

Horizon Development

1 & 15 Ellis Potter Ct Madison,
Wisconsin

PROJECT NUMBER: 2372

PROJECT TEAM

OWNER
HORIZON DEVELOPMENT GROUP
Scott Kwiecinski
Vice President
5201 East Terrace Drive, Suite 300,
Madison, WI, 53718
Phone: 608.354.0820

ARCHITECT
KNOTHE & BRUCE ARCHITECTS
Kevin Burow, AIA
8401 Greenway Blvd, Suite 900
Middleton, WI 53562
Phone: 608.836.3690

LANDSCAPE DESIGN
Paul Skidmore
Office: 608-335-1529
paulskidmore@tds.net

CIVIL ENGINEER
WYSER ENGINEERING
Wade Wyse
300 East Front Street,
Mount Horeb, WI, 53572
608.437.1980
wade.wyse@wyserengineering.com

SHEET INDEX

COVER SHEET
CERTIFIED SURVEY MAP

SITE
C-1.1 SITE PLAN
C-1.2 SITE LIGHTING PLAN
C-1.3 FIRE DEPARTMENT ACCESS PLAN
C-1.4 LOT COVERAGE
C-1.5 USABLE OPEN SPACE

C100 SITE PLAN
C200 GRADING & EROSION CONTROL PLAN
C300 DETAILED GRADING PLAN
C400 UTILITY PLAN
C500 DETAILS

L-1.1 LANDSCAPE PLAN

ARCHITECTURAL

A-1.0 BASEMENT PLAN
A-1.1 FIRST FLOOR PLAN
A-1.2 SECOND FLOOR PLAN
A-1.3 THIRD FLOOR PLAN
A-2.1 EXTERIOR ELEVATIONS - APARTMENT
A-2.2 EXTERIOR ELEVATIONS - APARTMENT
A-2.3 EXTERIOR ELEVATIONS - APARTMENT
A-2.4 EXTERIOR ELEVATIONS - COLOR - APARTMENT
A-2.5 EXTERIOR ELEVATIONS - COLOR - APARTMENT
A-2.6 EXTERIOR ELEVATIONS - COLOR - APARTMENT

A-2.1 EXTERIOR ELEVATIONS - TOWNHOUSE
A-2.2 EXTERIOR ELEVATIONS - COLORED - TOWNHOUSE

A-2.1 EXTERIOR ELEVATIONS - GARAGE

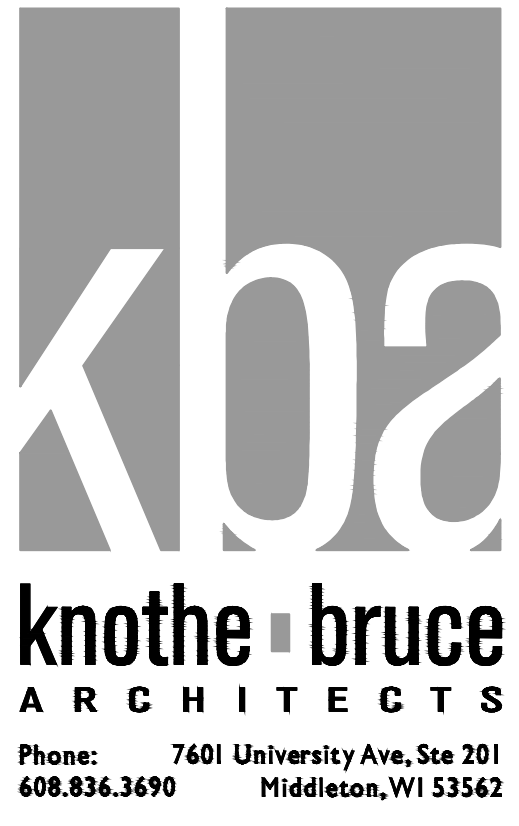
EXTERIOR RENDERINGS
MATERIAL BOARD



LUA SUBMITTAL - NOVEMBER 27, 2023



Site Development Data:		
Zoning	SE - SUBURBAN EMPLOYMENT	
Densities:		
Lot Area	85,407 S.F./1.96 ACRES	
Dwelling Units	65 units	
Lot Area / D.U.	1,314 S.F./D.U.	
Density	33.2 units/Acre	
Lot Coverage	PROVIDED 53,386 S.F. (63%)	ZONING REQ'D 75% Max.
Usable Open Space	26,578 S.F.	26,000 S.F.
Building Height:		
Building #1	3 stories/50'-0"	
Building #2	2 stories/32'-6"	
Garage	1 story/13'-0"	
Dwelling Unit Mix:		
One Bedroom	26	
Two Bedroom	28	
Townhouses (Three Bedroom)	11	
Total Dwelling Units	65	
Vehicle Parking Stalls:		
Underground Garage	54	
Detached Garage	10	
Surface	38	
Total	102	
Bicycle Parking:		
Long-Term Covered Garage	54	
Short-Term Guest - Surface	10	
Total	64	



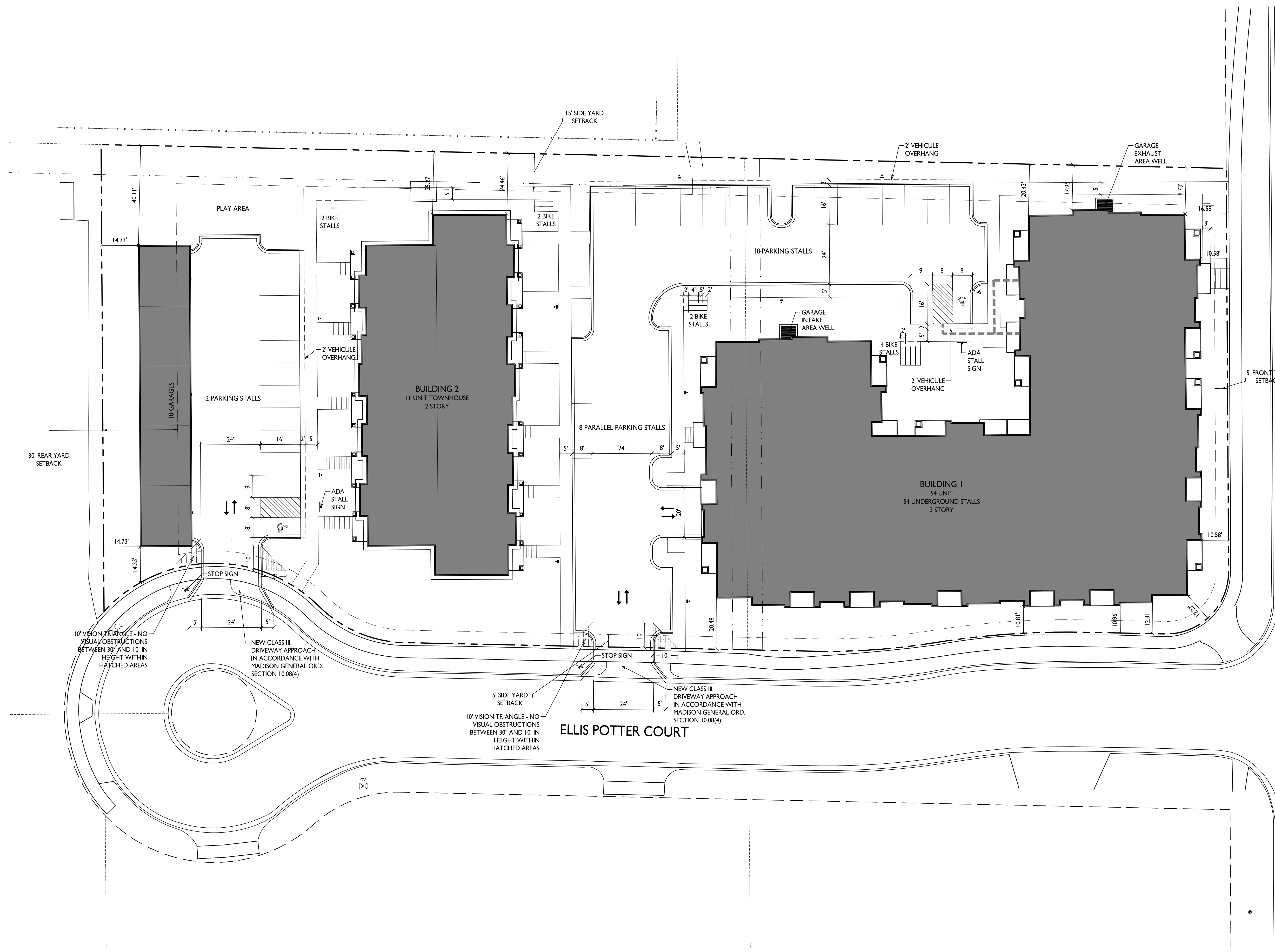
ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

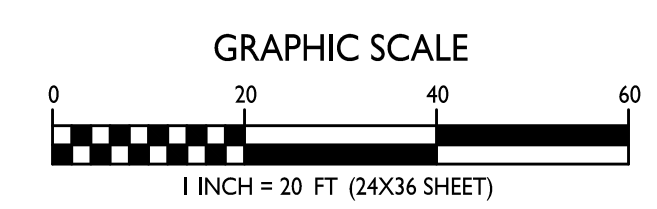
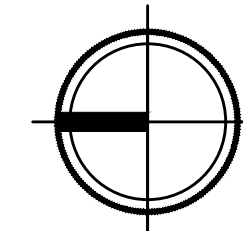
1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1
PROJECT NO. **2372**
© Knothe & Bruce Architects, LLC

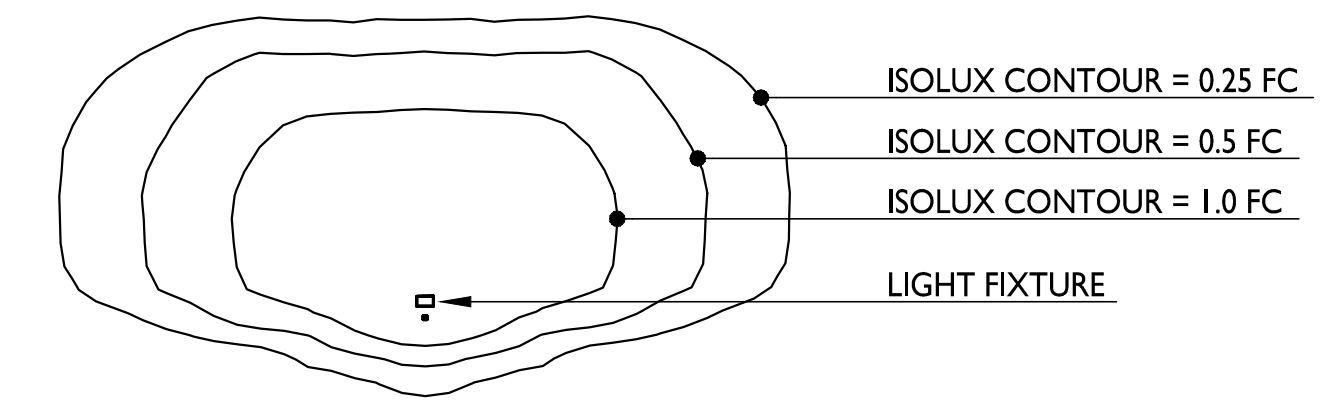


I SITE PLAN
C-1.1
1" = 20'-0"



LIGHT LEVEL STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
North Parking Lot	+	0.9 fc	6.4 fc	0.2 fc	32.0:1	4.5:1
South Parking Lot	+	0.5 fc	4.6 fc	0.2 fc	23.0:1	2.5:1

EXAMPLE LIGHT FIXTURE DISTRIBUTION



ISSUED
 Issued for UDC Submittal - November 27, 2023
 Issued for LUA Submittal - November 27, 2023

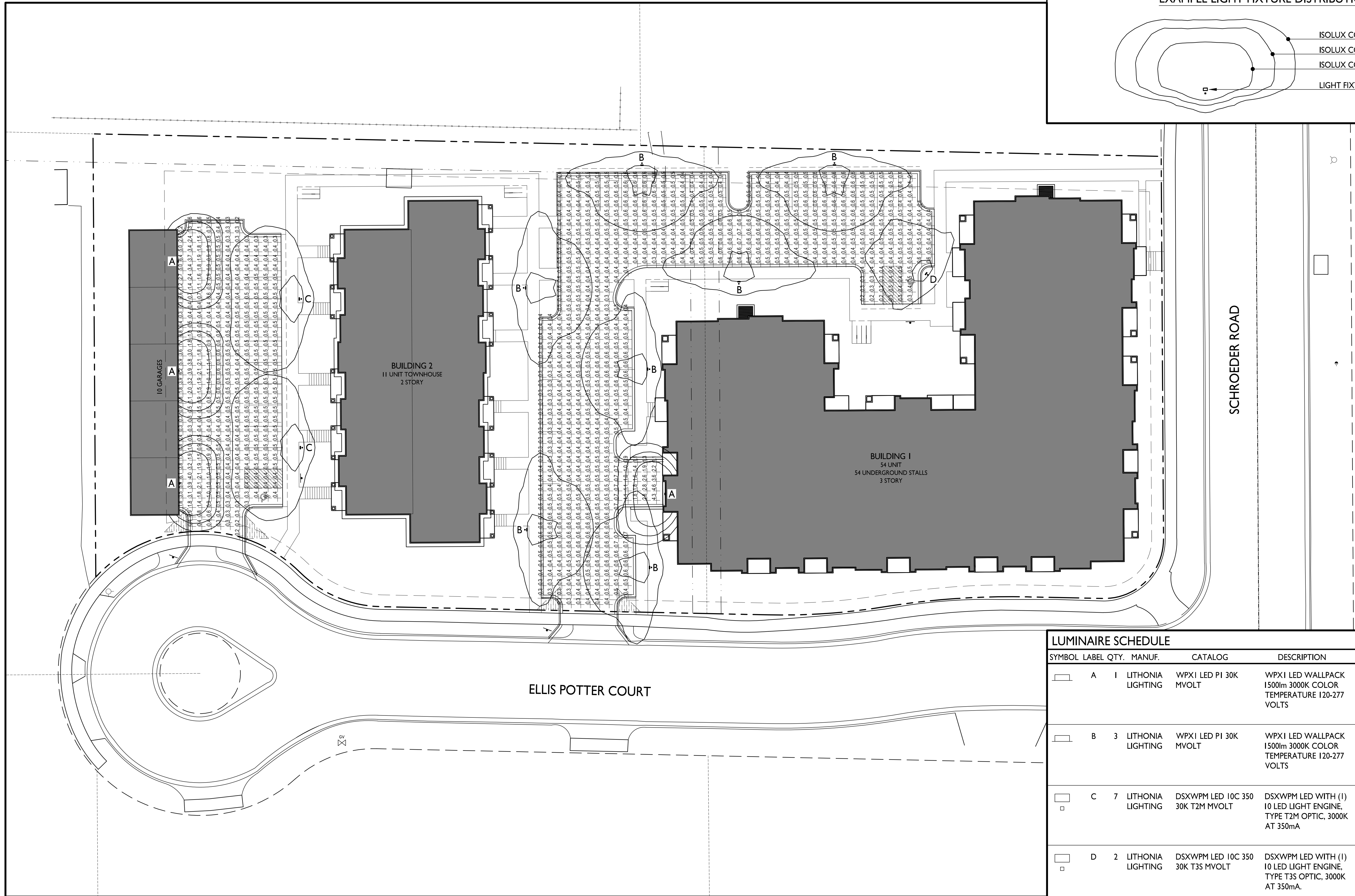
PROJECT TITLE
**Horizon
 Development**

1 & 15 Ellis Potter Ct
 Madison, Wisconsin
 SHEET TITLE
Site Lighting Plan

SHEET NUMBER

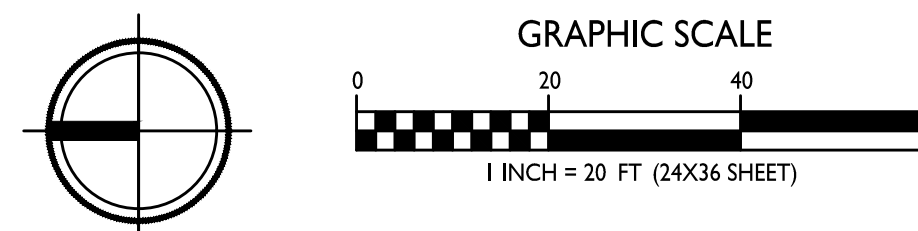
C-1.2

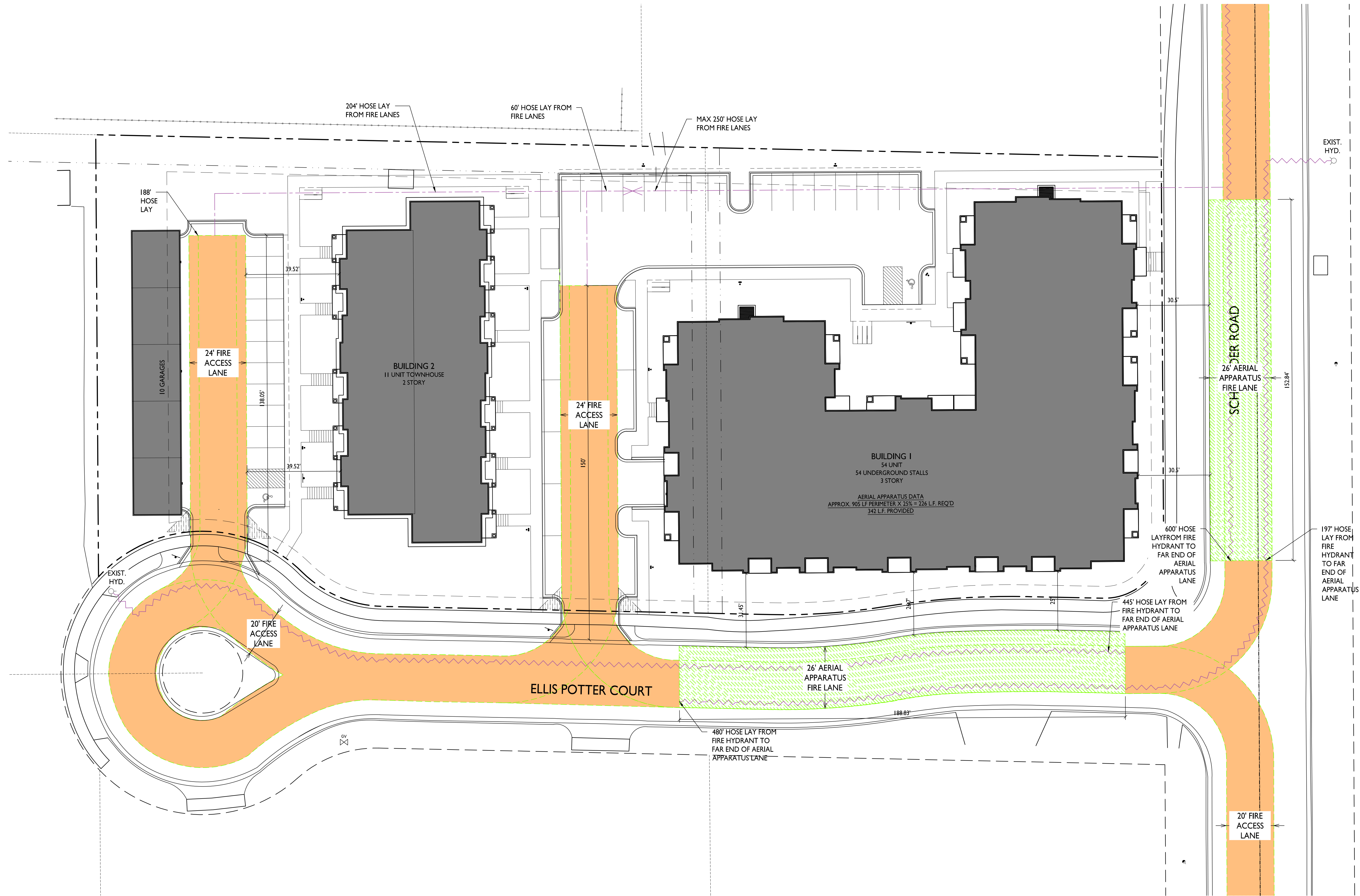
PROJECT NO. **2372**
 © Knothe & Bruce Architects, LLC



