

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 1225 Spaight Street Madison WI 53703 Aldermanic District: 6

2. PROJECT

Project Title/Description: two-story back porch rebuild

This is an application for: (check all that apply)

- ☐ **New Construction/Alteration/Addition in a Local Historic District or Designated Landmark (specify)**:**
- | | | |
|---|--|---|
| <input type="checkbox"/> Mansion Hill | <input checked="" type="checkbox"/> Third Lake Ridge | <input type="checkbox"/> First Settlement |
| <input type="checkbox"/> University Heights | <input type="checkbox"/> Marquette Bungalows | <input type="checkbox"/> Landmark |
- ☐ **Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:**
- | | | |
|---|--|---|
| <input type="checkbox"/> Mansion Hill | <input type="checkbox"/> Third Lake Ridge | <input type="checkbox"/> First Settlement |
| <input type="checkbox"/> University Heights | <input type="checkbox"/> Marquette Bungalows | <input type="checkbox"/> Landmark |
- ☐ **Demolition**
- ☐ **Alteration/Addition to a building adjacent to a Designated Landmark**
- ☐ **Variance from the Historic Preservation Ordinance (Chapter 41)**
- ☐ **Landmark Nomination/Rescission or Historic District Nomination/Amendment**
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- ☐ **Other (specify):**

DPCED USE ONLY	Registrar #:
	DATE STAMP RECEIVED 5/2/22 11:01 am
	Preliminary Zoning Review Zoning Staff Initial: Date: / /

3. APPLICANT

Applicant's Name: Leah Stargardter Company: Sawdust and Love LLC

Address: 420 Memphis Ave Madison WI 53714

Street City State Zip

Telephone: 608-622-4189 Email: ssawdustandlove@gmail.com

Property Owner (if not applicant): David A. Wolfe

Address: 1225 Spaight Street Madison WI 53703

Street City State Zip

Property Owner's Signature: David A. Wolfe Date: 4/27/22

David A. Wolfe (Apr 27, 2022 07:50 CDT)

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

From: [Leah Stargardter](#)
To: [PLLCApplications](#)
Subject: commission application 1225 Spaight Street
Date: Monday, May 2, 2022 11:02:44 AM
Attachments: [LandmarksCommissionApplication - signed \(1\).pdf](#)
[THISTLE-WOLFE ADDITION-05-02-----11X17.pdf](#)

Caution: This email was sent from an external source. Avoid unknown links and attachments.

Hello Landmarks Commission,

The proposed project detailed here is a full remodel of the back two story porch at 1225 Spaight Street. The existing porch will be completely demolished. A new crawl space foundation is proposed to be dug and added, currently the porch point loads down onto cinder blocks. The hatch access will also get new concrete embankment walls dug and added.

The first floor will be a 3 season porch, allowing access from the kitchen to the back yard. The second floor will be a sleeping porch, connected by a doorway from the master bedroom.

