



City of Madison

Proposed Conditional Use

Location
30 North Mills Street

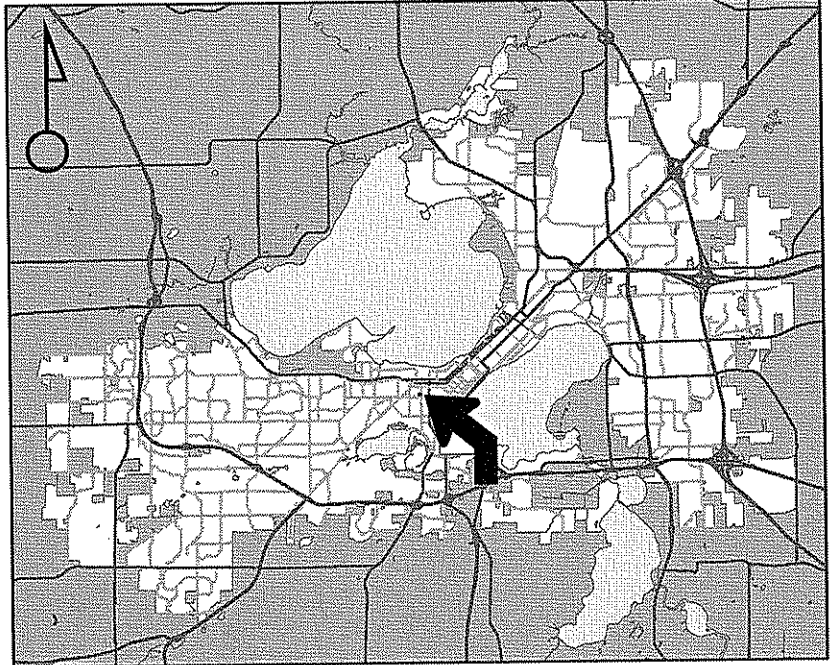
Project Name
UW Physical Plant Shops
and Office Building

