



PROJECT TITLE

668 State Street

Vertical Expansion

664 & 668 State Street,
Madison, Wisconsin
SHEET TITLE

Basement Floor

SHEET NUMBER

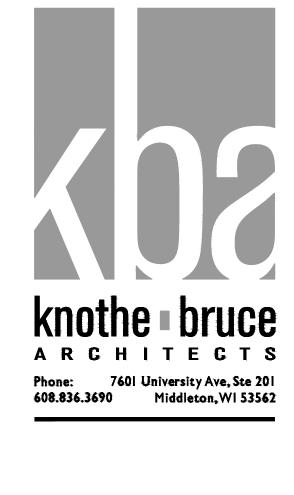
A-1.0

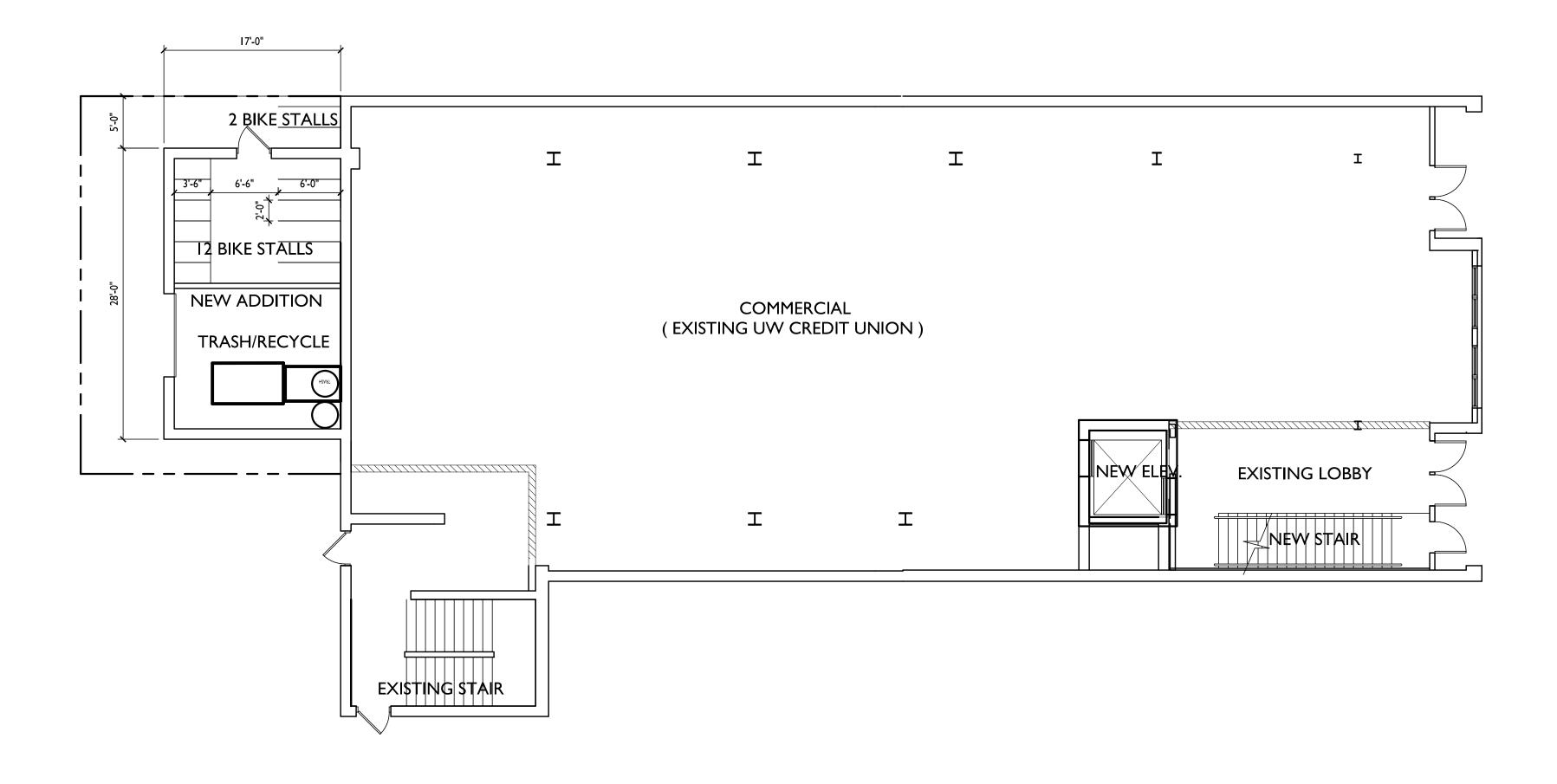
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PROJECT TITLE
668 State Street
Vertical Expansion

