

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

2/7/22
11:19 a.m.

RECEIVED

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Project contact person _____

Company _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

Property owner (if not applicant) _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Colin Punt & Jacob Maskowitz on 05/01/2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Aby Mohamed Relationship to property Developer
 Authorizing signature of property owner  Date 10/29/2021

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*** All plans must be legible, including the full-sized landscape and lighting plans (if required)*

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Date: February 3, 2022

Mr. Kevin Firchow
Principal Planner, Development Review
City of Madison - Urban Design Commission
215 Martin Luther King Jr. Blvd.
Madison, Wisconsin 53703

Re: Letter of Intent – Popeye’s Madison, WI
6831 Odana Road

Mr. Kevin Firchow

The following is submitted together with the plans and application for the staff and Urban Design Commission’s consideration of approval.

This letter has been updated. Updates are highlighted.

Introduction:

The existing site serves as a parking area south of the Burlington Coat Factory strip mall. The 0.97-acre site is zoned in the CC Commercial Center District and is not a part of an Urban Design District. This application seeks the approval of the proposed improvements to develop the site into the proposed Popeyes Louisiana Kitchen restaurant with a drive-thru, paved parking areas, and landscaped areas. The proposed use is considered a Conditional Use by the City of Madison.

The restaurant is anticipated operate between 10 a.m. and 10 p.m. daily. It has indoor seating for 36 patrons, 19 drive-thru spaces, 19 parking on-site parking spaces, and 4 bicycle rack spaces. Adjacent to the site along Odana Road is Bus Stop 6357, which has hourly Metro Transit service on weekdays.

This Popeyes location is anticipated to employ approximately ten community members on each shift. Construction is expected to start in **summer** 2022 with an opening date in **fall** 2022.

The project team consists of Aby Mohamed of Aby Groups, the site developer and franchisee, civil engineer Lauren Downing of Arc Design Resources, and Mary Panter of Linden Group Architects. Signage is provided by Elevate Sign Group and exterior lighting is provided by Cree.

Plan Updates

The site plan has been updated to avoid large retaining walls in along Odana road. This was completed by:

- **Providing two (2) 2’ retaining walls at the northeast corner of the site creating a terraced look.**
 - **Wall type has not been finalized. We anticipate utilizing a wall similar to the Keystone Compact lighter stone look, similar to what is on the site today.**



- Keystone Compac:
- Revision of switchback ramp to stairs and addition of sidewalk connection to the west. Elimination of the switchback ramp eliminates the tall 7' retaining wall.

The site plan has been revised to route the drive-thru stacking along the south side of the lot. This eliminates patrons which are dining in from crossing the drive-thru area. The resulting access to the south has been moved to the west to accommodate this change.

Project Description:

This fast-food restaurant development is a new conditional use in the CC Commercial Center district.

Alder Keith Furman (District 19) has been notified of the proposed conditional use and has agreed to waive the 30-day notification waiver.

The following improvements to the site will be made:

1. Public Rights-of-Way
 - a. Metro Transit stop 6357 is located at the northwest corner of the site in the Odana Road right-of-way. Pedestrian connectivity is provided to the bus stop and Odana Road sidewalk via an ADA accessible ramp to the main entrance of the building.
 - b. All trees in the public right-of-way will be protected and preserved.
2. Off-Street Parking and Loading Areas
 - a. The existing site serves as a parking area for the Burlington Coat Factory retail area to the south of the site. The existing parking area will be demolished and a new parking area with 19 parking spaces, including one ADA accessible space. The parking area is landscaped on all sides and features several landscaping islands.
 - b. Popeyes conducts a large proportion of sales through the drive-thru. Eighteen drive-thru queue spaces and two order stations are proposed.
3. Signs
 - a. The proposed signage is consistent with the new branding of Popeye's Louisiana Kitchen. Proposed signs are consistent with signage of the surrounding businesses. A monument sign will be installed along the Odana Road right-of-way. Most signs are internally illuminated. A sign packet is included with the submittal.

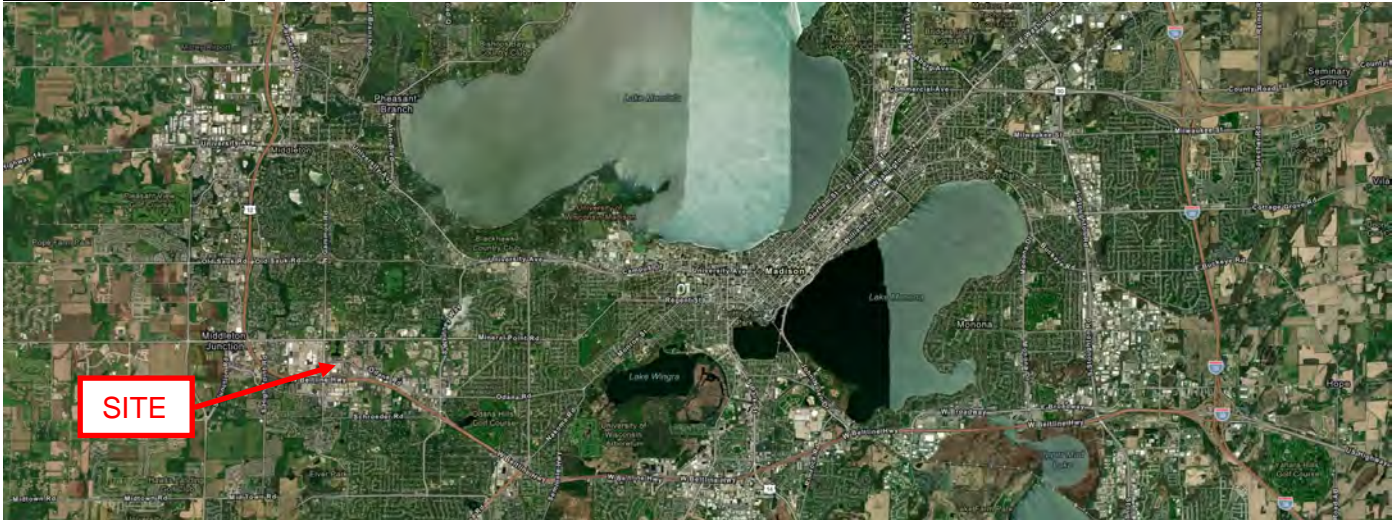
- b. Two monument signs for the retail stores to the south of the site will be preserved on the site. A monument sign for Burlington Coat Factory is located on the northwest side of the site and a monument sign for JOANN Fabrics and Hand & Stone Massage and Facial Spa is located at the northeast corner of the site.
4. Building Design
 - a. The proposed Popeyes restaurant is an all-new building type released in the summer of 2021. The 2,984 square-foot building features seating for 36 patrons and mobile order pick-up stations. The building exterior features attractive brick, wood-grain fiber cement panels, decorative exterior artwork and accents, and Popeyes' signage and branding elements.
 5. Lighting
 - a. Exterior lighting is designed and provided by Cree to meet the City's medium activity lighting requirements.
 6. Landscaping
 - a. Several trees and landscaped areas must be removed to facilitate construction of this development. One mature tree will be preserved. All trees in the Odana Road right-of-way will be preserved.
 - b. There are several landscaping beds along the building perimeter with a variety of flowering perennials and evergreen shrubs to maintain an attractive appearance year-round.
 - c. The site perimeter is landscaped to screen the trash enclosure and transformer area from public view.
 - d. The site features four retaining walls to manage grade changes across the site.
 7. Stormwater Management
 - a. The existing site has three inlets to capture runoff from the retail development to the south of the site. These will be removed, and three inlets will be installed in the south access road to capture runoff from this area.
 - b. A detention basin will be constructed on the north side of the site to achieve the release rate and water quality measures required.

City and Neighborhood Input:

Alder Keith Furman has agreed to waive the 30-day notification prior to submitting for a conditional use.

A DAT meeting was conducted in July 2021. The Traffic Engineering department suggested pedestrian connectivity from the building to the Metro Transit bus stop, which is provided. Additionally, west sidewalk will be routed to connect to the pedestrian route leading to the retail stores to the south of the development. The west access driveway is an exit-only route to prevent traffic congestion backing up to Odana Road.

Site Locator Map



Existing Site and Surrounding Buildings and Signs:



Photo 1: Site from Odana Road sidewalk (dated July 1, 2021)



Photo 2: Site from Odana Road sidewalk (dated July 1, 2021)



Photo 3: Site from Odana Road sidewalk at bus stop (dated July 1, 2021)



Photo 4: Site from southeast corner via Google (dated August 2018)



Photo 5: Site from southwest corner via Google (dated August 2018)



Photo 6: Burger King to west of site - 6909 Odana Road (dated July 1, 2021)



Photo 7: Multi-tenant retail building to east of development via Google (dated August 2018)



Photo 8: Multi-tenant retail building to south of development via Google (dated August 2018)



Photo 9: Multi-tenant retail building to north of development via Google (dated August 2018)

Site Development Data:

Gross Lot Area:	42,375 square feet (0.972 acres)
Proposed Building Area:	2,984 square feet
Paved Area:	23,274 square feet
Landscaped Area:	16,117 square feet
Proposed Drive-Through Stacking:	19 spaces
Proposed Parking:	19 stalls / 1 ADA
Proposed Bicycle Parking:	4 spaces

Thank you for your consideration in review of our proposal.

Sincerely,

Lauren N Downing

Lauren Downing

POPEYES MADISON, WI

6831 ODANA RD
MADISON, WI

ARC DESIGN
RESOURCES INC.

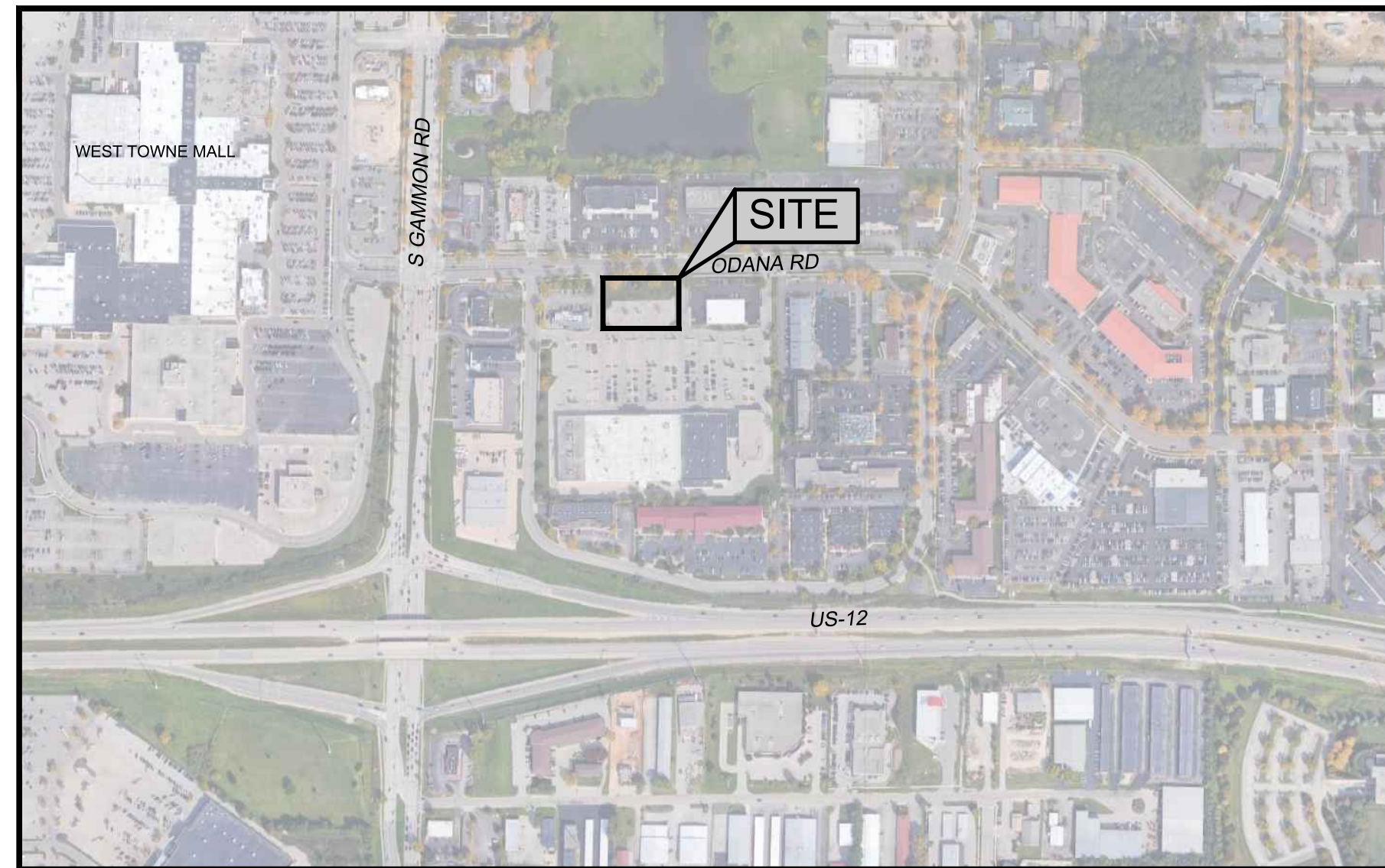
5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 2411-11

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the City, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and WisDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the owner's "Description of Work", the City of Madison, the State of Wisconsin, and this plan set.
- The City of Madison must be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per WisDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, gas, telephone, electric, cable, and other utilities, if any. The Diggers Hotline number is 1-800-242-8511. Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the Village with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Notify the owner and the City of Madison of any existing wells. Obtain permit from the Wisconsin DNR. Cap and abandon wells in accordance with local, state, and federal regulations.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

VICINITY MAP



INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
C00	COVER
C01	GENERAL NOTES
C02	SWPPP PLAN
C03	REMOVALS PLAN
C04	LAYOUT PLAN
C05	GRADING PLAN WEST
C06	GRADING PLAN EAST
C07	DRAINAGE PLAN
C08	UTILITY PLAN
C09	POPEYES' DETAILS
C10	POPEYES' DETAILS
C11	DETAILS
C12	DETAILS
C12	CITY OF MADISON DETAILS
C13	CITY OF MADISON DETAILS
C14	WISDOT DETAILS
L01	LANDSCAPING PLAN

PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RD STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

ISSUED FOR

APPROVAL

CITY OF MADISON, WI
STATE OF WISCONSIN DSPS (PLUMBING)
STATE OF WISCONSIN DNR (NOTICE OF INTENT)

DATE

PENDING
PENDING
PENDING

ISSUED FOR	DATE
1. AGENCY REVIEW	10/27/2021
2. AGENCY REVIEW	02/04/2022
3. ---	---
4. ---	---
5. ---	---
6. ---	---
7. ---	---
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9. ---	---
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REVISIONS	DATE
1. ---	---
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5. ---	---
6. ---	---



CALL DIGGERS HOTLINE BEFORE
YOU DIG
CALL 811 OR 1-800-242-8511

UTILITY OFFICIALS

PUBLIC WORKS DEPARTMENT:
CITY OF MADISON
PUBLIC WORKS DEPARTMENT
210 MARTIN LUTHER KING JR. BLVD.
MADISON, WI 53703
(608) 267-8815

PUBLIC WORKS INSPECTION:
CITY OF MADISON
PUBLIC WORKS DEPARTMENT
210 MARTIN LUTHER KING JR. BLVD.
MADISON, WI 53703
(608) 267-8815

SEWER DISTRICT:
MADISON METROPOLITAN SEWERAGE DISTRICT
1610 MOORELAND RD.
MADISON, WI 53713
(608) 222-1201

WATER DEPARTMENT:
MADISON WATER UTILITY
119 E. OLIN AVE.
MADISON, WI 53713
(608) 226-4651

TELEPHONE:
AT&T
(855) 496-1228

CABLE TELEVISION:
SPECTRUM
2936 S. FISH HATCHERY RD.
FITCHBURG, WI 53711
(866) 874-2389

ELECTRIC:
MADISON GAS & ELECTRIC
133 S. BLAIR ST.
MADISON, WI 53703
(608) 252-7222

GAS:
MADISON GAS & ELECTRIC
133 S. BLAIR ST.
MADISON, WI 53703
(608) 252-7222

OWNER:

ABYGROUPS

ABY MOHAMED
200 S FRONTAGE RD STE 330
BURR RIDGE, IL 60527
(847) 208-5656

ENGINEER:

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

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SHEET TITLE

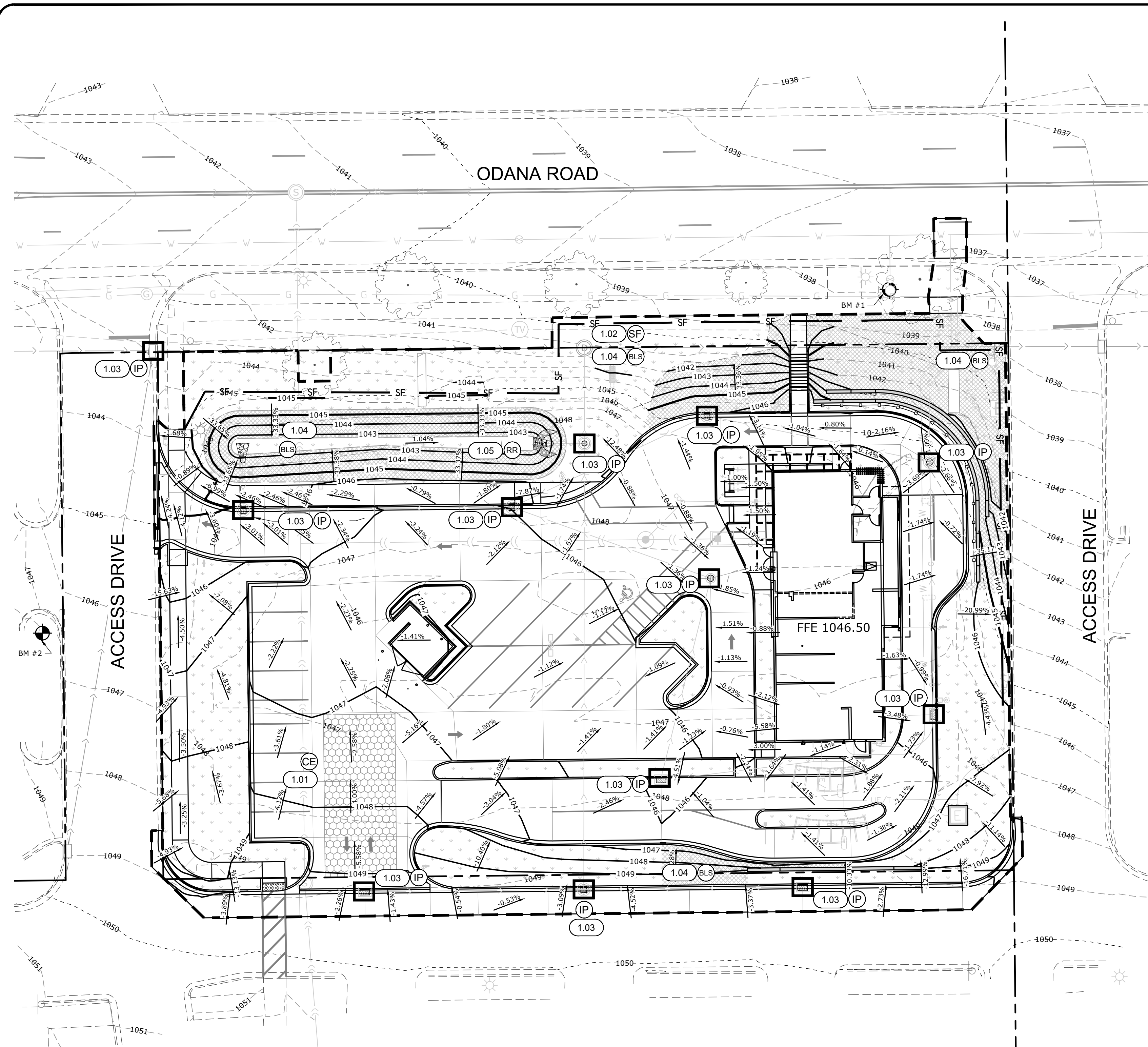
COVER

DRAWN KG
CHECKED LND
PM RCS

PROJECT NUMBER
SHEET NUMBER

19055

C00



LEGEND

- SEE SITE PLAN SET FOR EXISTING SYMBOLS
- PROPERTY LINE
 - - - LIMITS OF DISTURBANCE
 - - - APPROXIMATE LIMITS OF GRADING
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - 800 PROPOSED CONTOUR LINE
 - 800 EXISTING CONTOUR LINE
 - PROPOSED CURB AND GUTTER
 - PROPOSED CATCH BASIN OR MANHOLE
 - △ PROPOSED FLARED END SECTION
 - 1.6% DIRECTION OF OVERLAND FLOW AND SLOPE
 - LANDSCAPED AREA
 - X XX SEE SPECIFIC KEY NOTE ON THIS SHEET
- EROSION CONTROL LEGEND**
- 1.01 CE TEMPORARY STONE CONSTRUCTION EXIT
 - 1.02 SF TEMPORARY SILT FENCE
 - 1.03 IP CIP INLET PROTECTION PER STRUCTURE TYPE
 - 1.04 BLS SHORT TERM SLOPE EROSION CONTROL BLANKET DURING CONSTRUCTION ACTIVITIES
 - 1.05 RR PERMANENT RIP RAP PAD - SEE CITY OF MADISON ENGINEERING DETAIL 5.4.4 RIP RAP AT APRON ENDWALLS

EROSION CONTROL REFERENCE NOTES

- 1.01 SEE CITY OF MADISON ENGINEERING STANDARD DETAIL DRAWING 1.07 CONSTRUCTION ENTRANCE ON SHEET C12 - CITY OF MADISON DETAILS. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 12' IN WIDTH AND 50' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02 SEE WISDOT SILT FENCE DETAIL SDD 889-6 AND INCLUDED ON SHEET C14 - WISDOT DETAILS. THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE EROSION CONTROL SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03 SEE WISDOT INLET PROTECTION TYPE A, B, C, AND D DETAIL SDD 8E10-2 OR SDD 8E8-3 AND INCLUDED ON SHEET C14 - WISDOT DETAILS OR CITY OF MADISON ENGINEERING STANDARD DETAIL 1.11 RIGID FRAME INLET PROTECTION ON SHEET C12 - CITY OF MADISON DETAILS. NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE INLET PROTECTION. UPON INSTALLATION OF THE GRATE, INLET PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.
- 1.04 SEE CITY OF MADISON ENGINEERING STANDARD DETAIL DRAWING 1.02 EROSION MAT ON SHEET C12 - CITY OF MADISON DETAILS. SHORT TERM EROSION CONTROL FABRIC SHALL BE APPLIED TO ALL SLOPES 4:1 OR STEEPER THAN 4:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE EROSION MAT HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
- 1.05 SEE CITY OF MADISON ENGINEERING STANDARD DETAIL DRAWING 5.4.4 RIP RAP AT APRON ENDWALLS ON SHEET C13 - CITY OF MADISON DETAILS.

STORMWATER OUTFLOW CONTRIBUTING AND RECEIVING WATERS

FROM SITE - DRAINAGE AREA "A" (0.97 ACRES) CONSISTING OF LANDSCAPED AREAS, PAVED AREAS AND ROOF TOP AREAS. ALL FLOWS TREATED BY PERIMETER AND INTERMEDIATE BMP'S AND TRANSPORTED VIA OVERLAND AND STORM SEWER. THIS DRAINAGE AREA ULTIMATELY DRAINS TO THE SOUTHEAST OF THE SITE WHERE IT LEAVES THE SITE VIA UNDERGROUND STORM SEWER IN THE ODANA ROAD RIGHT OF WAY.

TO RECEIVING WATERS - ULTIMATELY CONVEYED TO THE ROCK RIVER.

SITE DESCRIPTION

SITE LOCATION, ADDRESS OR INTERSECTION CORNER IN DANE COUNTY, BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 7 NORTH, RANGE 8 EAST, OF THE THIRD PRINCIPAL MERIDIAN.

LATITUDE: 43.05628°
LONGITUDE: -89.50016°

ADJACENT PROPERTIES: THE SITE IS BORDERED BY MULTI-TENANT COMMERCIAL BUILDINGS TO THE NORTH, EAST, AND SOUTH, AND A FAST FOOD RESTAURANT TO THE WEST.

SITE TOPOGRAPHY: THE SITE GENERALLY SLOPES FROM THE SOUTH TO THE NORTH, WITH THE LOWEST POINTS BEING AT THE NORTHEAST CORNER OF THE SITE. THE EXISTING SITE SERVES AS A PARKING AREA WITH ASPHALT PARKING AREAS AND LANDSCAPED AREAS.

RAINFALL INFORMATION: THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS APPROXIMATELY 36 INCHES.

POST CONSTRUCTION CONDITIONS: POST-CONSTRUCTION RUNOFF COEFFICIENT OF THE SITE: 64 (IMPERVIOUS C = 38, PERVIOUS C = 61).

TOTAL SITE AREA: LIMITS OF SITE = 0.97 AC±
LIMITS OF DISTURBANCE = 1.07 AC±
SITE IMPERVIOUS AREA: 0.80 AC±
SITE LANDSCAPED AREA: 0.37 AC±

ENVIRONMENTAL PERMITS - OTHER THAN NPDES, STORMWATER AND/OR EROSION AND SEDIMENT CONTROL, WETLANDS-NONE

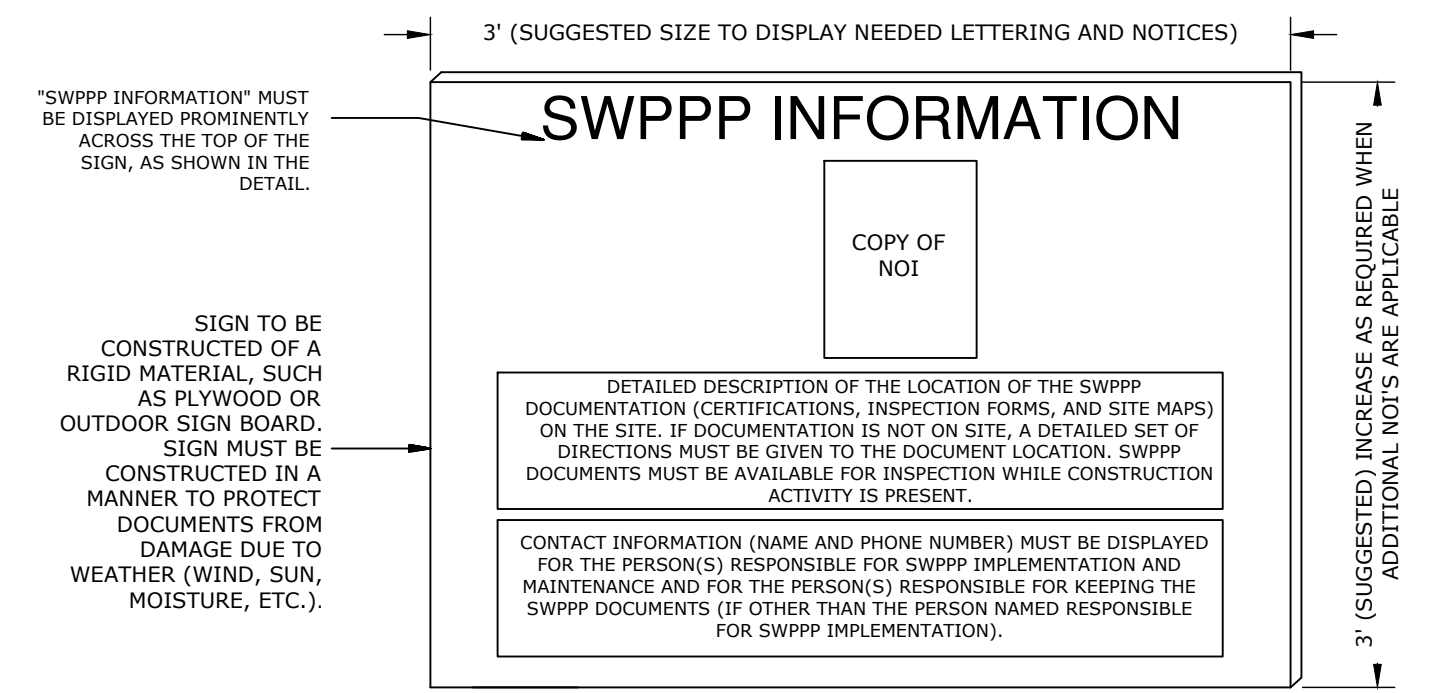
THREATENED AND ENDANGERED SPECIES: THERE ARE NO KNOWN ISSUES RELATED TO THREATENED AND ENDANGERED SPECIES

HISTORICAL PROPERTIES: THERE ARE NO KNOWN ISSUES RELATED TO HISTORICAL PRESERVATION

SEQUENCE OF CONSTRUCTION

1. PLACE SWPPP BOX ON SITE. SWPPP BOX SHALL CONTAIN A COPY OF THE LETTER OF COVERAGE AND ILLINOIS GENERAL PERMIT. SWPPP BOX SHALL CONSIST OF LARGE MAILBOX WITH THE LETTERS "SWPPP" ON THE SIDES. MAILBOX SHALL BE SUPPORTED BY A 4"x4" POST IN A 5-GALLON BUCKET OF CONCRETE, TO ALLOW THE BOX TO BE PORTABLE AND REUSABLE.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONSTRUCT THE SILT FENCES ON THE SITE. INSTALL INLET PROTECTION DEVICES IN EXISTING STRUCTURES.
4. DEMOLISH BUILDINGS.
5. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
6. CONSTRUCT TEMPORARY SEDIMENT TRAP AND INSTALL OUTLET CONTROL PROTECTION AND LEVEL SPREADER
7. INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS. INSTALL INLET PROTECTION CONCURRENTLY.
8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
9. PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
10. PAVE AREA OF SITE.
11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED.)

SWPPP INFORMATION SIGN



ARC DESIGN RESOURCES INC.

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PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RD STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

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SWPPP PLAN

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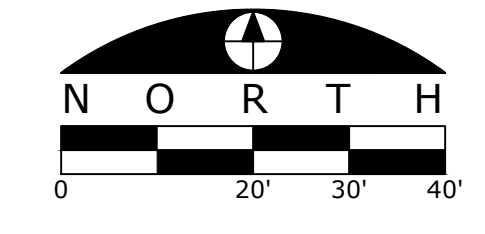
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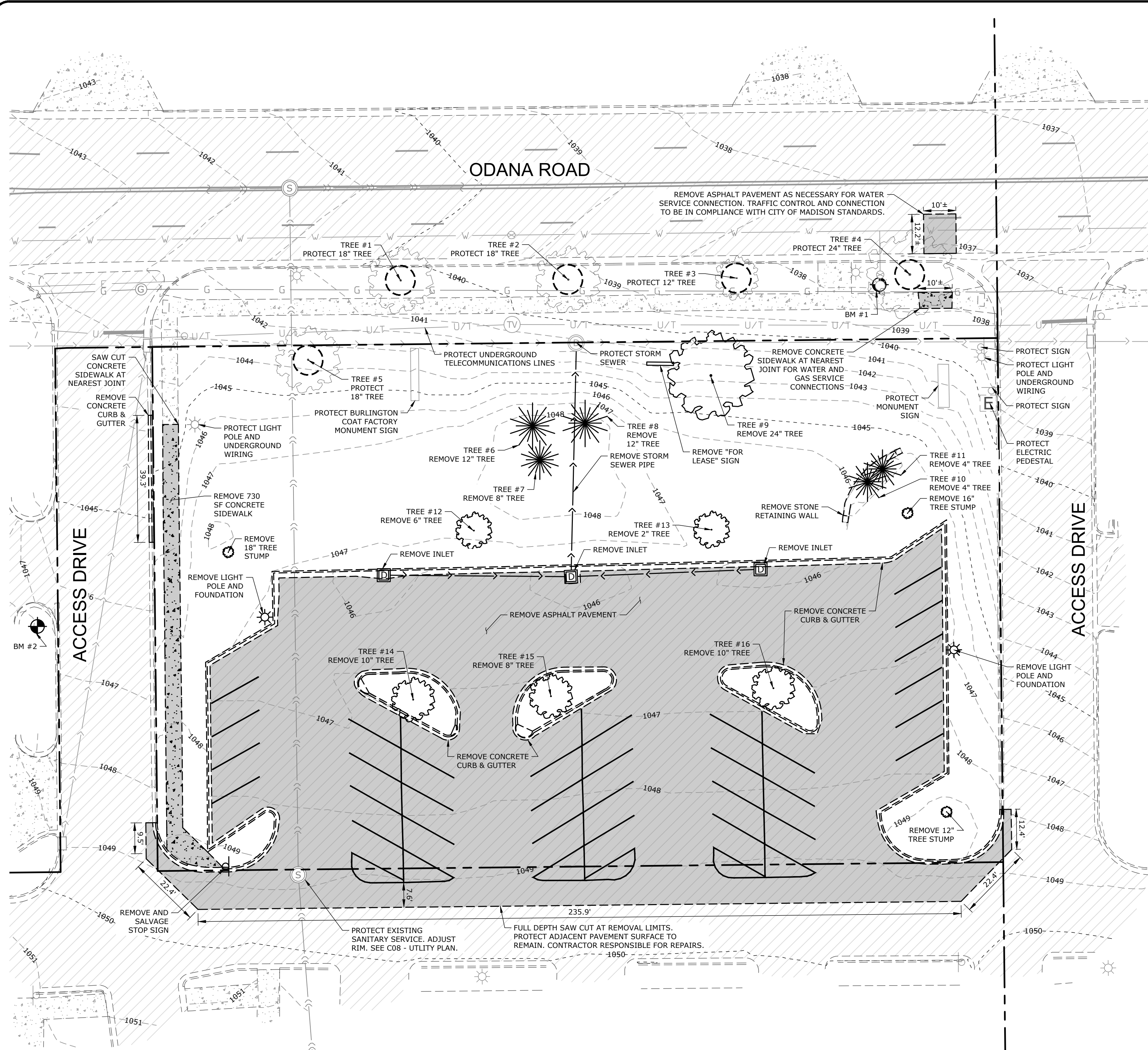
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C02

BENCHMARKS (NAVD88 DATUM)

BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38





LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING CURB AND GUTTER TO BE REMOVED
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT TO BE REMOVED
- EXISTING ROAD STRIPING TO REMAIN
- EXISTING ROAD STRIPING TO BE REMOVED
- EXISTING SANITARY SEWER TO REMAIN
- EXISTING STORM SEWER TO REMAIN
- EXISTING STORM SEWER TO BE REMOVED
- EXISTING WATER MAIN TO REMAIN
- EXISTING GAS MAIN TO REMAIN
- EXISTING UNDERGROUND TELECOMMUNICATIONS LINE TO REMAIN
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- 800--- EXISTING CONTOUR LINE
- [Hatched] EXISTING ASPHALT PAVEMENT TO REMAIN
- [Dotted] EXISTING ASPHALT PAVEMENT TO BE REMOVED
- [Solid] EXISTING CONCRETE PAVEMENT TO REMAIN
- [Dotted] EXISTING CONCRETE PAVEMENT TO BE REMOVED
- [Circle with X] EXISTING FIRE HYDRANT AND VALVE BOX TO REMAIN
- [Circle with G] EXISTING GAS VALVE TO REMAIN
- [Circle with Sun] EXISTING LIGHT POLE TO REMAIN
- [Circle with TV] EXISTING LIGHT POLE TO BE REMOVED
- [Circle with E] EXISTING CABLE PEDESTAL TO REMAIN
- [Circle with E] EXISTING ELECTRICAL PEDESTAL TO REMAIN
- [Circle with S] EXISTING SIGN TO REMAIN
- [Circle with S] EXISTING SIGN TO BE REMOVED
- [Circle with S] EXISTING STORM SEWER TO REMAIN
- [Circle with S] EXISTING STORM SEWER TO BE REMOVED
- [Circle with S] EXISTING UNDERGROUND TELECOMMUNICATIONS LINE TO REMAIN
- [Circle with S] EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- [Circle with S] BENCHMARK
- [Starburst] EXISTING TREE TO BE REMOVED
- [Starburst] EXISTING TREE TO REMAIN AND BE PROTECTED
- [Starburst] TREE TO REMAIN - PROVIDE PROTECTION FENCING

Tree Schedule						
TREE #	TREE SPECIES	SIZE (DBH)	CONDITION	SAVE	REMOVE	RECOMMENDATION/NOTES
1	Ash, Green	18"	Good	X		In parkway
2	Ash, Green	18"	Good	X		In parkway
3	Ash, Green	12"	Good	X		In parkway
4	Ash, Green	24"	Good	X		In parkway
5	Honeylocust	18"	Good	X		Lightly prune lower branches
6	Spruce, Blue	12"	Good		X	In development area
7	Spruce, Green	6"	Fair		X	In development area
8	Spruce, Green	12"	Fair		X	In development area
9	Ash, Green	24"	Good		X	In development area
10	Arborvitae	4"	Dead		X	In development area
11	Arborvitae	4"	Good		X	In development area
12	Ash, Green	6"	Good		X	In development area
13	Ash, Green	2"	Good		X	In development area
14	Honeylocust	10"	Fair		X	In development area
15	Maple, Red	8"	Poor		X	In development area
16	Honeylocust	10"	Fair		X	In development area

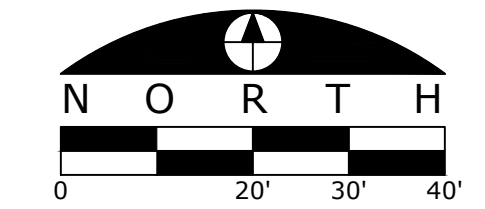
TREE REMOVAL NOTES

- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling 3.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary permits (tree removal) and code verifications. Submit copies of all documents to owner, job superintendent, engineer or landscape architect.
- The removal of all trees noted on plans and related operations shall be organized, overseen and/or completed by a certified arborist or tree removal company that is licensed and bonded with the local municipality.
- Trees shall be removed in accordance with current arboriculture practices. Tree removal shall be conducted in a manner that protects all surrounding structures and preserved trees from damage. All tree stumps shall be ground to a minimum depth of 12" below grade, including crown roots, shavings packed into hole or filled with topsoil and restored with seed and erosion blanket.
- At no time shall any tree or vegetation be forcibly removed in such a manner that would damage surrounding trees or vegetation, root systems or substructures.
- All invasive trees and vegetation and species as outlined by local municipality or as noted by engineer, arborist or landscape architect that may not be listed on tree inventory or plans shall be removed from areas as shown.
- Any non-preservation tree species that may be damaged during construction, or are determined to be diseased or dead shall be removed.

TREE PRESERVATION NOTES

- All grading and construction equipment shall be restricted within the protection fencing limits. No excess soil, additional fill, liquids or construction debris shall be placed within the protection fencing limits or root zone of any tree that is noted to be preserved.
- Crushed limestone, hydrocarbons and other materials detrimental to trees or vegetation shall not be dumped within the protection fencing limits or root zone of any tree not at any higher location where drainage toward the tree could conceivably effect the health of the tree.
- Appropriate protective fencing shall be temporarily installed for protection of preserved vegetation or trees as shown on plan.
- All required protective fencing must be in place before any on site construction can begin. The protective fencing must remain in place and be maintained during the entire construction period.
- The protective fencing material must be a minimum of 4' height and can be plastic mesh, orange preferred (or green), wire or chain-link. All fencing shall be installed to the outer extents of the tree canopy (drip line) or at minimum within the outer 1/3 of the tree canopy. All fencing must be secured to metal posts driven into the ground and spaced no further than 6 feet apart.
- Fencing must be properly maintained during the entire construction period.
- No other fencing, wires or attachments, other than those approved materials for bracing, guying or wrapping shall be attached to any tree or vegetation during construction. All reasonable measures necessary to prevent the destruction or damage to trees or plant material (other than those specified to be removed) shall be taken.
- No grading or earthwork is to occur within the fenced tree protection limits nor is any soil to be removed from within the protective fencing without prior approval of arborist, engineer or landscape architect.
- If any trees that are noted within or near the areas to be developed will affect more than 1/3 of the root system, the site foreman with approval from an arborist, engineer or landscape architect may remove such trees.

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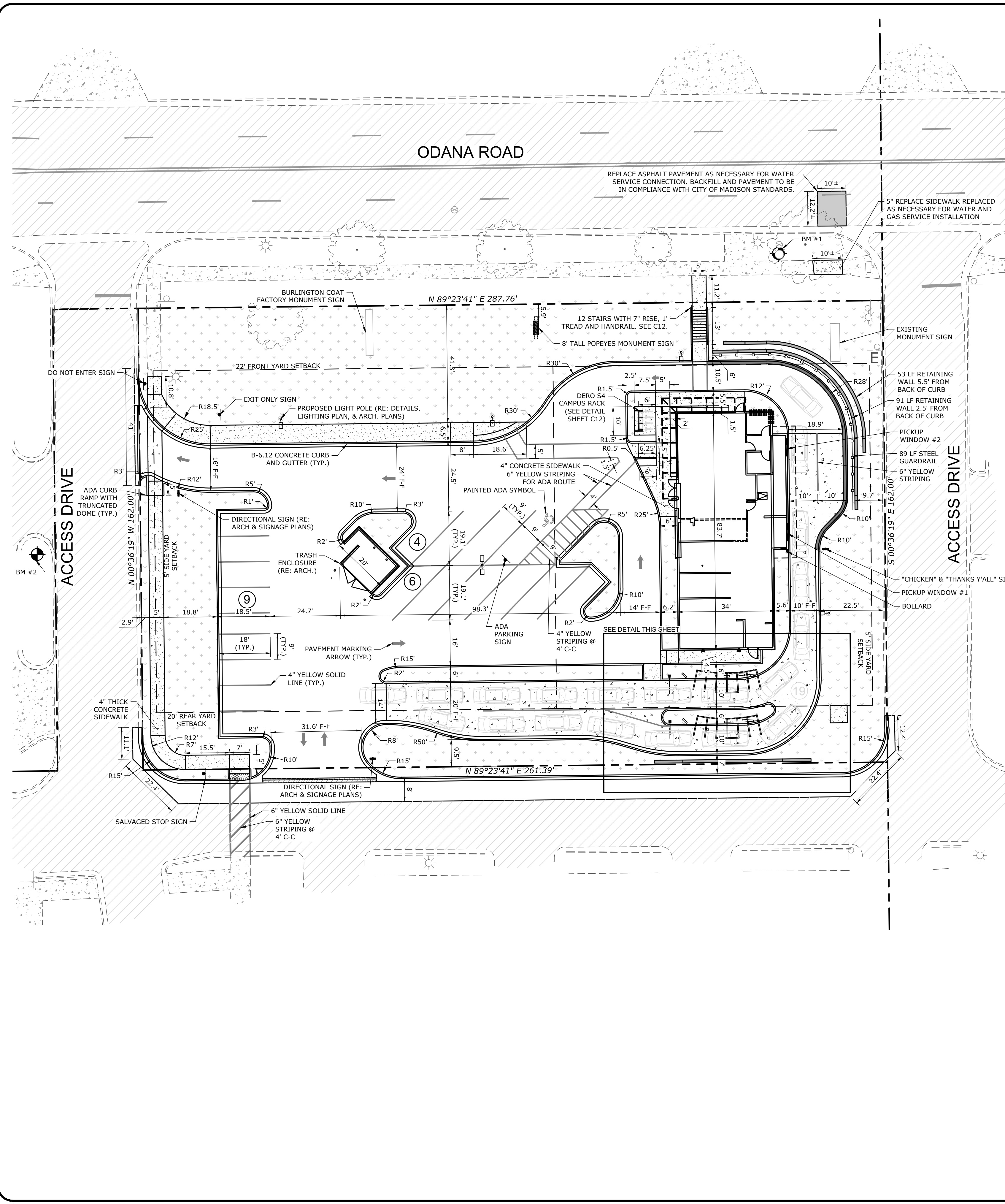
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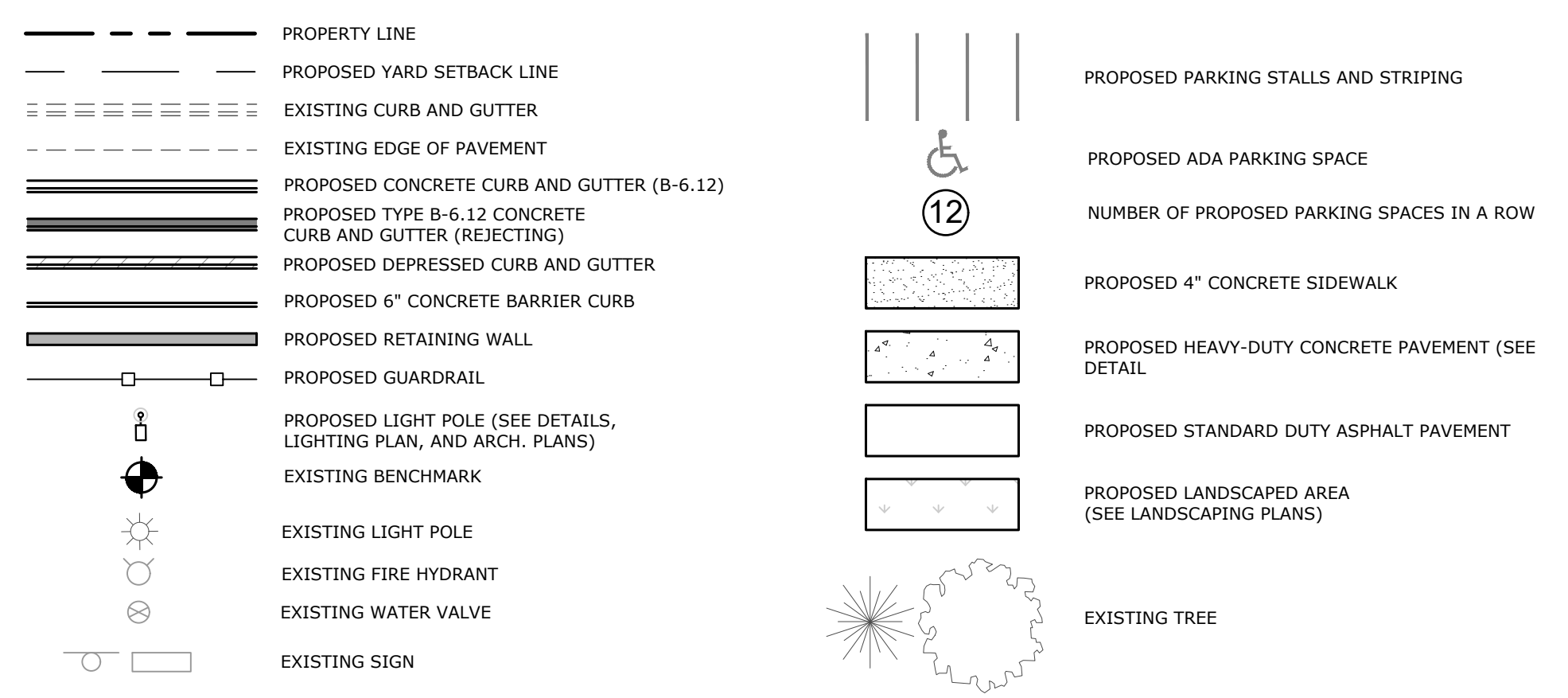
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REMOVALS PLAN

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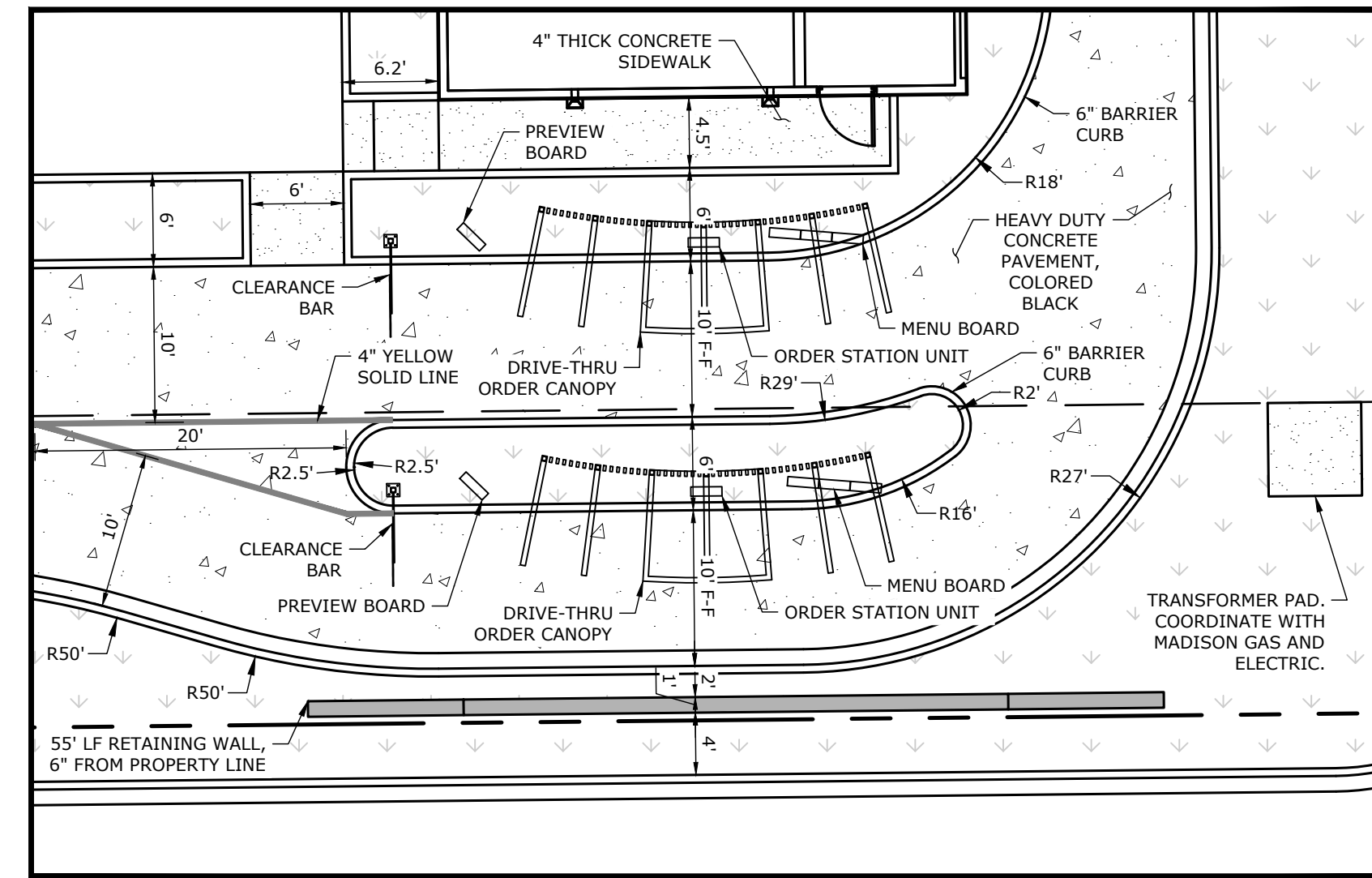
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LEGEND



DETAIL - SCALE 1:10



LAYOUT NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- COORDINATE WORK WITHIN THE PRIVATE DRIVE AND ADJACENT LOT WITH THE PROPERTY OWNERS. COORDINATE WITH WITHIN THE ODANA ROAD RIGHT OF WAY WITH THE CITY OF MADISON, WI. TRAFFIC CONTROL SHALL CONFORM TO WISDOT STANDARDS FOR WORK WITHIN THE R.O.W.
- ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
- ALL CURBS AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURBS AND SIDEWALKS MEET EXISTING PAVEMENT, CURBS AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
- FOR ALL PAVEMENT REMOVALS, THE MINIMUM WIDTH FROM THE EDGE OF THE CURB TO THE FULL-DEPTH SAW CUT IS 2'.
- FOR ALL SIDEWALK REMOVALS, SAW CUT AT NEAREST JOINT. LIMITS OF SIDEWALK REMOVAL MAY VARY BASED ON JOINT LAYOUT.
- FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER AND SURFACE COURSE ACCORDING TO WISDOT AND CITY OF MADISON, WI STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.

