

# URBAN DESIGN COMMISSION APPLICATION



City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: 3005 University Avenue, Madison, WI 53705

Title: 3005 University Ave. Redevelopment

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 3/30/2022

- ☐ New development      ☐ Alteration to an existing or previously-approved development  
☐ Informational      ☐ Initial approval      ☒ Final approval

## 3. Project Type

- ☒ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
    ☐ General Development Plan (GDP)  
    ☐ Specific Implementation Plan (SIP)  
☐ Planned Multi-Use Site or Residential Building Complex

### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)  
☐ Signage Exception

### Other

- ☐ Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** John Flad  
**Street address** 3330 University Ave Ste 206  
**Telephone** (608) 833-8100

**Project contact person** Kevin Burow  
**Street address** 7601 University Ave.  
**Telephone** 608-836-3690

**Property owner (if not applicant)** LEONARD W. SCHMOCK AND JANET N. SCHMOCK REVOCABLE TRUST

**Street address** 3005 UNIVERSITY AVE. **City/State/Zip** MADISON, WI. 53705

**Telephone** (608) 235-8150 **Email** TOMSCHMOCK@gmail.com

**Company** Flad Development & Investment Corp.

**City/State/Zip** Madison, WI 53705

**Email** JFlad@flad-development.com

**Company** Knothe & Bruce Architects, LLC

**City/State/Zip** Middleton, WI 53562

**Email** kburow@knothebruce.com

**5. Required Submittal Materials**

- ☐ **Application Form**
- ☐ **Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☐ **Development Plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☐ **Electronic Submittal\***
- ☐ **Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

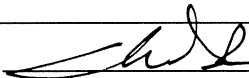
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant John Flad Relationship to property CONTRACTUAL OWNER  
 Authorizing signature of property owner  - trustee Date 11/24/21

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



January 10, 2022

**Revised: February 22, 2022**



Ms. Heather Stouder  
Director, Planning Division  
City of Madison Department of Planning & Community & Economic Development  
215 Martin Luther King Jr. Blvd., Ste 017  
Madison, Wisconsin 53703

RE: Letter of Intent

3005 University Ave., Madison, WI  
Land Use and Urban Design Commission Submittal  
KBA Project# 1838

Ms. Heather Stouder,

The following is submitted together with the plans and application for the staff, Plan Commission's, and Urban Design Commission's consideration of approval.

Owner: Flad Development  
3330 University Ave. Unit 206  
Madison, WI 53705  
608-833-8100  
Contact: John Flad  
[JFlad@flad-development.com](mailto:JFlad@flad-development.com)

Architect: Knothe & Bruce Architects, LLC  
7601 University Avenue, Ste 201  
Middleton, WI 53562  
608-836-3690  
Contact: Kevin Burow  
[kburow@knothebruce.com](mailto:kburow@knothebruce.com)

Engineer: Vierbicher Associates, Inc.  
999 Fourier Dr.  
Madison, WI 53717  
(608) 826-0532  
Contact: Justin Zampardi  
[jzam@vierbicher.com](mailto:jzam@vierbicher.com)

Landscape Design: The Bruce Company  
2830 Parmenter St.  
Middleton, WI 53562  
(608) 836-7041  
Contact: Rich Strohmenger  
[RStrohmenger@brucecompany.com](mailto:RStrohmenger@brucecompany.com)

### **Introduction:**

This mixed-use development involves the redevelopment of 3005 University Ave., located at the corner of University Ave and Schmitt Place. The site is currently occupied by an existing, single-story restaurant with surface parking lot. The site is zoned CC-T (Commercial Corridor-Transitional District) and is located within the Rocky Bluff Neighborhood. This proposed development is also within the Urban Design District #6. The existing CC-T zoning will remain for the proposed redevelopment.

The Comprehensive Plan calls for Community Mixed Use in a 2 to 6 story building with up to 130 housing units per acre. The site will provide the opportunity for new construction of much needed residential units that will enhance the area along the University Avenue corridor, while providing easy access to everywhere in the city for the residents.

### **Project Description:**

This development proposes a five-story mixed-use building with structured underground parking and enclosed first floor parking. There will be first floor commercial space along with a total of 59 dwelling units that consist of studios, one-bedrooms, one-bedroom plus den, and two-bedroom apartments. The building front façade steps back at the 5<sup>th</sup> floor level and this provides an area for all residents to be able to relax and socialize on the 5<sup>th</sup> floor roof deck.

The first-floor commercial space is accessible off of the public sidewalk along University Ave via a shared entry with the Apartments and is also accessible from the protected parking area located directly behind this space at the first-floor level.

### **City and Neighborhood Input:**

We have connected with the City on several occasions for this proposed development including interactions with Staff and attending a DAT Meeting and this input has helped shape this proposed development. A neighborhood meeting is being hosted by Alder Regina Vidaver and led by Tim Parks as well. Flad Development also reached out to bordering neighbors on multiple occasions through-out the planning process, particularly Barry Berman of Bagels Forever, the immediate neighbor to the east, and we are incorporating accommodations for their semi-truck turn-around utilizing a portion of our property.

### **Demolition Standards**

The Smoky's Club structure to be removed has served the community well and has perhaps been a favorite restaurant to visit, but the Owners have chosen to close this business and focus their attention on a new restaurant that they will open in Mt. Horeb. This existing building is not a landmark structure, nor is it of an uncommon or unusual design or method of construction, and as such should meet the demolition criteria. Also, all of the mechanical systems within the current structure are antiquated and inefficient and are not able to be utilized for re-use. We believe the demolition standards can be met, and a Re-use and Recycling Plan will be submitted prior to the deconstruction of the existing commercial structure.

### **Conformance with adopted plans**

The project has been designed to generally conform to the guidelines set in the Comprehensive Plan, UDD #6 Guidelines, and the Hoyt Park Area Joint Neighborhood Plan.

Based on the adopted plans the following guidelines apply to the site and have been incorporated into the design of the proposed project:

- Community mixed-use with commercial, restaurants, office and retail on the first floor.
- Residential or office on upper floors.
- Pedestrian-oriented, mixed-use design with building entries oriented toward the city sidewalks.
- Compact building design and structured parking.
- Residential densities up to 130 units/acre.
- Parking should be sited to the rear of University Avenue, with access from side streets.
- Parking should be screened or landscaped, and our parking is completely contained within and

under the building.

- A maximum building height of 5 stories along University Avenue. Note that the neighborhood plan restricts the height to 5 stories as well.
- Exterior building materials shall be low maintenance and harmonious with those used on the other buildings in the area.
- All building elevations are of importance and should be carefully designed.
- Landscaping shall be used for functional as well as decorative purposes, including framing desirable views, screening different uses from each other, and complementing the architecture of the building.

### **Site Development Data:**

#### **Densities:**

Lot Area	26,142 S.F. / 0.60 acres
Dwelling Units	59 DU
Lot Area / D.U.	443 S.F./D.U.
Density	98 units/acre
Open Space	7,840 S.F.
Open Space / Unit	133 S.F./Unit (40 S.F./Unit Required)
Lot Coverage	21,680 S.F. = 83% of total lot (85% Max.)

**Building Height:** 5 Stories

**Commercial Area:** 1,340 S.F.

#### **Dwelling Unit Mix:**

Efficiency	14
One Bedroom	24
One Bedroom + Den	11
<u>Two Bedroom</u>	<u>10</u>
Total Dwelling Units	59

#### **Vehicle Parking:**

Surface	11 stalls
<u>Enclosed</u>	<u>64 stalls</u>
Total	75 stalls

#### **Bicycle Parking:**

Surface Guest & Commercial Use	11 stalls
Underground Garage F.M.	53 stalls
<u>Underground Garage W.M.</u>	<u>6 stalls</u>
Total	70 stalls

**Project Schedule:**

It is anticipated that the construction on this site will begin in Summer 2022 with a final completion date of Summer of 2023.

Thank you for your time reviewing our proposal.

Sincerely,

A handwritten signature in black ink that reads "Kevin Burow". The signature is fluid and cursive, with the first name "Kevin" and last name "Burow" clearly distinguishable.

