URBAN DESIGN COMMISSION APPLICATION

UDC



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:				
Paid	Receipt #			
Date received				
Received by	2/7/22 11:19 a.m.			
Aldermanic District	RECEIVED			
Zoning District				
Urban Design District				
Submittal reviewed by				
legistar#				

1. Project Information

	Address:			
	Title:			
2	Application Type (check all that	annly) and Requested Date	2	
2.	LIDC monting data requested	apply) and hequested back	-	
	Now development	Altoration to an ovicting or		usly approved development
		Alteration to an existing of	previo	
	Informational	initial approval		Final approval
3.	Project Type			
	Project in an Urban Design Dis	strict	Signa	age
	Project in the Downtown Core	District (DC), Urban		Comprehensive Design Review (CDR)
	Mixed-Use District (UMX), or Mi	xed-Use Center District (MXC)		Signage Variance (i.e. modification of signage height,
	Project in the Suburban Emplo	oyment Center District (SEC),		area, and setback)
	District (EC) Planned Development (PD)		Signage Exception	
			Othe	r
	General Development Pl	an (GDP)		Please specify
	Specific Implementation	Plan (SIP)		
	Planned Multi-Use Site or Res	idential Building Complex		
4.	Applicant, Agent, and Property	Owner Information		
	Applicant name		Com	pany
	Street address		City/	/State/Zip
	Telephone		Ema	il
	Project contact person		Com	pany
	Street address		City/	/State/Zip
	Telephone		Ema	il
	Property owner (if not applicant	·)		
	Street address	/	Citv	/State/7ip
	Telephone		Ema	il
			2a	··

Urban Design Commission Application (continued)

5. Required Submittal Materials

- Z **Application Form**
- Z Letter of Intent
 - · If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consis-. tent with the applicable CDR or Signage Variance review criteria is required.
- \mathbf{Z} Development Plans (Refer to checklist on Page 4 for plan details)
- Z **Filing fee**
- Z **Electronic Submittal***
- M Notification to the District Alder
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

6. Applicant Declarations

- Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design 1. Commission staff. This application was discussed with Colin Punt & Jacob Maskowitz 05/01/2019
- The applicant attests that all required materials are included in this submittal and understands that if any required information 2. is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Aby Mohamed	Relationship to property Developer		
Authorizing signature of property owner	Date 10/29 2021		

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- V Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

M:\PLANNING DIVISION\COMMISSIONS & COMMITTEES\URBAN DESIGN COMMISSION\APPLICATION - FEBRUARY 2020

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or **Employment Campus District (EC)**
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- <u>Informational Presentation</u>. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/ or staff may require additional information in order to have a complete understanding of the project.

Providing additional

information beyond these

minimums may generate

from the Commission.

a greater level of feedback

1. Informational Presentation

- Locator Map
- □ Letter of Intent (If the project is within an Urban Design District, a summary of <u>how</u> the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- □ Two-dimensional (2D) images of proposed buildings or structures.

2. Initial Approval

- Locator Map
- □ Letter of Intent (If the project is within a Urban Design District, a summary of <u>how</u> the development proposal addresses the district criteria is required)
- □ Contextual site information, including photographs and layout of adjacent buildings/ structures
- □ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- □ Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- D PD text and Letter of Intent (if applicable)

3. Final Approval

All the requirements of the Initial Approval (see above), plus:

- □ Grading Plan
- □ Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- D PD text and Letter of Intent (if applicable)
- □ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- □ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- □ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- □ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- □ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

- 1. Title block
- 2. Sheet number
- 3. North arrow
- 4. Scale, both written and graphic
- 5. Date
- Fully dimensioned plans, scaled at 1"= 40' or larger

** All plans must be legible, including the full-sized landscape and lighting plans (if required)

> Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

UDC and/

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE

> 5291 Zenith Parkway Loves Park, IL 61111 815-484-4300 p 815-484-4303 f



Date: February 3, 2022

Mr. Kevin Firchow Principal Planner, Development Review City of Madison - Urban Design Commission 215 Martin Luther King Jr. Blvd. Madison, Wisconsin 53703

Re: Letter of Intent – Popeye's Madison, WI 6831 Odana Road

Mr. Kevin Firchow

The following is submitted together with the plans and application for the staff and Urban Design Commission's consideration of approval.

This letter has been updated. Updates are highlighted.

Introduction:

The existing site serves as a parking area south of the Burlington Coat Factory strip mall. The 0.97-acre site is zoned in the CC Commercial Center District and is not a part of an Urban Design District. This application seeks the approval of the proposed improvements to develop the site into the proposed Popeyes Louisiana Kitchen restaurant with a drive-thru, paved parking areas, and landscaped areas. The proposed use is considered a Conditional Use by the City of Madison.

The restaurant is anticipated operate between 10 a.m. and 10 p.m. daily. It has indoor seating for 36 patrons, 19 drive-thru spaces, 19 parking on-site parking spaces, and 4 bicycle rack spaces. Adjacent to the site along Odana Road is Bus Stop 6357, which has hourly Metro Transit service on weekdays.

This Popeyes location is anticipated to employ approximately ten community members on each shift. Construction is expected to start in summer 2022 with an opening date in fall 2022.

The project team consists of Aby Mohamed of Aby Groups, the site developer and franchisee, civil engineer Lauren Downing of Arc Design Resources, and Mary Panter of Linden Group Architects. Signage is provided by Elevate Sign Group and exterior lighting is provided by Cree.

<u>Plan Updates</u>

The site plan has been updated to avoid large retaining walls in along Odana road. This was completed by:

- Providing two (2) 2' retaining walls at the northeast corner of the site creating a terraced look.
 - Wall type has not been finalized. We anticipate utilizing a wall similar to the Keystone Compact lighter stone look, similar to what is on the site today.



Revision of switchback ramp to stairs and addition of sidewalk connection to the west. Elimination
of the switchback ramp eliminates the tall 7' retaining wall.

The site plan has been revised to route the drive-thru stacking along the south side of the lot. This eliminates patrons which are dining in from crossing the drive-thru area. The resulting access to the south has been moved to the west to accommodate this change.

Project Description:

This fast-food restaurant development is a new conditional use in the CC Commercial Center district.

Alder Keith Furman (District 19) has been notified of the proposed conditional use and has agreed to waive the 30-day notification waiver.

The following improvements to the site will be made:

- 1. Public Rights-of-Way
 - a. Metro Transit stop 6357 is located at the northwest corner of the site in the Odana Road right-of-way. Pedestrian connectivity is provided to the bus stop and Odana Road sidewalk via an ADA accessible ramp to the main entrance of the building.
 - b. All trees in the public right-of-way will be protected and preserved.
- 2. Off-Street Parking and Loading Areas
 - a. The existing site serves as a parking area for the Burlington Coat Factory retail area to the south of the site. The existing parking area will be demolished and a new parking area with 19 parking spaces, including one ADA accessible space. The parking area is landscaped on all sides and features several landscaping islands.
 - b. Popeyes conducts a large proportion of sales through the drive-thru. Eighteen drive-thru queue spaces and two order stations are proposed.
- 3. Signs
 - a. The proposed signage is consistent with the new branding of Popeye's Louisiana Kitchen. Proposed signs are consistent with signage of the surrounding businesses. A monument sign will be installed along the Odana Road right-of-way. Most signs are internally illuminated. A sign packet is included with the submittal.

- b. Two monument signs for the retail stores to the south of the site will be preserved on the site. A monument sign for Burlington Coat Factory is located on the northwest side of the site and a monument sign for JOANN Fabrics and Hand & Stone Massage and Facial Spa is located at the northeast corner of the site.
- 4. Building Design
 - a. The proposed Popeyes restaurant is an all-new building type released in the summer of 2021. The 2,984 square-foot building features seating for 36 patrons and mobile order pickup stations. The building exterior features attractive brick, wood-grain fiber cement panels, decorative exterior artwork and accents, and Popeyes' signage and branding elements.

5. Lighting

a. Exterior lighting is designed and provided by Cree to meet the City's medium activity lighting requirements.

6. Landscaping

- a. Several trees and landscaped areas must be removed to facilitate construction of this development. One mature tree will be preserved. All trees in the Odana Road right-of-way will be preserved.
- b. There are several landscaping beds along the building perimeter with a variety of flowering perennials and evergreen shrubs to maintain an attractive appearance year-round.
- c. The site perimeter is landscaped to screen the trash enclosure and transformer area from public view.
- d. The site features four retaining walls to manage grade changes across the site.
- 7. Stormwater Management
 - a. The existing site has three inlets to capture runoff from the retail development to the south of the site. These will be removed, and three inlets will be installed in the south access road to capture runoff from this area.
 - b. A detention basin will be constructed on the north side of the site to achieve the release rate and water quality measures required.

City and Neighborhood Input:

Alder Keith Furman has agreed to waive the 30-day notification prior to submitting for a conditional use.

A DAT meeting was conducted in July 2021. The Traffic Engineering department suggested pedestrian connectivity from the building to the Metro Transit bus stop, which is provided. Additionally, west sidewalk will be routed to connect to the pedestrian route leading to the retail stores to the south of the development. The west access driveway is an exit-only route to prevent traffic congestion backing up to Odana Road.

Letter of Intent 4002 E. Washington Ave February 3, 2022

Site Locator Map





Existing Site and Surrounding Buildings and Signs:

Photo 1: Site from Odana Road sidewalk (dated July 1, 2021)



Photo 2: Site from Odana Road sidewalk (dated July 1, 2021)



Photo 3: Site from Odana Road sidewalk at bus stop (dated July 1, 2021)



Photo 4: Site from southeast corner via Google (dated August 2018)



Photo 5: Site from southwest corner via Google (dated August 2018)



Photo 6: Burger King to west of site - 6909 Odana Road (dated July 1, 2021)



Photo 7: Multi-tenant retail building to east of development via Google (dated August 2018)



Photo 8: Multi-tenant retail building to south of development via Google (dated August 2018)



Photo 9: Multi-tenant retail building to north of development via Google (dated August 2018)

Site Development Data:

42,375 square feet (0.972 acres)
2,984 square feet
23,274 square feet
16,117 square feet
19 spaces
19 stalls / 1 ADA
4 spaces

Thank you for your consideration in review of our proposal.

Sincerely,

Lauren N Downing

Lauren Downing

GENERAL NOTES

1.	The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
2.	The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the City, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
3.	In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractors safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
4.	Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and WisDOT standards.
5.	All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the the owner's "Description of Work", the City of Madison, the State of Wisconsin, and this plan set.
6.	The City of Madison must be notified at least two (2) working days prior to the commencement or resumption of any work.
7.	The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
8.	All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
9.	The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
10.	All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
11.	Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
12.	The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
13.	All elevations are on NAVD 88 datum.
14.	Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
15.	Tactile warning plates per WisDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
16.	The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, gas, telephone, electric, cable, and other utilities, if any. The Diggers Hotline number is 1-800-242-8511. Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
17.	The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the Village with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
18.	Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
19.	Notify the owner and the City of Madison of any existing wells. Obtain permit from the Wisconsin DNR. Cap and abandon wells in accordance with local, state, and federal regulations.
20.	Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

POPEYES MADISON, WI

6831 ODANA RD MADISON, WI

VICINITY MAP



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APPROVAL

CITY OF MADISON, WI STATE OF WISCONSIN DS STATE OF WISCONSIN DI



CALL DIGGERS HOTLINE BEFORE YOU DIG CALL 811 OR 1-800-242-8511

UTILITY OFF

PUBLIC WORKS D CITY OF MADISON PUBLIC WORKS DEPA 210 MARTIN LUTHER I MADISON, WI 53703 (608) 267-8815

SEWER DISTRICT MADISON METROPOL 1610 MOORELAND RI MADISON, WI 53713 (608) 222-1201

TELEPHONE: AT&T (855) 496-1228

ELECTRIC: MADISON GAS & ELE 133 S. BLAIR ST. MADISON, WI 53703 (608) 252-7222

OWNER:

ABYGROUPS

ABY MOHAMED 200 S FRONTAGE RD STE 330 BURR RIDGE, IL 60527 (847) 208-5656 ENGINEER:



| |www.arcdesign.com Design Firm License No. 2411-11

		ARC DESIGN RESOURCES INC. 5291 ZENITH PARKWAY LOVES PARK, IL 61111 VOICE: (815) 484-4300 FAX: (815) 484-4303 WWW.arcdesign.com Design Firm License No. 2411-11 PROJECT NAME WNER'S NAME
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T: DLITAN SEWERAGE DISTRICT RD.	WATER DEPARTMENT: MADISON WATER UTILITY 119 E. OLIN AVE. MADISON, WI 53713 (608) 226-4651	COVER
	CABLE TELEVISION: SPECTRUM 2935 S. FISH HATCHERY RD. FITCHBURG, WI 53711 (866) 874-2389	DRAWN KG CHECKED LND PM RCS
ECTRIC	GAS: MADISON GAS & ELECTRIC 133 S. BLAIR ST. MADISON, WI 53703 (608) 252-7222	PROJECT NUMBER SHEET NUMBER 19055 C00

WDNR EROSION CONTROL NOTES

WDNR Notes. Should conflicts be found between notes in the plans and these WDNR Notes, WDNR Notes shall govern.

- 1. Post WDNR certificate of permit coverage on site and maintain until construction activities have ceased, the site is stabilized, and a Notice of Termination is filed with
- 2. Keep a copy of the current erosion control plan on site throughout the duration of the project.
- 3. Submit plan revisions or amendments to the WDNR at least 5 days prior to field implementation. 4. Contractor is responsible for routine site inspections at least once every 7 days and within 24 hours after a rainfall event of 0.5 inches or greater. Keep inspection reports
- on-site and make them available upon request. Inspect and maintain all installed erosion control practices until the contributing drainage area has been stabilized. 6. When possible: preserve existing vegetation (especially adjacent to surface waters), minimize land-disturbing construction activity on slopes of 20% or more, minimize
- soil compaction, and preserve topsoil. 7. Refer to the WDNR stormwater construction technical standards at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
- 8. Install perimeter erosion controls and rock tracking pad construction entrance(s) (Temporary Stone Construction Entrance) prior to any land-disturbing activities, including clearing and grubbing. Use WDNR Technical Standard Stone Tracking Pad and Tire Washing #1057 for rock construction entrances.
- 9. Install inlet protection prior to land-disturbing activities in the contributing drainage area and/or immediately upon inlet installation. Comply with WDNR Technical Standard Storm Drain Inlet Protection for construction sites #1060
- 10. Stage construction grading activities to minimize the cumulative exposed area. Conduct temporary grading for erosion control per WDNR Technical Standard Temporary Grading Practices for Erosion Control #1067. 11. Notify the City of Madison, WI and WDNR if dewatering is scheduled to occur in areas of soil and/or groundwater contamination, or if dewatering will occur from a high
- capacity well (70 gpm or more). Dewater only after the appropriate WDNR dewatering discharge permit has been obtained. 12. Provide anti-scour protection and maintain non-erosive flow during dewatering. Limit pumping rates to either (a) the sediment basin/trap design discharge rate, or (b) the
- basin design release rate with the correctly fitted hose and geotextile filter bag. Perform dewatering of accumulated surface runoff in accordance with WDNR Technical Standard De-Watering #1061. 13. Install and maintain silt fencing per WDNR Technical Standard Silt Fence #1056. Remove sediment from behind silt fences and sediment barriers before sediment reaches
- a depth that is equal to one-half of the fence and/or barrier height.
- 14. Repair breaks and gaps in silt fences and barriers immediately. Replace decomposing straw bales (typical bale life is 3 months). Locate, install, and maintain straw bales per WDNR Technical Standard Ditch Checks #1062.
- 15. Install and maintain filter socks in accordance with WDNR Technical Standard Interim Manufactured Perimeter Control and Slope Interruption Products #1071. 16. Immediately stabilize stockpiles and surround stockpiles as needed with silt fence or other perimeter control if stockpiles will remain inactive for 7 days or longer. 17. Immediately stabilize all disturbed areas that will remain inactive for 14 days or longer. Between September 15 and October 15: stabilze with mulch, tackifier, and a perennial seed mixed with winter wheat, annual oats, or annual rye, as appropriate for region and soil type October 15 through cold weather: stabilize with a polymer and dormant seed mix, as appropriate for region and soil type.
- 18. Stabilize areas of final grading within 7 days of reaching final grade.
- 19. Sweep/clean up all sediment/trash that moves off-site due to construction activity or storm events before the end of the same workday or as directed by the City of Madison, WI. Separate swept materials (soils and trash) and dispose of appropriately 20. Contractor is responsible for controlling dust per WDNR Technical Standard Dust Control on Construction Sites #1068.
- 21. Properly dispose of all waste and unused building materials (including garbage, debris, cleaning wastes, or other construction materials) and do not allow these materials to be carried by runoff into the receiving channel.
- 22. Coordinate with the design engineer and WDNR to update the land disturbance permit to indicate the anticipated or likely disposal locations for any excavated soils or construction debris that will be hauled off-site for disposal. The deposited or stockpiled material needs to include perimeter sediment control measures (such as silt fence, hay bales, filter socks, or compacted earthen berms).
- 23. For non-channelized flow on disturbed or constructed slopes, provide class I, type A for slopes erosion control matting. Select erosion matting from appropriate matrix in WISDOT'S WISDOT Product Acceptability List (PAL); install and maintain per WDNR Technical Standard Non-Channel Erosion Mat #1052.
- 24. For channelized flow on disturbed or constructed areas, provide class I, type B erosion control matting. Unless otherwise specified on the plans, select erosion matting from appropriate matrix in WISDOT's WISDOT Product Acceptability List (PAL); install and maintain per WDNR Technical Standard Channel Erosion Mat #1053. 25. Make provisions for watering during the first 8 weeks following seeding or planting of disturbed areas whenever more than 7 consecutive days of dry weather occur.
- 26. Install additional erosion and sediment control measures (such as temporary sediment basins, ditch checks, erosion control matting, silt fencing, filter socks, wattles, swales, etc.), or as directed by the City of Madison, WI or WDNR. 27. The contractor is responsible for complying with all applicable WDNR remediation and waste management requirements for handling and disposing of contaminated
- materials. Site-specific information for areas with known or suspected soil and/or groundwater contamination can be found on WDNR's Bureau of Remediation and Redevelopment Tracking System (BRRTS) public database at: http://dnr.wi.gov/botw/ 28. Refer to the SWPPP binder if there is a discharge of sediment and/or other contaminants. A spill plan is required if there is potential to discharge contaminants to waters of the state.

