TRINITAS MADISON

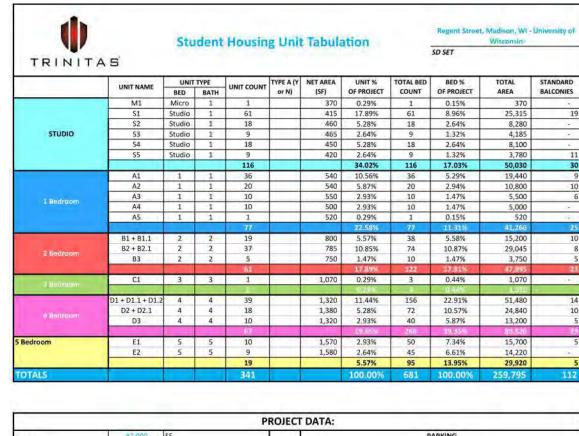
740 REGENT STREET, MADISON WI TRINITAS DEVELOPMENT, LLC LAND USE APPLICATION (01.24.2022)



GENERAL NOTES DEMOLITION PLAN UTILITY PROFILES FIRE ACCESS PLAN ALTA SURVEY COVER PAGE - LAND USE APPLICATION CONTEXT DIAGRAM ARCHITECTURAL SITE PLAN ARCHITECTURAL RENDERINGS ARCHITECTURAL RENDERINGS ARCHITECTURAL RENDERINGS LEVEL P1 & P2 - OVERALL FLOOR PLAN LEVEL 2 MEZZANINE - OVERALL FLOOR PLAN LEVEL 3 & 4 OVERALL FLOOR PLAN LEVEL 5 & 6 OVERALL FLOOR PLAN LEVEL 7 & 8 OVERALL FLOOR PLAN LEVEL 9 & 10 OVERALL FLOOR PLAN LEVEL 11 & 12 OVERALL FLOOR PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING ELEVATIONS - COURTYARD BUILDING SECTIONS A502 BUILDING SECTIONS

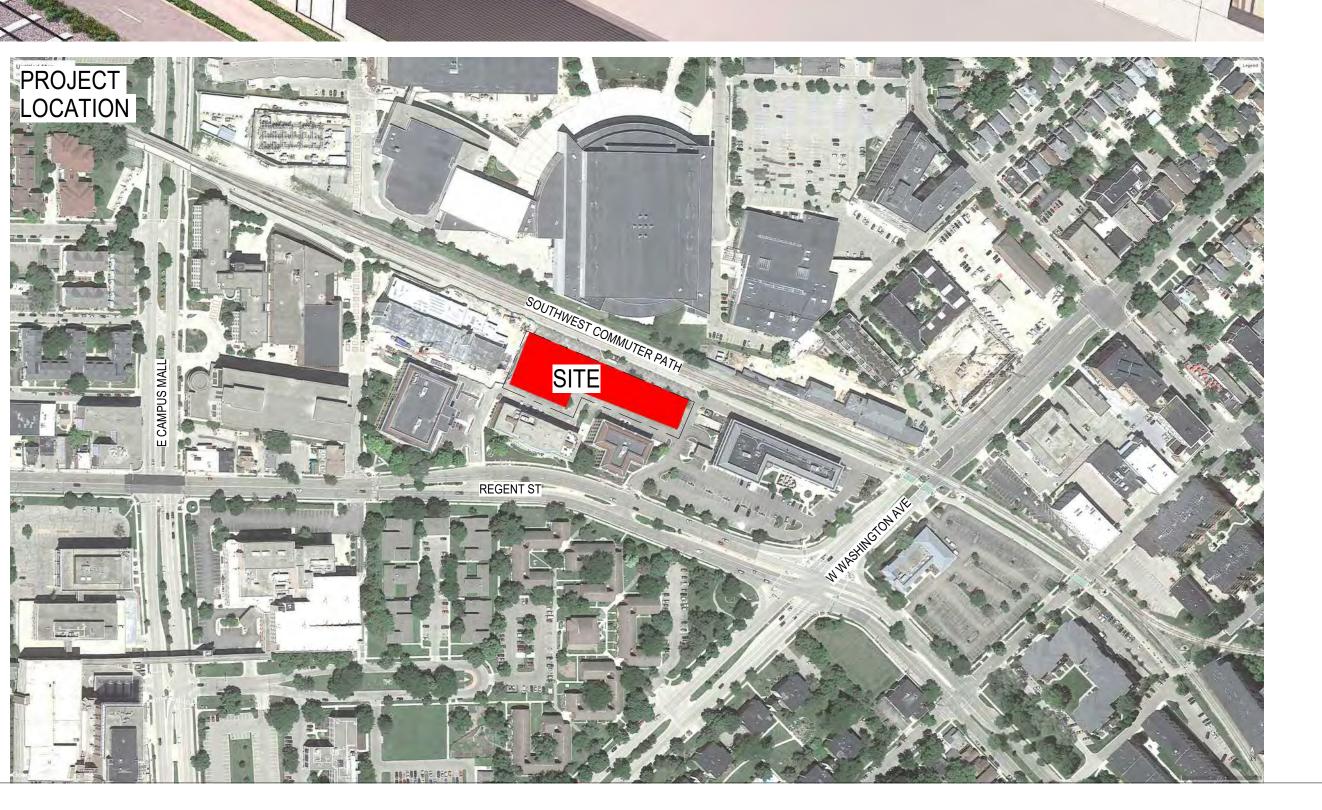
SHEET LIST - LAND USE APPLICATION

PROJECT SUMMARY (UNIT MATRIX)



			PRO	JECT DATA:			
Land Area:	47,000	SE				PARKING	
Lario Area.	1.08	Acres			ZONIN	G REQUIREMENTS	
Density	316.04	Units pe	r Acre		1	Residential	
Density	631.16	Beds pe	r Acre				
Anartm	ent Building	Breakdow	1				
Residential	259,795	NRSF	83% Bldg. Eff.				
Leasing/Lobby	5,690	SF	2%				
Amenity Indoor	7,060	SF	2%	I a second		Retail	
Common Areas	39,538	SF	13%	0			_
Maint. / Storage	1,525	SF	0%				
TOTAL RESIDENTIAL:	313,608	GSF	100%				
				100		Office	
Average Unit Size:	761.86	SF					
Average Bedroom Size:	381.49	SF					
Tota	l Building Bre	eakdown			ACT	UAL PROVIDED	
Residential	313,608	GSF	69%	Surface Parking	0	spaces	_
Retail	0	GSF	0%	Garage Parking	344	spaces	
Office	0	GSF	0%	Street Parking	0	spaces	
Hotel	0	GSF	0%	Off-site Parking	0	spaces	
Other	0	GSF	0%	Seller needs	-235	spaces	
Parking Garage	142,395	GSF	31%	TOTAL PARKING:	109	spaces	
TOTAL BUILDING:	456,003	GSF	100%	PARKING RATIO:	0.32	spaces / unit	
Parking Garage Eff.	413.94	SF / spa	ce	PARKING RATIO:	0.16	spaces / bed	

Bike count 500 spaces
Bike / Total Bed 0.7 spaces / Bed



BKV

Architecture
Interior Design
Landscape Architecture
Engineering

222 North Second Street Long & Kees Bldg Suite 101 Minneapolis, MN 55401 612.339.3752

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE

TRINITAS
MADISON
MULTI-FAMILY
HOUSING

HOUSING

ISSUE # DATE DESCRIPTION

01/24/2022 LAND USE APPLICATION

ERTIFICATION

NOTFORTION

CHECKED BY
COMMISSION NUMBER
SHEET TITLE

COVER PAGE -LAND USE APPLICATION

SHEET NUMBER

A000

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BIM 360://z1z5-04 Trinitas Madison/z1z5-04 Trinitas Madison_Al_z0z

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COVER SHEET

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GRADING PLAN

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Sheet Number Sheet Title

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C2.0

C4.0

C5.0

C5.1

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LAND USE APPLICATION
ISSUE FOR SD PRICING
REVISIONS

(Imley) Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
WARRENVILLE, IL 60555

DESIGNED BY: JPM

DRAWN BY: JPM

CHECKED BY: ANH

W



ORIGINAL ISSUE: 12/17/21 KHA PROJECT NO. 268072000 SHEET NUMBER

ANDREW N. HEINEN

36037-6 CHICAGO, IL

C0.0

PRELIMINARY ENGINEERING PLANS
TRINITAS MADISON

700 & 740 REGENT STREET MADISON, WI 53715

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING DEPARTMENT
CITY OF MADISON
MADISON MUNICIPAL BUILDING, SUITE 017
215 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703
TEL: (608) 243-0455
CONTACT: COLIN PUNT

PUBLIC WORKS DEPARTMENT
CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703

STORM SEWER SERVICE
CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 266-4751
CONTACT: GREGORY FRIES. P.E.

CONTACT: TIM TROESTER, P.E.

TEL: (608) 267-1995

SANITARY SEWER SERVICE
CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 266-4751

WATER SERVICE
CITY OF MADISON
119 E. OLIN AVE
MADISON, WI 53703
TEL: (608) 266-4651
CONTACT: PETE HOLMGREN

POWER COMPANY
MADISON GAS AND ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701
TEL: (608) 252-7087
CONTACT: MICHAEL BEELER

NATURAL GAS COMPANY
MADISON GAS AND ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701
TEL: (608) 252-1563
CONTACT: JOHN WICHERN

TEL: (608) 266-4751
CONTACT: MARK MODER

PROJECT TEAM

DEVELOPER
TRINITAS DEVELOPMENT, LLC
159 N SANGAMAN DR, SUITE 200
CHICAGO, IL 60607
TEL: (765) 807-2737
CONTACT: LINDA IRVING

OWNER
ALEXANDER COMPANY
2450 RIMROCK RD, SUITE 100
MADISON, WI 53713
TEL: (608) 268-8104
CONTACT: NIC ALEXANDER

TRAFFIC ENGINEER
KL ENGINEERING, INC.
5400 KING JAMES WAY, SUITE 200
MADISON, WI 53719
TEL: (608) 663-1218
CONTACT: KEVIN C. WEHNER, P.E., P.T.O.E.

ENVIRONMENTAL/GEOTECHNICAL ENGINEER
TERRACON CONSULTANTS, INC.
9856 SOUTH 57TH ST
FRANKLIN, WI 53132
TEL: (414) 423-0255

CONTACT: CATHERINE VNUK, P.E.

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: ANDREW.HEINEN@KIMLEY-HORN.COM
CONTACT: ANDREW HEINEN, P.E.
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER

LANDSCAPE ARCHITECT
BKV GROUP
1412 MAIN ST, SUITE 700
DALLAS, TX 75202
TEL: (469) 556-4239
CONTACT: COLUM KOONCE

TALARCZYK LAND SURVEYS
517 2ND AVENUE
NEW GLARUS, WI 53574
TEL: (608) 527-5216
CONTACT: BOB TALARCZYK

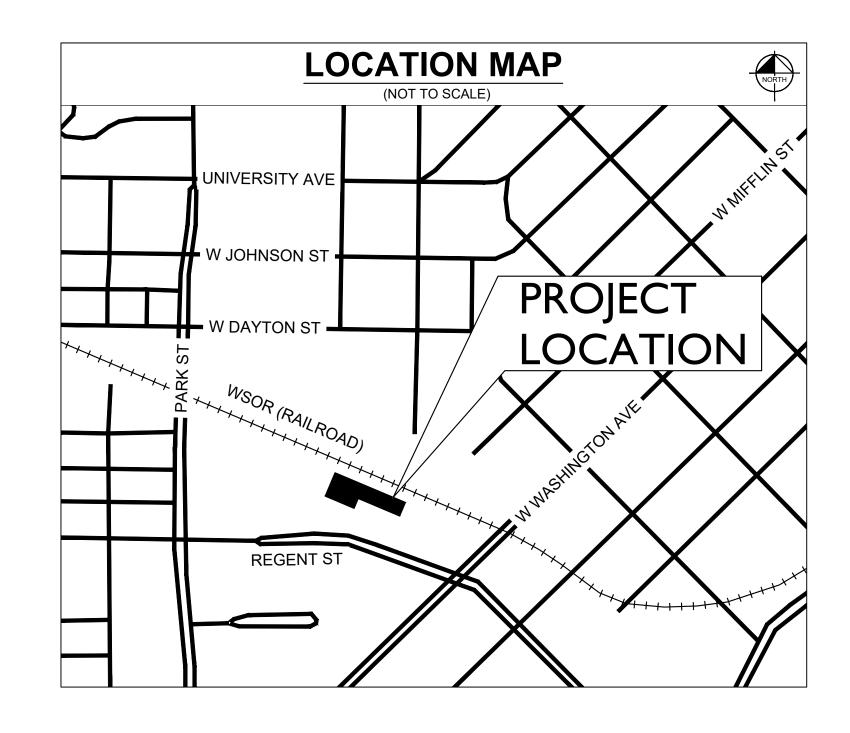
DALLAS, TX 75202
TEL: (469) 556-4239
CONTACT: COLLIN KOONCE

ARCHITECT
BKV GROUP
209 LASALLE ST, SUITE 920
CHICAGO, IL 60604
TEL: (312) 525-3412
CONTACT: CHRISTOPHER SACHSE, RAIA, LEED AP

LEGAL DESCRIPTION

PARCEL I:
PART OF LOTS ONE (1) AND TWO (2), PLAT OF WEST MADISON DEPOT, IN THE CITY OF MADISON, DANE
COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID
LOT 2; THENCE NORTH 67° 30′ 42″ WEST 238.50 FEET ALONG THE NORTHERLY LINE OF SAID LOT 2; THENCE
SOUTH 22° 29′ 18″ WEST 259.81 FEET; THENCE SOUTH 00° 43′ 36″ WEST 72.28 FEET; THENCE SOUTH 89° 16′
24″ EAST 191.30 FEET ALONG THE NORTH LINE OF REGENT STREET; THENCE CONTINUE ALONG THE NORTH
LINE OF REGENT STREET SOUTH 68° 39′ 33″ EAST 34.04 FEET; THENCE NORTH 22° 29′ 18″ EAST 255.33
FEET ALONG THE EASTERLY LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

PARCEL II:
LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 6147, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS
FOR DANE COUNTY, WISCONSIN ON JULY 5, 1990, IN VOLUME 29 OF CERTIFIED SURVEY MAPS, PAGES
246-248, AS DOCUMENT NO. 2209395, BEING A REDIVISION OF LOTS 3 AND 4, PLAT OF WEST MADISON
DEPOT AND PART OF VACATED REGENT STREET, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.



PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF TRINITAS DEVELOPMENT, LLC BY KIMLEY—HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 21ST DAY OF JANUARY , A.D., 2022

A-NH.

WI LICENSED PROFESSIONAL ENGINEER 36037-6
MY LICENSE EXPIRES ON JULY 31, 2022
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006

ALTA/NSPS LAND TITLE SURVEY

This survey was prepared based on First American Title Insurance Company, ALTA Commitment for Title Insurance, Commitment No. NCS-1087432-MAD, Commitment Date: September 8, 2021. which lists the following exceptions from Schedule B. Part II:

4., 5., 6., 7., 8., 9., 10., 11., 19., 24., 25., 38., 40., 41., 42., 43., 44., 45., 47., 48., & 49. Not survey related.

1., 2., 3., & 12., Visible evidence shown, if any.

- 13. Rights for entrance to, maintenance, construction, or repair of any utility structures, improvements or services which may be under the surface of the portion of the insured premises laying within vacated Part of Regent Street, pursant to Section 66.1005(2) (a) Wisconsin Statues.

 Certified Survey Map No. 6147 indicates that Lot 2 contains part of Regent Street as previously platted. Lot 2 of Certified Survey Map No. 6147 is not part of the surveyed property. Visible evidence of underground utilities on the
- 14. Public storm sewer easement, 20 feet in width, as set forth on the recorded plat of West Madison Depot. Affects property by location, shown.
- 15. Temporary public storm sewer easement, 20 feet in width, as set forth on the recorded plat of West Madison Depot.

 Affects Parcel I by location, temporary in nature, not plotted.
- 16. Restriction set forth on the recorded plat of West Madison Depot, stating: Arrows indicate the direction of drainage during grading. Drainage patterns shall be maintained by the lot owner unless modified with the approval of the City Engineer. Affects property by location, arrows shown.
- 17. Driveway easement for common use of Lots 1 and 2 and sidewalk Easement as set forth on Certified Survey Map No. 6147. Affects Parcel II by location, shown.

18. Notes as set forth on Certified Survey Map No. 6147: -Vehicular access will be allowed between Lots 1 and 2. Affects property by location, blanket in nature, not plotted.