664 & 668 State Street,
Madison, Wisconsin

SHEET TITLE
First Floor Plan

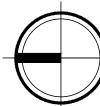
SHEET NUMBER

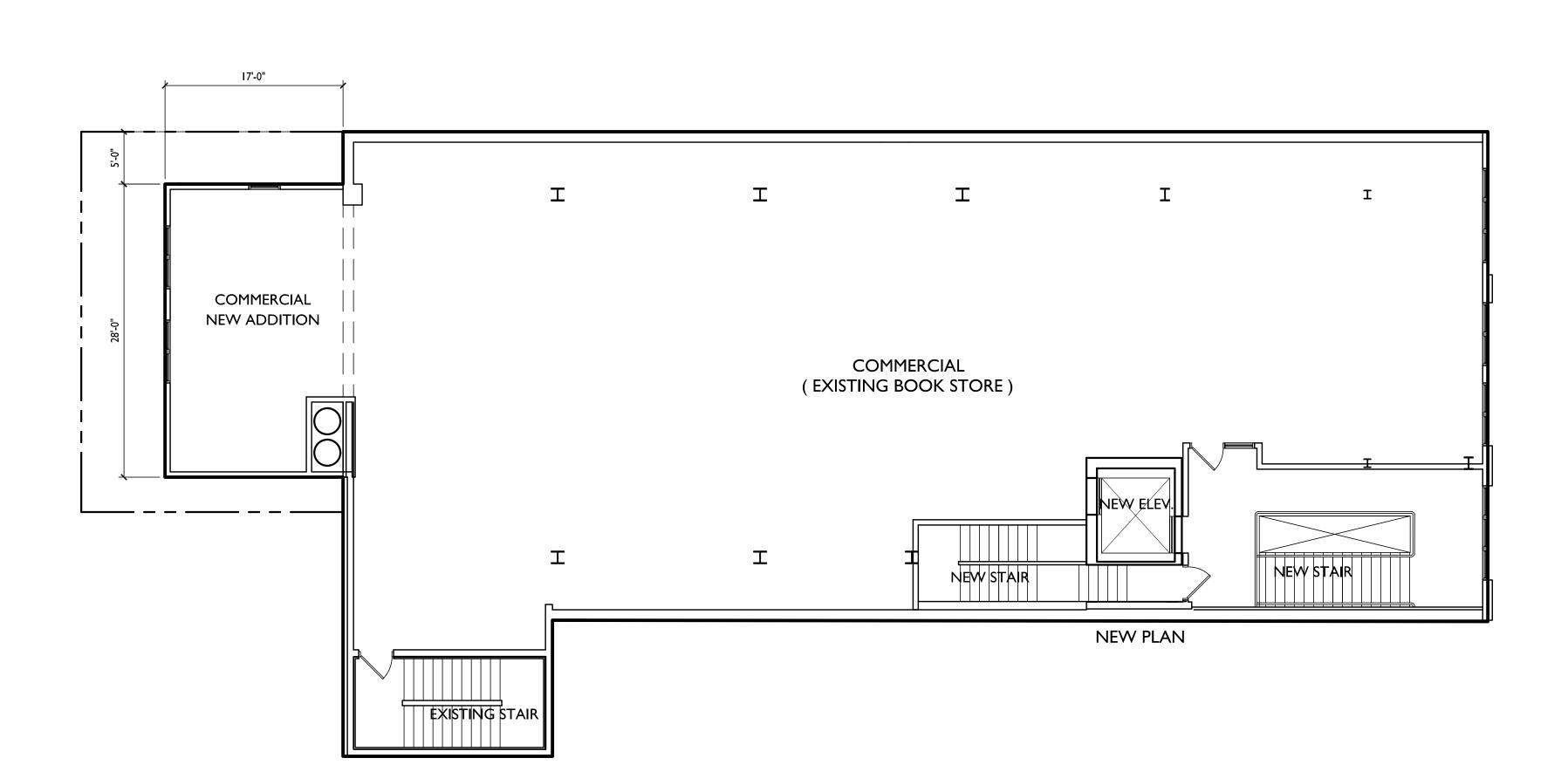


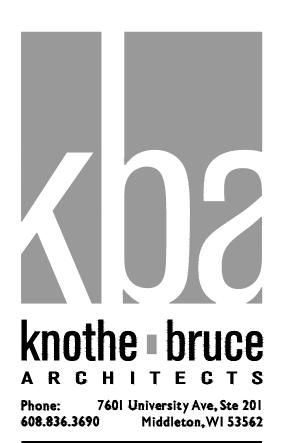
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PROJECT TITLE

668 State Street

Vertical Expansion

664 & 668 State Street, Madison, Wisconsin

Second Floor Plan

SHEET NUMBER

A-1.2

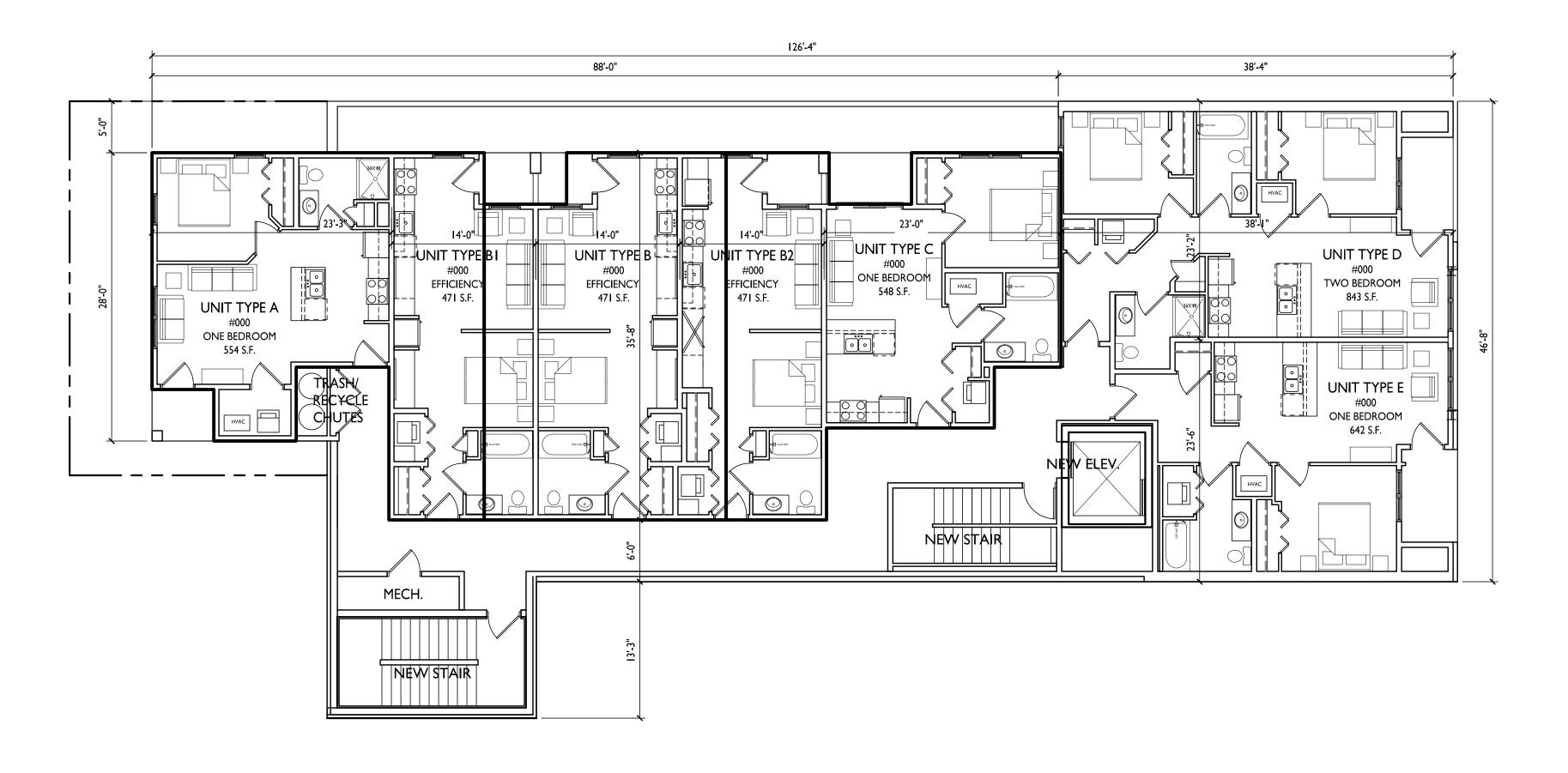
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PROJECT TITLE