SANITARY SEWER NOTES

- 1. Sanitary Sewer shall be constructed in accordance with the following:
- A. "Department of Safety and Professional Services (SPS), Chapter 382 Design, Construction, Installation, Supervision, Maintenance and Inspection of Plumbing" (State of Wisconsin), dated December 2015, and all revisions and supplements thereto. B. All applicable state and local plumbing codes including (but not limited to) the City of Madison, WI for water and sewer (see C02 General Notes).
- C. Additional details and requirements provided in the contract documents, including this plan set.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented
- 2. Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility 3. The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify location, elevation and size of existing utilities, and verify floor, curb or pavement elevations where matching into existing work. The contractor shall field verify horizontal control by referencing shown
- coordinates to known property lines. Notify engineer of discrepancies in either vertical control prior to proceeding with work. 4. Refer to building plans for exact locations of new utility entries. 5. Install cleanouts and manholes in accordance with the standard details in this plan set and with the aforementioned standard specifications. The contractor shall adjust all
- cleanouts and manhole castings to final grade as defined in this plan set.
- Cap ends of any conduits installed and mark ends. 7. All sanitary sewers under and within two feet of any existing or proposed pavement shall be backfilled with granular backfill material meeting Wisconsin standard specifications (WisDOT 17 Spec - Section 209/AASHTO T27).
- 8. Sanitary sewer services shall be 6" or 4", as designated on plans, PVC SDR 35 in accordance with ASTM D-3034. All services shall be sloped from the main at 1% minimum unless otherwise noted.
- Infiltration testing.
- A. It is the intent of this title to secure a sewer system with a minimum amount of infiltration. The maximum allowable infiltration shall not exceed two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system. The joints shall be tight and any joint with visible leakage or leakage in excess of that specified above shall be repaired at the developer's expense.
- B. The repair must be of a permanent nature and of a quality equal to initial work which is constructed in conformance with the applicable specifications. C. Immediately after backfilling, the entire length of the sewer trench, including stubs, shall be inundated to normal ground water level or eighteen inches above the top of sewer pipe, whichever is higher. at that time, infiltration tests shall be made to determine compliance with the allowable infiltration criteria. to measure the amount of infiltration, the contractor shall furnish, install, and maintain a v-notch shape crested weir in a metal frame tightly secured at the lower end of each sewer test section as directed by the City of Madison, WI engineer or his/her authorized representative. the City of Madison, WI engineer or his/her authorized representative will check the infiltration by measuring the flow over such weirs. when infiltration is demonstrated to be within the allowable limits, the contractors shall remove such
- 10. Exfiltration testing. if during the construction of the sewer system the engineer shall determine that it is impractical to obtain a proper infiltration test, then a test for watertightness shall be made by bulkheading the sewer at the manhole at the lower end of the section under test and filling the sewer with water to eighteen inches above the top of the sewer in the manhole at the upper end of the section. leakage will then be the measured amount of water added to maintain the above described level at a maximum allowable exfiltration rate of two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the
- 11. Air testing. in lieu of infiltration or exfiltration testing, the City of Madison, WI engineer may permit air testing in accordance with ASTM C-828.
- 12. Deflection testing for flexible conduit A. All sanitary sewer lines shall be deflection-tested after 30 days following final backfill operations.
- B. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the base diameter of the pipe as established in proposed ASTM D-3034. the test shall be performed without mechanical pulling devices. Wherever possible and practical, the testing shall initiate at the downstream lines and proceed towards the upstream lines.
- D. Maximum allowable pipe deflection is 5%. where deflection is found to be in excess of 5% of the original pipe diameter, the contractor shall excavate to the point of excess deflection and carefully compact around the point excess deflection was found. The line shall then be retested for deflection. however, should after the initial
- testing the deflected pipe fail to return to the original size (inside diameter) the line shall be replaced. 13. As per State of Wisconsin SPS 382.30(2)(c), Materials for sanitary building sewer pipe shall conform to one of the standards listed in Table 384.30-3.

CITY OF MADISON NOTES

- 1. THE DEVELOPER SHALL REPLACE ALL CURB & GUTTER AND SIDEWALK THAT IS DAMAGED OR DETERMINED TO BE IN UNSATISFACTORY CONDITION.
- 2. ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADES OF 0.5% TOWARD STORM SEWER INLETS. 3. ALL DISTURBED TERRRACE AREAS SHALL BE RESTORED WITH 6-INCHES OF TOP SOIL AND SEED UNLESS DIRECTED OTHERWISE ON THE PLAN OR BY THE CITY CONSTRUCTION ENGINEER
- 4. TYPICAL PAVEMENT CROSS SLOPES SHALL BE 2% AND TERRACES SHALL SLOPE
- AT A 4% GRADE TOWARD THE GUTTER. Specifications requirements unless corrected otherwise as directed and approved by the owner. 5. THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS 10. Field quality control tests specified herein will be conducted by the owner's Independent Testing Laboratory (ITL) at no cost to the contractor. Any testing and SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.03. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF inspection resulting from the requirements of necessary permits by the City of Madison, WI or the State of Wisconsin shall be at the contractor's expense. The SIDEWALKS SHALLNOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM contractor shall perform additional testing as considered necessary by the contractor for assurance of quality control. Retesting required as a result of failed initial SEWER INLETS. CONCRETE TERRACE SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE BACK OF CURB AT SIDEWALK LOW POINTS WHICH CANNOT OTHERWISE BE DRAINED DIRECTLY TO THE GUTTER. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4.00:1. ALL SIDEWALK AND SIDEWALK RAMP tests shall be at the contractor's expense. Field testing, frequency, and methods may vary as determined by and between the owner, the ITL and the City of Madison, WI. ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.
- . OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT. 7. CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
- 8. POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK. 9. ANY INFORMATION SHOWN ON THIS PLAN, WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.
- 10. THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER NOT SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
- 11. ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS 12. THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC
- ENGINEER. 13. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR REVIEW TO THE CITY TRAFFIC ENGINEERING DIVISION AT LEAST 10 WORKING DAYS PRIOR TO WORK
- BEGINNING. THE TRAFFIC CONTROL PLAN SHALL COMPLY WITH ALL MUTCD REQUIREMENTS. WORK SHALL NOT PROCEED UNTIL THE TRAFFIC CONTROL PLAN HAS Tree removal shall include the complete removal of all trees as indicated in the plan set. BEEN APPROVED. THE TRAFFIC CONTROL PLAN MAY INCLUDE BUT IS NOT LIMITED TO: LANE CLOSURE RESTRICTIONS, PEAK HOUR WORKING RESTRICTIONS, ACCESS The contractor shall coordinate disconnection, removal, and relocation of the existing utilities with the appropriate utility companies. The contractor shall be REQUIREMENTS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING WORK AS NECESSARY TO MEET THE REQUIREMENTS OF THE APPROVED TRAFFIC responsible for all fees that are levied by utility companies in conjunction with demolition and removal of existing utilities CONTROL PLAN.
- 14. PAVEMENT SAWCUTS AND FINAL PAVEMENT PATCHING LIMITS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS AND LIMITS SHOWN ON THE PLAN ARE BASED ON ANTICIPATED DISTURBANCE AND THE PATCHING CRIETERIA BUT SHALL BE CONSIDERED APPROXIMATE. ALL PAVEMENT PATCHING SHALL BE PER THE CITY'S PATCHING CRITERIA
- 15. NO TREES, EXCEPT THOSE SHOWN ON THE PLANS, SHALL BE REMOVED. IT IS EXPECTED THAT CONSTRUCTION WILL BE STAGED SUCH THAT EXISTING TREES THAT ARE TO REMAIN WILL BE PRESERVED. ANY REQUESTED TREE REMOVALS FOR CONSTRUCTION SHALL BE REVIEWED IN FURTHER DETAIL WITH CITY FORESTRY, AND, IE A TREE REMOVAL PERMIT WILL BE GRANTED, IT WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE IT CAN BE ISSUED; THE ADDITIONAL TIME IS REQUIRED TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN. CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR ALL TREE REMOVALS IN THE RIGHT OF WAY IDENTIFIED
- ON PLANS. CONTACT CITY FORESTRY AT 266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT. The contractor shall ensure that all existing parking, sidewalks, drives, etc., are free and clear of any construction activity and / or excavated and hauled material to 16. CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING AND ALSO PRIOR TO INSTALLATION OF TREE GRATES. TREE ensure easy and safe pedestrian and vehicular traffic to and from adjacent sites. GRATES WILL REQUIRE EXCAVATION TO CONFIRM THAT THERE ARE NO CONFLICTS THAT WOULD PREVENT TREE PLANTINGS. NOTICE PRIOR TO OTHER PLANTINS IS 10. The contractor shall perform a full-depth saw cut along the perimeter of pavement removal that abuts existing pavement that is to remain. NECESSARY TO SCHEDULE INSPECTION OF THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER. 11. Any damage sustained by items that are to remain in place shall be repaired or replaced to the owner's satisfaction at no cost to the owner.

EA	ARTH	WORK NOTES	STORM SEV
1.	Boring sa	mples have been taken at the proposed construction site and a boring report has been supplied with the construction documents.	1. Storm sewer shall be c
2.	Unsuitabl Assume t A. The s addit B. If ap stand	e Materials: hat if unsuitable materials are encountered and the replacement of these materials is required, this situation shall be handled as follows: site contractor shall notify the general contractor immediately. The project superintendent, prior to the undercutting being completed, shall approve any ional undercutting. The quantities shall be verified by the engineer as the additional removal is being completed. proved by the engineer, these materials shall be removed and replaced with compacted granular materials and compacted in accordance to required lards. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order. Verify with bid documents.	A. All applicable st B. Concrete paverr edition, includin C. Standards and r D. Additional detai Where criteria of the af 2. Material Specifications.
2	D. Thes	ing agency to determine a proctor. e materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.	A. Sewer Pipe. All s Section 608 Sto
3.	A. "Orga B. Tops B. 1	for materials anic material" is defined as material having an organic content in excess of 8% or as determined by the project owner's engineer. oil shall be friable and loamy (loam, sandy loam, silt loam, sandy clay loam, or clay loam). Sand content shall generally be less than 70% by weight	a. Corrugated b. Sump pump D3034, SDF c. Concrete se
	B.2.	Clay content shall generally be less than 35% by weight.	d. Reinforced d
	C. Tops D. Tops	of game solis, such as peat of muck, shall not be used as topsoli. oil shall be relatively free from large roots, weeds, brush, or stones larger than 25 mm (1 inch). At least 90% shall pass the 2.00 mm (no. 10) sieve. oil ph shall be between 5.0 and 8.0. Topsoil organic content shall not be less than 1.5% by weight. Topsoil shall contain no substance that is potentially	f. Reinforced g. PVC underd
	E. "Exis addit F. "Exis requi	to plant growth. ting on-site material within moisture content limits" is defined as material of such a quality that the specified compaction can be met without any ional work other than "densifying" with a roller. Scarification and drying of this material will not need to be done prior to compaction. ting on-site material NOT within moisture content limits" is defined as material with a high moisture content that can not meet specified compaction rements without scarification and drying, chemical stabilization, etc. of this material prior to compaction.	h. Galvanized B. Sewer Pipe Join a. ABS pipeA b. PVC pipeA c. Reinforced
	G. "Uns G 1	uitable material" is defined as any materials that: Cannot be utilized as "tonsoil" (organic) for landscape areas	d. Reinforced a C. Casing Pipes, St
	G.2.	Cannot be utilized as "engineered fill" regardless of moisture content and / or does not structurally meet the standards of the project owner's engineer's recommendations for "engineered fill".	D. Manholes and C a. Precast rein
	G.3.	fill").	b.1. For sew
	H. "Off- I. "Trer "Star	site material" is defined as any materials that are brought from any area not indicated on this plan set. Ich backfill" shall be defined as any materials used for the purposes of backfilling any trench and / or any excavation requiring backfilling. Refer to Idards for fill areas" to determine acceptable materials and procedures.	b.2. For sew b.3. For sew c. Adjustment
4	J. The t defin Standard	erm "stripping" or "strip" as used herein shall be defined as the removal of all "organic materials" from a given area. The term "organic materials" is ed as material having an organic content over 8% based on ASTM D2974, or as defined by the owner's engineer. s for cut areas:	d. Pipe and fra flexible wat e. Bottom sect
	A. A "cu requi	t area" is defined as any area where "engineered fill" is not required to bring the site to design subgrade elevation. Instead, excavation or "cutting" is red to achieve design subgrade elevation ("engineered fill" being defined as any material being "offsite material").	E. Inlets. a. Precast rein b. Size: Inlets
	B. In C engir B.1.	It areas" the site contractor shall perform one of the following procedures at the discretion and in the presence of a representative of the owner's ineer and the project architect: For exposed building or parking lot subgrades consisting primarily of granular soils, the exposed subgrade should be compacted / densified by at least one (1) pass of a smooth-drummed vibratory roller having a minimum gross weight of 10 tons.	c. Adjustment d. Only one pi watertight s
	C. In th than Thes	six-wheel truck having a minimum gross weight of 25 tons. The maximum allowable deflection under the specified equipment shall be 1/2". e event that adequate stability of granular soils subgrades cannot be achieved by the procedures as outlined in item 1 above, or that deflections greater 1/2" are observed during the "proof rolling" of cohesive soils subgrades (as outlined in item 2 above) additional corrective measures will be required. e measures could include, but not necessarily be limited to, scarification, moisture conditioning, re-compaction, undercutting and replacement with	F. Castings (Unless Manhole frame a Neenah No. a. Manhole ste b Six inch cur
	D. It sh	all be considered as part of the scope of these documents (and thus part of this contractor's responsibility) to perform scarification and drying of the	c. Yard inlet
	subg meas	rade per Wisconsin Department of Transportation (WisDOT) standards (scarify a 16" depth for 3 days). If this does not work then additional drying sures shall be an extra to the contract.	d. Parking lot G. Crushed Granula
	E. Any the c	proposed corrective measures by the contractor should be reviewed by the owner's engineer and the project architect. In the event that in the opinion of wner's engineer and / or the project architect proof rolling is not a good indicator of the subgrade stability, an alternative method shall be specified by the reviewed by the subgrade stability and the project architect.	 All end sections 24" an Inspect pipe for defects that has had its grade
5.	Standard	s for fill areas:	construction. Remove
	A. A "fil of "e const	" area is defined as any area where material is required to adjust the existing elevation to a proposed subgrade elevation (these areas require installation ingineered fill" to achieve design subgrade elevation). "Engineered fill" material can be defined as either "granular soil" or "soil" that is either from the indicate the construction site or is "offsite material". Materials having their origin from the construction site is referred to as "borrow". The composition and the compaction	 Install pipe in accordant Commence installation Lay pipe to the required Lay pipe to the required
	B. In "fi comp	lards of the engineered fill for this project will be specified by owner's engineer and the project architect. Il" areas, "borrow" materials are allowed to be utilized as engineered fill such that the site contractor compacts the "borrow" areas to the specified paction.	8. All storm sewers under standard specifications
6.	Compacti A. Prior	on standards (for engineered fill and back filled areas) to placement of fill in areas below the design grade, the exposed subgrade should be observed by a representative of the owner's engineer to evaluate	 Compact backfill to 98 obtained at optimum m
	that notes obse stand A 1	adequate stripping has been performed. Additionally, the proof rolling or compacting procedures outlined in the "standards for cut areas" section of these should be performed. It is typical practice to proof roll (and densify if necessary) exposed subgrades prior to filling. If soft or unstable subgrades are ved, these areas should be stabilized or undercut. Minimum compaction standards are based upon a percentage of the fill or backfill material's maximum lard proctor dry density (ASTM D698). All engineered subgrades should meet the following minimum compaction: Areas under foundations bases:	 Do not backfill trenches Backfill trenches to con As per State of Wiscons non-metallic sanitary a the provisions of these
	• •	A.1.A. 95% standard proctor for all fill placed below foundation base elevation in the building area.	13. As per State of Wiscon
	A.2.	Areas under floor slabs and above foundations/footing bases: A.2.A. 90% standard proctor for all fill placed more than 12 inches below final grade for support of floor slabs and above foundation base elevation in the building area.	WATER UTI
	A.3	A.2.B. 95% standard proctor for fill placed in the upper 12 inches of design subgrade below slabs. The granular fill under the floor slab should be compacted to a minimum of 95% standard proctor. Areas under payement sections:	1. Water mains and ser A. "Department of
	Λ Λ	A.3.A. 90% standard proctor for all fill placed more than 12 inches below passenger car pavement sections and 95% standard proctor for the top 12 inches.	Plumbing" (Sta B. All applicable s
	A.4. 	A.4.A. 90% standard proctor for all fill placed in landscape areas. These areas should be brought to grade with "topsoil" to a depth of 12 inches in areas to be seeded, 6 inches in areas to be sodded, and 24 inches for all interior curbed landscape islands.	D. City of Madison Where criteria of the
	A.5.	base course portion of pavement sections: A.5.A. 95% standard proctor for all base course materials that are part of a "pavement section".	 Contact all public and of the contractor's or
	B. The contr	option of utilizing the modified proctor (ASTM D1557) in lieu of the specified standard proctor (ASTM D698) shall be at the discretion of the general actor, contingent upon written approval by the architect and owner's engineer.	3. All water main and se standard C150 and C
_	C. All ba	ackfill and fill materials shall be placed in lifts not greater than 8" in loose depth. Before compacting, moisten or aerate each layer as necessary to provide num moisture content. Compact each layer to required percentage of maximum density of the area.	 The minimum cover i All water mains under