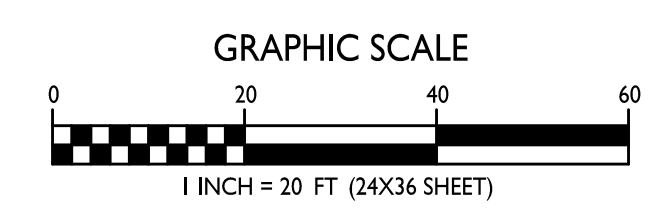
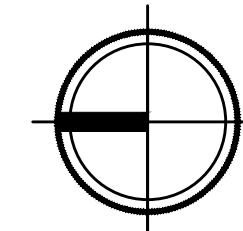
LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	1	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT	WPX1 LED WALLPACK 1500lm 3000K COLOR TEMPERATURE 120-277 VOLTS	WPX1_LED_P1_30K_MVOLT.ies	9'-0" ABOVE GRADE ON BUILDING
	B	3	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT	WPX1 LED WALLPACK 1500lm 3000K COLOR TEMPERATURE 120-277 VOLTS	WPX1_LED_P1_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING
	C	7	LITHONIA LIGHTING	DSXWPM LED 10C 350 30K T2M MVOLT	DSXWPM LED WITH (1) 10 LED LIGHT ENGINE, TYPE T2M OPTIC, 3000K AT 350mA	DSXWPM_LED_10C_350_30K_T2M_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	D	2	LITHONIA LIGHTING	DSXWPM LED 10C 350 30K T3S MVOLT	DSXWPM LED WITH (1) 10 LED LIGHT ENGINE, TYPE T3S OPTIC, 3000K AT 350mA.	DSXWPM_LED_10C_350_30K_T3S_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	E	1	LITHONIA LIGHTING	DSXWPM LED 10C 350 30K T4M MVOLT	DSXWPM LED WITH (1) 10 LED LIGHT ENGINE, TYPE T4M OPTIC, 3000K AT 350mA	DSXWPM_LED_10C_350_30K_T4M_MVOLT.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE

I SITE LIGHTING PLAN
 C-1.2 1" = 20'-0"

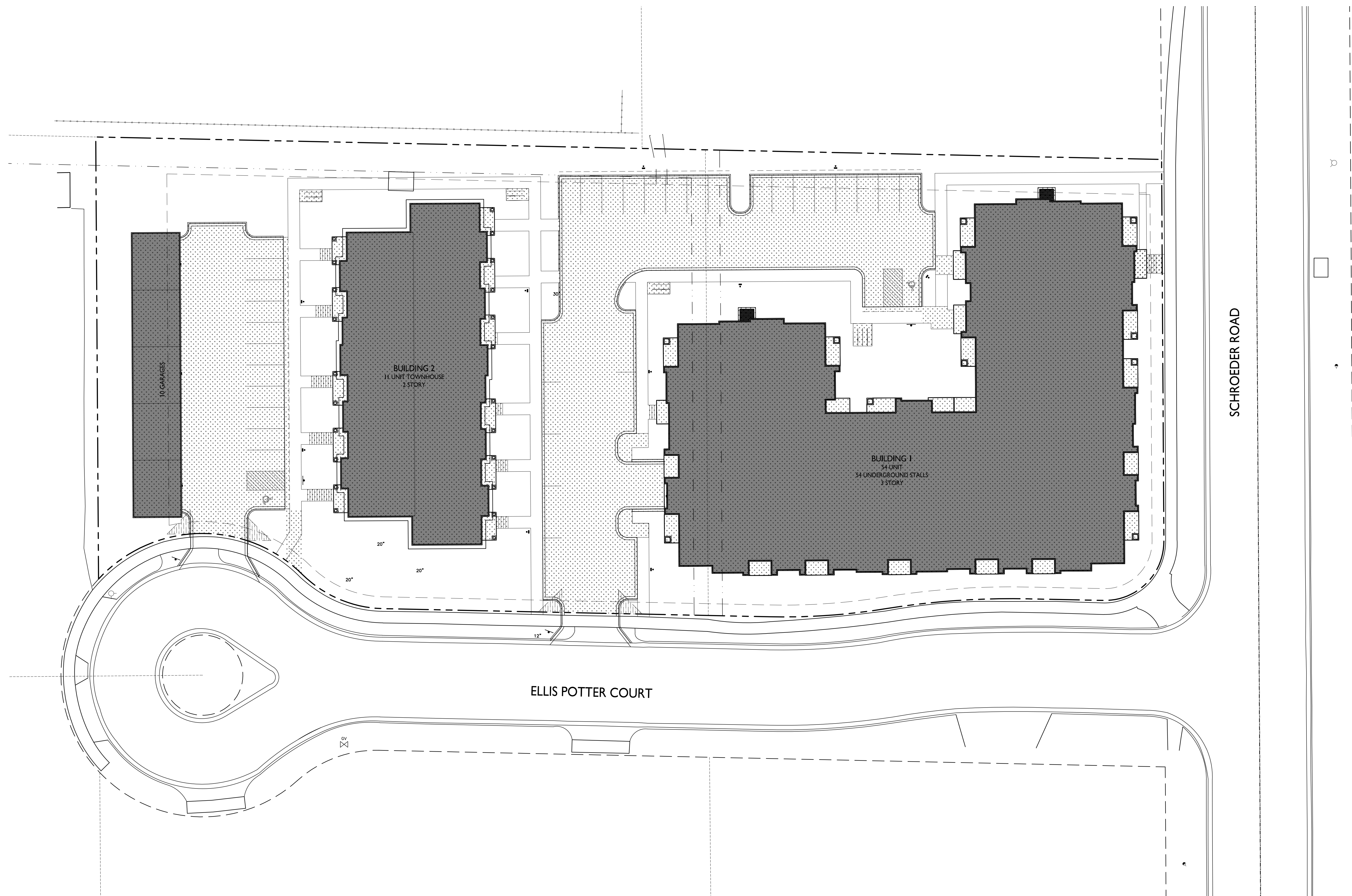
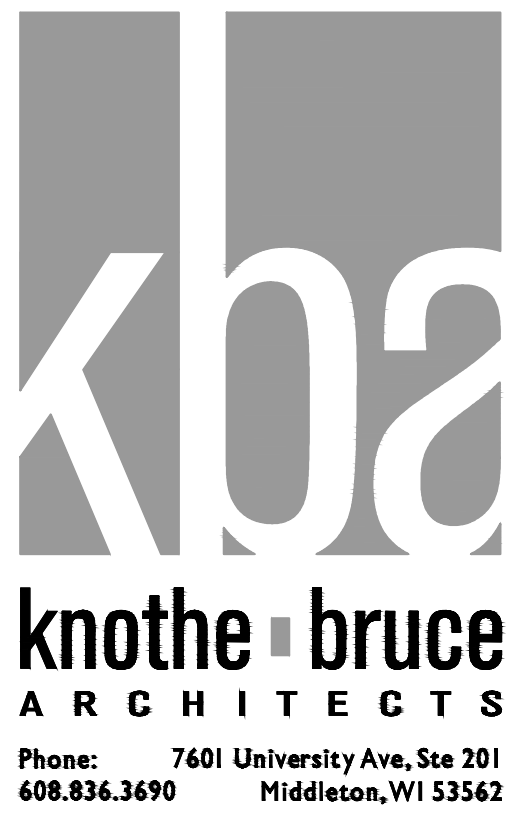




FIRE DEPARTMENT ACCESS PLAN
1" = 20'-0"



LOT COVERAGE
 ZONING: SE - SUBURBAN EMPLOYMENT
 MAXIMUM LOT COVERAGE: 75%
 LOT AREA: 85,407 S.F.
 PROPOSED COVERAGE: 53,386 S.F. / 63%



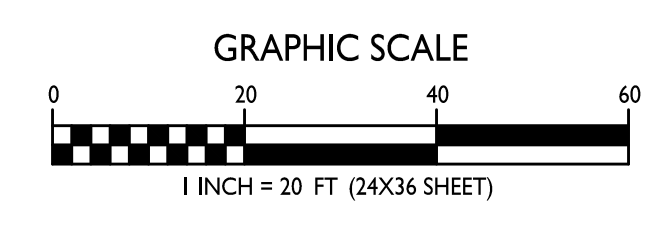
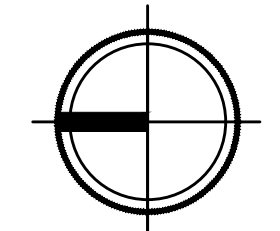
ISSUED
 Issued for UDC Submittal - November 27, 2023
 Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
 Horizon
 Development

1 & 15 Ellis Potter Ct
 Madison, Wisconsin
SHEET TITLE
 Lot Coverage

SHEET NUMBER

LOT COVERAGE
 C-1.4
 1" = 20'-0"



C-1.4
 PROJECT NO. 2372
 © Knothe & Bruce Architects, LLC

USABLE OPEN SPACE	
ZONING:	SE - SUBURBAN EMPLOYMENT
REQUIRED OPEN SPACE:	400 S.F. / D.U.
DWELLING UNITS:	65
65 X 400 =	26,000 S.F. OPEN SPACE REQUIRED
OPEN SPACE PROVIDED:	
BALCONIES:	65 X 60 S.F. = 3,900 S.F.
SURFACE:	22,678 S.F.
TOTAL:	26,578 S.F.



knothe • bruce
ARCHITECTS
Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

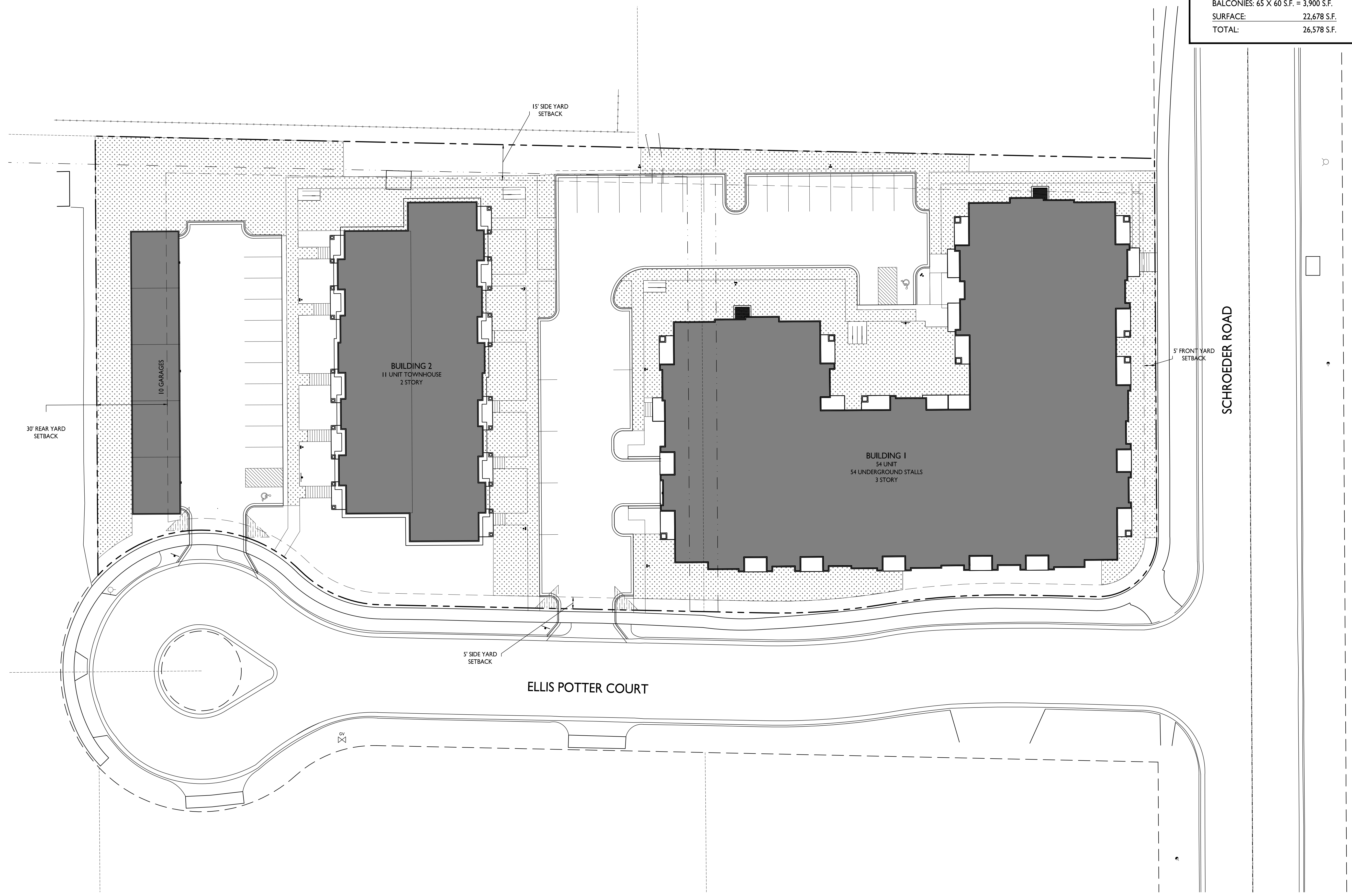
ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

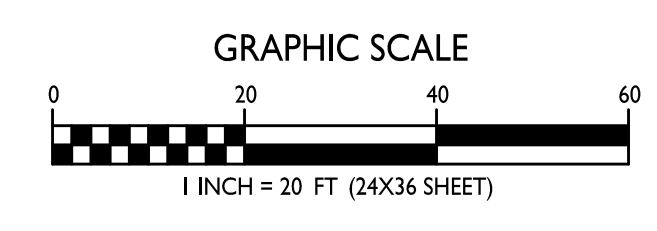
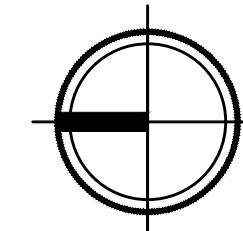
1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**Usable Open
Space**

SHEET NUMBER

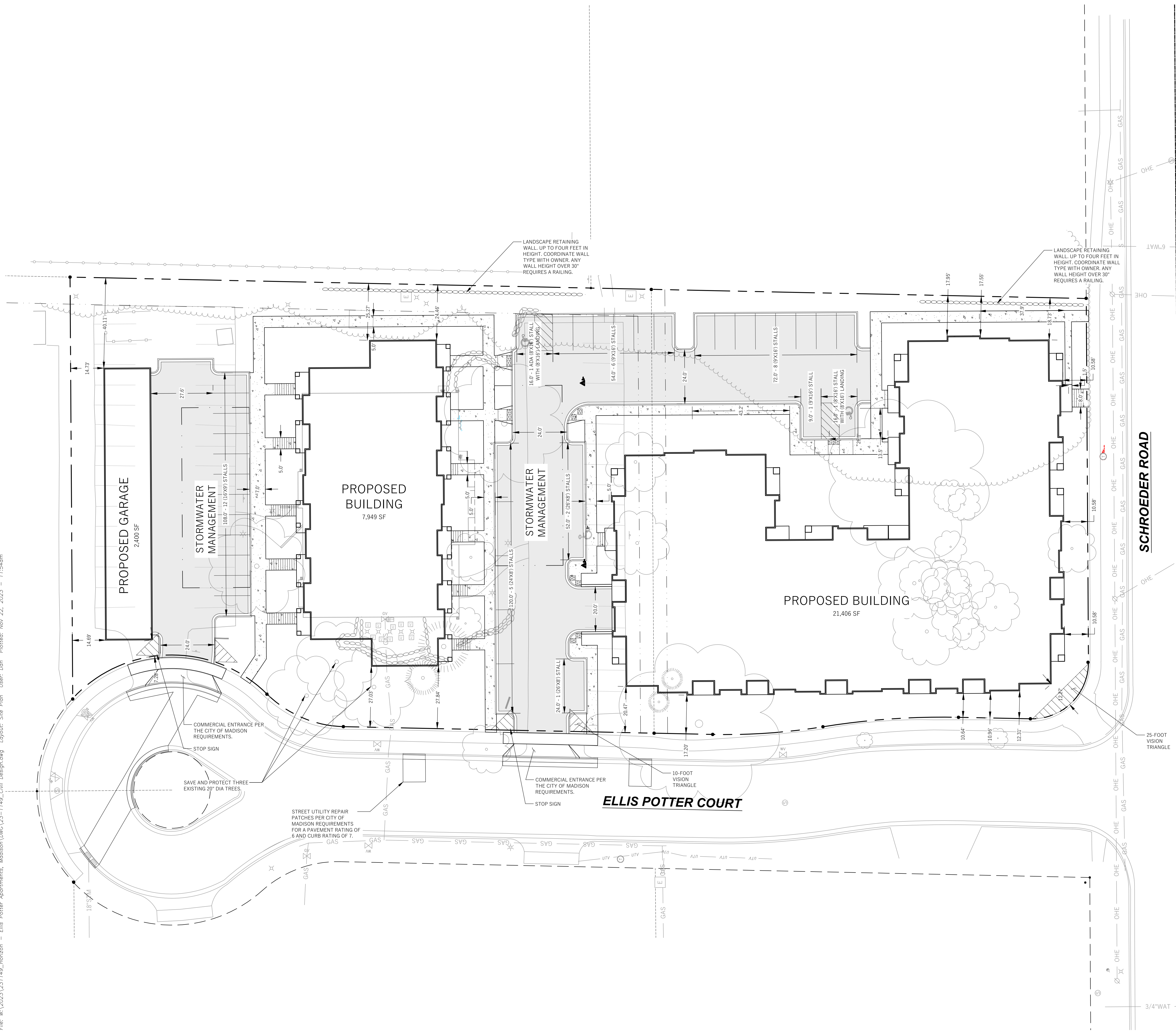
C-1.5
PROJECT NO. **2372**
© Knothe & Bruce Architects, LLC



1
C-1.5
USABLE OPEN SPACE
1" = 20'-0"

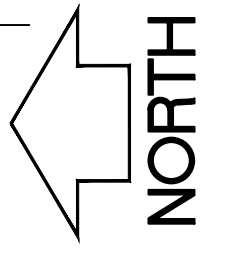


File: W:\2023\21149_Horizon - Ellis Potter Apartments - Horizon - Ellis Potter Apartments - Madison\DWG\23-1149_Civil_Design.dwg Layout: Site Plan User: Dan Plattel: Nov 22, 2023 - 11:54am



LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- STORMWATER TREATMENT FACILITY



- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 09, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE INFORMATION BLOCK:
 SITE ADDRESS: 1 & 15 ELLIS POTTER COURT
 SITE ACREAGE: 85,407 SQ.FT. (1.96 AC)
 USE OF PROPERTY: MULTIFAMILY RESIDENTIAL
 ZONING: SUBURBAN EMPLOYMENT DISTRICT (SE)
 SETBACKS:
 FRONT YARD (SCHROEDER ROAD): 5- FEET
 REVERSE FRONT YARD (ELLIS POTTER COURT): 5- FEET
 REAR YARD (NORTH): 30- FEET
 SIDE YARD (EAST): 15- FEET OR 20% OF BUILDING HEIGHT
 ACCESSORY BUILDING:
 NUMBER OF UNITS: 64
 TOTAL NUMBER OF PARKING STALLS: 91
 UNDERGROUND: 54
 SURFACE: 37
 NUMBER OF SURFACE STALLS DESIGNATED ACCESSIBLE: 2
 TOTAL NUMBER OF BIKE STALLS: XX
 EXISTING IMPERVIOUS SURFACE AREA: 24,864 SQ.FT.
 ROOFTOP: 7,225 SQ.FT.
 PAVED: 17,639 SQ.FT.
 PARKING: 16,972 SQ.FT.
 SIDEWALK: 667 SQ.FT.
 NEW IMPERVIOUS SURFACE AREA: 55,317 SQ.FT.
 ROOFTOP: 29,355 SQ.FT.
 PAVED: 25,962 SQ.FT.
 PARKING: 17,948 SQ.FT.
 SIDEWALK: 8,022 SQ.FT.
 DISTURBANCE LIMITS: 85,000 SQ. FT.
 MAXIMUM IMPERVIOUS SURFACE: 75%
 IMPERVIOUS SURFACE AREA ON LOT: 55,317 SQ.FT.
 PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 64.8%

NOTE:
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NOTE:
 ALL WORK IN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT xxxx, PROJECT xxxxx)

WYSER ENGINEERING

HORIZON DEVELOPMENT

CITY OF MADISON, DANE COUNTY

Sheet Title: SITE PLAN

1 & 15 ELLIS POTTER COURT
MADISON, WI 53711

Revisions:

No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'

Wysers Number: 23-1149

Set Type: SIP

Date Issued: 11/24/2023

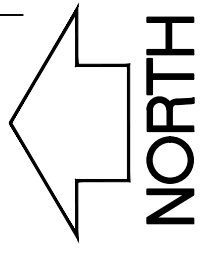
Sheet Number: C100

DIGGERS HOTLINE
 Toll Free (800) 242-8511 or 811
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

Revisions:

Table with 3 columns: No., Date, Description.