PARKING TABLE

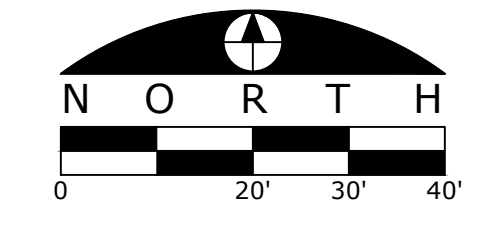
NUMBER OF PARKING STALLS REQUIRED (15% of maximum 70 persons occupancy)	11 (1 - A.D.A.)
NUMBER OF BICYCLE STALLS REQUIRED (5% of maximum 70 persons occupancy)	4
NUMBER OF PARKING STALLS ALLOWED (40% of maximum 70 persons occupancy)	28 (2 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	19 (1 - A.D.A.)
NUMBER OF BICYCLE STALLS PROPOSED	4

SITE AREA TABLE

LANDSCAPED AREA	16,117 SF (0.37 AC)
PAVED AREA	23,274 SF (0.53 AC)
GROSS BUILDING FLOOR AREA	2,984 SF (0.07 AC)
TOTAL SITE AREA	42,375 SF (0.972 AC)
% IMPERVIOUS AREA	61.9%

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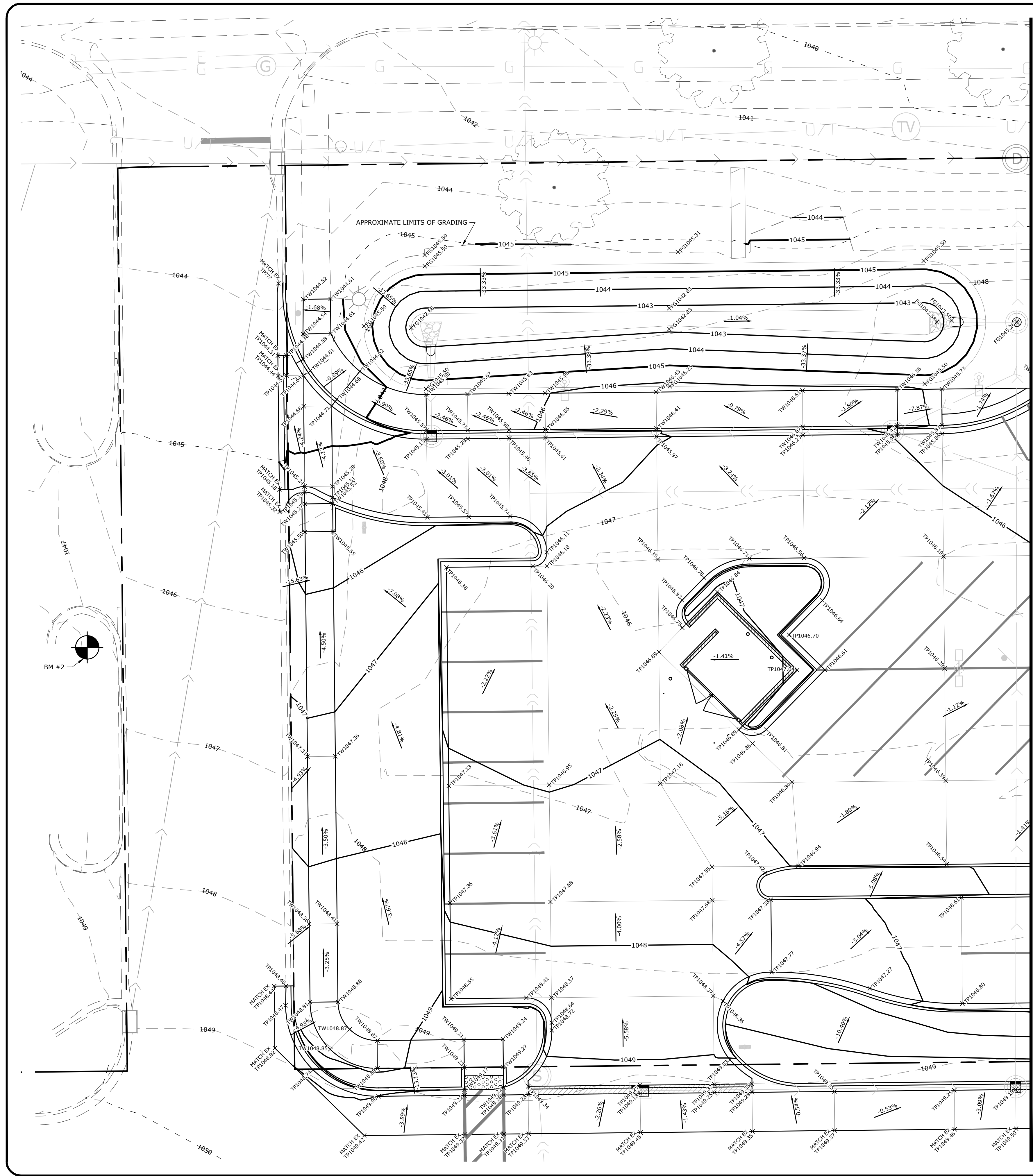
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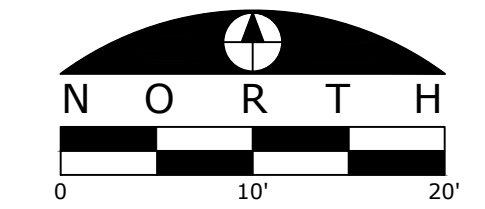
LEGEND

- PROPERTY LINE
- - - - - EXISTING CURB AND GUTTER
- - - - - EXISTING EDGE OF PAVEMENT
- ==== PROPOSED CONCRETE CURB AND GUTTER (8-6.12)
- ==== PROPOSED TYPE 8-6.12 CONCRETE CURB AND GUTTER (RECTIFYING)
- ==== PROPOSED DEPRESSED CURB AND GUTTER
- ==== PROPOSED 6" CONCRETE HEADER CURB
- ==== PROPOSED RETAINING WALL
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- APPROXIMATE LIMITS OF GRADING
- PROPOSED CONTOUR LINE
- - - - - EXISTING CONTOUR LINE
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED FLARED END SECTION
- 1.6% DIRECTION OF SHEET FLOW
- + TW000.00 TOP OF SIDEWALK ELEVATION
- + MATCH EX TW000.00 MATCH EXISTING TOP OF PAVEMENT ELEVATION
- + TP000.00 TOP OF PAVEMENT ELEVATION
- + MATCH EX TP000.00 MATCH EXISTING TOP OF PAVEMENT ELEVATION
- + FG000.00 FINISHED GRADE ELEVATION
- + TOW000.00 TOP OF WALL ELEVATION
- + BOW000.00 BOTTOM OF WALL ELEVATION
- ⊕ BENCHMARK

GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDED WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.0 HORIZONTAL TO 1 VERTICAL.
5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.

BENCHMARKS (NAVD88 DATUM)	
BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38



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Design Firm License No. 2411-11

PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RD STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

ISSUED FOR

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SHEET TITLE

**GRADING PLAN
WEST**

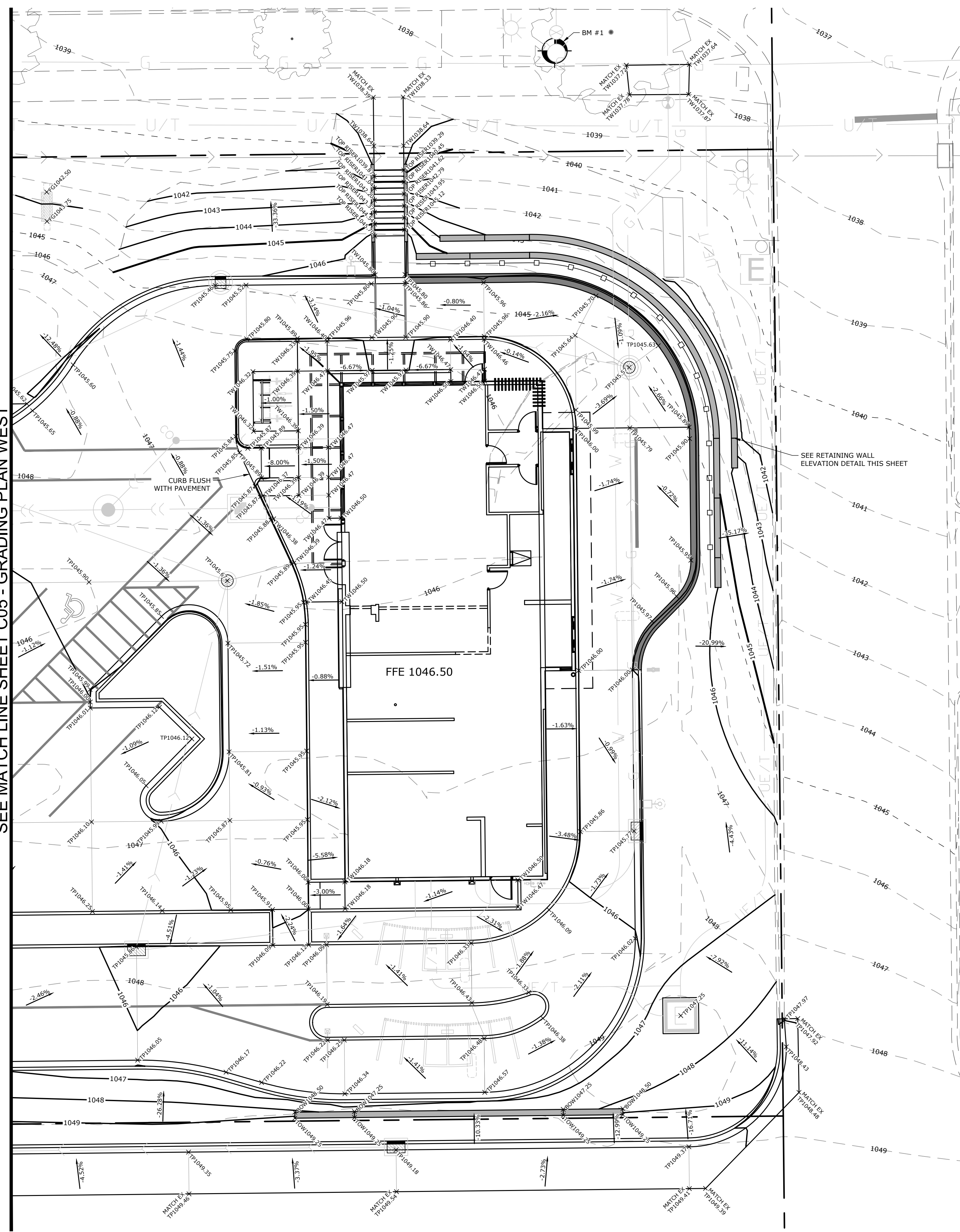
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PROJECT NUMBER
SHEET NUMBER

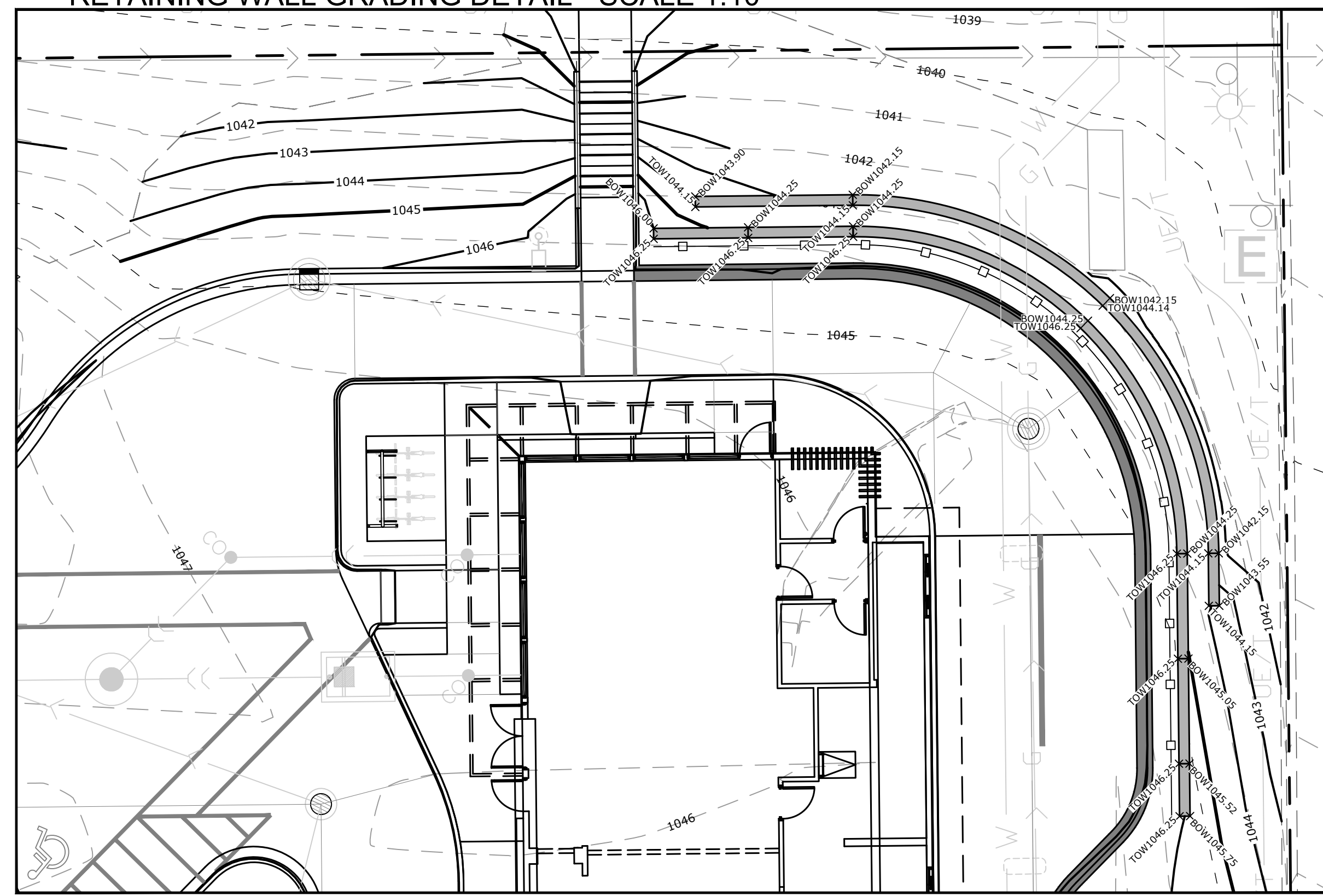
19055

C05

SEE MATCH LINE SHEET C05 - GRADING PLAN WEST



RETAINING WALL GRADING DETAIL - SCALE 1:10

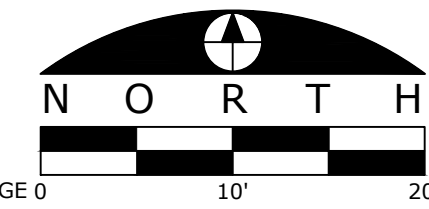


LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER (B-6.12)
- PROPOSED TYPE B-6.12 CONCRETE CURB AND GUTTER (REJECTING)
- PROPOSED DEPRESSED CURB AND GUTTER
- PROPOSED 6" CONCRETE HEADER CURB
- PROPOSED RETAINING WALL
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- APPROXIMATE LIMITS OF GRADING
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED CATCH BASIN OR MANHOLE
- ▭ PROPOSED FLARED END SECTION
- 1.6% DIRECTION OF SHEET FLOW
- +TW000.00 TOP OF SIDEWALK ELEVATION
- +MATCH EX TP000.00 MATCH EXISTING TOP OF PAVEMENT ELEVATION
- +TP000.00 TOP OF PAVEMENT ELEVATION
- +MATCH EX TP000.00 MATCH EXISTING TOP OF PAVEMENT ELEVATION
- +FG000.00 FINISHED GRADE ELEVATION
- +TOW000.00 TOP OF WALL ELEVATION
- +BOW000.00 BOTTOM OF WALL ELEVATION
- ⊕ BENCHMARK