Finish grading A. The term "finish grading" as used herein shall be defined as that condition that areas not receiving a finish product such as parking areas, driveways, roadways, sidewalks, etc. Finish graded areas would generally be those areas receiving "landscaping" such as seed, sod, trees, bushes, mulch, etc. B. The site contractor is responsible for "finish grading" all areas within the perimeter of the "construction site". The definition of the "construction site" is the area encompassing all disturbed areas that were disturbed as a result of the construction process relating to the general contract of which this site contract

was part of. **GENERAL PAVING NOTES**

1. All pavement shall be constructed in accordance with the following: A. Concrete pavement shall be constructed in accordance with the Wisconsin Department of Transportation (WisDOT) (Standard Specifications), latest edition,

- ncluding all updates and standards thereto. Standards and requirements of the City of Madison, WI
- Additional details and requirements provided in the contract documents, including this plan set.
- All proposed pavement areas shall be stripped of all topsoil and unsuitable material and excavated or filled to within 0.10 feet of design subgrade. The subgrade of pavement areas shall be free of all unsuitable material and shall be compacted to a minimum 98 percent of Standard proctor density.
- The subgrade shall be proof rolled and inspected prior placing base material. Inspection and approval of the subgrade and subbase by the City of Madison, WI is required for any public improvements under the City of Madison, WI's jurisdiction. Notify the engineer at least 48 hours prior to finished subgrade preparation.
- The earthwork contractor shall be responsible for removal of spoil material from the underground contractors, preparing the roadway subgrade, proof rolled, placing topsoil to a minimum depth of 3 inches to finished grade in the parkways areas only, grading of drainage swales, and all other tasks as directed by the owner or
- enginee The quantities contained in these documents are approximate and estimated, and are presented as a guide to the contractor in determining the scope of work. It is the Contractor's responsibility to determine all quantities and to become familiar with the site and soil conditions.
- The paving Contractor is responsible for the final subgrade preparation, proof rolling, the pavement base, binder, and surface, and all final clean-up and related work associated with the paving operation
- The proposed pavement shall be of the type and thickness as specified in the engineering drawings, and constructed in strict conformance with the previously referenced WisDOT standard specifications and the City of Madison, WI. 9. Areas of deficient paving, including compaction, smoothness, thickness, and asphalt mixture, shall be delineated, removed, and replaced in compliance with
- B. Testing shall be performed on finished surface of each asphalt concrete course for smoothness, using 10'_0" straightedge applied parallel with, and at right angles to centerline of paved area. The following tolerances in 10 ft shall not be exceeded: Base Course Surface: 1/4-inch, Wearing Course Surface:
- C. No ponding shall occur on paved surfaces. Refer to "General Notes" in this plan set.

DEMOLITION NOTES

- The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set. The removal work shall include but not be limited to: obtaining all demolition permits required, removal of the existing trees, sealing of the existing water well(s),
- removal any septic system or dry wells (if any) and other items to complete the removals The contractor shall remove all materials deemed unsuitable by the engineer within eight inches of the proposed building footprint to the depth that such unsuitable materials exist. Voids shall be filled in accordance with the "Earthwork Notes" on this plan sheet.
- Disposal of all materials shall comply with all local, state, and federal regulations. All waste material shall be disposed of off-site. The contractor shall be responsible for the removal of all materials from the site, including all associated permits and regulatory requirements.
- The contractor shall be familiar with the appropriate specifications for well abandonment, materials, procedures, and access to equipment required to properly seal wells (if any). The contractor shall be responsible to obtain, complete, and file the appropriate forms through the City of Madison, WI and the Wisconsin Department of Natural Resources (WDNR). The contractor shall maintain all existing utility services to adjacent lots. Interruption of services to adjacent lots shall not occur without proper approval. A
- minimum of 48 hours notice shall be given to the property owners prior to the connection of the new services. The contractor shall be responsible for costs associated with the connection of temporary utility services, if required, to facilitate construction staging.

WER NOTES

	Α.	All applicable state and local storm sewer code
	В.	Concrete pavement shall be constructed in ac
	6	edition, including all updates and standards th
	С.	Standards and requirements of the City of Ma
	D.	Additional details and requirements provided
	where	criteria of the aforementioned specifications of
	Materia	Al Specifications. All storm sewer system eleme
	А.	Sewer Pipe. All storm sewer pipe shall be HDP
		Section 608 Storm Sewers of the Wisconsin D
		a. Confugated polyethylene pipesAASITO
		D3034 SDB35 respectively
		C Concrete sewer nine (10" diameter and se
		d Reinforced concrete nine (12" diameter and si
		 Reinforced concrete pipe (12 diameter al Reinforced concrete arch culvert pipedo
		f Reinforced concrete elliptical culvert pipe-do
		$_{\rm C}$ PVC underdrain nine (4" and 6")ASTM $_{\rm C}$
		b Galvanized corrugated steel culvert nine A
	в	Sewer Pine Joints
	Б.	a. ABS pipeASTM C443.
		h PVC nineASTM D3212 nush-on type ex
		c. Reinforced concrete nineASTM C443 ("C
		d Reinforced arch or elliptical pipeASTM C
	C	Casing Pines Steel nineASTM A120 3/8" mi
	D.	Manholes and Catch Basins
	υ.	a Precast reinforced concreteASTM C478
		h Size
		b.1. For sewer eighteen inches in diamete
		b.2. For sewer twenty-one to thirty-six inc
		b.3. For sewer greater than thirty-six inch
		c. Adjustment: No more than two precast co
		d. Pipe and frame seals: All pipe connection
		flexible watertight sleeves shall also exter
		e. Bottom sections: All bottom sections shall
	Ε.	Inlets.
		a. Precast reinforced concreteASTM C478 a
		b. Size: Inlets shall have a twenty-four inch
		c. Adjustment: No more than two precast co
		d. Only one pipe connection is allowed, and
		watertight sleeves shall also extend from
		e. Bottom sections: All bottom sections shall
	F.	Castings (Unless otherwise noted within the p
		Manhole frame and coverUse area inlet as list
		Neenah No. R-1772-C embossed "STORM
		a. Manhole stepsNeenah No. R-1981-I.
		b. Six inch curb and gutter inletNeenah No
		c. Yard inletNeenah No. R-2579.
		d. Parking lot inletNeenah No. R-2450.
	G.	Crushed Granular Bedding: Crushed gravel or
	All end	l sections 24" and greater shall come equipped
	Inspec	t pipe for defects and cracks before being lowe
	that ha	as had its grade disturbed after laying. Protect
	constru	uction. Remove dirt, excess water, and other f
	Install	pipe in accordance with manufacturer's written
	Comm	ence installation at the lowest point for each se
	Lay pip	be to the required line and slope gradients with
	locatio	n as noted on Drawings.
	All sto	rm sewers under and within two feet of any ex
	standa	rd specifications (WisDOT 17 Spec - Section 20
	Compa	ict backfill to 98 percent of maximum density i
	obtaine	ed at optimum moisture as determined by AAS
).	Do not	backfill trenches until required tests are perfo
L.	Backfil	I trenches to contours and elevations shown or
2.	As per	State of Wisconsin statutes SPS 382.30(11)(h
	non-m	etallic sanitary and storm sewers/mains and w
	the pro	ovisions of these code sections as per 182.071
3.	As per	State of Wisconsin 384.30(3)(c), storm sewer
V	ΆΤ	ER UTILITY NOTES
-		

		Plumbing" (State of Wisconsin), dat
	в.	All applicable state and local plumbi
	C.	Additional details and requirements
	D.	City of Madison WI watermain code
	Who	re criteria of the aforementioned sne
-	Cont	re citteria of the aforementioned spe
۷.	COIL	act all public and private utility comp
_	of th	e contractor's operation shall be the
3.	All w	ater main and service pipe greater the
	stan	dard C150 and C104. Fittings shall co
4.	The	minimum cover for all water main an
5.	All w	ater mains under and within two feel
	mate	erial. Trench and backfill shall be place
5.	All v	alves shall be butterfly Mueller mode
	iron	body, bronze mounted, bronze non-r
	valv	es shall open left
7	Wate	ar main separation from storm and sa
/. D	The	water convice pipe chall be 2.0" Type
5. ว	Com	water service pipe shall be 2.0 Type
9.	Conr	rections to Existing Mains. All connect
	unle	ss otherwise approved by the City of
10.	Pres	sure lest.
	Α.	As part of the construction, the wat
	в.	All newly laid pipe shall be subjecte
		of not less than two hours. Each val
		pump connected to the pipe.
	C.	Before applying the specified test pr
		pipes, fittings, valves, or hydrants of
		satisfactory results are obtained.
All te	estina	shall be done after the installation of
	snec	ified test pressure in accordance with
15	Dicir	fection
1.5.	^	Water from the existing distribution
	А.	application of chloring distribution
		application of chlorine gas. The rate
		applied to the water entering the ne
	_	period. This may require as much a
	в.	Valves shall be manipulated so that
	C.	Treated water shall be retained in the
		hours. After the chlorine-treated wa
		representative points should be at le
	D.	In the process of chlorinating newly
		agent.
	F.	All water mains and services shall b
		C601 All disinfection shall be perfor
		be approved by the City of Madison
17	Final	Eluching and Tacting
17.	^	Following chloringtion all treated w
	А.	Following childrination, an treated w
		unroughout its length shall, upon te
		main should continue for a period of
		installed in such a way as to preven
		because such samples seldom meet
	B.	After disinfecting and flushing, wate

- ter samples shall be collected by the contractor on two successive days, with notice given, so that the collection may be witnessed by the City of Madison, WI. Bacteriological sampling and analysis of the samples shall be performed by a laboratory approved by the Wisconsin Department of Public Health and the City of Madison, WI. Should the initial treatment result in an unsatisfactory bacterial test, the procedure shall be repeated until satisfactory results are obtained. The contractor or developer shall pay for the sampling and analysis. Results of the analysis shall be transmitted by the laboratory directly to the City of Madison, WI Engineer. Test results shall indicate the date the sample was collected, the date the analysis was made, the exact locations at which samples were taken, the firm submitting the sample, and the project at which the samples were collected. Sufficient samples shall be collected in order to insure that the system is bacteriologically safe. 18. Record Drawings are required by the City of Madison, WI. The Contractor shall record measurements from property pins to the centers of the valve lids and curb boxes. Each measurement shall be parallel or perpendicular to the property line. Any areas where solid rock is encountered when laying the water main, approved bedding material shall be used.
- 20. As per State of Wisconsin SPS 382.40(8)(b), exterior water supply piping setbacks and crossings shall be in accordance with sud. 2 to 7. 21. As per State of Wisconsin SPS 384.30(4)(d), materials for water service and private water mains shall conform to one of the standards listed in Table 384.30-7

PAVEMENT MARKING NOTES

1. Apply two (2) coats for all pavement markings. 2. Material description: a fast drying, high hiding marking paint for concrete, brick and bituminous surface. This product has been designed for painting centerlines and edgelines of highways, City crosswalks and stop zones, parking lots, traffic aisles, etc. Do not apply to in temperatures below 50 F.

onstructed in accordance with the following: sewer codes (but not limited to State of Wisconsin Facility Development Manual)

- ucted in accordance with the Wisconsin Department of Transportation (WisDOT) (Standard Specifications), latest tandards thereto.
- e City of Madison, WI. s provided in the contract documents, including this plan set.
- ifications conflict, the more stringent criteria shall be implemented.
- stem elements shall conform to the following specifications: hall be HDPE unless otherwise specifically noted in this plan set. All sewer pipe shall meet the requirements of
- Visconsin Department of Transportation's Standard Specifications. --AASHTO M294 S
- n and storm sewer extension (4" and 6")--ABS sewer pipe or PVC sewer pipe ASTM D2751, SDR35, or ASTM eter and smaller), minimum Class 3, ASTM C14.
- diameter and larger), circular reinforcement, minimum Class 3, wall B, ASTM C76. rt pipe--double line reinforcement, minimum Class 3, ASTM C506.
- Ilvert pipe--minimum Class HE-III or VE-III, ASTM C507. ")--ASTM D2729, SDR35.
- lvert pipe AASHTO M246, Type B, minimum wall thickness 14 gauge (shall only be used for culverts).
- on type, except underdrain pipe which shall have solvent welded joints. 1 C443 ("O" ring).
- e--ASTM C877.
- .20, 3/8" minimum thickness.
- STM C478.
- in diameter or less, manhole shall have a forty-eight inches inside diameter. hirty-six inches in diameter, manhole shall have a sixty inch inside diameter. rty-six inches in diameter, manhole shall have an offset riser pipe of forty-eight inches inside diameter. precast concrete adjusting rings with six inch maximum height adjustment shall be allowed. connection openings shall be precast with resilient rubber watertight pipe to manhole sleeves or seals. External I also extend from the manhole cone to the manhole frame.
- ctions shall be monolithically precast including bases and invert flowlines.

STM C478 and ASTM C443.

- y-four inch inside diameter and a maximum depth of four feet. precast concrete adjusting rings with six inch maximum height adjustment shall be allowed.
- owed, and it shall be precast with resilient rubber watertight pipe to manhole sleeves or seals. External flexible stend from the manhole cone to the manhole frame.
- ctions shall be monolithically precast including bases and invert flowlines. vithin the plans)
- n inlet as listed below unless specified as a "closed lid" in this plan set. Closed lid frame and covers shall be ed "STORM SEWER"

1981-I. -Neenah No. R-3032.

- -2450 gravel or crushed stone course aggregate--ASTM C33, Size No. 67.
- equipped with trash grate and toe block in compliance with Wisconsin Department of Transportation standard. being lowered into the trench, piece by piece. Remove and replace defective, damaged or unsound pipe or pipe ng. Protect open ends with a stopper to prevent earth or other material from entering the pipe during and other foreign materials from the interior of the pipe during the pipe laying progress. rer's written recommendations
- for each segment of the route. Lay RCP with the groove or bell end up-stream. dients with the necessary fittings, bends, manhole, risers and other appurtenances placed at the required
- of any existing or proposed pavement shall be backfilled with granular backfill material meeting Wisconsin Section 209/AASHTO T27) m density in accordance with ASTM D698, (or 95 percent of maximum density, in accordance with ASTM D1557)
- ned by AASHTO T180. s are performed and utility systems comply with and are accepted by applicable governing authorities s shown on the drawings
- 2.30(11)(h), SPS 382.36(7)(d)10.a, and SPS 382.40(8)(k), a means to locate buried underground exterior ains and water services/mains must be provided with tracer wire or other methods in order to be located with
- er 182.0715(2r) of these statues. torm sewer building pipes shall conform to on of the standards listed in Table 384.30-6.

- vices shall be constructed in accordance with the following:
- Safety and Professional Services (SPS), Chapter 382 Design, Construction, Installation, Supervision, Maintenance and Inspection of ated December 2015, and all revisions and supplements thereto.
 - provided in the contract documents, including this plan set
 - cifications conflict, the more stringent criteria shall be implemented.
 - banies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result contractor's responsibili han 2" in diameter shall be Ductile Iron Pipe in accordance with C151, Class 52 in accordance with AWWA omply with AWWA C110. Joints--mechanical and push-on shall comply with AWWA C111.
 - nd water service pipe is 6' from finished grade to top of pipe. t of any existing or proposed street pavement or curb shall be backfilled with WisDOT approved granular backfill
 - ced in lifts not to exceed 12" compacted to 95% of maximum Standard proctor density. B3211-20 or gate Mueller model A-2370-20 valves with mechanical joints, resilient seat wedge type, with cast rising stem, double disc pattern, designed for 300 pounds working pressure meeting AWWA Standard C509. All
 - anitary sewer shall conform to Wisconsin Administrative Code Chapter NR 811.
 - e K Copper tubing. tions to the City of Madison, WI water distribution system shall be made under full water service pressure Madison, WI Engineer at locations approved by the City of Madison, WI Engineer.
 - ater mains shall be pressure tested in accordance with Wisconsin standard specifications. ed to a hydrostatic pressure of 150 pounds per square inch. Duration of each pressure test shall be for a period lved section of pipe shall be filled with water and the specified test pressure shall be applied by means of a
 - ressure, all air shall be expelled from the pipe. All leaks shall be repaired until tight. Any cracked or defective discovered in consequence of this pressure test shall be removed and replaced and the test repeated until
 - service lines. Suitable means shall be provided for determining the quantity of water lost by leakage under the Wisconsin Administrative Code Chapter NR 811.
 - system or other source of supply shall be controlled so as to flow slowly into the newly laid pipeline during the of chlorine mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose ewly laid pipe shall be at least forty to fifty ppm, or enough to meet the requirements during the retention as one hundred ppm of chlorine in the water left in the line after chlorination. the strong chlorine solution in the line being treated will not flow back into the line supplying the water.
 - the pipe long enough to destroy all spore-forming bacteria. This retention period shall be at least twenty-four ater has been retained for the required time, the chlorine residual at the pipe extremities and at other least ten ppm laid pipe, all valves or other appurtenances shall be operated while the pipeline is filled with the chlorinating
 - be disinfected and tested according to the requirements of the Standards for Disinfecting Water Mains, AWWA med by an independent firm exhibiting experience in the methods and techniques of this operation, and shall
 - vater shall be thoroughly flushed from the newly laid pipeline at its extremities until the replacement water, est, be approved as safe water by the City of Madison, WI Engineer. This quality of water delivered by the new of at least two full days as demonstrated by laboratory examination of samples taken from a tap located and ent outside contamination. Samples should never be taken from an unsterilized hose or from a fire hydrant, current bacteriological standards.