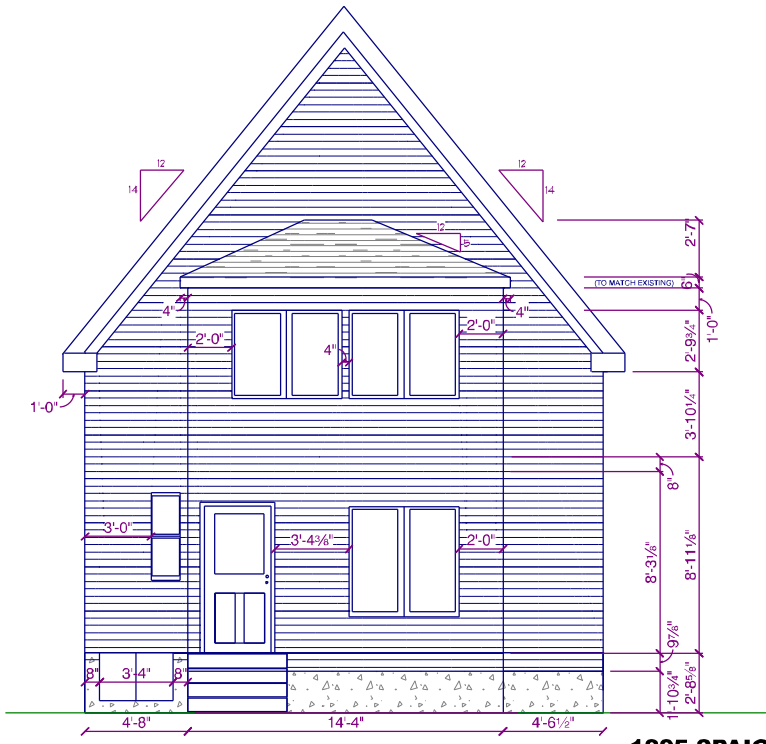
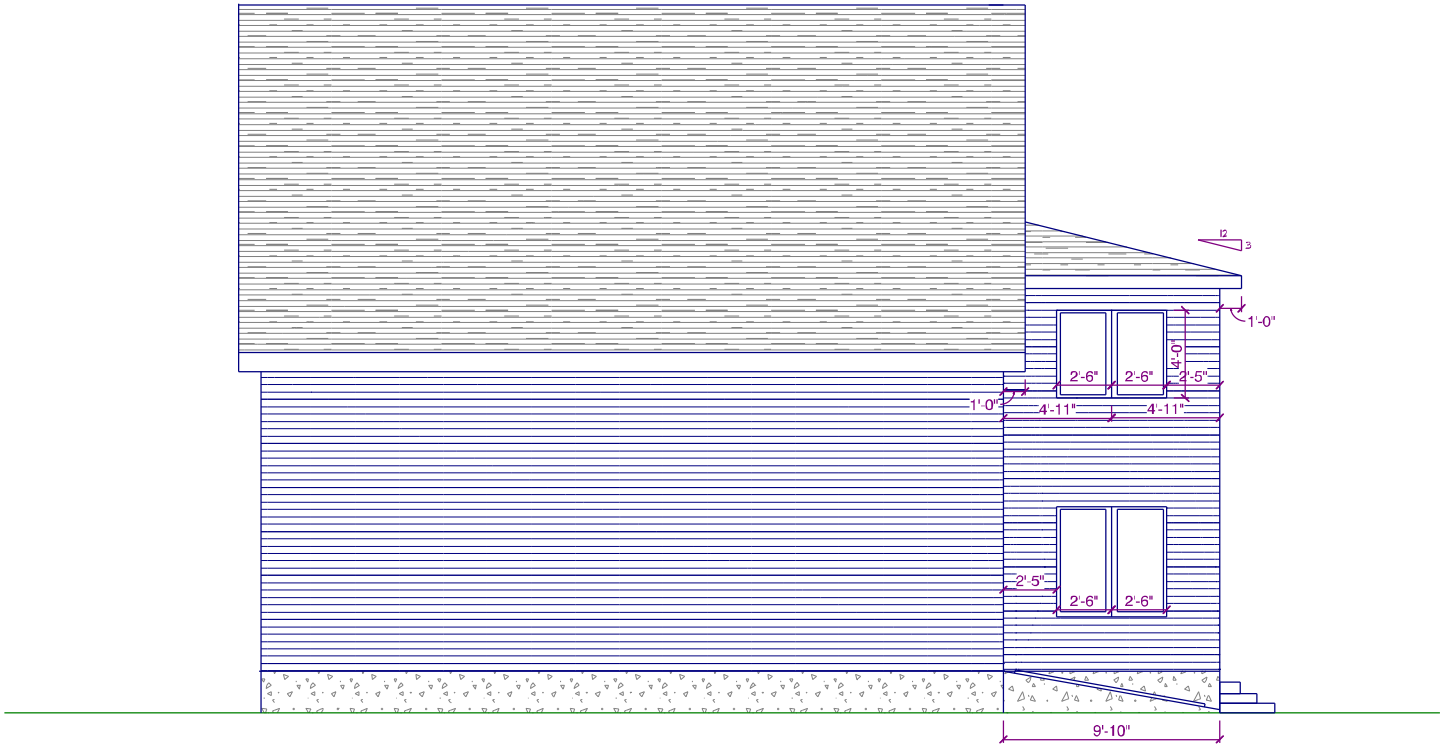
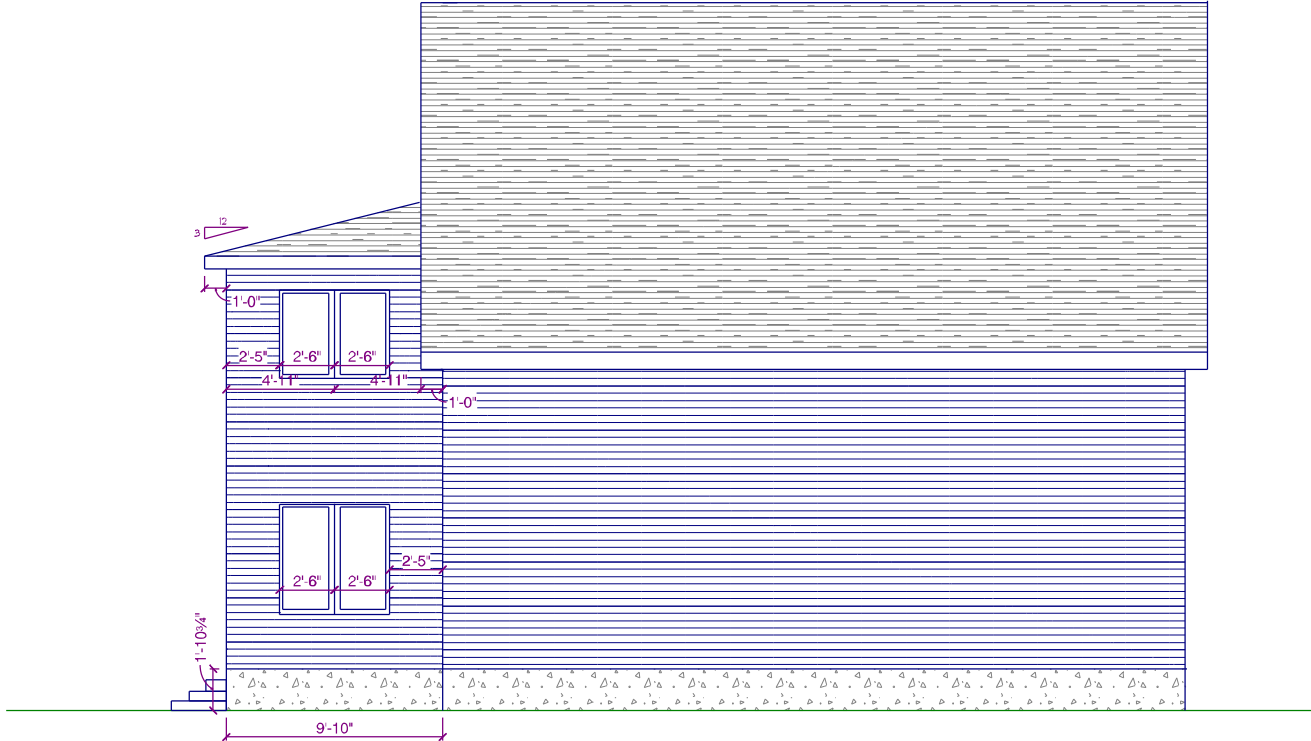
The attached drawings list the specifications for new windows (all double hung the same as the rest of the house) and doors. The two new doors are the one from the kitchen to the 3 season porch, this will be a french door, and the door from the 3 season porch to the stairs out to the back yard, a Marvin Exterior door. The new doors will be standard height 6'-8" (this is the one measurement the drawings don't specifically name)

The new type of roofing will be asphalt shingles that match the existing in style and color.

The new siding will be fiber-cement with the smooth surface that matches the current 2 7/8" reveal.