Table with 2 columns: Property, Value. Includes Graphic Scale, Wyser Number, Set Type, Date Issued, Sheet Number.



LEGEND (PROPOSED)

- PROPERTY BOUNDARY, EASEMENT, BUILDING FOOTPRINT, 18" CURB AND GUTTER, ASPHALT PAVEMENT, CONCRETE PAVEMENT, PROPOSED MAJOR CONTOUR, PROPOSED MINOR CONTOUR, STM, SILT FENCE, INLET PROTECTION, DITCH CHECK.

GENERAL NOTES

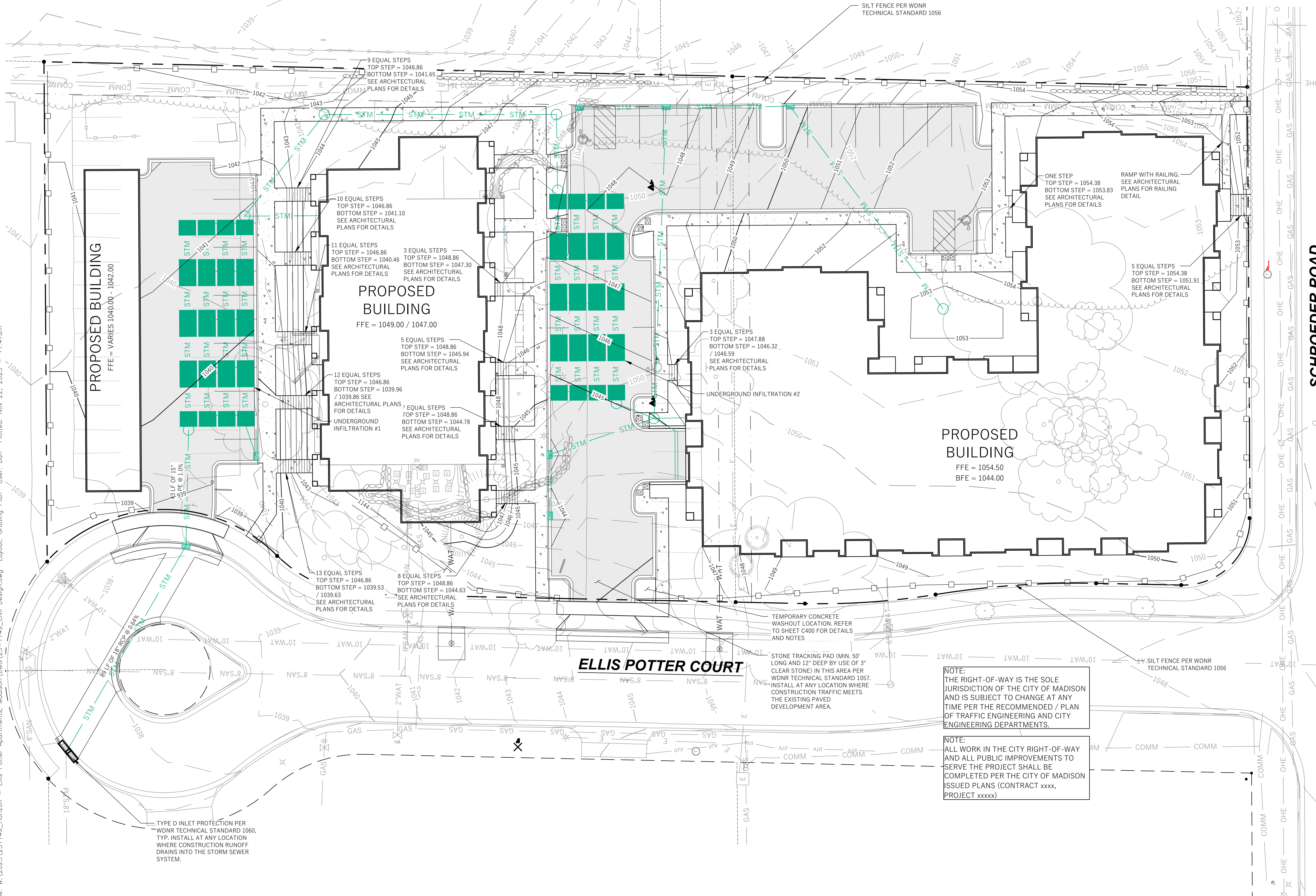
- 1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 09, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- 1. POST WDR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TO SCHEDULE A PRECONSTRUCTION MEETING A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
9. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1062.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS TO GPM OR MORE.
14. PROVIDE ANTI-CORROSION PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDR TECHNICAL STANDARD DE-WATERING #1061.
15. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
16. INSTALL AND MAINTAIN SILT FENCING PER WDR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
17. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSED STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDR TECHNICAL STANDARD DITCH CHECKS #1062.
18. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
19. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
20. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. AS APPROPRIATE FOR REGION AND SOIL TYPE, OCTOBER 15 THROUGH COLD WEATHER, STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
21. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
22. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
23. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
24. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
25. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERM).
26. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1063.
27. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDR TECHNICAL STANDARD CHANNEL EROSION MAT #1063.
28. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
29. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: http://dnr.wi.gov/botw/.
30. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: https://www3.epa.gov/npdies/pubs/concretwashout.pdf. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

GRADING, SEEDING & RESTORATION NOTES

- 1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.

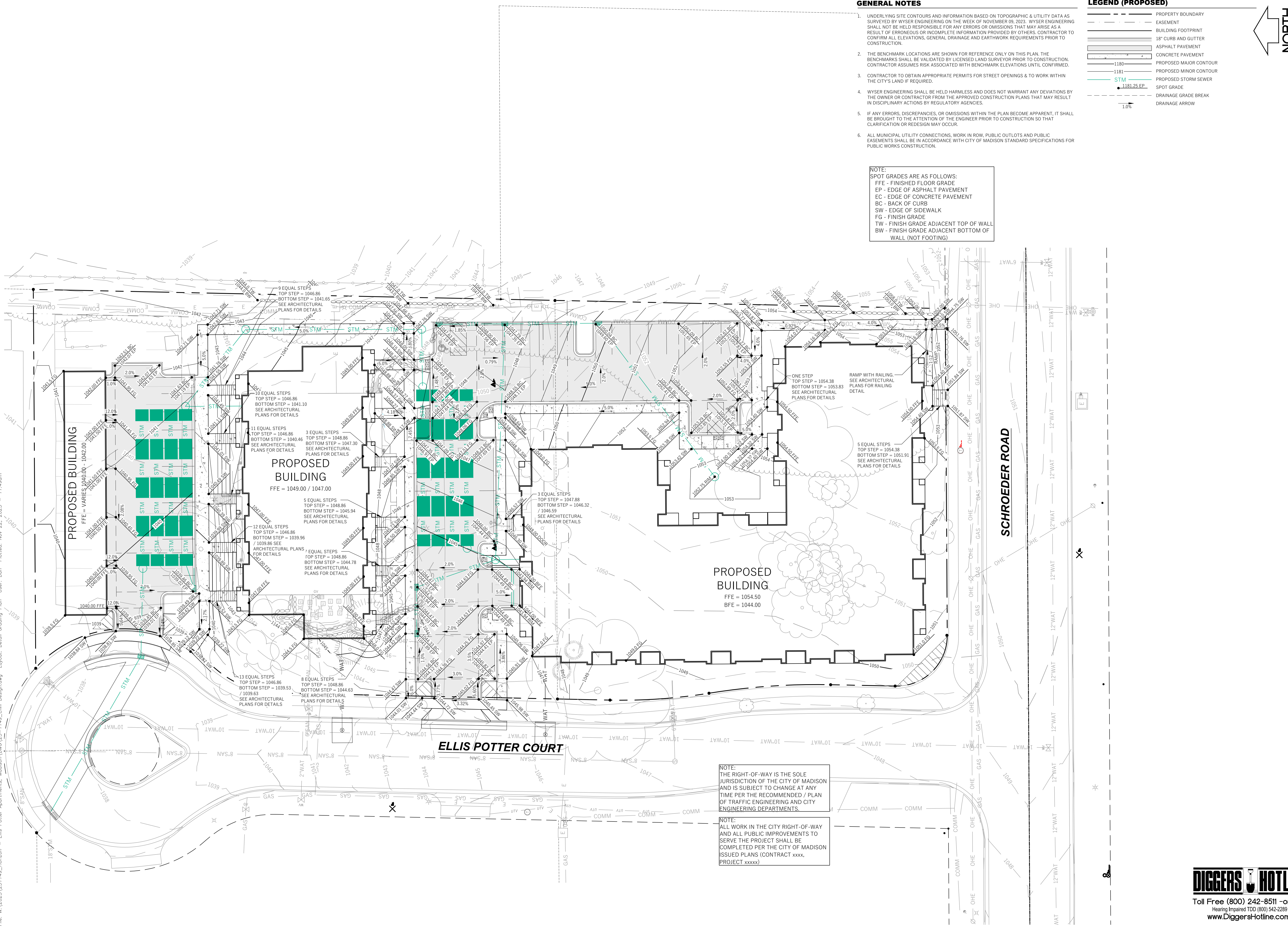


NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NOTE: ALL WORK IN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT xxxx, PROJECT xxxxxx).

TYPE D INLET PROTECTION PER WDR TECHNICAL STANDARD 1060. TYP. INSTALL AT ANY LOCATION WHERE CONSTRUCTION RUNOFF DRAINS INTO THE STORM SEWER SYSTEM.

DIGGERS HOTLINE logo and contact information: Toll Free (800) 242-8511 or-811, Hearing Impaired TDD (800) 542-2289, www.DiggersHotline.com



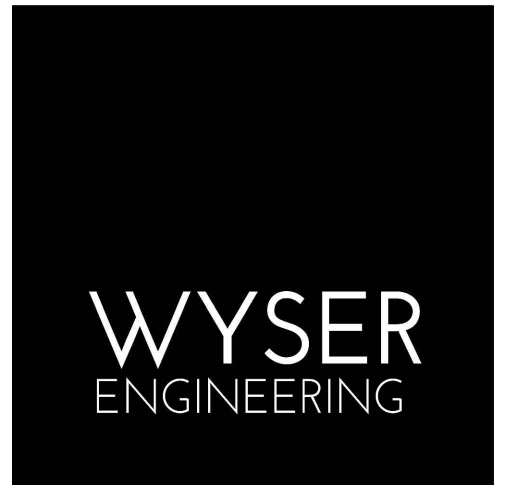
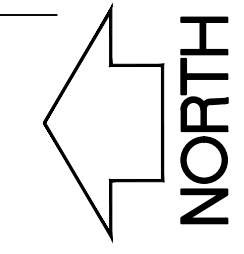
GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 09, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

NOTE:
 SPOT GRADES ARE AS FOLLOWS:
 FFE - FINISHED FLOOR GRADE
 EP - EDGE OF ASPHALT PAVEMENT
 EC - EDGE OF CONCRETE PAVEMENT
 BC - BACK OF CURB
 SW - EDGE OF SIDEWALK
 FG - FINISH GRADE
 TW - FINISH GRADE ADJACENT TOP OF WALL
 BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- - - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▬ 18" CURB AND GUTTER
- ▬ ASPHALT PAVEMENT
- ▬ CONCRETE PAVEMENT
- ▬ PROPOSED MAJOR CONTOUR
- ▬ 1180
- ▬ 1181
- ▬ PROPOSED MINOR CONTOUR
- ▬ PROPOSED STORM SEWER
- SPOT GRADE
- ▬ 1181.25 EP
- ▬ DRAINAGE GRADE BREAK
- ▬ DRAINAGE ARROW



1 & 15 ELLIS POTTER COURT
 MADISON, WI 53711

HORIZON DEVELOPMENT

CITY OF MADISON, DANE COUNTY

Sheet Title:
 DETAILED GRADING PLAN

Revisions:

No.	Date:	Description:

Graphic Scale	0' 5' 10' 20' 30'
Wysers Number	23-1149
Set Type	SIP
Date Issued	11/24/2023
Sheet Number	C201

DIGGERS HOTLINE
 Toll Free (800) 242-8511 -or- 811
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

NOTE:
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NOTE:
 ALL WORK IN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT xxxx, PROJECT xxxxx).

File: W:\2023\231149_Horizon - Ellis Potter Apartments, Madison, DMC\23-1149_Civil_Design.dwg Layout: Utility Plan User: Dan Plotted: Nov 22, 2023 - 11:48am

UTILITY NOTES

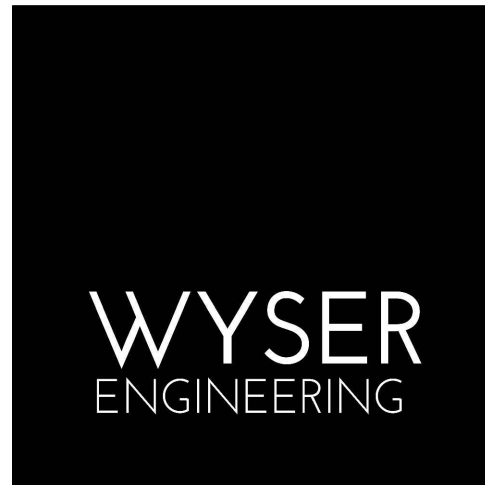
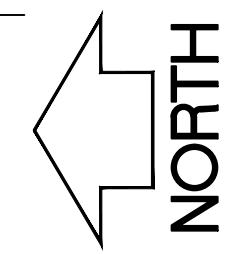
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDMR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
- NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
- ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
- CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
- ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
- ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
- ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
- ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(6).
- THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
- INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
- THE CURB INLET SHALL HAVE A CATCH-ALL HR-1 OIL AND GREASE FILTER OR APPROVED EQUIVALENT INSTALLED WITHIN THEM.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE MUNICIPAL EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT - PROPOSED WATER MAIN
- SAN - PROPOSED SANITARY SEWER
- STM - PROPOSED STORM SEWER
- GAS - PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E - PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- STORMWATER TREATMENT FACILITY

GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 09, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.



1 & 15 ELLIS POTTER COURT
MADISON, WI 53711

HORIZON DEVELOPMENT

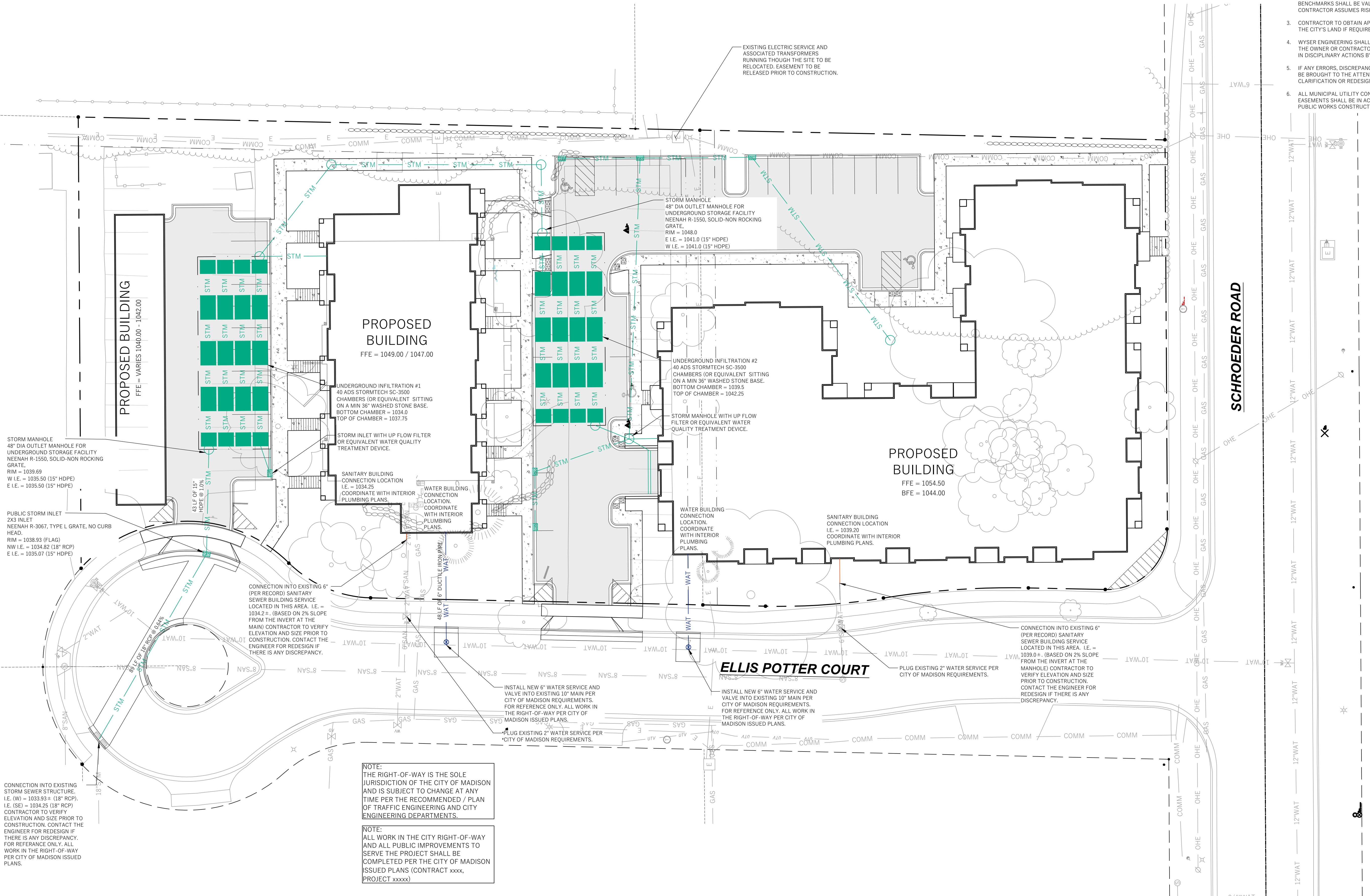
CITY OF MADISON, DANE COUNTY

Sheet Title: UTILITY PLAN

Revisions:		
No.	Date:	Description:

Graphic Scale	
Wysers Number	23-1149
Set Type	SIP
Date Issued	11/24/2023
Sheet Number	C300

Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



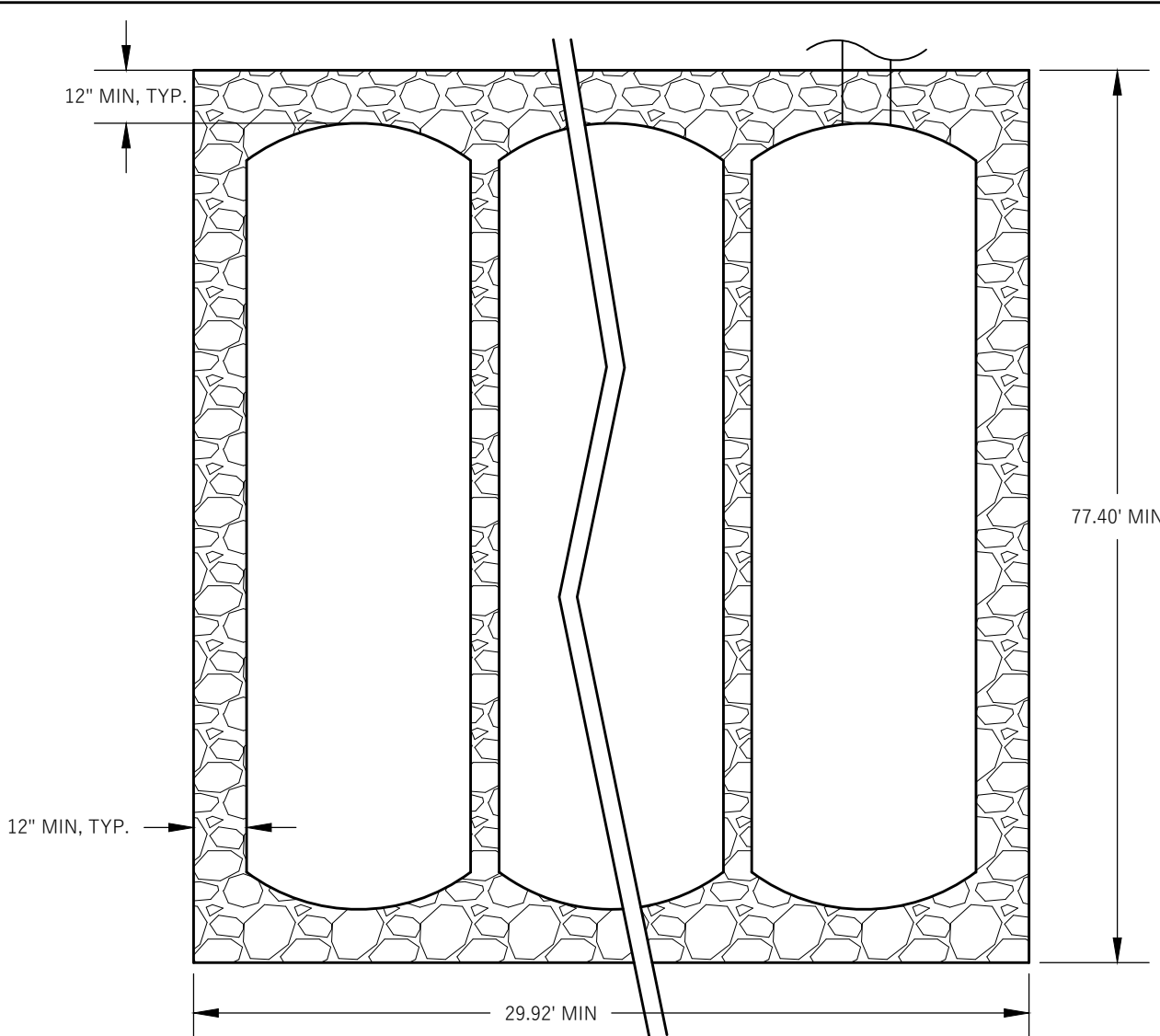
NOTE:
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

NOTE:
ALL WORK IN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT xxxx, PROJECT xxxxx)

UNDERGROUND INFILTRATION SYSTEM

GENERAL NOTES:

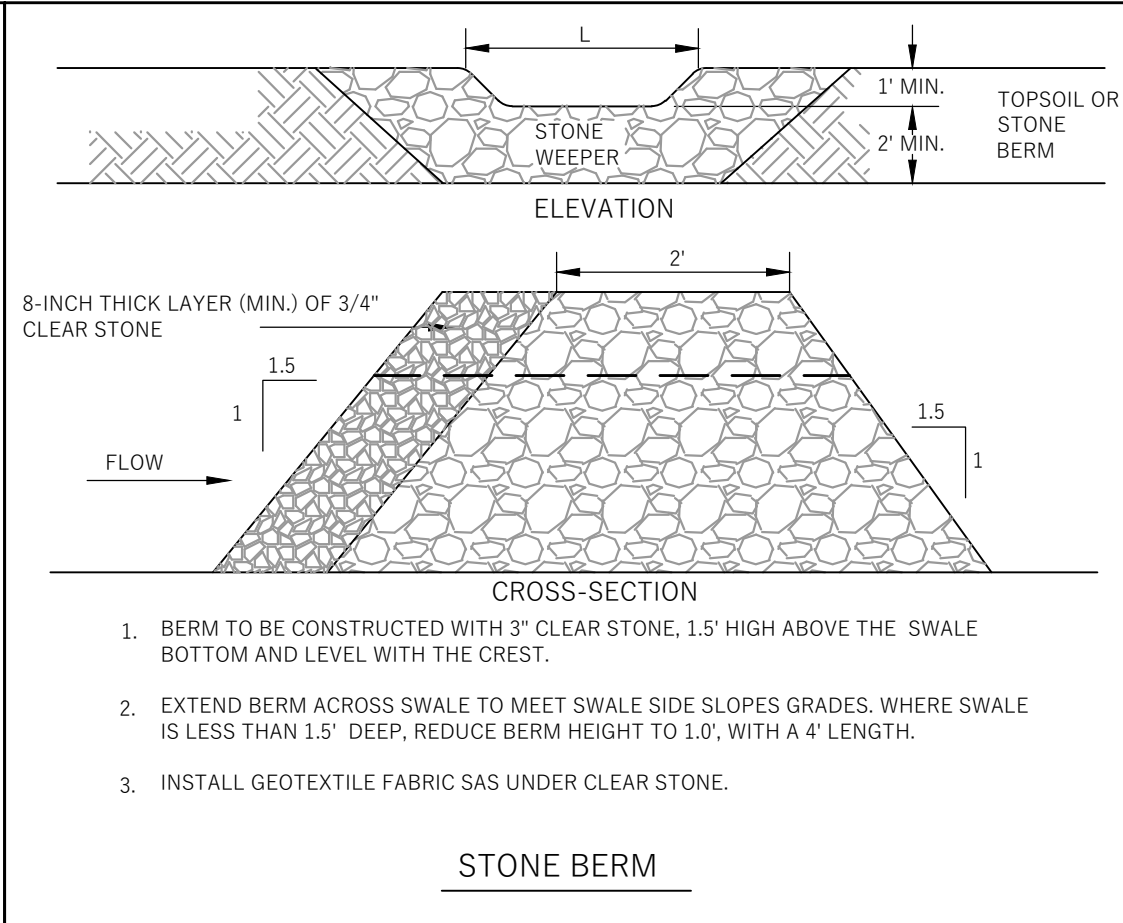
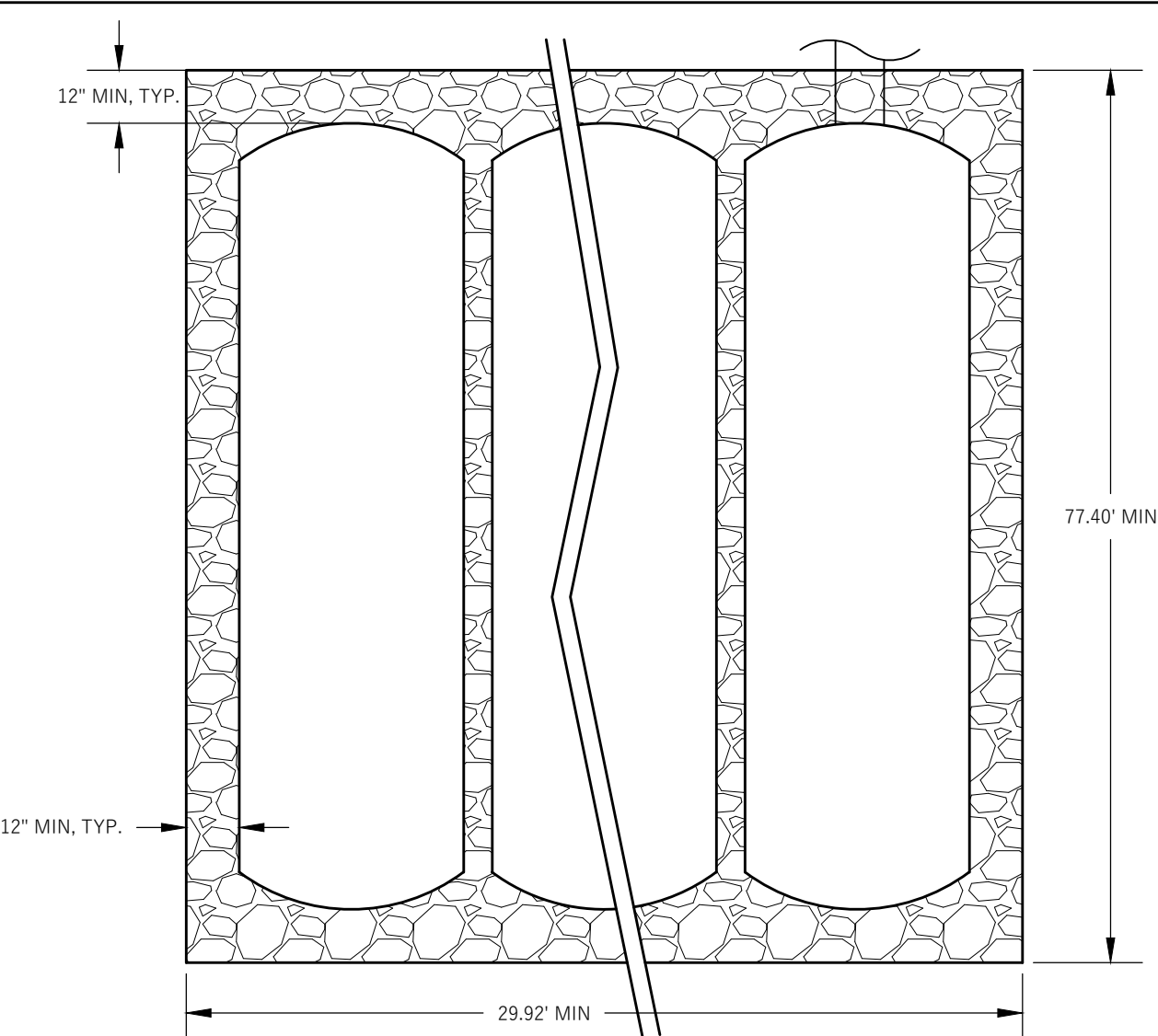
- CLEAN, CRUSHED, ANGULAR STONE TO BE COMPACTED IN 6" (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT.
- SAND/NATIVE SOIL INTERFACE LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES. A CONSTRUCTION REPRESENTATIVE MUST BE ON SITE DURING OVER EXCAVATION TO APPROVE OF THE DEPTH AND SOIL TYPES.
- GEOSYNTHETICS NON-WOVEN GEOTEXTILE SHALL BE PLACED ALL AROUND THE CLEAN, CRUSHED, ANGULAR STONE.
- RUNOFF MUST INFILTRATE WITHIN 72-HOURS. SYSTEMS UNABLE TO MAINTAIN THESE RATES MUST BE REPLACED AND RESTORED TO ORIGINAL APPROVED PLAN.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.



UNDERGROUND INFILTRATION SYSTEM

GENERAL NOTES:

- CLEAN, CRUSHED, ANGULAR STONE TO BE COMPACTED IN 6" (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT.
- SAND/NATIVE SOIL INTERFACE LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES. A CONSTRUCTION REPRESENTATIVE MUST BE ON SITE DURING OVER EXCAVATION TO APPROVE OF THE DEPTH AND SOIL TYPES.
- GEOSYNTHETICS NON-WOVEN GEOTEXTILE SHALL BE PLACED ALL AROUND THE CLEAN, CRUSHED, ANGULAR STONE.
- RUNOFF MUST INFILTRATE WITHIN 72-HOURS. SYSTEMS UNABLE TO MAINTAIN THESE RATES MUST BE REPLACED AND RESTORED TO ORIGINAL APPROVED PLAN.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.



- BERM TO BE CONSTRUCTED WITH 3" CLEAR STONE, 1.5' HIGH ABOVE THE SWALE BOTTOM AND LEVEL WITH THE CREST.
- EXTEND BERM ACROSS SWALE TO MEET SWALE SIDE SLOPES GRADES, WHERE SWALE IS LESS THAN 1.5' DEEP, REDUCE BERM HEIGHT TO 1.0', WITH A 4' LENGTH.
- INSTALL GEOTEXTILE FABRIC SAS UNDER CLEAR STONE.

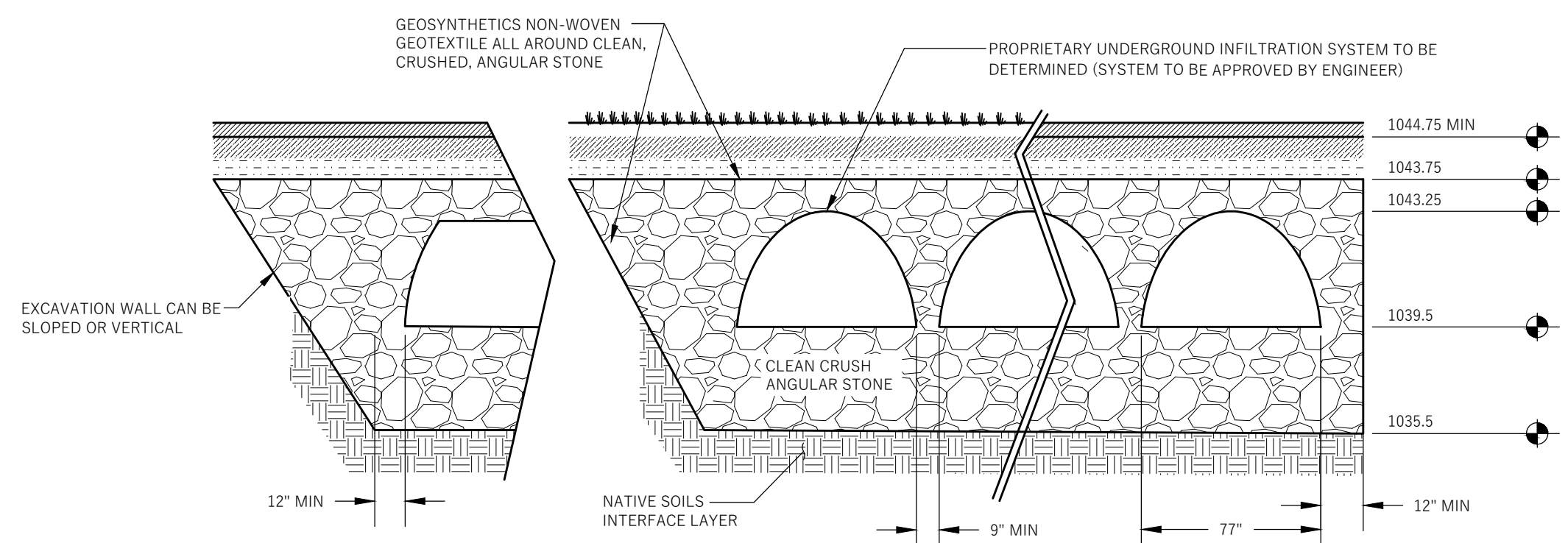
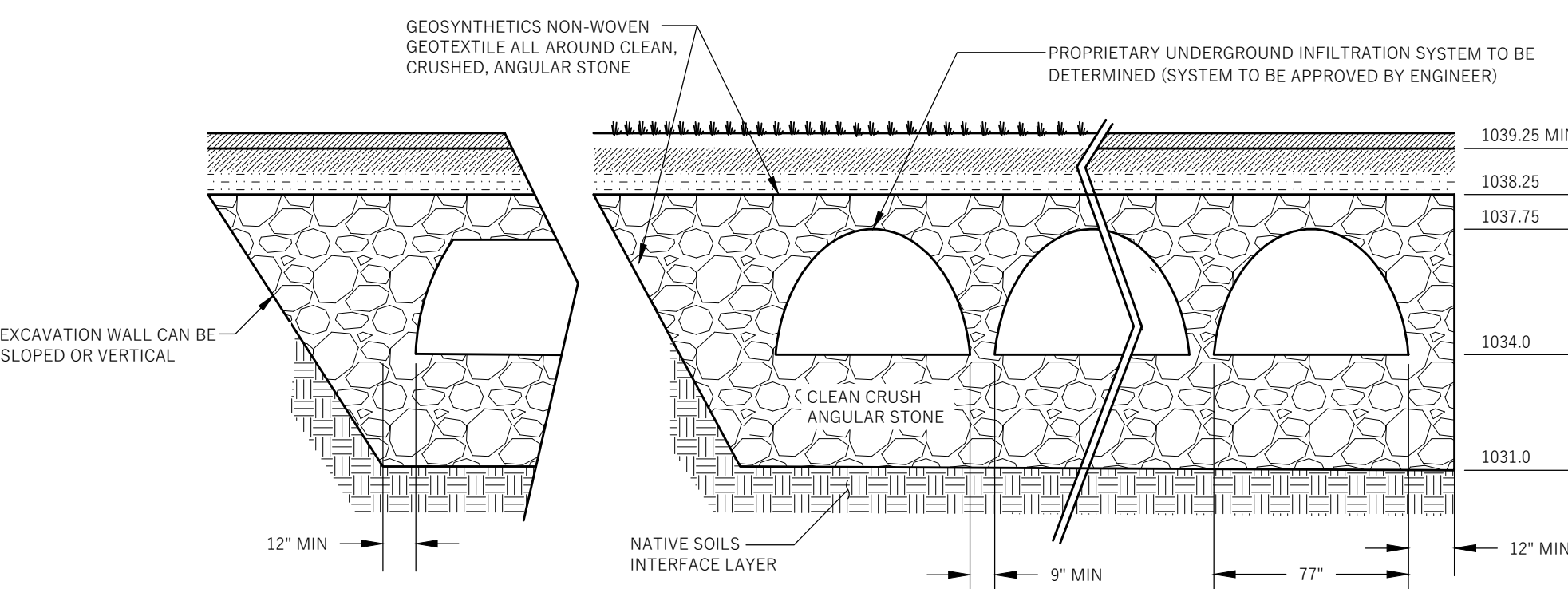
MATERIAL	THICKNESS	SPECIFICATION
BITUMINOUS UPPER LAYER	1.5"	SECTION 460, TABLE 460-1
BITUMINOUS LOWER LAYER	2.0"	SECTION 460, TABLE 460-1
DENSE GRADED BASE	8.5"	SECTION 301 AND 305, 3" AND 1.25"
TOTAL THICKNESS	12.0"	

- SPECIFICATIONS BASED ON GEOTECHNICAL REPORT AS PREPARED BY XXXXX, DATED XXXXX. IF ANY DISCREPANCY BETWEEN THIS DETAIL AND THE GEOTECHNICAL REPORT IS FOUND, THE GEOTECHNICAL REPORT HOLDS.
- LIGHT DUTY AREAS (REFERS TO THE STRIPED PARKING AREAS ONLY). MAY HAVE REDUCED BITUMINOUS UPPER LAYER TO 1.75" AND DGB TO 10.0".
- UNDERCUTTING IS LIKELY BASED ON UNDERLYING CLAY SOILS. ASSUME 30% OF SITE WILL REQUIRE UNDERCUTTING. UNDERCUT SECTION ASSUMED TO BE 12" OF 3" DGB OVER BIAXIAL GEOGRID (TENSAR BX TYPE 1 OR EQUAL). FINAL DETERMINATION BASED ON FIELD PROOF-ROLL.
- COMPACTION REQUIREMENTS
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION
- MIXTURE TYPE LT BITUMINOUS PAVEMENT IS RECOMMENDED FOR THE PARKING AREA, TYPE MT WITH AN "H GRADE" FOR THE DOCK AREA, REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
- THE UPPER 4" OF DGB SHALL BE 1.25"; THE BOTTOM PART OF THE LAYER CAN BE 3" DGB.