Kevin Burow, AIA, NCARB, LEED AP  
Managing Manager



Existing Building to be Removed – Exterior & Interior Photos

Name: Flad Development – 3005 University Ave. Redevelopment

Number: #1838

Address: 3005 University Avenue, Madison, WI 53705





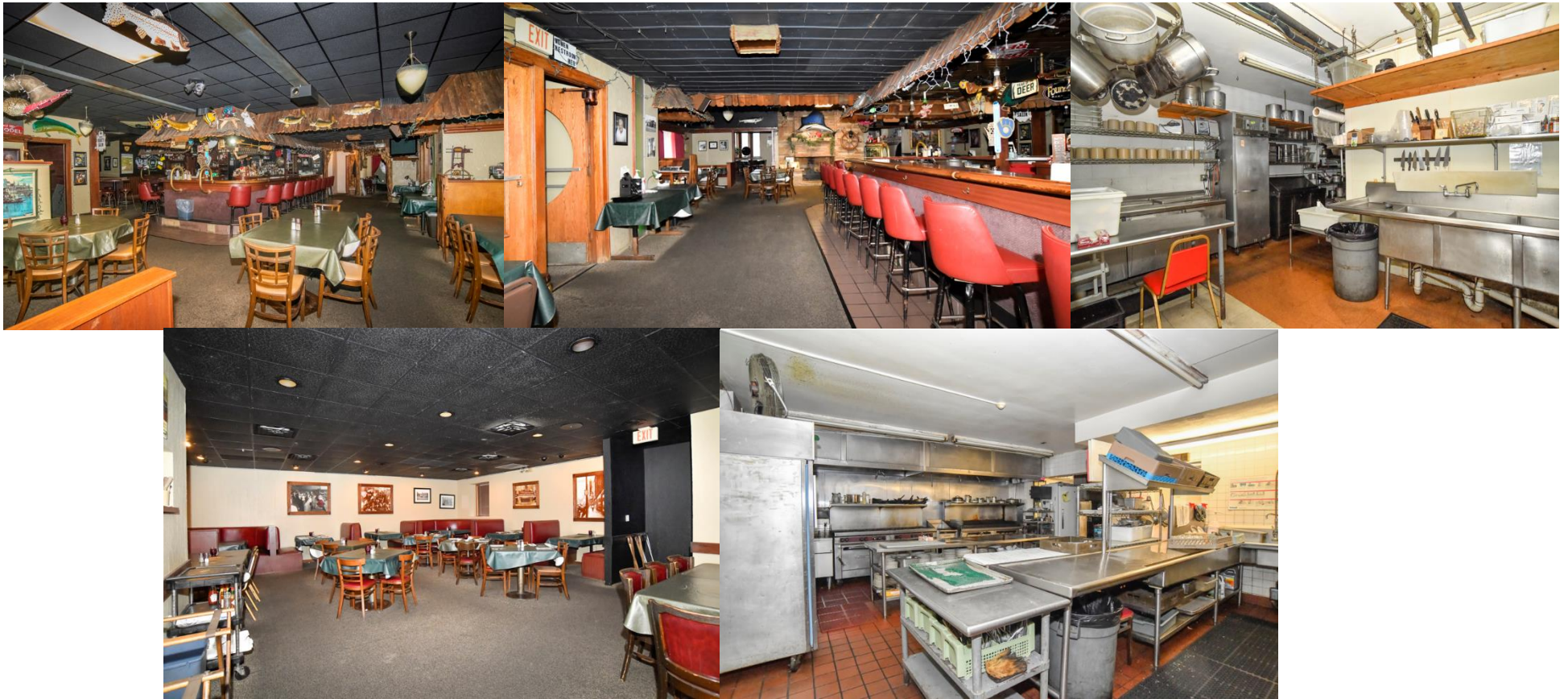


Existing Building to be Removed – Exterior & Interior Photos

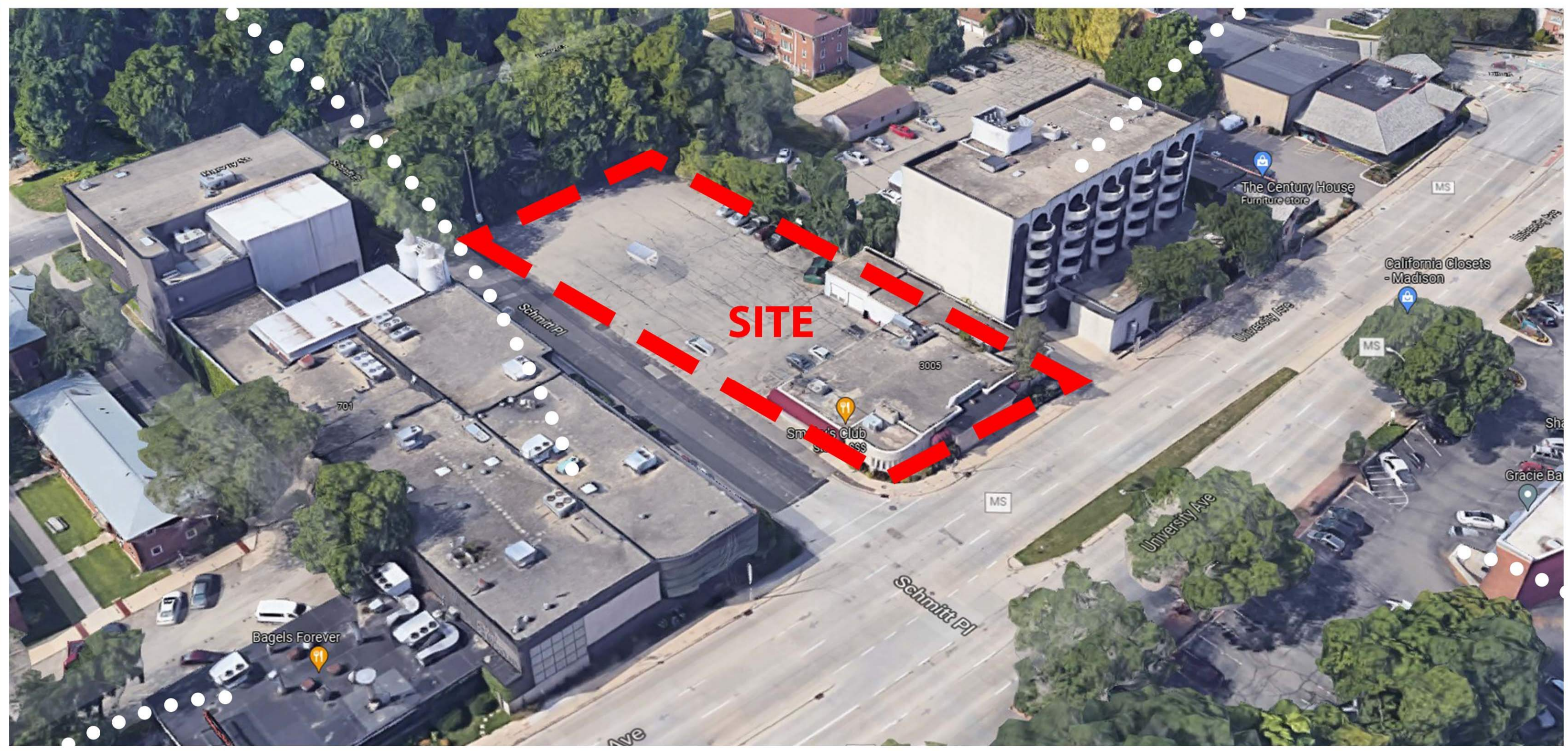
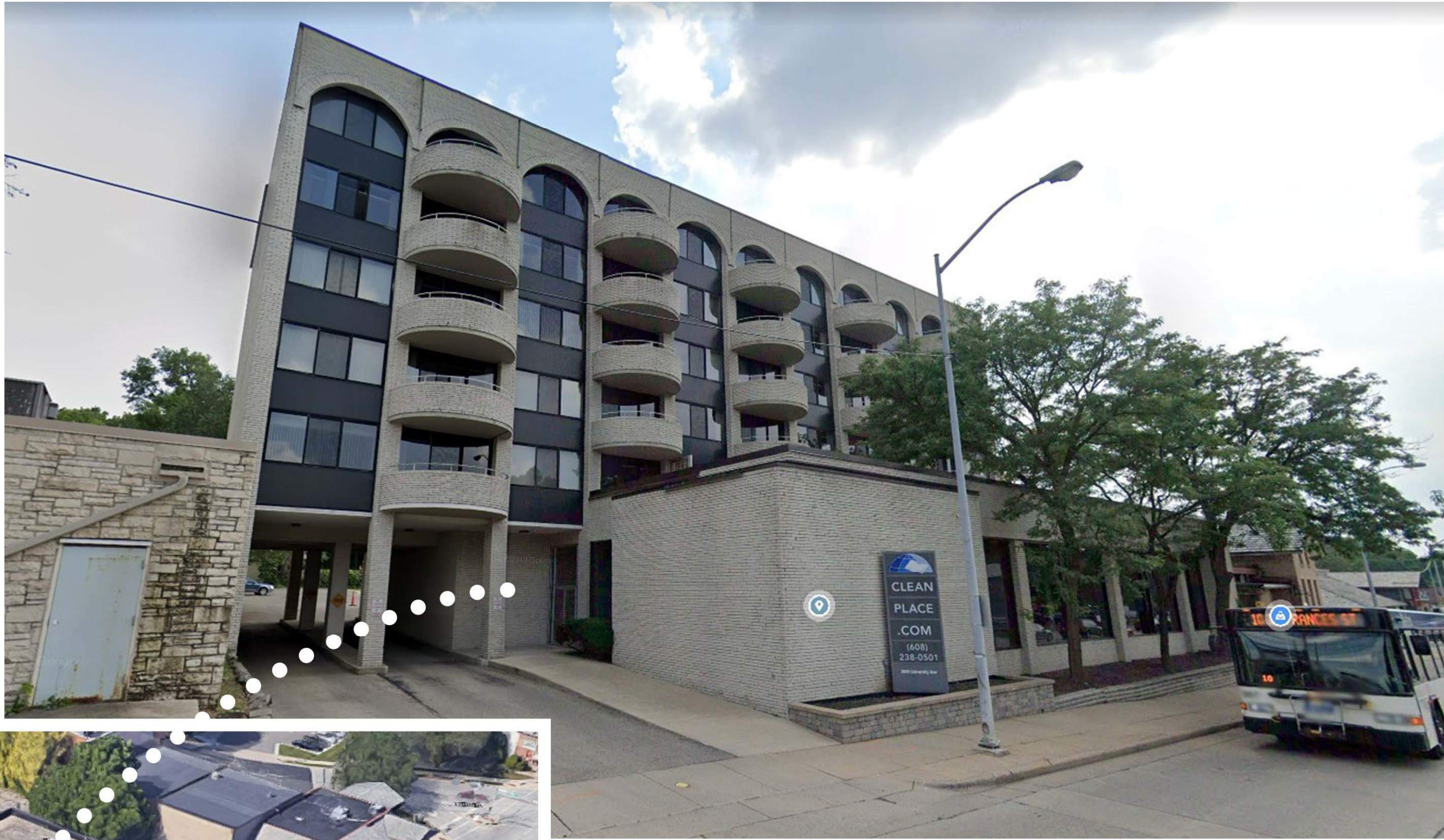
Name: Flad Development – 3005 University Ave. Redevelopment

Number: #1838

Address: 3005 University Avenue, Madison, WI 53705









GENERAL NOTES:

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](http://CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM)

6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

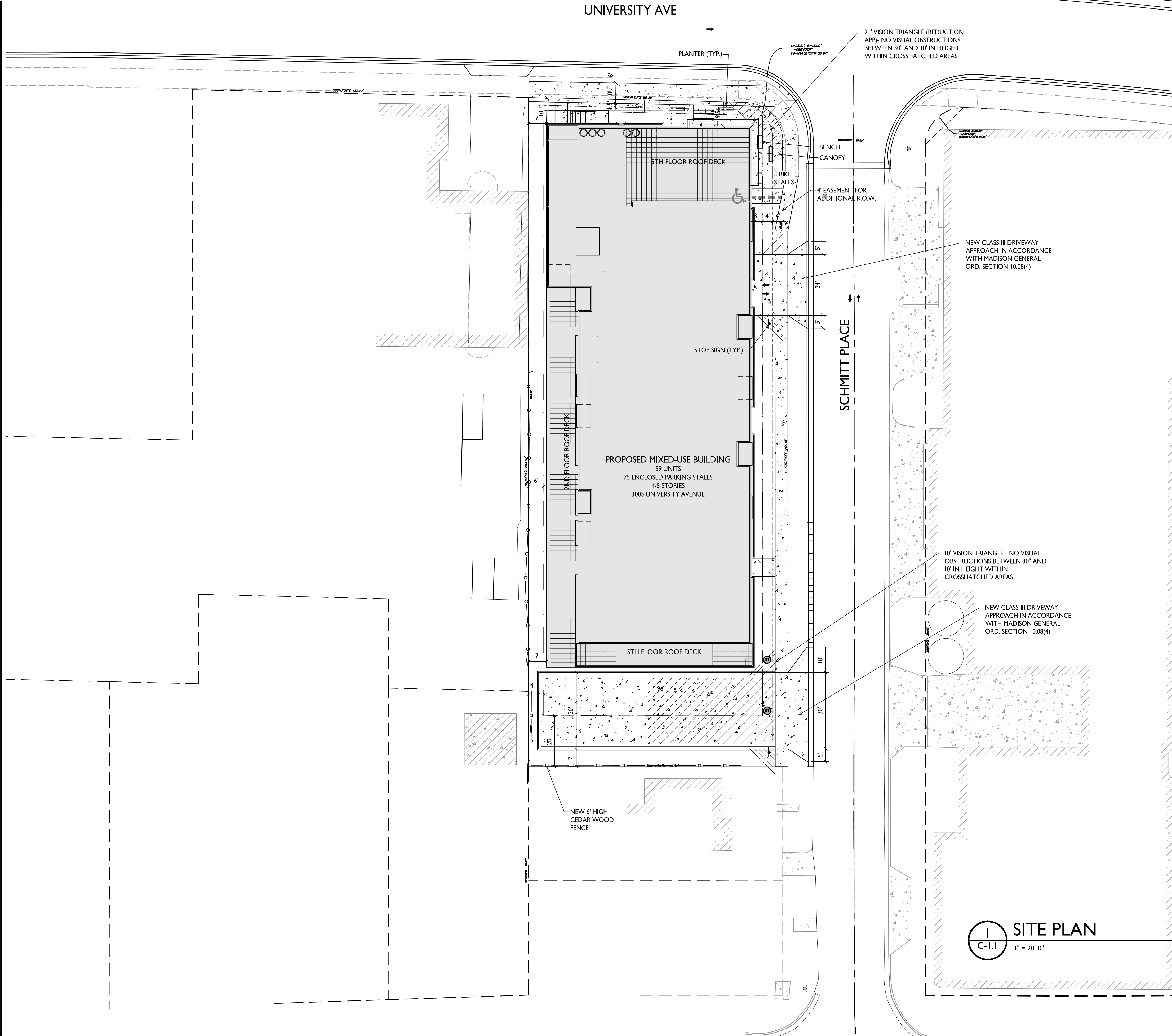
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.

10. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

11. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).

12. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



SHEET INDEX

SITE

C-1.1  
C-1.2  
C-1.3  
C-1.4  
C-1.5  
C-1.0  
C-2.0  
C-3.0  
C-3.1  
C-3.2  
C-4.0  
C-4.1  
C-4.2

SITE PLAN  
OVERALL SITE LIGHTING  
FIRE DEPARTMENT ACCESS  
LOT COVERAGE  
USABLE OPEN SPACE  
EXISTING CONDITIONS  
DEMOLITION PLAN  
OVERALL GRADING & EROSION PLAN  
GRADING PLAN - NORTH  
GRADING PLAN - SOUTH  
OVERALL UTILITY PLAN  
UTILITY PLAN - NORTH  
UTILITY PLAN - SOUTH

L-1.1

LI

LANDSCAPE PLAN  
LANDSCAPE WORKSHEET

ARCHITECTURAL

A-1.0  
A-1.1  
A-1.2  
A-1.3  
A-1.4  
A-1.5  
A-2.1  
A-2.2  
A-2.3  
A-2.4  
A-2.5

BASEMENT PLAN  
FIRST FLOOR PLAN  
SECOND FLOOR PLAN  
THIRD FLOOR PLAN  
FOURTH FLOOR PLAN  
ROOF PLAN  
EXTERIOR ELEVATIONS  
EXTERIOR ELEVATIONS  
ELEVATIONS COLORED  
EXTERIOR RENDERINGS  
ELEVATIONS COLORED  
EXTERIOR RENDERINGS

Site Development Data:

Zoning: CC-T  
Densities:  
Lot Area: 26,142 S.F./0.6 ACRES  
Dwelling Units: 59 units  
Lot Area / D.U.: 443 S.F./D.U.  
Density: 98 units/Acre  
Usable Open Space: 7,840 S.F. (133 S.F./unit)  
Lot Coverage: 21,680 S.F. (83%)  
Building Height: 5 stories  
Commercial Area: 1,340 S.F.

Dwelling Unit Mix:

Efficiency: 14  
One Bedroom: 24  
One Bedroom + Den: 11  
Two Bedroom: 10  
Total Dwelling Units: 59

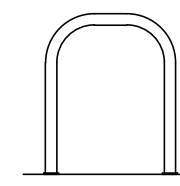
Vehicle Parking Stalls:

Underground Garage: 64  
Surface: 11  
Total: 75

Bicycle Parking:

Garage - wall mount: 6  
Garage - floor mount: 53  
Surface - Commercial/Guests: 11  
Total: 70

BIKE RACKS:



INTERIOR & EXTERIOR FLOOR MOUNTED: "INVERTED U" TYPE. MADRAX UX OR SARIS BIKE DOCK



knothe & bruce  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED

Issued for Review - Nov. 12, 2021  
Issued for UDC Info. Submittal - Nov. 29, 2021  
UDC & Land Use Submittal - Jan. 10, 2022  
UDC & Land Use Resubmittal - Feb. 03, 2022  
UDC Resubmittal - Feb. 22, 2022

PROJECT TITLE

3005 University Ave  
Redevelopment

3005 University Ave  
Madison, Wisconsin

SHEET TITLE

Site Plan

SHEET NUMBER

C-1.1

PROJECT NO.