RESOURCES INC 5291 ZENITH PARKWAY LOVES PARK, IL 61111 VOICE: (815) 484-4300 FAX: (815) 484-4303 www.arcdesign.com Design Firm License No. 2411-11 PROJECT NAME OWNER'S NAME POPEYES MADISON, WI 6831 ODANA RD MADISON, WI DANE COUNTY ABYGROUPS 200 S FRONTAGE RD STE 330 BURR RIDGE, IL 60527 (847) 208-5656 CONSULTANTS ISSUED FOR DATE . AGENCY REVIEW 10/27/2021 2. AGENCY REVIEW 02/04/2022 4 -----5 ----6. ----7. ----8 ----9 ----10 ----11.----12.----REVISIONS ITEM DATE 2. ----4. SHEET TITLE GENERAL NOTES CHECKE

> PROJECT NUMBER SHEET NUMBER

19055

C01



LEGEND	
SEE SITE PLAN SET FOR EXIS	STING SYMBOLS
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	APPROXIMATE LIMITS OF GRADING
>	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED CONTOUR LINE
800	EXISTING CONTOUR LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CATCH BASIN OR MANHOLE
	PROPOSED FLARED END SECTION
1.6%	DIRECTION OF OVERLAND FLOW AND SL
	LANDSCAPED AREA
(x.xx)	SEE SPECIFIC KEY NOTE ON THIS SHEET
EROSION CO	NTROL REFERENCE NO
1.01 SEE CITY OF MADIS BE A MINIMUM OF 1 ACCESS THE PUBLI EXIT MUST TERMIN, DIRECTED BACK TO	ON ENGINEERING STANDARD DETAIL DRAV 2' IN WIDTH AND 50' FEET IN LENGTH FROM C ROAD. DURING CONSTRUCTION, THE COI ATE AT EXISTING PAVED SURFACE. THE CO WARD THE SITE OR THAT THE RUNOFF IS C
1.02 SEE WISDOT SILT F SILT FENCE AFTER DISTURBANCE AND STABILIZATION AND	ENCE DETAIL SDD 8E9-6 AND INCLUDED ON ESTABLISHMENT OF FINAL GRADE AND/OR /OR INEFFECTIVE AS A BEST MANAGEMENT) GRADING CONDITIONS.
1.03 SEE WISDOT INLET STANDARD DETAIL OTHER THAN THOS HOURS OF INSTALL GRATE. STRUCTUR PROTECTION INSTA IMMINENT, THE OPE SHALL BE PLACED A SEAL. THE TRENCH	PROTECTION TYPE A, B, C, AND D DETAIL S 1.11 RIDIG FRAME INLET PROTECTION ON S E DETAILED IN THIS SWPPP SITE MAP FOR I ATION SHALL RECEIVE INLET PROTECTION. ES WITH CLOSED LIDS WILL NOT REQUIRE F ALLATION, INCLUDING TYPES OF PROTECTION EN END SHALL BE PROTECTED WITH A TEMF AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE DEWATERED PRIOR TO REMOVIN
1.04 SEE CITY OF MADIS SHALL BE APPLIED SHALL NOTE ALL AF PERMANENT SEEDI SHALL PLANT PERM SITE LANDSCAPING	ON ENGINEERING STANDARD DETAIL DRAV TO ALL SLOPES 4:1 OR STEEPER THAN 4:1 F REAS WHERE EROSION MAT HAS BEEN INST NG SHOULD BE PLANTED AS SOON AS IT IS MANENT SEEDING AS SPECIFIED ON THE LAN PLAN FOR EXACT GROUND COVER TYPE A
1.05 SEE CITY OF MADIS	ON ENGINEERING STANDARD DETAIL DRAV
STORMWATER	OUTFLOW CONTRIBUTI
FROM SITE - DRAINAGE AREA "A" (0. NTERMEDIATE BMP'S AND TRANSP THE SITE VIA UNDERGROUND STOR	97 ACRES) CONSISTING OF LANDSCAPED A ORTED VIA OVERLAND AND STORM SEWER M SEWER IN THE ODANA ROAD RIGHT OF V
TO RECEIVING WATERS - ULTIMATE	LY CONVEYED TO THE ROCK RIVER.
SITE DESCRIPT	ION
TE LOCATION: ADDRESS OR INTERS	SECTION CORNER IN DANE COUNTY. BEING

THE THIRD PRINCIPAL MERIDIAN. LATITUDE: 43.05628° LONGITUDE: -89.50016° ADJACENT PROPERTIES: THE SITE IS BORDERED BY MULTI-TENANT COMMERCIAL SITE TOPOGRAPHY: THE SITE GENERALLY SLOPES FROM THE SOUTH TO THE NOP SITE SERVES AS A PARKING AREA WITH ASPHALT PARKING AREAS AND LANDS

RAINFALL INFORMATION: THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJE POST-CONSTRUCTION CONDITIONS: POST-CONSTRUCTION RUNOFF COEFFICIENT TOTAL SITE AREA: LIMITS OF SITE = 0.97 AC± LIMITS OF DISTURBANCE = 1.07 AC± SITE IMPERVIOUS AREA: 0.60 AC± SITE LANDSCAPED AREA: 0.37 AC±

ENVIRONMENTAL PERMITS - OTHER THAN NPDES, STORMWATER AND/OR EROSIO THREATENED AND ENDANGERED SPECIES: THERE ARE NO KNOWN ISSUES RELATED HISTORICAL PROPERTIES: THERE ARE NO KNOWN ISSUES RELATED TO HISTORICA

SEQUENCE OF CONSTRUCTION

1. PLACE SWPPP BOX ON SITE. SWPPP BOX SHALL CONTAIN A COPY OF THE LET MAILBOX WITH THE LETTERS "SWPPP" ON THE SIDES. MAILBOX SHALL BY SUP PORTABLE AND REUSABLE. 2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION

- WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STO CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCT
- 3. CONSTRUCT THE SILT FENCES ON THE SITE. INSTALL INLET PROTECTION DEV 4. DEMOLISH BUILDINGS.
- 5. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT V
 6. CONSTRUCT TEMPORARY SEDIMENT TRAP AND INSTALL OUTLET CONTROL PR 7. INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS. INSTALL INLET PRO
- 8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT 9. PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
- 10. PAVE AREA OF SITE. 11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVE 12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONL



E		ID		RESOL	RCES INC.
(1.01) (C		TEMPORARY STONE CONSTRU	CTION EXIT		
(1.02) (S	F) SF	 TEMPORARY SILT FENCE 		5291 ZE	NITH PARKWAY
1.03		INLET PROTECTION PER STRU	CTURE TYPE	VOICE:	(815) 484-4300 15) 484-4303
(1.04) (BI		SHORT TERM SLOPE EROSION CONTROL BLANKET DURING CONSTRUCTION ACTIVITIES		 www.arcdo Design Firm	esign.com License No. 2411-11
		PERMANENT RIP RAP PAD - SE	Ε ΟΙΤΥ		
		5.4.4 RIP RAP AT APRON ENDV	VALLS		
				OWNER'S NAME	
OPE				POPEYES	5
				MADISON	, WI
TES				6831 ODANA	RD
ING 1.07 CONSTRUCTION EN EXISTING PAVED SURFACE. ISTRUCTION EXITS MAY BE	NTRANCE ON SHEET C12 - CITY C ALL CONSTRUCTION TRAFFIC MI SHIFTED AT THE CONTRACTOR'S	F MADISON DETAILS. THE CONSTR JST UTILIZE CONSTRUCTION EXITS DISCRETION TO FACILITATE GRAD	UCTION EXIT SHALL PER DETAIL TO ING OPERATION.		′ ⊤∨
NTRACTOR SHALL BE RESPO	ONSIBLE FOR ENSURING THAT TH	E RUNOFF FROM THE CONSTRUCT	TION EXIT IS		
SHEET C14 - WISDOT DETA FINAL STABILIZATION RENDE PRACTICE. ANY SUCH REMO	ILS.THE CONTRACTOR MAY PERI ERS THE RESPECTIVE PORTION (DVAL SHALL BE NOTED ON THE E	MANENTLY REMOVE ANY PORTION DF THE PERIMETER SILT FENCE UP ROSION CONTROL SITE MAPS ALO	OF THE PERIMETER STREAM OF A NG WITH UPSTREAM	ABYGROUPS 200 S FRONTAGE P) STE 330
DD 8E10-2 OR SDD 8E8-3 AN	ID INCLUDED ON SHEET C14 - WIS	SDOT DETAILS OR CITY OF MADISO	N ENGINEERING	BURR RIDGE, IL 605 (847) 208-5656	27
HEET C12 - CITY OF MADISO IORE THAN 48 HOURS OR IF UPON INSTALLATION OF TH	N DETAILS. NO STRUCTURE SHAI RAIN IS IMMINENT. STRUCTURE E GRATE, INLET PROTECTION SH	LL BE ALLOWED TO BE PROTECTED S THAT WILL NOT RECEIVE A CAST ALL BE INSTALLED RESPECTIVE TO) WITH ANY MEASURE ING WITHIN 48) THE TYPE OF		
ROTECTION FOLLOWING IN: N) ARE EMPLOYED. WHENE ORARY BULK HEAD. A 3/4" S	STALLATION OF LID. CONTRACTO VER PIPE INSTALLATION IS HALTI HEET OF PLYWOOD THAT EXTEN	DR SHALL NOTE TIME STRUCTURE I ED FOR MORE THAN 24 HOURS OR IDS 6" BEYOND THE OUTSIDE DIAM	NSTALLATION (AND WHEN RAIN IS ETER OF THE PIPE	CONSULTANTS	
SHALL BE PLACED AGAINST IG THE BULKHEAD.	THE PLYWOOD IN SUFFICIENT Q	UANTITY SO AS TO ENSURE THE TH	GHTEST POSSIBLE		
'ING 1.02 EROSION MAT ON S RIOR TO PERMANENT SEED ALLED RELATIVE TO ASBUIL	SHEET C12 - CITY OF MADISON D NING. FOLLOW MANUFACTURER S T GRADES AND FURNISH THESE	ETAILS. SHORT TERM EROSION CO SPECIFICATIONS FOR INSTALLATION BOUNDARIES TO THE CIVIL ENGINE	NTROL FABRIC N. CONTRACTOR EER UPON REQUEST.		
PRACTICAL TO ENSURE PRO IDSCAPING PLAN AS SOON / ND LOCATION.	DPER GERMINATION PRIOR TO TE AS FINAL BASIN GRADES ARE ES	ERMINATION OF PERMIT COVERAGE TABLISHED AS SPECIFIED ON THE (E. THE CONTRACTOR GRADING PLAN. SEE		
'ING 5.4.4 RIP RAP AT APRON	N ENDWALLS ON SHEET C13 - CIT	Y OF MADISON DETAILS.			
NG AND RECEI	VING WATERS				
REAS, PAVED AREAS AND R THIS DRAINAGE AREA ULTI	COOF TOP AREAS. ALL FLOWS TR MATELY DRAINS TO THE SOUTHE	REATED BY PERIMETER AND EAST OF THE SITE WHERE IT LEAVE	S		J
AY.					
				ISSUED FOR	DATE
A PORTION OF THE NORTH	NEST $\frac{1}{4}$ OF SECTION 25, TOV	WNSHIP 7 NORTH, RANGE 8 EAST, C)F	1. AGENCY REVIEW	10/27/2021
- BUILDINGS TO THE NORTH	I, EAST, AND SOUTH, AND A FAST	FOOD RESTAURANT TO THE WEST	- ING	3	
DSCAPED AREAS. JECT AREA IS APPROXIMATE	ELY 36 INCHES. OUS $CN = 98$ PERVIOUS $C = 61$)			<u>4</u> 5	
				6	
ON AND SEDIMENT CONTRO	L: WETLANDS-NONE			8	
CAL PRESERVATION				9 10	
				11	
IPPORTED BY A 4"X4" POST	IN A 5-GALLON BUCKET OF CONC	CRETE, TO ALLOW THE BOX TO BE		REVISIONS	
TORAGE CONTAINERS, ETC CTION PROCESS.	IN THE FOLLOWING AREAS: I RAILER, ., DENOTE THEM ON THE SITE MA	APS IMMEDIATELY AND NOTE ANY	ΙΥ,	ITEM 1	DATE
WILL BE INACTIVE FOR 14 I	DAYS OR MORE.			2	
TECTION CONCURRENTLY. TO FINAL GRADE.				4	
ER ALL AREAS. Y IF SITE IS STABILIZED)				<u>5.</u> 6	
				SWFFF FL/	
		<i>(</i>)			
		S (NAVD88 DATUM)		DRAWN	KG
	X CUT ON SW BOLT OF APPROXIMATELY 30' SC	FIRE HYDRANT LOCATED DUTH OF CL OF ODANA	1039 69	CHECKED PM	LND RCS
	ROAD AND 50' WEST OF DRIVEWAY TO THE EAS	THE CL OF THE ACCESS T OF THE SITE		PROJECT NUMBER	
	BENCHMARK 2 BOX CUT ON LIGHT POL	E BASE LOCATED ON			5
	BURGER KING LOT, LOC 22' WEST OF THE CL OF	CATED APPROXIMATELY	1049.38	1903	
20' 30' 40'	TO THE WEST OF THE S	SIFE		L C02	

C02



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- the local municipality.
- blanket. At no time shall any tree or vegetation be forcibly removed in such a manner that would damage surrounding trees or vegetation, root systems or substructures.
- removed from areas as shown.
- 7. Any non-preservation tree species that may be damaged during construction, or are determinded to be diseased or dead shall be removed.

TREE PRESERVATION NOTES

- fencing limits or root zone of any tree that is noted to be preserved.
- location where drainage toward the tree could conceivably effect the health of the tree. Appropriate protective fencing shall be temporarily installed for protection of preserved vegetation or trees as shown on plan.
- Fencing must be properly maintained during the entire construction period.
- 7. No other fencing, wires or attachments, other than those approved materials for bracing, guying or wrapping shall be attached to any tree or vegetation during construction. All reasonable measures necessary to prevent the destruction or damage to trees or plant material (other than those specified to be removed) shall be taken. 8. No grading or earthwork is to occur within the fenced tree protection limits nor is any soil to be removed from within the protective fencing without prior approval of arborist, engineer or
- landscape architect.
- may remove such trees.



4. Trees shall be removed in accordance with current arboriculture practices. Tree removal shall be conducted in a manner that protects all surrounding sturctures and preserved trees from damage. All tree stumps shall be ground to a minimum depth of 12" below grade, including crown roots, shavings packed into hole or filled with topsoil and restored with seed and erosion

All invasive trees and vegetation and species as outlined by local municipality or as noted by engineer, arborist or landscape architect that may not be listed on tree inventory or plans shall be

1. All grading and construction equipment shall be restricted within the protection fencing limits. No excess soil, additional fill, liquids or construction debris shall be placed within the protection 2. Crushed limestone, hydrocarbons and other materials detrimental to trees or vegetation shall not be dumped within the protection fencing limits or root zone of any tree not at any higher

All required protective fencing must be in place before any on site construction can begin. The protective fencing must remain in place and be maintained during the entire construction period. 5. The protective fencing material must be a minimum of 4' height and can be plastic mesh, orange preferred (or green), wire or chain-link. All fencing shall be installed to the outer extents of the tree canopy (drip line) or at minimum within the outer 1/3 of the tree canopy. All fencing must be secured to metal posts driven into the ground and spaced no further than 6 feet apart.

9. If any trees that are noted within or near the areas to be developed will affect more than 1/3 of the root system, the site foreman with approval from an arborist, engineer or landscape architect

	BENCHMARKS (NAVD88 DATUM)	
	BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
T H 30' 40'	BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38

	5291 ZENITH PARKWAY	
	VOICE: (815) 484-4300 FAX: (815) 484-4303	
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RESOURCES INC

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PROJECT NUMBER SHEET NUMBER

19055

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5291 ZE LOVES VOICE: FAX: (www.arco Design Firm	ENITH PARKWAY PARK, IL 61111 (815) 484-4300 815) 484-4303 design.com h License No. 2411-11
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POPEYES MADISON 6831 ODANA	S I, WI A RD
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ABYGROUPS 200 S FRONTAGE R BURR RIDGE, IL 609 (847) 208-5656	RD STE 330 527
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	PROPERTY LINE
=========	EXISTING CURB AND GUTTER
	EXISTING EDGE OF PAVEMENT
	PROPOSED CONCRETE CURB AND GUTTER (B-6.12) PROPOSED TYPE B-6.12 CONCRETE CURB AND GUTTER (REJECTING) PROPOSED DEPRESSED CURB AND GUTTER
	PROPOSED 6" CONCRETE HEADER CURB
	PROPOSED RETAINING WALL
<	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED GRADE BREAK LINE
	APPROXIMATE LIMITS OF GRADING
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED CATCH BASIN OR MANHOLE
	PROPOSED FLARED END SECTION
1.6%	DIRECTION OF SHEET FLOW
+ TW000.00	TOP OF SIDEWALK ELEVATION
+ MATCH EX TW000.00	MATCH EXISTING TOP OF PAVEMENT ELEVATION
+ TP000.00	TOP OF PAVEMENT ELEVATION
+ MATCH EX TP000.00	MATCH EXISTING TOP OF PAVEMENT ELEVATION
+ FG000.00	FINISHED GRADE ELEVATION
+ TOW000.00	TOP OF WALL ELEVATION
+ BOW000.00	BOTTOM OF WALL ELEVATION
\bullet	BENCHMARK
GRADING N	IOTES

- ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK. 2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDED WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 ALL STORM SEWER DIRE IS TO BE REINFORCED CONCRETE CULVERT DIRE CLASS IV
- ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
- THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.0 HORIZONTAL TO 1 VERTICAL.
 PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
- 7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
- 8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.