Applicant
Board of Regents of the UW System/
Dan Motl – UW Madison

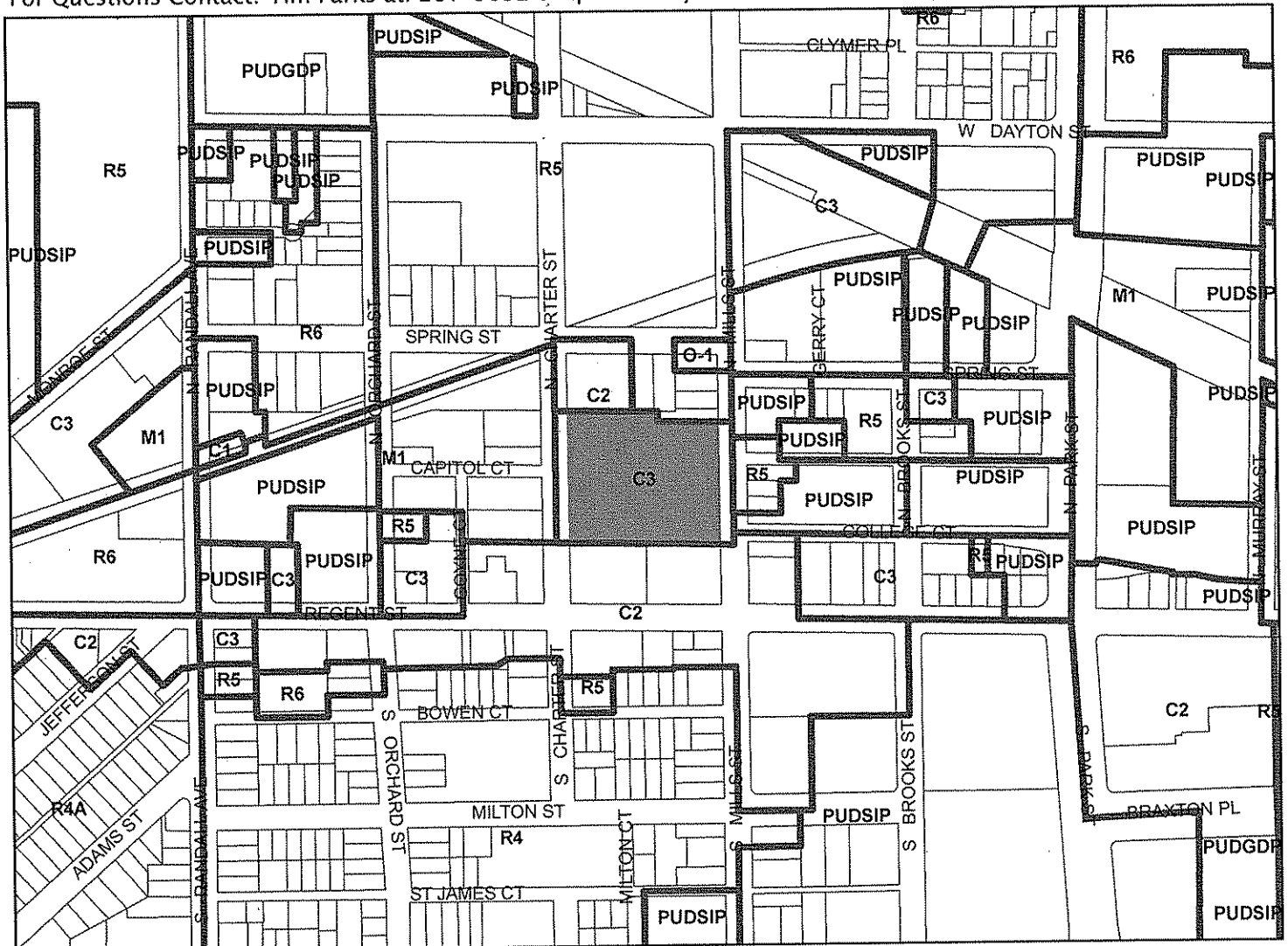
Existing Use
Surface Parking Lot

Proposed Use
Construct New UW Physical
Plant Shops

Public Hearing Date
Plan Commission
19 October 2009

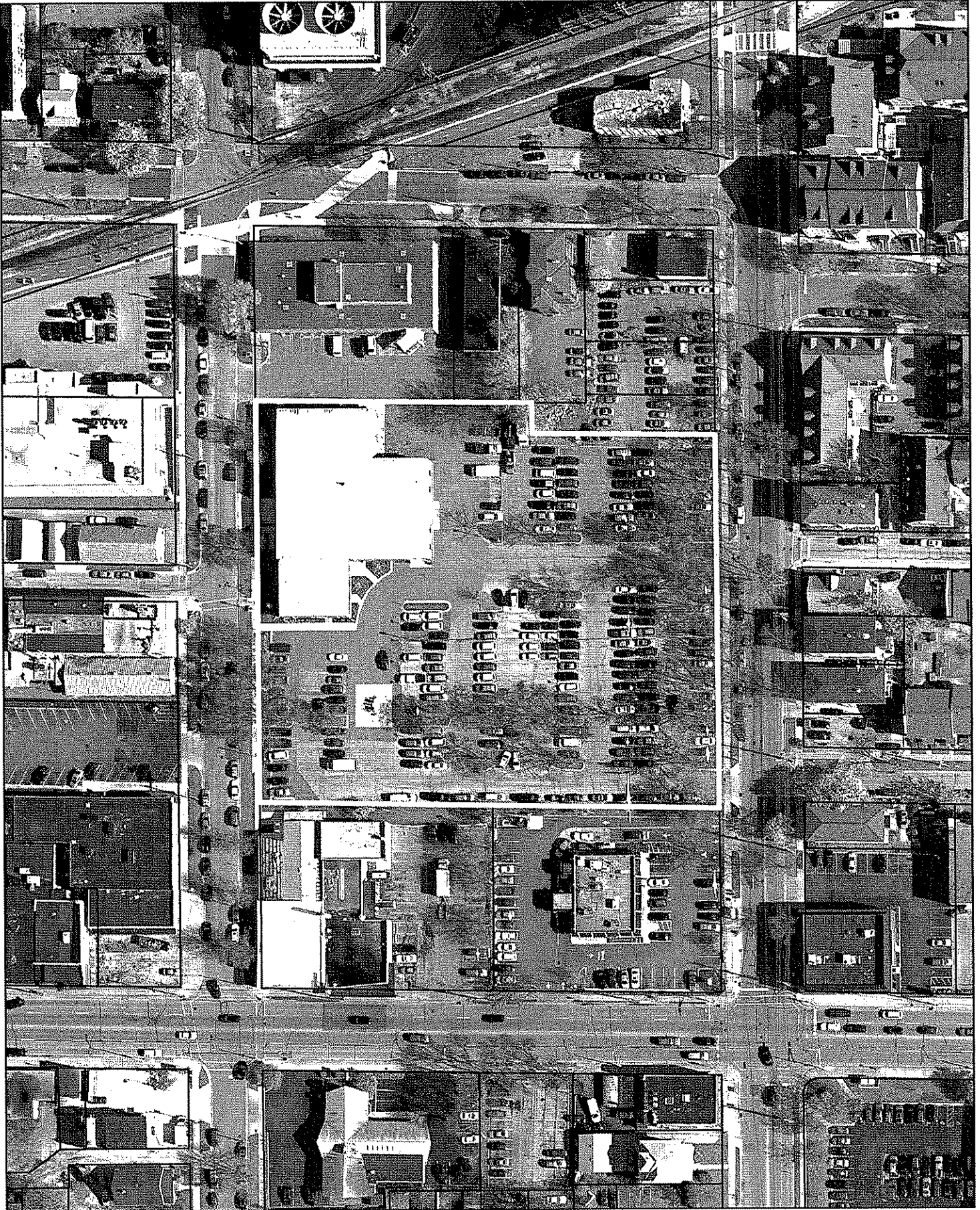


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 05 October 2009





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	Receipt No.
Date Received	9/2/09
Received By	PIDA.
Parcel No.	0709-24-1704-3
Aldermanic District	8 BRYON EAGON
GQ	WP-27
Zoning District	C3
For Complete Submittal	
Application	Letter of Intent
IDUP	Legal Descript.
Plan Sets	Zoning Text
Alder Notification	Waiver
Ngrhd. Assn Not.	Waiver
Date Sign Issued	

1. **Project Address:** 30 North Mills Street **Project Area in Acres:** 1.36 acres

Project Title (if any): UW Physical Plant Shops & Office Building

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<input type="checkbox"/> Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Gary A. Brown, FASLA Company: University of Wisconsin-Madison
 Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726-2336
 Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Project Contact Person: Dan Mott Company: University of Wisconsin-Madison
 Street Address: 115 N. Mills Street City/State: Madison, WI Zip: 53726
 Telephone: (608) 263-6661 Fax: (608) 890-1080 Email: dmott@fpm.wisc.edu

Property Owner (if not applicant): Board of Regents of the UW System
 Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____
 Project will provide a new ~60,000 GSF physical plant shops & offices building on an existing surface parking lot.

Development Schedule: Commencement October 26, 2009 Completion June 1, 2010

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee: \$ DNA** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of UW Master Plan & the Regent/South Campus Plan, which recommends: university/campus service facilities and parking for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Alder Bryon Eagon waived 30-day notice on Aug. 13, 2009 (see attached); Joint Southeast Mtg - 07/27/09
 - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 - Planning Staff: Dev Asst Team Mtg Date: 08/06/09 Zoning Staff: Dev Asst Team Mtg Date: 08/06/09
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Gary A. Brown, FASLA Date 09/2/09

Signature *Gary A. Brown* Relation to Property Owner Owner's Representative

Authorizing Signature of Property Owner *Gary A. Brown* Date 09/2/09

Effective May 1, 2009



September 2, 2009

Mr. Matthew Tucker
City of Madison Zoning Administrator
215 Martin Luther King Jr. Blvd
Rm. LL-100, Municipal Bldg
Madison, WI 53710

**RE: CONDITIONAL USE PERMIT - Letter of Intent
 PHYSICAL PLANT SHOPS/OFFICES BUILDING – 30 NORTH MILLS STREET
 UNIVERSITY OF WISCONSIN-MADISON**

This is an application for a conditional use permit for a proposed 54,450 gross square foot building for a new Physical Plant Shops and Offices building at 30 North Mills Street. The property is currently zoned C-3, Highway Commercial and this building has been determined by city staff to be a conditional use in that district. Existing surface parking is planned to be removed to make way for the new addition. Construction of the new addition and remodeling is scheduled to begin in late October 2009 with final completion projected by June 1, 2010. Plan Commission action is desired at their meeting on October 19, 2009 to keep the project moving and on-schedule.

Application Materials

Letter of Intent (this document) and Legal Description (12 copies)
Small format bound set of drawings, 11 x 17 (7 sets) AND 8.5 x 11 (1 set)
Large format bound set of drawings, 7 sets

Project Participants

Owner: **State of Wisconsin
Agency: University of Wisconsin System
Board of Regents
Room 1860 Van Hise Hall
1220 Linden Drive
Madison, Wisconsin 53706**

Owner's Contact: **University of Wisconsin – Madison
Facilities Planning and Management
919 WARF Building
610 Walnut Street
Madison, Wisconsin 53726
Phone: 608-263-3023
Fax: 608-265-3139
Attn: Gary Brown
E-Mail: gbrown@fpm.wisc.edu**

Architect: **Strang, Inc.
8411 Mineral Point Road
Madison, Wisconsin 53705-4395
Phone: 608-276-9200
Fax: 608-276-9204
Attn: Dale Volkening, AIA
E-Mail: volkening@strang-inc.com**

Facilities Planning & Management

Landscape Architect: **JSD Professional Services, Inc.**
N22 W 22931 Nancy's Court, Suite 3
Waukesha, Wisconsin 53186
Phone: 262-513-0660
Fax: 262-513-1232
Attn: Matt Collins
E-Mail: matt.collins@jsdinc.com

Structural Engineers: **Arnold & O'Sheridan, Inc**
1111 Deming Way, Suite 200
Madison, Wisconsin 53711
Attn: Paul Karow, PE
Phone: 608-821-8424
E-Mail: pkarow@arnoldandosh Sheridan.com

Electrical Engineers: **Electri-Tech, Inc.**
4125 N. 124th Street
Brookfield, Wisconsin 53045
Attn: Brett Parpart
Phone: 608-753-2442
Fax: 608-753-2564
E-Mail: brett@electri-tech.com

HVAC Engineer: **American Indoor Environments**
3502 Parmenter Street
Middleton, Wisconsin 53562
Attn: Gene Mlsna
Phone: 608-831-6537
Fax: 608-836-6801
E-Mail: gmslna@american-indoor.com

Plumbing Engineer: **PRSmith Company**
4880 Kirkwood Drive
Waunakee, WI 53597
Attn: Peter Smith
Phone: 608-846-4171
Fax: 608-221-6667
E-Mail: pete.smith@prsmithcompany.com

**Civil Engineer:
Surveyor** **JSD Professional Services, Inc.**
161 Horizon Drive Suite 101
Madison, Wisconsin 53593
Attn: Matt Collins
Phone: 608-848-5060
E-Mail: matt.collins@jsdinc.com

Geotechnical Engineer: **AECOM**
2821 Dairy Drive Suite 5
Madison, WI 53718
Attn: Paul Tarvin
Phone: 608-222-7231
Fax: 608-222-3765

Contractor(s): **Kraemer Brothers**
925 Park Avenue
Plain, WI 53577
Attn: Ryan Kraemer, Vice President or Bill Kolar, Project Manager
Phone: 608-588-4152 (Ryan - cell) and 608-588-4116 (Bill - cell)
Office: 608-546-2411
Fax: 608-546-2509

Building Use, Area, and Occupancy

The University of Wisconsin-Madison is planning to construct a new physical plant shops and offices building to be located at 30 North Mills Street. This is a replacement facility for an existing building currently located at 115 N. Mills Street which is being displaced by the Charter Street Heating Plant upgrades to change from a coal to biomass fueled facility. The proposed service building will consist of 3 tall stories above grade with no basement (slab on grade). Floor 1 will be a high bay condition at 22 feet tall floor-to-floor. Floors 2 and 3 will have a 14 foot floor-to-floor heights for a total building height of approximately 53 feet tall. The southeast and northeast corners of the buildings, in the current design, include parapet walls that extend up another approximately 2 feet, bringing the total height in the corners to 55 feet tall. A proposed partial mezzanine level will be built between floors one and two in portions of the building. The building will be constructed of precast concrete with a brick veneer, precast trim areas, windows and glass storefront windows at the southeast and northeast corners of the building. The building is currently designed to include a flat, built-up ballasted roof.