1838

© Knothe & Bruce Architects, LLC





**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

**ISSUED**  
Issued for Review - Nov. 12, 2021  
Issued for UDC Info. Submittal - Nov. 29, 2021  
UDC & Land Use Submittal - Jan. 10, 2022  
UDC & Land Use Resubmittal - Feb. 03, 2022  
UDC Resubmittal - Feb. 22, 2022

**PROJECT TITLE**  
3005 University Ave  
Redevelopment

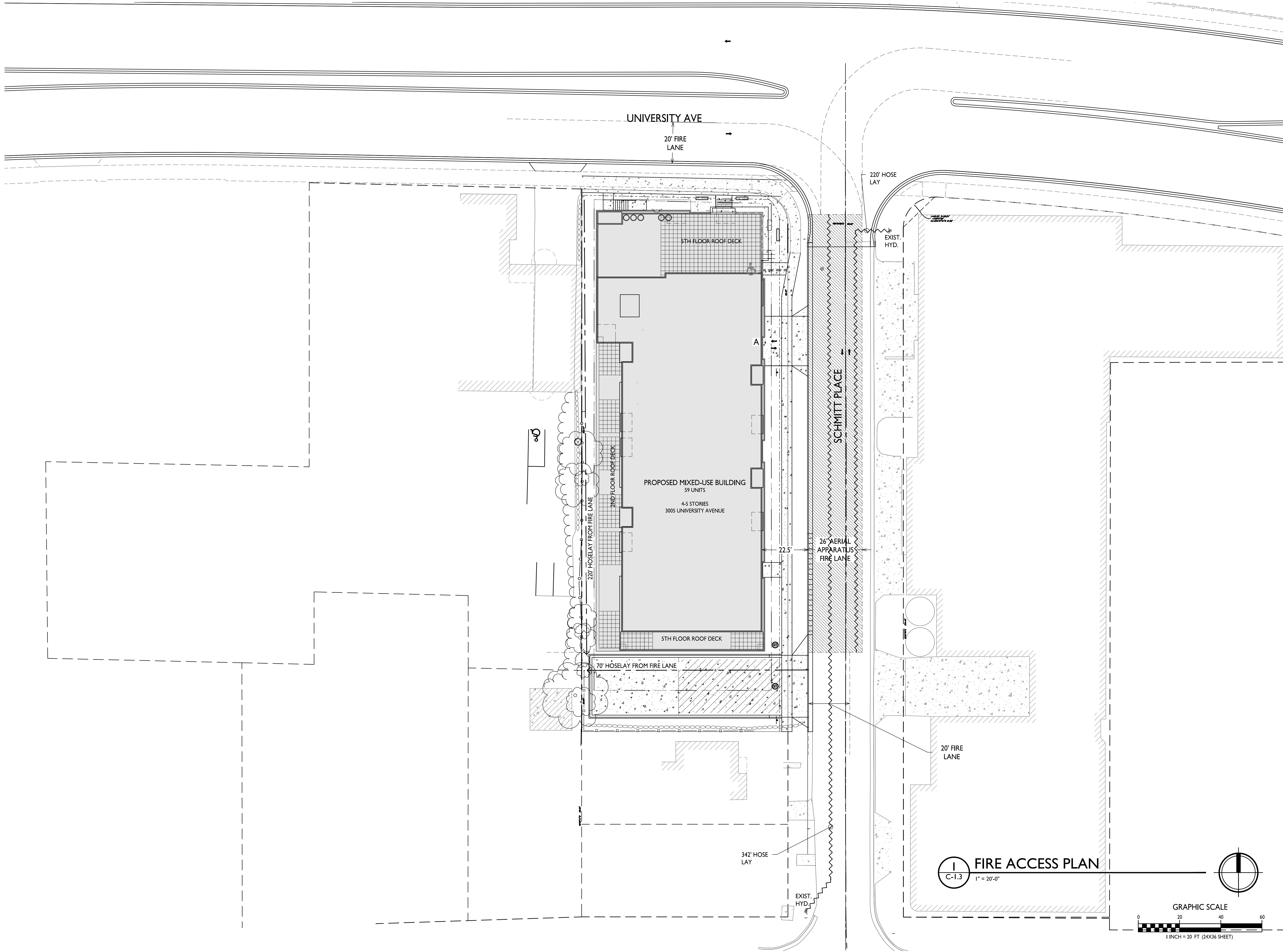
3005 University Ave  
Madison, Wisconsin  
**SHEET TITLE**  
Fire Access Plan

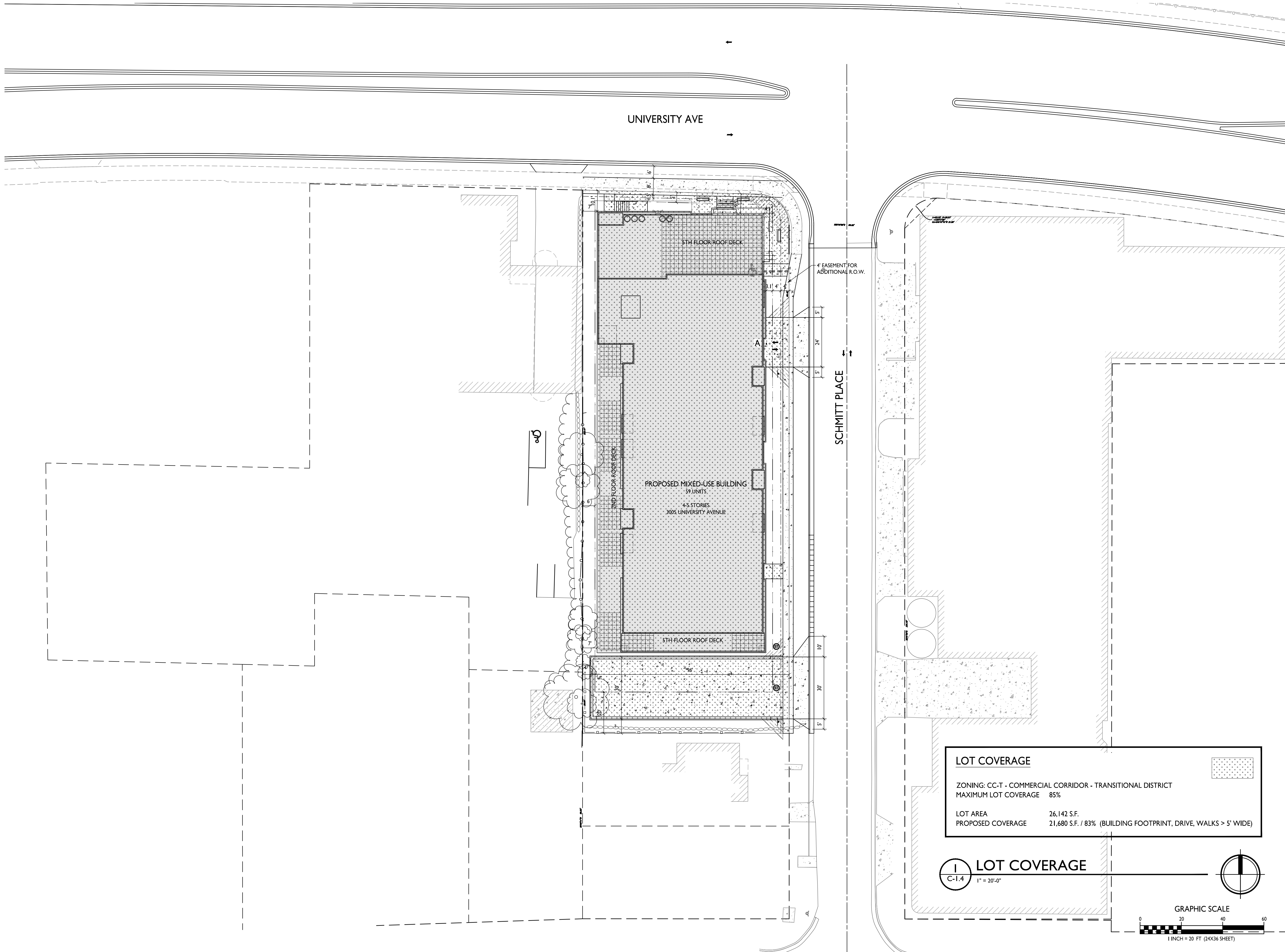
**SHEET NUMBER**

**C-1.3**

**PROJECT NO.** 1838

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ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

**ISSUED**  
Issued for Review - Nov. 12, 2021  
Issued for UDC Info. Submittal - Nov. 29, 2021  
UDC & Land Use Submittal - Jan. 10, 2022  
UDC & Land Use Resubmittal - Feb. 03, 2022  
UDC Resubmittal - Feb. 22, 2022

**PROJECT TITLE**  
3005 University Ave  
Redevelopment

3005 University Ave  
Madison, Wisconsin  
**SHEET TITLE**  
Lot Coverage

**SHEET NUMBER**

**C-1.4**

**PROJECT NO.** 1838

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**LOT COVERAGE**

ZONING: CC-T - COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT

MAXIMUM LOT COVERAGE 85%

LOT AREA 26,142 S.F.

PROPOSED COVERAGE 21,680 S.F. / 83% (BUILDING FOOTPRINT, DRIVE, WALKS > 5' WIDE)

1

C-1.4

**LOT COVERAGE**

1" = 20'-0"

**GRAPHIC SCALE**

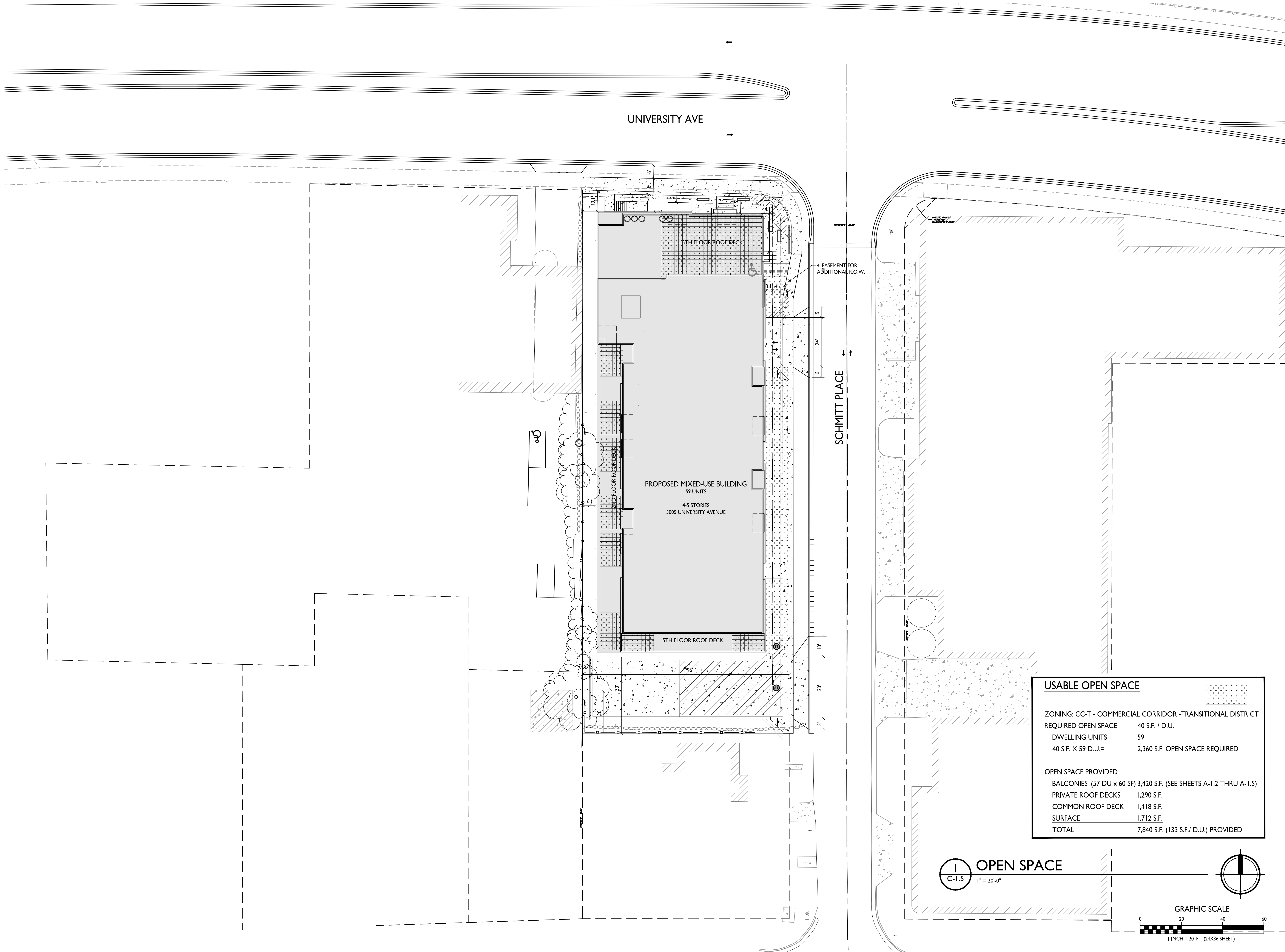
0

20

40

60

1 INCH = 20 FT (24X36 SHEET)



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ARCHITECTS

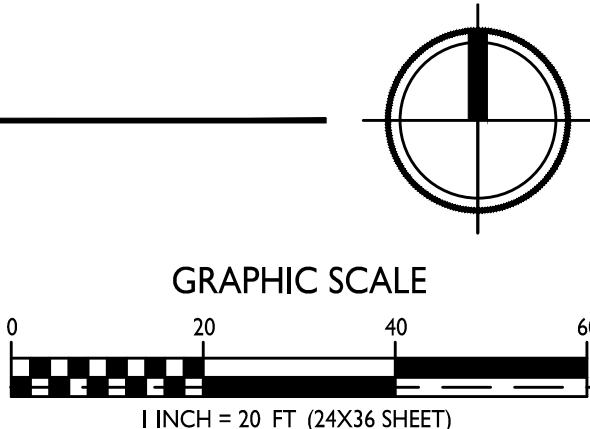
Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