	BENCHMARKS (NAVD88 DATUM)	
	BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
)'	BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38
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	FAX: (815	5) 484-4303	l
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 www.arcdes Design Firm L	sign.com icense No. 2411-11
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BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38

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	PROPERTY LI	NE			
	PROPOSED C	URB AND GUTTER			
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	EXISTING ST	ORM SEWER			5291 ZENITH PARKWAY LOVES PARK, IL 61111
	PROPOSED G	RADE BREAK LINE			VOICE: (815) 484-4300 FAX: (815) 484-4303
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	E	PROPOSED TRANSFORMER		
GUTTER	Q	EXISTING FIRE HYDRANT ASSEMBLY		
	\otimes	EXISTING WATER VALVE		5291 ZENITH PARKWAY
	θ	PROPOSED WATER SERVICE CURB BOX		VOICE: (815) 484-4300
	$\bigcirc \square$	EXISTING MANHOLE OR CATCH BASIN		
		PROPOSED SANITARY MANHOLE		Design Firm License No. 2411-11
	●co.	PROPOSED SANTIARY CLEANOUT		
		PROPOSED GREASE TRAP (RE: ARCH. PLA	ANS)	
		,		OWNER'S NAME
RIC SERVICE	G	EXISTING GAS VALVE TO REMAIN		
	-X-	EXISTING LIGHT POLE TO REMAIN		POPEYES
ONE SERVICE	¥	EXISTING LIGHT POLE TO BE REMOVED		MADISON, WI
HONE SERVICE	TV	EXISTING CABLE PEDESTAL TO REMAIN		
_5	Ē	EXISTING ELECTRICAL PEDESTAL TO REM	IAIN	
	S	EXISTING SANITARY SEWER TO REMAIN		
		PROPOSED LIGHT POLE (SEE DETAILS, ARCH. PLANS, AND CREE LIGHTING PLAN	1)	DAME COUNTY
				200 S FRONTAGE RD STE 330
				BURR RIDGE, IL 60527 (847) 208-5656
RIM 1045	.79			
43.10 1.21		EIVIKT (KE: AKCH) INV. 1041.25 (4") 5 F OF / " DV/C DTDE		
c	23 L E. OE.			CONSULTANTS
[%] 20 F OF 4" F	PIPE @ 1.0	0% RIM 1046.42 INV. 1041.20 (4")		
$\int PIPE @ 1.00\%$		SANITARY SERVICE – ENTRY (RE: ARCH)		
)(('	╶ ╢ ╇┋╸ ╢ ┝			
GREASE TRAP EXIT				
INV. 1040.96 (4") 1000 GAL. GREASE		-RIM 1046.42 INV. 1041.20 (4")		
RIM 10	45.79	7 L.F. OF 4" PVC PIPE		
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R T H	ROAD AND 50 DRIVEWAY T BENCHM BOX CUT ON BURGER KIN	0' WEST OF THE CL OF THE ACCESS O THE EAST OF THE SITE ARK 2 LIGHT POLE BASE LOCATED ON G LOT, LOCATED APPROXIMATELY	1049.38	PROJECT NUMBER SHEET NUMBER 19055
R T H 20' 30' 40'	ROAD AND 50 DRIVEWAY T BENCHM BOX CUT ON BURGER KIN 22' WEST OF TO THE WES	0' WEST OF THE CL OF THE ACCESS O THE EAST OF THE SITE ARK 2 LIGHT POLE BASE LOCATED ON G LOT, LOCATED APPROXIMATELY THE CL OF THE ACCESS DRIVEWAY T OF THE SITE	1049.38	PROJECT NUMBER SHEET NUMBER 19055 C08





6" BARRIER CURB & PAVEMENT @ DRIVE-THRU SD3 NTS



NOTE: CONCRETE TO HAVE A MIN. 28 DAY STRENGTH OF 3000 PSI

		BLOCKING	DIMENSIONS			
DN	ŝ	Х	А	В	С	D
	ΠΞ	8"	10"	2'-3"	3'-3"	2'-0"
I Ä		12"	12"	3'-0"	4'-6"	3'-0"
ä	AN					
		8"	10"	2'-9"	4'-0"	2'-3"
	°	12"	12"	4'-3"	6'-0"	3'-3"
	0,					
		8"	10"	1'-6"	2'-6"	2'-0"
	°51	12"	12"	2'-9'	4'-3"	2'-6"
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B	Š	8"	10"	1'-0"	2'-0"	1'-3"
	21/	12"	12"	1'-9"	3'-0"	1'-9"
	5					
	°4	8"	10"	0'-6"	1'-4"	1'-0"
	1	12"	12"	0'-6"	1'-9"	1'-6"
	-					

X= DIAMETER OF PIPE TO BE BLOCKED NOTE: BLOCKING SHALL BE CONSTRUCTED AS PER AWWA STD. 0600, SECTION 12.3, OR LATEST REVISION

KEY TO TYPICAL PAVEMENT SECTIONS

2" ASPHALTIC CONCRETE.

2 BITUMINOUS PRIME COAT AND TOPPING.

6" BASE COURSE, REFER TO GEOTECHNICAL REPORT.

4 CONCRETE SIDEWALK.



24" HEAVY DUTY CAST IRON <u>top view</u> FRAME & COVER WITH 4" INLET & OUTLET PIPE GASTIGHT GASKET STANDARD AND FITTINGS RISERS STANDARD AS REQD.





• EXTERIOR GREASE TRAP SD3 NTS



PROJECT NAME OWNER'S NAME

POPEYES MADISON, WI

6831 ODANA RD MADISON, WI DANE COUNTY

ABYGROUPS 200 S FRONTAGE RD STE 330 BURR RIDGE, IL 60527 (847) 208-5656

CONSULTANTS

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SEE BELOW 1" (2.5 CM) TO	
DETAIL OF TYPICAL STAPLE 6" (15.2 cm) MIN. FOR FIRM SOILS 12" (30.5 cm) MIN. FOR LOOSE SOILS 8" (20.3 cm) MIN. WHERE BOTH SOD & MATS ARE BEING D	
GENERAL NOTES: DETAILS OF CONSTRUCTION MATERIALS AND WORKMANSHIP NOT THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICAT VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREOL PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVA LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHA JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE EROSION MAT SHALL BE MEASURED AND PAID FOR IN ACCORDA EROSION MAT OVER SOD: 0. ONLY JUTE FABRIC WILL BE PERMITTED OVER SOD. b. WOOD STAKES FOR SOD MAY BE OMITTED BY THE ENGINEE 0. THE WIDTH OF EROSION MAT SHALL ALWAYS EXCEED THE EROSION MAT OVER SEEDING: JUNCTION OR AMCORD SLOTS SHALL BE AT MINIMUM INTERVAL UNCLUDING & PERCENT. AND SO FEET (15.24 APD ON GEAPES	
CURB BACK EXTENSIO	
GAL VANIZED STEEL FRAMING WOVEN DUTER BAG LAYER	
1 1 1 1	
ASTM D8057 Requirements -> Filter system consists of rigid frame a -> Filter bag sized to meet treatment flo -> Bag maintains shape to be extracted -> Rigid frame capable of supporting ful -> Frame does not interfere or elevate g -> Bypass flow exceeds design flow of d -> Filter bag achieves >80% filtration el	
Installation Instructions: 1. Remove grate from the drainage struct 2. Clean stone and dirt from ledge (lip) a structure 3. Drop the inlet filter through the clear such that the hangers rest firmly on structure 4. Replace the grate and confirm it is no more than 1/8"	



	RC/DES RESOURCE 5291 ZENIT LOVES PAR VOICE: (816 FAX: (815) Www.arcdesig Design Firm Lice	IGN CES INC. H PARKWAY K, IL 61111 5) 484-4300 484-4303 n.com ense No. 2411-11
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PLA		LIST					ARC/DES	SIGN
KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS	N	ORTH	RESOUR	CES INC
AAB	2	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	2.5"			20' 30' 40'		
AC	2	Abies concolor WHITE FIR	6'	EVERGREEN			 5291 ZENI LOVES PA	TH PARKWAY
MRD	2	Malus x 'Ruby Daze' RUBY DAZE CRABAPPLE	7'	MULTI-STEMMED	LEGEN	ND	VOICE: (81 FAX: (815	15) 484-4300 5) 484-4303
MRJ	2	Malus x 'Red Jewel' RED JEWEL CRABAPPLE	7'	MULTI-STEMMED			ا www.arcdesi Design Firm Li	ign.com cense No. 2411-1
QC	4	Quercus X 'Crimschmidt' CRIMSON SPIRE OAK	2.5"	COLUMNAR / HYBR	ID	ORNAMENTAL GRASSES		
SRT	3	Syringa reticula JAPANESE TREE LILAC	7'	MULTI-STEMMED		EVERGREEN / DECIDUOUS SHRUBS	PROJECT NAME	
TCL	2	Tillia cordata LITTLE LEAF LINDEN	2"		2 Autor		OWNER'S NAME	
TOE	2	Thuja occidentalis 'Emerald' EMERALD GREEN ARBORVITAE	5'	EVERGREEN - UPRI	GHT	LARGE DECIDUOUS SHADE TREE	POPEYES	
JHH	33	Juniperus horizontalis 'Hughes' HUGHES SPREADING JUNIPER	5 GAL	EVERGREEN)	MADISON,	WI
RAG	11	Rhus aromatica 'Gro Lo' GROW LOW FRAGRANT SUMAC	5 GAL				6831 ODANA I	RD
RKR	10	Rosa x 'Radrazz' KNOCK OUT RED ROSE	5 GAL	HYBRID - REBLOON	1ING	EVERGREEN TREE / ORNAMENTAL TREE	MADISON, WI	
RKW	12	Rosa x 'Radwhite' KNOCK OUT WHITE ROSE	5 GAL	HYBRID - REBLOOM	1ING		DANE COUNT	Ϋ́
SBG	23	Spiraea betulifolia 'Glow Girl' GLOW GIRL TOR SPIREA	24"		· · · · · · · · · · · · · · · · · · ·	SEED AREA FOR TURF WITHIN P.L. UNLESS OTHERWISE DIRECTED BY OWNER - SEE ENGINEERING PLANS		
SJD	21	Spiraea japonica 'Galen' GALEN DOUBLE-PLAY ARTISAN SPIREA	24"				ABYGROUPS 200 S FRONTAGE RD	STE 330
ТМТ	19	Taxus media x 'Tauntonii' TAUNTON JAPANESE YEW	24"	EVERGREEN		EXISTING DECIDUOUS TREE TO	BURR RIDGE, IL 60527 (847) 208-5656	,
CFR	41	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C ORN. G	RASS	REMAIN AND BE PROTECTED		
EPC	21	Echinacea purperea 'Cheyenne' CHEYENNE MIXED CONEFLOWER	GAL	2'-0" O.C PERENI			CONSULTANTS	
EPM	18	Echinacea purperea 'Magnus' PURPLE CONEFLOWER	GAL	2'-0" O.C PERENI	NIAL			
HHR	30	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	GAL	2'-0" O.C PERENI	NIAL	CONSIN		
LAB	29	Lavandula angustifolia 'Balavurulu' BALAVURULU SUPER BLUE LAVANDER	GAL	2'-0" O.C PERENI	NIAL	A ADAS		
PGF	64	Phlox x glaberrima 'Forever Pink' FOREVER PINK HYBRID PHLOX	GAL	2'-0" O.C PERENI	NIAL	ROCKFORD		
PLS	24	Perovskia atriplicifolia 'Little Sprite' LITTLE SPRITE RUSSIAN SAGE	GAL	2'-0" O.C PERENI	NIAL			
PVN	38	Pannicum virgatum x 'Apache Rose' APACHE ROSE SWITCH GRASS	GAL	2'-6" O.C ORN. G	RASS	A		
RFG	20	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C PERENI	NIAL	Mar 3038		
SEA	20	Sedum x 'Autumn Joy' AUTUMN JOY SEDUM	GAL	2'-0" O.C PERENI	NIAL	Var 1-MV	ISSUED FOR	
SMN	20	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C PERENI	NIAL	Co		DATE
SHP	49	Sporobolus heterolepis PRAIRIE DROPSEED	GAL	2'-6" O.C ORN. G	RASS		2. AGENCY REVIEW	02/04/2022
							3	
			ΔΤΔ				5	
		CATEGORY	AREA	/QUANTITY	REQUIREMENT	PROVISION	6	
		DEVELOPED AREA	23,564	4 S.F (0.54 ACRE)	393 POINTS - (5 POINTS PER 300	1137 POINTS - TREES, SHRUBS,	8	
		FRONTAGE LANDSCAPE	261 L.	F ODANA RD.	9 TREES + 45 SHRUBS (1 TREE + 5	9 TREES + 45 SHRUBS (2 SHADE	<u>9</u> <u>10</u>	
					SHRUBS / 30 L.F. FRONTAGE)	TREES, 4 ORNAMENTAL TREES, 5 EXIST. TREES)	11	
		INTERIOR PARKING LOT LANSCAPING	13,611	L S.F PARKING LOT	681 S.F - 5% OF PARKING LOT TO BE INTERIOR LANDSCAPE	952 S.F 7% OF PARKING LOT FOR INTERIOR LANDSCAPE AREA	12 REVISIONS	
		FOUNDATION PLANTINGS	6 BUILD	ING FACADES	NO MIN. / MAX QUANTITY - REQUIRED ALONG ALL FACADES OR FOUNDATIONS NOT DIRECTLY ABUTING SIDEWALK, ETC.	PLANTINGS ALONG ALL FACADES OR FOUNDATIONS NOT DIRECTLY ABUTING SIDEWALK, ETC.	1 2	
		DISTRICT BOUNDARY SCREENING	N/A - 5	SAME ZONING / USE	N/A - SAME ZONING / USE	N/A - SAME ZONING / USE	<u>3.</u> <u>4.</u>	
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LO							-	
or) shall i sed plant _andscap of all und nd cable	make a sit ting plan a e Archited lerground television	te visit prior to bidding/construction to inspect and related work. Contractor shall report any ct and/or Owner. I utilities prior to begining construction on his p can be located by calling 1111 TE at '811'	the current bhase of	12. Upon inspecti shall assume watering, cult and in a healt 13. All plant mate	on and acceptance of all landscape item maintenance responsibilities for a period ivating, weeding, pruning, mulching and thy, vigorous condition until responsibilitier erial shall be guaranteed for one (1) yea	s by Landscape Architect and/or Owner the contractor l of thirty (30) days, for all plant material, to include: l spraying as necessary to keep plants free of insects y is transferred to the owner (see below).	SHEET TITLE	NG PLA