- -Arrows on the map portion of this Certified Survey Map indicate the direction of drainage swale construction during grading. Said swales shall be maintained by the lot owner unless modified with the approval of the City Engineer. <u>Affects property by location, arrows shown.</u>

 —Both Lots 1 and 2 of this Certified Survey shall meet the requirements of Chapter 37 of the Madison General Ordinances regarding on site detention of storm water. Affects Parcel II by location. Not survey related.
- 20 Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Driveway and Sidewalk Easement recorded on July 5, 1990, in Volume 14410 of Records, Page 6, as Document No. 2209398. Affects Parcel II by location, shown.
- 21. Right of Way Grant to Madison Gas and Electric Company recorded April 9, 1991, in Volume 15669 of Records, Page 45, as Document No. 2254764. Affects Parcel II by location, shown.
- 22. PUD/SIP recorded June 21, 1993, in Volume 23315 of Records, Page 63, as Document No. 248179. Alteration recorded March 8, 1996, in Volume 32227 of Records, Page 49, as Document No. 2743918. Amended PUD-GDP and Reinstatement of PUD-SIP recorded March 31, 1998, as Document No. 2950327. Plans/Modifications recorded September 4, 2009 as Document No. 4592388. Alteration to an Approved and Recorded Specific Implementation Plan, recorded November 5, 2010 as Document No. 4710773. Alteration to an approved and recorded Specific Implementation Plan recorded on January 20, 2017 as Document No. 5300917.

 Affects Parcel II. Nothing to plot. Refer to documents. Document No. 4592388 and Document No. 4710773 are specific to Lot 2 of Certified Survey Map No. 6147, which is not part of the surveyed property.
- 23. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Driveway Easement recorded on June 21, 1993, as Document No. 2483300. Affects property by location, shown.
- 26. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Driveway Easement recorded on November 11, 1993, as Document No.
- 27. Utility Easement to 700 Regent Street Associates, a Wisconsin limited partnership, dated October 25, 1993, recorded/filed November 11, 1993 as Document No. 2540856.
- 28. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Easement recorded on November 11, 1993, as Document No. 2540855. Affects property by location, blanket in nature, not plotted,
- 29. Right of Way recorded May 24, 1994, in Volume 27505 of Records, Page 35, as Document No. 2603690. Affects Parcel II by location. shown.
- 30. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Driveway and Access Easement Agreement recorded on September 6, 1994, as Document No. 2629991. Affects property by location, blanket in nature, not plotted.
- 31. Terms, conditions, provisions and limitations contained in PCD(SIP) Documents recorded on June 8, 1994, in Volume 27655 of Records, Page 34, as Document No. 2607996. Alteration to an approved and recorded Specific Implementation Plan recorded on December 5, 1995, in Volume 31499 of Records, Page 62, as Document No. 2723296. Alteration to an approved and recorded Specific Implementation Plan recorded on December 20, 1996, as Document No. 2820823. Alteration to an approved and recorded Specific Implementation Plan recorded on July 8, 1997, as Document No. 2868877. Alteration to an approved and recorded Specific Implementation Plan recorded on February 5, 2004, as Document No. 2938109. Alteration to an approved and recorded Specific Implementation Plan recorded on November 27, 2013 as Document No. 5040411. Alteration to an approved and recorded Specific Implementation Plan recorded on April 22, 2014 as Document No. 5065273. Alteration to an approved and recorded Specific Implementation Plan recorded on May 27, 2014 as Document No. 5072156. Alteration to an approved and recorded Specific Implementation Plan recorded on January 20, 2017 as Document No. 5300917. Affects Parcel I. Nothing to plot. Refer to documents.
- 32. Utility Easement to Madison Gas end Electric Company, a Wisconsin corporation, dated June 08, 1994, recorded/filed October 12, 1994 as Document No. 2637897. (Affects Affects Parcel I by location, shown.
- 33. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated June 08, 1994, recorded/filed December 08, 1994 as Document No. 2649308.

 Easement is located on Lots 1 and 2 of Certified Survey Map No. 15202, which are not part of the surveyed property. Does not affect property by location, not shown.
- 34. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated November 08, 2016, recorded/filed May 10, 2017 as Document No. 5324580.
- 35. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated November 08, 2016, recorded/filed May 10, 2017 as Document No. 5324581.
- Affects Parcel I by location, shown.
- 36. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Easement and Operating Agreement recorded on August 07, 2019, as Document No. 5511406. As corrected by Correction Instrument recorded August 14, 2019 as Document No. 5513517. Affects Parcel I by location, general in nature, not plotted.
- 37. Temporary Construction Easement Agreement upon the terms, conditions and provisions contained therein: Dated: August 02, 2019; Parties: Collegiate Gothic Associates Limited Partnership, a Wisconsin limited partnership, 740 Regent Street Associates, a Wisconsin limited partnership and MDI Regent Madison Hotel, LLC, a Minnesota limited liability company: Recorded: August 07, 2019: Instrument No.: 5511407. Affects Parcel I by location and relates to improvements made on and adjacent to Lots 1 & 2 o Certified Survey Map 15202. Temporary and general in nature. There was no visible evidence that construction is still ongoing on the surveyed property. Not plotted.
- 39. All of the terms and provisions set forth and contained in that certain Lease between City of Madison, a Wisconsin municipal corporation, Lessor, and Collegiate Gothic Associates Limited Partnership, a Wisconsin limited partnership; 740 Regent Street Associates, a Wisconsin limited partnership; 700 Regent Street Associates, a Wisconsin limited partnership; and City Station Associates Limited Partnership, a Wisconsin limited partnership, Lessee, recorded in August 22, 2007, as Document No. 4347972. Partial Assignment and Assumption of Lease Agreement recorded August 6, 2019, as Document No. 5510680.

 Affects surveyed property and adjacent property by location. Only that portion of the leased parcel located adjacent to the surveyed property is shown.
- 46. All of the terms and provisions set forth and contained in that certain Lease between City of Madison, a municipal corporation, Lessor, and Collegiate Gothic Associates Limited Partnership, a Wisconsin limited partnership; 740 Regent Street Associates, a Wisconsin limited partnership; 700 Regent Street Associates, a Wisconsin limit City Station Associates Limited Partnership, a Wisconsin limited partnership, Lessee, recorded in October 29, 2019, as Document No. 5535449. and adjacent property by location. Only that portion of the leased parcel located adjacent to the surveyed property is shown.

Kimley-Horn & Associates, Inc.

SITE ADDRESS

PARCEL I: 740 Regent Street, Madison, WI 53715 PARCEL II: 700 Regent Street, Madison, WI 53715

LEGAL DESCRIPTION

PARCEL I: PART OF LOTS ONE (1) AND TWO (2), PLAT OF WEST MADISON DEPOT, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2: THENCE NORTH 67° 30' 42" WEST 238.50 FEET ALONG THE NORTHERLY LINE OF SAID LOT 2: THENCE SOUTH 22° 29' 18" WEST 259.81 FEET: THENCE SOUTH OF 43' 36" WEST 72.28 FEFT: THENCE SOUTH 89° 16' 24" FAST 191.30 FEFT ALONG THE NORTH LINE OF REGENT STREET: THENCE CONTINUE ALONG THE NORTH LINE OF REGENT STREET SOUTH 68° 39' 33" EAST 34.04 FEET; THENCE NORTH 22° 29' 18" EAST 255.33 FEET ALONG THE EASTERLY LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 6147. RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON JULY 5, 1990, IN VOLUME 29 OF CERTIFIED SURVEY MAPS, PAGES 246-248, AS DOCUMENT NO. 2209395, BEING A REDIVISION OF LOTS 3 AND 4, PLAT OF WEST MADISON DEPOT AND PART OF VACATED REGENT STREET, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

FLOOD NOTE

According to the flood insurance rate map of Dane County, Wisconsin, Map No. 55025C0409G, Panel 409 of 850, revised date of January 2, 2009, this site falls in Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

<u>LAND AREA</u>

The gross land area of the subject property (Parcel I and Parcel II) is 120,510 sq. ft. or 2.77 acre.

The gross land area of Parcel I is 68,346 sq. ft. or 1.57 acre. The gross land area of Parcel II is 52,164 sq. ft. or 1.20 acre.

Elevations are NAVD 88 (GEOID12A) and are shown in feet. Contours shown were derived from a ground survey of the property. Contour interval is one foot.

6.(a) & 6.(b) Per correspondence with the City of Madison Zoning Office the current zoning classification of the property is Planned Development District (PD).

General information for the Planned Development District (PD) is outlined in Chapter 28 of the City of Madison, General Code of Ordinances. Available at: https://library.municode.com/wi/madison/codes/code_of_ordinances?nodeld=COORMAWIVOIICH20--31_CH28ZOCOOR_SUBCHAPTER_28DMIECODL_28.068COCEDI

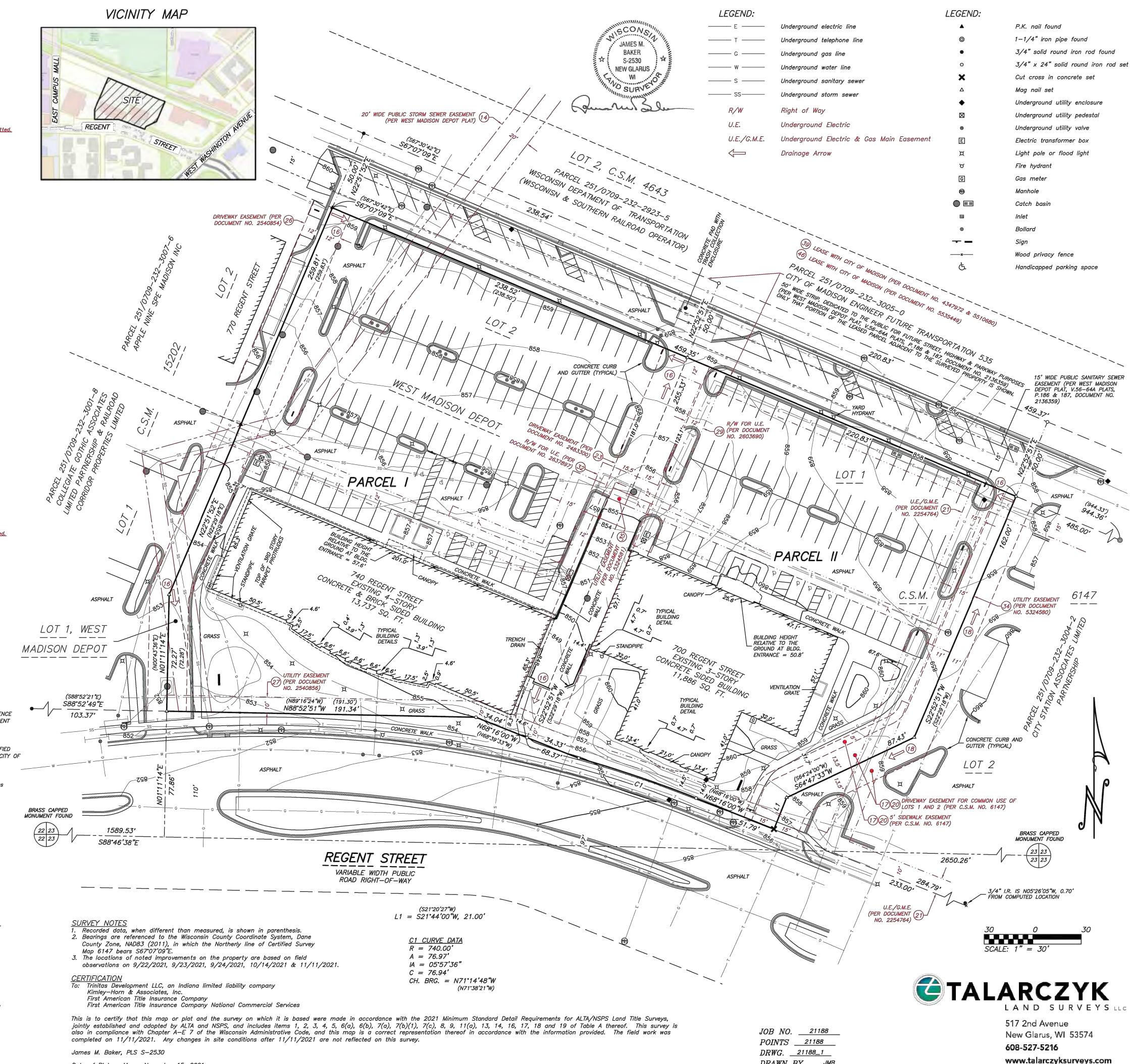
Zoning information specific to the property surveyed is contained in Document No. 2950327, recorded 3/31/1998 (Amended PUD-GDP and reinstatement of the PUD-SIP's project drawings and related zoning documents for 700, 740 and 780 Regent Street, a mixed used project located in Madison, Wisconsin at 700, 740 and 780 Regent Street). Direct inquiries to City of Madison Zoning: (608) 266-4551.

The following parking spaces were observed on the surveyed property at the time field work was conducted: 9 handicap spaces (Parcel I: 5, Parcel II: 4), 173 regular spaces (Parcel I: 105, Parcel II: 68).

The following parking spaces were observed on the leased parcel (Exceptions 39 and 46) located adjacent to the surveyed property at the time field work was conducted: 26 regular spaces (adjacent to Parcel I: 14, adjacent to Parcel II: 12).

- 11.(a) At the time of completion of the survey, no plans or reports were provided to the surveyor regarding underground utilities existing on or serving the surveyed property. Utility lines are shown from visible surface evidence, municipal plans and markings provided by Diggers Hotline, the One—Call Utility Marking System (Wisconsin Statute 182.0175), Ticket Numbers 20213720341 & 20213720366. This survey represents the underground utilities that participated with the request and were marked at the time of the survey. Additional utilities may exist, but were non-responsive to the request or plans were not provided.
- 14. Client did not specify. The property surveyed is located 300'± east of the intersection of Regent Street and East Campus Mall.
- 16. There was no observable evidence of recent earth moving work, building construction, or building additions at the time the field work was conducted.
- 17. There are no proposed changes in street right of way lines of which the surveyor is aware. There was no observable evidence of recent street or sidewalk construction or repairs at the time the field work was completed.

Date of Plat or Map: November 15, 2021



DRAWN BY _____JMB__

517 2ND AVENUE

NEW GLARUS. WI 53574

TEL: (608) 527-5216

COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH

- 2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- 4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
- A. "ROADWAY STANDARD SPECIFICATIONS, WISCONSIN DEPARTMENT OF TRANSPORTATION," AS PREPARED BY WISDOT, CURRENT EDITION AND ITS SUPPLEMENTS.
- B. "10 STATE RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES", AS PUBLISHED BY HEALTH
- C. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE MUNICIPALITY, UNLESS
- D. THE NATIONAL ELECTRIC CODE.
- E. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK, OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES, FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC. THE CITY OF MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN.
- THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS. METHODS. TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER.
- 11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.
- 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED.

 ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 14. NOTIFICATION OF COMMENCING CONSTRUCTION:
- 14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE MUNICIPALITY, AND THE OWNER
- 14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE
- 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE CITY OF MUNICIPALITY.
- 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY HE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER WISDOT SECTION 202. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS BRANCHES AND ROOTS NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE
- 18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT FORESTER. OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION, ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
- REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH
- 22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING
- 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY
- 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGEI INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOO FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE LOCATING SERVICES (1-800-242-8511) AND THE MUNICIPALITY FOR UTILITY LOCATIONS.
- 26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV. PHONE ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- 28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

- 29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT.
- O HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES. SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OW EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.
- . IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.
- 33. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO MPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING
- CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER. 4. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE
- STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS. 35. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE

- 36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES REGULATIONS AND WISDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.
- . THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS. WHICH CONTRIBUTE TO DEFICIENCIES IN THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION.
- . THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES.
- ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER WISDOT
- O. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED
- ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED B' THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- 2. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS. 3. WHEN REQUIRED. THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
- 4. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE MUNICIPALITY, AS NECESSARY.

EARTHWORK NOTES

- 1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS
- 1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.
- .3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.
- .4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVEN STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
- .6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
- 7. EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY: TERRACON CONSULTANTS, INC. 9856 S. 57TH STREET FRANKLIN, WISCONSIN 53132
- TEL: (414) 426-0255 TOPSOIL EXCAVATION INCLUDES:
- EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
- 2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS D BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE
- . TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
- .4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. .5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.
- EARTH EXCAVATION INCLUDES:
- .1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILF MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
- . PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL II ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED

.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING

- STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE
- 2.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL
- MISCELLANEOUS. THE CONTRACTOR SHALL: 4.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.

AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.