**ISSUED**  
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UDC Resubmittal - Feb. 22, 2022

**PROJECT TITLE**  
3005 University Ave  
Redevelopment

USABLE OPEN SPACE	
ZONING: CC-T - COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT	
REQUIRED OPEN SPACE	40 S.F. / D.U.
DWELLING UNITS	59
40 S.F. X 59 D.U.=	2,360 S.F. OPEN SPACE REQUIRED
OPEN SPACE PROVIDED	
BALCONIES (57 DU x 60 SF)	3,420 S.F. (SEE SHEETS A-1.2 THRU A-1.5)
PRIVATE ROOF DECKS	1,290 S.F.
COMMON ROOF DECK	1,418 S.F.
SURFACE	1,712 S.F.
TOTAL	7,840 S.F. (133 S.F./ D.U.) PROVIDED

**I**  
C-1.5  
1" = 20'-0"



**3005 University Ave**  
Madison, Wisconsin  
**SHEET TITLE**  
Open Space

**SHEET NUMBER**  
**C-1.5**  
**PROJECT NO.** 1838

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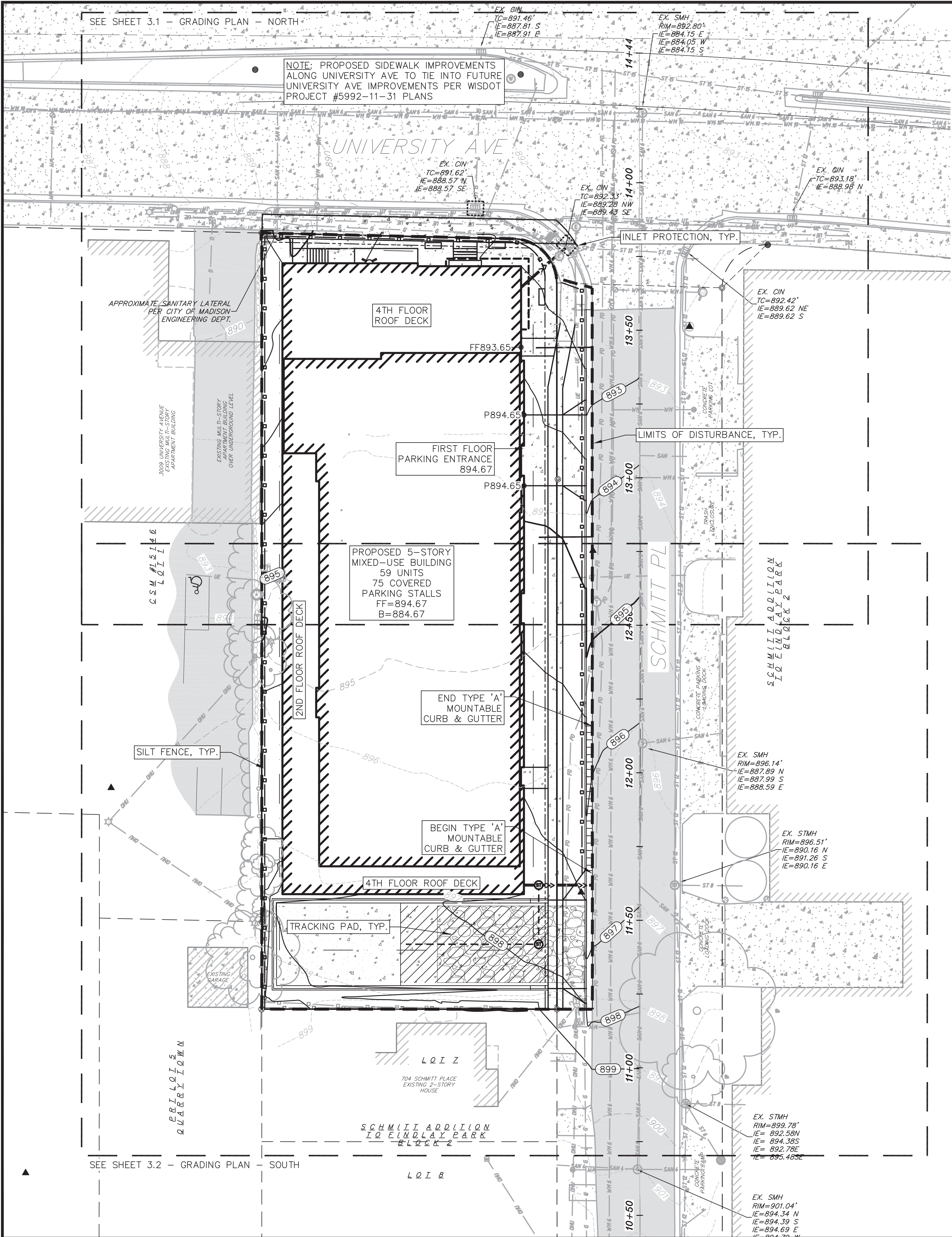












GRADING NOTES:

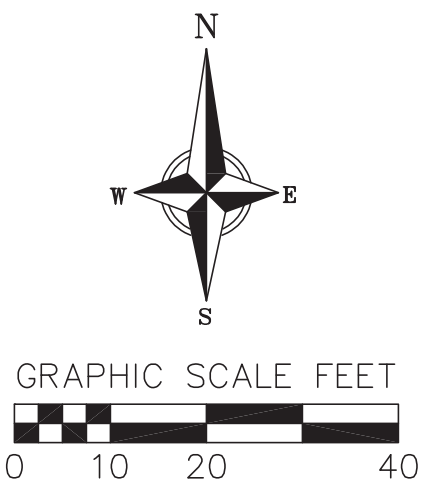
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
4. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
5. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
6. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
7. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
8. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
9. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
3. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
4. INSTALL WISDOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND WISDOT TYPE A IN FIELD INLETS.
5. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING.
6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

RIGHT-OF-WAY NOTES:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY/DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXX, CONTRACT #XXXX.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.



GRADING LEGEND

- 820 - EXISTING MAJOR CONTOURS
- 819 - EXISTING MINOR CONTOURS
- 820 - PROPOSED MAJOR CONTOURS
- 819 - PROPOSED MINOR CONTOURS
- - DITCH CENTERLINE
- - SILT FENCE
- - DISTURBED LIMITS
- - DRAINAGE DIRECTION
- - PROPOSED SLOPE ARROWS
- - EXISTING SPOT ELEVATIONS
- - PROPOSED SPOT ELEVATIONS
- - INLET PROTECTION
- - TRACKING PAD

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- SW - TOP OF WALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

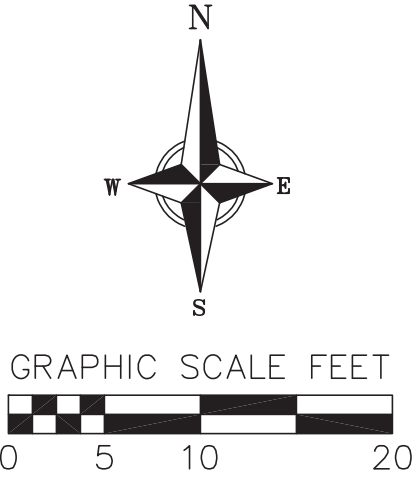
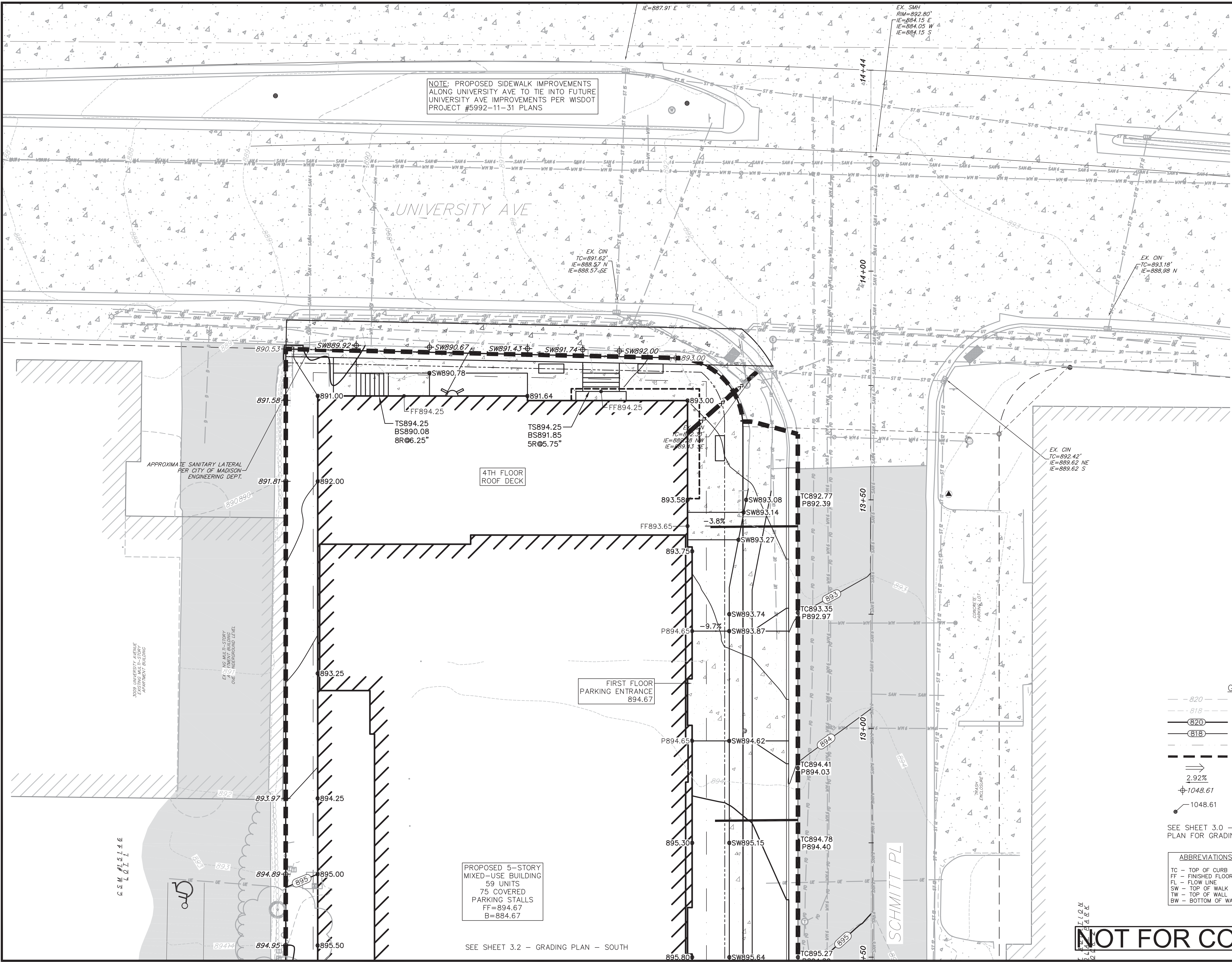
NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS
DATE			
02/03/2022			
DRAFTER			
ZDRE			
CHECKED			
JZAM			
PROJECT NO.			
190018			
C3.0			



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03 Feb 2022 - 1:57p M:\lod development\190018\_3005 university avenue\CADD\190018\_Grading Erosion Control Plans.dwg by: zdre