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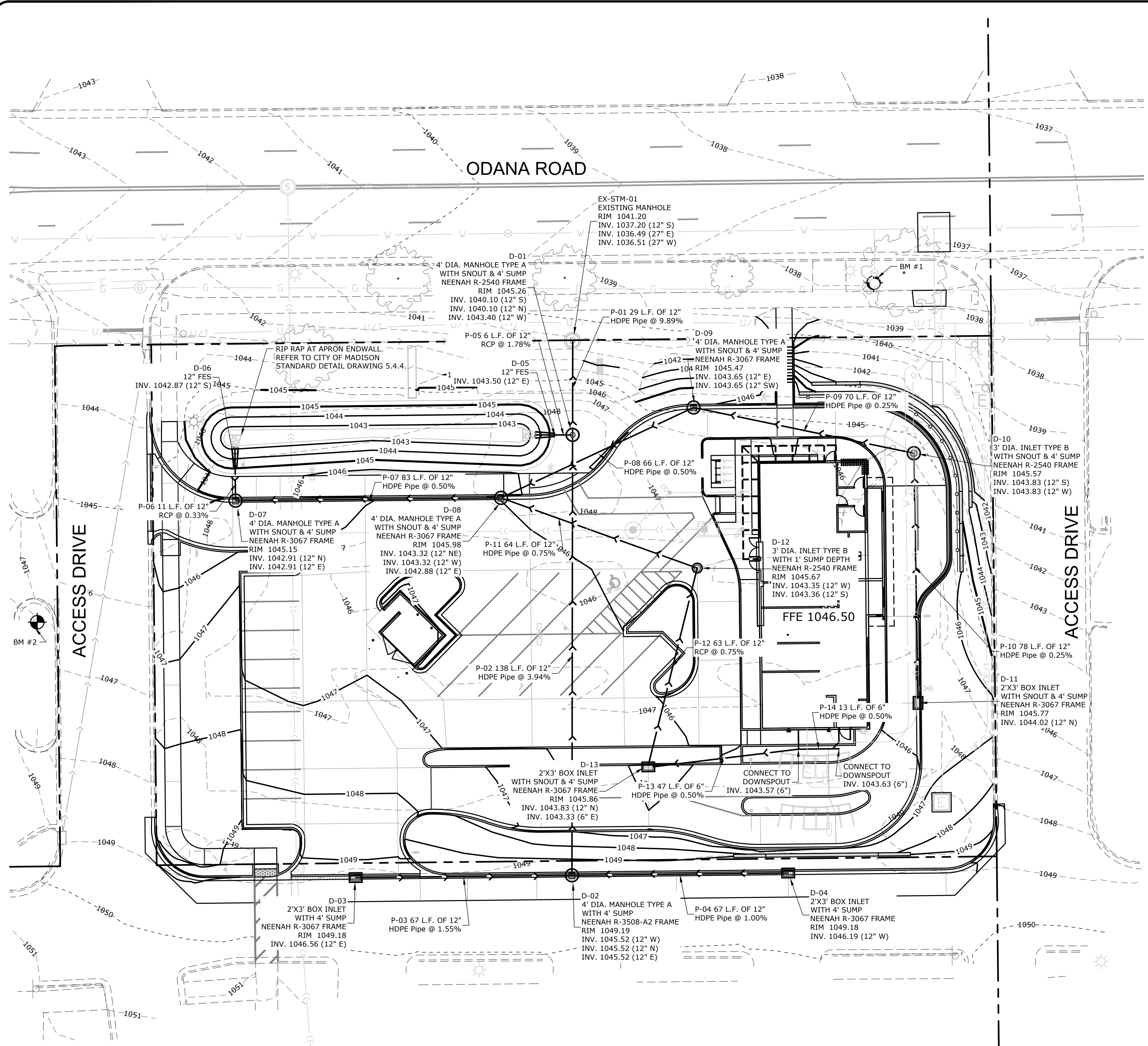
**GRADING PLAN
EAST**

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CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

19055

C06



LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER
- PROPOSED GAS MAIN
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED TELEPHONE SERVICE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED CLEANOUT
- 1.6% DIRECTION OF SHEET FLOW

RIM ELEVATION DEFINITION

UNPAVED OR PAVED AREA INLET
NEENAH FOUNDRY MODELS R-2504 OR A FRAME AND GRATE
APPROVED BY THE CITY OF MADISON, WI. INLET FRAMES SHALL
DENOTE "DUMP NO WASTE - DRAINS TO LAKES"



CURB INLET
NEENAH FOUNDRY OR R-3067 WITH TYPE R DIAGONAL
GRATES OR AS SPECIFIED ON PLAN OR EQUIVALENT
APPROVED BY THE CITY OF MADISON, WI. INLET FRAMES SHALL
DENOTE "DUMP NO WASTE - DRAINS TO LAKES"



DELIVERY OF NEENAH STRUCTURES MAY HAVE LONG LEAD TIMES. EQUIVALENT STRUCTURES MAY BE SUBSTITUTED FOR ANY OF THE SPECIFIED NEENAH FRAMES IF APPROVED BY ENGINEER. CONTRACTOR TO SUBMIT REQUESTED SUBSTITUTION TO ENGINEER FOR APPROVAL.

REFER TO SHEET C12 - DETAILS FOR PRODUCT INSTALLATION AND SPECIFICATIONS FOR THE SNOUT BY BEST MANAGEMENT PRACTICES, INC.

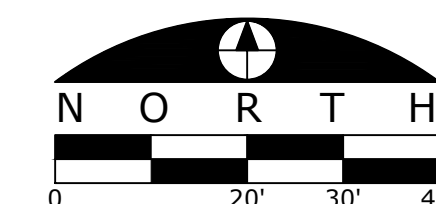
STORMWATER DETENTION

BOTTOM OF BASIN	1042.58'
TOP OF BASIN	1045.50'
10-YEAR HIGH-WATER LEVEL	1044.55'
10-YEAR STORAGE VOLUME	1,907 CF
100-YEAR HIGH-WATER LEVEL	1045.08'
100-YEAR STORAGE VOLUME	2,838 CF

REFER TO STORMWATER MANAGEMENT REPORT FOR PIPE SIZING CALCULATIONS, DETENTION POND AND RELEASE RATE CALCULATIONS, AND WATER QUALITY CALCULATIONS.

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SHEET TITLE
DRAINAGE PLAN

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CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER
19055
C07

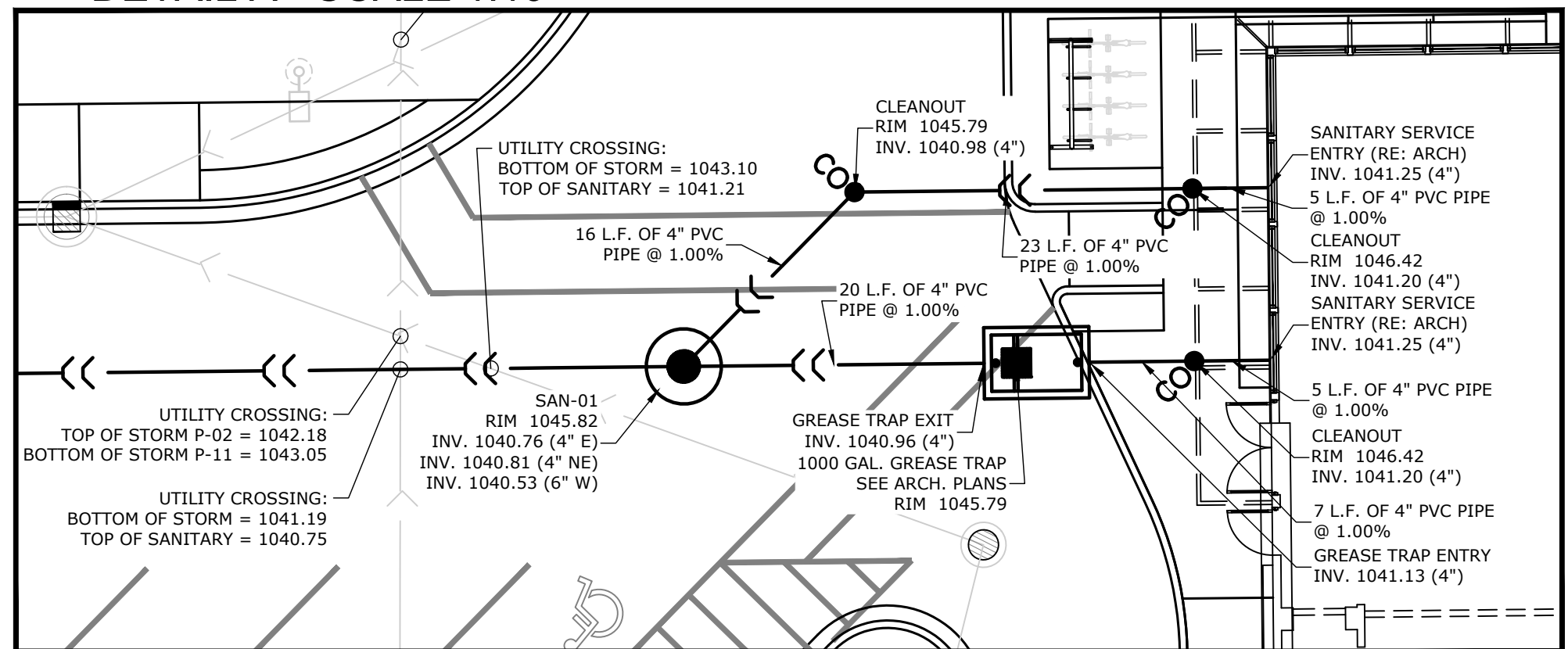
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LEGEND

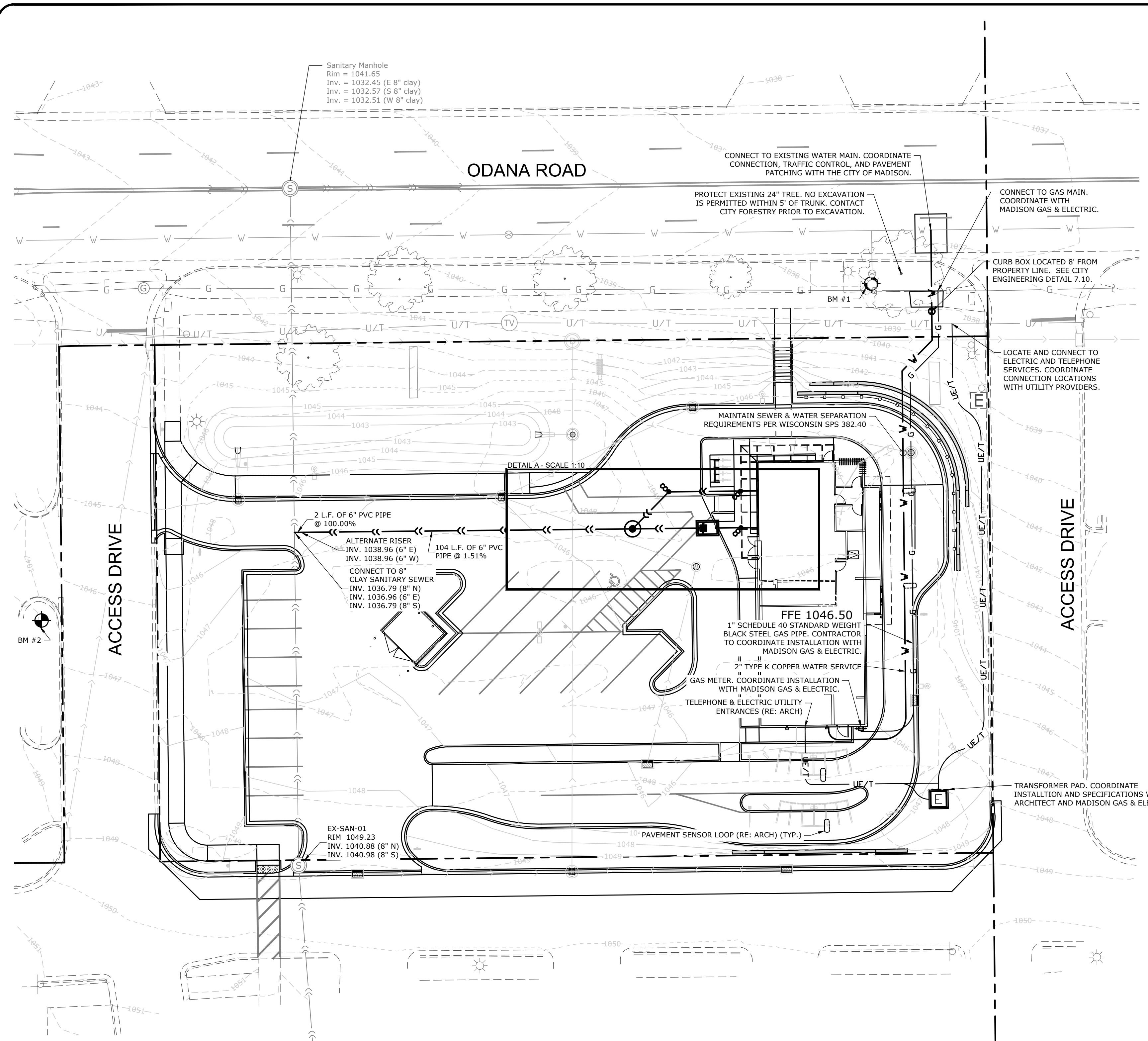
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED ACCEPTING CURB AND GUTTER
- EXISTING WATER MAIN
- PROPOSED WATER SERVICE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING GAS MAIN
- PROPOSED GAS MAIN
- EXISTING UNDERGROUND ELECTRIC SERVICE
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- UE/T --- PROPOSED UNDERGROUND ELECTRIC & TELEPHONE SERVICE
- U/T --- EXISTING UNDERGROUND TELEPHONE SERVICE
- U/T --- PROPOSED UNDERGROUND TELEPHONE SERVICE
- D/U --- EXISTING OVERHEAD UTILITY LINES
- [E] PROPOSED TRANSFORMER
- [H] EXISTING FIRE HYDRANT ASSEMBLY
- [V] EXISTING WATER VALVE
- [W] PROPOSED WATER SERVICE CURB BOX
- [M] EXISTING MANHOLE OR CATCH BASIN
- [S] PROPOSED SANITARY MANHOLE
- [C] PROPOSED SANITARY CLEANOUT
- [G] PROPOSED GREASE TRAP (RE: ARCH. PLANS)
- [G] EXISTING GAS VALVE TO REMAIN
- [L] EXISTING LIGHT POLE TO REMAIN
- [L] EXISTING LIGHT POLE TO BE REMOVED
- [TV] EXISTING CABLE PEDESTAL TO REMAIN
- [E] EXISTING ELECTRICAL PEDESTAL TO REMAIN
- [S] EXISTING SANITARY SEWER TO REMAIN
- [L] PROPOSED LIGHT POLE (SEE DETAILS, ARCH. PLANS, AND CREE LIGHTING PLAN)

DETAIL A - SCALE 1:10



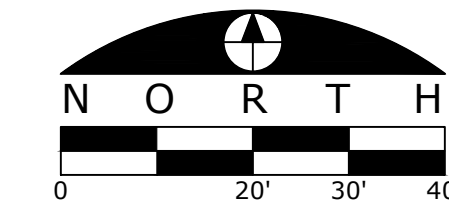
UTILITY NOTES

- THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
- ALL PRIVATE WATER MAINS CONSTRUCTED ON THE PROPERTY ARE TO BE CONSTRUCTED WITH MATERIALS THAT FOLLOW THE STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL REQUIREMENTS FOR PIPE MATERIAL AND OTHER WATER MAIN APPURTENANCES PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK BY OTHERS, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.
- COORDINATE INSTALLATION OF THE WATER SERVICE WITH THE CITY OF MADISON. WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF MADISON, WI STANDARDS.



BENCHMARKS (NAVD88 DATUM)

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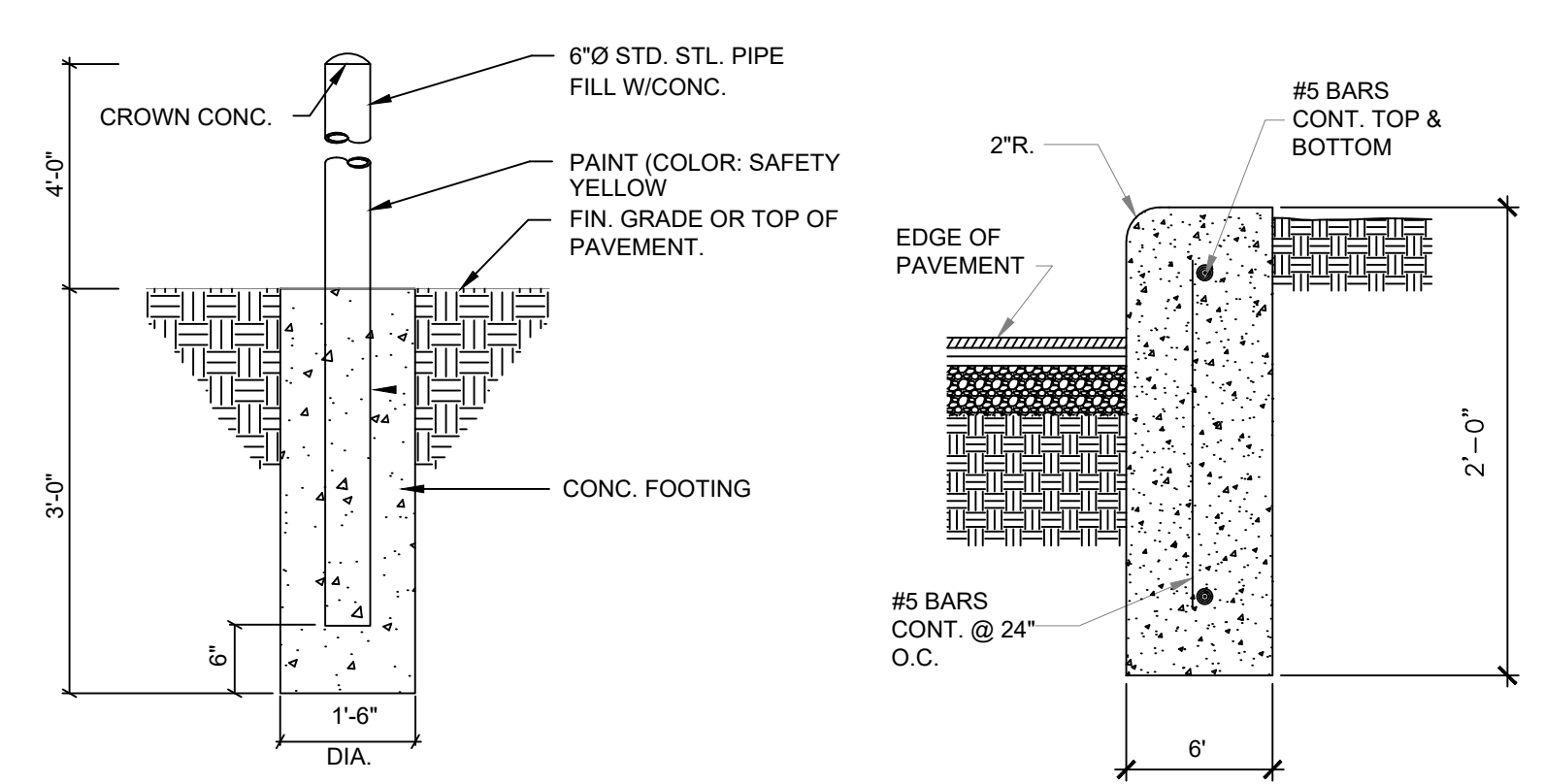
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POPEYES' DETAILS