The current site is bounded by North Mills Street on the east and North Charter Street on the west (UW Fleet Service garage), a McDonald's on Regent Street to the south, and a mix of UW permit parking, private residential apartments and commercial buildings to the north along Spring Street. Total area of project construction is roughly 1.36 acres. The existing site conditions are an open paved parking lot with tree islands used by university permit parking users. Parking spaces lost to this building construction will be accommodated in other near-by university parking facilities. The long range campus master plan includes a full build out of the block with additional physical plant shops/offices and a new parking ramp for permit holders and physical plant service vehicles to replace the lost parking.

The new building includes shops and offices for UW physical plant including the campus steamfitter, plumbing and potentially the electric shops. Offices are included for the physical plant remodeling section architects, engineers and interior designers as well as offices for our utilities and plant engineering staff. Additional office space will be included for the electric shop administrative staff and the DDC controls staff. UW physical plant shared stores will also be located in the new building. Future build-out of the third floor will provide the opportunity to house physical plant CARS (central answering and response system), physical plant PAC (project administration center) and our Facilities Planning & Management purchasing and human resources department in this building.

The proposed building will have standard operating hours similar to the remainder of campus, 7:00 a.m. to 5:00 p.m., Monday through Friday with some access on weekends and evenings via card-access for authorized staff. The building will have approximately 110 occupants initially and 180 upon complete build-out of the third floor.

Parking on the University of Wisconsin campus, in accordance with the overall Campus Master Plan, is on a campus-wide basis and not by individual building occupancy. Individuals working in this building will park in adjacent or other existing parking facilities in the area and are included of the overall campus parking allocation of 13,000 parking spaces.

Stormwater management is currently surface runoff from a paved parking lot to curb inlets and area drains that feed directly into the city storm sewer system in Mills Street or directly into the existing large box conduit that traverses from east to west along the south side of the site. The proposed stormwater management will be similarly feed but will change from potentially dirty stormwater coming off the parking lot to clean roof water running into the existing storm sewer system.

The planned loading and service functions of the building will occur off the west side of the building via a covered loading dock space. Trash and recycling containers will be located in this area. From a maintenance standpoint, trash removal is handled by University custodial staff on a regular basis. Equipment storage is handled all within the confines of the building. Snow removal on all walks and access drives for the proposed building is administered by University Environmental Services staff. Building custodial staff are responsible for snow and ice removal near the building entrances and on the walks leading into the building.

Building signage will be along the east side of the building along Mills Street and be either building or ground mounted by Campus signage standards. Campus standard sharp cut-off Kim Archetype lighting fixtures will be used across the site.

From a fire protection standpoint, the building will be fully sprinklered. The parking entry drive along the north side of the building will be designated as the aerial access fire lane.

The overall project follows the 2005 UW-Madison Campus Master Plan that suggests a building to house physical plant services in this block. It is also shown as such in the city of Madison approved Regent Street South Campus Area plan.

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The project has been initially presented to the Joint South East Campus Area Committee and will be presented to the City of Madison development assistance team on September 10, 2009. Alder Bryon Eagon has been notified and is aware of the project. Further presentations will be made to the neighborhoods via the Joint South East committee for a recommendation to the Plan Commission.

Legal Description of Site - See attached.

Please contact me at 608-263-3023 if you have any questions or need further information.

Thank you,



Gary A. Brown, FASLA
Director, Campus Planning & Landscape Architecture
Facilities Planning & Management, University of Wisconsin-Madison

Xc: Dan Motl, UW-Madison FP&M Project Manager

Sam Calvin, DOA/DSF Project Manager

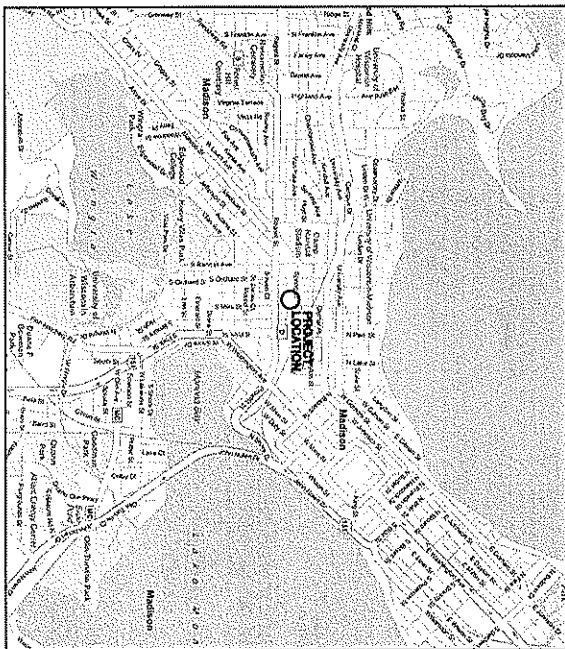
UNIVERSITY OF WISCONSIN PHYSICAL PLANT SHOPS OFFICE

**30 N. MILLS ST.
MADISON, WISCONSIN
SEPTEMBER, 2009**

DRAWING INDEX

SITE IMPROVEMENTS

SHEET NO.	TITLE
A201	FIRST FLOOR PLAN
A202	MEZZANINE FLOOR PLAN
A203	SECOND FLOOR PLAN
A204	THIRD FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
C-000	TITLE SHEET
C-100	EXISTING CONDITIONS SURVEY
C-101	DEMOLITION PLAN
C-102	GRADING & EROSION CONTROL PLAN
C-103	UTILITY PLAN
C-104	FIRE ACCESS PLAN
C-105	LANDSCAPE PLAN
L-100	LANDSCAPE DETAILS
L-101	LANDSCAPE DETAILS