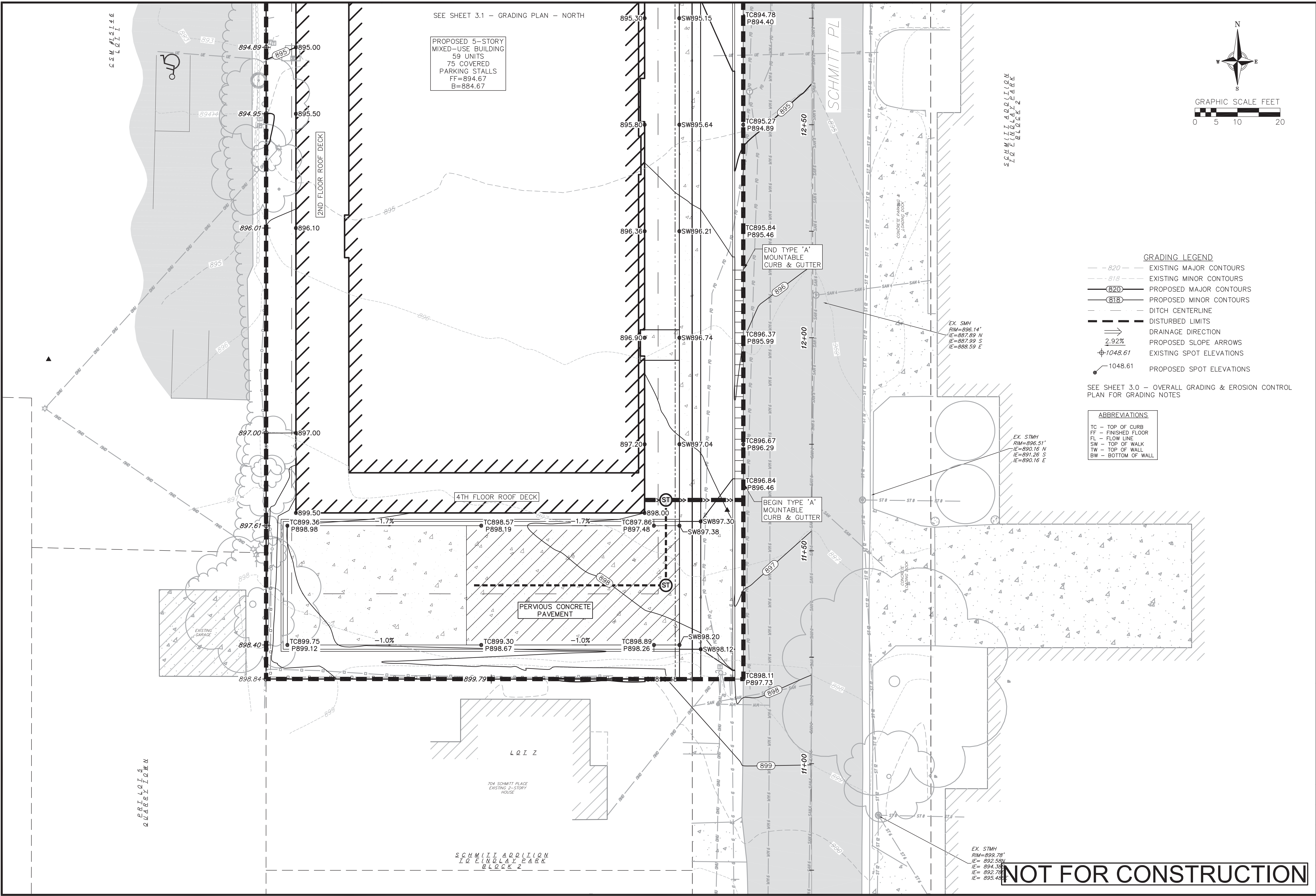


**vierbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

Grading Plan - North  
3005 University Avenue  
City of Madison  
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
DATE	02/03/2022		
DRAFTER	ZDRE		
CHECKED	JZAM		
PROJECT NO.	190018		
C3.1			





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Grading Plan - South

3005 University Avenue  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE  
02/03/2022

DRAFTER  
ZDRE








































CHECKED  
JZAM

PROJECT NO.  
190018



















C3.2


















-  EXISTING BOLLARD
-  EXISTING POST
-  EXISTING SIGN (TYPE NOTED)
-  EXISTING CURB INLET
-  EXISTING FIELD INLET RECTANGULAR
-  EXISTING FIELD INLET
-  EXISTING ROOF DRAIN
-  EXISTING STORM MANHOLE
-  EXISTING STORM MANHOLE RECTANGULAR
-  EXISTING SANITARY MANHOLE
-  EXISTING FIRE HYDRANT
-  EXISTING WATER MAIN VALVE
-  EXISTING CURB STOP
-  EXISTING WATER MANHOLE
-  EXISTING GAS VALVE
-  EXISTING GAS METER
-  EXISTING AIR CONDITIONING PEDESTAL
-  EXISTING DOWN GUY
-  EXISTING ELECTRIC MANHOLE
-  EXISTING ELECTRIC RECTANGULAR MANHOLE
-  EXISTING ELECTRIC PEDESTAL
-  EXISTING TRANSFORMER
-  EXISTING ELECTRIC METER
-  EXISTING GUY POLE
-  EXISTING LIGHT POLE
-  EXISTING GENERIC LIGHT
-  EXISTING UTILITY POLE
-  EXISTING TV MANHOLE
-  EXISTING TV RECTANGULAR MANHOLE
-  EXISTING TV PEDESTAL
-  EXISTING TELEPHONE MANHOLE
-  EXISTING TELEPHONE PEDESTAL
-  EXISTING UNIDENTIFIED MANHOLE
-  EXISTING UNIDENTIFIED UTILITY VAULT
-  EXISTING HANDICAP PARKING
-  EXISTING TRAFFIC SIGNAL
-  EXISTING SHRUB
-  EXISTING CONIFEROUS TREE
-  EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

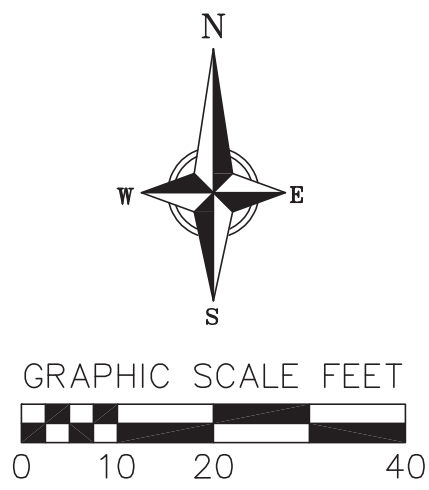
- |   |   |
|---|---|
|  | EXISTING UNDERGROUND CABLE TV             |
|  | EXISTING OVERHEAD CABLE TV                |
|  | EXISTING FIBER OPTIC LINE                 |
|  | EXISTING OVERHEAD TELEPHONE LINE          |
|  | EXISTING UNDERGROUND TELEPHONE            |
|  | EXISTING RETAINING WALL                   |
|  | EXISTING CHAIN LINK FENCE                 |
|  | EXISTING GENERAL FENCE                    |
|  | EXISTING WIRE FENCE                       |
|  | EXISTING WOOD FENCE                       |
|  | EXISTING GAS LINE                         |
|  | EXISTING UNDERGROUND ELECTRIC LINE        |
|  | EXISTING GUY LINE                         |
|  | EXISTING OVERHEAD ELECTRIC LINE           |
|  | EXISTING OVERHEAD GENERAL UTILITIES       |
|  | EXISTING SANITARY SEWER LINE (SIZE NOTED) |
|  | EXISTING STORM SEWER LINE (SIZE NOTED)    |
|  | EXISTING WATER MAIN (SIZE NOTED)          |

### PROPOSED UTILITY LEGEND

- |   |                             |
|---|-----------------------------|
|  | STORM SEWER PIPE            |
|  | STORM SEWER MANHOLE         |
|  | STORM SEWER CURB INLET      |
|  | STORM SEWER FIELD INLET     |
|  | ROOF DRAIN CLEANOUT         |
|  | SANITARY SEWER LATERAL PIPE |
|  | SANITARY SEWER CLEANOUT     |
|  | WATER SERVICE LATERAL PIPE  |
|  | FIRE HYDRANT                |
|  | WATER VALVE                 |
|  | PROPOSED PIPE INSULATION    |
|  | GAS MAIN                    |
|  | ELECTRIC SERVICE            |

## ABBREVIATIONS

- STMH - STORM MANHOLE  
FI - FIELD INLET  
CI - CURB INLET  
CB - CATCH BASIN  
EW - ENDWALL  
SMH - SANITARY MANHOLE



UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).

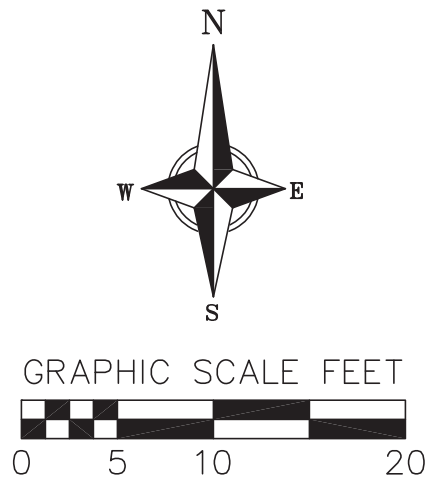
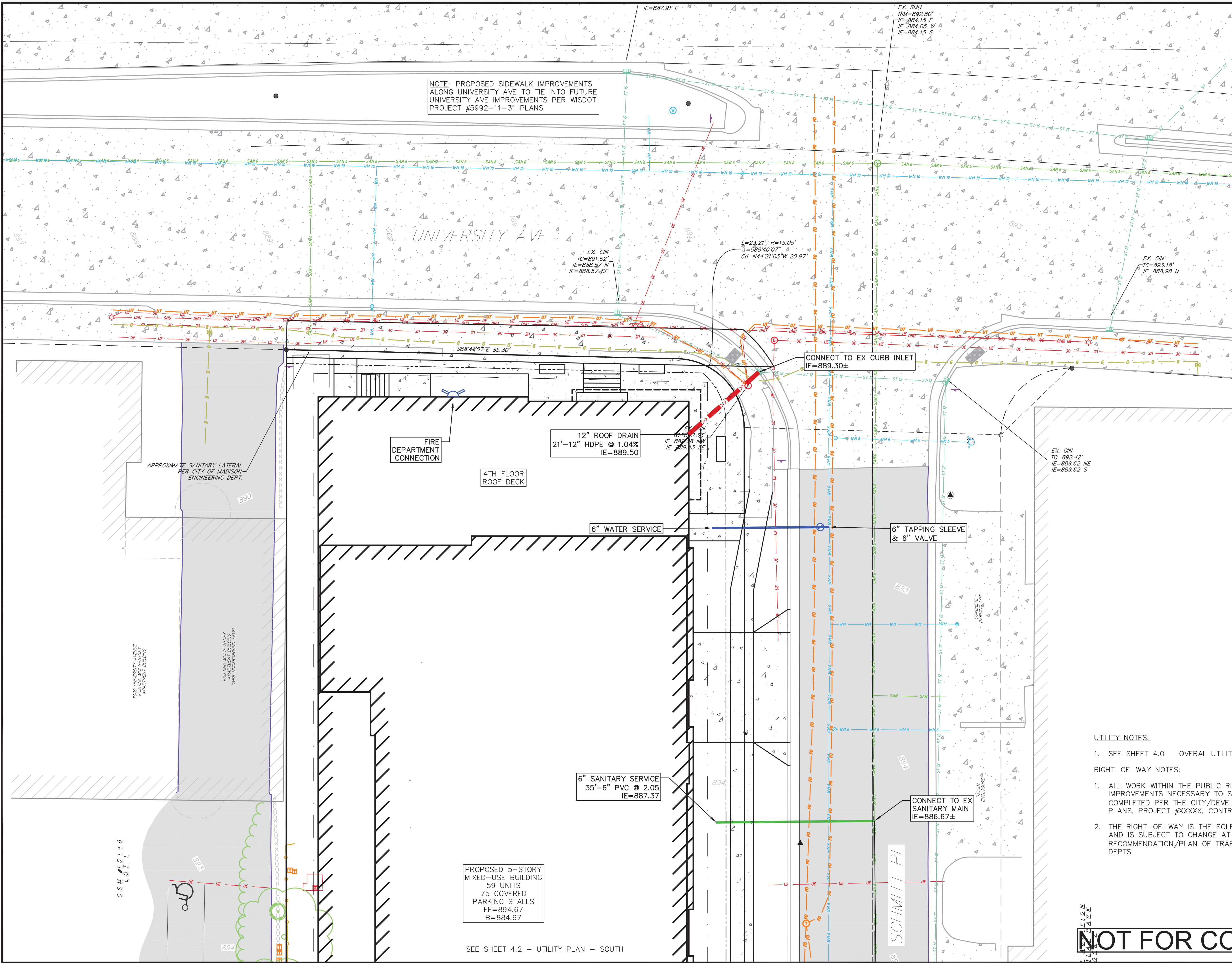
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABEAR.