Thank you for your time and consideration.
Leah Stargardter

- GENERAL NOTES:
- 1) ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
 - 2) THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
 - 3) THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
 - 4) EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS. UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND CUSTOMER.
 - 5) MATERIALS AS SPECIFIED ON DRAWINGS AND CONTRACTUAL DOCUMENTS SHALL BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING AND COORDINATION IN CONJUNCTION WITH SUBSTITUTIONS MADE TO SPECIFIED MATERIALS.
 - 6) MARLING LUMBER AND HOMEWORKS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
 - 7) CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHORING TO ENSURE STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
 - 8) ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY CUSTOMER.
 - 9) DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE TO EDGE OF WALL FRAMING OR EDGE OF FOUNDATION UNLESS NOTED OTHERWISE.
 - 10) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERRORS TO MARLING LUMBER COMPANY PRIOR TO COMMENCEMENT OF THE WORK, AND TO BE RESPONSIBLE FOR SAME.
 - 11) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. MARLING LUMBER SHALL BE NOTIFIED OF ALL DISCREPANCIES.
 - 12) IN NO CASE SHALL WORK DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.
 - 13) ALL DIMENSIONS TO OPENINGS ARE ROUGH FRAMING UNLESS NOTED OTHERWISE.
 - 14) ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
 - 15) CEILING HEIGHT DIMENSIONS ARE FROM FLOOR SHEATHING TO UNDERSIDE OF ROOF TRUSS OR FLOOR JOIST.
 - 16) DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS NOTED OTHERWISE.
 - 17) WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
 - 18) FOLLOW ALL MANUFACTURERS' RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES UNLESS OTHERWISE DIRECTED.
 - 19) PROVIDE ADEQUATE ANCHORAGE, BLOCKING BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT, ETC.
 - 20) SLOPE ALL CONCRETE WALKS AWAY FROM EXTERIOR DOORS A MAXIMUM OF 2% TO PREVENT WATER FROM RUNNING OR BEING BLOWN UNDER DOORWAYS AND TO PREVENT STANDING WATER FROM ACCUMULATING IN FRONT OF DOORS.
 - 21) PROVIDE FIRE-BLOCKING AND DRAFT-STOPPING IN SPACES CREATED BY CHASES, FURRING, ETC. IN ACCORDANCE THE APPLICABLE CODES.
 - 22) SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES.
 - 23) WINDOW DESIGN INTENDED TO BE IN COMPLIANCE WITH APPLICABLE CODES IN REGARDS TO EGRESS AND SAFETY GLASS. ALL WINDOW SIZES AND REQUIREMENTS TO BE VERIFIED BY CONTRACTOR WITH MANUFACTURER TO ENSURE COMPLIANCE WITH APPLICABLE CODES.



1225 SPAIGHT STREET MADISON, WI 53703



613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: 1/4"=1'-0"

Date: 04-15-22

SAWDUST AND LOVE LLC.

DRAWN BY: Andrew Coffell

THISTLE/WOLFE ADDITION

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CLIENT AND / OR CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. THE CLIENT AND / OR CONTRACTORS WILL ASSUME ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

DRAWING NUMBER:

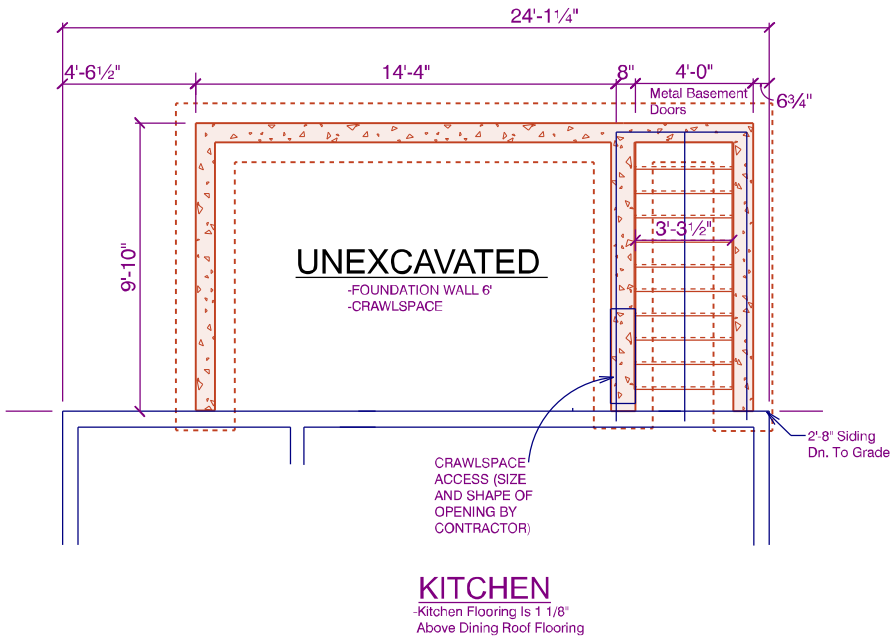
1 OF 5

ELEVATIONS

SCALE: 3/16" = 1'-0"

NOTES:

- Existing Conc. Walls
- New Or Remodeled Conc. Walls
- All Dimensions Are Conc. To Conc. Or Conc. To Centerline Of Posts, Beams & Footings.
- All Conc. Footings To Be 48" (Min.) Below Finished Grade.



