

Area Four: Raemisch Property

As the Northside has grown along CTH CV over the past 20 years, the 61-acre Raemisch Property has remained agricultural land. Within the past few years, the owners of the Raemisch Property have expressed interest in developing their land. Given the property is largely a greenfield site and the owners are considering development ideas, the Neighborhood Plan identifies this land as a potential redevelopment area.

Design Ideas:

The two concept plans shown in Figure I-8 illustrate a series of ideas and design principles for the redevelopment of the Raemisch Property. These are schematic designs that are intended to convey important design principles and are two of many potential design solutions. Concept A focuses primarily on residential development (most of which is single-family) with buildings on narrower lots, placed closer to the street and street-oriented elements such as front porches. Concept B shares some similar features to the “traditional residential development concept;” however, it also includes increased communal/green space, urban agriculture (a term that encompasses a variety of different ways of farming in the City) and a greater diversity of housing options. Both of these concepts share major planning and design goals:

- **Flexibility:** The goal of these conceptual plans is to provide a flexible approach to developing the site with a variety of options and directions to achieve a denser, more urban project.



Figure I-8: Conceptual Designs for the Raemisch Property.

- **Diversity of Buildings and Uses:** Including a mix of residential units (in terms of size, density and style), neighborhood-serving commercial uses and community gathering spaces may transform this underutilized site into a thriving part of the Northside.
- **Sustainable Neighborhood Design:** Sustainable site planning and building design techniques may advance the neighborhood’s “green vision” and allow this new development to become both environmentally- and pedestrian-friendly.
- **New Street Connections:** Creating a new street/path system may connect the proposed uses for this site and the surrounding community while focusing on safety and efficiency. Incorporating traffic-calming and “car-light” (places where car use is greatly reduced or eliminated because most destinations are within easy reach by public transport, walking, or cycling) elements may help in achieving these goals.
- **Preserve Open Space:** As a part of the development of this site, an emphasis on preserving open spaces for a variety of purposes (recreation, community gathering, food production, views, etc.) may increase a sense of community and neighborhood ownership in this area.

Recommendations:

- a. Diversity in housing to include single-family houses, co-housing, townhouses and limited-size multi-family residential buildings (16-30 units per building) to provide a balance in options and prices for both owner and rental-occupied housing, with a preference for the majority of housing to be owner-occupied.

- b. Neighborhood serving small-site, commercial mixed-use located at the east end of the site along the CTH CV corridor.
- c. A portion of the land, currently zoned for agricultural use, may be permitted to remain that way, to allow for an urban agriculture business, as long as the proposed uses are compatible with the residential portions of the property.
- d. Space for community gardens could be set aside, with a number of plots reserved for low-to-moderate income residents of the property.
- e. Consider including community space, in the form of a community center, public meeting rooms, retreat center or the like.
- f. Housing that forms a small-scale pedestrian-friendly atmosphere by designing buildings on narrower lots, placed closer to the street and architectural elements such as front porches focused on enhancing the neighborhood streetscape presence.
- g. Neighborhood buildings that can achieve LEED-type certification and/or zero net energy design.
- h. A compact development pattern utilizing transit-oriented development principles to provide the opportunity for more multi-modal transportation options.
- i. Streets shall be designed with traffic-calming elements at appropriate locations in order to move traffic safely and efficiently.
- j. Organization of a newly created street/path system shall emphasize connections to existing streets adjacent to the site and connections to the street systems for the rest of the Northside and City.



Image 10: Bird’s eye view of the Raemisch Property with Lake Mendota at the top of the image and CTH CV in foreground.



Image 11: Photo of the existing Raemisch Property site looking north toward Whitetail Ridge Neighborhood.

- k. Consider “car-light” design by using a combination of the principles listed in this recommendation.
- l. Bicycle and pedestrian route through the property linking to other proposed pathways north to the Cherokee Marsh Conservation Park and south to existing and proposed bicycle routes.
- m. Parking and access for residential units could be focused at the back of sites to emphasize the importance of a safe, inviting street frontage.
- n. Take advantage of topography at hilltop and accentuate views to the north.
- o. Utilize land in the southwest corner of the site near Lake View Elementary School as a park space.
- p. Retention ponds designed at areas of lowest topography to efficiently manage stormwater runoff.
- q. Design public open space to increase sense of community and neighborhood ownership, especially in the urban park.
- r. Due to proximity to the Dane County Regional Airport, request an aviation easement be in place as lots are sold for new housing units.
- s. Work with the City of Madison to explore and consider annexation of the Raemisch Farm property so that any new residential development on this land would be within the Madison Metropolitan School District.
- t. Development of the Keller property along Tennyson Lane immediately to the south of the Raemisch Farm property could be

integrated with and connected to uses on land lying to the north and south. Future use of this site could focus on residential uses with an opportunity for a limited neighborhood mixed-use node at the intersection of Packers Avenue and Tennyson Lane. Other uses could include urban agriculture development integrated with and connected to uses north of this parcel.