RIGHT-OF-WAY NOTES:

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY DEVELOPER AGREEMENT AND THE CITY ISSUED PLANS, PROJECT #XXXXX, CONTRACT #XXXX.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

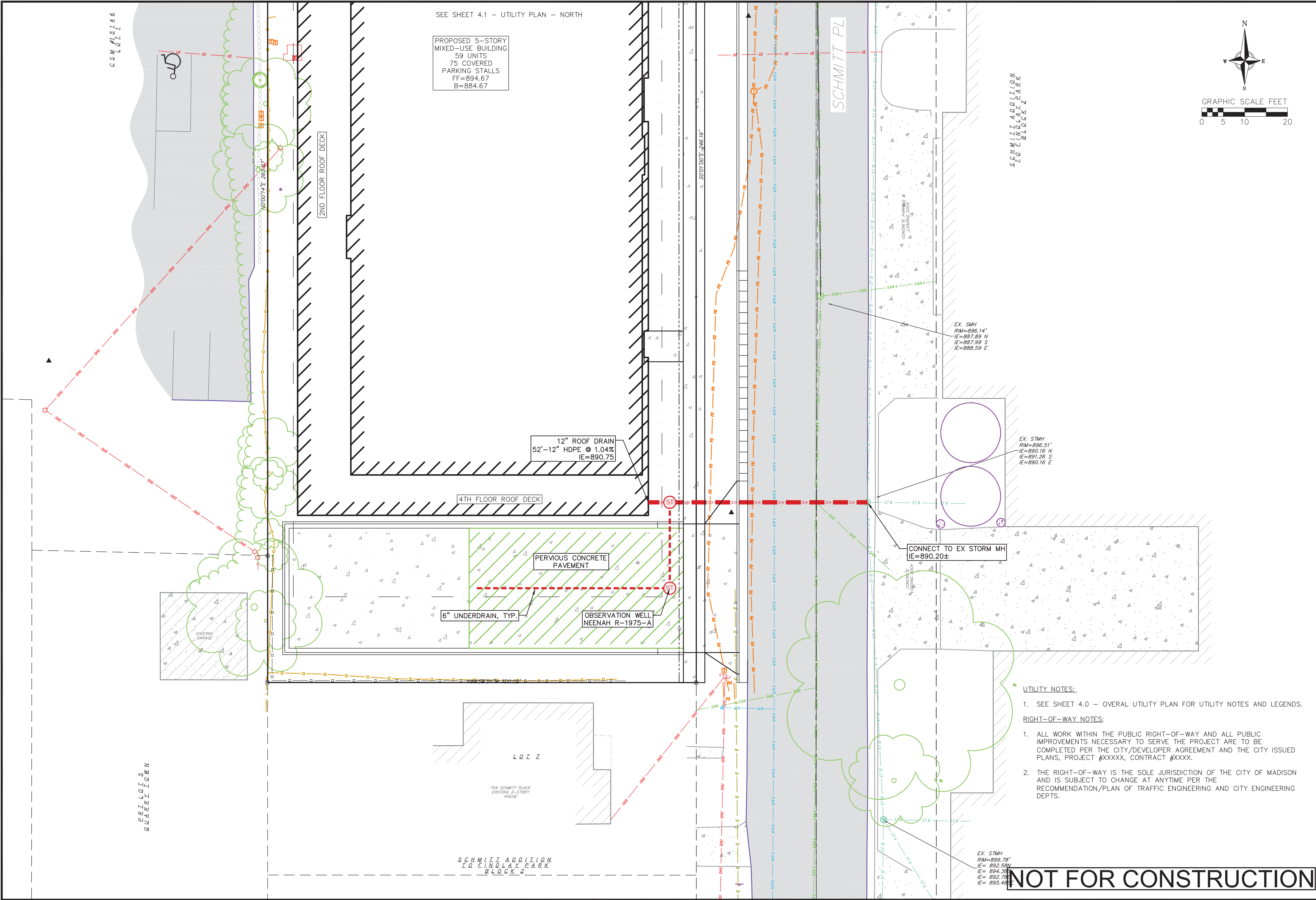
**NOT FOR CONSTRUCTION**






REVISIONS		REVISIONS		REMARKS	
NO.	DATE	NO.	DATE	NO.	DATE
DATE		02/03/2022			
DRAFTER					
ZDRE					
CHECKED					
JZAM					
PROJECT NO.		190018			
		C4.1			





 <b>vierbicher</b> planners   engineers   advisors Phone: (800) 261-3898																			
										Utility Plan - South									
										3005 University Avenue									
										City of Madison									
										Dane County, Wisconsin									



3. An existing inventory of street trees located within the right of way shall be included on the landscape, site, grading, demo, and utility plans. The inventory shall include the following: location, size (diameter at 4 1/2 feet), and species of existing street trees. The inventory should also note if a street tree is proposed to be removed and the reason for removal.
4. All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being issued.
5. As defined by the Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/speccf.m>
6. Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation shall be required.
7. Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
8. On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
9. Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.
10. Additional street trees are needed for this project. Tree planting specifications can be found in section 209 of City of Madison Standard Specifications for Public Works Construction - All street tree planting locations and tree species within the right of way shall be determined by City Forestry. A landscape plan (in PDF format) shall be submitted City Forestry for approval of planting locations and tree species. All available street tree planting locations shall be planted within the project boundaries. At least one week prior to street tree planting, Contractor shall contact City Forestry at (608) 266-4816 to schedule inspection and approval of nursery tree stock and review planting specifications with the landscaper.
11. The Developer shall post a security deposit prior to the start of the development to be collected by City Engineering. In the event that street trees are damaged during the construction process, the Developer shall reimburse the city for the loss of each street tree.
12. The Developer shall submit a street tree report performed by a certified arborist as part of the LAND USE APPLICATION for Forestry's review of the project. This report shall identify all trees within the right of way on proposed project for species type, canopy spread, tree condition, proposed tree to remain or remove, the impacts of proposed building and any pruning.

the WEST side of the North facade

STAIR A

ELEV.

(5) Giza 36" Planters  
with Emerald Arborvitae

COMMONS

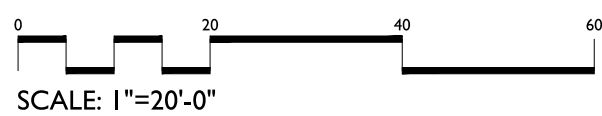
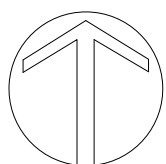
Fourth Floor Roof Deck

\*NOTE: Street Trees are Not Included in above List




- A) Areas labeled "Brown Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3" wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
  - 10% Palmer IV Perennial Ryegrass
  - 20% Dragon Kentucky Bluegrass
  - 20% Diva Kentucky Bluegrass
  - 20% Foxy II Creeping Red Fescue
  - 15% Vail II Perennial Ryegrass
  - 15% Ginney Kentucky Bluegrass
- G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the soil with metal staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

Oneylocust	Scientific Name	Planting Size
	Gleditsia Triacan 'draves'	2" B&B
ish Oak	Quercus Robur 'long'	2 1/2" B&B
	Scientific Name	Planting Size
	Pinus Mugo 'mops'	#3 CONT.
	Taxus X Media 'hicksii'	3' B&B
ae	Thuja Occidentalis 'smaragd'	5' B&B
Arborvitae	Thuja Occidentalis 'woodwardii'	#5 CONT.
	Scientific Name	Planting Size
ental Onion	Allium 'millenium'	#1 CONT.
leather Reed G	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
-Eyed Susan	Rudbeckia Ful Var Sullivan 'goldsturm'	#1 CONT.
	Sporobolus Heterolepis	#1 CONT.
	Scientific Name	Planting Size
thern Bush-Hone	Diervilla Sessilifolia 'Ipdce Podaras'	#2 CONT.
arwd Viburnum	Viburnum Dentatum 'synnesteved'	4' B&B



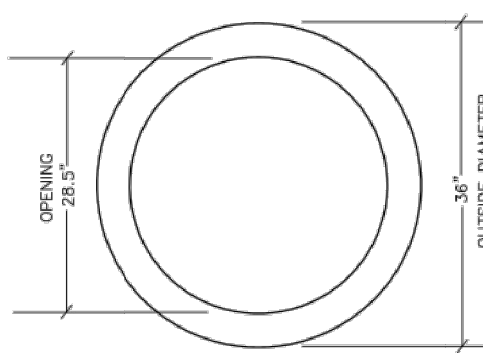




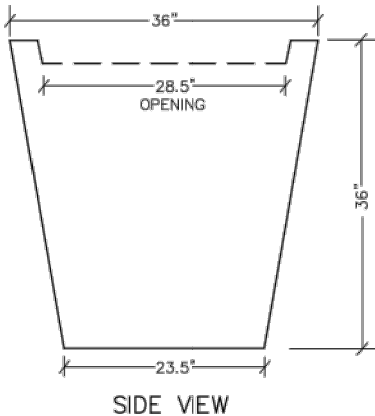
**DAWN ENTERPRISES**  
OUR PRODUCTS. YOUR SPACE.


**Specification Sheet**  
**Model #: AP1K-3636**  
**36" dia x 36" tall Giza Series fiberglass planter**

TOP VIEW



SIDE VIEW






**Specifications:**

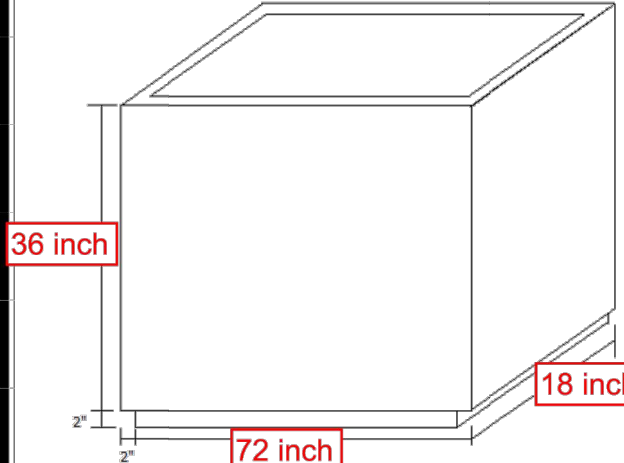
- Dimensions:** 36" dia x 36" tall
- Weight:** 51 lbs
- Materials:** Constructed of glass fiber reinforced impregnated with a polyester resin
- Construction:** Products are molded construction consisting of chopped fiberglass strands, impregnated with a thermosetting resin, constructed into one piece. All exterior surfaces have a homogenized polyester coating of uniform color. The finish is impervious to all common stains and solvents. The surface thickness shall be 5/16 thick or greater. Gussets will be provided as needed for strength and structure.
- Color/Finish Options:** Please reference standard color/finish sheet.
- Additional Options:** Drain holes available **upon request only**. (Manufacturer recommends drain holes for any planters that will be used outside in freezing climates to avoid cracking.)


275 Progress Drive, Suite B, Manchester, CT 06042    www.godawn.com



**DAWN Enterprises**

**Specification Sheet**  
**Chaz Series Fiberglass Planters—Round, Square or Rectangular**





**Specifications:**

- Dimensions:** Varies but toe kick typically 2" x 2" unless otherwise specified
- Weight:** Varies by size
- Materials:** Constructed of glass fiber reinforced impregnated with a polyester resin
- Construction:** Products are molded construction consisting of chopped fiberglass strands, impregnated with a thermosetting resin, constructed into one piece. All exterior surfaces have a homogenized polyester coating of uniform color. The finish is impervious to all common stains and solvents. The surface thickness shall be 5/16 thick or greater. Gussets will be provided as needed for strength and structure.
- Color/Finish Options:** Reference color/finish sheet.
- Additional Options:** Drain holes available **upon request only**. (Manufacturer recommends drain holes for any planters that will be used outside in freezing climates to avoid cracking.)

275 Progress Drive, Suite B, Manchester, CT 06042    www.godawn.com

## MF2209 Flat Steel Bench



- Length:** 60"  
**Width:** 26"  
**Height:** 24"  
**Weight:** 210 lbs.  
**Material:** Steel  
**Shape:** Rectangle  
**Anchoring:** Optional anchor kit available (7209)

## MADISON LANDSCAPE WORKSHEET

Zoning district is GDP/SIP  
Total square footage of developed area .....2,895 SF  
Total square footage of first 5 acres of developed area ÷ 300 square feet = .....10 Landscape Units  
Total square footage of 0 additional acres of developed area ÷ 100 square feet = .....0 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED  
10 Landscape Units x 5 landscape points for first 5 acres..... 500 points  
0 Landscape Units x 1 landscape point for additional \_\_\_\_ acres.....0 points  
TOTAL LANDSCAPE POINTS REQUIRED.....500 points

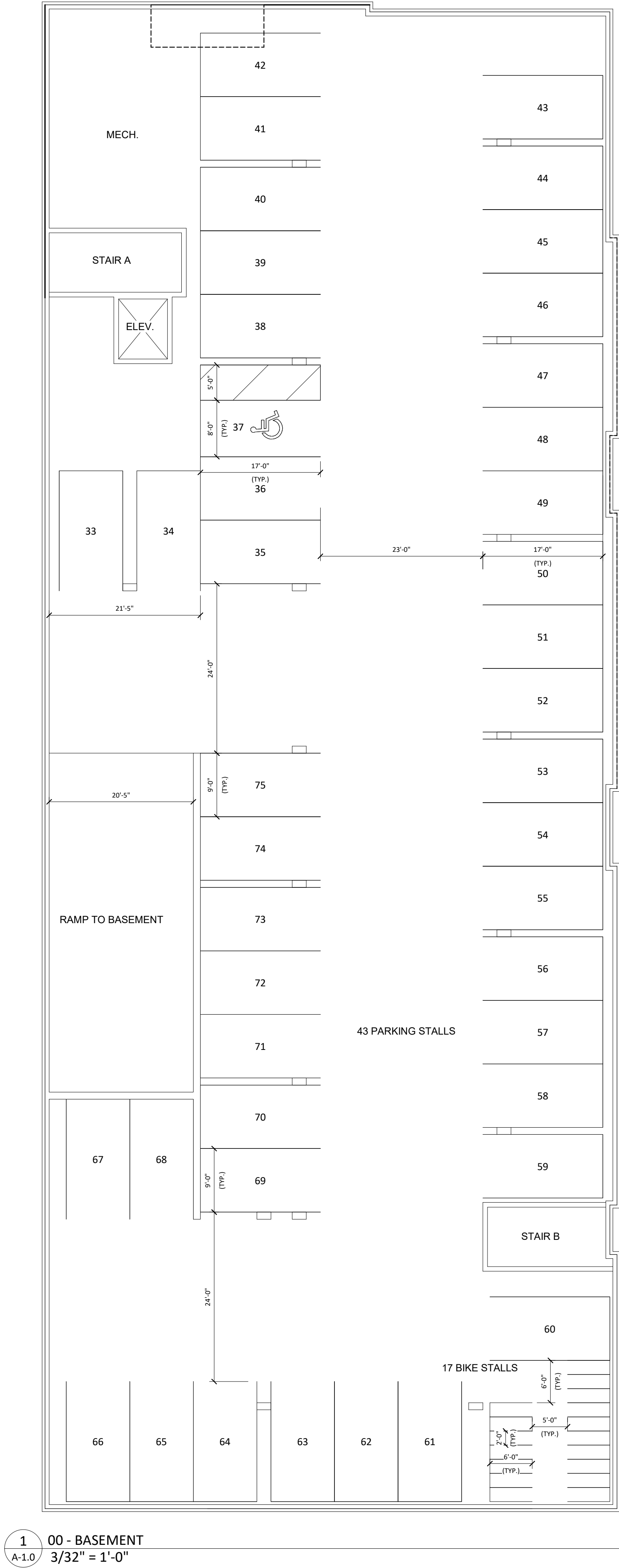
PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING	
		Qty.	Points Achieved	Qty.	Points Achieved
Overstory Deciduous Tree : 2-1/2" (dbh)	35	4	140		
Tall Evergreen Tree : 5-6 feet tall	35	0	0		
Ornamental Tree : 1-1/2" Caliper (dbh)	15	0	0		
Upright Evergreen Shrub : 3-4 feet tall	10	20	200		
Shrub, deciduous : 3 gallon / 12"-24"	3	18	54		
Shrub, evergreen : 3 gallon / 12"-24"	4	30	120		
Ornamental grass/perennial : 1 gallon / 8"-18"	2	89	178		
Ornamental / Decorative fencing or wall	4 per 10 l.f.				
Existing significant specimen tree	14 per Cal. In.				
Landscape furniture for public seating and /or transit connections	5 per 'seat'				
Sub Totals			692	+	NA
					= 692