- 4.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
- 4.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. 4.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
- TESTING AND FINAL ACCEPTANCE THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING
- 5.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

- - PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL
- . COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)]: SUBGRADE = 95%; SUBBASE = 95%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = 95% OF MAXIMUM DENSITY, PER WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) HIGHWAY STANDARDS.
- .3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE MUNICIPALITY CODE.
- . EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION, THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE
- PRIOR TO THE PLACEMENT OF THE BASE COURSE. THE SUBGRADE MUST BE PROOF-ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING
- 2.2.1. SCARIFY, DISC, AND AERATE.
- 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
- 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.
- 2.2.4. USE OF GEOTEXTILE FABRIC
- MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.
- 2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
- 2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER. CONCRETE WORK
- 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS AND A MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS. ALL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- 3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS, WITH WO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH
- 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.
- 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.
- 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.
- 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER WISDOT STANDARDS. TWO (2) COATS OF WISDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFÁCES. 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE
- COST OF THE RESPECTIVE CONCRETE ITEM.
- 4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, BITUMINOUS CONCRETE BINDER COURSE, AND BITUMINOUS CONCRETE SURFACE COURSE, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS
- LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE WISDOT 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE

4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS

- REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE | 8. THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS. OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER WISDOT STANDARDS.
- 4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES. TESTING AND FINAL ACCEPTANCE. . THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND
- PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS/TESTING ENGINEER. 5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.
- 5.3 WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER O CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY WISDOT STANDARDS.
- 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE MUNICIPALITY CODE. WHEN CONFLICTS ARISE BETWEEN MUNICIPAL CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT)
- SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD. . POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT,

SUCH AS A TYPE B METAL POST, AS PER THE WISDOT STANDARDS (OR 2-INCH PERFORATED STEEL

- I. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH WISDOT STANDARDS. . PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY. SUCH AS STOP LINES
- CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND EPOXY ON CONCRETE OR AS APPROVED BY WISDOT. B. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW—WEAR" APPLICATIONS,
- SHALL BE PAINT IN ACCORDANCE WITH WISDOT STANDARDS. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE.
- THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.

SANITARY SEWER NOTES

TAKE PRECEDENCE.

- SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-26), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND D3212. ANY CHANGES TO TH PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241) DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
- BAND-SEAL OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NO LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES.
- ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL OR STONE, AS PER WISDOT STANDARDS. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER WISDOT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 9-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS

- 5. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND . CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE . NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL
- CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES: A. IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE MUNICIPALITY IN WRITING PRIOR TO
- B. THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER. D. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM
- INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. A WATERTIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER—TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS. 1.FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF-SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE`WORD "SANÍTARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND
- CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE 12.A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE-ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE. 3.CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL
- VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE. 4.TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE IN ACCORDANCE WITH THE STANDARDS FOR SEWER AND WATER MAIN
- 15.TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY CODE. 6.TELEVISING: IF REQUIRED BY THE MUNICIPALITY, ALL SANITARY SEWERS SHALL BE TELEVISED, AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS, AND LENGTHS, IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE
- 7.TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND REPAIR, OR REPLACE ALL MATERIALS AND WORKMANSHIP, AS MAY BE NECESSARY TO COMPLY WITH THE TEST
- 18.CERTIFICATION: CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED N ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING." ASTM STANDARDS D-2241, AS APPROPRIATE FOR THE PIPE, TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT FIVE (5) PERCENT MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.
- 19.CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO THE LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

STORM SEWER NOTES

STORM SEWER PIPE: ALL STORM SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS FOR DETERMINING PIPE CLASS AND CONFORMING TO ASTM C76. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL STORM SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE

- REINFORCED CONCRETE PIPE (ASTM C76); SEE WISDOT SPECS FOR PIPE CLASS POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241) HIGH DENSITY POLYETHYLENE PIPE DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
- BAND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR
- ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN
- COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.
- STRUCTURES: MANHOLE, CATCH BASIN, AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE
- A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND
- CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND 10. THE STORM SEWER SHALL BE TELEVISED IF REQUIRED BY THE MUNICIPALITY.

. MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED

OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE 12. ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE MUNICIPALITY REQUIREMENTS.

WATERMAIN NOTES

- WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF C-900 PVC PIPE. CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111). ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND MUNICIPALITY PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL
 - CODE PIPE MATERIAL
- C-900 PVC PIPE TYPE "K" COPPER PIPE FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL

WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- JOINTS CONFORMING TO ANSI AS21.10 (AWWA C110). VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509. THE VALVES SHALL
- HAVE MECHANICAL JOINTS. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS
- VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES FIVE (5) FEET IN DIAMETER, AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE ACCORDING TO THE DETAIL ON THE PLANS, WITH "WATER" EMBOSSED ON THE LID. FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED

WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES

WITH A HYDRANT BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER CONNECTION SHALL FACE

PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL.

THE BREAK FLANGE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

- CORPORATION STOPS: CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA :-800 AND SHALL INCLUDE "J" BEND, TAILPIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS 10. SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6) FEET OF BURY.
- MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS. BEDDING: ALL WATERMAINS SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT THE PIPE HAS AN EVEN BEDDING FOR ITS ENTIRE LENGTH.
- 13. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION. 4. A MINIMUM DEPTH OF COVER OF 6—FEET, O—INCHES SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS DESIGNATED
- . "MEGA-LUG" RETAINER GLANDS AND THRUST BLOCKING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, FITTINGS, TEES, ELBOWS, ETC. "MEGA-LUG" RESTRAINED JOINTS ARE REQUIRED ON ALL VALVES AND ALL FITTINGS. THE COST FOR THIS WORK SHALL BE INCIDENTAL TO THE UNIT PRICE FOR THE PIPE INSTALLED.
- 16. WATERMAIN PROTECTION:
- WATERMAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR
- 16.1.2. WATERMAINS MAY BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN: 16.1.2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET;

PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, OR SEWER SERVICES CONNECTION.

- THE WATERMAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE
- THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- 16.1.3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION AND IN CONFORMANCE WITH THE STANDARDS, FOR, WATER AND SEWER CONSTRUCTION IN WISCONSIN. THE DRAIN OR SEWER SHALL BE PRESSURE-TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- 16.2. <u>VERTICAL SEPARATION</u>
- A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
- BOTH THE STORM SEWER AND SANITARY SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION OR THE STORM SEWER SHALL BE CONSTRUCTED USING "O" RING GASKET JOINTS, PER ASTM C-443, OR THE WATERMAIN MAY BE IN ENCASED IN
 - A WATERTIGHT CASING PIPE WHEN: 16.2.2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, AS DESCRIBED ABOVE; OR
- 16.2.2.2. THE WATERMAIN PASSES UNDER A SEWER OR DRAIN. 16.2.3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND
- 16.2.4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.
- 7. ALL WATERMAINS SHALL BE PRESSURE—TESTED FOR A MIN. OF 2 HOURS AT 200 PSI, FLUSHED, ANI DISINFECTED IN ACCORDANCE WITH AWWA AND THE MUNICIPALITY SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE—TESTED FOR A MINIMUM OF ONE (1) HOUR. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE MUNICIPALITY AT NO TIME IS THERE TO BE ANY VISIBLE

ADA GENERAL NOTES

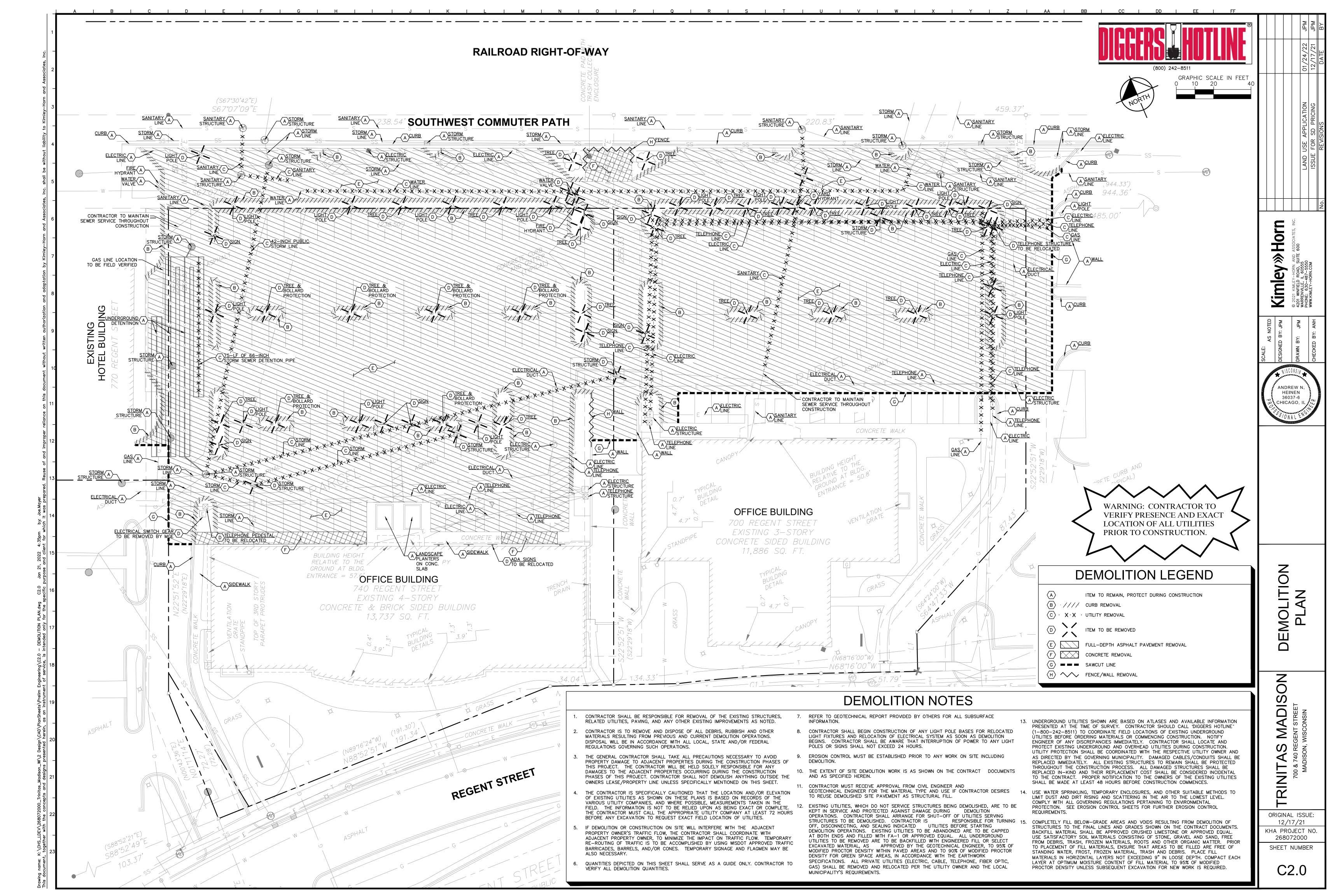
- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS OF THE AUTHORITY
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION. ANY COMPONENTS OF THE PROJECT SERVING MULTI-FAMILY DWELLINGS IN BUILDINGS THAT HAVE (4) OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA). AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS. ACCESSIBLE PARKING SPACES. ACCESS AISLES. AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