ie NAME	SIZE	REMARKS	<u>N</u>	<u>ORTH</u>	RESU	URCES INC
Brilliance' LIANCE MAPLE	2.5"			20' 30' 40'		
	6'	EVERGREEN			 52912 LOVE	ZENITH PARKWAY S PARK, IL 61111
aze' CRABAPPLE	7'	MULTI-STEMMED	LEGEI	ND	VOICI FAX:	E: (815) 484-4300 (815) 484-4303
wel' RABAPPLE	7'	MULTI-STEMMED			 www.ard Design Fir	cdesign.com rm License No. 2411
nschmidt' IRE OAK	2.5"	COLUMNAR / HYBR	ID	ORNAMENTAL GRASSES		
EE LILAC	7'	MULTI-STEMMED		EVERGREEN / DECIDUOUS SHRUBS	PROJECT NAME	
INDEN	2"		3		OWNER'S NAME	
lis 'Emerald' EEN ARBORVITAE	5'	EVERGREEN - UPRI	GHT	LARGE DECIDUOUS SHADE TREE	POPEYE	S
ontalis 'Hughes' EADING JUNIPER	5 GAL	EVERGREEN			MADISO	N, WI
'Gro Lo' RAGRANT SUMAC	5 GAL		, may		6831 ODAN	
, RED ROSE	5 GAL	HYBRID - REBLOOM	1ING	•) EVERGREEN TREE / ORNAMENTAL TRI	MADISON, M	WI
e' WHITE ROSE	5 GAL	HYBRID - REBLOOM			DANE COU	NTY
lia 'Glow Girl' FOR SPIREA	24"		· · · · ·	SEED AREA FOR TURF WITHIN P.L. UNLESS OTHERWISE DIRECTED BY OWNER - SEE ENGINEERING PLANS		
a 'Galen' ILE-PLAY ARTISAN SPIREA	24"				ABYGROUPS 200 S FRONTAGE	RD STE 330
Tauntonii' PANESE YEW	24"	EVERGREEN		EXISTING DECIDUOUS TREE TO	BURR RIDGE, IL 60 (847) 208-5656	0527
cutiflora 'Karl Forster' ED GRASS	GAL	3'-0" O.C ORN. G	RASS	REMAIN AND BE PROTECTED		
erea 'Cheyenne' IXED CONEFLOWER	GAL	2'-0" O.C PERENI	NIAL		CONSULTANTS	
erea 'Magnus' EFLOWER	GAL	2'-0" O.C PERENI	NIAL			
appy Returns' RNS DAYLILY	GAL	2'-0" O.C PERENI	NIAL	CONSIL		
istifolia 'Balavurulu' J SUPER BLUE LAVANDER	GAL	2'-0" O.C PERENI	NIAL	ADAS	z	
ma 'Forever Pink' NK HYBRID PHLOX	GAL	2'-0" O.C PERENI	NIAL	MATHINA MATHINA		
icifolia 'Little Sprite' 'E RUSSIAN SAGE	GAL	2'-0" O.C PERENI	NIAL			
um x 'Apache Rose' E SWITCH GRASS	GAL	2'-6" O.C ORN. G	RASS	CAPE ACTIV		
da 'Goldsturm' SUSAN	GAL	2'-0" O.C PERENI	NIAL	Mar 203		
n Joy' SEDUM	GAL	2'-0" O.C PERENI	NIAL	Via 1-m		
a 'May Night' IEADOW SAGE	GAL	2'-0" O.C PERENI	NIAL	Oca -		DATE
rolepis PSEED	GAL	2'-6" O.C ORN. G	RASS		1. AGENCY REVIEW	02/04/2022
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	23 564	4 S F (0 54 ACRF)	REQUIREMENT	PROVISION	<u>7</u> <u>8</u>	
LANDSCAPE	DEVEL	OPED AREA	S.F. DEVELOPED AREA)	PERENNIALS & GRASSES	9	
FRONTAGE LANDSCAPE	261 L.	F ODANA RD.	9 TREES + 45 SHRUBS (1 TREE + 5 SHRUBS / 30 L.F. FRONTAGE)	9 TREES + 45 SHRUBS (2 SHADE TREES, 4 ORNAMENTAL TREES, 5 EXIST. TREES)	<u>10</u> <u>11</u>	
INTERIOR PARKING LOT	13,611	1 S.F PARKING LOT	681 S.F - 5% OF PARKING LOT TO	952 S.F 7% OF PARKING LOT FOR	12	
FOUNDATION PLANTINGS	BUTLD	ING FACADES	NO MIN / MAX OUANTITY -	PLANTINGS ALONG ALL FACADES OR	ITEM	DATE
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SCREENING	, -				<u>4.</u> <u>5.</u>	
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PLANTING NOT

- 1. Landscape Contractor (Contractor site conditions and review propos discrepancies in the field to the L
- 2. Contractor shall verify locations of work. Electric, gas, telephone, and locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- 3. Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect. 4. Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-til, disc,
- drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation. 5. All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or
- sodded, and 12 inches for all interior (curbed) landscape islands All lawn areas are to be finished with mulch, 16. Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial rye straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park established. (see seed/sod notes for acceptance details). Kentucky bluegrass, 20% creeping red fescue, 20% scaldis hard fescue, and 10% perennial ryegrass. Seed 6. Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or drawings shall take precedence over the lists. erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per downspouts, etc.; however, quantities and sizes shall remain consistent with these plans. Method 1, Section 251, of the Standard Specifications for Road and Bridge Construction.
- 7. Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways,
- 8. Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- 9. All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner. 10. Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage,
- etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump. 11. All plant material, especially trees, must be sourced within a fifty (80) mile radius of the subject property

- After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- 14. All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees and mulit-stemmed ornamental trees shall be mulched to outer-most branches at the time of installation. 15. Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee"
- shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- 17. All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all seeded areas.
- 18. Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

L	SHEET TITLE	
	LANDSCAPIN	G PLAN
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2 PROPOSED DT ELEVATION A5 SCALE: 1/4"=1'-0"

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4 EB-2 30

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0'-0" T/O CONC. SLAB

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	ISSUE	TABLE		
	No.	Date (mm/dd/au)		Description
ATION NOTES	01	(mm/dd/yy) 02-02-2022	2136 P	ROTOTYPE WITH FULL BRICK
/ DRIP.	02	02-27-2022	2136 P	ROTOTYPE WITH FULL BRICK
K WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8"L			-	
WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L				
IUM STOREFRONT SYSTEM WITH INSULATED GLAZING.	REVIS	BIONS		
IND FREE OF IMPERFECTIONS.	No.	Date		Description
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ICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION				
PIPE BULLARD TOP AT 4-6 A.F.F. G.C. TO PAINT SAFETY YELLOW . REFER TO POPETES				
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DRIP.	02	02-27-2022	2136 PROTOTYPE WITH FULL BRICK
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	Scale		Date
		1/4"=1'-0"	02/27/2022
	Projec	t No.	Drawing No.
		2021 0061	A5

EX		INISH S	CHEDULE		Ε	XTERIOR ELEV
TAG	PRODUCT	MANUF.	PATTERN & COLOR		1	PRE-FINISHED METAL CAP FLASHING C/W
EB-1	GLEN- GERY FACE BRICK CHERRY CREEK WILLIAMSBURG RED	GLEN-GERY	GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8"L		2	N/A. GLEN- GERY FACE BRICK, CHERRY CREEK
					4	GLEN- GERY FACE BRICK, ASPEN WHITE V
EB-2	GLEN- GERY FACE BRICK ASPEN WHITE WIRECUT WHITE W804	GLEN-GERY	GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L		5	N/A.
EF-1	VINTAGEWOOD AWP 3030	NICHIHA	SIZE: 17-7/8" HIGH x 119-5/16" LONG, COLOUR: CEDAR. NOTE: FIBEF CEMENT BOARD TO BE INSTALLED WITH NICHIHA ALUMINUM TRIM PIECES. STARTER CLIPS & JOINTS (COLOUR: MATCH 'CEDAR')	:	7	EXPOSED FOUNDATION TO BE PARGED AT
FC-4	VERTICAL SIMULATED WOOD SLATS				9	GAS UTILITY METER. REFER TO STRUCTURAL DRAWINGS FOR F
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	WHITE BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: OC-125 MOONLIGHT WHITE		10	INTERNALLY ILLUMINATED BUILDING SIGN EXTERIOR GRADE PRESSURE TREATED PI SHALL OBTAIN STRUCTURALLY SEALED DI SHALL VERIFY ACTUAL LOCATION & SIZE (
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	RED BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: 2105-20 ROOT BEER CANDY			ELECTRICAL FEED LINES AND SIGNAGE FA APPROVED BY POPEYES PRIOR TO PROD
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	DUMPSTER WALLS AND REAR DOOR ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: HC-170 STONINGTON GREY		11	NON-ILLUMINATED BUILDING SIGNAGE PR GRADE PRESSURE TREATED PLYWOOD B SIGNAGE PERMITS FROM THE CITY BASEL SIGN MANUE ACTURED STANDAUTED DRAW
EP-4	EXTERIOR PAINT	BENJAMIN MOORE	BOLLARDS COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: SAFETY YELLOW		_	WITH SIGN INSTALLER TO USE VHM DRILL ELEMENTS PROVIDED BY SIGNAGE FABRIC
EP-5	METAL PAINT	BENJAMIN MOORE	DUMPSTER GATES COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: FACTORY FINISH BLACK		12 13	NICHIHA VINTAGE WOOD, COLOR: CEDAR. PROVIDE & INSTALL 6" DIAMETER STEEL P MASTER SCHEDUILE
EP-6	ANTI GRAFFITI COAT	BENJAMIN MOORE	EXTERIOR WALLS ALIPHATIC ACRYLIC URETHANE COLOR: V500-00 CLEAR		14	DRIVE-THRU WINDOW. REFER TO DRIVE-T
P-08	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING COLOURS WHERE NECESSARY SHERWIN WILLIAMS 'IRON ORE SW7069' MIN. 2 COATS SPRAY APPLICATION		15	PROVIDE DECORATIVE SCREENING AROU PRE-FINISHED GALVANIZED STEEL DOWNS DOWNSPOUTS ARE SPLASHING ON CONCI
MC-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: TBD *SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 61121 BLACK		17	N/A. DASHED LINE INDICATES T/O OF ROOF BEI C/T CABINET AND METER
DP-1	DOOR	STOREFRONT MANUFACTURER	MAIN ENTRANCE DOOR - ORANGE PANTONE #3564 C		20	LINE OF PARAPET WALLS BEYOND.
MTL-1	ROOFTOP UNIT	CITYSCAPES	PANEL HEIGHT: TOP OF PANEL EQUAL TO TOP OF RTU.		21	GENERAL PURPOSE EXTERIOR LIGHTING
	SUREENING - ENVISOR	INNOVATIONS	PANEL TYPE: 7.2 HORIZONTAL RIB METAL	•	22	WALK-IN COOLER/FREEZER FINISH TO BE
			TOP TRIM: 3* SQUARE EDGE OFFSET FROM UNIT: REFER TO MECH. DWGS FOR MIN. DISTAN COLOR: ALABASTER WHITE	E	23	METAL RAILING SUPPLIED AND INSTALLED SITE PLAN. PAINT FINISH 'BLACK'.
	1	1	1		24	PRE-FINISHED GALVANIZED STEEL DOWNS DOWNSPOLITS ARE SPLASHING ON CONC

GENERAL NOTES

SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR: TO MATCH WINDOW / DOOR FRAMES.

2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

- NOTE REFERENCE REFER TO ELEVATION NOTES 1
- FN# FINISH TYPE

- 30 MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPAN 31 REAR EXIT DOOR TO BE PAINT WHITE. 32 WALL SCONCE SUPPLY AND INSTALL BY SIGN COMPANY. 34 VERTICAL SIMULATED WOOD SLATS.
- 35 WALL SCONCE LIGHTING. REFER TO ELECTRICAL SCHEDULE.
- 36 CONCRETE SIDEWALK (BY G.C). REFER TO SITE PLAN.

27 N/A.

EXTERIOR ELEVATION NOTES

HING C/W DRIP

RRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" N WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L

ED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING PARGED AND FREE OF IMPERFECTIONS.

INGS FOR FOUNDATION WALL AND FOOTING DETAILS.

LDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER YS EALED DRAWINGS AND SIGNADE PERMITS FROM THE CITY BASED ON LOCAL REDUREMENTS. G. IONA & JEZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHW DRILL BIT WHILE DRILLING FOR SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND

IGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL ³² EXTERIC PLYWOOD BACKING... SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS A ICTY BASE DO ILOCAL REQUIREMENTS. G.C. SHALL VERIYA ACTUAL LOCATION & SIZE OF SIGNS OVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITES. G.C. TO COORDINA INM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL GAGE FABRICATIOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION NGS ANI

ER STEEL PIPE BOLLARD TOP AT 4'-6" A.F.F. G.C. TO PAINT "SAFETY YELLOW". REFER TO POPEYES

TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.

NING AROUND ROOFTOP EQUIPMENT IF VISIBLE FROM GRADE AROUND BUILDING.

EEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.

F ROOF BEHIND PARAPET

LIGHTING FIXTURES.

NISH TO BE COMPLETED BY MANUFACTURER

NSTALLED BY G.C (ONLY IF REQUIRED). ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON TH

EEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE CIVIL ENGINEERS TO CONFIRM IF S ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS 25 ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.

26 HOSE BIB. G.C. TO PAINT. COLOR TO MATCH ADJACENT MATERIAL COLORS. COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.

28 DECORATIVE PANELS SUPPLY AND INSTALL BY SIGN COMPANY

29 G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8' FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.

33 PRE-FABRICATED CANOPIES W/ PRE-WIRED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.

[37] HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.

01		Description
01	(mm/dd/yy)	
02	02-02-2022	2136 PROTOTYPE WITH FULL BRIC
02	02-27-2022	2130 FROTOTTEE WITH FOLL BRIC
REVIS	IONS	1
No.	Date	Description
DRAW	INGS REVIS	ED AS PER DESIGN BULLETIN
No.	Date	Description
POPE	YES LOL	IISIANA KITCHEN
6831 MADI	ODANA R	COAD,
IVIADI	30N, WI3	CONSIN
THIS DRAV KITCHEN (REPRODU	VING IS OWNED BY OR ITS AFFILIATED CED, USED, DOWNL	OR LICENSED FOR USE BY POPEYES LOUISIANA OR RELATED COMPANIES) AND MAY NOT BE COADED, DISSEMINATED, PUBLISHED, OR
TRANSFER WRITTEN (INFRINGER	RED IN ANY FORM CONSENT OF POPE IENT IS A VIOLATIC	OR BY ANY MEANS, EXCEPT WITH THE PRIOR YES LOUISIANA KITCHEN . COPYRIGHT N OF FEDERAL LAW SUBJECT TO CRIMINAL AND
THE CONT	ALTIES. RACTOR IS TO VER	IFY ALL DIMENSIONS AND CONDITIONS ON THE
KITCHEN F ARE NOT T	CONTRACTOR OF CO	AT DISCREPANCIES TO THE POPEYES LOUISIANA PRIOR TO COMMENCING WORK. THESE DRAWINGS DNSTRUCTION PURPOSES UNLESS INDICATED BY A SS VISSUED EOR CONSTRUCTION.
DESIG	N GUIDELIN	IE ONLY -
NOT F	OR PERMIT	OR CONSTRUCTION
Compa	ny Logo	
	- ($(\mathbf{L} \mathbf{G})$
	LIN	IDENGROUP .
	LIN	ARCHITECTURE AND PLANNING ROR ARCHITECTURE CAPE ARCHITECTURE
	LIN L. INTER LANDS 10100 C	ARCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE CAPE ARCHITECTURE
	LIN INTEF LANDS 10100 C ORLAN	ACCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE CAPE ARCHITECTURE ICAND PARKINA'S WIE 110 DPARK, ILUNOS 60467 (708) 799-400 (100) 799-400
	LIN INTEF LANDS 10100 C ORLAN WWW	ARCHITECTURE ARCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE RUAND PARK, LINOIS 60467 (708) 799-4400 (LINDENGROUPINC.COM
Project	LIN L INTER LANDS 10100 C ORLAN WWW	ARCHITECTURE AND PLANNING RICR ARCHITECTURE CAPE ARCHITECTURE CAPE ARCHITECTURE (RAND PARKWAY SUIE 110 D PARK, LUNNOS 60467 (708) 799-404
Project	LIN INTER LANDS 10100 CO ORLAN WWW	ARCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE RAND PARKWAY SUIE 110 D PARK, LLINIOS 60467 (708) 199-4400 LUNDENGROUPINC COM
Project	LIN INTER LANDS 10100 C ORLAN	ARCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE RLAND PARKWAY SUIE 110 D PARK, ILLINOIS 60467 (708) 793-404
Project	LIN INTER LANDS 10100 C ORLAN WWW	ACCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE RLAND PARKWAY SUITE 110 D PARK, ILLINOIS 60467 (108) 199-404 LINDENGROUPINC.COM
Project	LIN INTER LANDS 10100 C ORLAN WWW	ACCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE IRLAND PARKWAY SUITE 110 D PARK, ILLINOIS 60467 (108) 199-404 LINDENGROUPINC.COM
Project	LIN INTER LANDS 10100 C ORLAN WWW	ARCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE GAPE ARCHITECTURE (708) 79-4400 LINDENGROUPINC.COM
Project	LIN INTER LANDS 10100 C ORLANDS	ACCHITECTURE AND PLANNING NOR ARCHITECTURE CAPE ARCHITECTURE CAPE ARCHITECTURE (708) 79-4400 (108) 79-400 (108) 79-400 (108) 79-400 (108) 79-700 (108) 79-700 (108) 79-700
Project	LIN INTER LANDS 10100 C ORAN WWW	ACCHITECTURE AND PLANNING BOR ARCHITECTURE CAPE ARCHITECTURE IRAND PARKWAY SWITTIO DPARK, ILINOIS 60467 (708) 799-4400 /LINDENGROUPINC.COM
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12	ISSUE	TABLE	
ATION NOTES	No.	Date (mm/dd/yy)	Description
	01	02-02-2022	2136 PROTOTYPE WITH FULL BRIC
UKIP;	02	02-27-2022	2136 PROTOTYPE WITH FULL BRIC
WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8"L	1		
WRECOT WHITE WORK, WHITE WORKTAR, SIZE, WODDER 356 TX 2114 HX 756 L			
UM STOREFRONT SYSTEM WITH INSULATED GLAZING.	REVIS	IONS	
ND FREE OF IMPERFECTIONS.	No.	Date	Description
	-		
FOUNDATION WALL AND FOOTING DETAILS.	-		
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CATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION			
PIPE BOLLARD TOP AT 4'-6" A F.F. G.C. TO PAINT "SAFETY YELLOW" REFER TO POPEYES			
	-		
HRU WINDOW SCHEDULE ON SHEET A11.			
ND ROOFTOP EQUIPMENT IF VISIBLE FROM GRADE AROUND BUILDING.	POPE 6831	ODANA F	JISIANA KITCHEN
RETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.	MADI	SON, WIS	CONSIN
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HIND PARAPET.	-		1
COMPLETED BY MANUFACTURER			
D BY G.C (ONLY IF REQUIRED). ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON THE	1		
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ED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY			$\langle \rangle$
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O SITE PLAN.			
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LUBE FIATURE.			S and sold a strategy line are shown
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		INTER	
		10100 C	DRLAND PARKWAY SUITE 110
		ORLAN	D PARK, ILLINOIS 60467 (708) 799-4400
		WWW	I.LINDENGROUPINC.COM
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	-	1/4"=1'-0"	02/27/2022
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INTERIOR SIGN PACKAGE-BY G.C.