MATERIAL	THICKNESS	SPECIFICATION
CONCRETE SLAB LAYER	6.0"	SECTION 501, GRADE A, CLASS 1
DENSE GRADED BASE	6.0"	SECTION 301 AND 305, 31.5 MM
TOTAL THICKNESS	14.0"	

NOTE: CONCRETE SIDEWALK TO BE 5" CONCRETE OVER 4" DENSE GRADED BASE. REINFORCEMENT TO INCLUDE #4 REBAR 12" O.C. BOTH WAYS OR EQUIVALENT
 ** SITE PROOF ROLLS TO BE COMPLETED WITH ADDITIONAL THICKNESS ADDED PER GEOTECHNICAL RECOMMENDATION. BASED ON CURRENT GEOTECHNICAL RECOMMENDATION, 12" DGB TO BE ADDED BELOW 6" LAYER WITH ADDITIONAL BIAXIAL GEOGRID (TENSAR BX TYPE 1 OR EQUIVALENT)

PAVEMENT SECTIONS

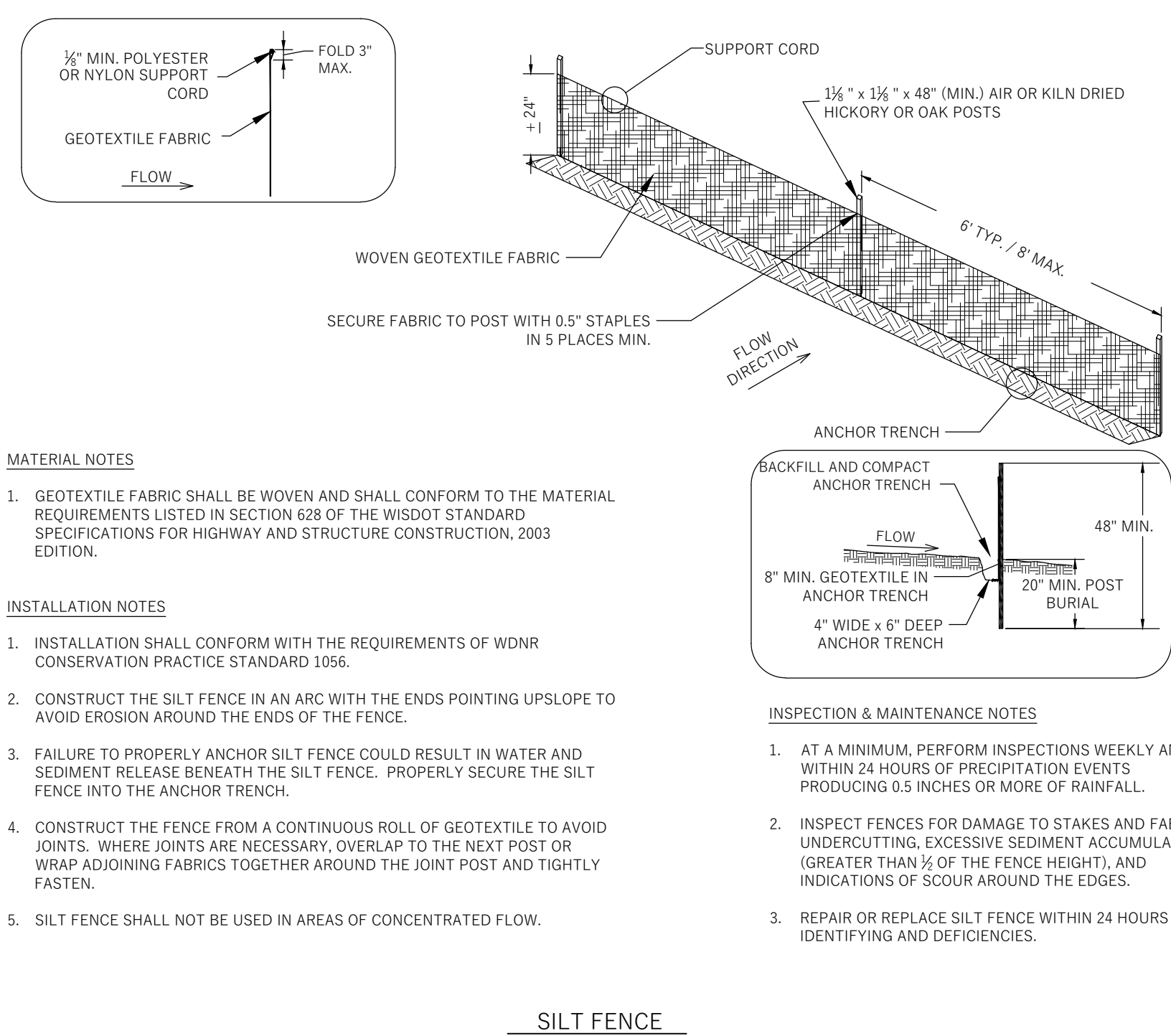


UNDERGROUND INFILTRATION	REFERENCE	SOIL DEPTH	SOIL TYPE	INFILTRATION RATE	LIMITING LAYER
UNDERGROUND INFILTRATION	TP-x	XXXX-XXXX	XXXX	XXX*	XXXXXX

*INFILTRATION RATE LIMITED BY LATER BELOW WITH INFILTRATION RATE OF XXX IN/HR

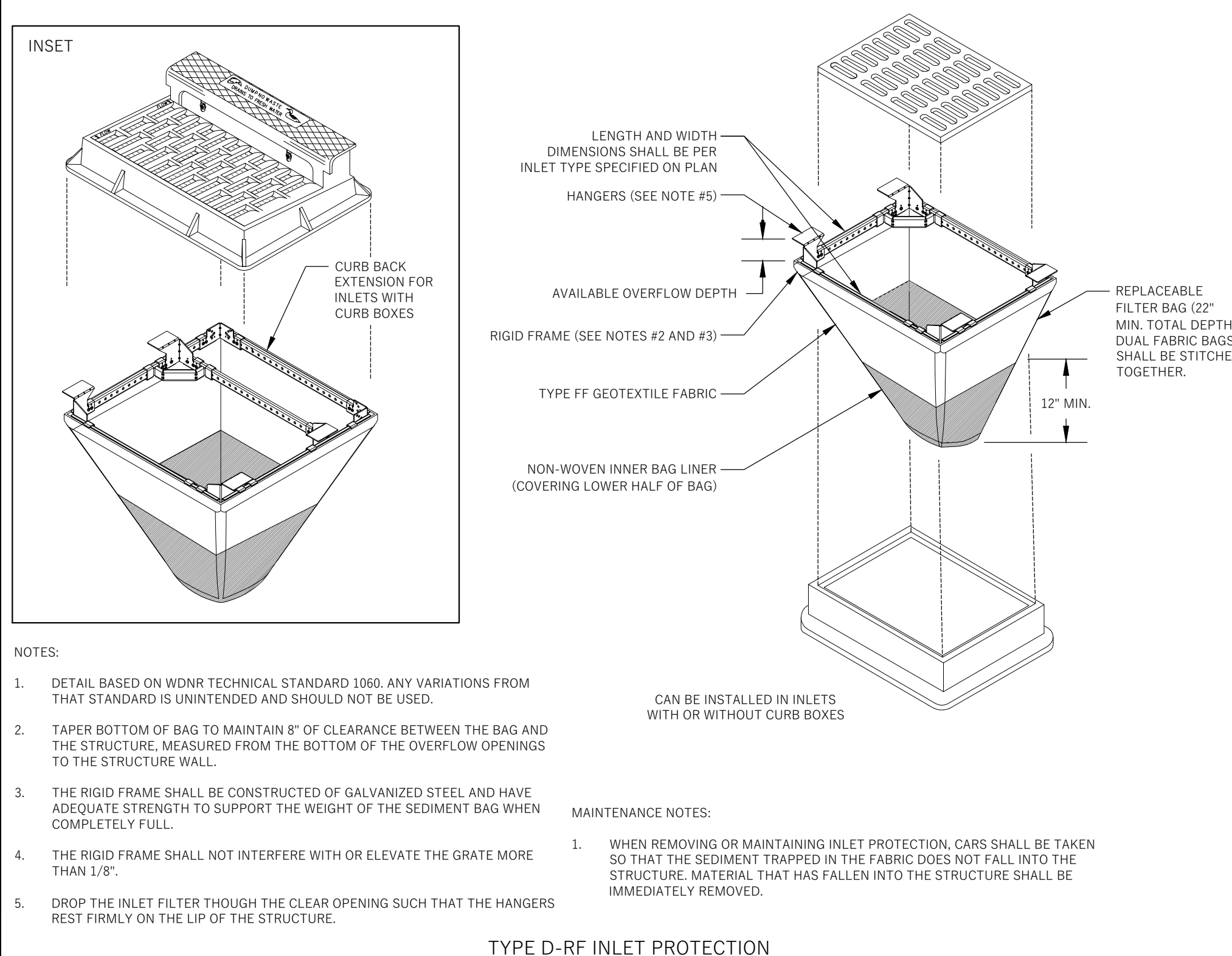
UNDERGROUND INFILTRATION	REFERENCE	SOIL DEPTH	SOIL TYPE	INFILTRATION RATE	LIMITING LAYER
UNDERGROUND INFILTRATION	TP-x	XXXX-XXXX	XXXX	XXX*	XXXXXX

*INFILTRATION RATE LIMITED BY LATER BELOW WITH INFILTRATION RATE OF XXX IN/HR



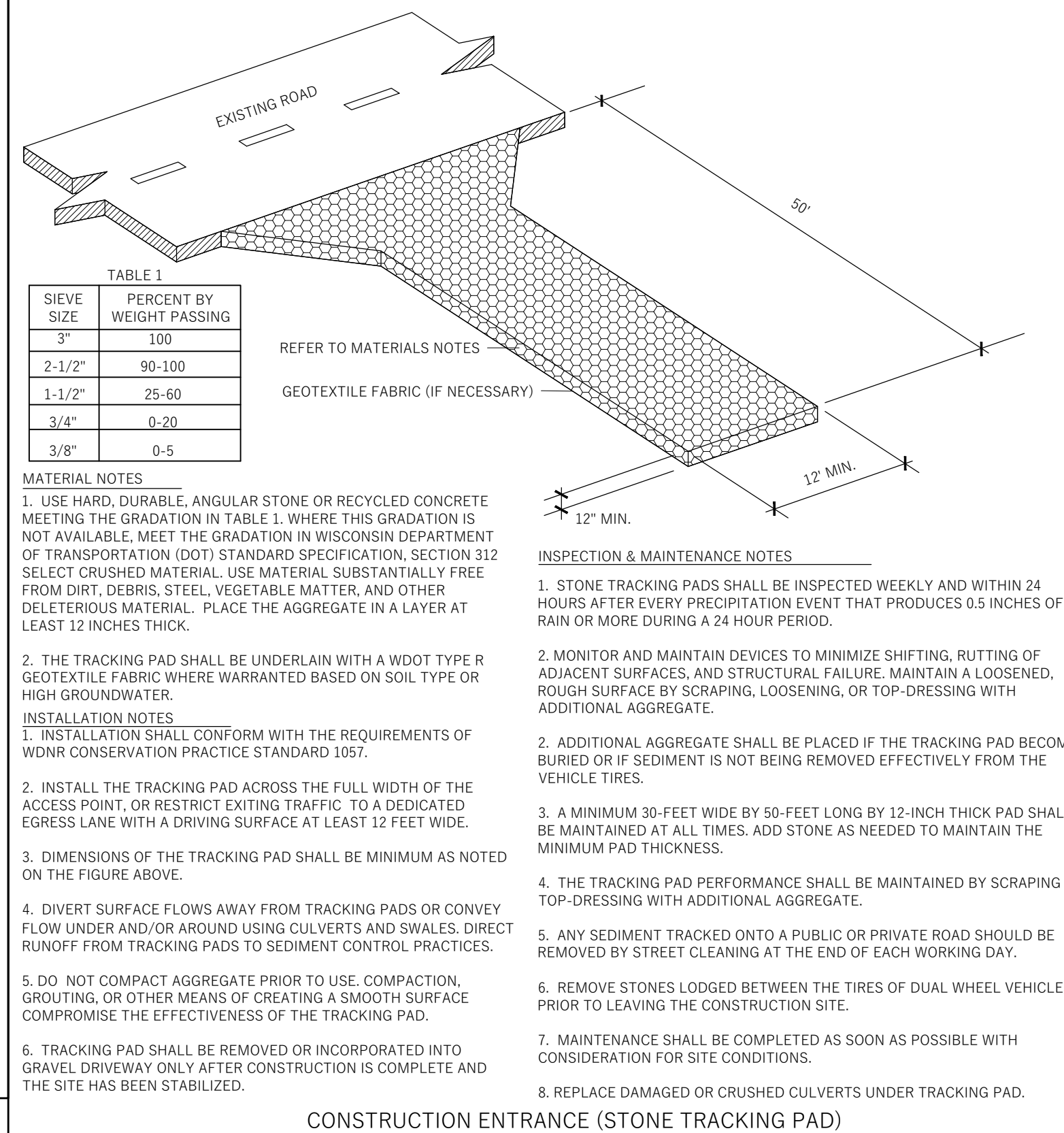
- MATERIAL NOTES**
- GEOTEXTILE FABRIC SHALL BE WOVEN AND SHALL CONFORM TO THE MATERIAL REQUIREMENTS LISTED IN SECTION 628 OF THE WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2003 EDITION.
- INSTALLATION NOTES**
- INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1056.
 - CONSTRUCT THE SILT FENCE IN AN ARC WITH THE ENDS POINTING UPSLOPE TO AVOID EROSION AROUND THE ENDS OF THE FENCE.
 - FAILURE TO PROPERLY ANCHOR SILT FENCE COULD RESULT IN WATER AND SEDIMENT RELEASE BENEATH THE SILT FENCE. PROPERLY SECURE THE SILT FENCE INTO THE ANCHOR TRENCH.
 - CONSTRUCT THE FENCE FROM A CONTINUOUS ROLL OF GEOTEXTILE TO AVOID JOINTS. WHERE JOINTS ARE NECESSARY, OVERLAP TO THE NEXT POST OR WRAP ADJOINING FABRICS TOGETHER AROUND THE JOINT POST AND TIGHTLY FASTEN.
 - SILT FENCE SHALL NOT BE USED IN AREAS OF CONCENTRATED FLOW.
- INSPECTION & MAINTENANCE NOTES**
- AT A MINIMUM, PERFORM INSPECTIONS WEEKLY AND WITHIN 24 HOURS OF PRECIPITATION EVENTS PRODUCING 0.5 INCHES OR MORE OF RAINFALL.
 - INSPECT FENCES FOR DAMAGE TO STAKES AND FABRIC, UNDERCUTTING, EXCESSIVE SEDIMENT ACCUMULATION (GREATER THAN 1/3 OF THE FENCE HEIGHT), AND INDICATIONS OF SOULR AROUND THE EDGES.
 - REPAIR OR REPLACE SILT FENCE WITHIN 24 HOURS OF IDENTIFYING AND DEFICIENCIES.

SILT FENCE



- NOTES:**
- DETAIL BASED ON WDNR TECHNICAL STANDARD 1060. ANY VARIATIONS FROM THAT STANDARD IS UNINTENDED AND SHOULD NOT BE USED.
 - TAPER BOTTOM OF BAG TO MAINTAIN 8" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 - THE RIGID FRAME SHALL BE CONSTRUCTED OF GALVANIZED STEEL AND HAVE ADEQUATE STRENGTH TO SUPPORT THE WEIGHT OF THE SEDIMENT BAG WHEN COMPLETELY FULL.
 - THE RIGID FRAME SHALL NOT INTERFERE WITH OR ELEVATE THE GRATE MORE THAN 1/8".
 - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
- MAINTENANCE NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARS SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE STRUCTURE SHALL BE IMMEDIATELY REMOVED.

TYPE D-RF INLET PROTECTION



SIEVE SIZE	PERCENT BY WEIGHT PASSING
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

- MATERIAL NOTES**
- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATION, SECTION 312 SELECT CRUSHED MATERIAL. USE MATERIAL SUBSTANTIALLY FREE FROM DIRT, DEBRIS, STEEL, VEGETABLE MATTER, AND OTHER DELETERIOUS MATERIAL. PLACE THE AGGREGATE IN A LAYER AT LEAST 12 INCHES THICK.
- INSPECTION & MAINTENANCE NOTES**
- STONE TRACKING PADS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.
 - MONITOR AND MAINTAIN DEVICES TO MINIMIZE SHIFTING, RUTTING OF ADJACENT SURFACES, AND STRUCTURAL FAILURE. MAINTAIN A LOOSE, BUSH SURFACE BY SCRAPING, LOOSENING, OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - A MINIMUM 30-FEET WIDE BY 50-FEET LONG BY 12-INCH THICK PAD SHALL BE MAINTAINED AT ALL TIMES. ADD STONE AS NEEDED TO MAINTAIN THE MINIMUM PAD THICKNESS.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING AT THE END OF EACH WORKING DAY.
 - REMOVE STONES LODGED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES PRIOR TO LEAVING THE CONSTRUCTION SITE.
 - MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION FOR SITE CONDITIONS.
 - REPLACE DAMAGED OR CRUSHED CULVERTS UNDER TRACKING PAD.