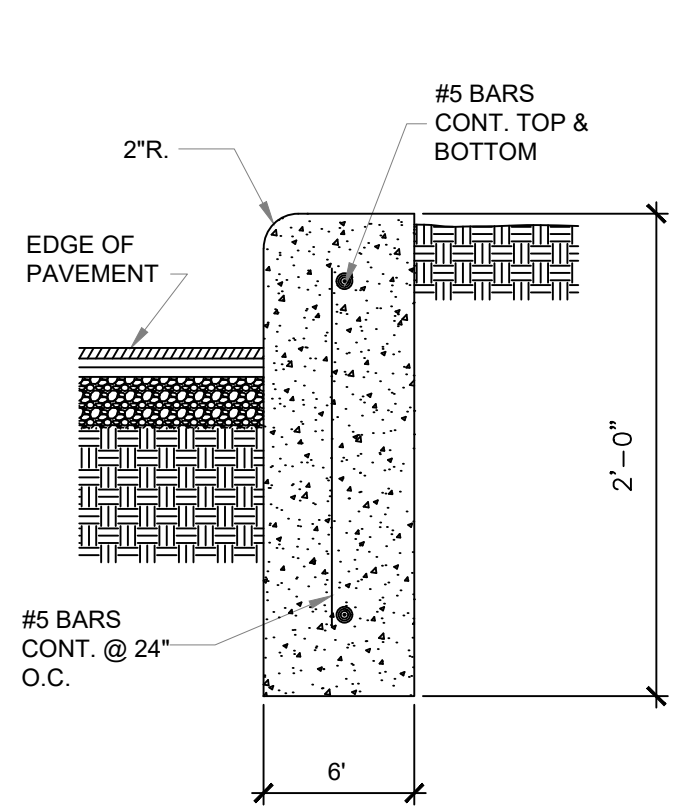
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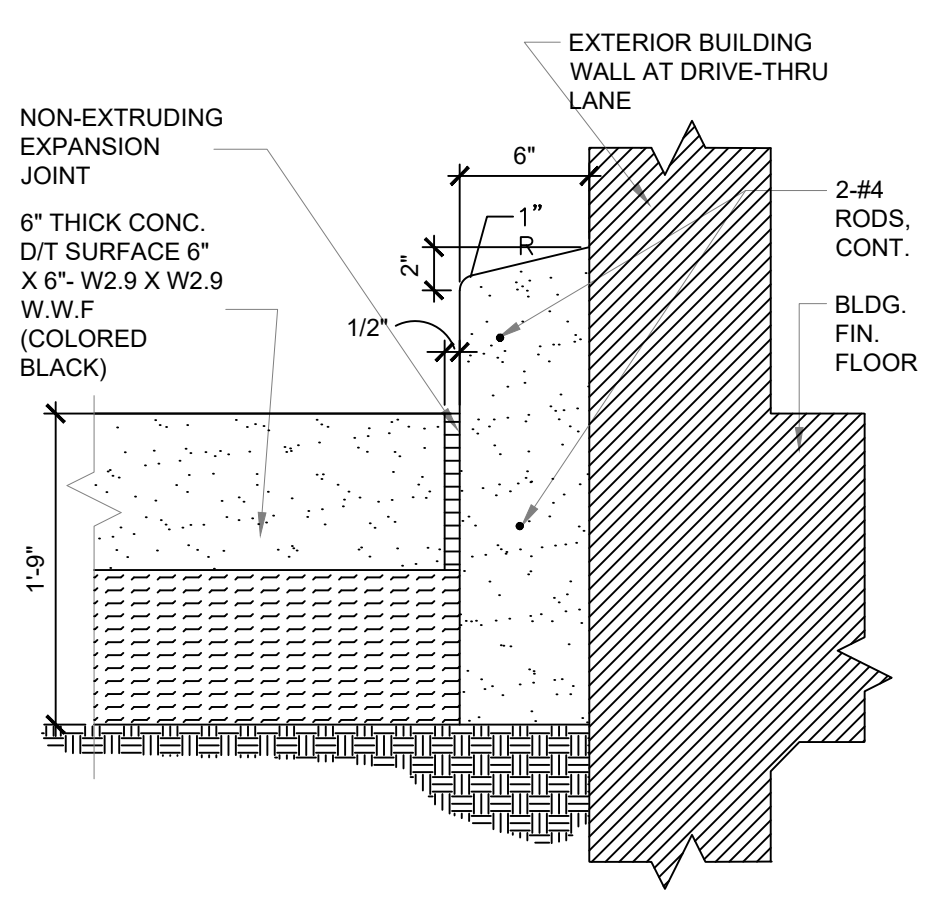
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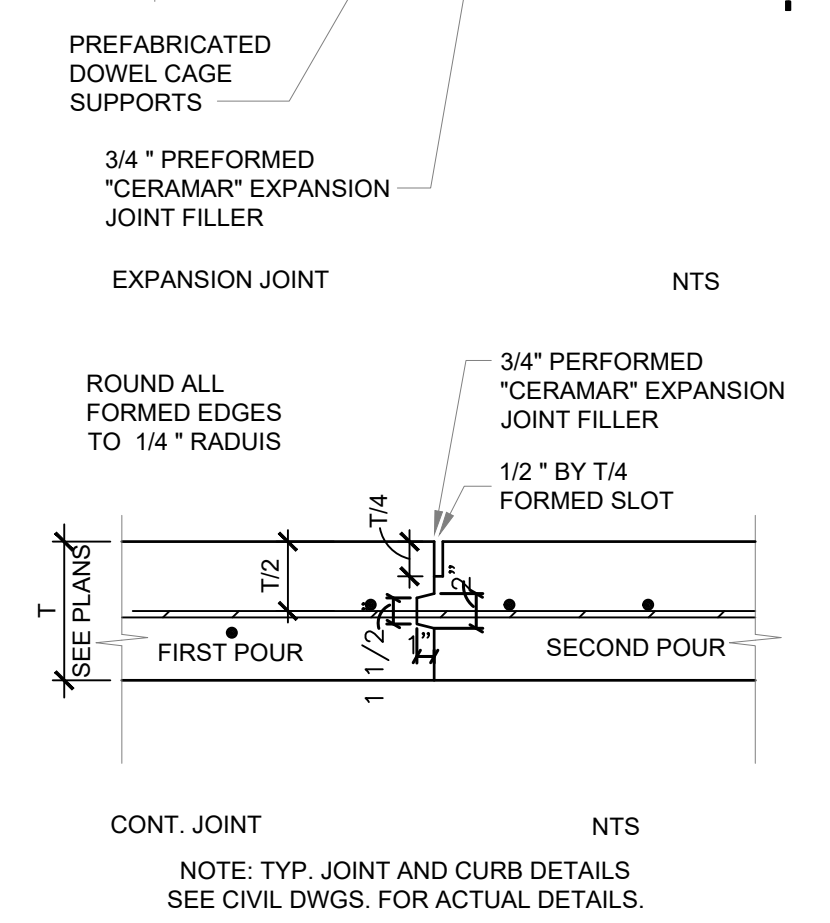
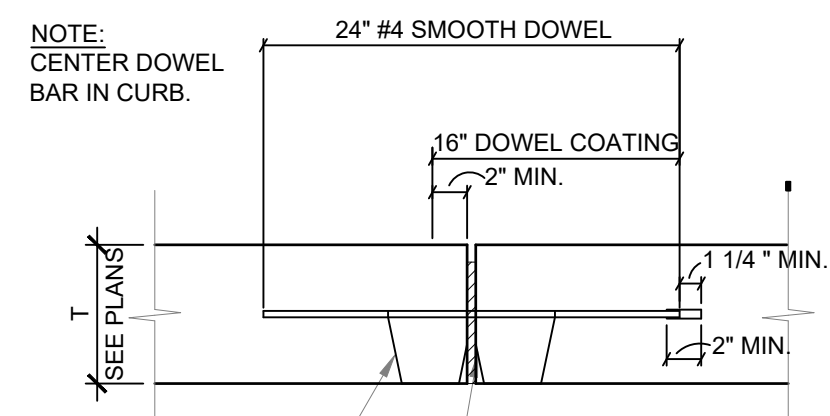
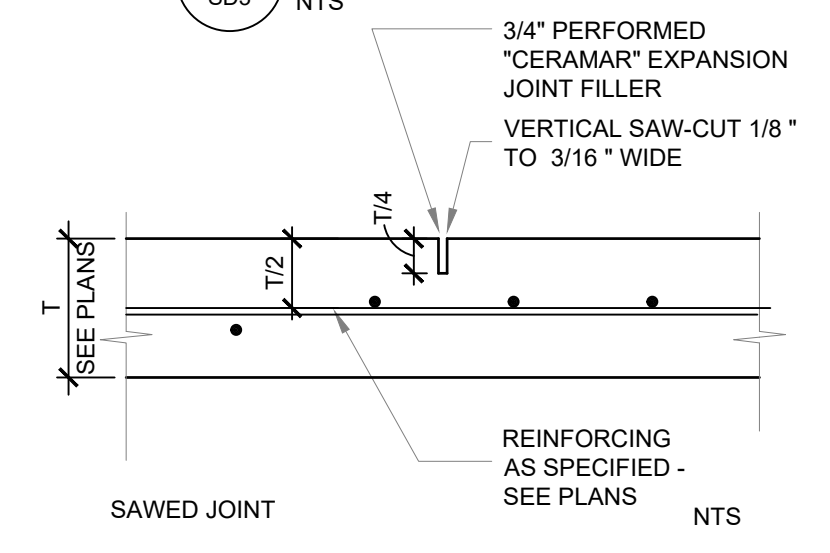
A BOLLARD DETAIL
SD3 NTS



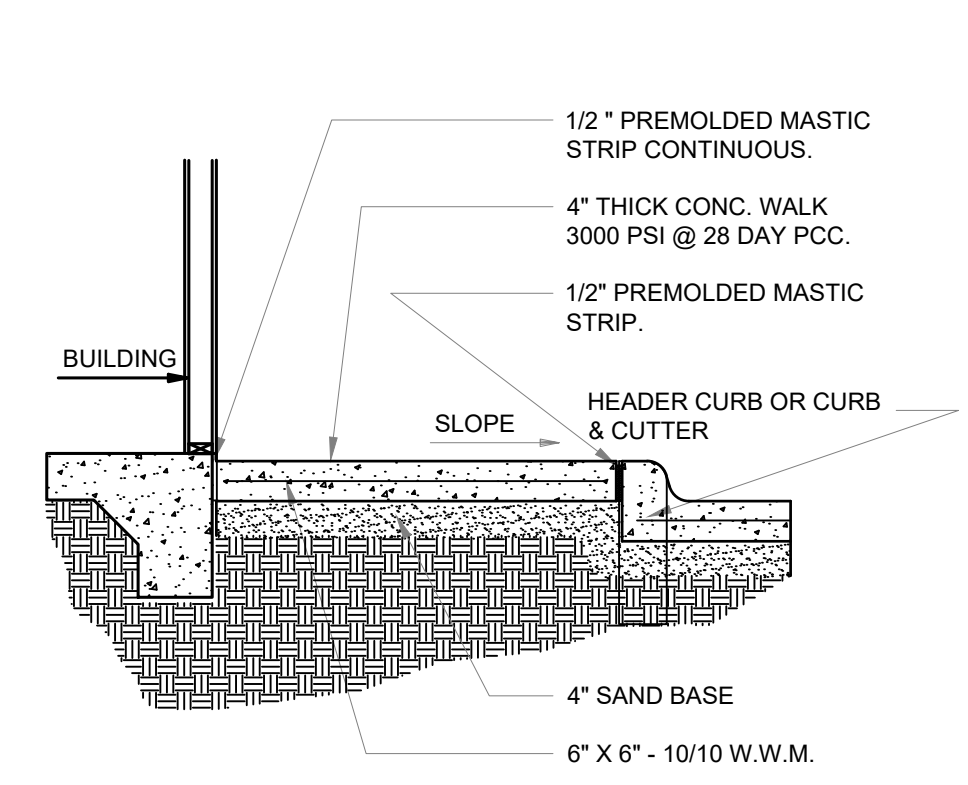
C BARRIER CURB DETAIL
SD3 NTS



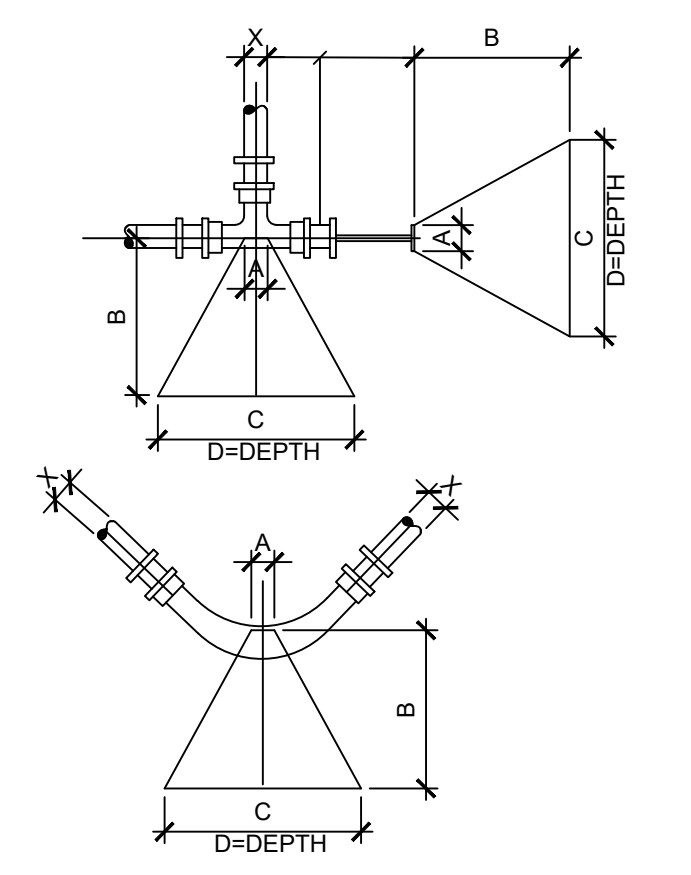
D 6" BARRIER CURB & PAVEMENT @ DRIVE-THRU
SD3 NTS



F TYPICAL JOINT DETAILS
SD3 NTS



G SIDEWALK DETAIL
SD3 NTS



H THRUST BLOCKS
SD3 NTS

NOTE: CONCRETE TO HAVE A MIN. 28 DAY STRENGTH OF 3000 PSI

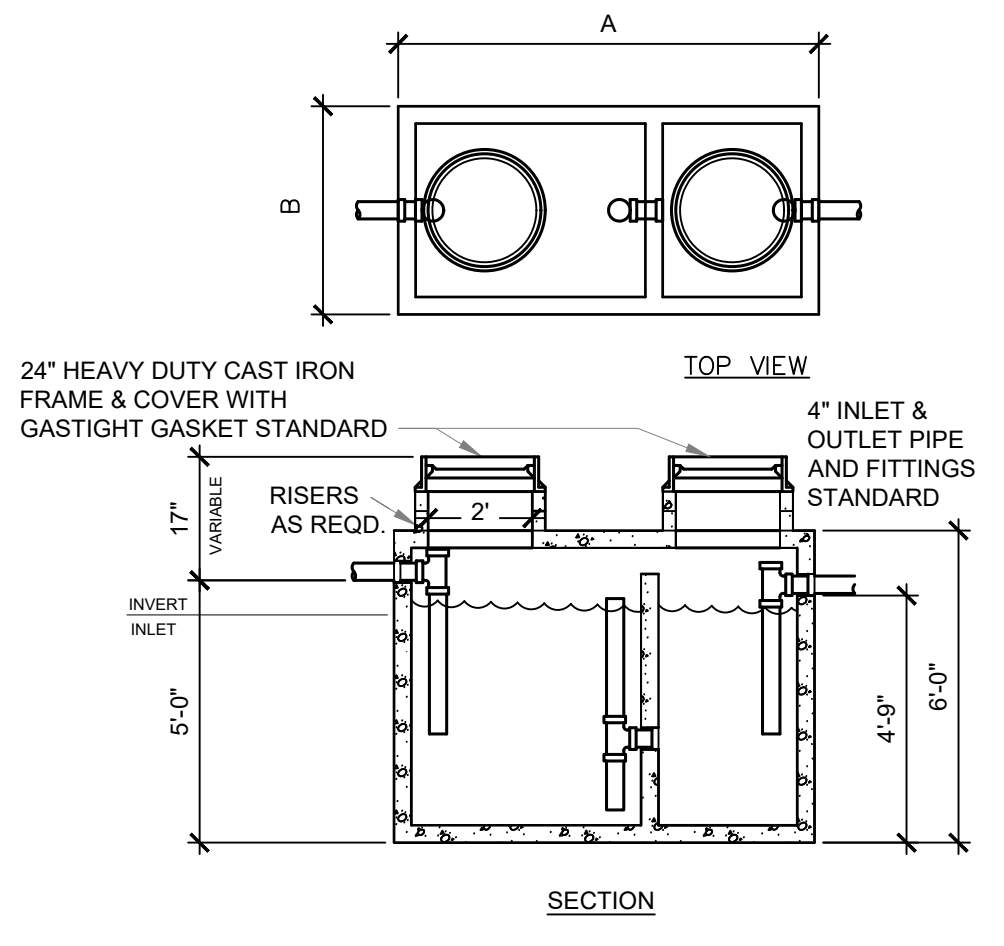
DEAD END AND TEES	BLOCKING DIMENSIONS					
	X	A	B	C	D	
8"	10"	2'-3"	3'-3"	2'-0"		
12"	12"	3'-0"	4'-6"	3'-0"		
BENDS	90°	8"	10"	2'-9"	4'-0"	2'-3"
		12"	12"	4'-3"	6'-0"	3'-3"
	45°	8"	10"	1'-6"	2'-6"	2'-0"
		12"	12"	2'-9"	4'-3"	2'-6"
	11 1/4°	8"	10"	1'-0"	2'-0"	1'-3"
		12"	12"	1'-9"	3'-0"	1'-9"
		8"	10"	0'-8"	1'-4"	1'-0"
		12"	12"	0'-6"	1'-9"	1'-6"