AREA	SIGN NAME	ΟΤΥ		COMMNENTS
		2	CUSTOMER ENTRANCE DOORS 48" AFE	
HOUSE		2		
	IN	2	CUSTOMER ENTRANCE DOORS, 48" AFE	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS
	OUT	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS
	LOBBY FLOW SIGN	2	SITS ON TOP OF SERVICE COUNTER	3 SIDED SIGN. "ORDER HERE". "PAY HERE". "NEXT REGISTER"
	QUEUEING LINE FLOW SIGN	1	TOP OF QUEUEING LINE POLE	2 SIDED SIGN, "ENTER HERE", "PLEASE COME AGAIN"
	RESTROOM SIGNS		LATCH-SIDE WALL, MTD, IC 60" A.F.F.	HANDICAPPED
	"HANDICAP WOMEN"	1	EXTERIOR OF WOMEN'S RESTROOM DOOR, 60" AFF	MOUNT TO CENTER LINE OF SIGN
	"HANDICAP MEN"	1	EXTERIOR OF MEN'S RESTROOM DOOR, 60" AFF	MOUNT TO CENTER LINE OF SIGN
	"RESTROOMS"	1	VISIBLE TO CUSTOMERS IN DINING AREA, 60" AFF	MOUNT TO CENTER LINE OF SIGN
	"EMPLOYEES MUST WASH HANDS"	2	INTERIOR OF BOTH RESTROOMS DOOR, 60" AFF	
	"NO SMOKING"	5	DINING ROOM	
	"EMPLOYEES ONLY"	1	ENTRANCE BETWEEN KITCHEN AND DINING ROOM	
	TEA URN SIGNS			
	"UNSWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN
	"SWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN
	"WATER"	1	HANGS ON DISPENSER	2 SIDED SIGN
BACK OF	BIN DECALS			
HOUSE	"FLOUR"	1	PLACE ON FLOUR BIN	STICKER APPLICATION
	"RICE"	1	PLACE ON RICE BIN	STICKER APPLICATION
	"FILTER"	1	PLACE ON FILTER POWDER BIN	STICKER APPLICATION
	3 COMPARTMENT SINK DECALS			
	"WASH"	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"RINSE"	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"FILTER"	1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION
	"HOT! USE CAUTION"	6	MICROWAVE WINDOW, OVEN, PRODUCT DISPLAY AREAS	STICKER APPLICATION
	"MUST BE 18"	4	FRYER, FILTER, MARINATOR, (IF APPLICABLE)	
	FRYER LABELS (1,2,3,4,5,6)	1	PLACE ON APPROPRIATE FRYER	STICKER APPLICATION
SECURITY	"STOP! ALL VENDORS MUST"	1	EXTERIOR OF BACK DOOR, 60" AFF	
SIGNS	"WARNING! ONLY MANAGERS"	1	EXTERIOR OF BACK DOOR, 48" AFF	
	"MANAGERSACCESS TO SAFE"	1	EXTERIOR OF BACK DOOR, 48" AFF	
	"CHEMICAL STORAGE ONLY"	1	ON OR OVER AREA TO STORE CHEMICALS	MOUNT TO SHELVING UNIT OR WALL
OTHER	HANDICAP PARKING SIGN	2	DESIGNATED PARKING SPOT (S) 84" TO BOT. OF SIGN	

NOTES:

- 1. FLOOR MATS SHOULD BE PLACED IN THE THE AREAS DESCRIBED BELOW: ENTRY WAY MATS: 3M NOMAD, AVAILABLE SIZES 3'x5' OR 4'x6' KITCHEN FLOOR MATS: MATRIX 'GRIP ROCK'
- LOCATIONS: -INSIDE WALK-IN COOLER (3'-0" x 5'-6")
- -OUTSIDE THE WALK-IN COOLER (3'-0" x 4'-0")
- -ICE MACHINE (3'-0" x 4'-0") -3 COMPARTMENT SINK (3'-0" x 7'-6")
- -CONDIMENT COUNTER (3'-0" x 8'-10")
- 2. EQUIPMENT SUBSTITUTIONS REQUIRE POPEYES PRE-APPROVAL SUBMIT CUT SHEETS TO POPEYE'S DEPARTMENT

- SPECIALITIES.
- BEFORE FINAL INSPECTION.

MATERIALS

- PERFORMANCE
- ADJUSTMENT.

DIVISION 12: FURNISHINGS

- GENERAL PROVISIONS CONTRACT TO THE OWNER.
- MATS AND/OR ACCESSORIES.
- COMPLIANCE WILL BE NECESSARY.

PERFORMANCE

- THE DECOR DRAWINGS.

1. SCOPE: COORDINATE WITH THE INSTALLATION OF ALL EQUIPMENT ITEMS SHOWN ON PLANS AND SCHEDULED IN EQUIPMENT SCHEDULE (EXCEPT AS NOTED AS INSTALLED BY KITCHEN CONTRACTOR) WHICH ARE FURNISHED BY THE OWNER OR UNDER SEPARATE CONTRACT. EQUIPMENT SCHEDULE LISTS TRADES RESPONSIBLE FOR FURNISHING, INSTALLING AND FINAL CONNECTION.

2. SUBMISSIONS: PROVIDE THE OWNER, AT THE COMPLETION OF THIS CONTRACT, WITH AN "OWNER'S MANUAL" SO LABELED. THE MANUAL SHALL CONSIST OF A THREE-RING LOOSE-LEAF BINDER CONTAINING ALL PRINTED MATTER SUCH AS: GUARANTEE CARDS, CLEANING INSTRUCTIONS, NOTICES TO OWNER, OPERATING MANUALS, SERVICE AGENTS AND MAINTENANCE INSTRUCTIONS THAT MAY BE CONTAINED IN THE SHIPPING CARTON OF EQUIPMENT AND

3. DELIVERY AND STORAGE: RECEIVE, UNLOAD, AND SAFEGUARD THE EQUIPMENT. COORDINATE SHIPPING TIME WITH OWNER.

4. PROTECTION AND CLEANING: SURFACES SHALL BE CLEANED

1. SEE EQUIPMENT SCHEDULE

1. INSTALL EQUIPMENT ACCORDING TO NFPA 96 AND MANUFACTURER'S INSTRUCTIONS, PROVIEDE FACTORY AUTHORIZED START &

1. SCOPE: COORDINATE INSTALLATION OF ARTWORK, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS, AND ACCESSORIES WHICH ARE FURNISHED UNDER SEPARATE

IF REQUESTED THROUGH THE CONTRACT, INSTALL DECOR, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR

2. NOTES: DETAILS AND MATERIALS SHOWN ON THE APPROVED DECOR DRAWINGS CONFLICTING WITH THE STANDARD PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF THE INSTALLATION. VERIFICATION OF ADA

3. DELIVERY AND STORAGE: RECEIVE AND SAFEGUARD OWNER SUPPLIED ITEMS ON THE JOB SITE IF REQUESTED.

1. INSTALLATION: PREPARE SURFACES TO RECEIVE THESE MATERIALS AND COOPERATE WITH THE INSTALLATION OF DECOR MATERIALS AS SHOWN ON

NOTES

<u>SYMBOL</u>

(TEXT) EQUIPMENT No.

- 1. IT IS THE RESPONSIBILITY OF THE G.C. TO COORDINATE DELIVERY, UNCRATING, POSITIONING, FINAL HOOK-UP AND REMOVAL OF TRASH OF ALL OWNER SUPPLIED KITCHEN EQUIPMENT.
- 2. ALL KITCHEN EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- 3. DECOR ITEMS SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
- 4. FOR DINING ROOM FURNITURE, SEE DECOR PACKAGE, CONTACT DECOR VENDOR FOR DETAILS.

* 4 2.5 *

	Sources inc.
	PROJECT NAME WINER'S NAME POPEYES MADISON, WI 6831 ODANA RD MADISON, WI DANE COUNTY ABYGROUPS 200 S FRONTAGE RC STE 330 BURR RIDGE, IL 60527 (847) 208-5656
45.500ft 8.000ft 12.052ft 1.334ft 8.000ft 4.00s 40.000ft	ISSUED FOR 1. AGENCY REVIEW 01/03/2021 2. AGENCY REVIEW 01/06/2021 3. AGENCY REVIEW 01/03/2021 4 5 6 7 8
	9. 10. 11. 12. 12. 12. 12. 12. 12. 11. 12. 11. 12. 11. 12. 13. 14. 15. 16. 17. 18. SHEET TITLE ALTERNATE PEDESTRIAN PEDESTRIAN
H 40'	ACCESS DRAWN KG CHECKED LND PM RCS PROJECT NUMBER SHEET NUMBER SHEET NUMBER 19055 1 OF 1

LEGEND

	PROPERTY LINE
	DRIVEABLE PATH FROM FIRE HYDRAM
\longrightarrow	WALKABLE PATH FROM FIRE TRUCK T
========	EXISTING CURB AND GUTTER
	PROPOSED ACCEPTING CURB AND GU
W	EXISTING WATER MAIN
v	PROPOSED WATER SERVICE
Q	EXISTING FIRE HYDRANT ASSEMBLY
\otimes	EXISTING WATER VALVE
θ	PROPOSED WATER SERVICE CURB BC
\$\$ \$\$	PROPOSED LIGHT POLE (SEE DETAILS ARCH. PLANS, AND CREE LIGHTING P

BUILDING DATA	
CONSTRUCTION TYPE	V-B UNPROTECTED, UNSPRINKLERED
OCCUPANCY CLASSIFICATION	A-2 ASSEMBLY - RESTAURANT
OCCUPANCY LOAD	70 PERSONS MAXIMUM
BUILDING AREA	2,984 SF
BUILDING HEIGHT	19' 0" (1 STORY)
FIRE PROTECTIONS SYSTEMS REQUIRED	NONE REQUIRED
KNOX BOX INCLUDED?	NONE
DISTANCE TO NEAREST FIRE HYDRANT	55'

AERIAL FIRE TRUCK

Aerial Fire Truck Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock-to-lock time Max Wheel Angle

ANT TO FIRE LANE K TO BUILDING

GUTTER

PLAN)

PROJECT NAME OWNER'S NAME

POPEYES MADISON, WI

6831 ODANA RD MADISON, WI DANE COUNTY

ABYGROUPS 200 S FRONTAGE RC STE 330 BURR RIDGE, IL 60527 (847) 208-5656

CONSULTANTS

IS	SUED FOR	
		DATE
1.	AGENCY REVIEW	10/14/2021
2.	AGENCY REVIEW	02/03/2020
3.		
4.	_	
5.		
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9.		
10.		
11.		
12.		
R	EVISIONS	
	ITEM	DATE
1.		
2.		
3.		
4.		
5.	—	
6.		

SHEET TITLE	
FIRE ACCES	SS PLAN
DRAWN	KG
CHECKED	LND
_PM	RCS

SHEET NUMBER

PROJECT NUMBER

19055

1 OF 1

CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / A	ddress		
Name of Project			
Owner / Contact			
Contact Phone		Contact Email	

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = $\underline{217,800}$ square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

(c) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Flomont	Minimum Size at	Points	Credits/ Lands	Existing caping	New/ Proposed Landscaping		
Flant Type/ Element	Installation	romus	Quantity	Points Achieved	Quantity	Points Achieved	
Overstory deciduous tree	2 ¹ / ₂ inch caliper measured diameter at breast height (dbh)	35					
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35					
Ornamental tree	1 1/2 inch caliper	15					
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10					
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3					
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4					
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2					
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.					
Existing significant specimen tree	Minimum size: 2 ¹ / ₂ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200					
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"					
Sub Totals							

Total Number of Points Provided _____

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) <u>Refuse Disposal Areas.</u> All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) <u>Outdoor Storage Areas.</u> Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) <u>Loading Areas.</u> Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) <u>Mechanical Equipment.</u> All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.

Luminaire Sc	chedule										
Symbol	Qty	Label	Arrangem	ient	LMF Lum	n. Lumens	Lum. Watts	Part Number		BUG Rating	
	4	4MB-16L-Q7	SINGLE		1.000 113	50	96	OSQM-B-16L	-57K7-4M-UL-NM-BZ-Q7 w/OSQ-ML-B-AA-BZ + OSQ-BLSLF	B1-U0-G2	
	1	4M-2(180)-16L-Q7	2@180°		1.000 148	00	96	OSQM-B-16L	OSQM-B-16L-57K7-4M-UL-NM-BZ-Q7 w/OSQ-ML-B-AA-BZ		
	6	H1	SINGLE		1.000 125	6	17.9	CL-H-18110-9	CL-H-18110-91-HL-D-91-13-LED2-30-DBCM-M		
	7	Dalt	SINGLE		1.000 120	0	14.5	Comparable to	Comparable to existing building lights		
Calculation S	Summary										
Label			Units	Avg	Max	Min	Avg/Min	Max/Min			
Paved Area			Fc	2.47	12.2	0.6	4.12	20.33			
Property Line Fo			Fc	0.18	0.5	0.0	N.A.	N.A.	N.A. Calculations on property line are at 4' AFG.		

FIXTURE MOUNTING HEIGHT: 27' AFG (25' POLE + 2.0' Base)

ADDITIONAL EQUIPMENT REQUIRED: (5) CL-SSP-4011-25-OT-BZ (25' x 4" x 11ga STEEL SQUARE POLE) (4) PB-1A4BZ SINGLE TENON

(1) PB-2A4BZ TWIN TENON

(6) OSQ-B-ML-AA-BZ ADJUSTABLE ARM MOUNT

PROPOSED POLES MEET 100MPH SUSTAINED WIND LOADS

9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

llumination results shown on this lighting design are based on project parameters provided to Cree Lighting used inconjunction with luminaire st procedures conducted under laboratory onditions. Actual project conditions differing om these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, ghting, or energy code.

SR-36676 Case #00478243

Type: CL-SSP-4011-25-D6-PS

CATALOG #

CL-SSP

MOUNTING

OT - Open Top

- TT Tenon Top
- D1 Drilled for Single
- D2 Drilled for Double at 180°
- D3 Drilled for Double at 90° D5 - Drilled for Triple at 90°
- D6 Drilled for Quad at 90°

SIZE/GAUGE

4011 - 4" Square/11ga (available on 18', 20' and 25' poles) 4007 - 4" Square/7ga (available on 25' and 30' poles) 5011 - 5" Square/11ga (available on 25', 26' poles) 5007 - 5" Square/7ga (available on 25', 28' and 30' poles)

FINISH

Polyester Powder Coat Finish

- BZ Bronze
- SV Silver
- BK Black
- WH White
- **PS** Platinum Silver

HEIGHT

18 - 18' **20** - 20' **25** - 25' **26** - 26'

28 - 28'

30 - 30'

SHAFT

- ASTM A-500 Grade B carbon steel
- Minimum 46,000 P.S.I. yield strength
- Drilled top includes removable cap
- Tenon top includes 2-3/8" O.D. x 4.0" H x .25" Thick tenon

BASE PLATE

- ASTM A-36 hot rolled carbon steel
- Minimum 36,000 P.S.I. yield strength
- Removable Base Cover
- 8.0" Square Base Plate (4" Poles)
- 11.0" Square Base Plate (5" Poles)
- 0.75" Thick Base Plate (11ga. Poles)
- 0.75" Thick Base Plate (7ga. 4" Poles)
- 1.0" Thick Base Plate (7ga. 5" Poles)
- Ø8.5" Bolt Circle (4" Poles)
- Ø10.5-11.5" Bolt Circle (5" Poles)
- 1.0" Bolt Holes (11ga. Poles)
- 1.25" Bolt Holes (7ga. Poles)
- 5.66" 6.36" Bolt Pattern Measurement (4" poles)
- 7.43" 8.13" Bolt Pattern Measurement (5" Poles)

ANCHOR BOLTS

- F1554 Grade
- Minimum 55,000 P.S.I. yield strength
- Fully galvanized
- 17.0" L x 0.75" Dia. J Bolts (11ga. Poles)
- 37.0" L x 1.0" Dia. J Bolts (7ga. Poles)
- Includes two hex nuts and two flat washers

HAND HOLE

- 3.0" x 5.0" Hand Hole w/ Cover
- Located 14.0" above base

ACCESSORIES

Templates

CS006S05 (4"/11ga Poles) CS006S06 (5"/11ga Poles) CS006S07 (5"/7ga Poles)

Anchor Bolts

CZ066X01R0 (11ga Poles) CZ066X03R0 (7ga Poles)

WARRANTY

One-year limited warranty. Certain exclusions apply. For details, contact factory.