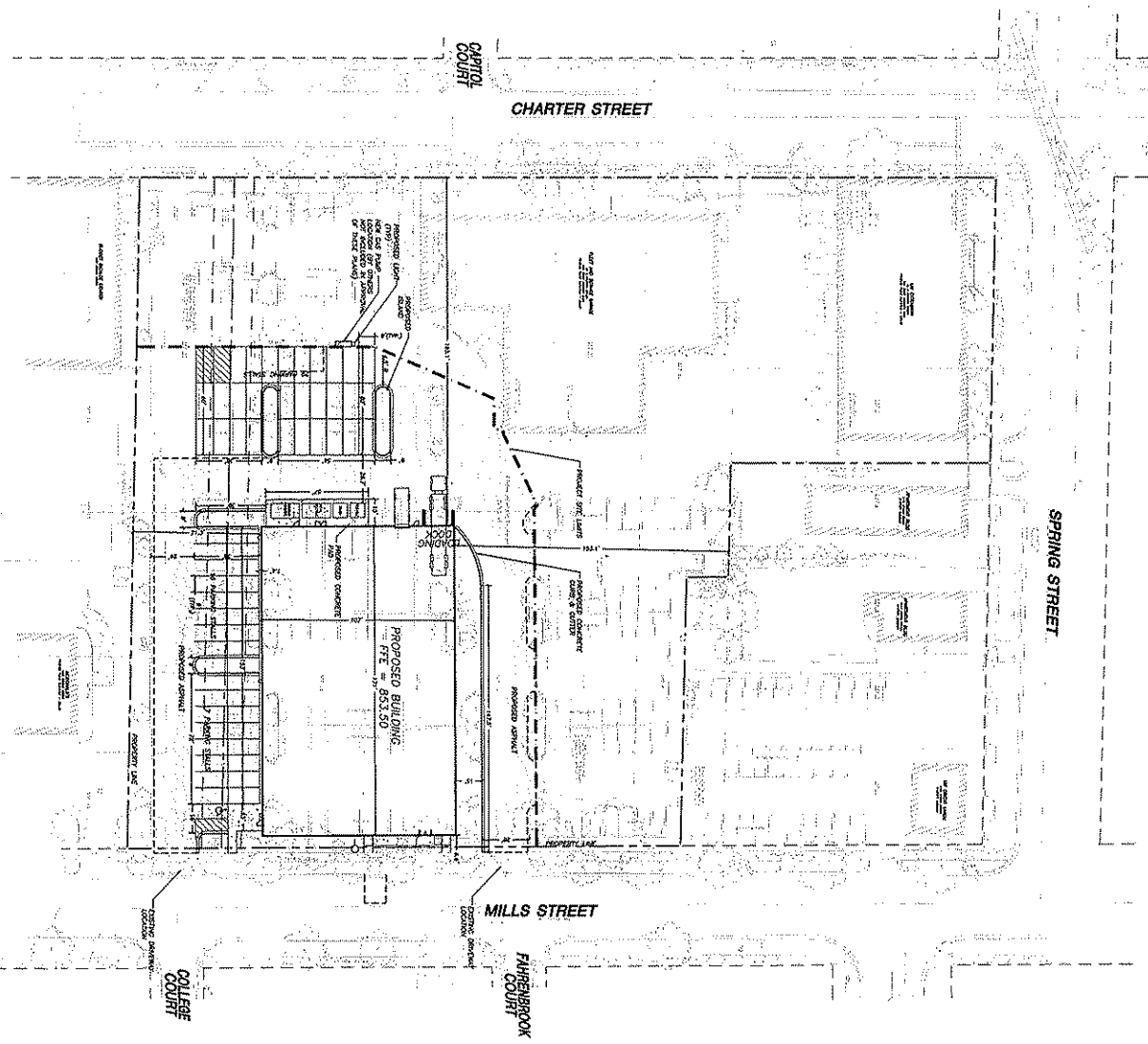
PROJECT AREA
SCALE: NTS



2

<p>Project Title: PHYSICAL PLANT SHOPS OFFICE</p> <p>Project Location: UNIVERSITY OF WISCONSIN - MADISON 30 N. MILLS ST. MADISON, WI</p> <p>Sheet Title: COVER SHEET</p>	<p>State of Wisconsin Department of Administration Division of State Facilities</p>	<p>Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN</p>	<p>Client: UNIVERSITY OF WISCONSIN - MADISON Department of Administration Division of State Facilities Physical Plant Shop Office 30 N. Mills St. Madison, WI 53706 www.wisc.edu</p> <p>Project Number: 090701</p> <p>Scale: NTS</p> <p>Author: PR</p> <p>Date: 09/02/09</p> <p>Sheet Number: C-000</p>
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UNIVERSITY OF WISCONSIN - MADISON
 ARCHITECTURAL DEPARTMENT
 608 263 4131
 608 263 4132
 608 263 4133
 608 263 4134
 608 263 4135
 608 263 4136
 608 263 4137
 608 263 4138
 608 263 4139
 608 263 4140

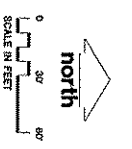


LEGEND (PROPOSED)

- PROPOSED BUILDING
- PROPOSED PARKING
- PROPOSED DRIVE
- PROPOSED SIDEWALK
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY

- GENERAL NOTES**
1. REFER TO SET DRAWING CONDITIONS SHEET FOR DRAWING CONDITIONS NOTES AND LEGEND.
 2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF MADISON SPECIFICATIONS - LATEST EDITION.
 3. ALL OUTSIDE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE REFERENCED BY A CITY IDENTIFIED CENTERLINE TO DRIVE.
 5. REFER TO SET DRAWING CONDITIONS SHEET FOR SHEET CONDITIONS & TO WORK WITHIN THE CITY OF MADISON.
 6. ALL SHALL BE FIELD MEASURED AND DOES NOT WARRANT AIR SIGNATURES BY THE ARCHITECT OR ENGINEER.
 7. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 8. SAVE FOR ALL UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 9. BUILDING CONDITIONS AND FINISHES TO BE FIELD MEASURED AND NOTED ON THE DRAWING BY THE ARCHITECT OR ENGINEER.
 10. IF ANY FIELD MEASUREMENTS OR SIGNATURES ARE REQUIRED, THEY SHALL BE REFERENCED TO THE DRAWING BY THE ARCHITECT OR ENGINEER.

UNIVERSITY OF WISCONSIN - MADISON	
NO.	DESCRIPTION
1	PROPOSED BUILDING
2	PROPOSED PARKING
3	PROPOSED DRIVE
4	PROPOSED SIDEWALK
5	PROPOSED DRIVEWAY
6	PROPOSED DRIVEWAY
7	PROPOSED DRIVEWAY
8	PROPOSED DRIVEWAY
9	PROPOSED DRIVEWAY
10	PROPOSED DRIVEWAY