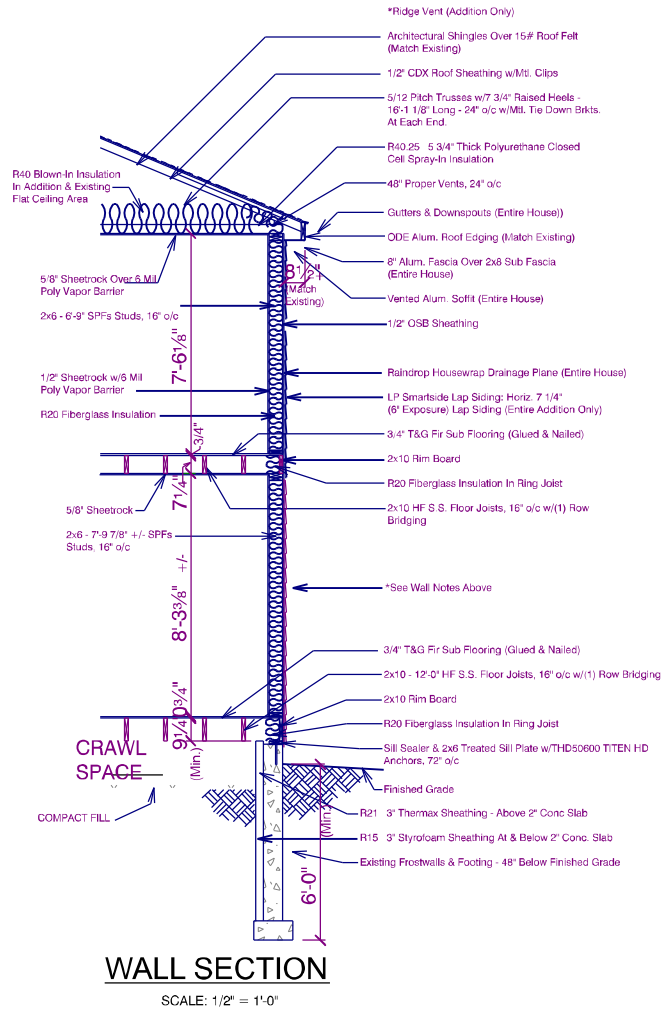
NEW FOUNDATION PLAN

FOUNDATION

SCALE: 1/4" = 1'-0"

Notes:

- 9'-11 5/8" First Floor To Second Floor
- 14/12 Pitch - Main House
- 2 7/8" Exposure Horiz. Wood Siding



WALL SECTION

SCALE: 1/2" = 1'-0"

1225 SPAIGHT STREET MADISON, WI 53703



Lumber and HomeWorks

613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: 1/4"=1'-0"

Date: 04-15-22

SAWDUST AND LOVE LLC.

DRAWN BY: Andrew Coffell

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DRAWING NUMBER:

2 OF 5

WALL BRACING NOTES:

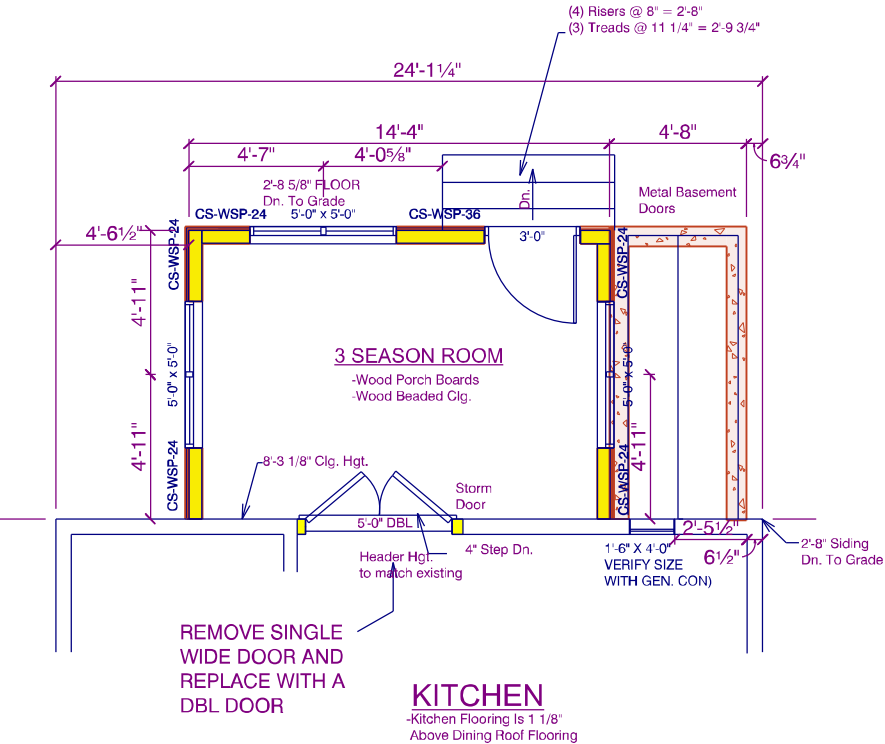
-Continuous Sheathing - Wood Structural Panels (CS-WSP) Minimum Bracing Thickness - 3/8" For A Max. Of 16" o/c Stud Spacing & 7/16" For A Max. Of 24" o/c Stud Spacing w/Continuous Wall Sheathing - Fasteners: 6d Common Nail Or 8d Box Nail (2 3/8" Long x 0.113" Diam.) Or 7/16" Or 1/2" Crown 16 Gauge Staples, 1 1/4" Long, 6" o/c On All Edges & 12" o/c Field (Nails). 3" o/c On All Edges & 6" o/c Field (Staples).

-All Vertical Joints Of Braced Wall Panels Shall Occur Over Common Stud. Horizontal Joints Shall Be Backed w/1 1/2" Thick Blocking.

-The Interior Side Of All Exterior Walls Shall Be Sheathed w/Min.1/2" Gypsum Wall Board Unless Otherwise Permitted. All Edges Of Panel Type Wall Bracing Shall Be Attached To Framing Or Blocking.

-Each Braced Panel May Contain No More Than One Hole, Having A Maximum Dimension Of No More Than 10% Of The Least Dimension Of The Panel & Confined To The Middle 3/4 Of The Panel.

- NOTES:
- Project To Done In Phases - Phase One Is Second Floor
 - Demolition Area
 - Existing Frame Walls
 - New Or Remodeled Frame Walls
 - All Dimensions Are Stud To Stud Or Stud To Centerline Of Opng. Unless Noted
 - All Headers In Load Bearing Walls Not Noted To Be (2) 2x10 HF Select. Struct.
 - All LVL Beams Shown Are Rigid-Lam 2.0E, 3100 Fb Manufactured By Roseburg
 - Bottom Of Window Headers To Be 6'-9 3/4" +/- Above Sub Floor. (Match Existing)
 - Replace Windows & Patio Door w/MARVIN Dol. Hungs, Awnings & Casement w/Insulated Low E4 w/Heat Lock Glass, SDL Grilles In Upper Sash Only & Full Screens (Per Elevations)
 - Seal Openings (Air Leaks) Around Plumbing Stacks, Exhaust, Fan Housing, Electrical Wires, Recessed Lights, Interior Partitions, HVAC Ducts, Attic Scuttle, Chimneys & Any Other Penetrations Into Attic.



