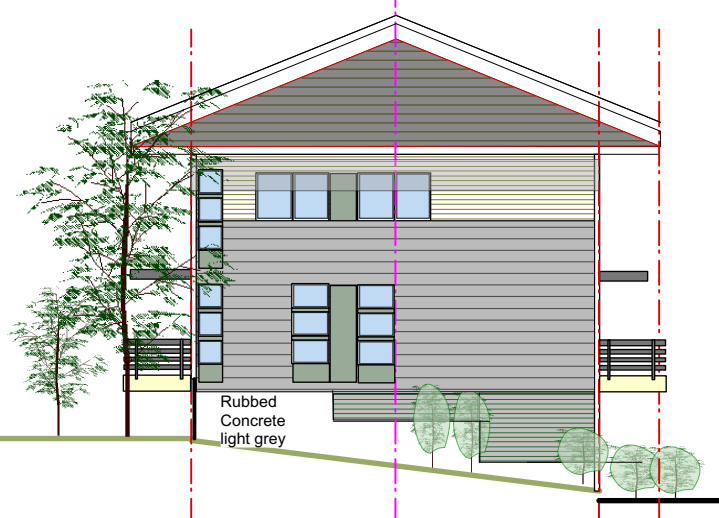
 architect SIEGER ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	4	project	JANNAH VILLAGE MADISON, WI	D1.1
		owner	LINDSAY HAGENS MADISON, WI	
				8/21



REAR ELEVATION



Garage /ENTRY FRONT ELEVATION



TYPICAL SIDE

1 LT GREEN - 6"

2 BURGUNDY - 6"

3 CHARCOAL GREY - 6" & 8"

4 WHITE 6"

**SMART SIDING
COLOR OPTIONS**

1	LT GREEN	4	WHITE
2	LT YELLOW	5	GRAY
3	BURNT ORANGE		

COLOR PAINT PANEL OPTIONS

6-UNIT "D"

architect SIEGER ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE MADISON, WI	D1.2 8/21
	owner LINDSAY HAGENS MADISON, WI	