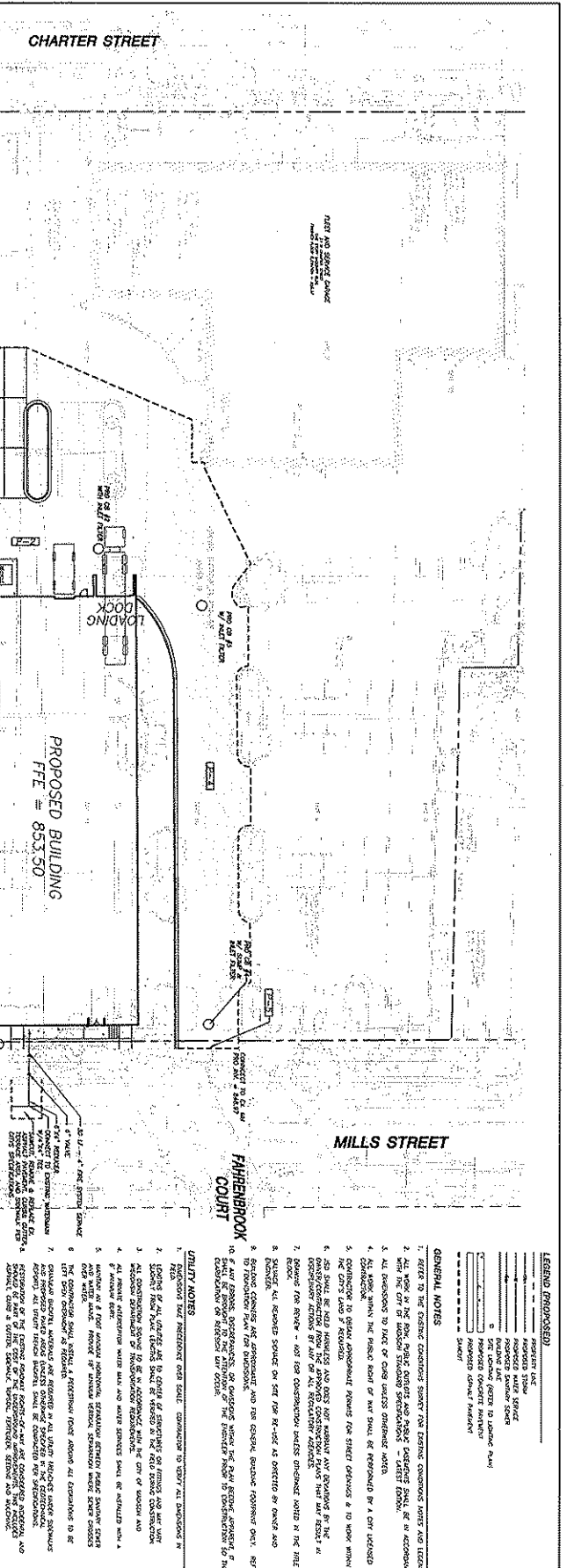


<p>Project Title: PHYSICAL PLANT SHOPS OFFICE</p> <p>Project Location: UNIVERSITY OF WISCONSIN - MADISON 90 N. MILLS ST. MADISON, WI</p> <p>Sheet Title: SITE PLAN</p>	<p>State of Wisconsin Department of Administration Division of State Facilities</p>	<p>ISD Institutional Service Division 7780 University Avenue Department of State Facilities Madison, WI 53706-1304 608 263 4131 608 263 4132 608 263 4133 608 263 4134 608 263 4135 608 263 4136 608 263 4137 608 263 4138 608 263 4139 608 263 4140</p>																		
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Project Title:</td> <td>PHYSICAL PLANT SHOPS OFFICE</td> </tr> <tr> <td>Project Location:</td> <td>UNIVERSITY OF WISCONSIN - MADISON</td> </tr> <tr> <td>Sheet Title:</td> <td>SITE PLAN</td> </tr> <tr> <td>Scale:</td> <td>1" = 30'</td> </tr> <tr> <td>Revision:</td> <td></td> </tr> <tr> <td>Date:</td> <td>09/02/09</td> </tr> <tr> <td>Drawn by:</td> <td>PR</td> </tr> <tr> <td>Checked by:</td> <td></td> </tr> <tr> <td>Scale in Feet:</td> <td>0, 30, 60</td> </tr> </table>	Project Title:	PHYSICAL PLANT SHOPS OFFICE	Project Location:	UNIVERSITY OF WISCONSIN - MADISON	Sheet Title:	SITE PLAN	Scale:	1" = 30'	Revision:		Date:	09/02/09	Drawn by:	PR	Checked by:		Scale in Feet:	0, 30, 60	<p>Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN</p>	<p>Architect: C-102</p>
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Scale in Feet:	0, 30, 60																			

JSD Johnson Systems Design, Inc.
 1400 W. Washington Street
 Madison, WI 53704
 (608) 261-7800
JAYSON REYNOLDS, OWNER
 1400 W. Washington Street
 Madison, WI 53704
 (608) 261-7800
DESIGNER

State of Wisconsin
 Department of Administration
 Division of State Facilities

Agency / Institution:
 UNIVERSITY OF WISCONSIN - MADISON
 MADISON, WISCONSIN



Postpoint	Horizontal Stationing	Vertical Elevation	Vertical Curve Data	Horizontal Curve Data	From the Prop. / Existing	Notes
P-1	1+00.00	111.00	1	10.00'	111.00	
P-2	2+00.00	110.00	2	20.00'	110.00	
P-3	3+00.00	109.00	3	30.00'	109.00	
P-4	4+00.00	108.00	4	40.00'	108.00	

PROPOSED STORM SEWER STRUCTURES SCHEDULE

NO.	DESCRIPTION	LENGTH	DIAMETER	DEPTH	DATE
1	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
2	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
3	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
4	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
5	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
6	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
7	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
8	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
9	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
10	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
11	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03
12	CONCRETE MANHOLE	2.0	36"	3.0	07/18/03

UTILITY NOTES

- PROPOSED WATER MAIN SHALL BE 24" DIA. WITH 12" WALL. CONNECTOR TO EXISTING WATER MAIN SHALL BE 12" DIA. WITH 12" WALL.
- EXISTING WATER MAIN SHALL BE 24" DIA. WITH 12" WALL.
- PROPOSED SEWER MAIN SHALL BE 18" DIA. WITH 6" WALL. CONNECTOR TO EXISTING SEWER MAIN SHALL BE 12" DIA. WITH 6" WALL.
- EXISTING SEWER MAIN SHALL BE 18" DIA. WITH 6" WALL.
- PROPOSED STORM SEWER MAIN SHALL BE 36" DIA. WITH 12" WALL. CONNECTOR TO EXISTING STORM SEWER MAIN SHALL BE 24" DIA. WITH 12" WALL.
- EXISTING STORM SEWER MAIN SHALL BE 36" DIA. WITH 12" WALL.
- PROPOSED GAS MAIN SHALL BE 6" DIA. WITH 1/2" WALL. CONNECTOR TO EXISTING GAS MAIN SHALL BE 6" DIA. WITH 1/2" WALL.
- EXISTING GAS MAIN SHALL BE 6" DIA. WITH 1/2" WALL.

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SHEET FOR EXISTING CONDITIONS NOTED AND LOCATED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
- ALL EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED AND SHALL BE DEPTH MARKED.
- ALL NEW UTILITIES SHALL BE PROTECTED AND SHALL BE DEPTH MARKED.
- ALL EXISTING UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY A CITY UTILITIES FIELD REPORT.
- ALL EXISTING UTILITIES TO BE REMOVED SHALL BE IDENTIFIED BY A CITY UTILITIES FIELD REPORT.
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SCALE IN FEET
 0 20 40

PHYSICAL PLANT SHOPS OFFICE

Project Location:
 UNIVERSITY OF WISCONSIN - MADISON
 30 N. MILLS ST. MADISON, WI

Sheet Title:
 UTILITY PLAN

Project Title:
 PHYSICAL PLANT SHOPS OFFICE

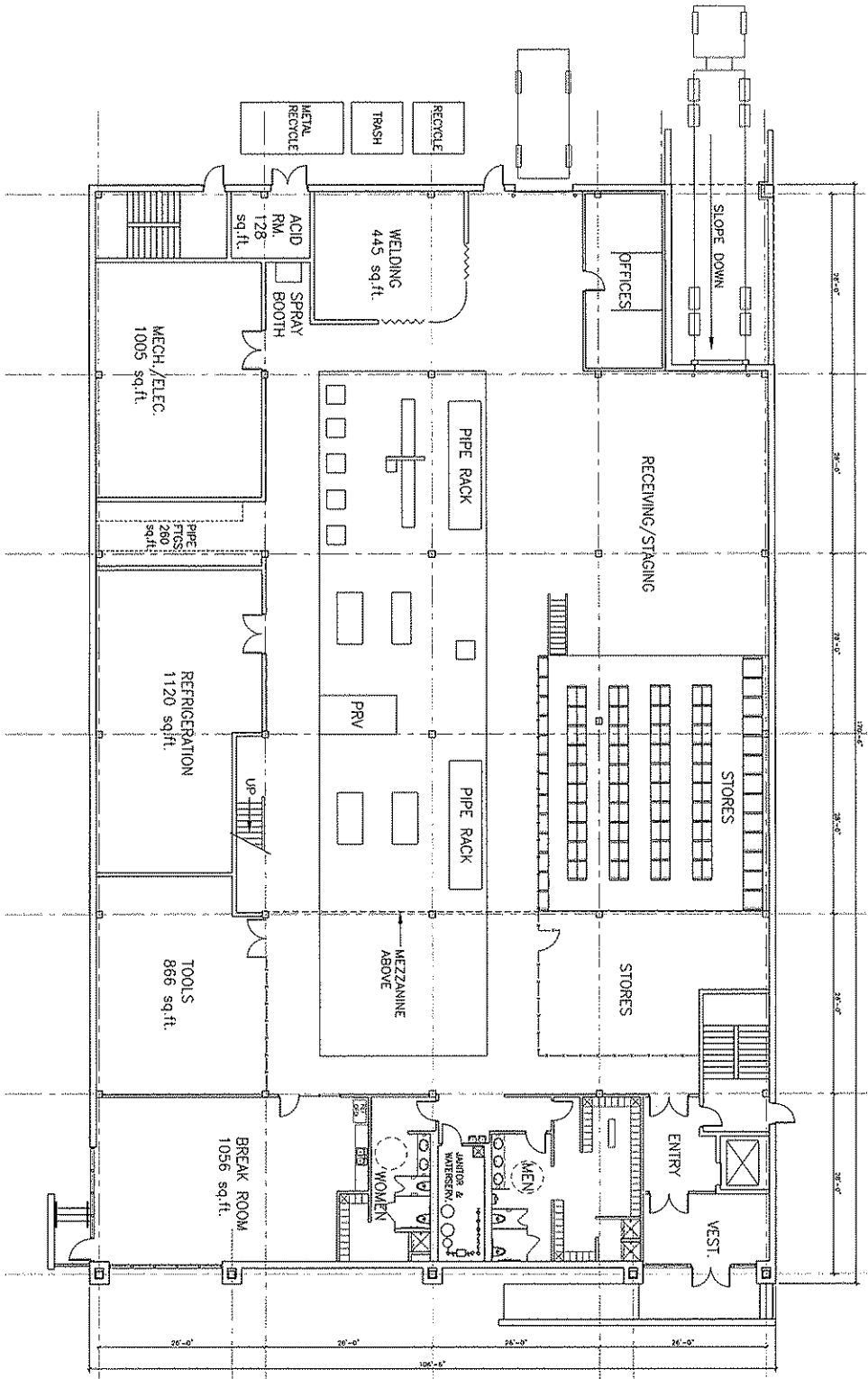
Project Location:
 UNIVERSITY OF WISCONSIN - MADISON
 30 N. MILLS ST. MADISON, WI