PROPOSED FIRST FLOOR PLAN

MAIN LEVEL

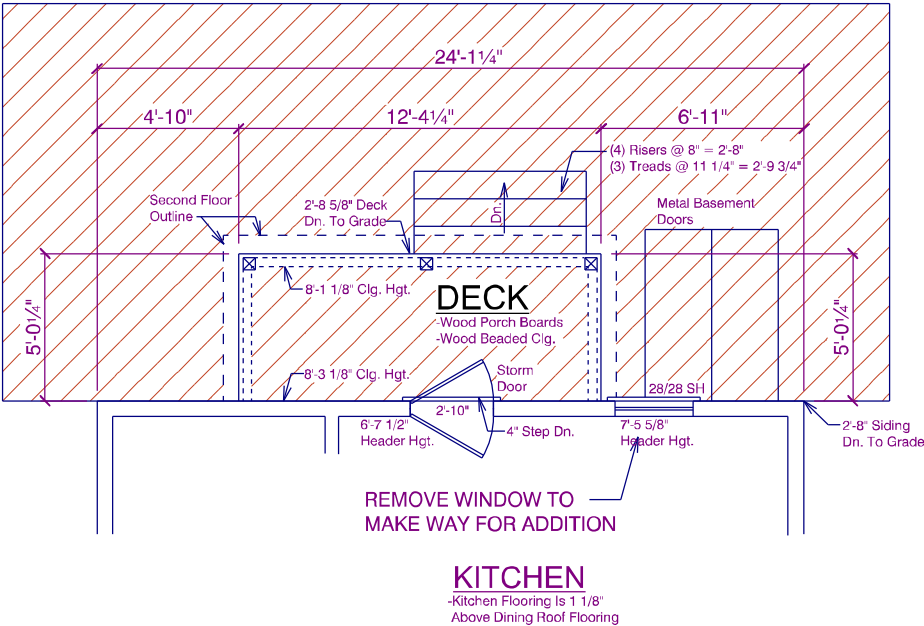
SCALE: 1/4" = 1'-0"

*14'-4"x 9'10" Rectangle

*Front Wall
Wall Length - 14'-4", 2x6 - 8'-2 3/8" High Wall, Perpendicular Wall Length 45'-1 1/2", Roof Less Than 15'-0" High, 50' Wall = 16.7', 40' Wall = 13.8', 16.7' - 13.8' / 10 = 3 1/2" x 5.125' = 1'-5 15/16" + 13.8' = 15'-3 9/16" Bracing x 1.0' (Wind Exposure "B") x .90 (8' High Wall) x 1.0 (Interior Wall Surface) = 4'-2-1/8" Required Bracing

*LEFT Wall
Wall Length - 9-10", 2x6 - 8'-2 3/8" High Wall, Perpendicular Wall Length 45'-1 1/2", Roof Less Than 15'-0" High, 50' Wall = 16.7', 40' Wall = 13.8', 16.7' - 13.8' / 10 = 3 1/2" x 5.125' = 1'-5 15/16" + 13.8' = 15'-3 9/16" Bracing x 1.0' (Wind Exposure "B") x .90 (8' High Wall) x 1.0 (Interior Wall Surface) = 4'-2-1/8" Required Bracing

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- Notes:
- 8'-11 5/8" First Floor To Second Floor
 - 14/12 Pitch - Main House
 - 2 7/8" Exposure Horiz. Wood Siding

EXISTING FIRST FLOOR PLAN

1225 SPAIGHT STREET MADISON, WI 53703

MARLING Lumber and HomeWorks
613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: 1/4"=1'-0"
Date: 04-15-22

DRAWN BY: Andrew Coffell

SAWDUST AND LOVE LLC.

THISTLE/WOLFE ADDITION

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CLIENT AND / OR CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. THE CLIENT AND / OR CONTRACTORS WILL ASSUME ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

DRAWING NUMBER: 3 OF 5

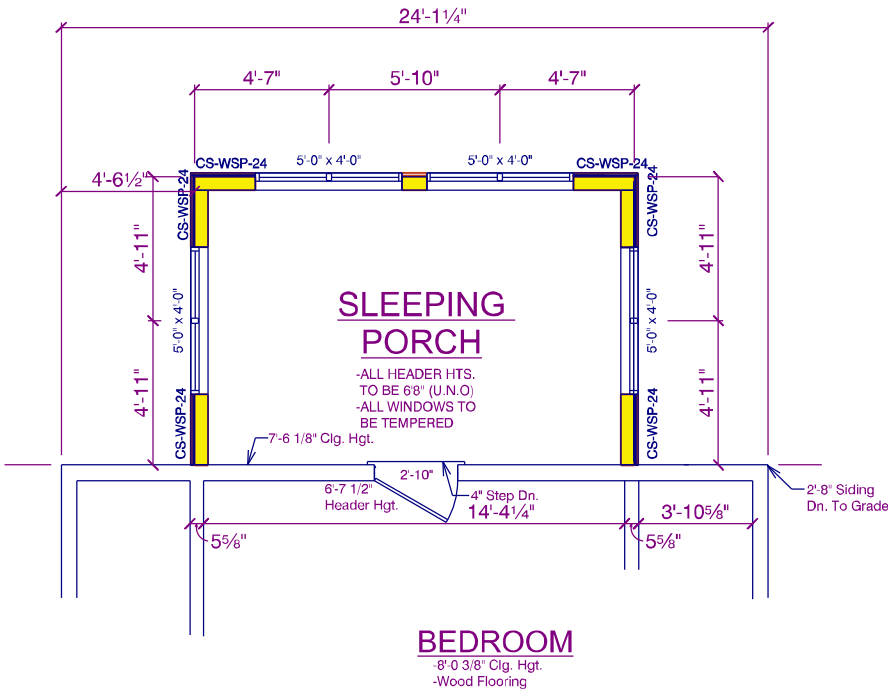
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PROPOSED SECOND FLOOR PLAN

2ND LEVEL

SCALE: 1/4" = 1'-0"