CONSTRUCTION ENTRANCE (STONE TRACKING PAD)

Revisions:

No.	Date:	Description:

Graphic Scale	0' 5' 10' 20' 30'
---------------	-------------------

Wyser Number	23-1149
--------------	---------

Set Type	SIP
----------	-----

Date Issued	11/24/2023
-------------	------------

Sheet Number	C400
--------------	------

GENERAL NOTES:

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

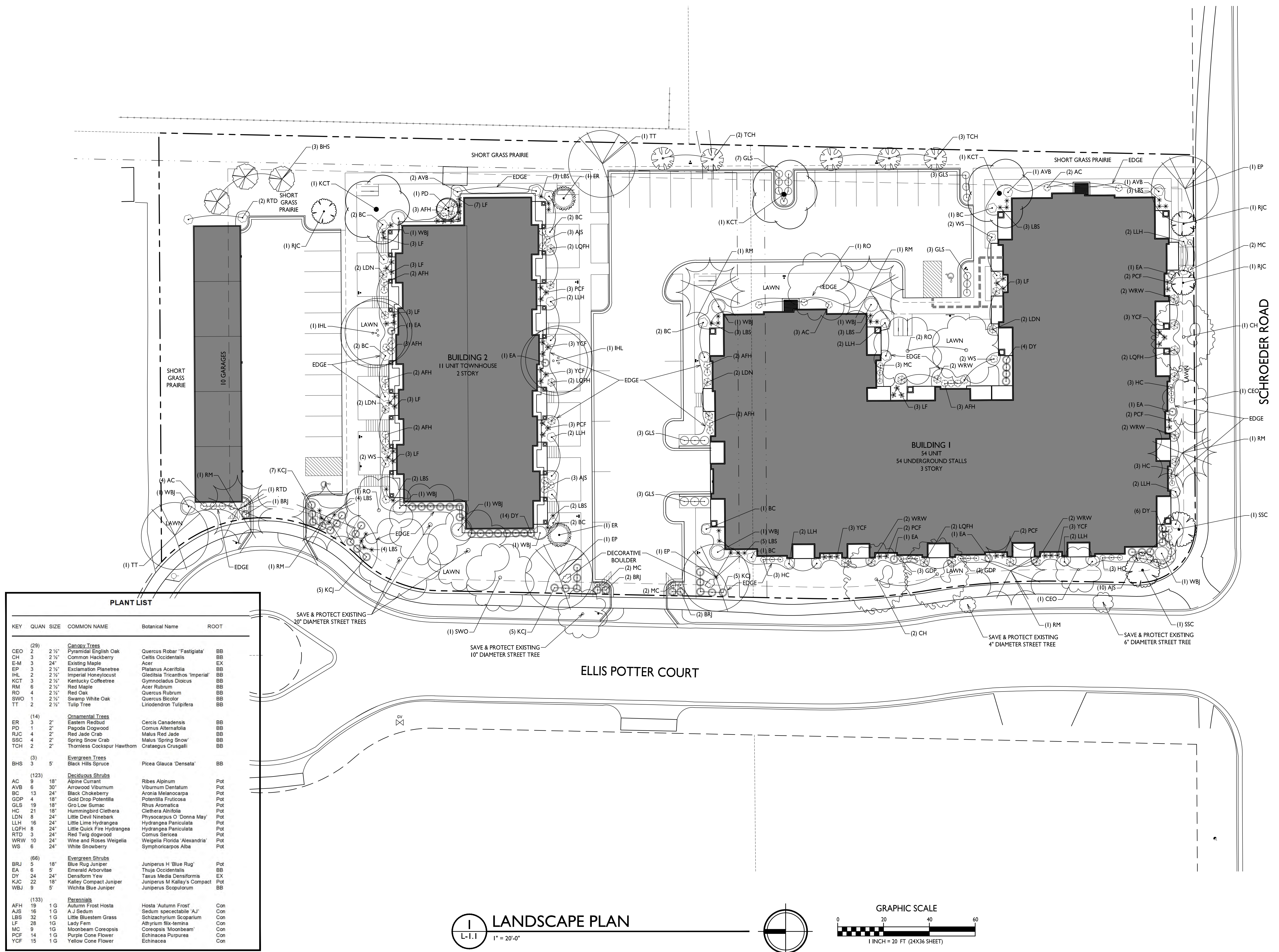
PROJECT TITLE
Horizon Development

PROJECT TITLE
**I & 15 Ellis Potter Ct
Madison, Wisconsin
Landscape Plan**

SHEET NUMBER

PROJECT NO. **2372**

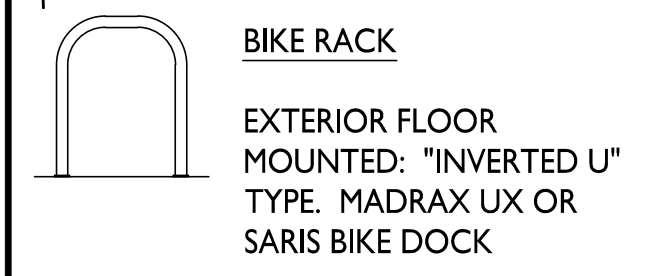
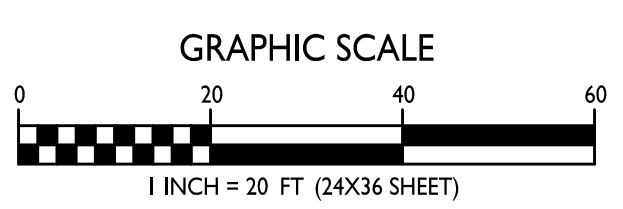
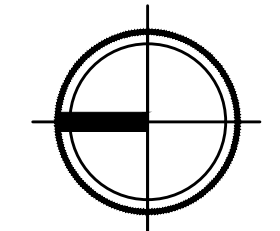
© Knothe & Bruce Architects, LLC



PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(28) Canopy Trees					
CEO	2	2 1/2"	Pyramidal English Oak	Quercus Robur 'Fastigiata'	BB
CH	3	2 1/2"	Common Hackberry	Celtis Occidentalis	BB
EM	3	24"	Existing Maple	Acer	EX
EP	3	2 1/2"	Exclamation Planetree	Platanus Acerifolia	BB
IHL	2	2 1/2"	Imperial Honeylocust	Gleditsia Tricanthos 'Imperial'	BB
KCT	3	2 1/2"	Kentucky Coffeetree	Gymnocladus Dioica	BB
RM	6	2 1/2"	Red Maple	Acer Rubrum	BB
RO	4	2 1/2"	Red Oak	Quercus Rubrum	BB
SWO	1	2 1/2"	Swamp White Oak	Quercus Bicolor	BB
TT	2	2 1/2"	Tulip Tree	Liriodendron Tulipifera	BB
(14) Ornamental Trees					
ER	3	2"	Eastern Redbud	Cercis Canadensis	BB
PD	1	2"	Pagoda Dogwood	Cornus Alternifolia	BB
RJC	4	2"	Red Jade Crab	Malus Red Jade	BB
SSC	4	2"	Spring Snow Crab	Malus 'Spring Snow'	BB
TCH	2	2"	Thornless Cockspur Hawthorn	Crataegus Crusgalli	BB
(3) Evergreen Trees					
BHS	3	5'	Black Hills Spruce	Picea Glauca 'Densata'	BB
(123) Deciduous Shrubs					
AC	9	18"	Alpine Currant	Ribes Alpinum	Pot
AVB	6	30"	Arrowwood Viburnum	Viburnum Dentatum	Pot
BC	13	24"	Black Chokeberry	Aronia Melanocarpa	Pot
GDP	4	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot
GLS	19	18"	Gro Low Sumac	Rhus Aromatica	Pot
HC	21	18"	Hummingbird Clethra	Clethra Alnifolia	Pot
LDN	8	24"	Little Devil Nierebar	Physocarpus O 'Donna May'	Pot
LLH	16	24"	Little Lime Hydrangea	Hydrangea Paniculata	Pot
LQFH	8	24"	Little Quick Fire Hydrangea	Hydrangea Paniculata	Pot
RTD	3	24"	Red Twig dogwood	Cornus Sericea	Pot
WRW	10	24"	Wine and Roses Weigelia	Weigelia Florida 'Alexandria'	Pot
WS	6	24"	White Snowberry	Symphoricarpos Alba	Pot
(66) Evergreen Shrubs					
BRJ	5	18"	Blue Rug Juniper	Juniperus H 'Blue Rug'	Pot
EA	6	5'	Emerald Arborvitae	Thuja Occidentalis	BB
DY	24	24"	Densiform Yew	Taxus Media Densiformis	EX
KJC	22	18"	Kalley Compact Juniper	Juniperus M Kallay's Compact	Pot
WBJ	9	5'	Wichita Blue Juniper	Juniperus Scopulorum	BB
(133) Perennials					
AFH	19	1 G	Autumn Frost Hosta	Hosta 'Autumn Frost'	Con
AJS	16	1 G	A.J. Siedum	Sedum speciosabile 'A.J.'	Con
LBS	32	1 G	Little Bluestem Grass	Schizachyrium Scoparium	Con
LF	28	1 G	Lady Fern	Althyrum filix-terreina	Con
MC	9	1 G	Moonbeam Coreopsis	Coreopsis 'Moonbeam'	Con
PCF	14	1 G	Purple Cone Flower	Echinacea Purpurea	Con
YCF	15	1 G	Yellow Cone Flower	Echinacea	Con

LANDSCAPE PLAN
L-1.1 1" = 20'-0"



ISSUED
 Issued for UDC Informational Submittal - October 23, 2023
 Issued for UDC Submittal - November 27, 2023
 Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
Horizon Development

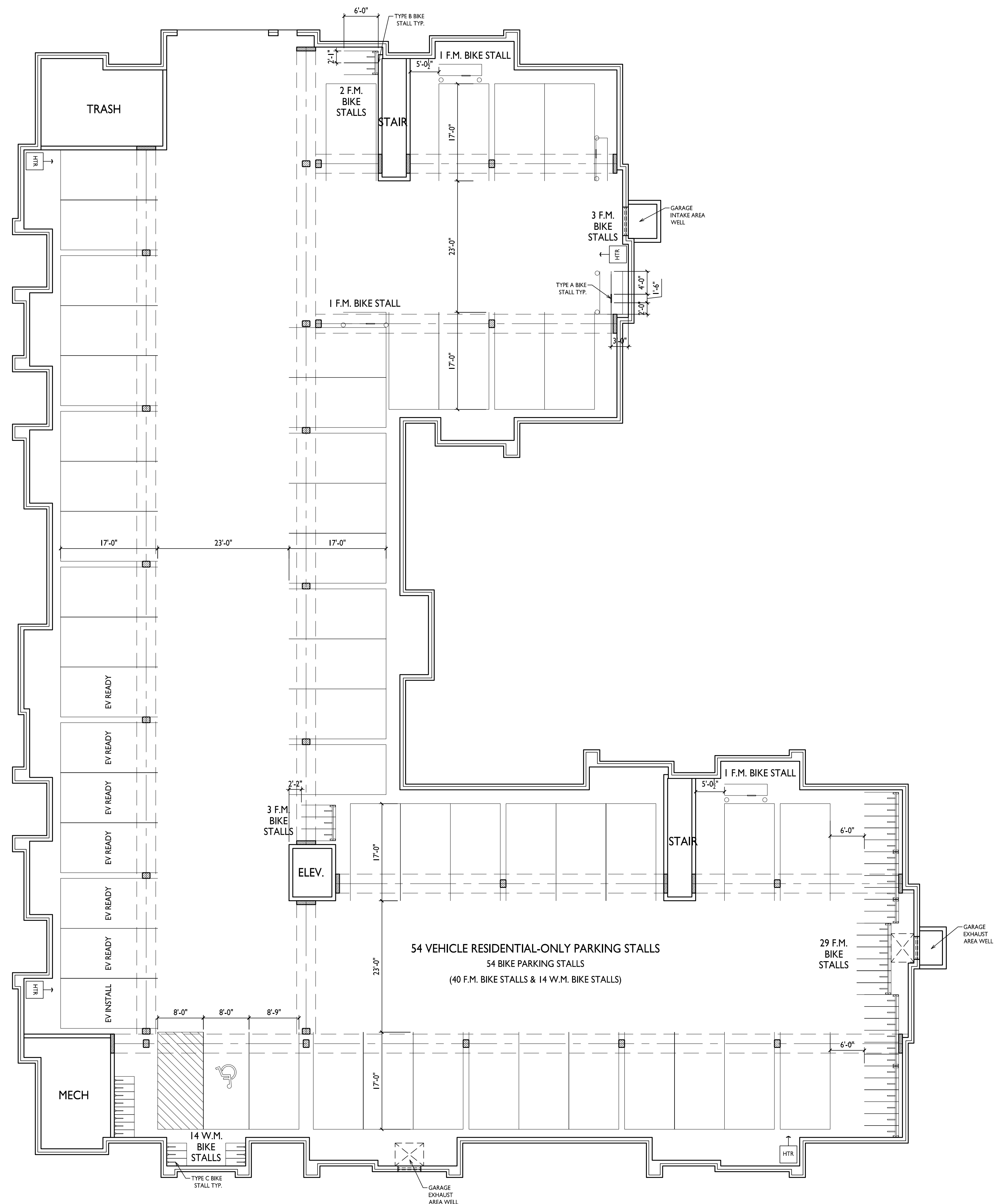
1 & 15 Ellis Potter Ct
 Madison, Wisconsin
 SHEET TITLE
Basement Floor Plan

SHEET NUMBER

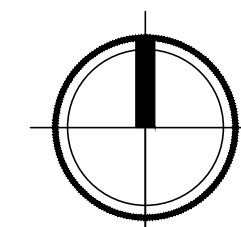
A-1.0

PROJECT NO. **2372**

© Knothe & Bruce Architects, LLC



1 BASEMENT FLOOR PLAN
 A-1.0 3/32" = 1'-0"





knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for UDC Informational Submittal -
October 23, 2023
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

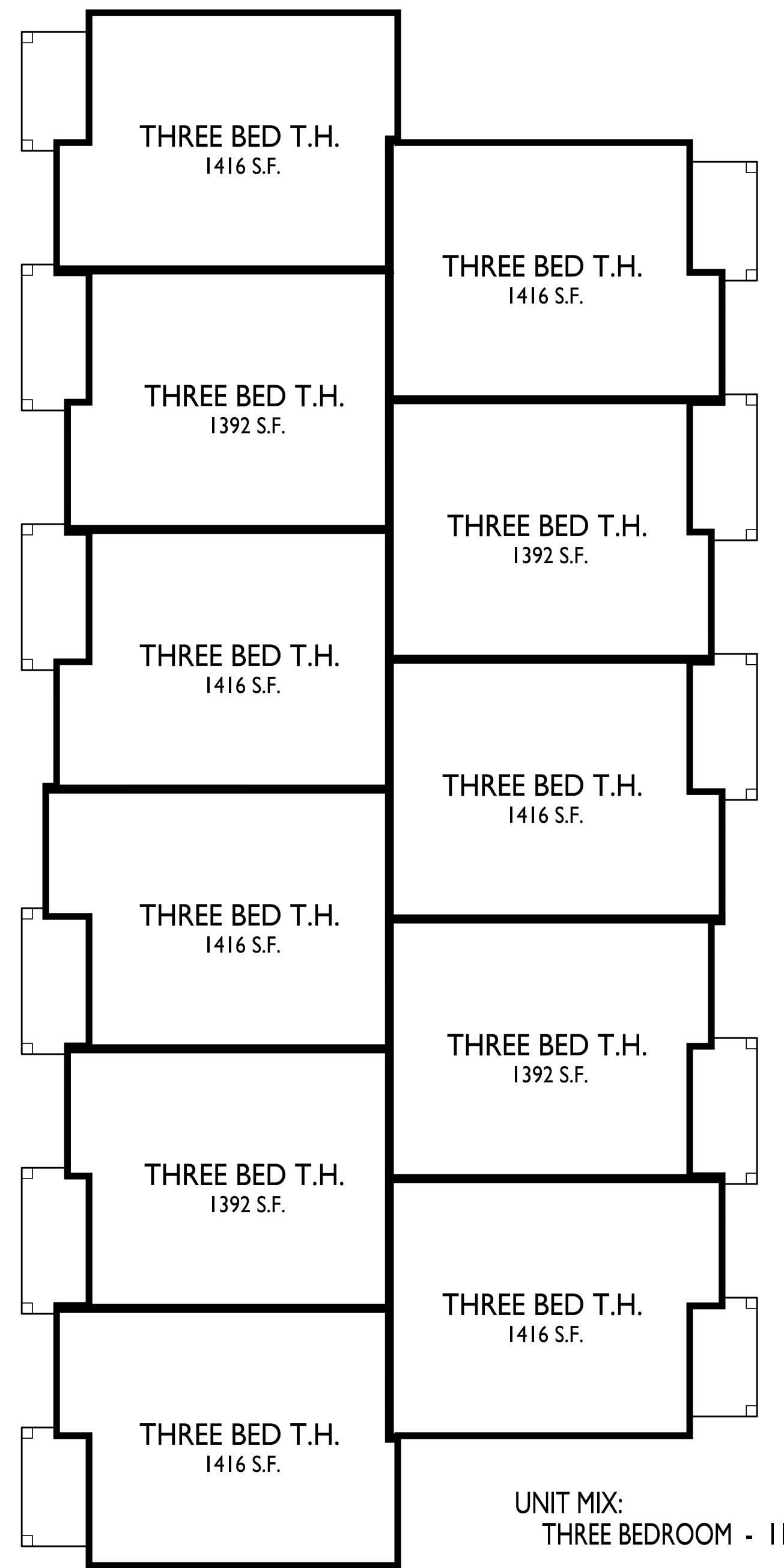
PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
First Floor Plan

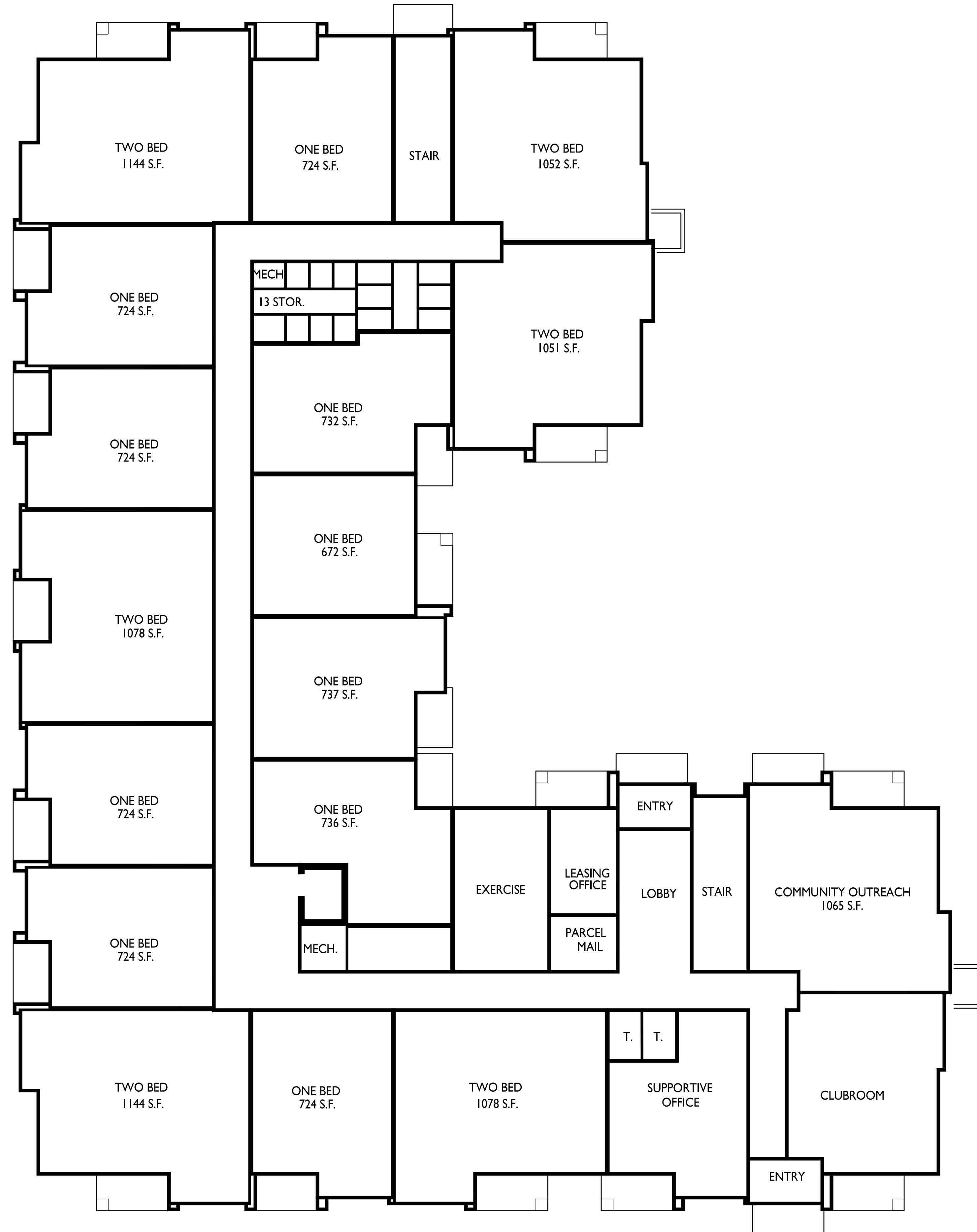
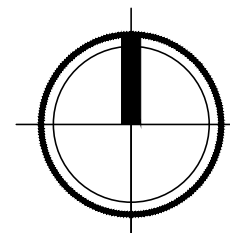
SHEET NUMBER