668 State Street

Vertical Expansion

664 & 668 State Street, Madison, Wisconsin

SHEET TITLE
Third Floor Plan

SHEET NUMBER

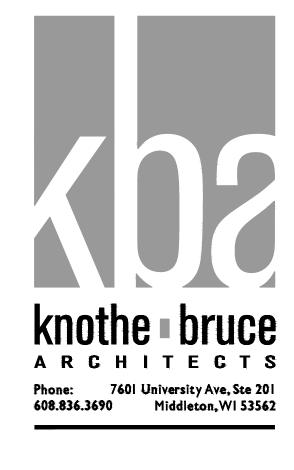
A-1.3

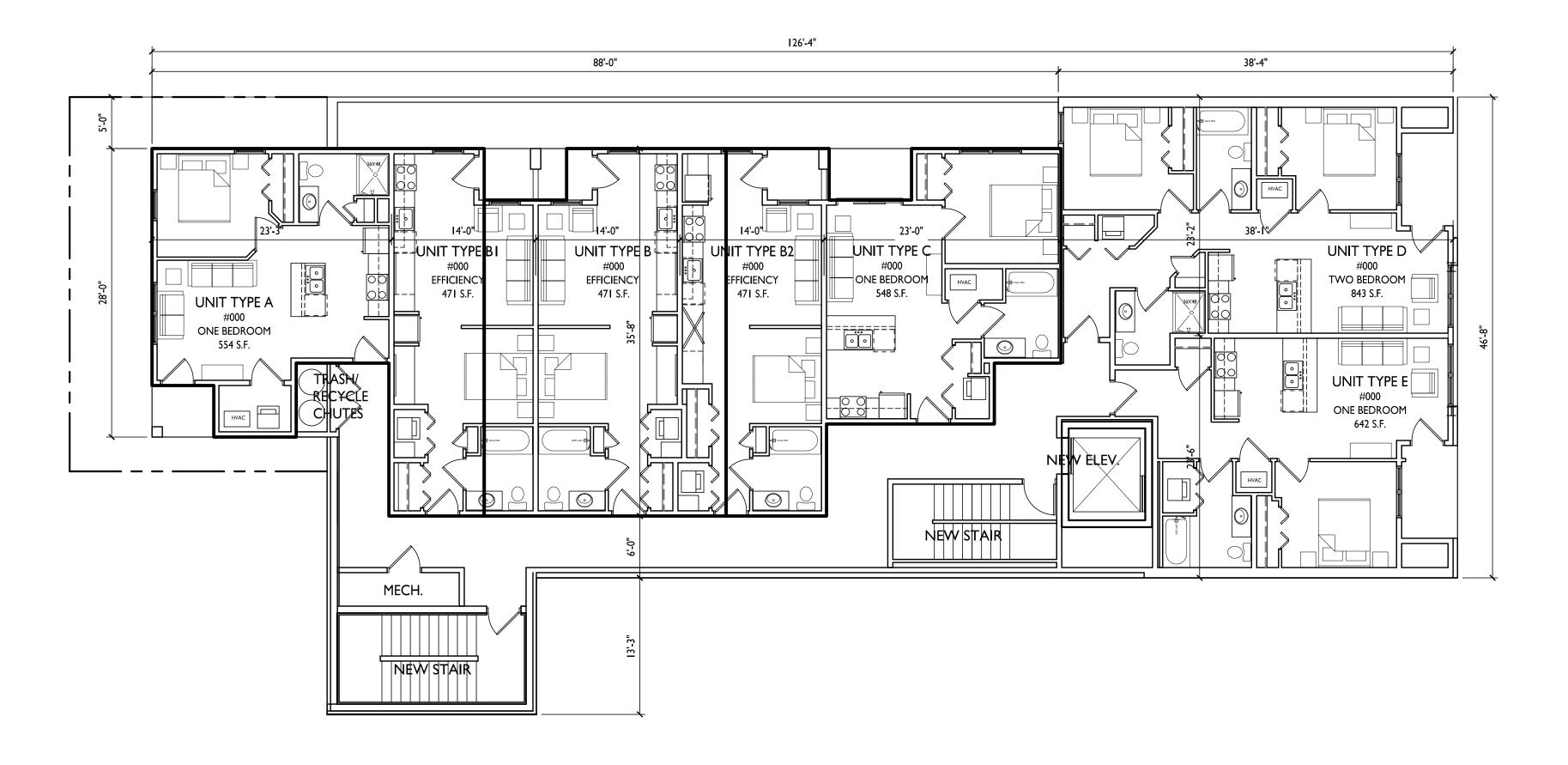
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PROJECT TITLE