X= DIAMETER OF PIPE TO BE BLOCKED NOTE: BLOCKING SHALL BE CONSTRUCTED AS PER AWWA STD. 0600, SECTION 12.3, OR LATEST REVISION

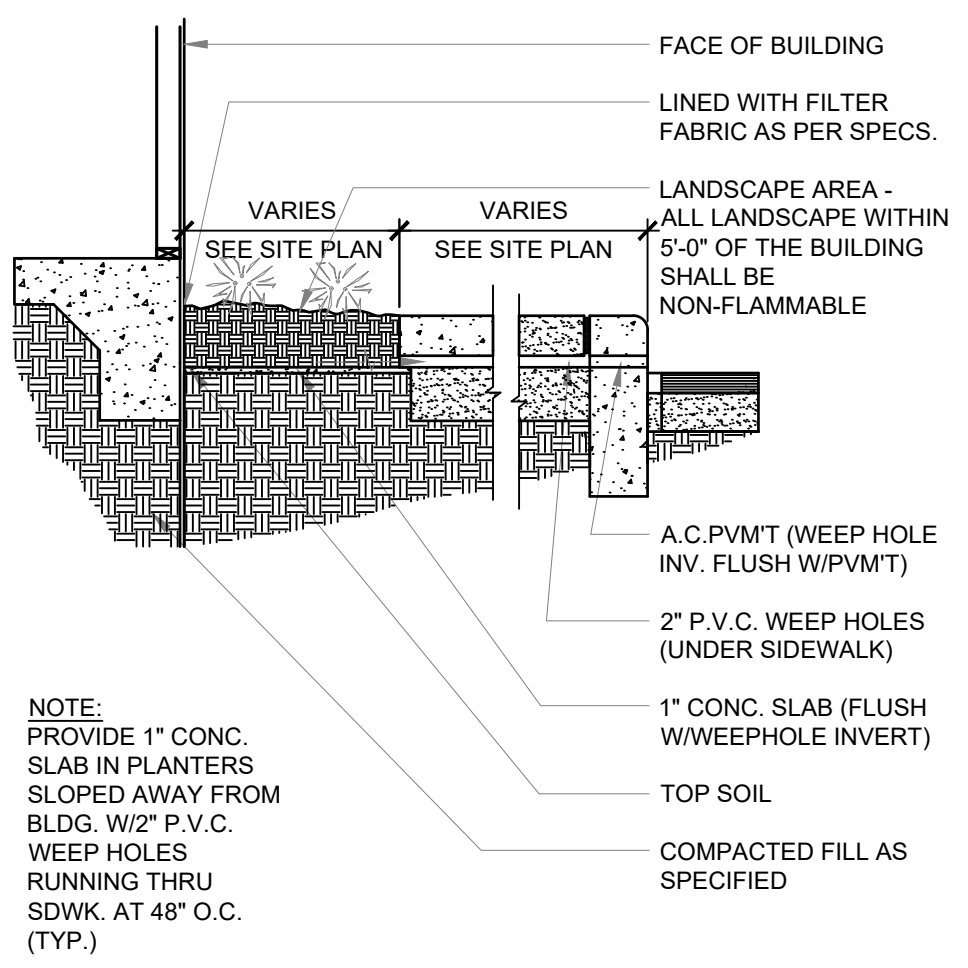
- KEY TO TYPICAL PAVEMENT SECTIONS
- ▲ 2" ASPHALTIC CONCRETE.
 - ▲ BITUMINOUS PRIME COAT AND TOPPING.
 - ▲ 6" BASE COURSE, REFER TO GEOTECHNICAL REPORT.
 - ▲ CONCRETE SIDEWALK.

GREASE TRAP SIZE TABLE		
G.T. SIZE	DIM "A"	DIM "B"
1000 GALLON	8'-2"	5'-1"
1200 GALLON	8'-6"	5'-9"