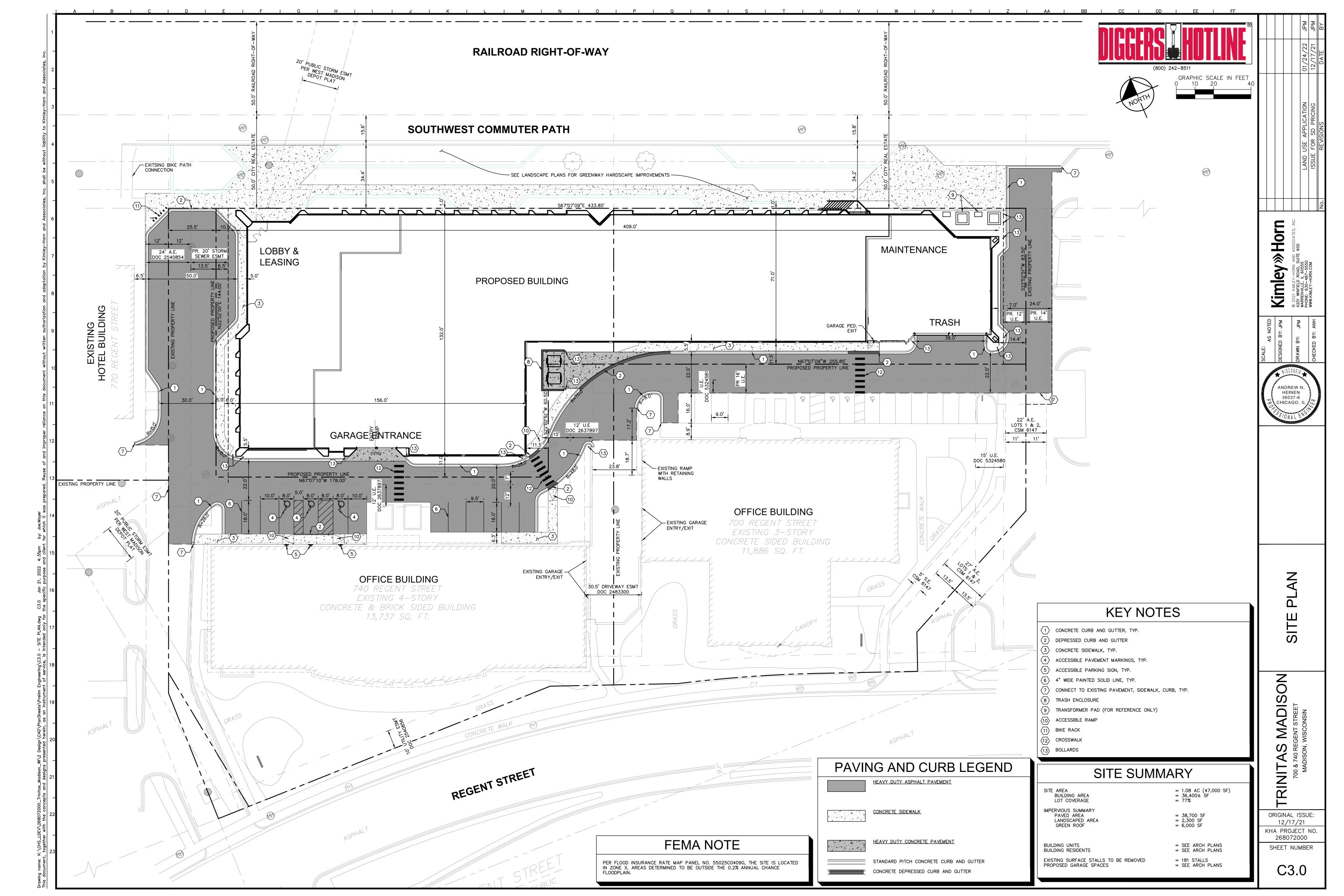
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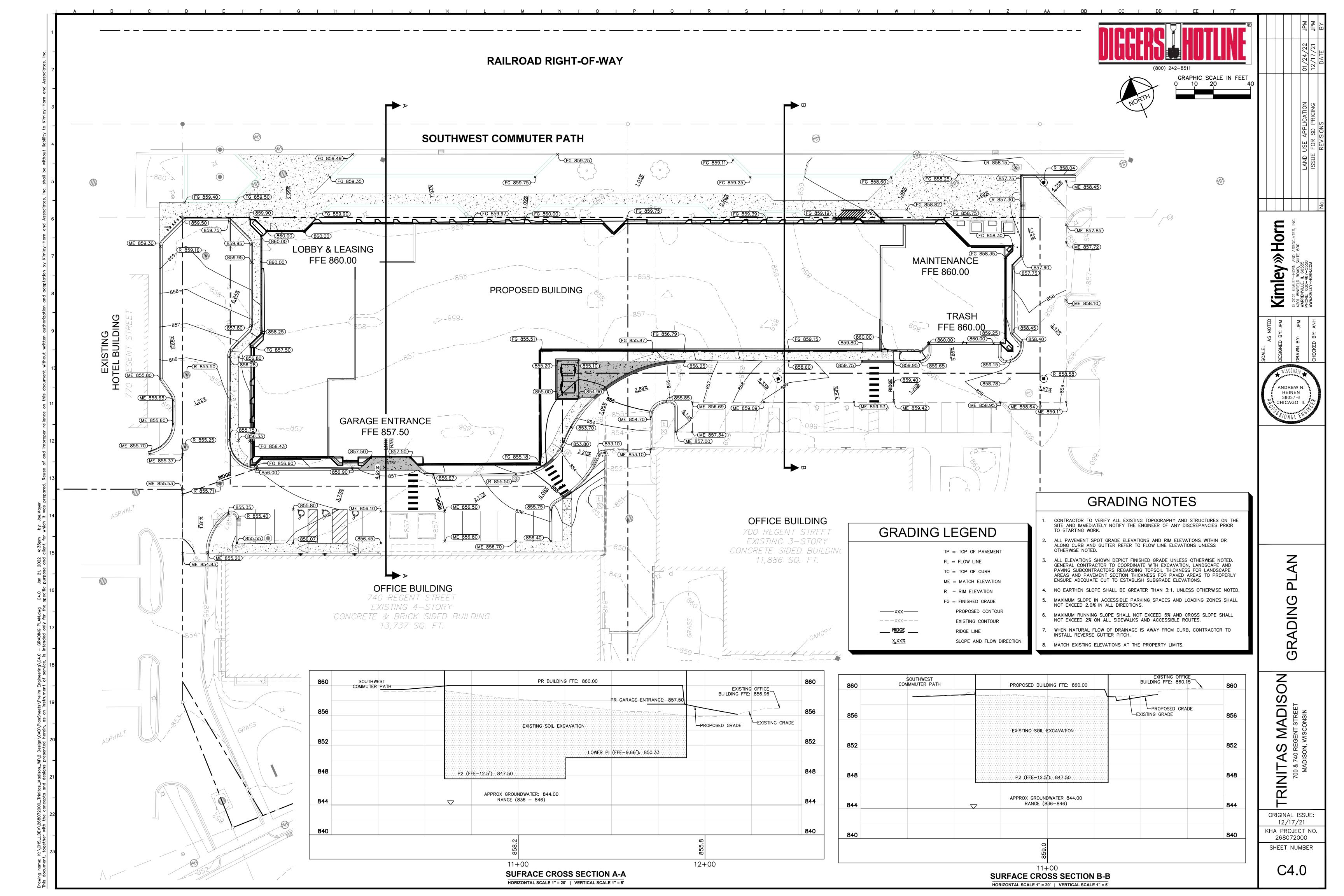
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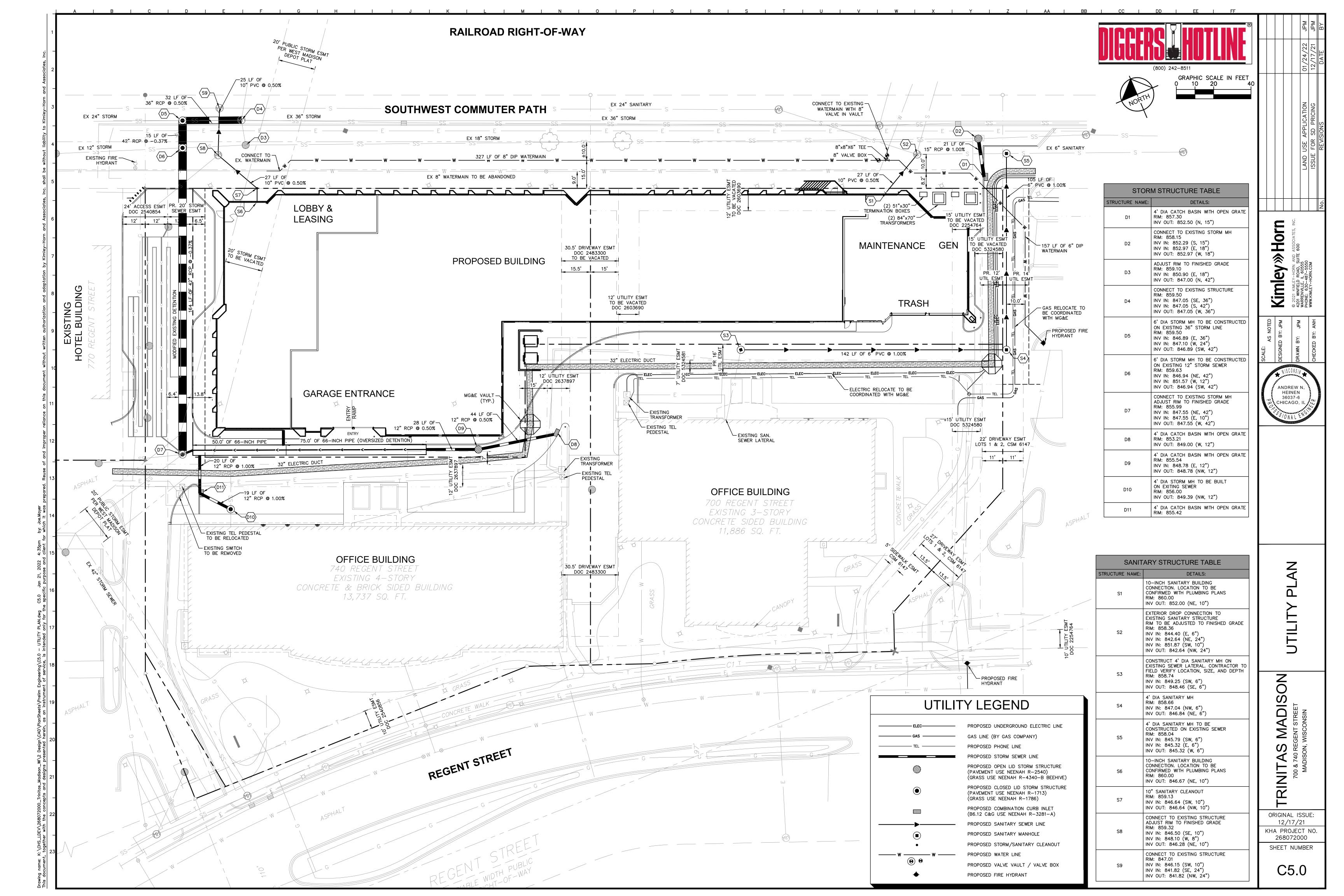
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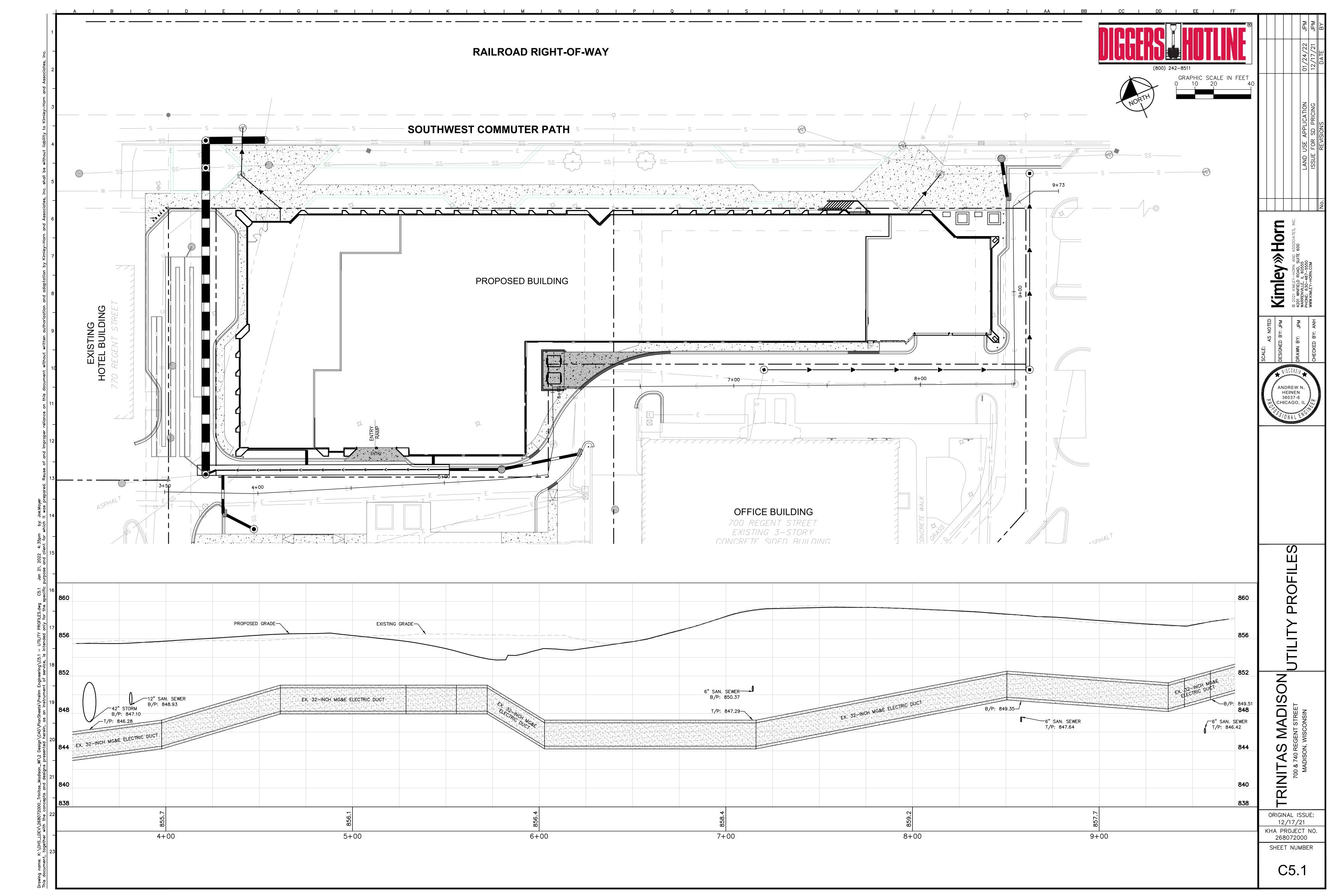
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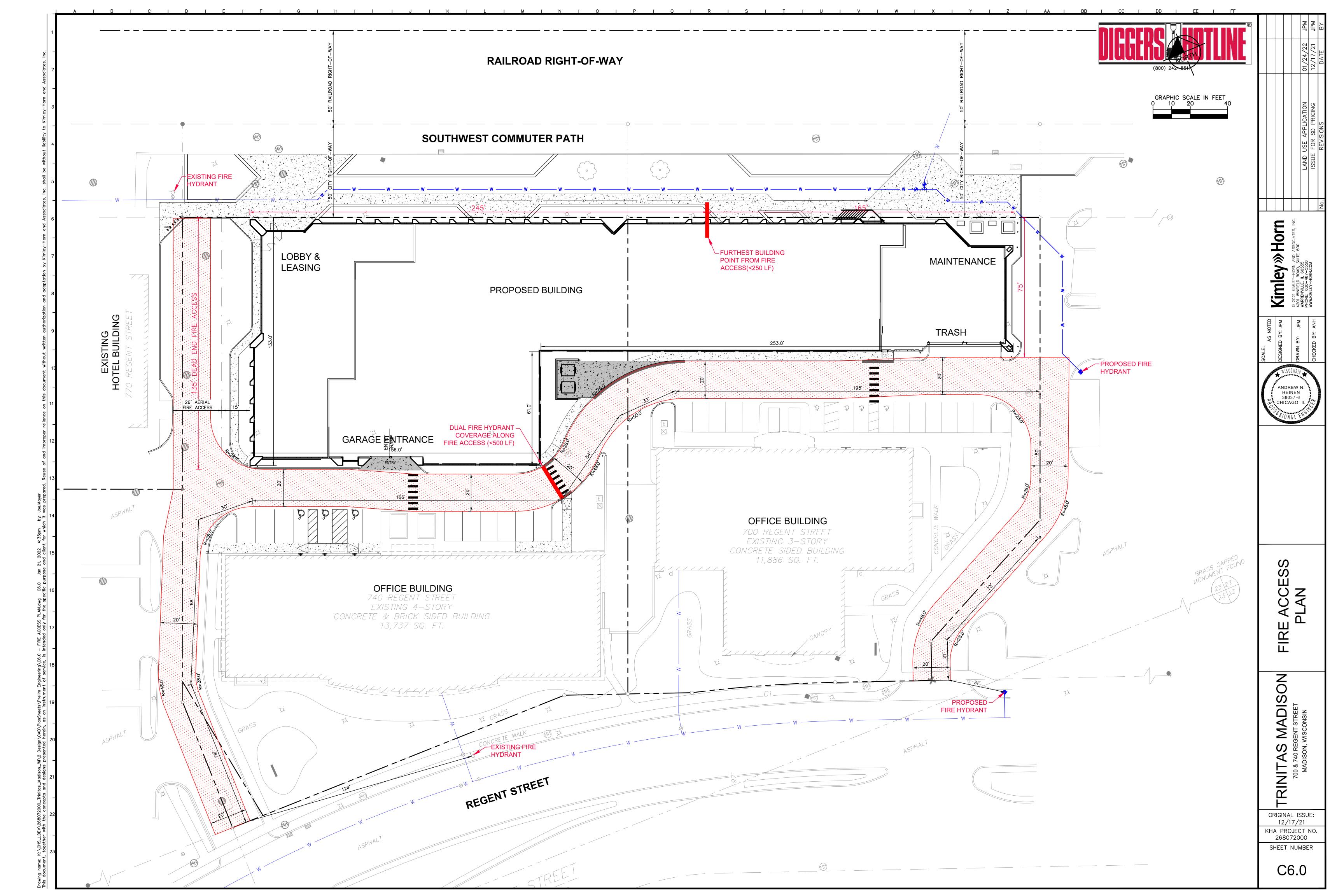