A-1.1

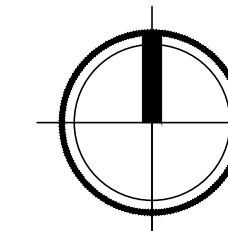
PROJECT NO. **2372**
© Knothe & Bruce Architects, LLC



2 FIRST FLOOR PLAN TOWNHOMES
A-1.1 3/32" = 1'-0"



1 FIRST FLOOR PLAN
A-1.1 3/32" = 1'-0"



UNIT MIX:
ONE BEDROOM - 26
TWO BEDROOM - 28
54



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for UDC Informational Submittal -
October 23, 2023
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

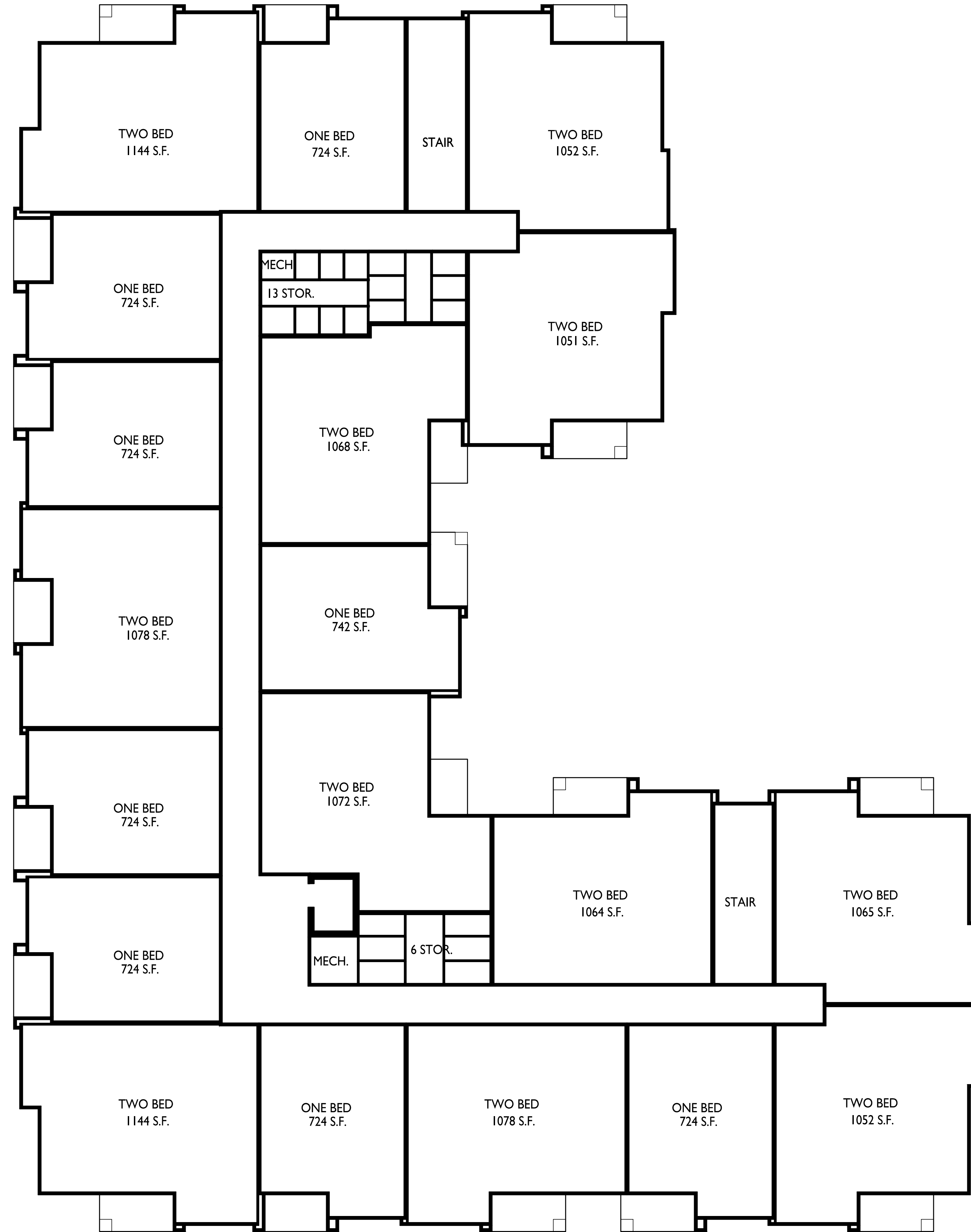
PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
Second Floor Plan

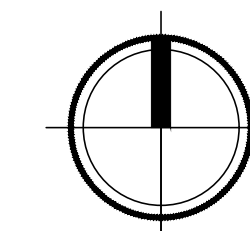
SHEET NUMBER

A-1.2

PROJECT NO. **2372**
© Knothe & Bruce Architects, LLC



1 SECOND FLOOR PLAN
A-1.2 3/32" = 1'-0"





knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for UDC Informational Submittal -
October 23, 2023
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
Third Floor Plan

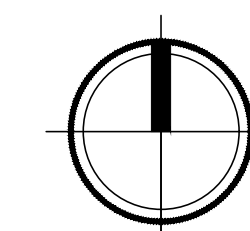
SHEET NUMBER

A-1.3

PROJECT NO. **2372**
© Knothe & Bruce Architects, LLC



1 THIRD FLOOR PLAN
A-1.3 3/32" = 1'-0"





1 ELEVATION - SOUTH
A-2.1 1/8" = 1'-0"



2 ELEVATION - WEST
A-2.1 1/8" = 1'-0"

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

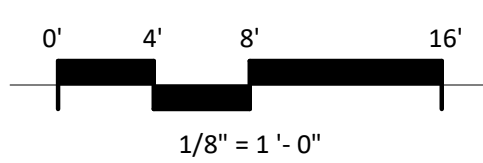
PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**EXTERIOR
ELEVATIONS -
APARTMENT**

SHEET NUMBER

A-2.1

PROJECT NUMBER
2372



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	ALUMINIUM STOREFRONT	TBD	BLACK
14	ASPHALT SHINGLE ROOF	TBD	TBD



1 ELEVATION - NORTH
A-2.2 1/8" = 1'-0"

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023



2 ELEVATION - EAST
A-2.2 1/8" = 1'-0"

PROJECT TITLE
**Horizon
Development**

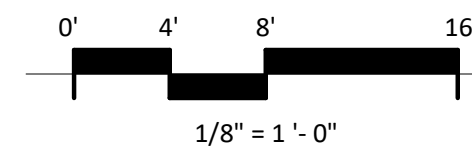
1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**EXTERIOR
ELEVATIONS -
APARTMENT**

SHEET NUMBER

A-2.2

PROJECT NUMBER

2372



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	ALUMINIUM STOREFRONT	TBD	BLACK
14	ASPHALT SHINGLE ROOF	TBD	TBD

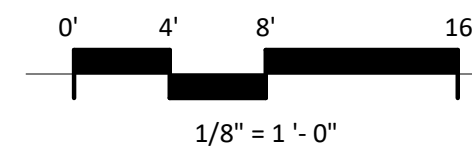
ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023



2 ELEVATION - HIDDEN NORTH
A-2.3 1/8" = 1'-0"



1 ELEVATION - HIDDEN SOUTH
A-2.3 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	ALUMINIUM STOREFRONT	TBD	BLACK
14	ASPHALT SHINGLE ROOF	TBD	TBD

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**EXTERIOR
ELEVATIONS -
APARTMENT**

SHEET NUMBER

A-2.3

PROJECT NUMBER

2372



1 COLORED ELEVATION - SOUTH
A-2.4 1/8" = 1'-0"



2 COLORED ELEVATION - WEST
A-2.4 1/8" = 1'-0"

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE

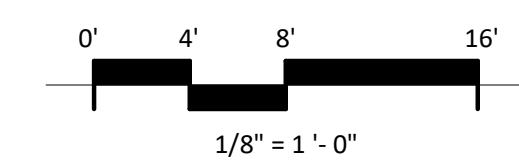
**EXTERIOR
ELEVATIONS -
COLOR -
APARTMENT**

SHEET NUMBER

A-2.4

PROJECT NUMBER
2372

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	ALUMINIUM STOREFRONT	TBD	BLACK
14	ASPHALT SHINGLE ROOF	TBD	TBD





1 COLORED ELEVATION - NORTH
A-2.5 1/8" = 1'-0"



2 COLORED ELEVATION - EAST
A-2.5 1/8" = 1'-0"

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

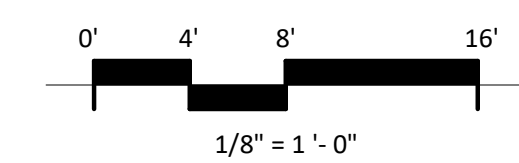
1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE

**EXTERIOR
ELEVATIONS -
COLOR -
APARTMENT**

SHEET NUMBER

A-2.5

PROJECT NUMBER
2372



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	ALUMINIUM STOREFRONT	TBD	BLACK
14	ASPHALT SHINGLE ROOF	TBD	TBD

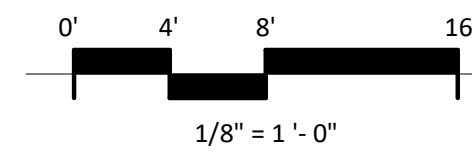
ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023



2 COLORED ELEVATION - HIDDEN NORTH
A-2.6 1/8" = 1'-0"



1 COLORED ELEVATION - HIDDEN SOUTH
A-2.6 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	ALUMINIUM STOREFRONT	TBD	BLACK
14	ASPHALT SHINGLE ROOF	TBD	TBD

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin

SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLOR -
APARTMENT**

SHEET NUMBER

A-2.6

PROJECT NUMBER

2372



1 ELEVATION - NORTH
A-2.1 1/8" = 1'-0"



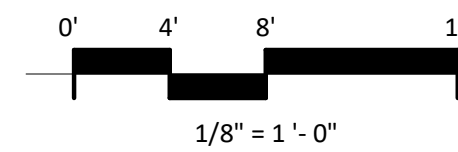
2 ELEVATION - SOUTH
A-2.1 1/8" = 1'-0"



4 ELEVATION - WEST
A-2.1 1/8" = 1'-0"



3 ELEVATION - EAST
A-2.1 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 8"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	STANDING SEAM METAL ROOF	CMG	SILVER
14	ASPHALT SHINGLE ROOF	TBD	TBD

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**EXTERIOR
ELEVATIONS -
TOWNHOME**

SHEET NUMBER

A-2.1

PROJECT NUMBER

2372



1 COLORED ELEVATION - NORTH
A-2.2 1/8" = 1'-0"



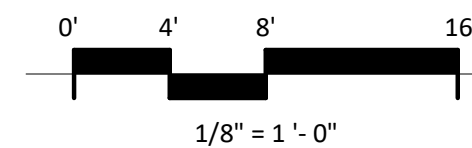
2 COLORED ELEVATION - SOUTH
A-2.2 1/8" = 1'-0"



4 COLORED ELEVATION - WEST
A-2.2 1/8" = 1'-0"



3 COLORED ELEVATION - EAST
A-2.2 1/8" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 8"	JAMES HARDIE	RICH ESPRESSO
02	COMPOSITE BOARD & BATTEN	JAMES HARDIE	AGED PEWTER
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOWS	ANDERSEN	WHITE
11	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
12	RAILINGS & HANDRAILS	SUPERIOR	BLACK
13	STANDING SEAM METAL ROOF	CMG	SILVER
14	ASPHALT SHINGLE ROOF	TBD	TBD

ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE

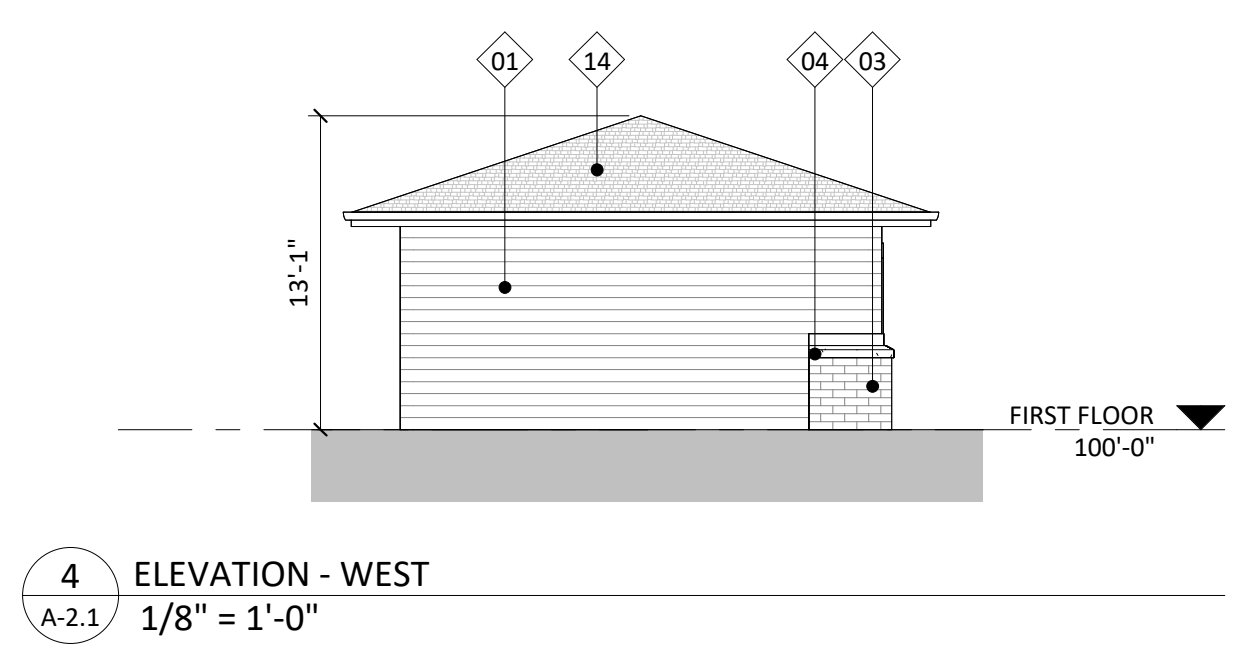
**EXTERIOR
ELEVATIONS -
COLORED -
TOWNHOME**

SHEET NUMBER

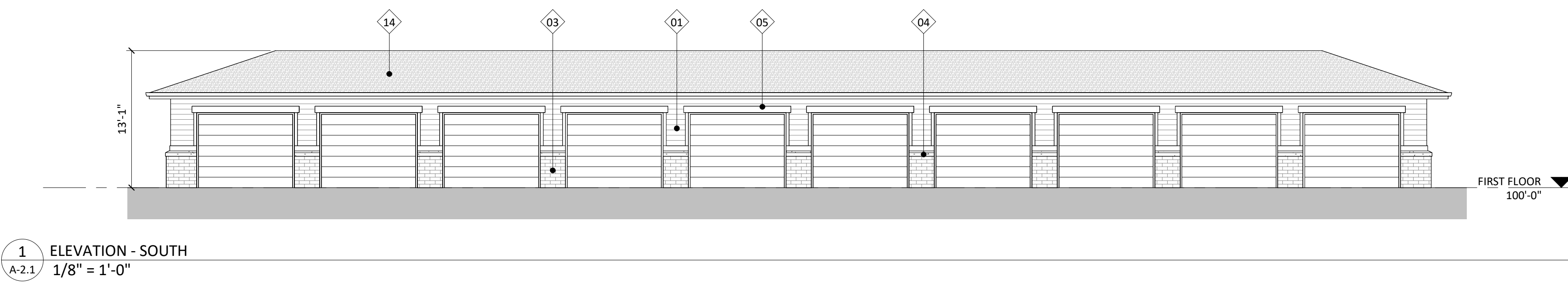
A-2.2

PROJECT NUMBER

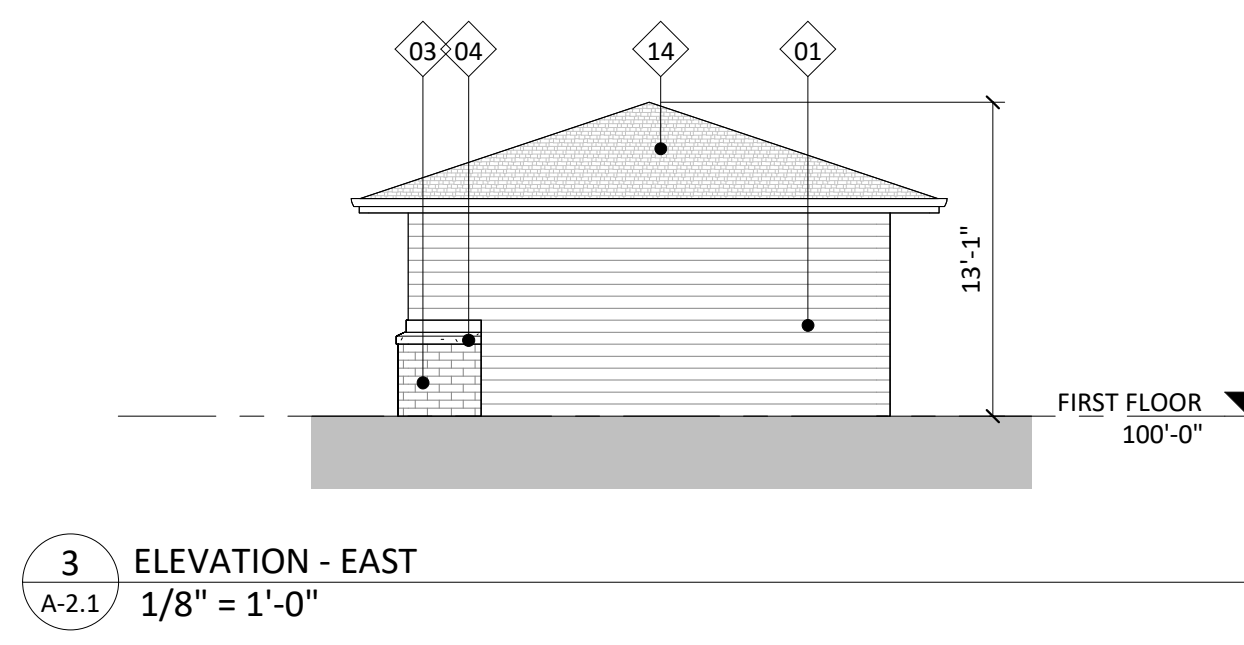
2372



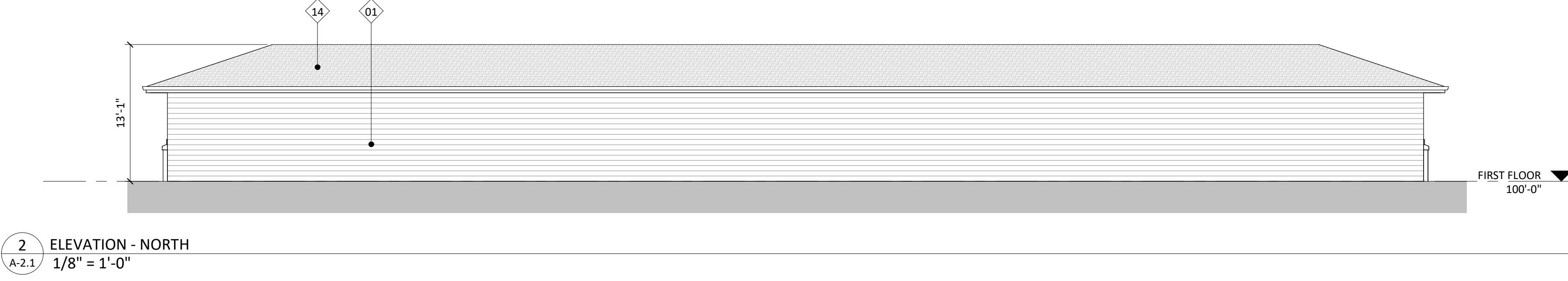
4 ELEVATION - WEST
A-2.1 1/8" = 1'-0"