Sheet Title:
 UTILITY PLAN

Scale:
 1" = 30'

Date:
 09/02/03

Sheet:
 C-104






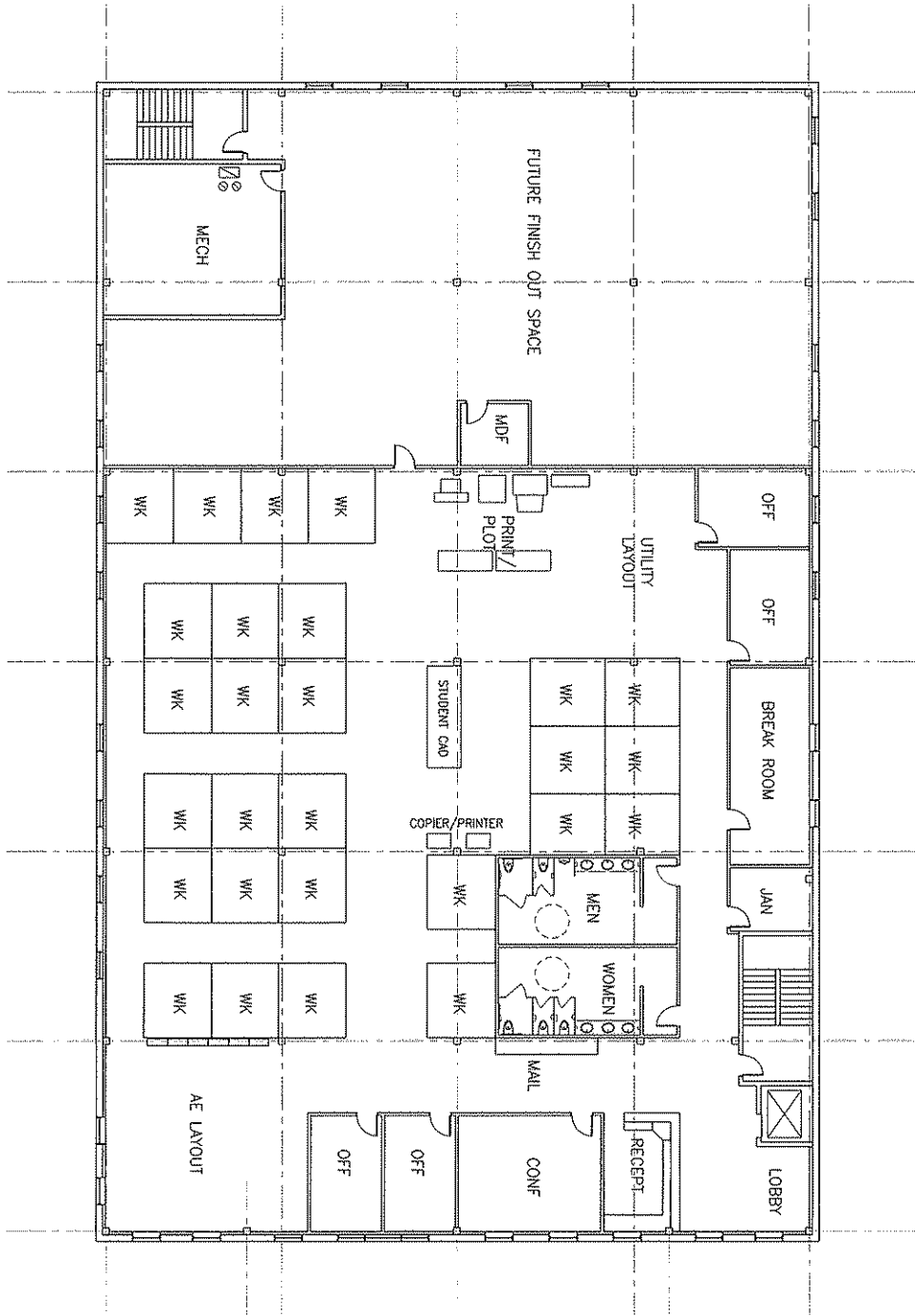
 FIRST FLOOR PLAN

 SCALE: 1/8" = 1'-0"



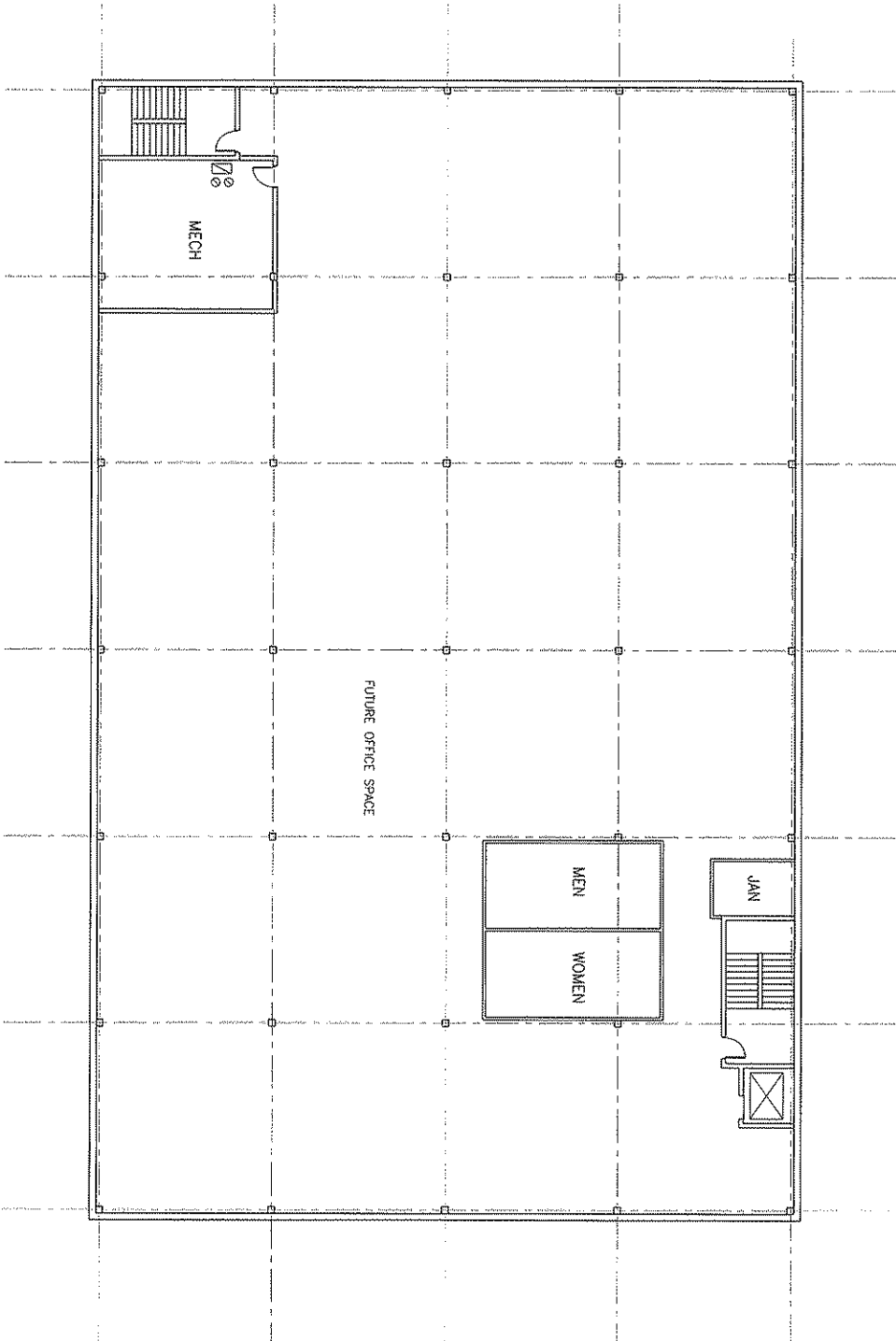
 STRANG ARCHITECTURAL 1415 EAST WISCONSIN STREET MADISON, WISCONSIN 53704 (608) 263-1111 FAX (608) 263-1112 WWW.STRANGARCHITECT.COM		State of Wisconsin Department of Administration Division of Facilities Development
Project Title: PHYSICAL PLANT SHOPS AND OFFICES		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN
Project Location: 30 N. MILLS STREET MADISON, WISCONSIN		
Sheet Title: FIRST FLOOR PLAN SD		
Scale: 1/8" = 1'-0"	Date: 09/02/09	
Drawn By: CLP AP/LLC	Title: ARCHITECT	
Project Number: 09020	Revision:	
Sheet Number: A201		