T (800) 236-6800 F (262) 504-5415

Square Steel Poles

CL-SSP Series

	POLE DATA														
DIMENSIONS											EPA/WINDLOADING (sg. ft.)				
Pole Selection	Pole Size	Pole Gage	DIM "A" Pole Height	DIM "B" Base Plate	DIM "C" Min. Bolt Pattern	DIM "D" Max. Bolt Pattern	DIM "E" Bolt Circle	DIM "F" Anchor Bolt Diameter	DIM "G" Anchor Bolt Height	DIM "H" Anchor Bolt Width	80*	90*	100*	120*	
CL-SSP-4011-18	4″	11ga	18'	8" 50	5.66″	6 36"	ø8 5″	0.75″	17″	۲"	11 1	90	72	51	
CL-SSP-4011-20	4"	11ga.	20'	8″ SQ.	5.66"	6.36"	ø8.5″	0.75″	17"	3"	9.0	7.3	5.9	4.2	
CL-SSP-4011-25	4"	11ga.	25'	8″ SQ.	5.66″	6.36″	ø8.5″	0.75″	17″	3″	4.1	3.3	2.6	1.8.	
CL-SSP-4007-25	4"	7ga.	25'	8″ SQ.	5.66″	6.36″	ø8.5″	0.75″	17″	3"	9.7	7.8	6.3	4.5	
CL-SSP-5011-25	5″	11ga.	25'	11″ SQ.	7.43″	8.13″	ø10.5-11.5″	0.75″	17″	3"	8.5	6.9	5.6	4.0	
CL-SSP-5007-25	5″	7ga.	25'	11" SQ.	7.43″	8.13″	ø10.5-11.5″	1″	37"	4"	17.5	14.2	11.4	8.1	
CL-SSP-5011-26	5″	11ga.	26'	11″ SQ.	7.43″	8.13″	ø10.5-11.5″	0.75″	17″	3"	4.8	3.9	3.1	2.2	
CL-SSP-5007-28	5″	7ga.	28′	11″ SQ.	7.43″	8.13″	ø10.5-11.5″	1″	37"	4"	11.4	9.2	7.4	5.3	
CL-SSP-5007-30	5″	7ga.	30'	11″ SQ.	7.43″	8.13″	ø10.5-11.5″	1″	37"	4"	10.6	8.6	6.9	4.9	
* 17															

OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology – Medium & Large

Rev. Date: V5 09/14/2021

Product Description

The OSQ[™] Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 6L lumen package is a suitable upgrade for HID applications up to 250 Watt, and the 11L lumen package is a suitable upgrade for HID applications up to 400 Watt. The 22L lumen package is a suitable upgrade for HID applications up to 750 Watts, and the 30L lumen package is a suitable upgrade for HID applications up to 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways

Performance Summary

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

NanoOptic[®] Precision Delivery Grid[™] optic

Assembled in the U.S.A. of U.S. and imported parts

* Reference EPA and pole configuration suitability data beginning on page 10

Initial Delivered Lumens: 4,000 - 30,000

Efficacy: Up to 173 LPW

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K. 4000K. 5000K. 5700K

Limited Warranty⁺: 10 years on luminaire; 10 years on Colorfast DeltaGuard[®] finish; up to 5 years for Synapse[®] accessories; 1 year on luminaire accessories

^t See <u>http://creelighting.com/warranty</u> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms. **Ordering Information**

Fully assembled luminaire is composed of two components that must be ordered separately: Example: Mount: OSQ-ML-B-AA-BK + Luminaire: OSQM-B-4L-30K7-2M-UL-NM-BK

Mount (Luminaire must be ordered separately)*			
05Q-			
OSQ-ML-B-AA Adjustable Arm OSQ-ML-B-DA Direct Arm	Color Ontions:	SV Silver	BZ Bronze
OSQ-ML-B-TSP Transportation Mount (stainless steel; do not specify color) OSQ-ML-B-TM Trunnion Mount	options.	BR Black	

OSQ-ML-B-DA Mount

Luminaire	Weight
OSQM	28.9 lbs. (13.1kg)
OSQL	32.4 lbs. (14.7kg)

Note: Refer to page 11 for fixture mounting drill pattern. For additional mounts, refer to drawings beginning on page 19

Luminaire (Mount must be ord			ordered	separately)						
OSQ		В								
Family	Size	Series	Lumen Package†	CCT/CRI	Optic	Voltage	Mount	Color Options	Controls**	Options
	M Međium L Large	в	Medium 4L 4,000 Lumens 6L 6,000 Lumens 9L 9,000 Lumens 11L 11,000 Lumens 16L 16,000 Lumens 30L 30L 30L 30L	30K7 3000K, 70 CRI 40K7 4000K, 70 CRI 50K9 5000K, 70 CRI 57K7 570K, 70 CRI	Asymmetric 2M* Type II Medium 3M* Type II Medium 4M* Type IV Medium 5M Type V Medium 5N Type V Medium 5N Narrow 50 NEMA* 3x3 44 55 NEMA* 5x5 66 NEMA* 5x5 56 51 NEMA* 7x5 S1 51 51 51 51 51 51 51 52 55 56 56	UL Universal 120-277V UH Universal 347-480V - Not available with 4L or 6L lumen packages	NM No Mount - Must specify mount from table above - Mount ships separately	BK Black BZ Bronze SV Silver WH White	 PML Programmable Multi-Level, up to 40' Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0' tilt PML2 Programmable Multi-Level, 10-30' Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0' tilt PMC4 Programmable Multi-Level, 10-30' Mounting Height Refer to PML spec sheet for details Intended for downlight applications at 0' tilt Og/08/07/06/05/04/02/02/01 Field Adjustable Output Must select 09, 08, 07, 06, 05, 04, 03, 02, or 01 Offers full range adjustability Refer to pages 12-18 for power and lumen values Not available with PML or PML2 options XB/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output Must select ad X8, X7, X6, X5, X4, X3, X2, or X1 Not available with PML or PML2 options Lumen output is permanently locked to the setting selected Refer to pages 12-18 for power and lumen values 	 20KV 20kV/10kA Surge Suppression Replaces standard 10kV surge protection Fuse Compatible with 120V, 277V or 347V [phase to neutral] Consult factory if fusing is required for 208V, 240V or 480V [phase to phase] Refer to PML spec sheet for availability with PML options When code dictates fusing, use time delay fuse R NEMA* 7-Pin Photocell Receptacle 7-pin receptacle per ANSI C136.41 Intended for downlight applications with maximum 45* tilt Factory connected 0-10V dim leads 18" (457mm) seven-conductor cord exits luminaire Requires photocell or shorting cap by others RL Rotate Left LED and optic are rotated to the left Refer to RR/RL configuration diagram on page 19 for optic directionality Not for use with symmetric optics RR Rotate Right LED and optic are rotated to the right Refer to RR/RL configuration diagram on page 19 for optic directionality Not for use with symmetric optics

¹ Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values * Available with Backlight Shield when ordered with field-installed accessory (see table above)

** Luminaire comes standard with 0-10V dimming

US: <u>creelighting.com</u> (800) 236-6800 Canada: <u>creelighting-canada.com</u> (800) 473-1234

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- · Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink
- Convenient interlocking mounting method on direct arm. Mounting adaptor is rugged die cast aluminum and mounts to 3" (76mm) or larger square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers. Refer to page 11 for fixture mounting drill pattern.
- Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) 0.D. tenon.
- Adjustable arm mount can be adjusted 180° in 2.5° increments.
- Transportation mount is constructed of 316 stainless steel and mounts to surface with (4) 3/8" fasteners by others
- Trunnion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunnion mount secures to surface with (1) 3/4" bolt or (2) 1/2" or 3/8" bolts
- Luminaires ordered with NM mount include 18" (340mm) 18/5 or 16/5 cord exiting the luminaire; when combined with R option, 18" (340mm) 18/7 or 16/7 cord is provided
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

Weight						
Maunt	Housing					
Mount	Medium	Large				
OSQ-ML-B-AA	28.4 lbs. (12.9kg)	32.0 lbs. (14.5kg)				
OSQ-ML-B-DA	28.9 lbs. (13.1kg)	32.4 lbs. (14.7kg)				
OSQ-ML-B-TSP	42.0 lbs. (19.1kg)	44.0 lbs. (20.0kg)				
OSQ-ML-B-TM	32.6 lbs. (14.8kg)	36.1 lbs. (16.4kg)				

ELECTRICAL SYSTEM

Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers

- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Integral 10kV surge suppression protection standard; 20kV surge suppression protection optional
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- Refer to Dimming spec sheet for details
- Maximum 10V Source Current: 1.0mA
- Operating Temperature Range: -40°C - +40°C (-40°F - +104°F)

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed (UL1598)
- Suitable for wet locations
- Meets NEMA C82.77 standards
- Drivers and LEDs are UL Recognized in accordance with UL8750
- · Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2018, 3G bridge and overpass vibration standards
- ANSI C136.2 10kV (standard) and 20kV (optional) surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct or transportation mounts only. Please refer to https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/ for most current information
- DLC Premium qualified versions available. Please refer to <u>https://www.designlights.org/</u> search/ for most current information
- CA RESIDENTS WARNING: Cancer and Reproductive Harm -

Product Specifications

SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-B2) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience

Synapse Wireless Sensor WSN-DPM

- Motion and light sensor

- Verizon® LTE-enabled

BMS-GW-002

Outdoor Antennas

KIT-ANT420SM

KIT-ANT360

KIT-ANT600

details

SimplySNAP On-Site Controller SS450-002

 Designed for indoor applications - Refer to <u>SS450-002</u> spec sheet for details Building Management System (BMS) Gateway

- Required for BACnet integration

Refer to <u>BMS-GW-002</u> spec sheet for details

(Optional, for increased range, 8dB gain)

- Kit includes antenna, 20' cable and bracket

Kit includes antenna, 30' cable and bracket

- Kit includes antenna, 50' cable and bracket

- Refer to Outdoor antenna spec sheet for

- Control multiple zones - Refer to <u>WSN-DPM</u> spec sheet for details

Synapse Wireless Control Accessories Twist-Lock Lighting Controller

TL7-B2

- Suitable for 120-277V (UL) voltage only Requires NEMA/ANSI C136.41 7-Pin
- Dimming Receptacle
- Not for use with PML or PML2 options Provides On/Off switching, dimming, power metering, digital sensor input, and status
- monitoring of luminaire Refer to <u>TL7-B2</u> spec sheet for details **Twist-Lock Lighting Controller**

TL7-HVG

- Suitable for 120-480V (UL and UH) voltage Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle
- Not for use with PML or PML2 options Provides On/Off switching, dimming, power metering, digital sensor input, and status
- monitoring of luminaire Refer to TL7-HVG spec sheet for details

SimplySNAP Central Base Station

- CBSSW-450-002 Includes On-Site Controller (SS450-002) and 5-button switch
- Indoor and Outdoor rated
- Refer to CBSSW-450-002 spec sheet for details

Electrical Data*										
Lumen	Ontin	System	Utility	Total Current (A)						
Package	Optic	120-480V	Wattage	120V	V 208V 240V 277V 347V				480V	
4L**	All	29	30	0.25	0.14	0.12	0.11	N/A	N/A	
/1 **	Asymmetric	48	50	0.41	0.23	0.20	0.17	N/A	N/A	
0L++	Symmetric	39	40	0.33	0.19	0.17	0.14	N/A	N/A	
9L	All	60	60	0.51	0.29	0.25	0.22	0.18	0.13	
11L	All	72	70	0.62	0.36	0.31	0.27	0.21	0.16	
16L	All	104	100	0.89	0.51	0.43	0.39	0.31	0.22	
22L	All	132	130	1.12	0.63	0.55	0.47	0.39	0.28	
30L	All	202	200	1.72	0.96	0.84	0.72	0.60	0.43	
* Electrical data at	25°C (77°F). Actu	al wattage may d	liffer by +/- 10%	when op	erating b	etween 12	20-277V o	r 347-480	V+/-10%	

** Available with UL voltage only

OSQ Series Ambient Adjusted Lumen Maintenance¹

Ambient	Optic	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Reported²/ Estimated ³ LMF	100K hr Reported ² / Estimated ³ LMF
5°C (/1°E)	Asymmetric	1.04	1.03	1.01	0.99 ²	0.97 ²
J C (41 F)	Symmetric	1.05	1.05	1.05	1.05 ³	1.05 ³
10°C	Asymmetric	1.03	1.02	1.00	0.98 ²	0.96 ²
(50°F)	Symmetric	1.04	1.03	1.03	1.03 ³	1.03 ³
15°C	Asymmetric	1.02	1.01	0.99	0.97 ²	0.95 ²
(59°F)	Symmetric	1.02	1.02	1.02	1.02 ³	1.02 ³
20°C	Asymmetric	1.01	1.00	0.98	0.96 ²	0.94 ²
(68°F)	Symmetric	1.01	1.01	1.01	1.01 ³	1.01 ³
25°C	Asymmetric	1.00	0.99	0.97	0.95 ²	0.93 ²
(77°F)	Symmetric	1.00	1.00	1.00	1.00 ³	1.00 ³

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the Temperature Zone Reference Document for outdoor average nighttime ambient

conditions. ² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED. ³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Accessories

Bird Spikes 0SQ-MED-BRDSPK

OSQ-LG-BRDSPK

Field-Installed **Backlight Shield (Front Facing Optics)** OSQ-BLSMF (Medium) OSQ-BLSLF (Large) Backlight Shield (Rotated Optics) OSQ-BLSMR (Medium) OSQ-BLSLR (Large)

Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level ontion a minimum of one

Shorting Cap XA-XSLSHRT

hand-held remote is required CREE 🔶 LIGHTING

Luminaire Schedule											
Symbol	Qty	Label	Arrangement	t	LMF	Lum. Lumen	S	Lum. Watts	Part Number		BUG Rating
	4	4MB-16L	SINGLE		1.000	12350		104	OSQM-B-16L-57	K7-4M-UL-NM-BZ w/OSQ-ML-B-AA-BZ + OSQ-BLSLF	B1-U0-G2
	1	4M-2(180)-16L	2 @ 180°		1.000	16100		104	OSQM-B-16L-57	K7-4M-UL-NM-BZ w/OSQ-ML-B-AA-BZ	B2-U0-G3
	6	H1	SINGLE		1.000	1256		17.9	CL-H-18110-91-H	IL-D-91-13-LED2-30-DBCM-M	B1-U0-G0
\bigcirc	7	Dalt	SINGLE		1.000	1200		14.5	Comparable to ex	kisting building lights	B1-U0-G0
Calculation Summary											
Label			Units	Avg		Max	Min	A∨g/Min	Max/Min		
Paved Area			Fc	2.65		12.3	0.7	3.79	17.57		
Property Line	;		Fc	0.20		0.5	0.0	N.A.	N.A.	Calculations on property line are at 4'	AFG.

FIXTURE MOUNTING HEIGHT: 27' AFG (25' POLE + 2.0' Base)

ADDITIONAL EQUIPMENT REQUIRED:

(5) CL-SSP-4011-25-OT-BZ (25' x 4" x 11ga STEEL SQUARE POLE)

(4) PB-1A4BZ SINGLE TENON (1) PB-2A4BZ TWIN TENON

(6) OSQ-B-ML-AA-BZ ADJUSTABLE ARM MOUNT

PROPOSED POLES MEET 100MPH SUSTAINED WIND LOADS

A COMPANY OF **IDEAL INDUSTRIES, INC.**

9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

llumination results shown on this lighting design are based on project parameters provided to Cree Lighting used inconjunction with luminaire st procedures conducted under laboratory onditions. Actual project conditions differing om these design parameters may affect field esults. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, ghting, or energy code.

SR-36676 Case #00478243

EXTERIOR DESIGN **POPEYES LOUISIANA KITCHEN** 6831 Odana Rd. Madison WI. Zoned CC - sign Group 3

Signage is shown as proposed. See Architectural elevations for wall material types.

Elevate Sign Group 1120 N. Ridge Ave., Lombard, IL 60148 T: 630-656-1085 www.elevatesigngroup.com

Sign D sqft 92.4 sqft

Individual Non-Illuminated Letters

Aluminum cabinet covers post and is the backer for the channel letter cabinets 7'-10" 4'-11" Logo 4'-6" 8'**-**0" POPeyes 3000 psi concrete 42

24 in

Monument Sign

Sign H & I 3.1 sqft ea

POPEYES LOUISIANA KITCHEN 6831 Odana Rd. Madison WI. Zoned CC - sign Group 3

Elevate Sign Group 1120 N. Ridge Ave., Lombard, IL 60148 T: 630-656-1085 www.elevatesigngroup.com

WOOD GRAIN

WHITE - BACK SPRAYED PAINT

DIRECTIONAL SIGN

SIGN AREA = 3.12 SQ. FT. EA.

DRIVE-THRU EQUIPMENT: DIGITAL MENU BOARD AND PREVIEW BOARD

	Specifications & Measurements								
	Diagonal Sizo	TV	46"						
	Diagonal Size	Screen	45.0" /116.8cm						
	Туре		120Hz E-LED BLU						
	Resolution		1920 x 1080 (16:9)						
Display	Brightness (Typ.)		2,500						
	Contrast Ratio (Typ.)		5000:1						
	Viewing Angle (H/V)		178/178						
	Response Time (G-to-G	5)	6ms						
	Operation Hour		24/7						
		RGB	N/A						
	Input	Video	HDMI 1.4 (2), HDBaseT (LAN Common)						
Connectivity	input	HDCP	HDCP 2.2						
Connectivity		USB	USB 2.0 (1)						
	Output	Audio	Stereo Mini Jack						
	External Control		RS232C (In/Out), RJ45 (In/Out), HDBaseT						
	Туре		Internal						
	Power Supply		AC100-240V~(+/-10%),50/60Hz						
Dowor Tupo		Max [W / H]	468						
Power Type	Power Consumption	Typical [W / H]	440						
	Power consumption	Sleep Mode	<0.5W						
		Off Mode	<0.5W						
Dimonsions	Pre-sell (1 x 1)		24.9" x 4" x 64"						
Dimensions	Menu Board (1 x 3)		75.3" x 4" x 64"						
Woight	Pre-sell (1 x 1)		235 lb.						
weight	Menu Board (1 x 3)		490 lbs.						