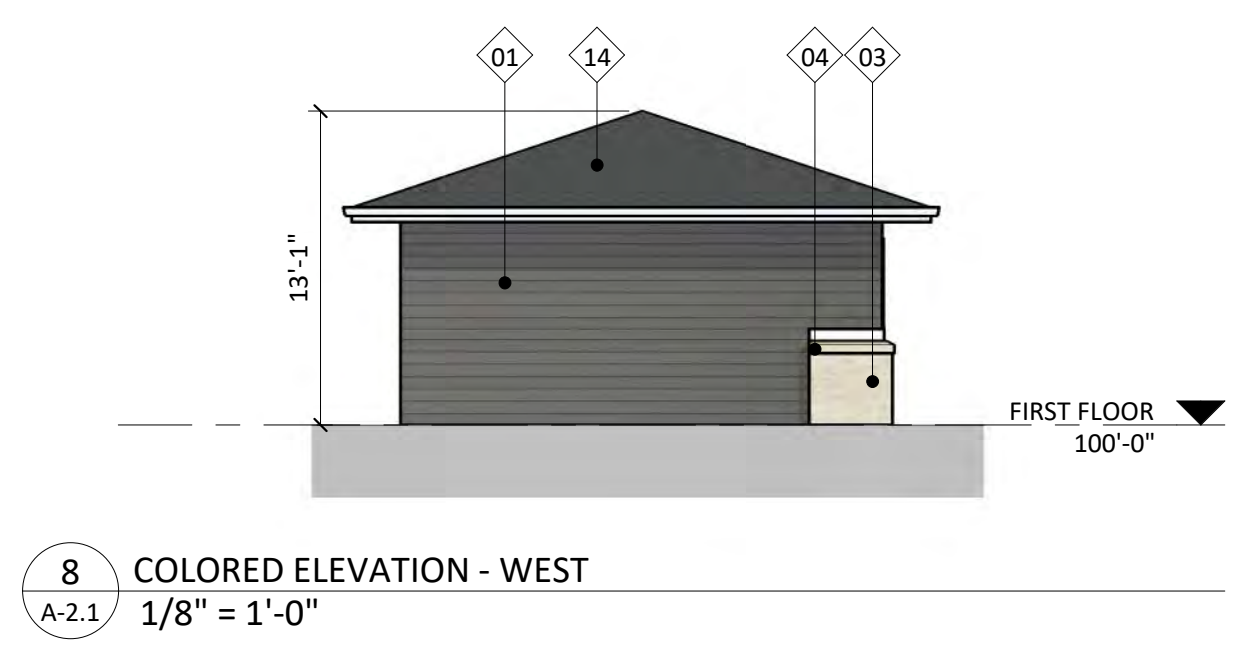
1 ELEVATION - SOUTH
A-2.1 1/8" = 1'-0"



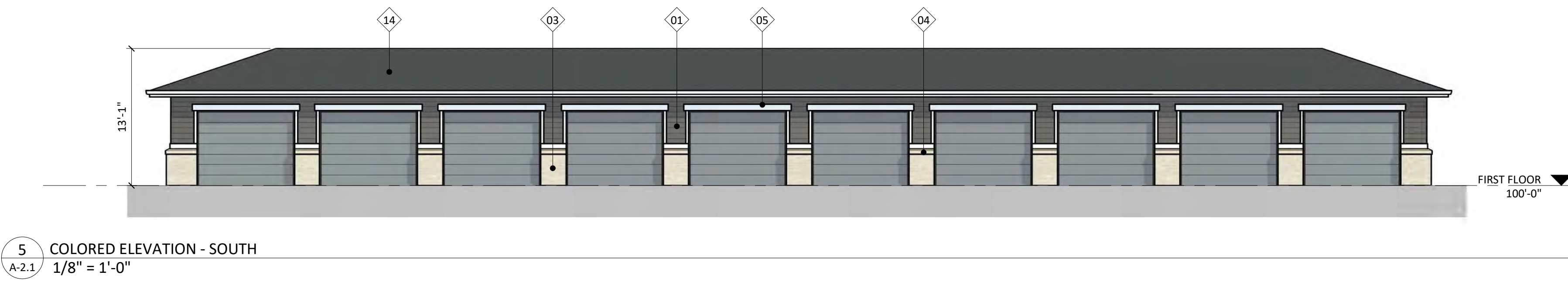
3 ELEVATION - EAST
A-2.1 1/8" = 1'-0"



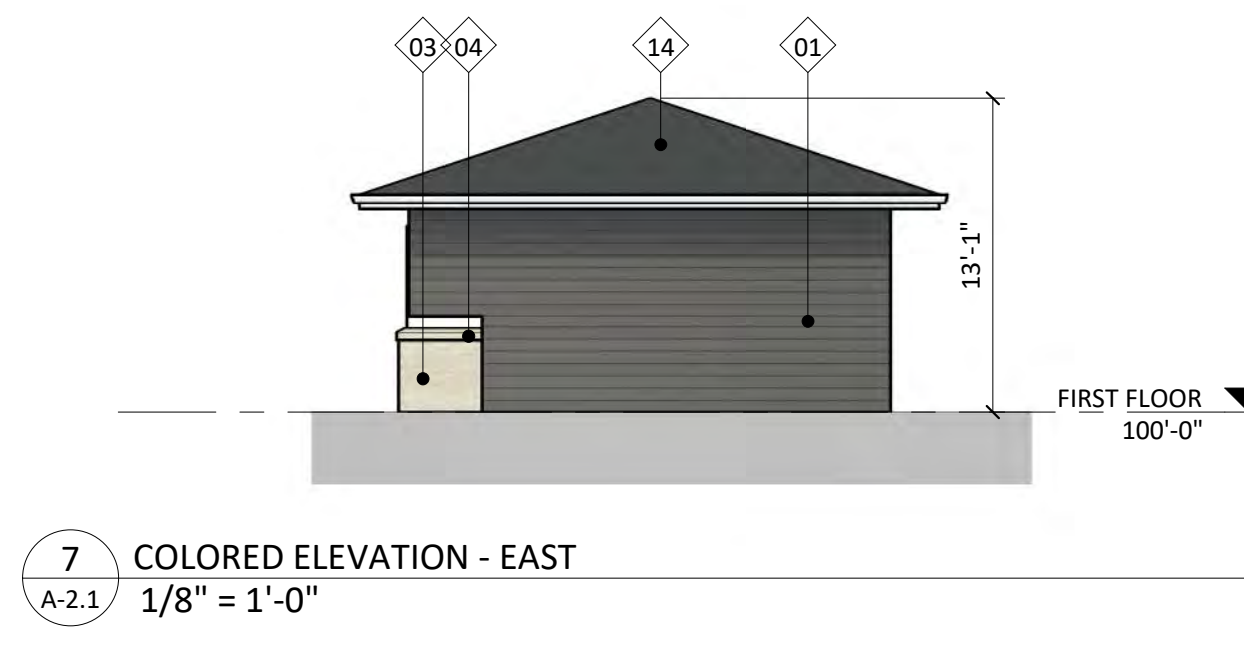
2 ELEVATION - NORTH
A-2.1 1/8" = 1'-0"



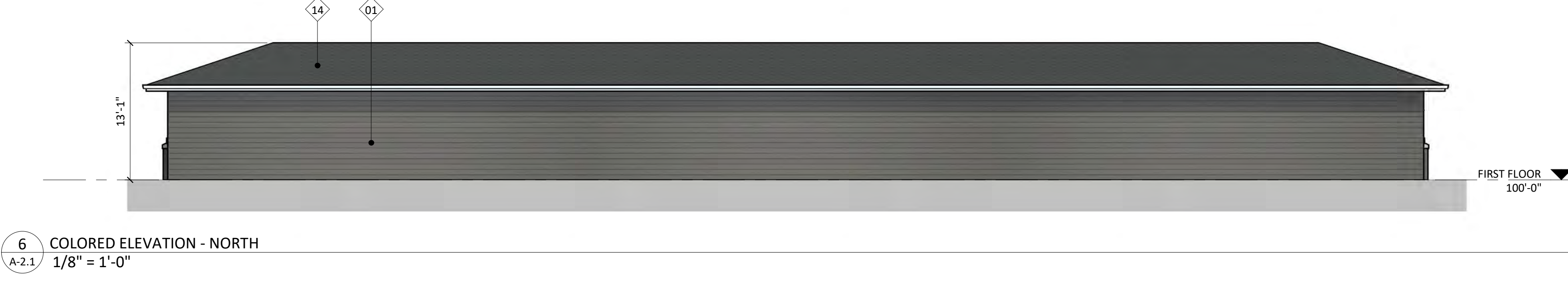
8 COLORED ELEVATION - WEST
A-2.1 1/8" = 1'-0"



5 COLORED ELEVATION - SOUTH
A-2.1 1/8" = 1'-0"



7 COLORED ELEVATION - EAST
A-2.1 1/8" = 1'-0"



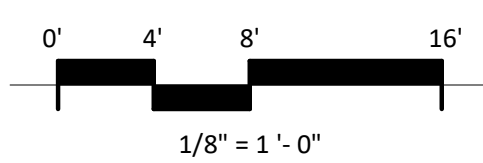
6 COLORED ELEVATION - NORTH
A-2.1 1/8" = 1'-0"

ISSUED
Issued for UDC - November 27, 2023
Issued for LUA - November 27, 2023

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**EXTERIOR
ELEVATIONS -
GARAGE**

SHEET NUMBER
A-2.1
PROJECT NUMBER
2372



EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	RICH ESPRESSO
03	BRICK VENEER	INTERSTATE BRICK	TUMBLEWEED
04	CAST STONE	ROCKCAST	CREME BUFF
05	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
14	ASPHALT SHINGLE ROOF	TBD	TBD



© Knothe & Bruce Architects, LLC

Horizon Development

1 & 15 Ellis Potter Ct, Madison, Wisconsin





Horizon Development

1 & 15 Ellis Potter Ct, Madison, Wisconsin





© Knothe & Bruce Architects, LLC

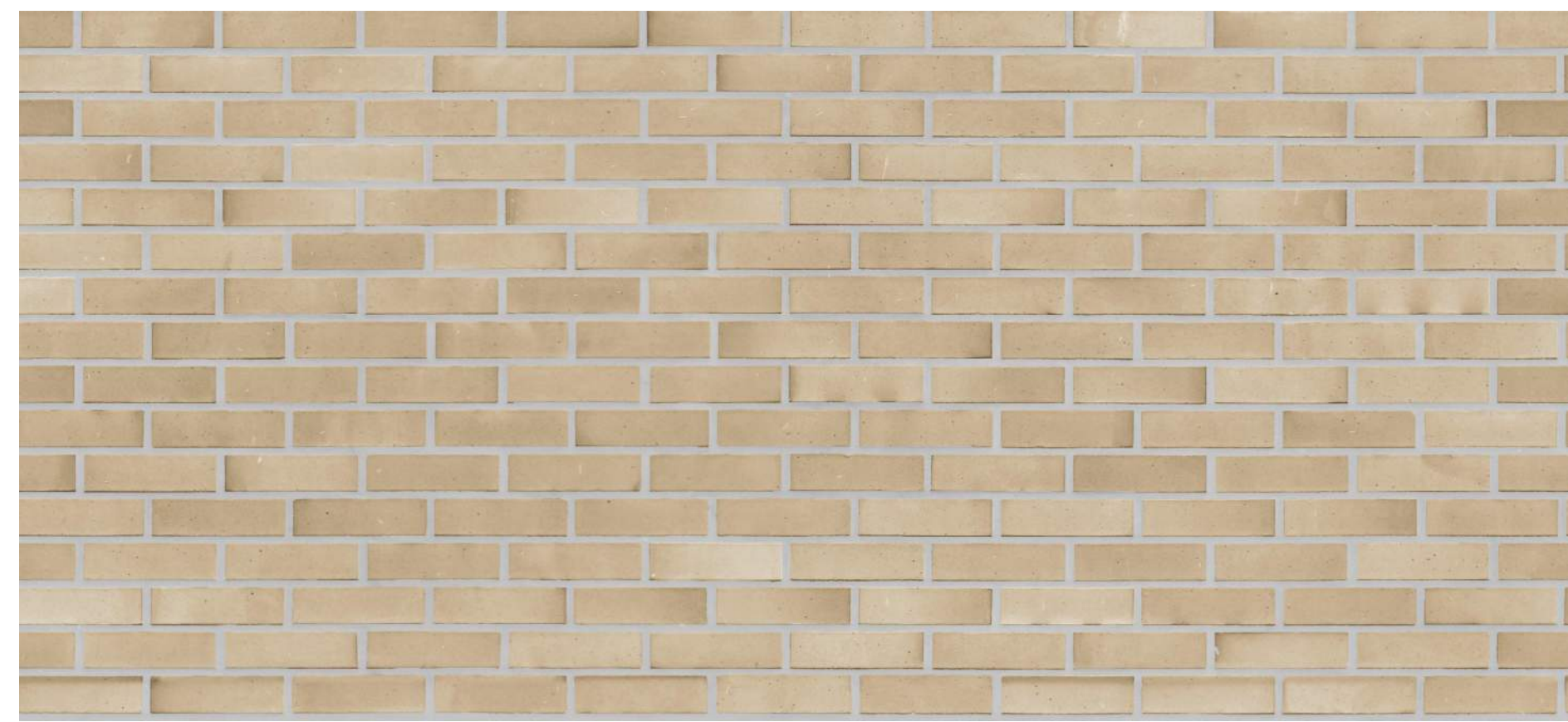
Horizon Development

1 & 15 Ellis Potter Ct, Madison, Wisconsin





ISSUED
Issued for UDC Submittal - November 27, 2023
Issued for LUA Submittal - November 27, 2023



**BRICK VENEER - INTERSTATE BRICK -
TUMBLEWEED**



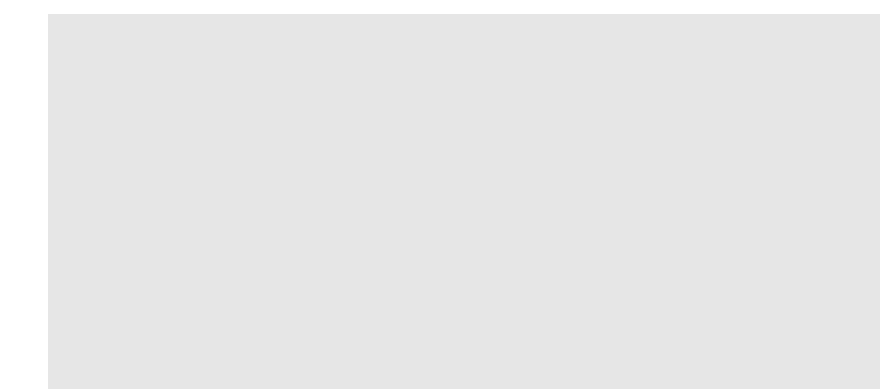
**COMPOSITE LAP SIDING 6"
JAMES HARDIE - RICH
ESPRESSO**



**COMPOSITE BOARD &
BATTEN
JAMES HARDIE - AGED
PEWTER**



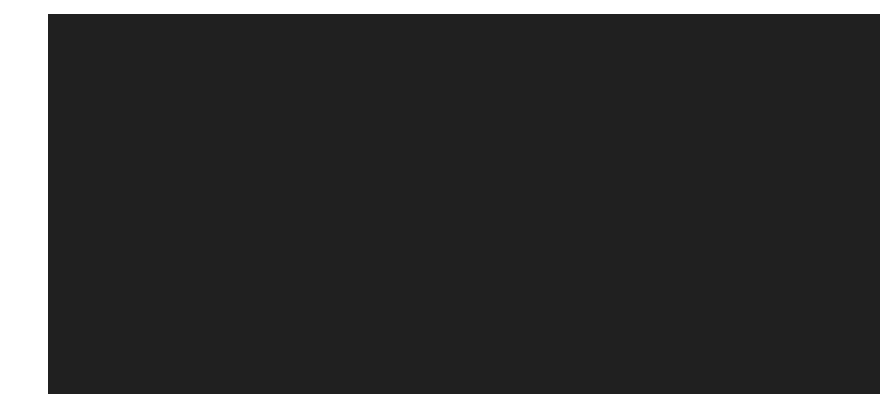
**CAST STONE - ROCKCAST -
CREME BUFF**



COMPOSITE WINDOWS - WHITE



STANDING SEAM ROOF - SILVER



RAILINGS - BLACK

PROJECT TITLE
**Horizon
Development**

1 & 15 Ellis Potter Ct
Madison, Wisconsin
SHEET TITLE
**MATERIAL BOARD
APARTMENT**

SHEET NUMBER
A001
PROJECT NUMBER
2372



ISSUED
 Issued for UDC Submittal - November 27, 2023
 Issued for LUA Submittal - November 27, 2023



**BRICK VENEER - INTERSTATE BRICK -
 TUMBLEWEED**



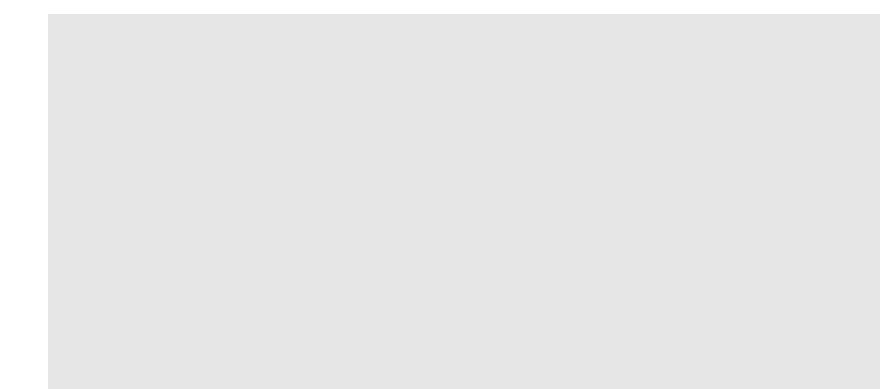
**COMPOSITE LAP SIDING 8"
 JAMES HARDIE - RICH
 ESPRESSO**



**COMPOSITE BOARD &
 BATTEN
 JAMES HARDIE - AGED
 PEWTER**



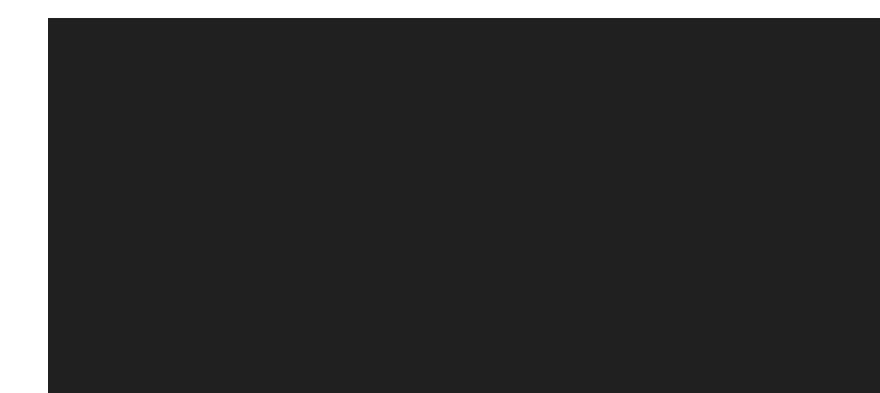
**CAST STONE - ROCKCAST -
 CREME BUFF**



COMPOSITE WINDOWS - WHITE



STANDING SEAM ROOF - SILVER



RAILINGS - BLACK

PROJECT TITLE
**Horizon
 Development**

1 & 15 Ellis Potter Ct
 Madison, Wisconsin

SHEET TITLE
**MATERIAL BOARD
 TOWNHOME**

SHEET NUMBER

A002

PROJECT NUMBER

2372