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Site Furnishings	PEROPRIPATION	Man for t	MATERIAL IRECTION	201.02	FINIOU / DATES	CONTACTINE	NOTE	OUANTES
TAG	DESCRIPTION	Manufacturer	MATERIAL / PRODUCT	COLOR	FINISH / PATTERN POWDER COATED	CONTACT INFO LARA MOFFAT W/ LANDSCAPE FORMS 800-430-6206	NOTE REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR	QUANTITY
F02	CHAIR	LANDSCAPE FORMS	CHIPMAN ARMED CHAIR	MERCURY	ALUMINUM	EXT 1309	PURCHASE	58
F03	SITE TABLE	LOLL	LOLLYGAGGER COCKTAIL TALBE (30" ROUND)	CHARCOAL GREY	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2
F04	DINING TABLE	LOLL	ALFRESCO DINING TABLE (95")	CHARCOAL GREY	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	5
F05	BAR TABLE	N/A	CUSTOM TO MATCH OUTDOOR KITCHEN FINISHES REF. DETAILS	REF. DETAILS	REF. DETAILS	N/A	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	1
F08	FIRE PIT	N/A	BOL - CORTEN FIRE PIT 2'x6'	NATURAL STEEL	NATURAL	PALOFORM.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2
F10	GRILL	BULL	BULL OUTLAW GRILL #26039 C.G. WITH FINISHING FRAME	NATURAL	STAINLESS	WWW.BULLBBQ.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	3
F12	CHAISE LOUNGE	ROVE CONCEPTS	PRESTON OUTDOOR	WHITE	OUTDOOR	ROVECONCEPTS.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR	3/1
			LOUNGER				PURCHASE REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR	0
F14	SIDE TABLE	LOLL	RAPSON SIDE TABLE	WHITE	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	PURCHASE	2
F16	UMBRELLA (10' SQ)	TUUCI	OCEAN MASTER CLASSIC CANTILEVER W/ STNLS STEEL, MAX SECURITY STEM AND STNLS BASE	WHITE	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2
F17	BAR CHAIR	Emeco	CHIPMAN BAR STOOL	MERCURY	POWDER COATED STEEL	LARA MOFFAT W/ LANDSCAPE FORMS 800-430-6206 EXT 1309	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	8
F19	CHAISE LOUNGER (IN WATER)	LEDGE LOUNGER	SIGNATURE CHAISE	WHITE	N/A	LEDGELOUNGERS.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	8
F25	OUTDOOR KITCHEN	N/A	OUTDOOR KITCHEN REF.	REF. DETAILS	REF. DETAILS	N/A	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	1
F27	OUTDOOR SOFA	SIXINCH Furniture	LOLL SUNNYSIDE SOFA	TBD	TBD	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	6
F28	OUTDOOR LOUNGE (SOFA)	SIXINCH Furniture	LOLL SUNNYSIDE LOUNGE	TRD	TBD	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR	Q
	<u> </u>		CHAIR CHIPMAN TABLE		POWDERCOATED		PURCHASE REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR	-
F35	CAFE TABLE	LANDSCAPE FORMS	31"DIAMETER DINING	MERCURY	ALUMINUM	EXT 1309	PURCHASE	8
F36	CORN HOLE	SUNNYLAND FURNITURE					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	1
F45	SHADE UMBRELLA	LANDSCAPE FORMS					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	5
F46	MINGLE BACKED SEATING 6 SEATS	LANDSCAPE FORMS					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	3
F47	MINGLE BACKED SEATING 4 SEATS	LANDSCAPE FORMS					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2
P681	PLANTER METAL COLOR	N/A					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	7
F41	POOL RULES SIGNAGE	N/A	POOL RULES SIGNAGE TO	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	REFFER TO ARCHITECT FOR PREFERRED LOCATION; POOL CONTRACTOR TO ENSURE ALL REQUIRED POOL	8
	TOOL NOLLS SIGNAGE	IVA	BE PROVIED BY OWNER 18" X 24" X 2" THICK,	TOD DI OWNER	TDD DT OWNER	TBB BT GWNER	SIGNAGE IS INSTAILLED PER TDH AND LOCAL REQUIREMENTS	0
PL01	POOL COPING	STEPSTONE	PRECAST MODERN POOL COPING		LIGHT SANDBLAST	STEPSTONEINC.COM	EASE EXPOSED EDGES AT COPING OVERHANG. OVERHANG PER LOCAL CODE. POOL CONTRACTOR SHALL SUBMIT LAYOUT AND SHOW DRAWINGS FOR APPROVAL	4
PL03	WARNING STRIP TILE	MOSA	2" X 24" MOSA PORCELAIN TILE	TILE: TBD, GROUT: BEIGE	UNGLAZED	CANDACE@KNOXTILE.COM	CONTRACTOR TO PROVIDE QUANTITY TO ENSURE FULL COVERAGE AS SHOWN ON PLANS. CONTRANTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR CONSTRUCTION	2
PL04	DEPTH AND NO DIVING MARKERS	N/A	SANDBLAST AND PAINT FILL LETTERS/ SYMBOL IN PL01 COPING	BLACK	SANDBLAST & PAINT	CONTRACTOR CHOICE	CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL; SUBMIT LAYOUT/ SHOP DRAWINGS FOR APPROVAL	2
PL05	POOL PLASTER	DIAMOND BRITE	EXPOSED AGGREGATE POOL FINISH - WATER COLOR FINISHES	GRECIAN SLATE	PER MANUFACTURE	SGM.COM 800.641.9247	INSTALL PER MANUFACTURES INSTALL SPECIFICATIONS	2
PL06	ADA LIFT SLEEVE	N/A	ADA LIFT SLEEVE	N/A	N/A	N/A	LIFT SLEEVE FURNISHED BY POOL CONTRACTOR AND INSTALLED BY DECK CONTRACTOR PER CODE	1
PL07	HANDRAIL	N/A	HAND - 1-1/4" DIA.TUBE		#4 BRUSHED	CONTRACTOR CHOICE	REQUIREMENTS; REFET PLAN FOR LOCATION	4
		1777	STAINLESS STEEL POOL RULES SIGNAGE TO)			REFFER TO ARCHITECT FOR PREFERRED LOCATION; POOL CONTRACTOR TO ENSURE ALL REQUIRED POOL	<u> </u>
PL08	POOL RULES SIGNAGE	N/A	BE PROVIED BY OWNER MOSA SINGLE PIECE TO	IBD BY OWNER	TBD BY OWNER	TBD BY OWNER	SIGNAGE IS INSTAILLED PER TDH AND LOCAL REQUIREMENTS	1
PL10	WATERLINE DEPTH MARKER TILE	N/A	MATCH WATERLINE w?PAINTED TEXT	TILE: 270V GROUNT: BLACK	UNGLAZED	CANDACE@KNOXTILE.COM	CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL - NO SUBSTITUTIONS	2
Lighting	***************************************					***************************************		
L02	MUTIL-FIXTURE AREA LIGHT	Luninis	Scopo Exterior LED mounted on 13' round pole. (4) Four	POWDER COATED BLACK	3000 K	LIGHTAZ.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	1
L03	EXTERIOR STRUCTURE MOUNDTED DOWN LIGHT	BK	fixtures mounted per pole. Denali (3" diam.)	POWDER COATED BLACK	3000 K	BKLIGHTING.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	33
L04	EXTERIOR TREE MOUNTED DOWN LIGHT	BK	Artistar	POWDER COATED BLACK	3000 K	BKLIGHTING.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	1
L05	WALL LUMINAIRE (POOL EQUIPMENT)	Bega	22174	POWDER COATED BLACK		BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	1
L08	BOLLARD STREET LIGHT 84082	Bega	84082	POWDER COATED BLACK		BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	13
L09	GARDEN BOLLARD 77238	Bega	77238 24507	POWDER COATED BLACK POWDER COATED BLACK		BEGA.COM BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc. Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	52
L10 L11	PENDANT BOLLARD 24507 POLE PROJECTOR SC655	Bega Luninis	SC655	POWDER COATED BLACK		LIGHTAZ.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc. Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	5
L12	HELIO M30/K4 SECURITY BOLLARDS	Helio	LBHLO-903	POWDER COATED BLACK		FORMS-SURFACES.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc. Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	20
L13	Linear element - Round - Direct bury	1			4000 K			2
Walls & Fencing								
G01A	SECURITY GATE (4' HEIGHT)	AMERISTAR	MONTAGE PLUS SELF CLOSING	BLACK	POWDER COATED STEEL	MIKE ESPINOSA @ AMERISTARFENCE.COM	INSTALL PER MANUFACTURE SPECIFICATIONS. REF. PLANS FOR LAYOUT AND GATE LOCATIONS. REF. DETAILS ON SHEETS LSXX	1
W01	STEEL FENCE (4' HEIGHT)	AMERISTAR	MONTAGE PLUS DOUBLE SWING	BLACK	POWDER COATED STEEL	MIKE ESPINOSA @ AMERISTARFENCE.COM	INSTALL PER MANUFACTURE SPECIFICATIONS. REF. PLANS FOR LAYOUT AND GATE LOCATIONS. REF. DETAILS ON SHEETS LSXX	60' - 6 1/4" 584' - 10 1/8"
						2125.04 Trinitas Landscape Regi	uiromonts	

	DETAILS ON SHEE	I O LOAA					
2125 04 Trinitas	Landscape Requirements						
2125.04 111111tas 125.04 - 740 Regent Street	Lanuscape Requirements						
123.04 - 740 Negent Street	City of Madis	on, Wisconsin Lar	ndscape Require	 ements			
otal Square Footage of Developed Area:	Site Area	50,900	-	Building Footp	rint at Grade	33,875=	17025
otal Landscape Points Required:		17,025	/300 =	56.75	x 5 =	283.75	
			-	sting Landscaping		osed Landscaping	
Plant type/ Element	Minimum Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved	
verstory Deciduous Tree	2.5" Caliper	35			1.00	35.00	
all Evergreen Tree	5-6' Tall	35				-	
rnamental Tree	1.5" Caliper	15			5	75	
pright Evergreen Shrub	3-4' Tall	10			0	0	
nrub, Deciduous	#3 Gallon Container Size, Min	3			23	69	
nrub, Evergreen	#3 Gallon Container Size, Min	4			13	52	
rnamental Grasses Perennials	#1 Gallon Container Size, Min. 8-18"	2			88	176	
rnamental/Decorative Fencing or Wall	n/a	4 per 10 lineal			0	0	
xisting Significant Specimen Tree	Minimum Size 2.5" caliper. Trees must be within developed area and cannot comprise of more than 30% of total required points.	14 per caliper inch. Max points per tree: 200				0	
andscape Furniture for Public Seating nd/or Transit Connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 per "seat			0	0	
ubtotals					130.00	407	
			7	otal Points Provided:			

GENERAL NOTES

- 1. LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- 2. LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.

- 4. LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL
- 5. LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- 6. UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- 7. EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- 8. ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- 10. LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- 11. SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- 12. WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- 13. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- 14. PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- 15. LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- 16. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 17. LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- 18. PLANTING AREAS (NOT OVER STRUCTURE) RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.
- 19. ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED
- 20. SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- 21. STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD
- 22. REFER TO CIVIL FOR SITE DEMOLITION INFORMATION.
- 23. REFER TO CIVIL FOR ADDITIONAL SITE GRADING AND UTILITY INFORMATION
- 24. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.
- 25. CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

IRRIGATION NOTES

- 1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERFORMANCE IRRIGATION PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING
- 4. COORDINATE IRRIGATION SLEEVING LOCATIONS WITH GENERAL CONTRACTOR.
- 5. RAIN SENSORS TO BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- 6. IRRIGATION LIMITS TO EXTEND TO STREET BACK OF CURB.

SURVEY NOTES

- 1. ALL EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON AN OWNER-FURNISHED SURVEY. BKV GROUP OFFERS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR RELIABILITY OF THE INDICATED EXISTING CONDITIONS.
- 2. THE CONTRACTOR SHALL FIELD VERIFY ALL CRITICAL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, EXISTING BUILDING LOCATIONS, UTILITY LOCATIONS AND INVERT ELEVATIONS, AND EXISTING SITE GRADES PRIOR
- 3. ANY OBSERVED DEVIATIONS FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT OR LANDSCAPE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY. NO WORK SHALL PROCEED IN THE AREAS OF ANY DISCOVERED DEVIATIONS UNTIL THE DIFFERENCES ARE RESOLVED.

SITE PLAN NOTES

- NO EXISTING TREES ON SITE. NO PROPOSED EXISTING TREES FOR REMOVAL NO PROPOSE SITE TREE MITIGATION REQUIRED.
- STREET TREE REQUIREMENTS NOT APPLICABLE AT THIS SITE AS NO STREET FRONTAGE
- CONDITION EXISTS QUANITIES LISTED IN MATERIAL SCHEDULE AND PLANTING SCHEDULE ARE NOT FOR
- CONSTRUCTION AND TO BE USED AS BROAD ESTIMATION PURPOSES. CONTRACTOR SHALL VERIFY ALL PLANT AND MATERIAL QUANTITIES FROM PLAN DRAWINGS.



Architecture Interior Design Landscape Architecture Engineering

1412 Main Street Adolphus Tower Suite 700 Dallas, TX 75202 972.898.2841

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PROJECT TITLE

740 Regent St -

ISSUE#	DATE	DESCRIPTION
	04/24/2015	ASI-129
1	05/26/2021	DD SET
2	Date 3	CC SET

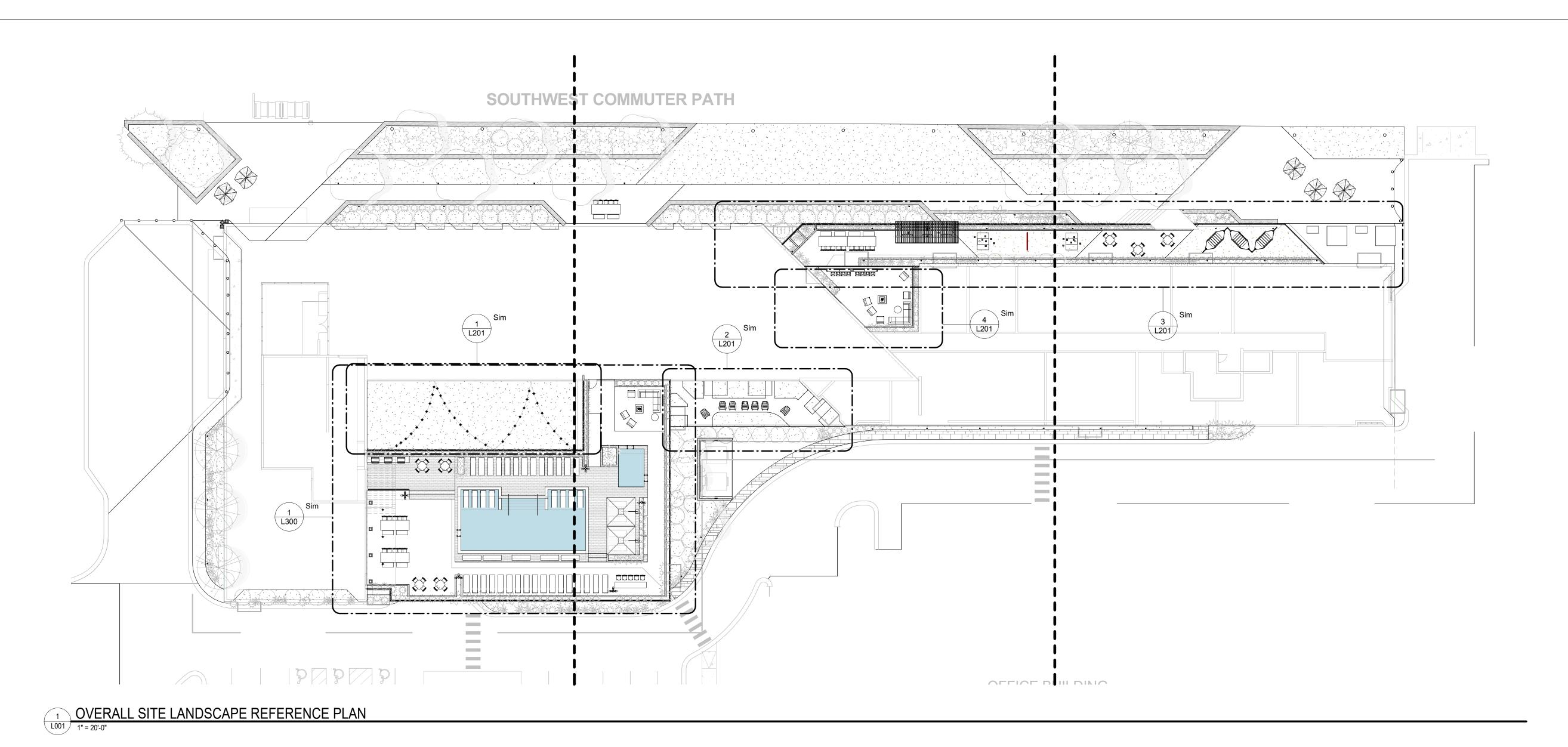
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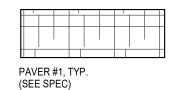
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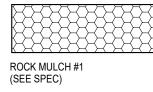
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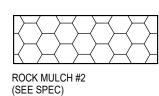


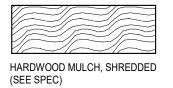


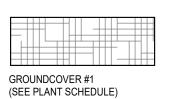


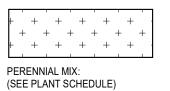
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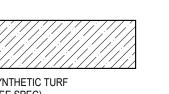














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SHEET NUMBER

CERTIFICATION

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COMMISSION NUMBER

SHEET TITLE

CONSTRUCTION

DATE: 1/22/2022 5:03:04 COLLINKOONCE TEXAS RLA NO.2939

Checker

2125.04

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Engineering

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PROJECT TITLE

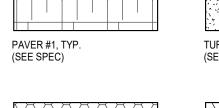
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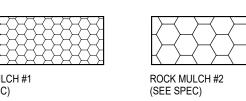
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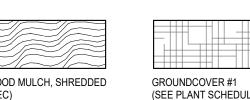


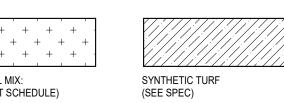
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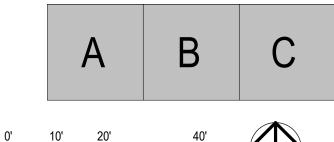
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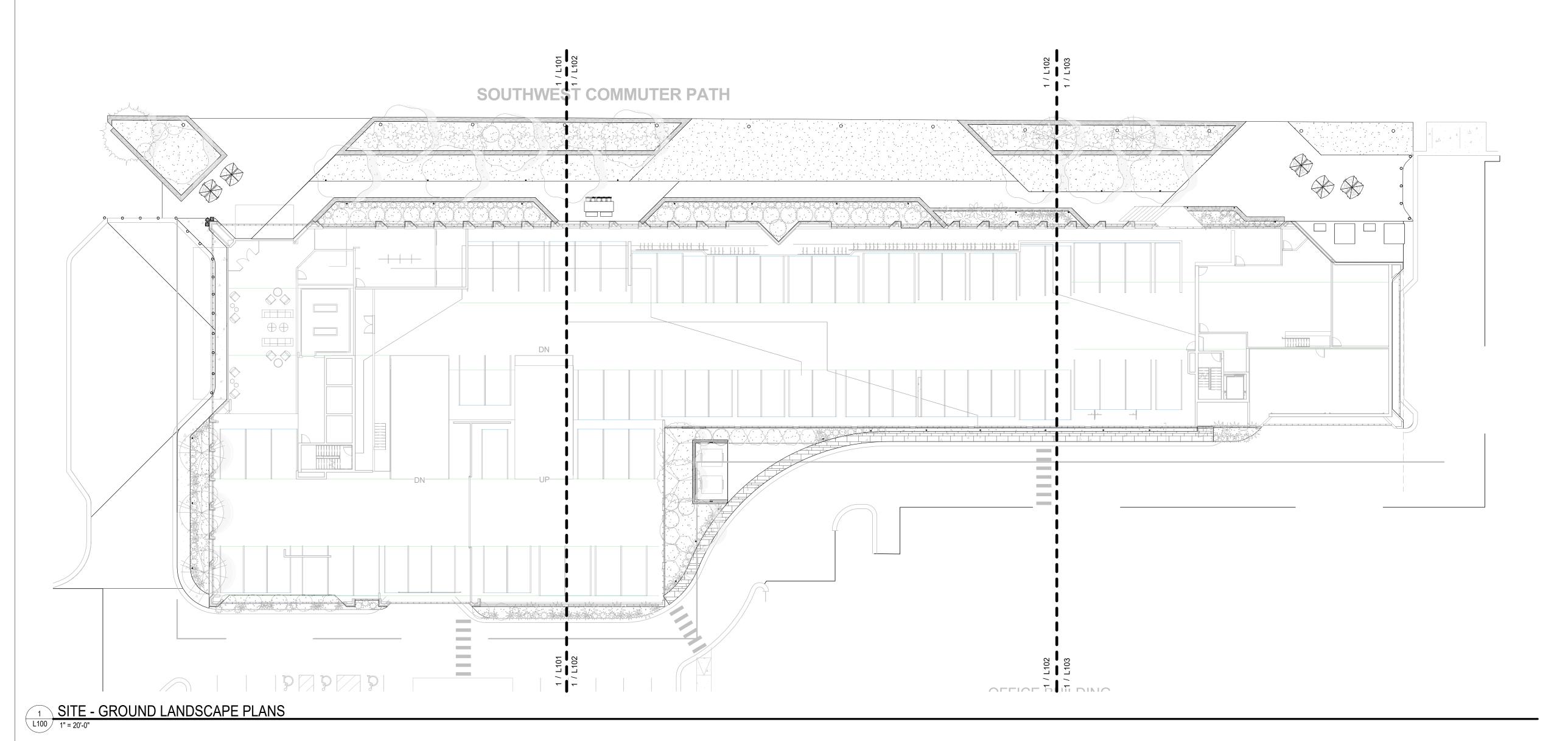