668 State Street

Vertical Expansion

664 & 668 State Street, Madison, Wisconsin

SHEET TITLE

Fourth Floor Plan

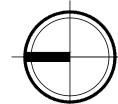
SHEET NUMBER

A-1.4

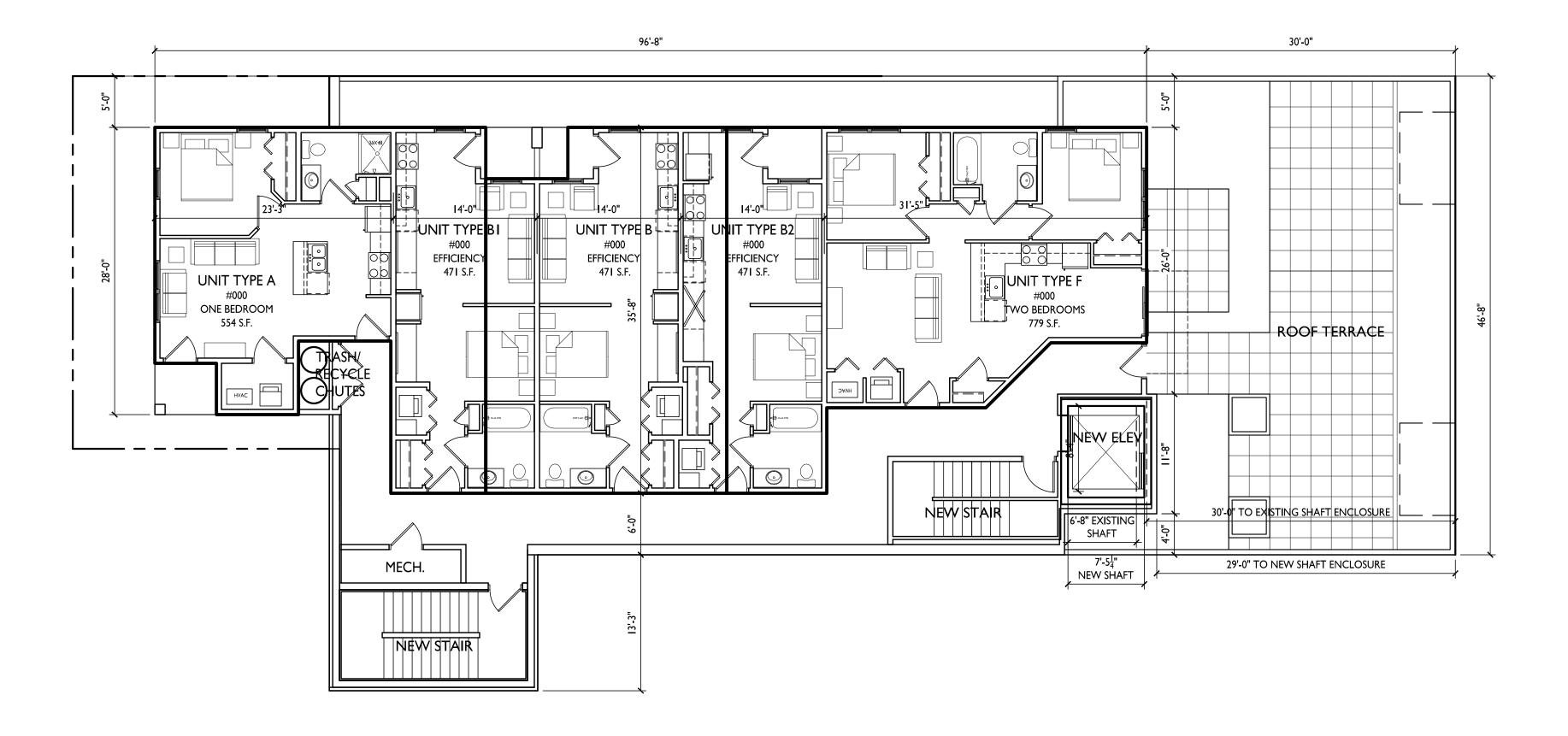
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PROJECT TITLE
668 State Street
Vertical Expansion

664 & 668 State Street,
Madison, Wisconsin
SHEET TITLE
Fifth Floor Plan

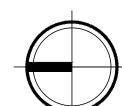
SHEET NUMBER

A-1.5

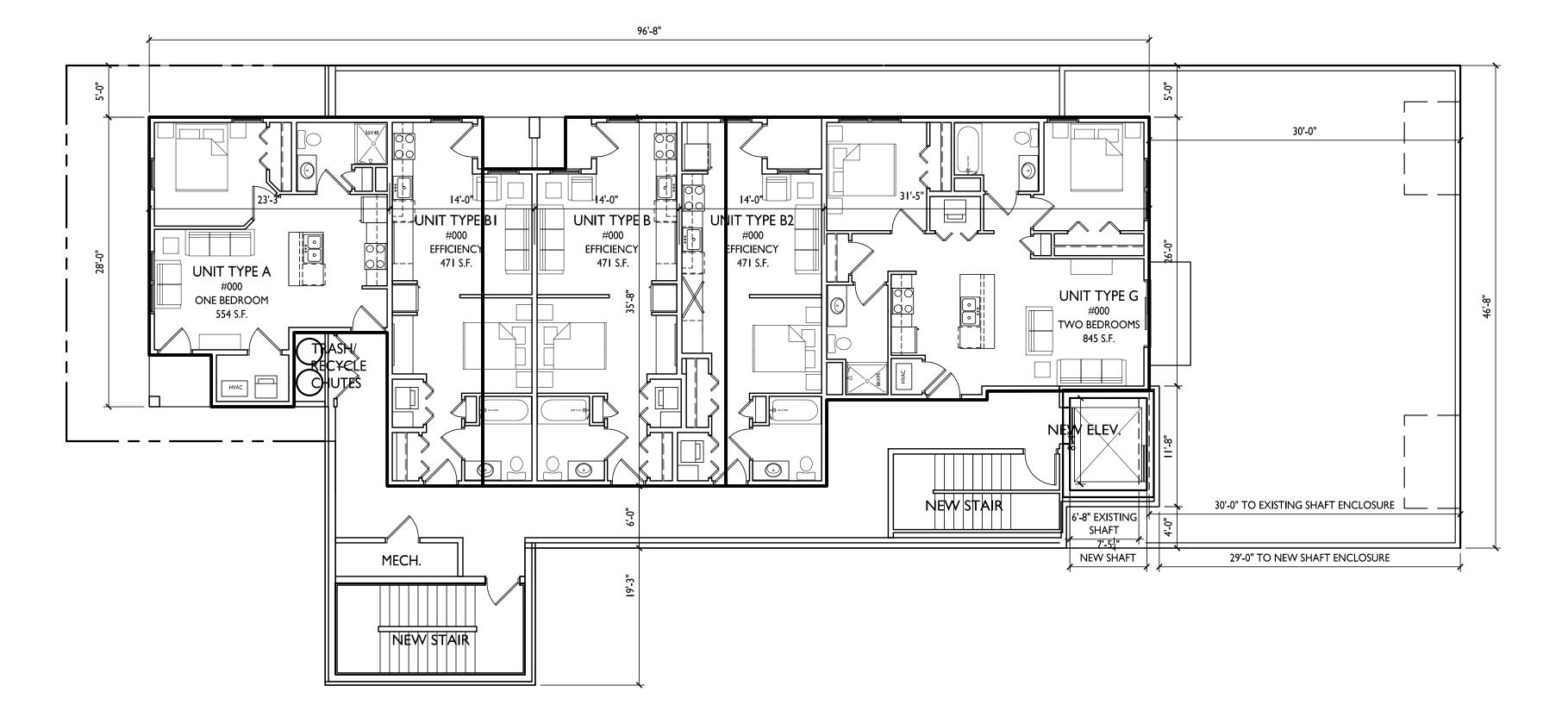
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PROJECT TITLE