10




N
1
3000
SCALE
SECOND FLOOR PLAN

		ADMINISTRATIVE ARCHITECTURE 100 EAST MAIN STREET MADISON, WISCONSIN 53703		State of Wisconsin Department of Administration Division of Facilities Development		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN	
Project Title: PHYSICAL PLANT SHOPS AND OFFICES				Project Location: 30 N. MILLS STREET MADISON, WISCONSIN			
Sheet Title: SECOND FLOOR PLAN SD				Scale: 1/8" = 1'-0" 1/4" = 1'-0" 3/8" = 1'-0" 1/2" = 1'-0" 5/8" = 1'-0" 3/4" = 1'-0" 7/8" = 1'-0" 1" = 1'-0"			
Revision No. Description Date	Date No. Description Date	Date No. Description Date	Date No. Description Date	Date No. Description Date	Date No. Description Date	Date No. Description Date	Date No. Description Date
Sheet Number: A203		Date: 09/02/09		Scale: 1/8" = 1'-0"		Project: PHYSICAL PLANT SHOPS AND OFFICES	

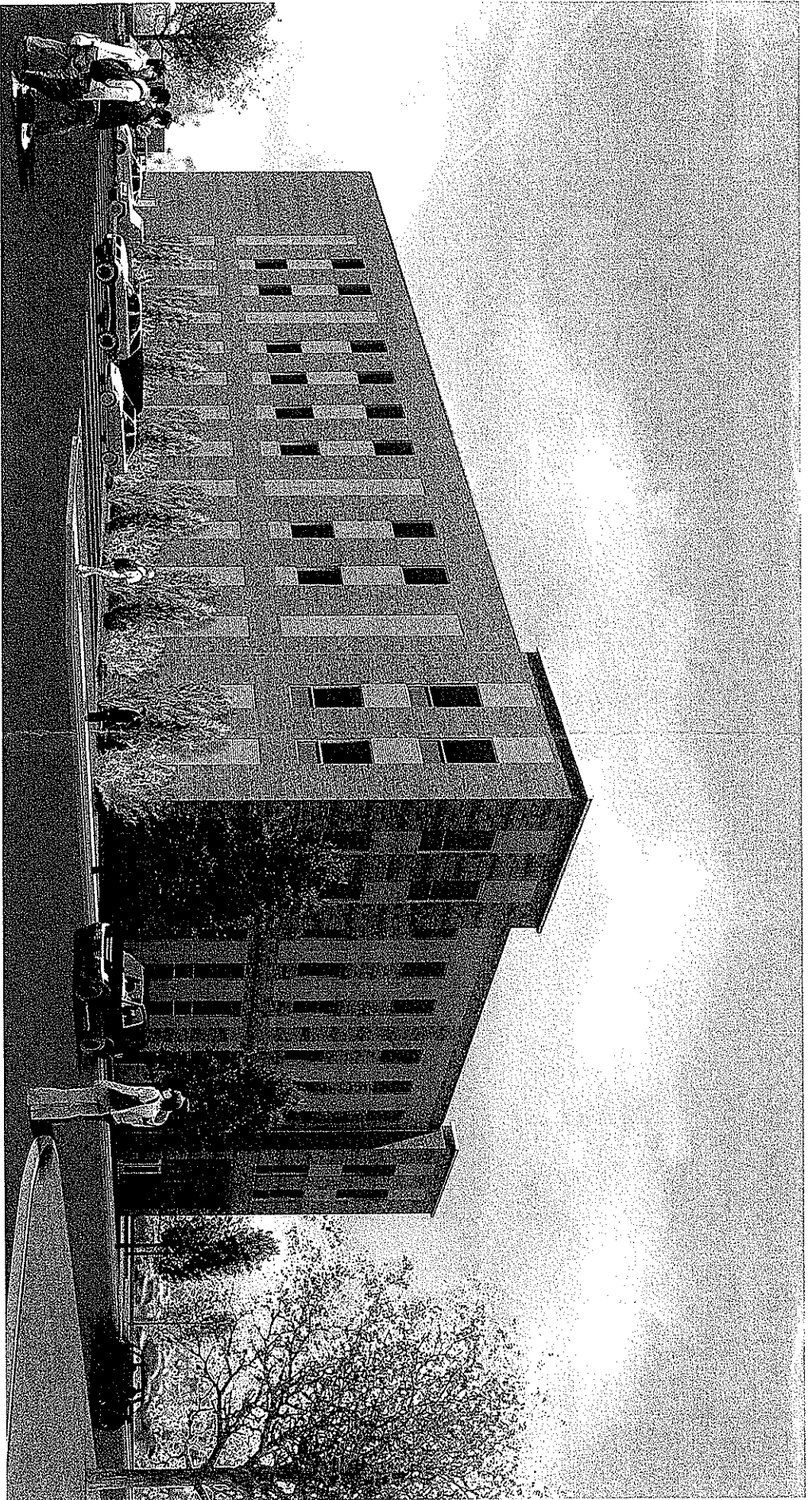


 N
 1/8" = 1'-0"
 THIRD FLOOR PLAN - 18,297 GSF
 SCALE



 STRANG ARCHITECTURE 1200 UNIVERSITY AVENUE MADISON, WISCONSIN 53706 TEL: 608/263-1111 WWW.STRANGARCHITECT.COM	State of Wisconsin Department of Administration Division of Facilities Development
	Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON MADISON, WISCONSIN
Project Title: PHYSICAL PLANT SHOPS AND OFFICES	
Project Location: 30 N. MILLS STREET MADISON, WISCONSIN	
Sheet Title: THIRD FLOOR PLAN 50	
Revision:	No. Date By Description
Scale: 1/8" = 1'-0"	Grid: 12'-0" x 12'-0"
Code: 09020	SF: 18,297
No. 09020	SF: 18,297
Yes C.I.P. APPLIC.	No. 09020
Issued: 09/02/09	No. 09020
Sheet Number: A204	No. 09020