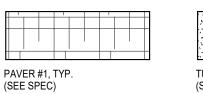


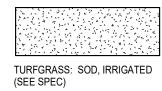


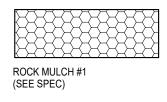
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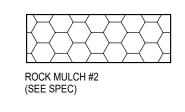


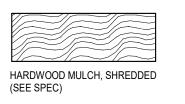
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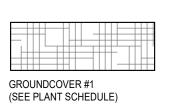


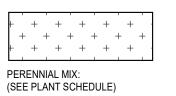


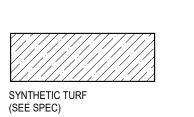


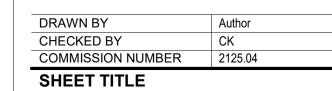












CONSTRUCTION

DATE: 1/22/2022 5:03/:17 COLLINKOONCE TEXAS RLA NO.2939

SITE - GROUND LANDSCAPE

PLANS

SHEET NUMBER

CERTIFICATION

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Engineering

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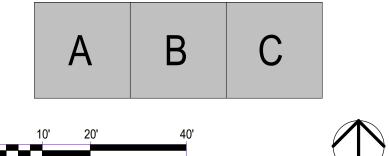
CONSULTANTS

PROJECT TITLE

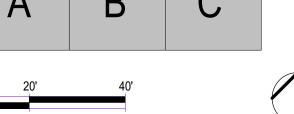
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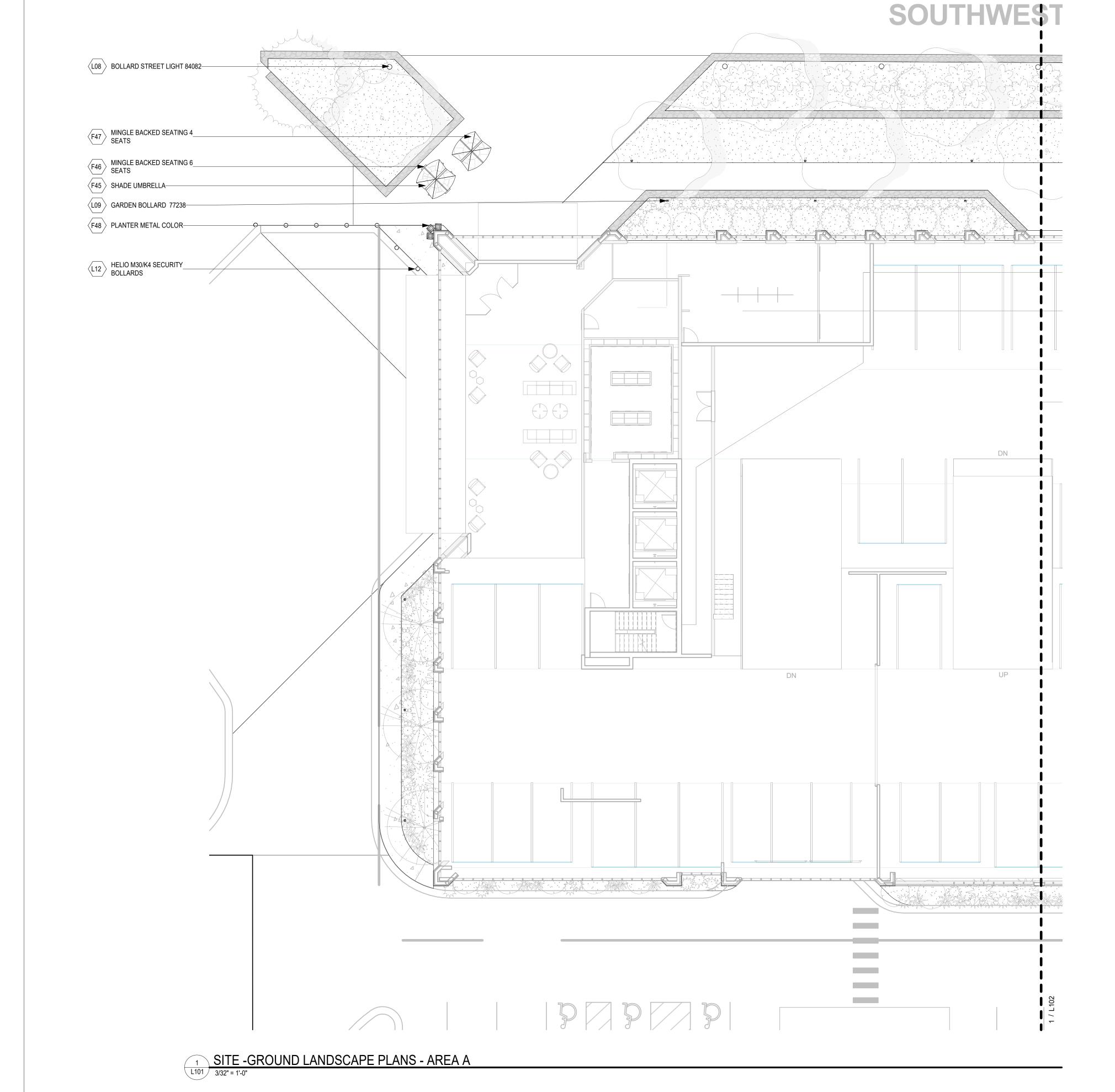
Landscape Architecture





SCALE: 1" = 20'-0"





F45 SHADE UMBRELLA F46 MINGLE BACKED SEATING 6 SEATS F47 MINGLE BACKED SEATING 4 SEATS F48 PLANTER METAL COLOR L08 BOLLARD STREET LIGHT 84082 L09 GARDEN BOLLARD 77238
L12 HELIO M30/K4 SECURITY BOLLARDS

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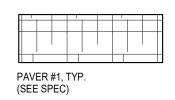
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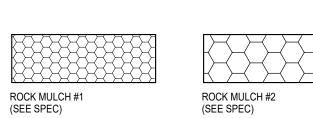
PROJECT TITLE

740 Regent St -Madison, WI

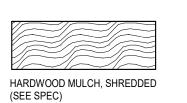
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1	05/26/2021	DD SET
2	Date 3	CC SET

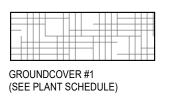
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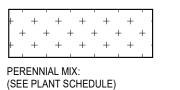


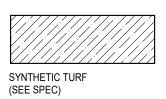
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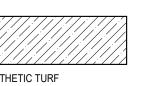




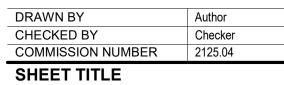
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CONSTRUCTION

DATE: 1/22/2022 5:03/:23 COLL**PN**KOONCE TEXAS RLA NO.2939

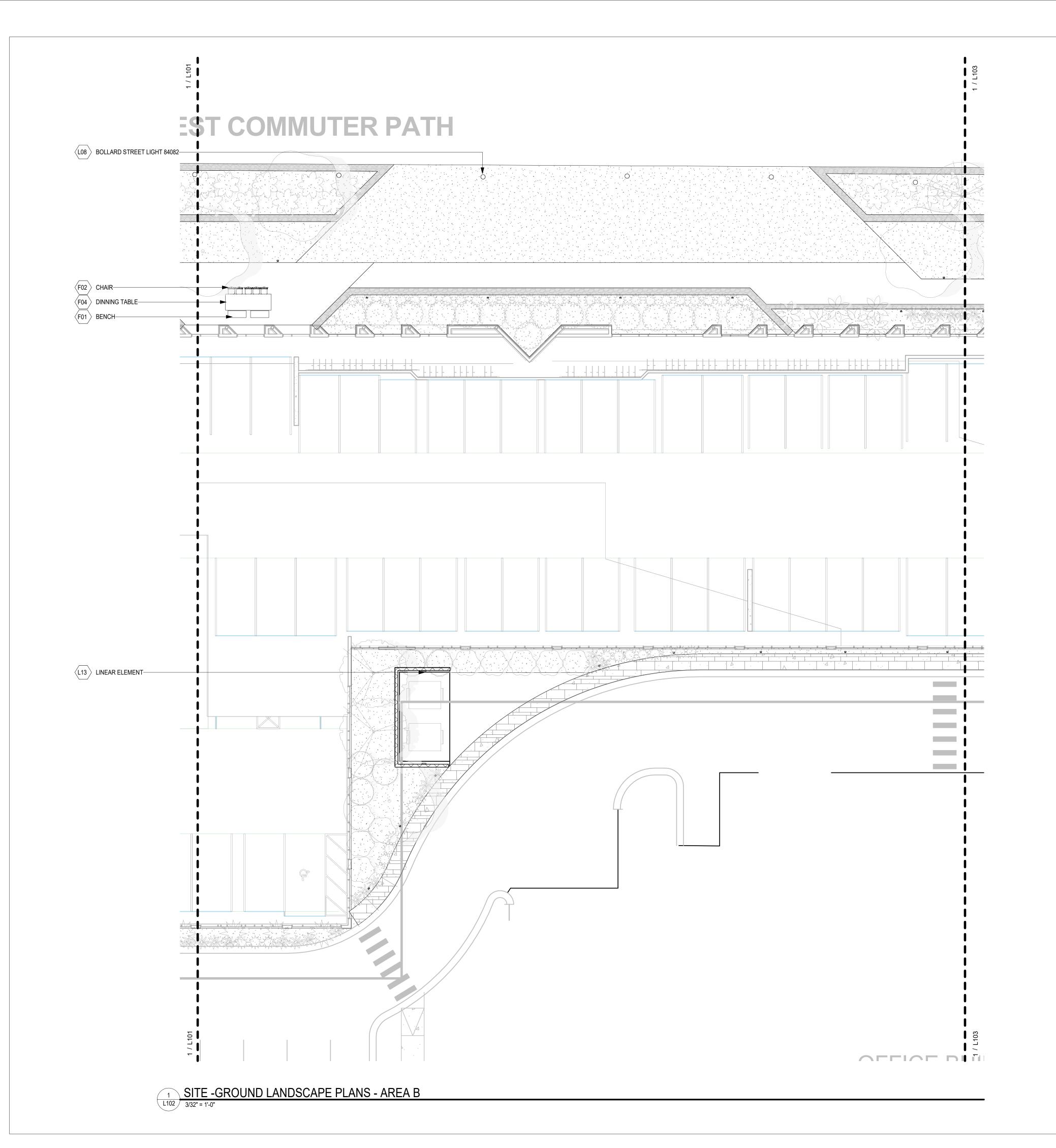
SITE -GROUND

LANDSCAPE PLANS - AREA A

SHEET NUMBER

CERTIFICATION





F01 BENCH
F02 CHAIR
F04 DINNING TABLE
L08 BOLLARD STREET LIGHT 84082
L13 LINEAR ELEMENT



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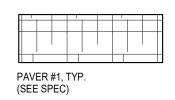
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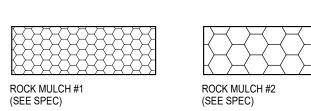
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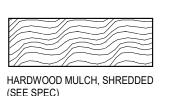
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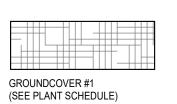
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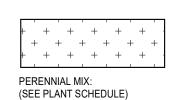


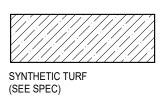
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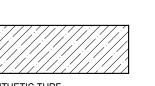




TURFGRASS: SOD, IRRIGATED (SEE SPEC)







TRUE NORTH

DRAWN BY CHECKED BY Checker COMMISSION NUMBER 2125.04 SHEET TITLE

CONSTRUCTION

COLL**PN**KOONCE / TEXAS RLA NO.2939

SITE -GROUND LANDSCAPE

PLANS - AREA B

SHEET NUMBER

CERTIFICATION

F45 SHADE UMBRELLA
F46 MINGLE BACKED SEATING 6 SEATS
F47 MINGLE BACKED SEATING 4 SEATS L08 BOLLARD STREET LIGHT 84082

L09 GARDEN BOLLARD 77238

L12 HELIO M30/K4 SECURITY BOLLARDS

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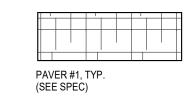
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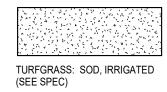
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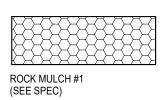
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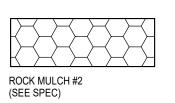
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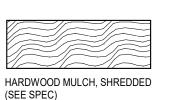
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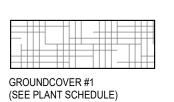


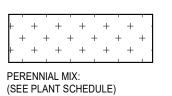


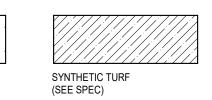












SCALE: 3/32" = 1'-0"

TRUE NORTH

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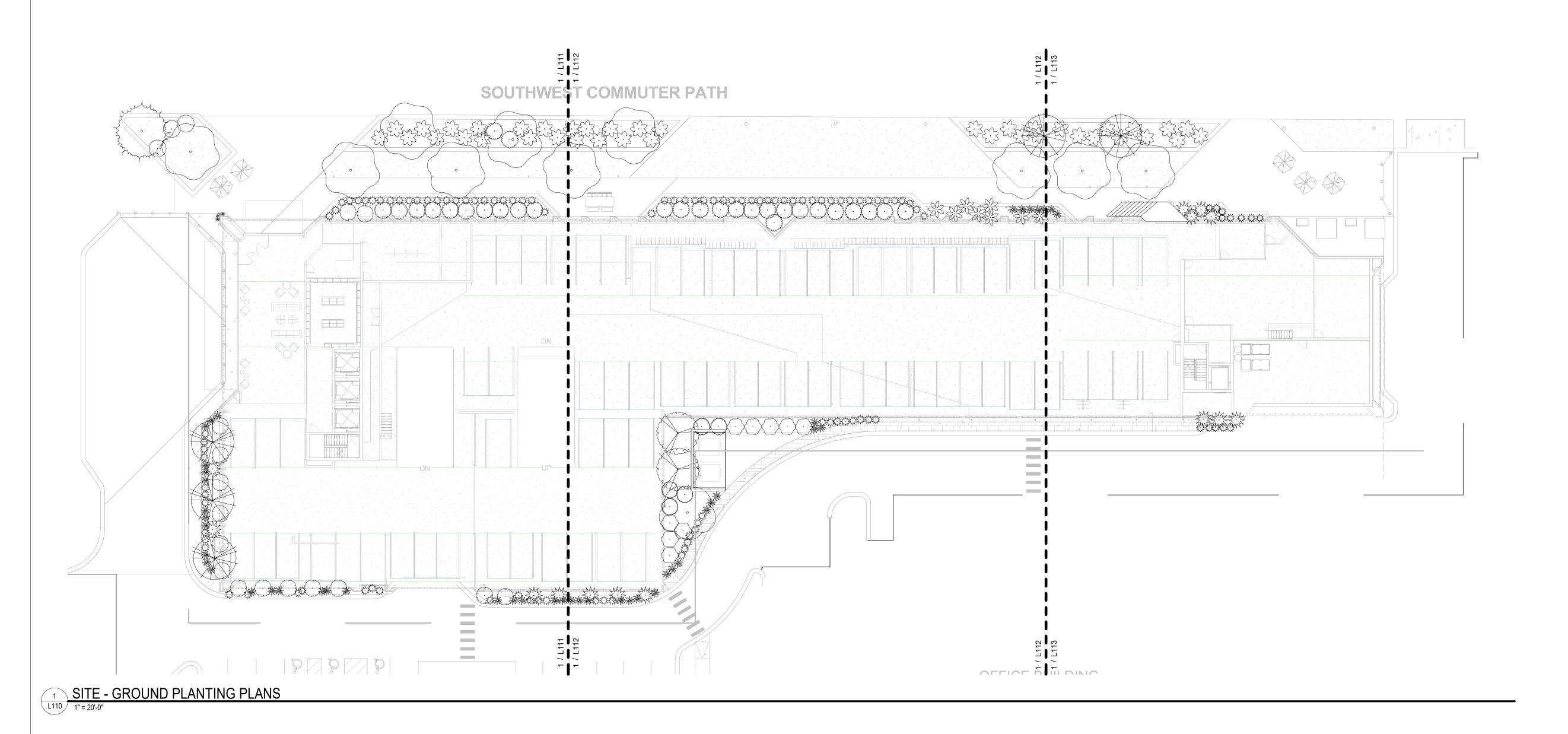
CERTIFICATION