### Street Frontage Landscape Required

Street Frontage = 596 LF  
Canopy Trees Required: 1 per 30 LF Frontage = ..... 12  
Shrubs Required : 5 per 30 LF Frontage = ..... 60

### Street Frontage Landscape Supplied

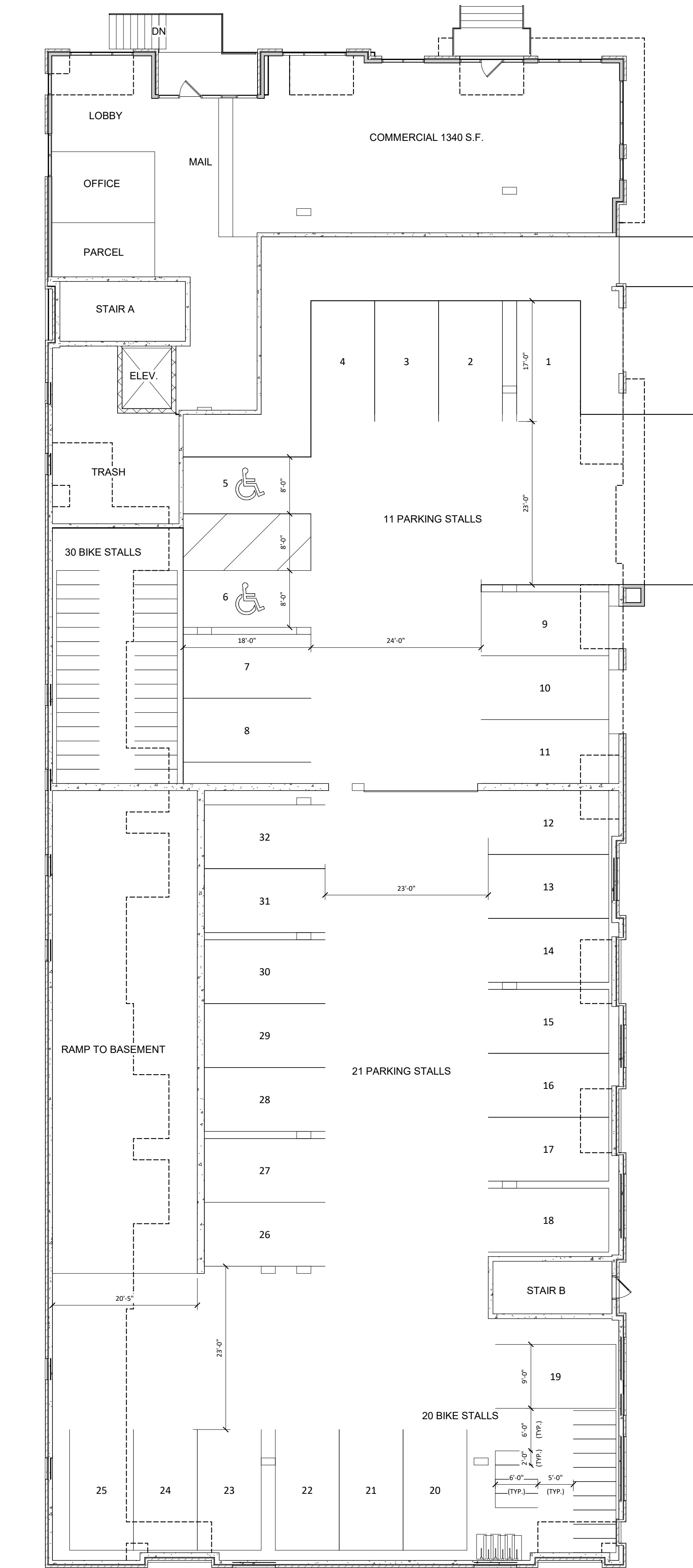
Proposed Canopy Trees = 3 ....Due to site constraints we request alternative requirements as shown per plan  
Proposed Shrubs = 47 .....Due to site constraints we request alternative requirements as shown per plan



1 00 - BASEMENT  
A-1.0 3/32" = 1'-0"

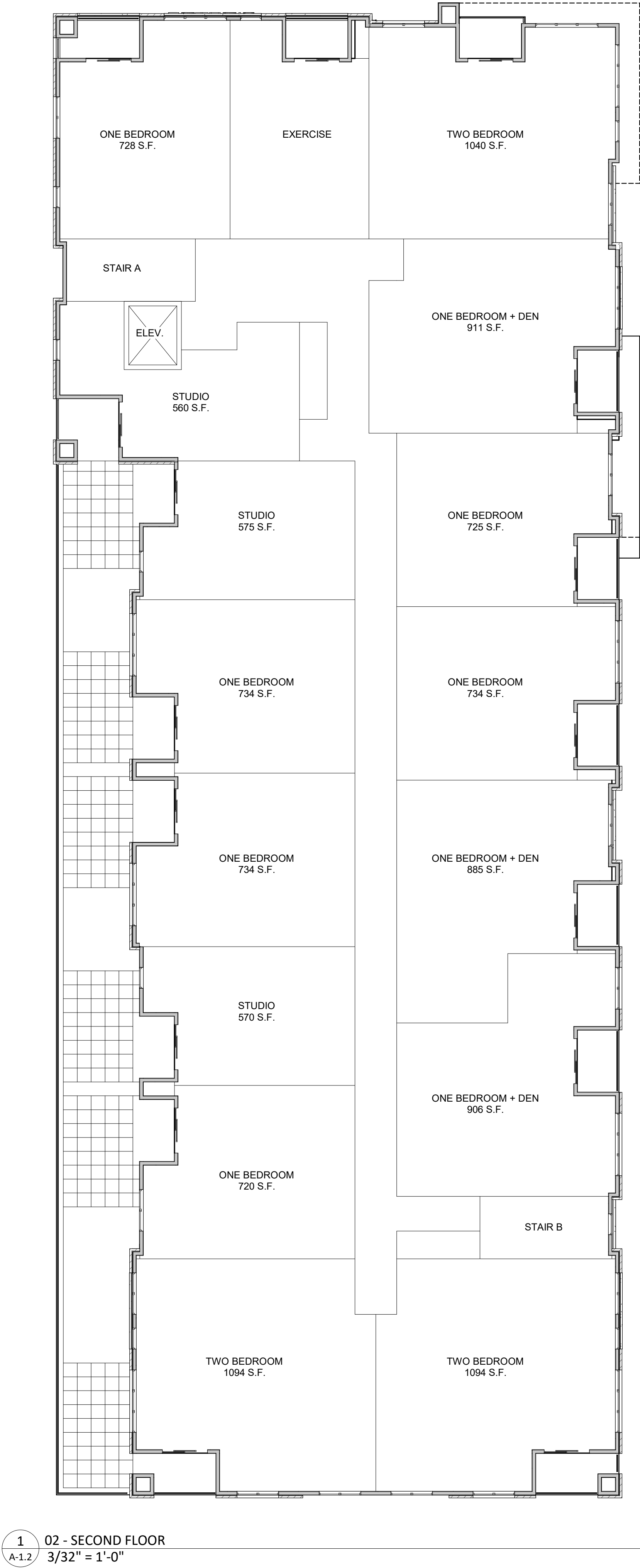
NOT FOR CONSTRUCTION





1 01 - FIRST FLOOR  
A-1.1 3/32" = 1'-0"

NOT FOR CONSTRUCTION



1 02 - SECOND FLOOR  
A-1.2 3/32" = 1'-0"

NOT FOR CONSTRUCTION





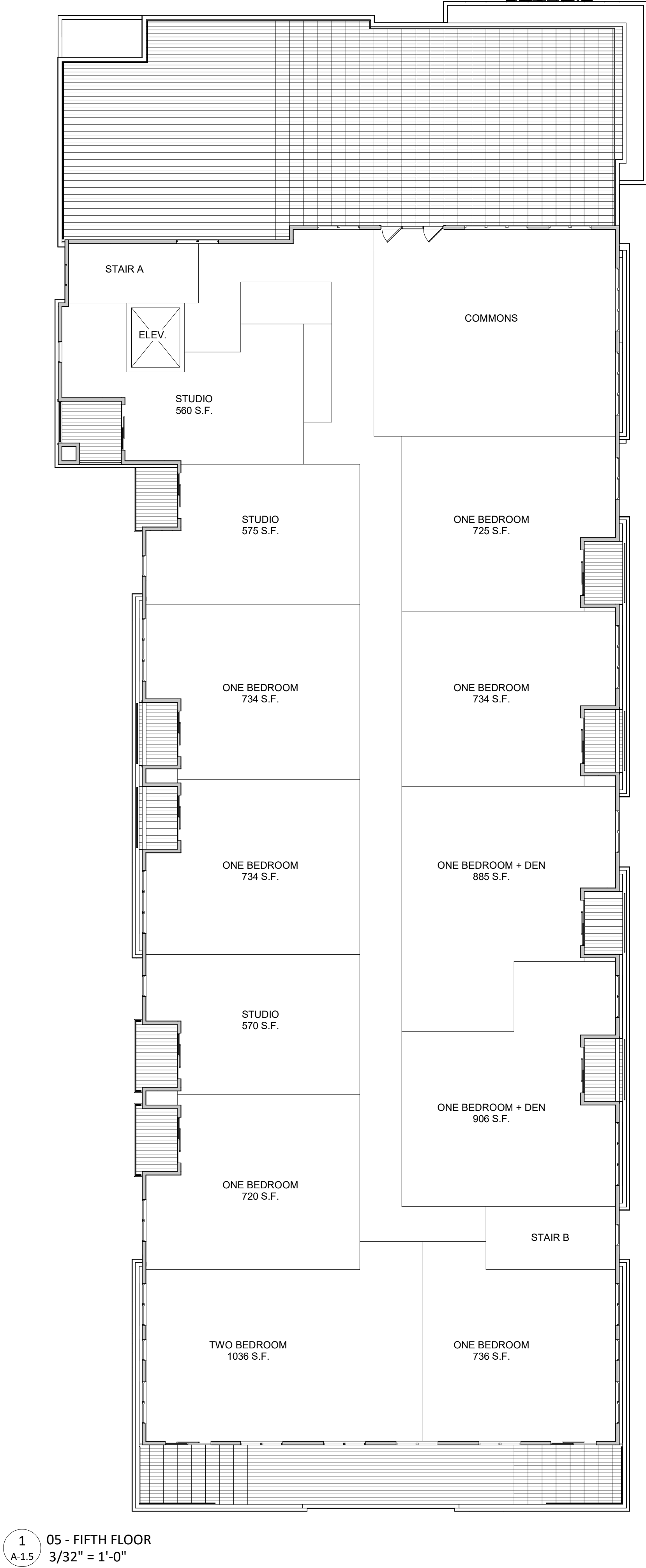
1 03 - THIRD FLOOR  
A-1.3 3/32" = 1'-0"