668 State Street

Vertical Expansion

664 & 668 State Street,
Madison, Wisconsin
SHEET TITLE

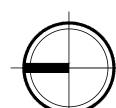
Sheet title
Sixth Floor Plan

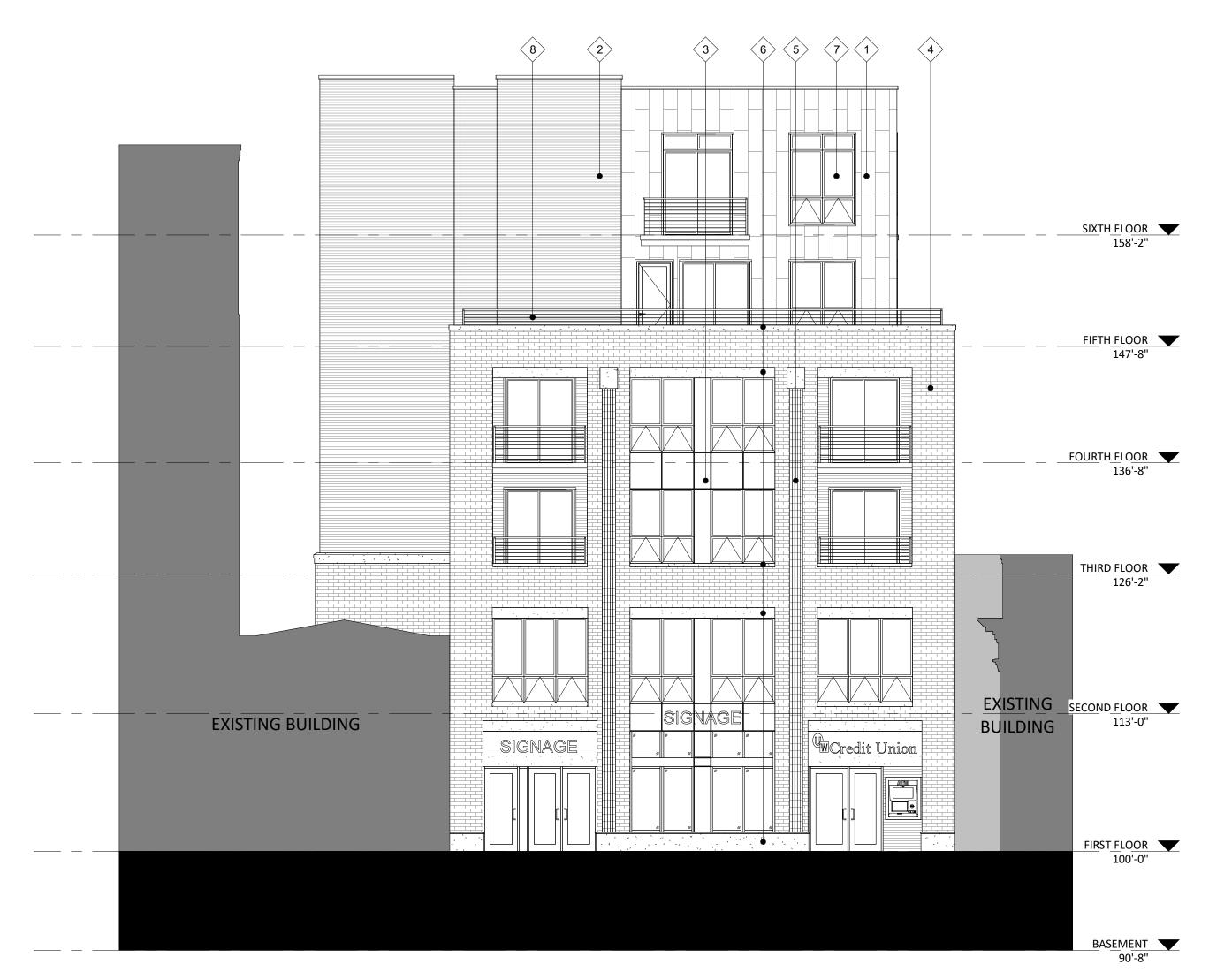
SHEET NUMBER

A-1.6

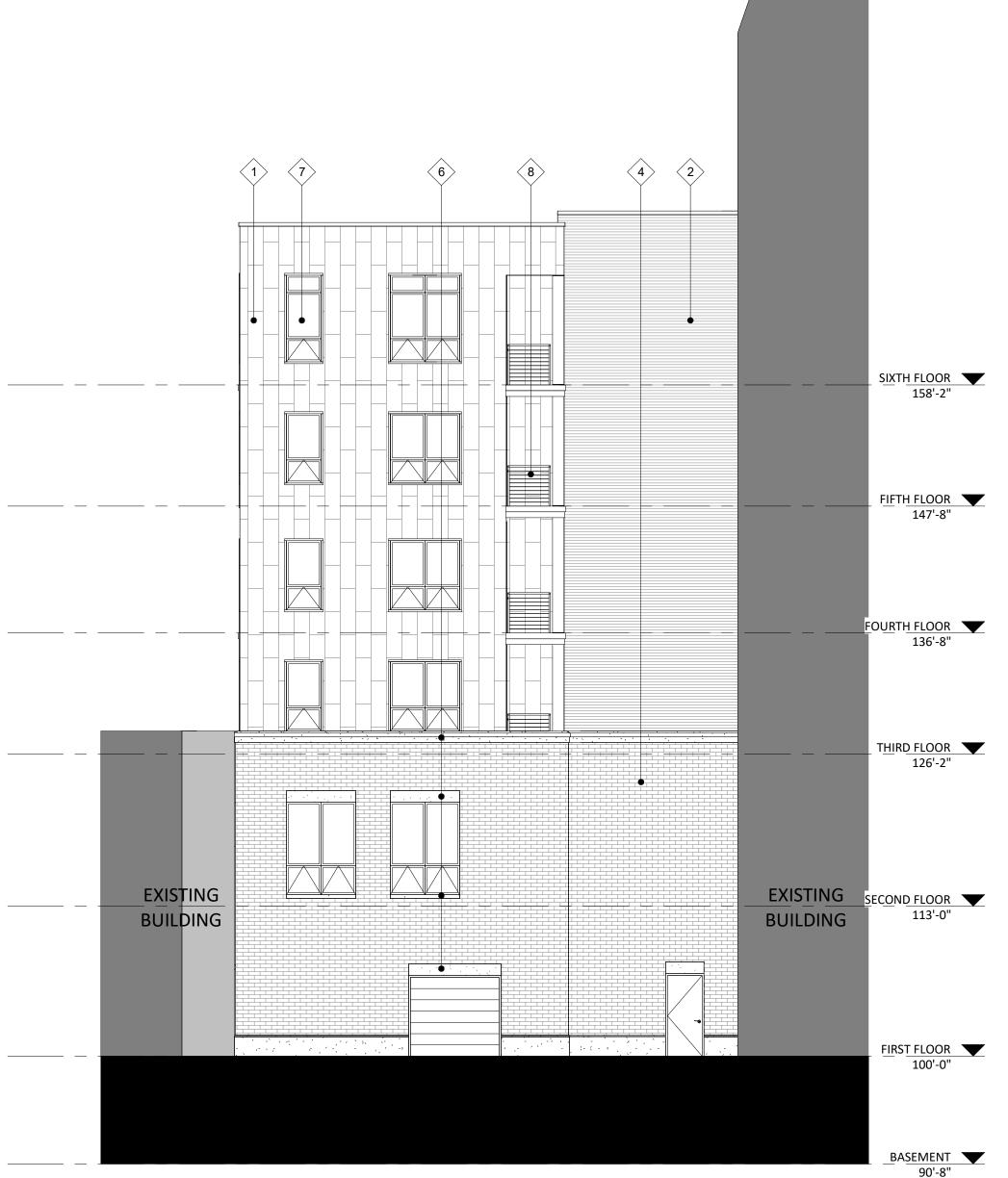
PROJECT NO. **1706**







1 ELEVATION - SOUTH A201 1/8" = 1'-0"



(#8) - RAILINGS & HANDRAILS

2 ELEVATION - NORTH A201 1/8" = 1'-0"

0' 1/2" 1"

SECOND FLOOR TI13'-0"

FIRST FLOOR TI00'-0"

BASEMENT 90'-8"

EXTERIOR MATERIAL SCHEDULE BUILDING ELEMENT MANUFACTURER COLOR MCELROY METAL SLATE GRAY (#1) - VISIONLINE F-SERIES - METAL PANEL SANDSTONE (#2) - MULTI-V - METAL PANEL MCELROY METAL (#3) - METAL PANEL MCELROY METAL PATRICIAN BRONZE COMPOSITE TRIM COLOR TO MATCH ADJ. TRIM/SIDING MCELROY METEL MISTY (#4) - BRICK VENEER SUMMIT BRICK MISTY (#5) - BRICK VENEER - SOLDIER COURSE SUMMIT BRICK (#6) - CAST STONE BANDS & HEADERS **BUR RIDGE** ROCKCAST BLACK (#7) - COMPOSITE WINDOWS ANDERSON BLACK ALUM. STOREFRONT N/A CANOPY & BAY SOFFITS MCELROY COLOR TO MATCH ADJ. TRIM/SIDING TREATED-EXPOSED DECK BEAMS N/A **BROWN TREATED**