SHEET TITLE

SITE -GROUND LANDSCAPE PLANS - AREA C

CONSTRUCTION

DATE: 1/22/2022 5:03/:33 COLL**PNK**OONCE / TEXAS RLA NO.2939

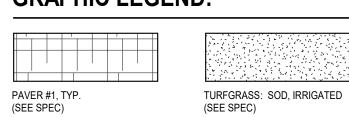


PROPOSED PLANT SCHEDULE:

IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TRE	S					
0	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6`-8` HT. & 4`-5` SP.	
0	2	AUT BLA	ACER X FREEMANII "JEFFERSRED"	AUTUMN BLAZE FREEMAN MAPLE	6`-8` HT. & 4`-5` SP.	
0	11	GIN KGO	GINKGO BILOBA	GINKGO	6`-8` HT. & 4`-5` SP.	
0	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6`-8` HT. & 4`-5` SP.	
SHR	16 UBS					
0	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
0	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
0	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
0	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
0	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
63	39	SAY GOL	JUNIPERUS X FITZERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	

MG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
	117					
ORN	AMEN	TAL TREES				
9	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6`-8` HT. & 4`-5` SP.	
	7					
GRA	SS					
Ö	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
Ö	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
*	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
	411					

GRAPHIC LEGEND:

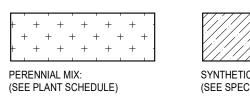


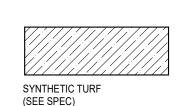
ROCK MULCH #1 (SEE SPEC)

ROCK MULCH #2 (SEE SPEC)

HARDWOOD MULCH, SHREDDED (SEE SPEC)

SCALE: 1" = 20'-0"





TRUE NORTH PLAN NORTH



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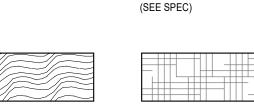
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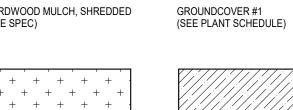
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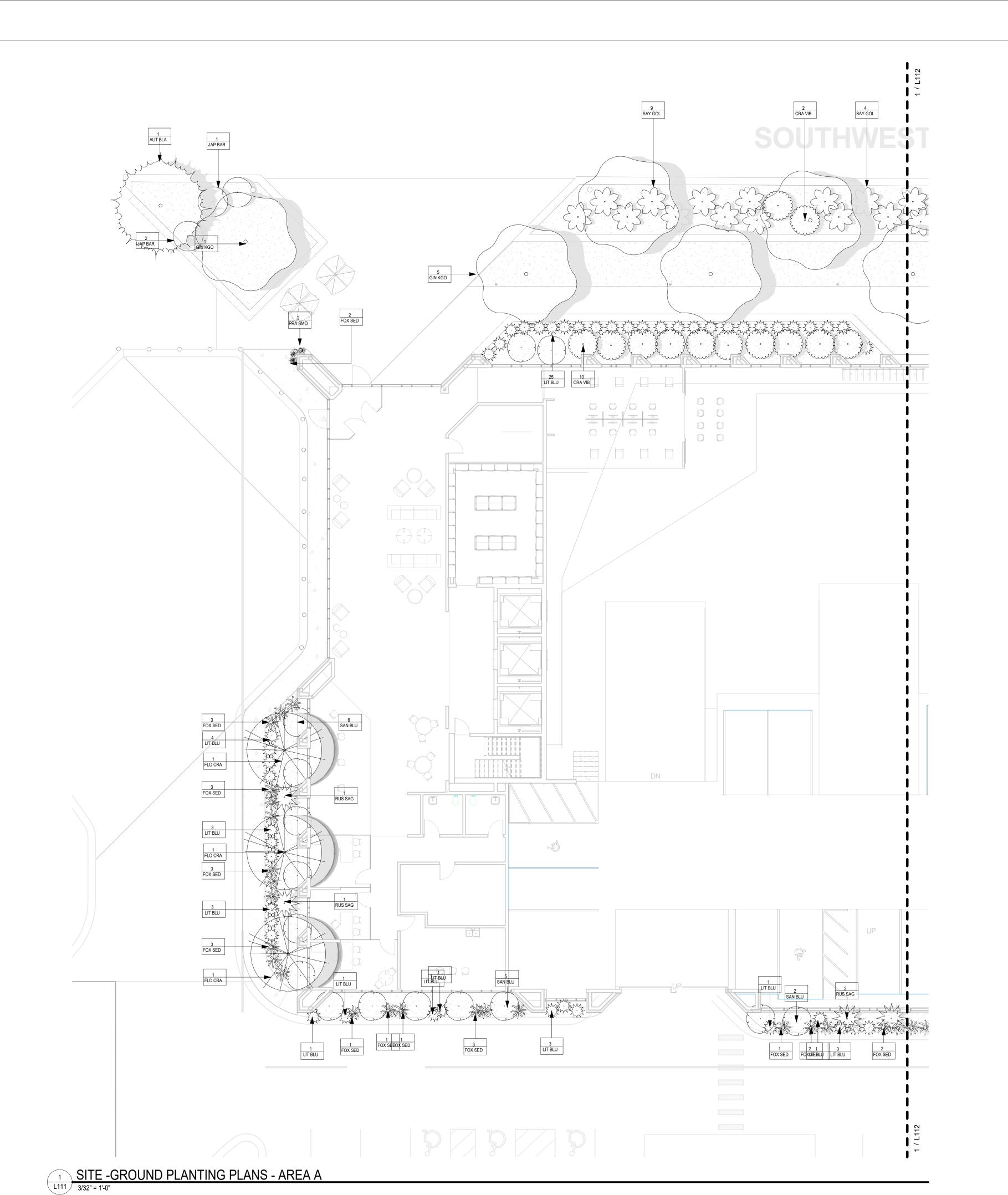
Landscape Architecture







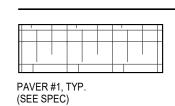




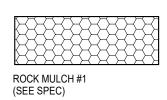
MG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREE	S					
0	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6`-8` HT. & 4`-5` SP.	
0	2	AUT BLA	ACER X FREEMANII "JEFFERSRED"	AUTUMN BLAZE FREEMAN MAPLE	6`-8` HT. & 4`-5` SP.	
9	11	GIN KGO	GINKGO BILOBA	GINKGO	6`-8` HT. & 4`-5` SP.	
0	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6`-8` HT. & 4`-5` SP.	
SHRI	16 JBS					
0	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
0	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
0	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
0	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
**	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
0	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
3	39	SAY GOL	JUNIPERUS X FITZERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORN	117 AMEN	TAL TREES				
9	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6`-8` HT. & 4`-5` SP.	
GRAS	7 SS					
Ö	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
*	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
O	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
\$	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
	411	•				

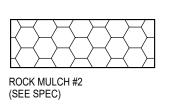
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TREE	S					
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0	2	AUT BLA	ACER X FREEMANII "JEFFERSRED"	AUTUMN BLAZE FREEMAN MAPLE	6`-8` HT. & 4`-5` SP.	
9	11	GIN KGO	GINKGO BILOBA	GINKGO	6`-8` HT. & 4`-5` SP.	
0	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6`-8` HT. & 4`-5` SP.	
SHR	16 UBS					
0	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
0	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
0	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
0	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
***	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
0	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
3	39	SAY GOL	JUNIPERUS X FITZERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORN	117 AMEN	TAL TREES				
0	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6`-8` HT. & 4`-5` SP.	
GRA	7 SS				•	
Ö	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
3	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
Ö	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
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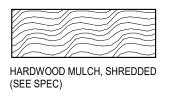
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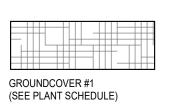


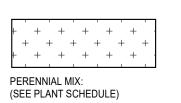
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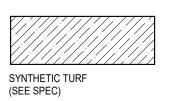


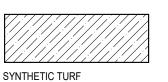




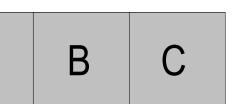


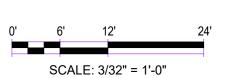














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CONSULTANTS

PROJECT TITLE

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CERTIFICATION

CONSTRUCTION

DATE: 1/22/2022 5:03:51 COLL**PM**KOONCE TEXAS RLA NO.2939

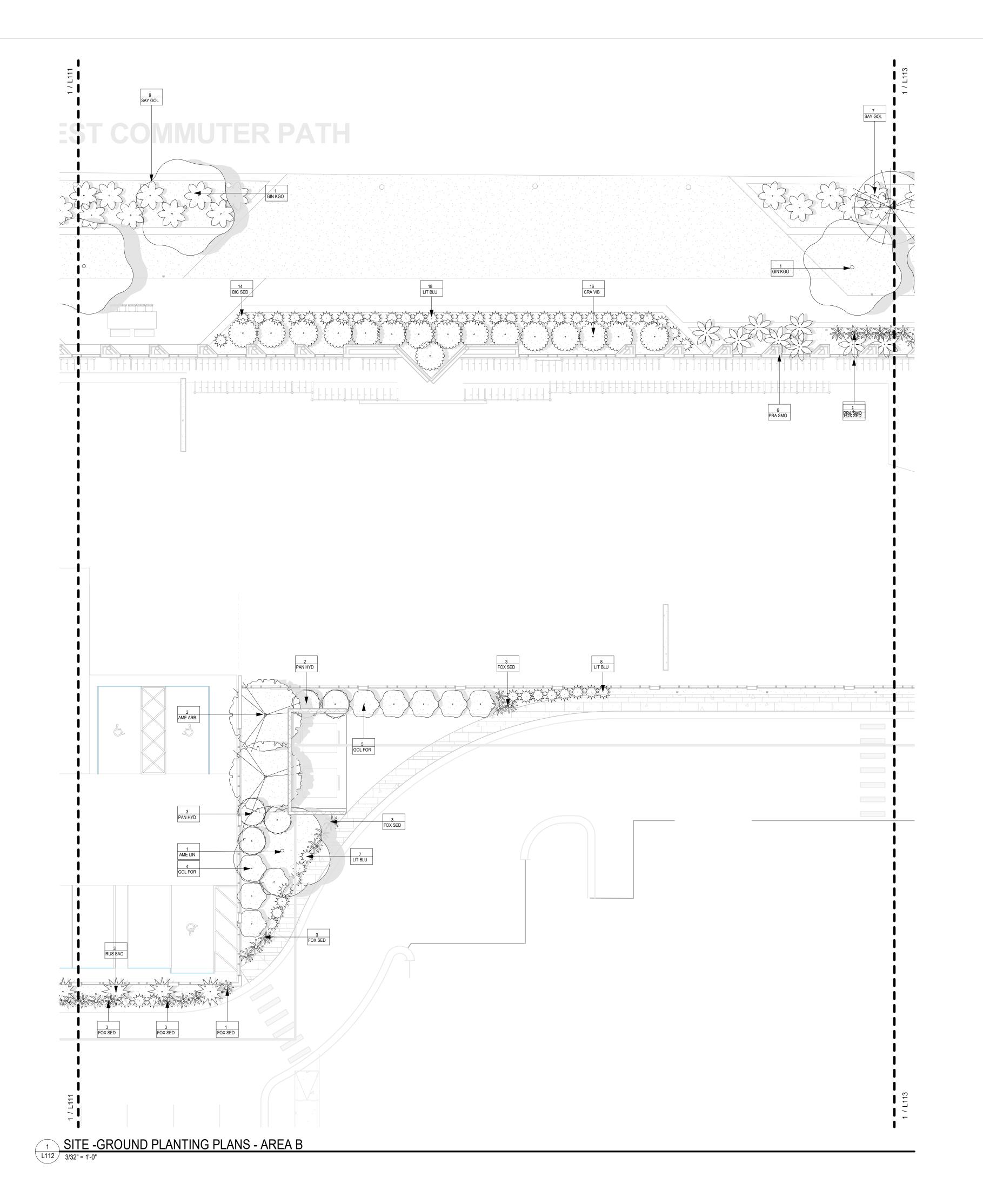
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- AREA A

Checker

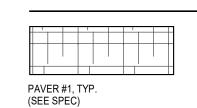
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Landscape Architecture

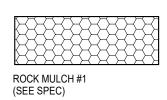


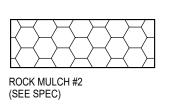
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TREE	S					
0	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6`-8` HT. & 4`-5` SP.	
0	2	AUT BLA	ACER X FREEMANII "JEFFERSRED"	AUTUMN BLAZE FREEMAN MAPLE	6`-8` HT. & 4`-5` SP.	
9	11	GIN KGO	GINKGO BILOBA	GINKGO	6`-8` HT. & 4`-5` SP.	
9	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6`-8` HT. & 4`-5` SP.	
SHRI	16 JBS					
0	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
0	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
0	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
0	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
1/4	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
0	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
3	39	SAY GOL	JUNIPERUS X FITZERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORN	117 AMEN	TAL TREES				
9	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
1	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6`-8` HT. & 4`-5` SP.	
GRAS	7 SS					
Ö	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
Ö	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
够	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
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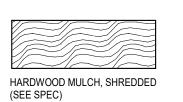
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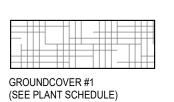


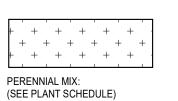
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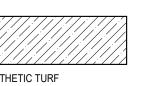


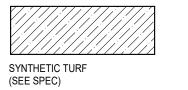


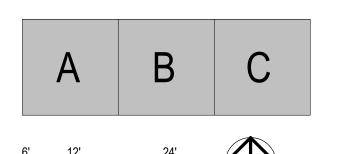




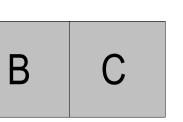








SCALE: 3/32" = 1'-0"



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PROJECT TITLE

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ISSUE#	DATE	DESCRIPTION
	04/24/2015	ASI-129
1	05/26/2021	DD SET
2	Date 3	CC SET



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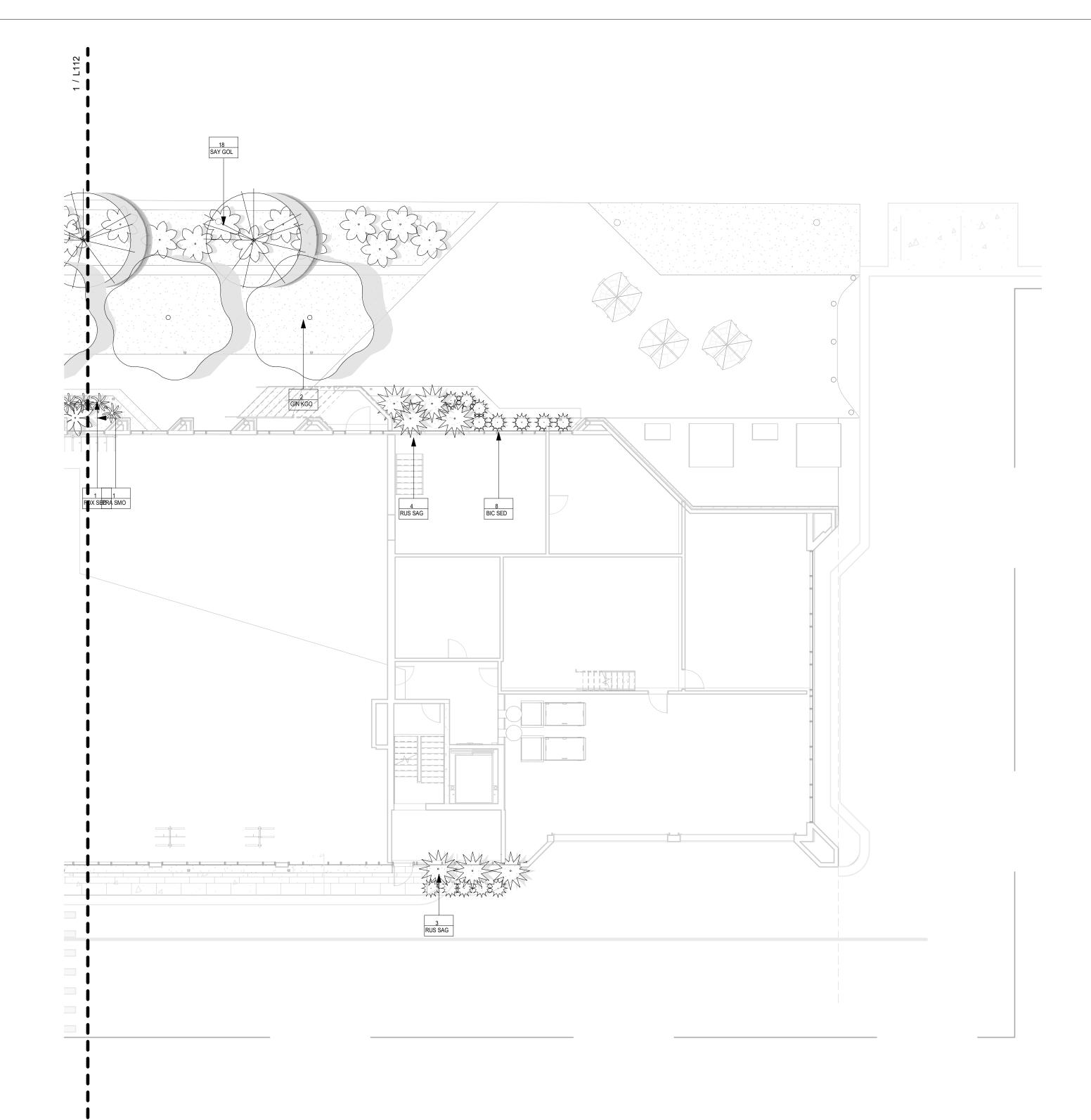
SITE -GROUND