*14'-4"x 9'10" Rectangle

*Front Wall

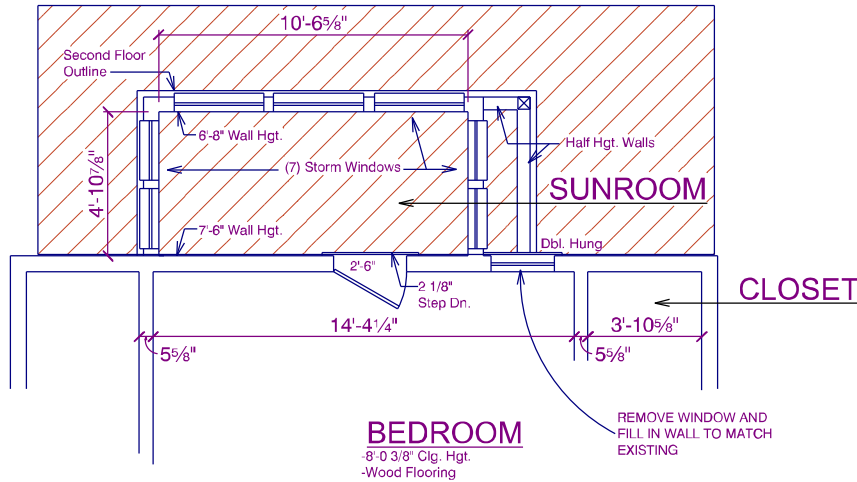
Wall Length - 14'-4", 2x6 - 8'-2 3/8" High Wall, Perpendicular Wall Length 45'-1 1/2", Roof Less Than 15'-0" High, 50' Wall = 16.7', 40' Wall = 13.8', 16.7' - 13.8' / 10 = 3 1/2" x 5.125' = 1'-5 15/16" + 13.8' = 15'-3 9/16" Bracing x 1.0' (Wind Exposure "B") x .90 (8' High Wall) x 1.0 (Interior Wall Surface) = 4'-2-1/8" Required Bracing

*LEFT Wall

Wall Length - 9'-10", 2x6 - 8'-2 3/8" High Wall, Perpendicular Wall Length 45'-1 1/2", Roof Less Than 15'-0" High, 50' Wall = 16.7', 40' Wall = 13.8', 16.7' - 13.8' / 10 = 3 1/2" x 5.125' = 1'-5 15/16" + 13.8' = 15'-3 9/16" Bracing x 1.0' (Wind Exposure "B") x .90 (8' High Wall) x 1.0 (Interior Wall Surface) = 4'-2-1/8" Required Bracing

*RIGHT Wall

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EXISTING SECOND FLOOR PLAN

Notes:

- 9'-11 5/8" First Floor To Second Floor
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1225 SPAIGHT STREET MADISON, WI 53703

MARLING Lumber and HomeWorks 613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777	
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DRAWING NUMBER: 4 OF 5	