NOT FOR CONSTRUCTION



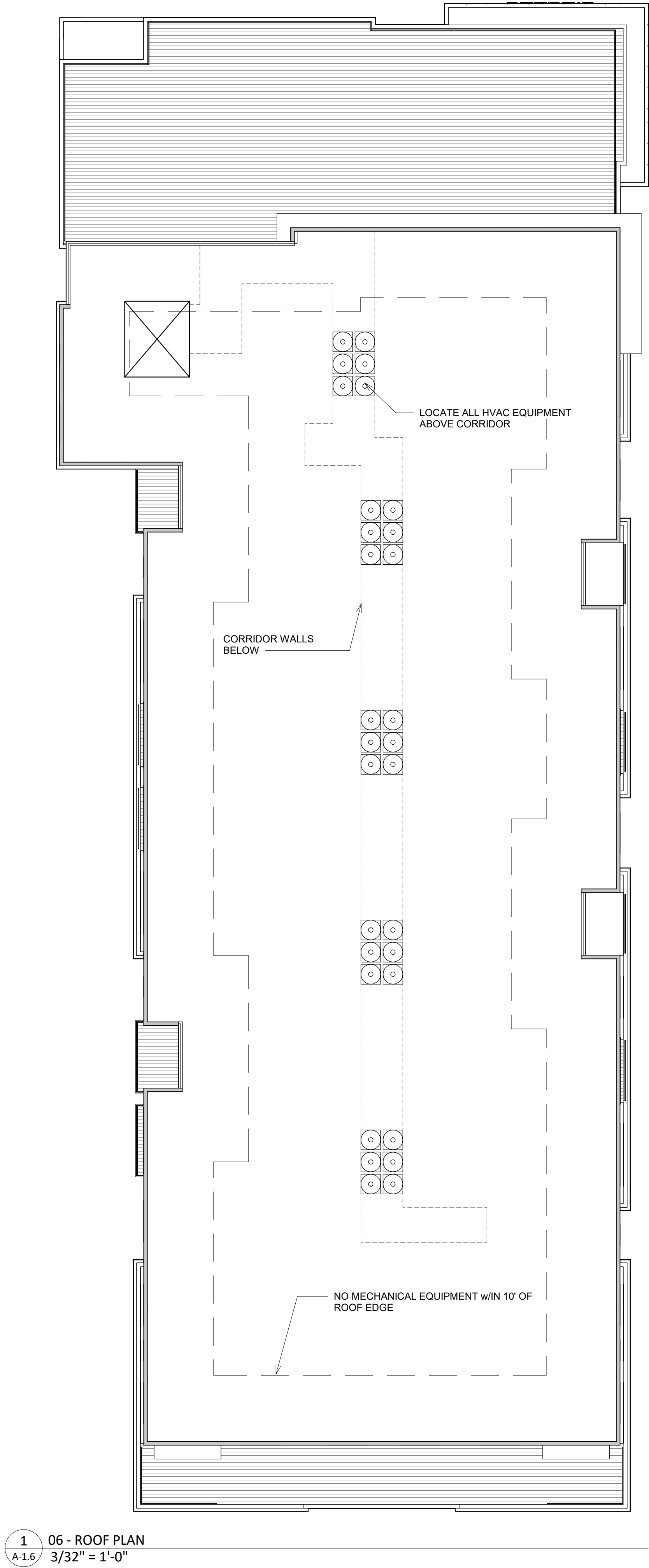
1  
A-1.4 04 - FOURTH FLOOR  
3/32" = 1'-0"

NOT FOR CONSTRUCTION



1  
A-1.5  
05 - FIFTH FLOOR  
3/32" = 1'-0"

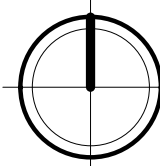
NOT FOR CONSTRUCTION



1 06 - ROOF PLAN  
A-1.6 3/32" = 1'-0"

NOT FOR CONSTRUCTION

TRUE NORTH



KEY PLAN

ISSUED

Issued for LUA & UDC Submittal - Jan. 10, 2022  
Issued for UDC Resubmittal - Feb. 22, 2022

PROJECT TITLE

**SMOKY'S CLUB  
REDEVELOPMENT**

3005 University Ave  
Madison, Wisconsin

SHEET TITLE

**ROOF PLAN**

SHEET NUMBER

**A-1.6**

PROJECT NUMBER **1838**





1 ELEVATION - NORTH  
A-2.1 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING	JAMES HARDIE	RICH ESPRESSO
(#2) - COMPOSITE PANEL SIDING	JAMES HARDIE	MATCH SW 6594 POINTSETTIA
METAL PANEL SIDING	TBD	WHITE
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR
BRICK VENEER	SIoux CITY BRICK	STONINGTON GRAY VELOUR
CAST STONE BANDS & SILLS	EDWARDS CAST STONE	MATCH PRAIRE STONE GRIS
COMPOSITE WINDOWS	ANDERSEN 100	BLACK
ALUM. STOREFRONT	N/A	BLACK
CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



2 ELEVATION - EAST  
A-2.1 1/8" = 1'-0"

KEY PLAN

ISSUED  
Issued for LUA & UDC Submittal - Jan. 10, 2022  
Issued for UDC Resubmittal - Feb. 22, 2022

PROJECT TITLE  
**SMOKY'S CLUB  
REDEVELOPMENT**

3005 University Ave  
Madison, Wisconsin  
SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A-2.1**  
PROJECT NUMBER **1838**



1  
A-2.2 ELEVATION - SOUTH  
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING	JAMES HARDIE	RICH ESPRESSO
(#2) - COMPOSITE PANEL SIDING	JAMES HARDIE	MATCH SW 6594 POINTSETTIA
METAL PANEL SIDING	TBD	WHITE
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR
BRICK VENEER	SIoux CITY BRICK	STONINGTON GRAY VELOUR
CAST STONE BANDS & SILLS	EDWARDS CAST STONE	MATCH PRAIRE STONE GRIS
COMPOSITE WINDOWS	ANDERSEN 100	BLACK
ALUM. STOREFRONT	N/A	BLACK
CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



2  
A-2.2 ELEVATION - WEST  
1/8" = 1'-0"

KEY PLAN

ISSUED  
Issued for LUA & UDC Submittal - Jan. 10, 2022  
Issued for UDC Resubmittal - Feb. 22, 2022

PROJECT TITLE  
**SMOKY'S CLUB  
REDEVELOPMENT**

3005 University Ave  
Madison, Wisconsin  
SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A-2.2**  
PROJECT NUMBER **1838**





2  
A-2.3  
COLORED ELEVATION - NORTH  
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING	JAMES HARDIE	RICH ESPRESSO
(#2) - COMPOSITE PANEL SIDING	JAMES HARDIE	MATCH SW 6594 POINTSETTIA
METAL PANEL SIDING	TBD	WHITE
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR
BRICK VENEER	SIoux CITY BRICK	STONINGTON GRAY VELOUR
CAST STONE BANDS & SILLS	EDWARDS CAST STONE	MATCH PRAIRE STONE GRIS
COMPOSITE WINDOWS	ANDERSEN 100	BLACK
ALUM. STOREFRONT	N/A	BLACK
CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



1  
A-2.3  
COLORED ELEVATION - EAST  
1/8" = 1'-0"

KEY PLAN

ISSUED  
Issued for LUA & UDC Submittal - Jan. 10, 2022  
Issued for UDC Resubmittal - Feb. 22, 2022

PROJECT TITLE  
**SMOKY'S CLUB  
REDEVELOPMENT**

3005 University Ave  
Madison, Wisconsin  
SHEET TITLE  
**ELEVATIONS  
COLORED**

SHEET NUMBER

**A-2.3**  
PROJECT NUMBER **1838**





1  
A-2.4  
COLORED ELEVATION - SOUTH  
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING	JAMES HARDIE	RICH ESPRESSO
(#2) - COMPOSITE PANEL SIDING	JAMES HARDIE	MATCH SW 6594 POINTSETTIA
METAL PANEL SIDING	TBD	WHITE
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR
BRICK VENEER	SIoux CITY BRICK	STONINGTON GRAY VELOUR
CAST STONE BANDS & SILLS	EDWARDS CAST STONE	MATCH PRAIRE STONE GRIS
COMPOSITE WINDOWS	ANDERSEN 100	BLACK
ALUM. STOREFRONT	N/A	BLACK
CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



2  
A-2.4  
COLORED ELEVATION - WEST  
1/8" = 1'-0"

KEY PLAN

ISSUED  
Issued for LUA & UDC Submittal - Jan. 10, 2022  
Issued for UDC Resubmittal - Feb. 22, 2022

PROJECT TITLE  
**SMOKY'S CLUB  
REDEVELOPMENT**

3005 University Ave  
Madison, Wisconsin  
SHEET TITLE  
**ELEVATIONS  
COLORED**

SHEET NUMBER

**A-2.4**  
PROJECT NUMBER **1838**

























































JAMES HARDIE  
RICH ESPRESSO

#1 – COMPOSITE LAP SIDING



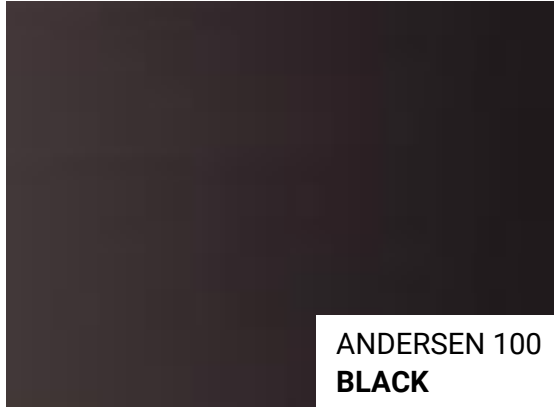
JAMES HARDIE  
MATCH SW 6594 POINTSETTIA

#2 – COMPOSIT PANEL SIDING



SIOUX CITY BRICK  
STONINGTON GRAY VELOUR

#5 – BRICK VENEER



ANDERSEN 100  
BLACK

#8 – COMPOSIT WINDOWS



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING	JAMES HARDIE	RICH ESPRESSO
(#2) - COMPOSITE PANEL SIDING	JAMES HARDIE	MATCH SW 6594 POINTSETTIA
METAL PANEL SIDING	TBD	WHITE
COMPOSITE TRIM	JAMES HARDIE	MATCH ADJ. SIDING COLOR
BRICK VENEER	SIOUX CITY BRICK	STONINGTON GRAY VELOUR
CAST STONE BANDS & SILLS	EDWARDS CAST STONE	MATCH PRAIRE STONE GRIS
COMPOSITE WINDOWS	ANDERSEN 100	BLACK
ALUM. STOREFRONT	N/A	BLACK
CANOPY & BAY SOFFITS	JAMES HARDIE	COLOR TO MATCH ADJ. TRIM/SIDING
RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



**3005 UNIVERSITY AVE  
REDEVELOPMENT**  
3005 UNIVERSITY  
MADISON, WI  
02/22/2022  
KBA #1838





# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

Project Address: 3005 University Ave

Contact Name & Phone #: Kevin Burow, 608-836-3690

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

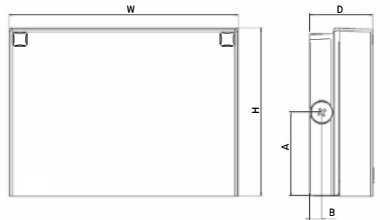




# WPX LED Wall Packs



## Specifications



Front View

Side View

Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8 kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0 kg)

Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

## Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series		Color Temperature		Voltage		Options		Finish	
WPX1 LED P1	1,550 Lumens, 11W <sup>1</sup>	30K	3000K	MVOLT	120V - 277V	(blank)	None	DDBXD	Dark bronze
WPX1 LED P2	2,900 Lumens, 24W	40K	4000K	347	347V <sup>3</sup>	E4WH	Emergency battery backup, CEC compliant (4W, 0°C min) <sup>2</sup>	DWHXD	White
WPX2 LED	6,000 Lumens, 47W	50K	5000K			E14WC	Emergency battery backup, CEC compliant (14W, -20°C min) <sup>2</sup>	DBLXD	Black
WPX3 LED	9,200 Lumens, 69W					PE	Photocell <sup>3</sup>	Note: For other options, consult factory.	

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

### NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.  
Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

## FEATURES & SPECIFICATIONS

### INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution.

### CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection).

All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

### INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

### LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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WPX LED  
Rev. 09/29/20



## Performance Data

### Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

### Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

### HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

### Emergency Egress Battery Packs

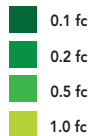
The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT <b>E4WH</b> DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT <b>E14WC</b> DDBXD

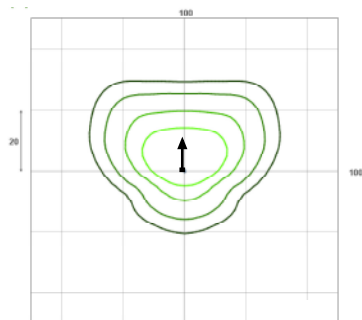
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

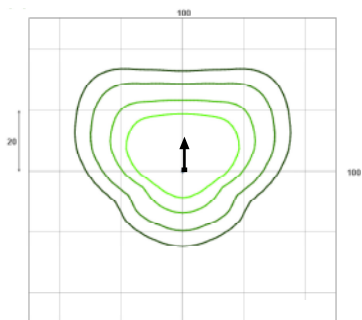
#### LEGEND



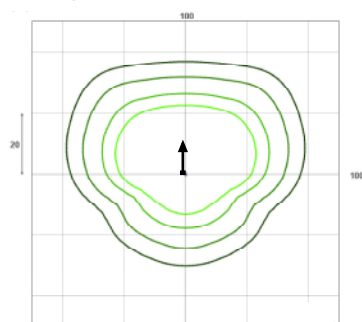
WPX1 LED P1



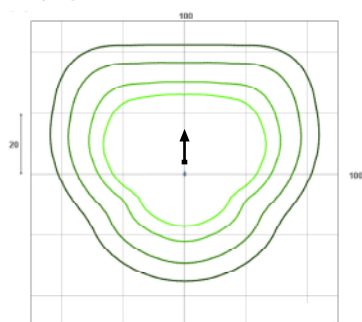
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.