PLANTING PLANS

- AREA B

SITE -GROUND PLANTING PLANS - AREA C

1 3/32" = 1'-0"



KEY NOTES:

MG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREE	S					
0	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6`-8` HT. & 4`-5` SP.	
0	2	AUT BLA	ACER X FREEMANII "JEFFERSRED"	AUTUMN BLAZE FREEMAN MAPLE	6`-8` HT. & 4`-5` SP.	
0	11	GIN KGO	GINKGO BILOBA	GINKGO	6`-8` HT. & 4`-5` SP.	
0	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6`-8` HT. & 4`-5` SP.	
SHRI	16 JBS					
0	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
0	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
0	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
0	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
0	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
3	39	SAY GOL	JUNIPERUS X FITZERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORN	117 AMEN	TAL TREES				
0	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6`-8` HT. & 4`-5` SP.	
GRAS	7 SS					
Ö	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
3	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
O	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
游	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
	411	•			•	

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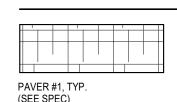
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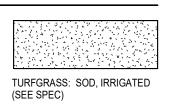
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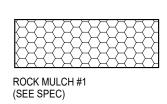
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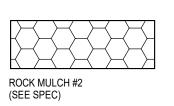
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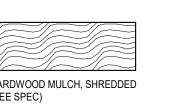
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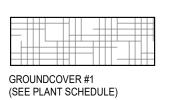


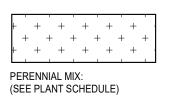






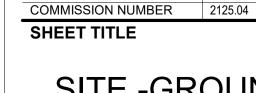












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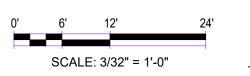
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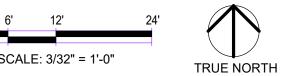
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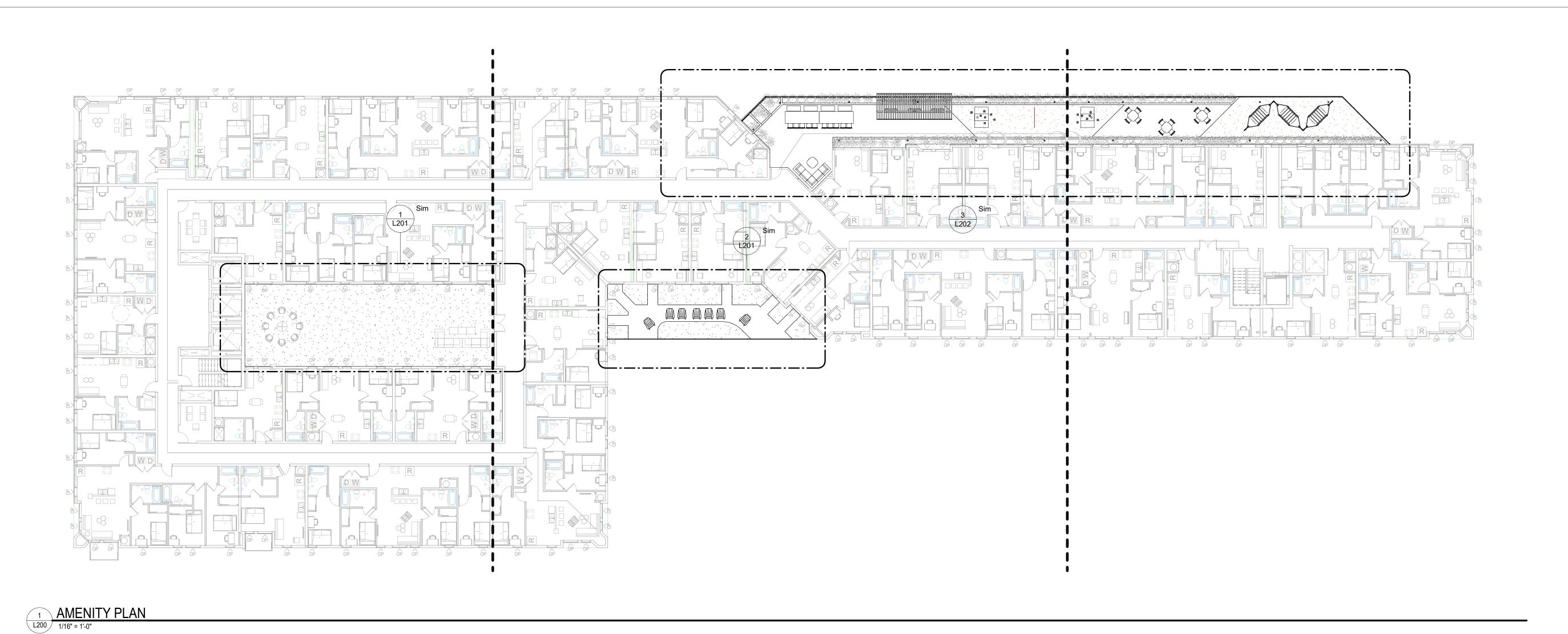
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COMMISSION NUMBER

SHEET TITLE

CONSTRUCTION

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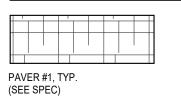
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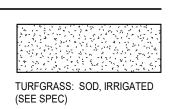
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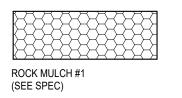
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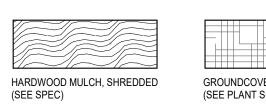
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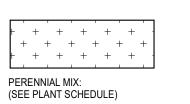


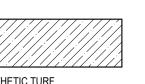


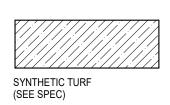


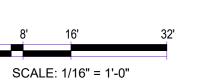


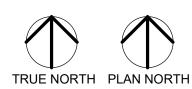










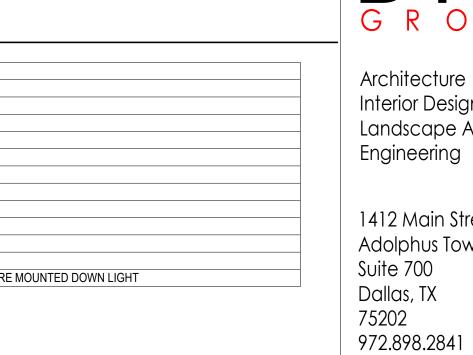




AMENITY DECK

LANDSCAPE

PLAN



F01 BENCH
F02 CHAIR
F03 SITE TABLE
F04 DINNING TABLE
F08 FIRE PIT
F17 BAR CHAIR
F18 AIRM CHAIR F28 SOFA 02 F35 CAFE TABLE
F36 PLAYGROUND 01
F42 RAIL TABLE F43 HAMMOCK
L03 EXTERIOR STRUCTURE MOUNTED DOWN LIGHT

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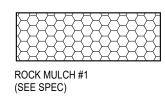
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GRAPHIC LEGEND:

PAVER #1, TYP. (SEE SPEC)



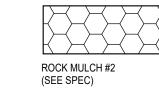
F42 RAIL TABLE

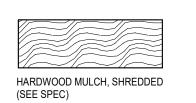
F17 BAR CHAIR

F18 AIRM CHAIR

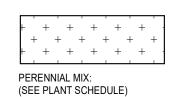
F08 FIRE PIT

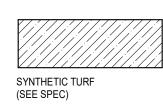
F28 SOFA 02
F03 SITE TABLE



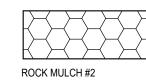


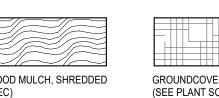


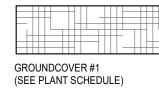




TURFGRASS: SOD, IRRIGATED (SEE SPEC)	









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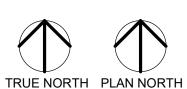
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COMMISSION NUMBER	2125.04

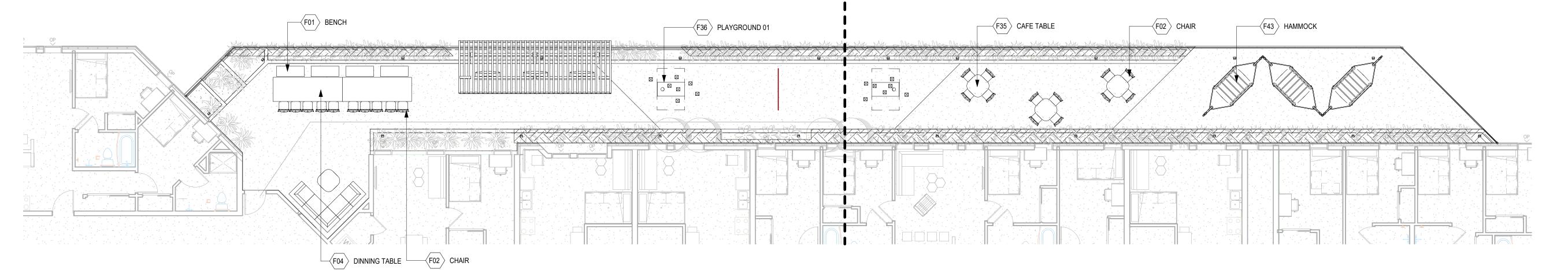
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AMENITY DECK LANDSCAPE PLAN

SHEET NUMBER

SCALE: 1/8" = 1'-0"





4 AMENITY PLAN LANDSCAPE PLANS - TERRACE 03

1/8" = 1'-0"

3 AMENITY PLAN LANDSCAPE PLANS - TERRACE 02

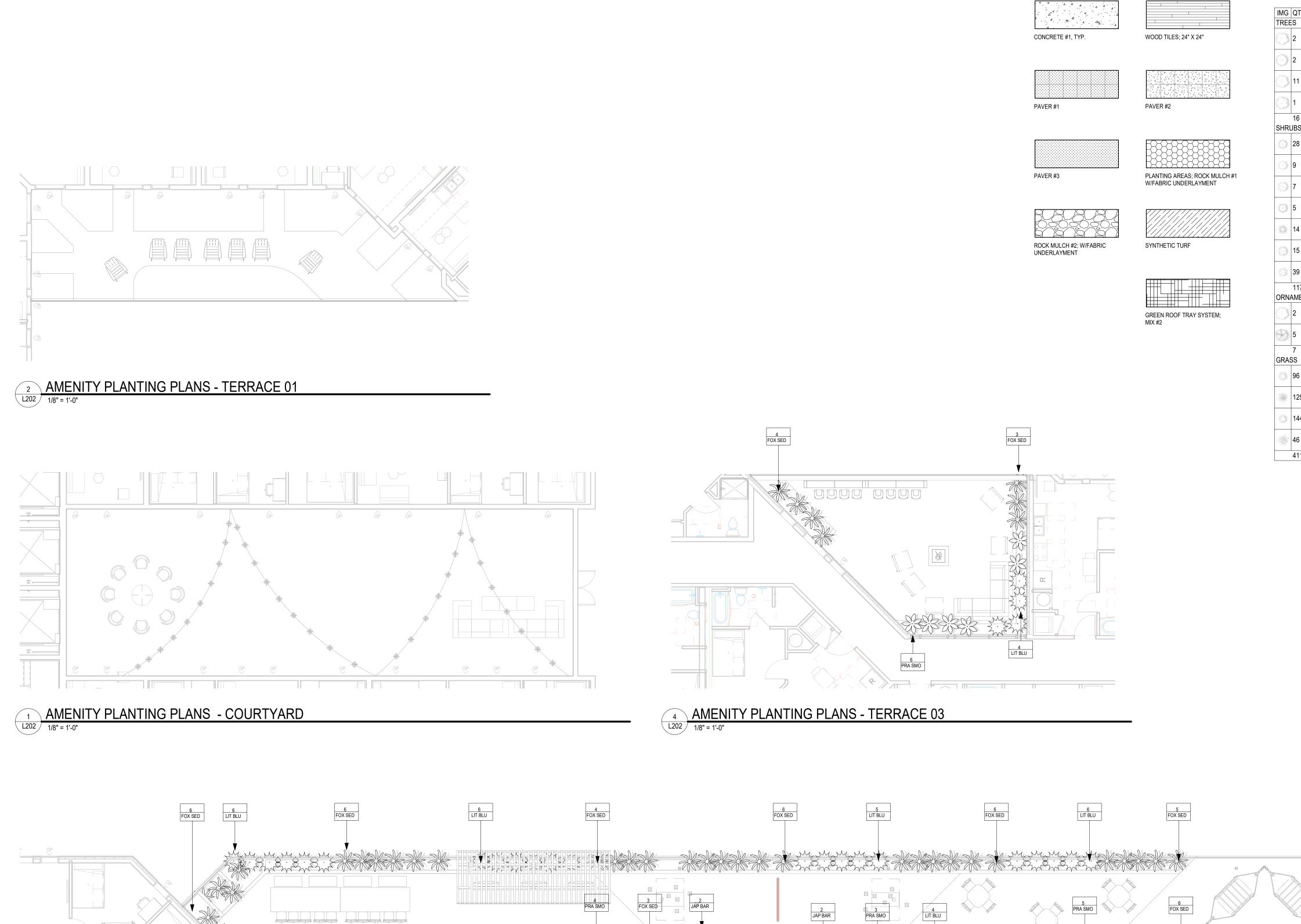
1 AMENITY PLAN LANDSCAPE PLANS - COURTYARD
1/8" = 1'-0"

2 AMENITY PLAN LANDSCAPE PLANS - TERRACE 01

F18 AIRM CHAIR

EXTERIOR STRUCTURE MOUNTED DOWN LIGHT

3 AMENITY PLANTING PLANS - TERRACE 02
1/8" = 1'-0"



PROPOSED PLANT SCHEDULE:

GRAPHIC LEGEND:

IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREE	S					
9	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6`-8` HT. & 4`-5` SP.	
0	2	AUT BLA	ACER X FREEMANII "JEFFERSRED"	AUTUMN BLAZE FREEMAN MAPLE	6`-8` HT. & 4`-5` SP.	
9	11	GIN KGO	GINKGO BILOBA	GINKGO	6`-8` HT. & 4`-5` SP.	
0	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6`-8` HT. & 4`-5` SP.	
SHRU	16 JBS					
0	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
0	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
0	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
0	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
0	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
3	39	SAY GOL	JUNIPERUS X FITZERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORNA	117 AMEN	TAL TREES				
9	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
$\frac{1}{2}$	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6`-8` HT. & 4`-5` SP.	
GRAS	7 SS					
	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
Ö	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
*	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	



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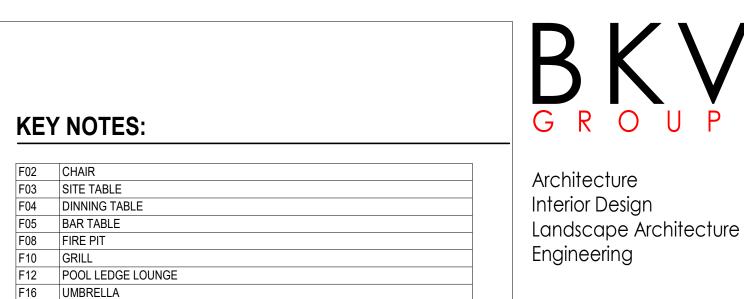
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2	Date 3	CC SET

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_	SHEET TITLE	2120.01
	COMMISSION NUMBER	2125.04
_	CHECKED BY	Checker
	DRAWN BY	Author

AMENITY DECK PLANTING PLAN



F18 AIRM CHAIR
F25 TELLER COUNTER
F28 SOFA 02

PL07 HANDRAIL

F35 CAFE TABLE F41 POOL MASSTRESS LOUNGE

L10 PENDANT BOLLARD 24507 L11 POLE PROJECTOR SC655

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SHEET TITLE

ROOF AMENITY LANDSCAPE PLAN

SHEET NUMBER

TRUE NORTH PLAN NORTH

SCALE: 3/16" = 1'-0"

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