SUPERIOR

BLACK

ISSUED
IS

668 State Street

Madison, Wisconsin

SHEET TITLE

EXTERIOR

ELEVATIONS

Vertical

Expansion

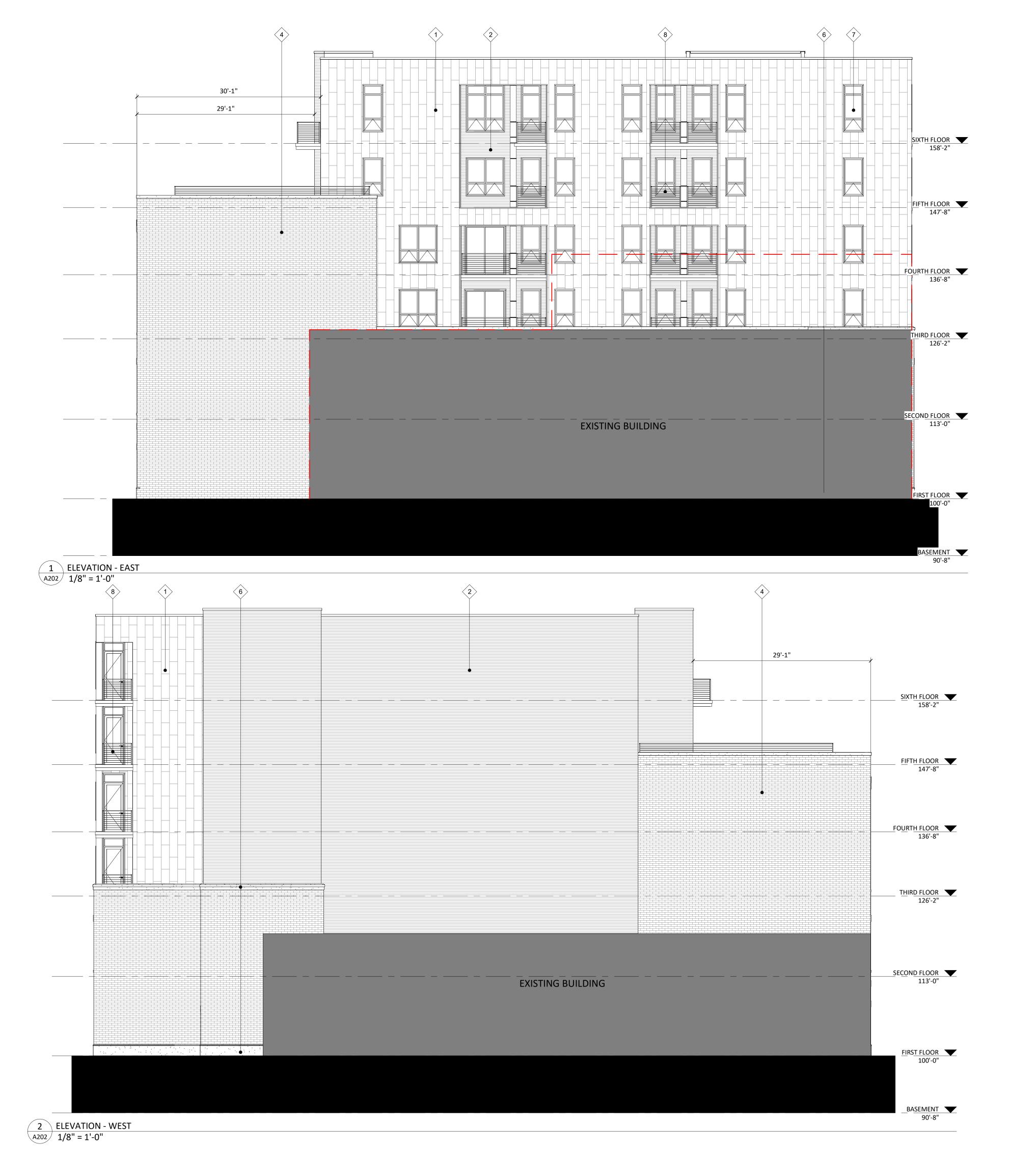
7601 University Ave. #201

Middleton, WI 53562

608.836.3690

SHEET NUMBER

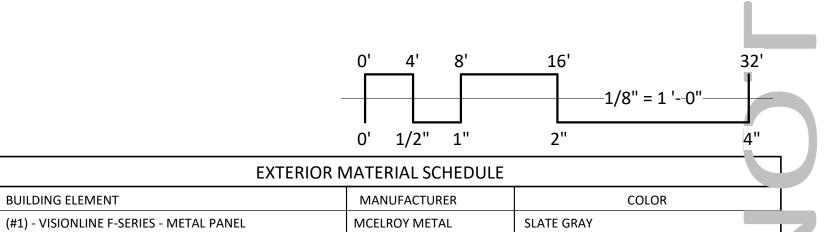
A201
PROJECT NUMBER 170



608.836.3690 **ISSUED** Issued for ZBA - September 16, 2022

Middleton, WI 53562

PROJECT TITLE 668 State Street Vertical Expansion



SANDSTONE

MISTY

MISTY

BLACK BLACK

BLACK

BUR RIDGE

BROWN TREATED

PATRICIAN BRONZE

COLOR TO MATCH ADJ. TRIM/SIDING