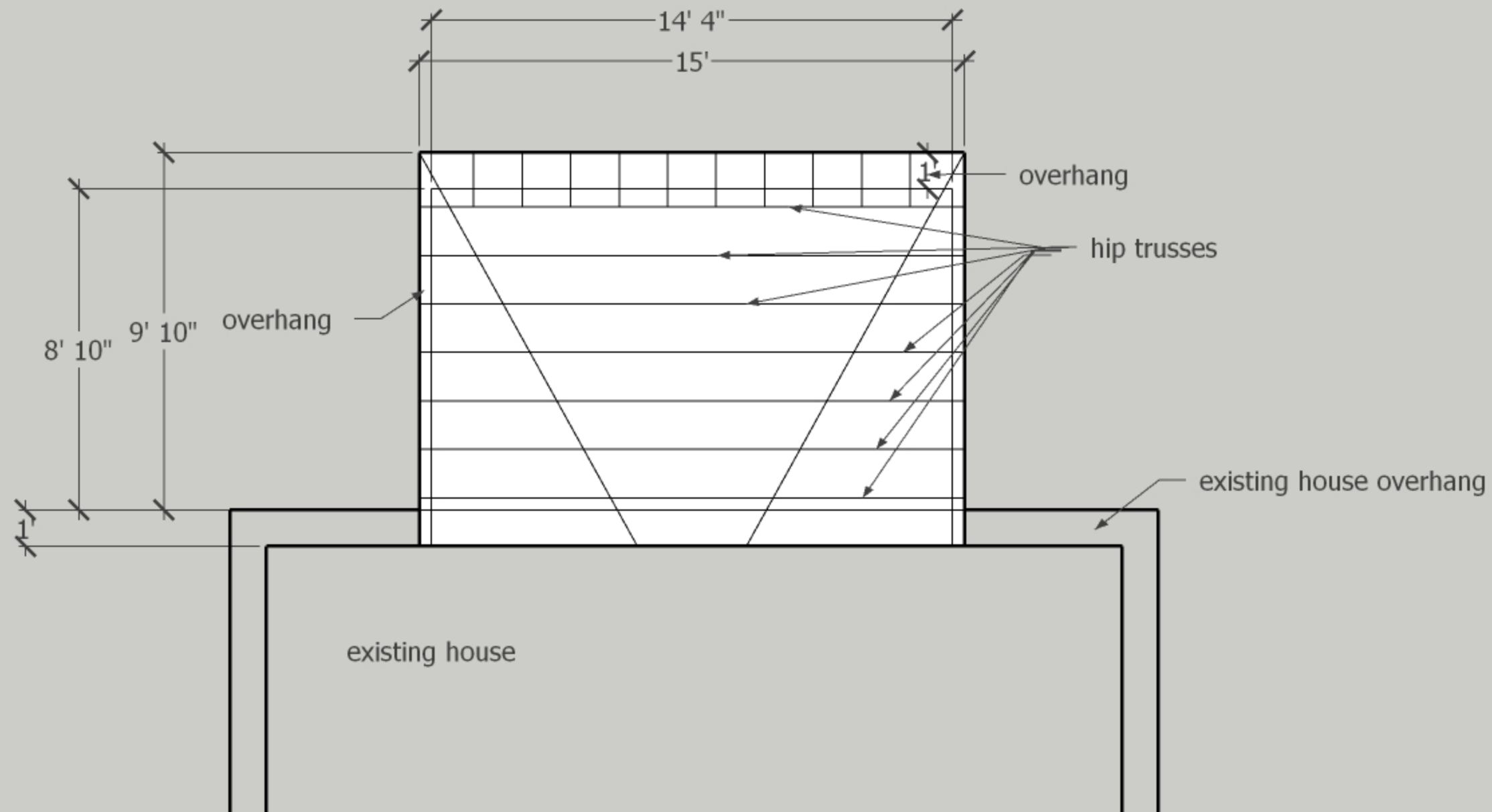


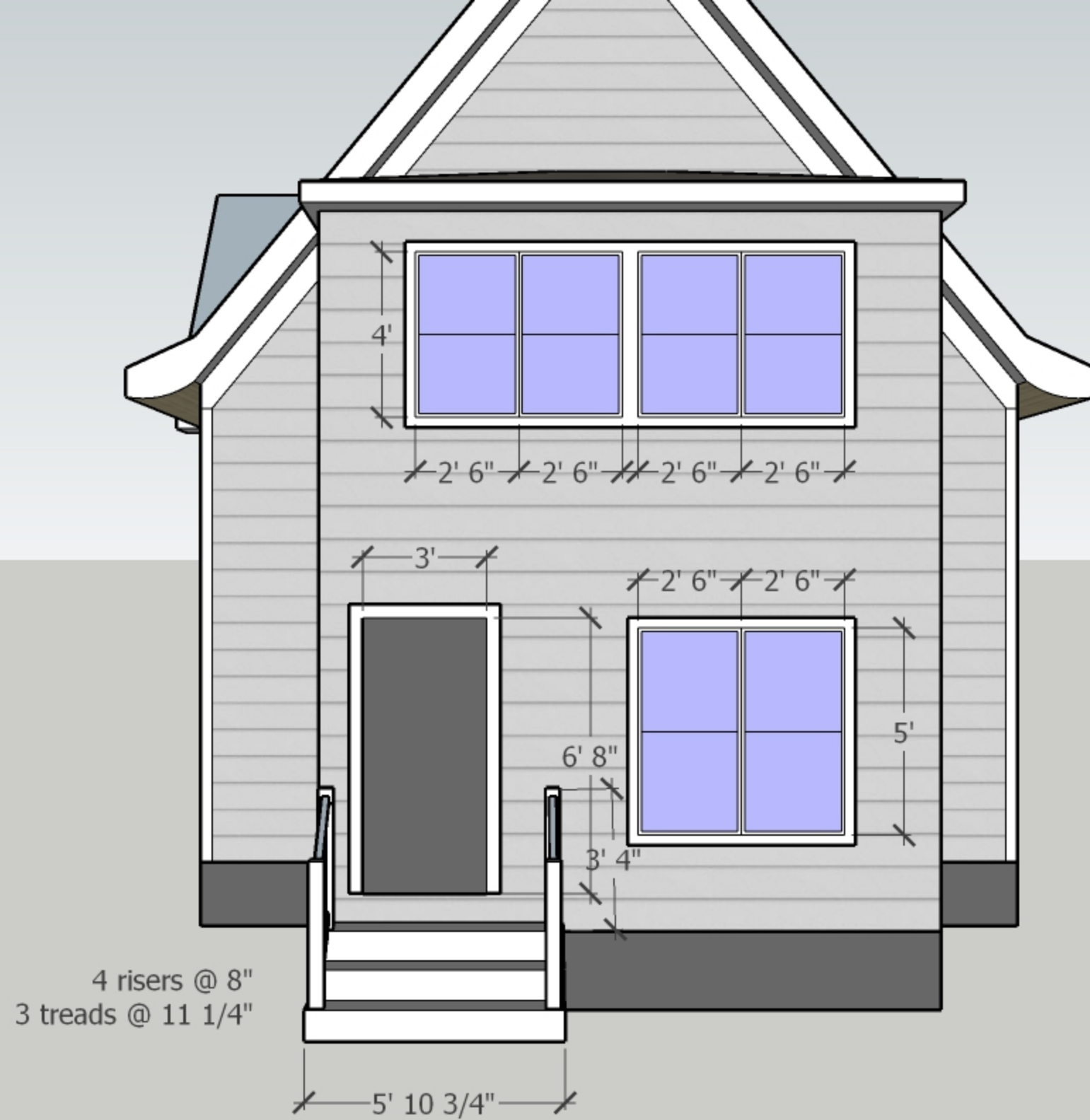
SPAIGHT STREET

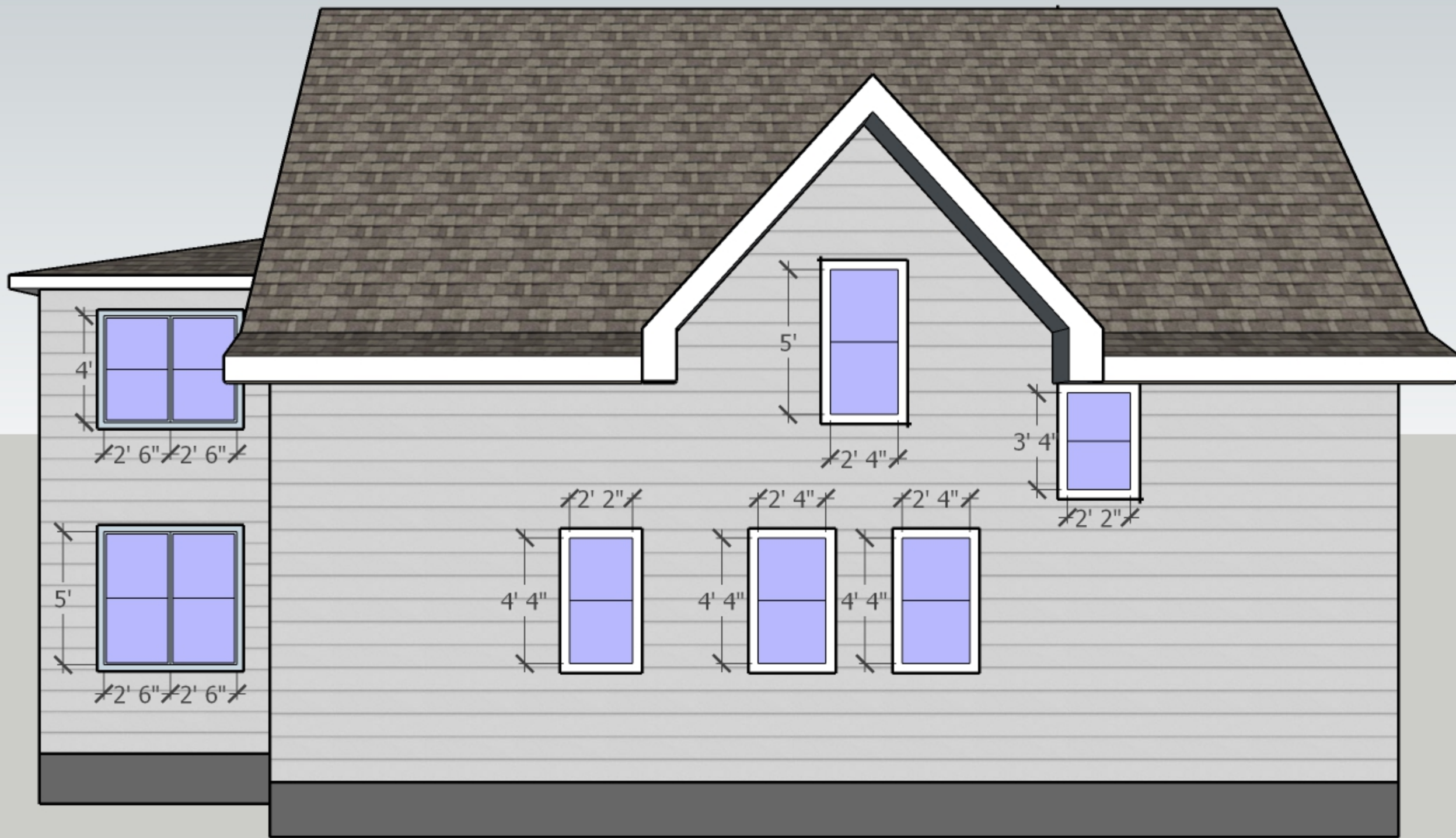
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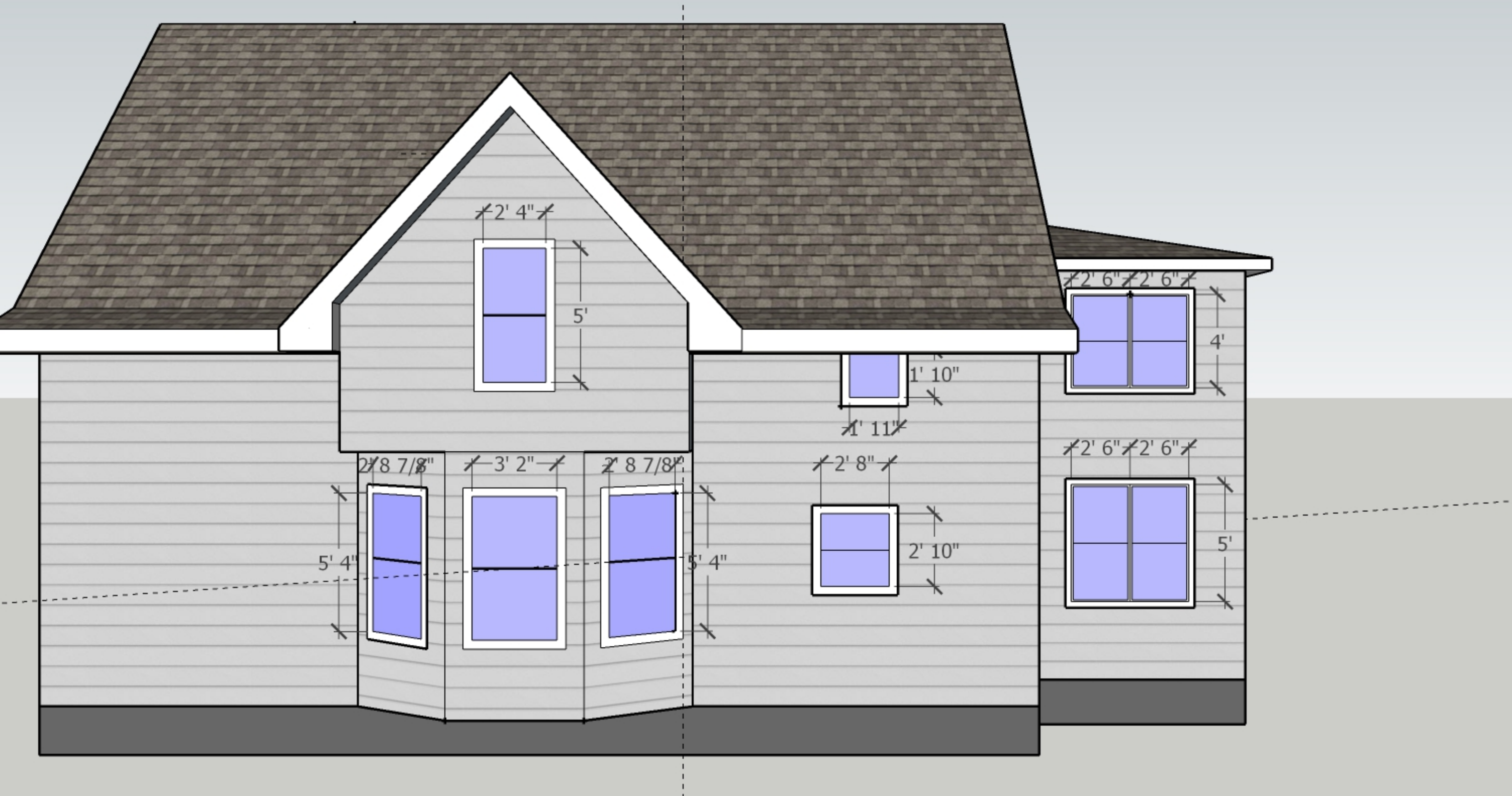
Scale: 1" = 20'-0"

5 OF 5

















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3.8 (17)

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Clear 1 Lite No Grid



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Deck Lighting ▾

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Stair Rail & Baluster Kit For Trex Signature Aluminum Railing

\$299.99 ⓘ

★★★★★ 11 Reviews
7 Questions | 7 Answers

COLOR



TYPE

Choose an Option... ▾

RAIL HEIGHT

Choose an Option... ▾

RAIL LENGTH

Choose an Option... ▾

QUANTITY:

— 1 +

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Choose options above to see availability