10

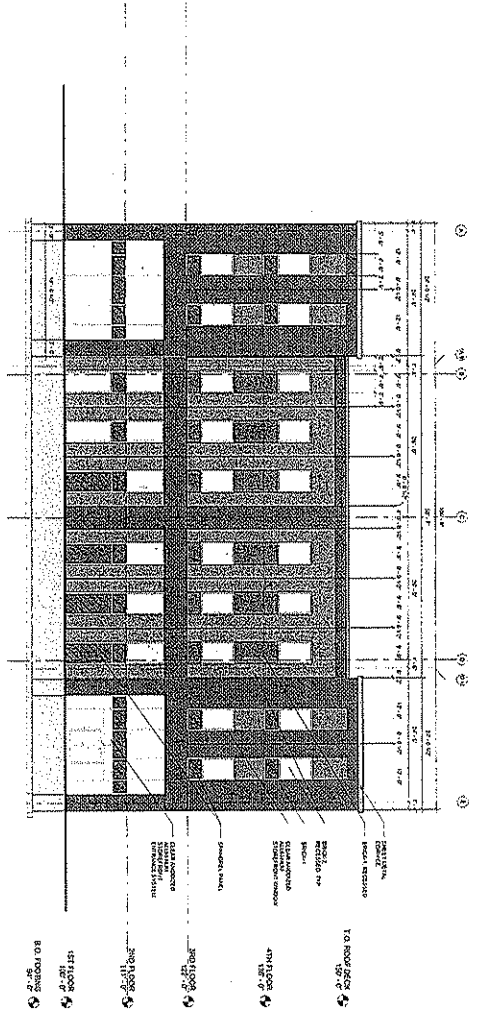


STRANG

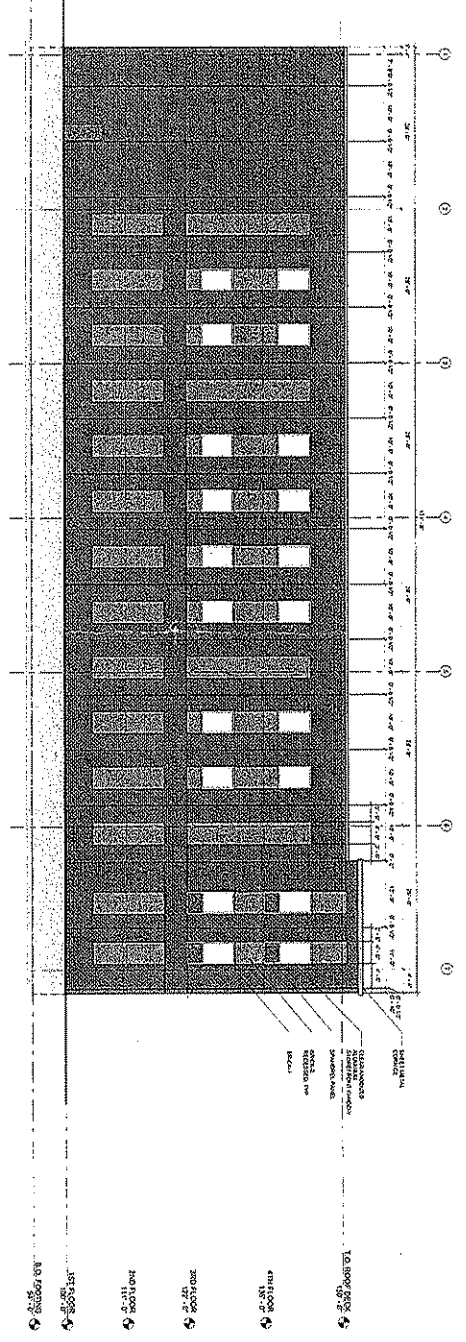
PHYSICAL PLANT
SHOPS/OFFICE BUILDING



ARCHITECTURE
INTERIOR DESIGN
STRANG, INC.
4111 VANDERBILT AVENUE, SUITE 100
KNOXVILLE, TN 37920



1 EAST ELEVATION
1/8" = 1'-0"
North Hills Street



2 SOUTH ELEVATION
1/8" = 1'-0"

OWNER: STRANG, INC.
DRAWING NO.: 4401
CONTRACT NO.: 19920
FILE NAME:
REVISIONS:

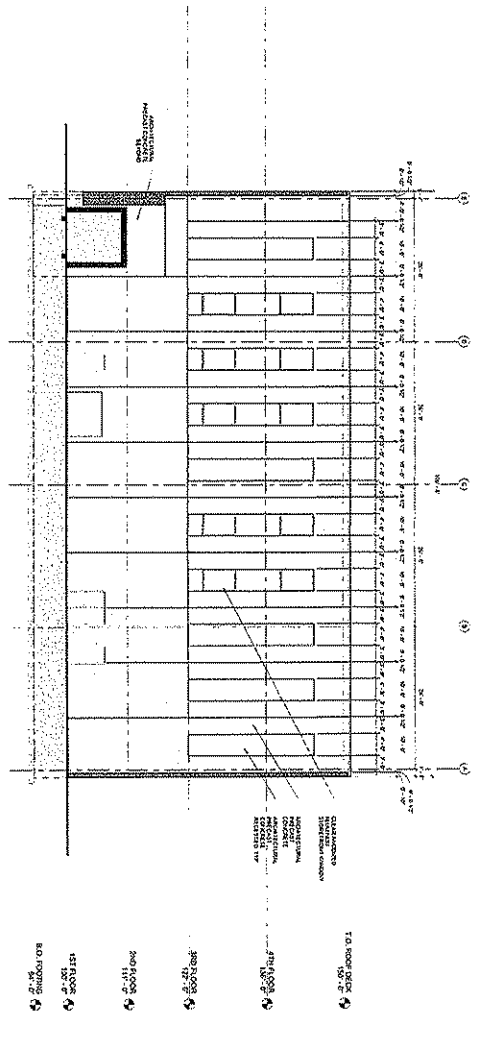
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PROJECT NO.: 100001001
PROJECT NAME:
PHYSICAL PLANT
SHOP/OFFICE
BUILDING

SHEET NO.:
EXTERIOR
ELEVATIONS

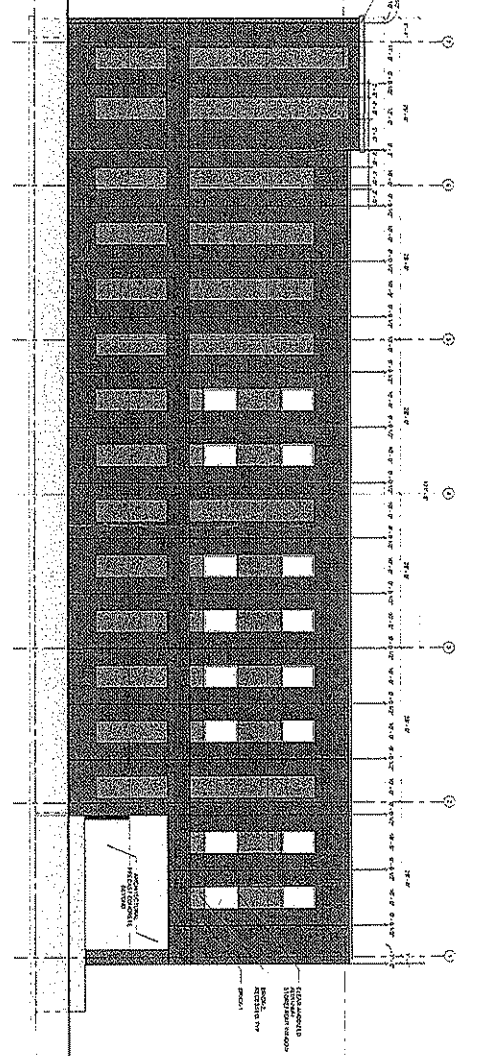
DIRECTOR:
A401



ARCHITECTURAL
INTERIOR DESIGN
1100 N. WASHINGTON STREET, SUITE 100
ANN ARBOR, MI 48106-1000
PHONE: (734) 769-1000
FAX: (734) 769-1001
WWW.STRANGARCHITECTS.COM



2 WEST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

STRANG ARCHITECTS
1100 N. WASHINGTON STREET, SUITE 100
ANN ARBOR, MI 48106-1000
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PHYSICAL PLANT
SHOP/OFFICE
BUILDING

SHEET NO.
A402