COLOR TO MATCH ADJ. TRIM/SIDING

MCELROY METAL

MCELROY METAL

MCELROY METEL

SUMMIT BRICK

SUMMIT BRICK

ROCKCAST

ANDERSON

MCELROY

SUPERIOR

N/A

BUILDING ELEMENT

(#3) - METAL PANEL

COMPOSITE TRIM

(#4) - BRICK VENEER

ALUM. STOREFRONT

CANOPY & BAY SOFFITS

(#2) - MULTI-V - METAL PANEL

(#5) - BRICK VENEER - SOLDIER COURSE

(#6) - CAST STONE BANDS & HEADERS

(#7) - COMPOSITE WINDOWS

TREATED-EXPOSED DECK BEAMS

(#8) - RAILINGS & HANDRAILS

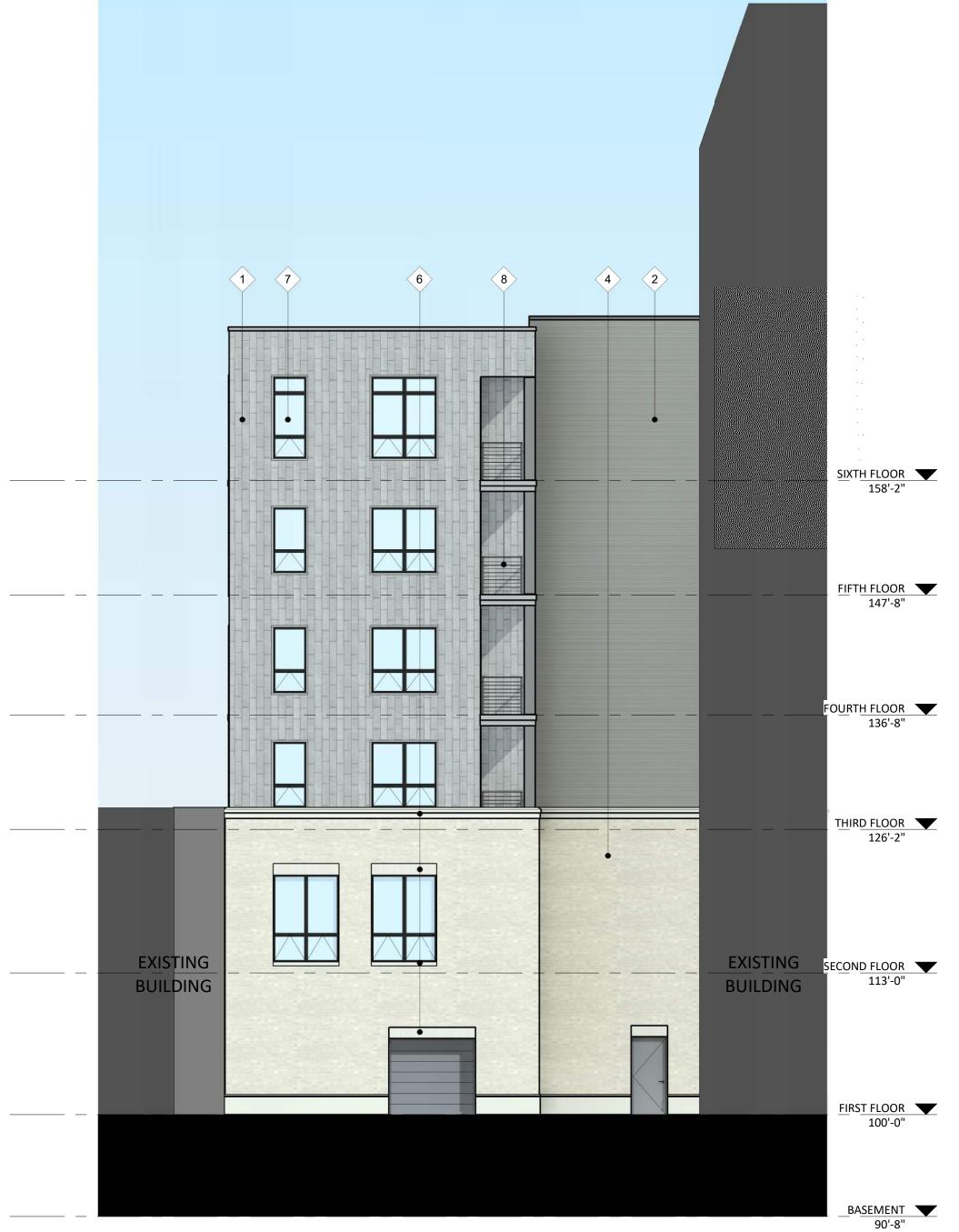
668 State Street Madison, Wisconsin SHEET TITLE **EXTERIOR**

ELEVATIONS

SHEET NUMBER



1 COLORED ELEVATION - SOUTH A203 1/8" = 1'-0"



2 COLORED ELEVATION - NORTH

0' 1/2" 1"

A203 1/8" = 1'-0"

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*****		and the second s	EXTERIOR N	//ATERIAL SCHEDUI	LE CONTRACTOR OF THE PROPERTY
		BUILDING ELEMENT		MANUFACTURER	COLOR
		(#1) - VISIONLINE F-SERIES - METAL PANEL		MCELROY METAL	SLATE GRAY
		(#2) - MULTI-V - METAL PANEL		MCELROY METAL	SANDSTONE
		(#3) - METAL PANEL		MCELROY METAL	PATRICIAN BRONZE
		COMPOSITE TRIM		MCELROY METEL	COLOR TO MATCH ADJ. TRIM/SIDING
		(#4) - BRICK VENEER		SUMMIT BRICK	MISTY
	•	(#5) - BRICK VENEER - SOLDIER COURSE		SUMMIT BRICK	MISTY
. 5. **	•	(#6) - CAST STONE BANDS & HEADERS		ROCKCAST	BUR RIDGE
4.61	221	(#7) - COMPOSITE WINDOWS		ANDERSON	BLACK
16'	32'	ALUM. STOREFRONT		N/A	BLACK
1/8" = 1 '0"	· .	CANOPY & BAY SOFFITS		MCELROY	COLOR TO MATCH ADJ. TRIM/SIDING
·	<u> </u>	TREATED-EXPOSED DECK BEAMS		N/A	BROWN TREATED
2"	4"	(#8) - RAILINGS & HANDRAILS	14.	SUPERIOR	BLACK

PROJECT TITLE 668 State Street Vertical Expansion

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Middleton, WI 53562

668 State Street Madison, Wisconsin SHEET TITLE **EXTERIOR ELEVATIONS**

SHEET NUMBER

COLORED

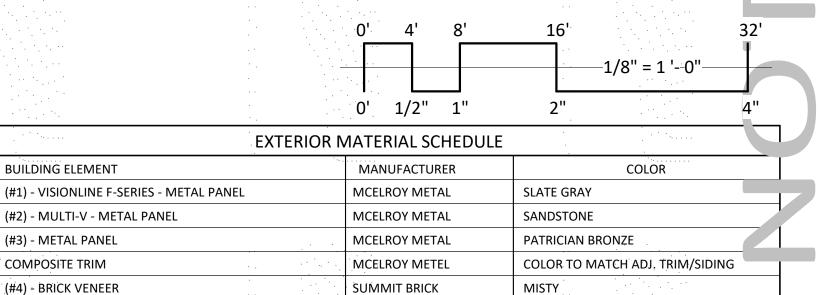
PROJECT NUMBER 1706



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> PROJECT TITLE 668 State Street Vertical Expansion

Middleton, WI 53562



SUMMIT BRICK

ROCKCAST

ANDERSON

MCELROY

SUPERIOR

N/A

N/A

MISTY

BLACK

BLACK

BLACK

BUR RIDGE

BROWN TREATED

COLOR TO MATCH ADJ. TRIM/SIDING

668 State Street Madison, Wisconsin SHEET TITLE **EXTERIOR**

ELEVATIONS COLORED

SHEET NUMBER















City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 668	3 State Street
Contact Name & Phone	#: Kevin Burow 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	X Yes ☐ Yes X Yes	☐ No ☐ No ☐ No	N/A N/A N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	X Yes	No No No No No No No No	 N/A N/A N/A N/A N/A N/A N/A N/A N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes ☐ Yes ☐ Yes	X No ☐ No ☐ No	□ N/A ▼ N/A ▼ N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	Yes Yes	X No □ No	N/A N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	Yes	X No	□ N/A
6. Is any part of the building greater than 30-feet above the grade plane?	X Yes	☐ No	□ N/A
If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	X Yes	□ No	□ N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature	Yes Yes	No No No	□ N/A □ N/A □ N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	Yes	🛮 No	□ N/A
 c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? 	Yes Yes Yes	No No No	 N/A N/A N/A
 c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights? 	Yes Yes Yes Yes Yes	No No No No No	N/AN/AN/AN/AN/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.