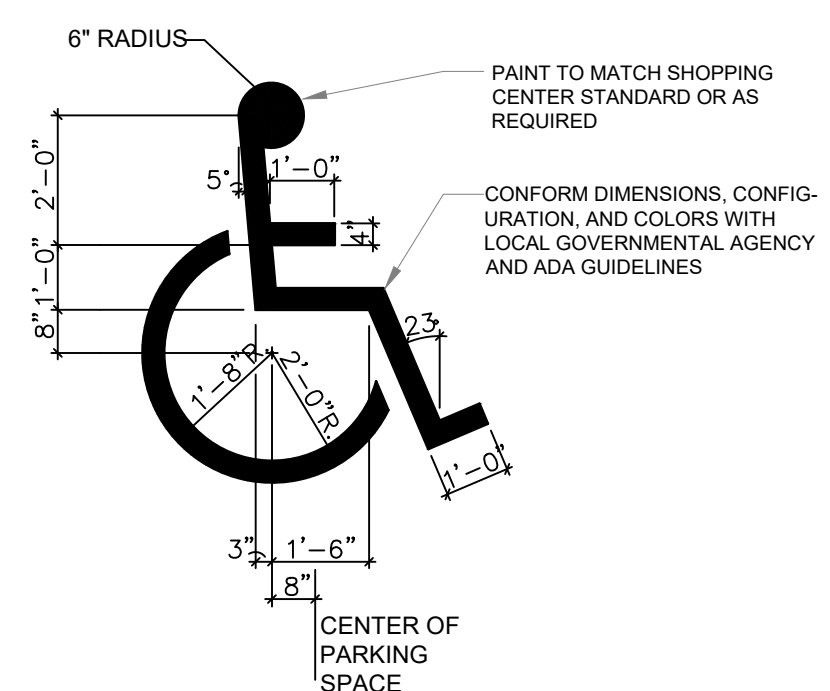
VERIFY PER LOCAL CODE



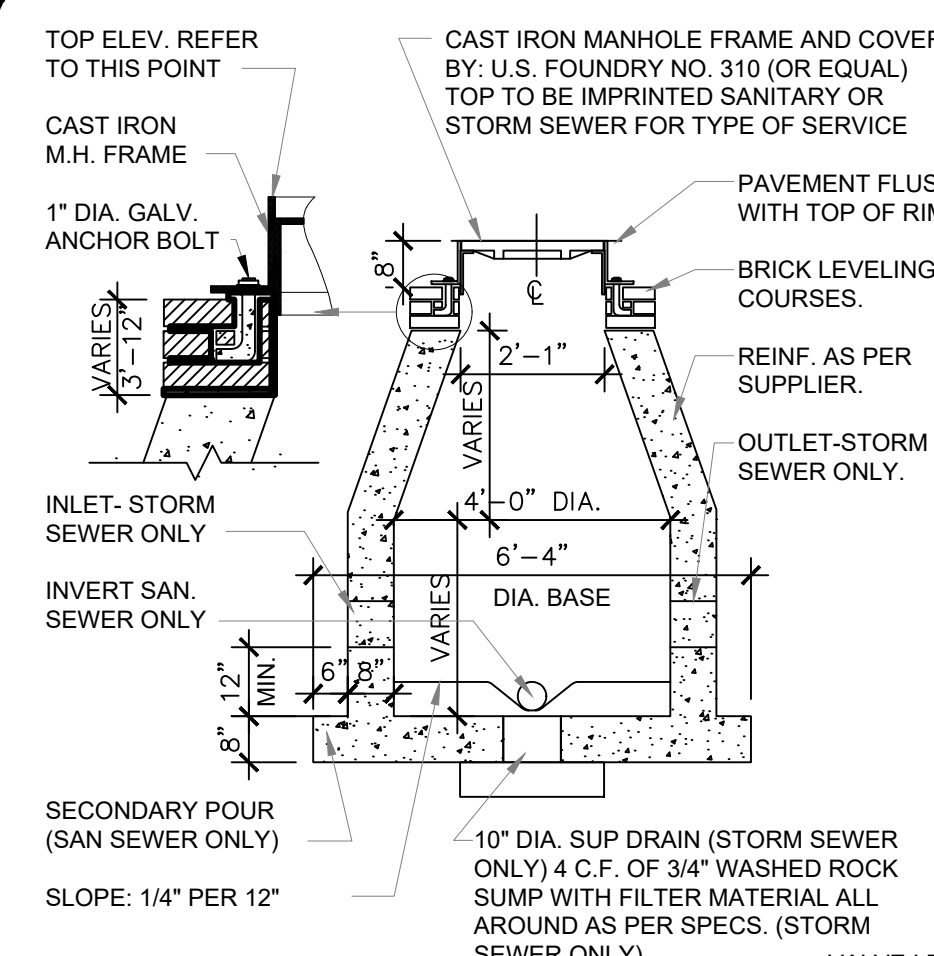
P EXTERIOR GREASE TRAP
SD3 NTS



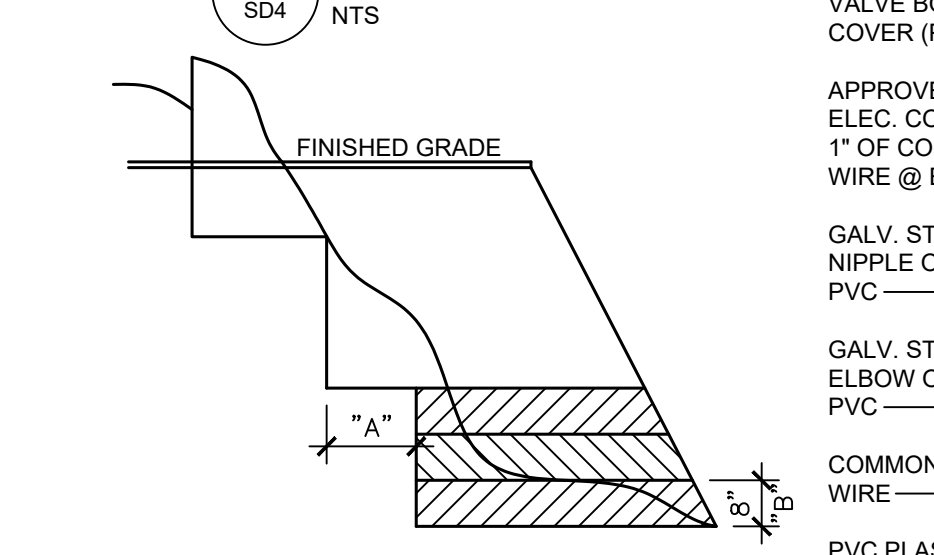
L PLANTER SIDEWALK
SD3 NTS



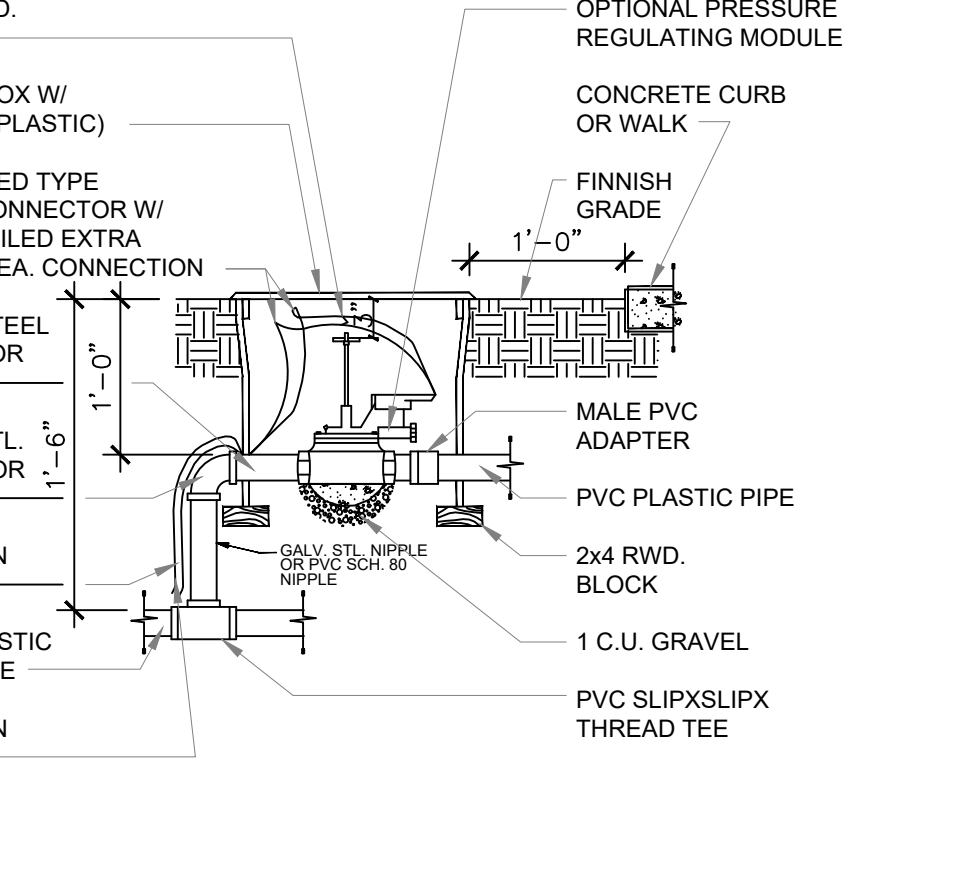
N HANDICAP SYMBOL
SD3 NTS



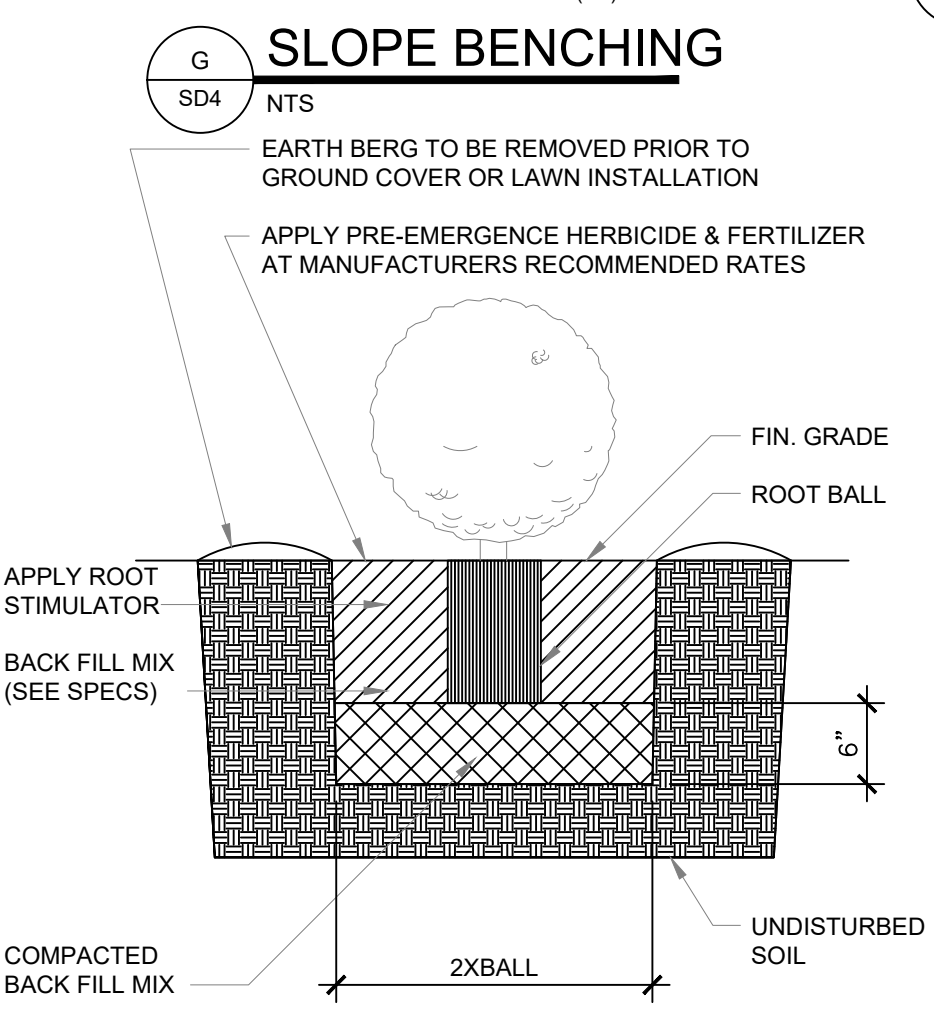
A MANHOLE
SD4 NTS



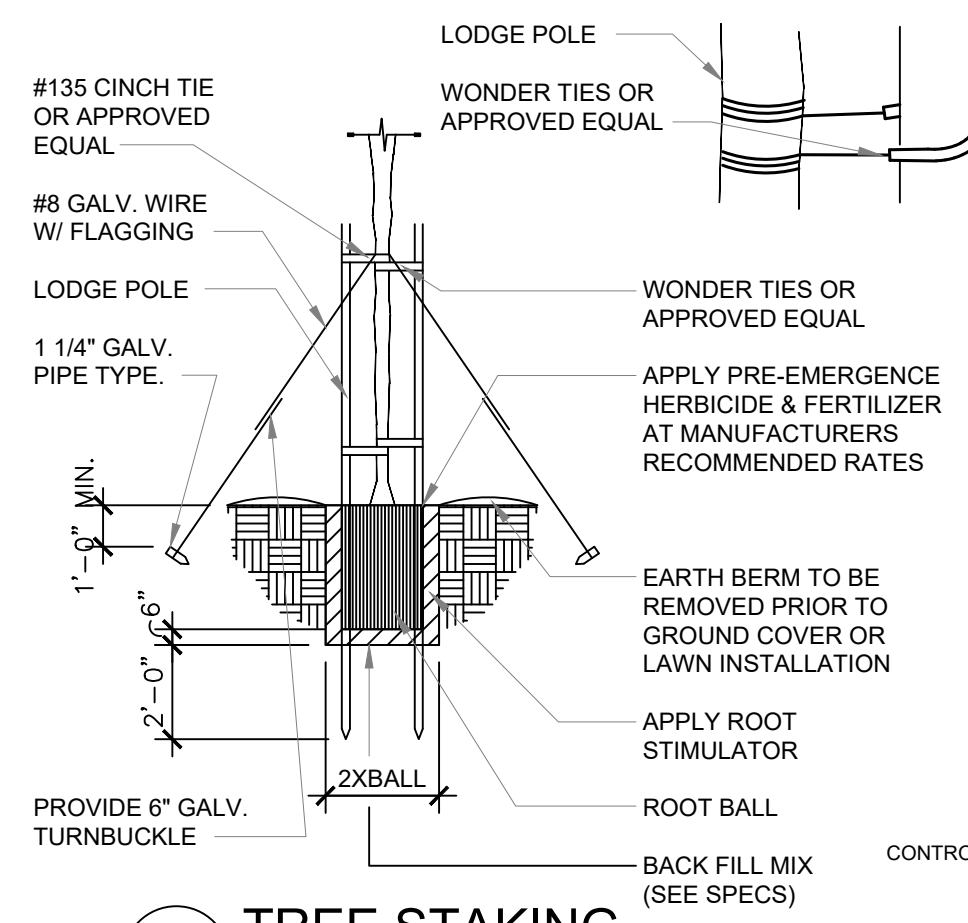
G SLOPE BENCHING
SD4 NTS



H REMOTE CONTROL VALVE
SD4 NTS



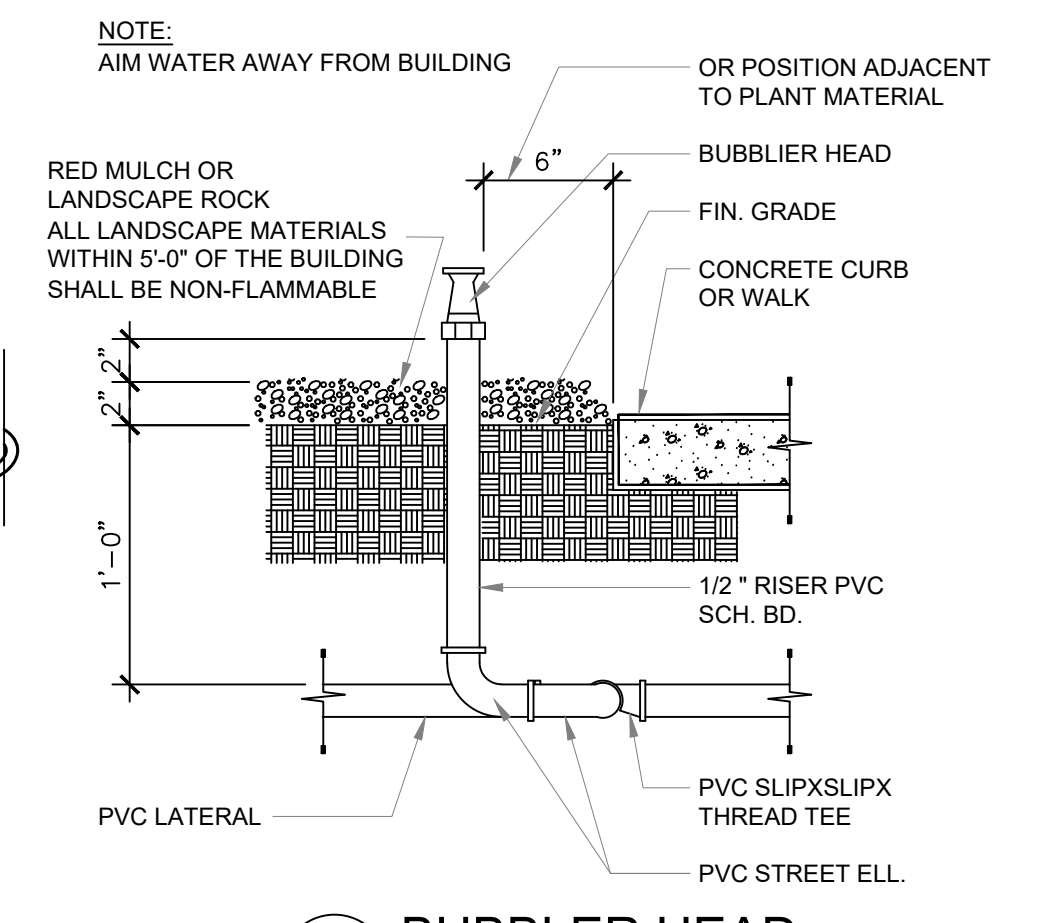
M SHRUB PLANTING
SD4 NTS



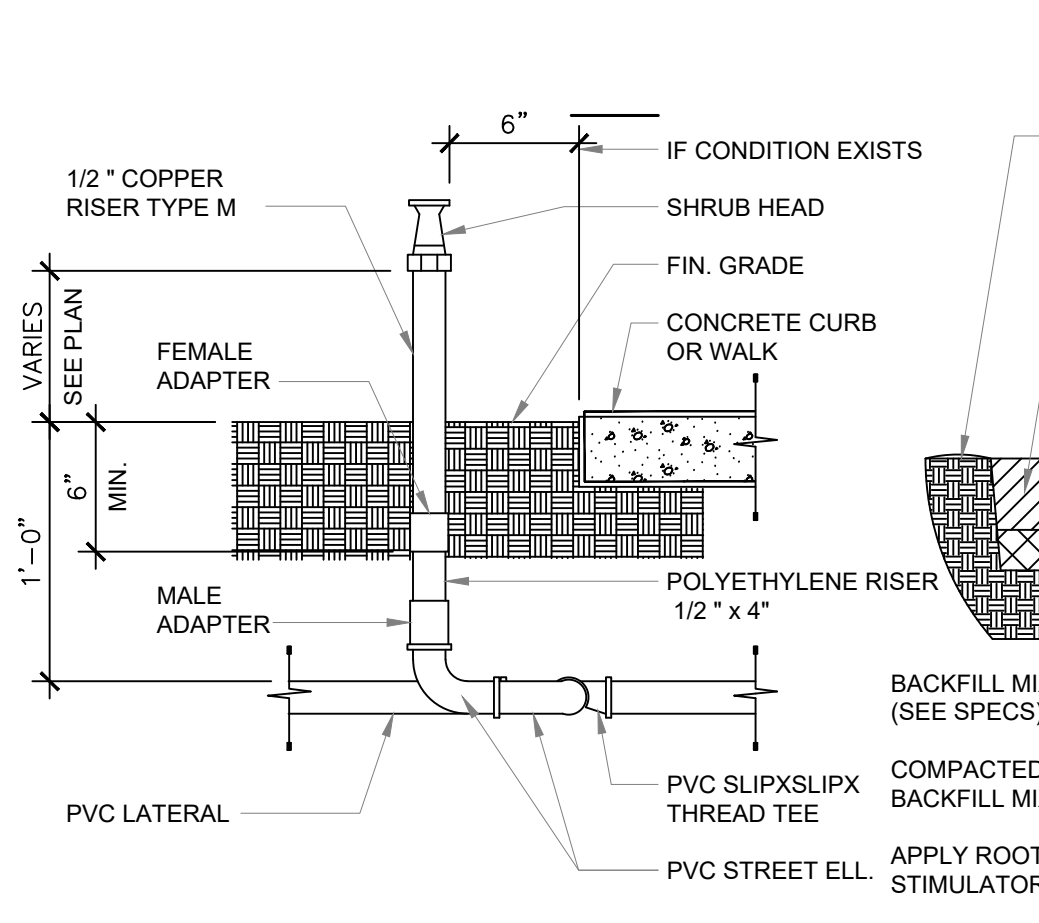
N TREE STAKING
SD4 NTS

- TREE PROTECTION NOTES:
- DURING CONSTRUCTION PROTECTIVE BARRIERS SHALL BE PLACED BY THE SITE CONTRACTOR TO PREVENT DESTRUCTION OF TREES WHICH ARE DESIGNATED TO REMAIN. PROTECTIVE BARRIERS SHALL BE ERRECT PRIOR TO CONSTRUCTION OF ANY KIND ON THE SITE. BARRIERS
 - SHALL CONSIST OF PROTECTIVE POSTS TWO (2) INCHES BY (4) FOUR INCHES OR LARGER. WOODEN POSTS PLANTED IN SUFFICIENT DEPTH TO BE STABLE WITH AT LEAST FOUR (4) FEET OF POST VISIBLE ABOVE THE GROUND. POSTS SHALL BE PLACED NO CLOSER THAN FIVE (5) FEET TO THE TRUNK UNLESS PROPOSED PAVING CONSTRUCTION WILL NOT AFFECT REFER TO TREE PROTECTION BARRIER DETAIL. EACH SECTION SHALL BE LINKED TOGETHER WITH LUMBER, EROSION FABRIC, NET OR PLASTIC FENCE MATERIAL.
 - PROPOSED GRADES AROUND TREES TO REMAIN SHALL BE MAINTAINED TO WITHIN (4) FOUR INCHES OF THE EXISTING GRADE.
 - CONTRACTOR SHALL NOTIFY ZONING DIRECTOR UPON COMPLETION OF THE TREE PROTECTION BARRIERS AND PRIOR TO REMOVAL OF EXISTING TREES FOR A SITE INSPECTION. ZONING DIRECTOR SHALL CONDUCT A FINAL INSPECTION ONCE THE EXISTING TREES ARE REMOVED THE 1 YEAR MAINTENANCE PERIOD SHALL BEGIN AFTER FINAL INSPECTION APPROVAL.
 - THE CONTRACTOR SHALL FOLLOW TREE REMOVAL, TREE PROTECTION AND GENERAL PLANTING REQUIREMENTS AS DEFINED BY LOCAL JURISDICTION.
 - PROTECTIVE BARRIER'S SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE AND ALL EQUIPMENT IS REMOVED FROM SITE
 - BARRIERS SHALL BE PLACED AT THE TREE CANOPY LINE EXCEPT ADJACENT TO THE PROPOSED CONSTRUCTION AREA WHERE IT MAY BE AT ONE HALF OF THE CANOPY DISTANCE ON ONE SIDE ONLY
 - WHERE PERMITTED BY LOCAL JURISDICTION, CONTRACTOR MAY USE ORANGE PLASTIC SAFETY FENCING IN LIE OF WOOD FENCING.

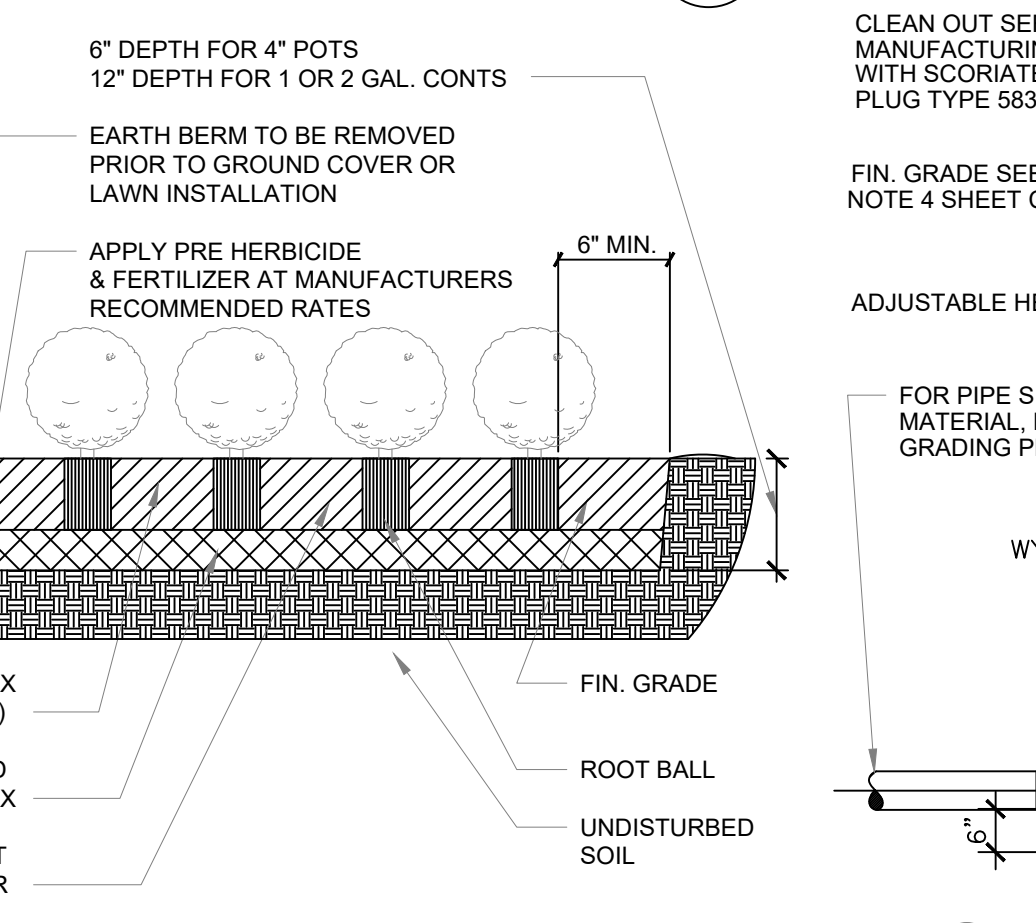
S TREE BARRIERS DETAIL
SD4 NTS



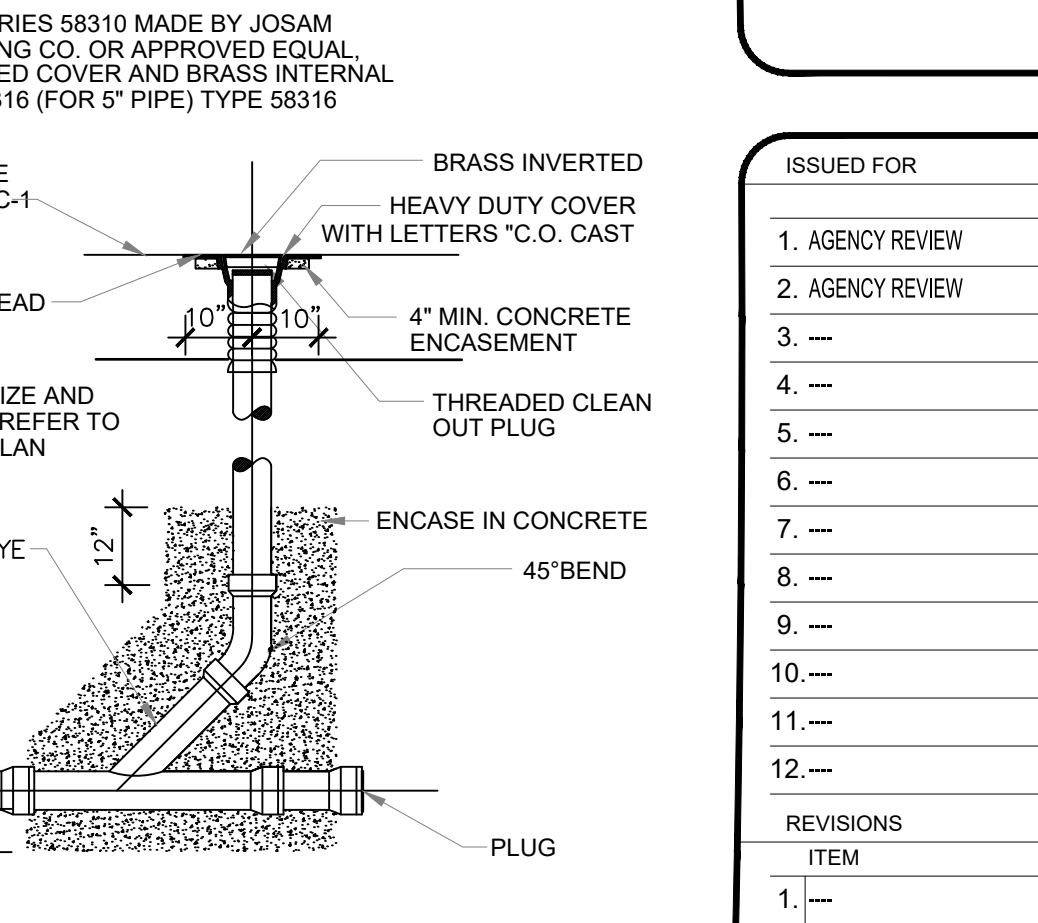
O BUBBLER HEAD
SD4 NTS



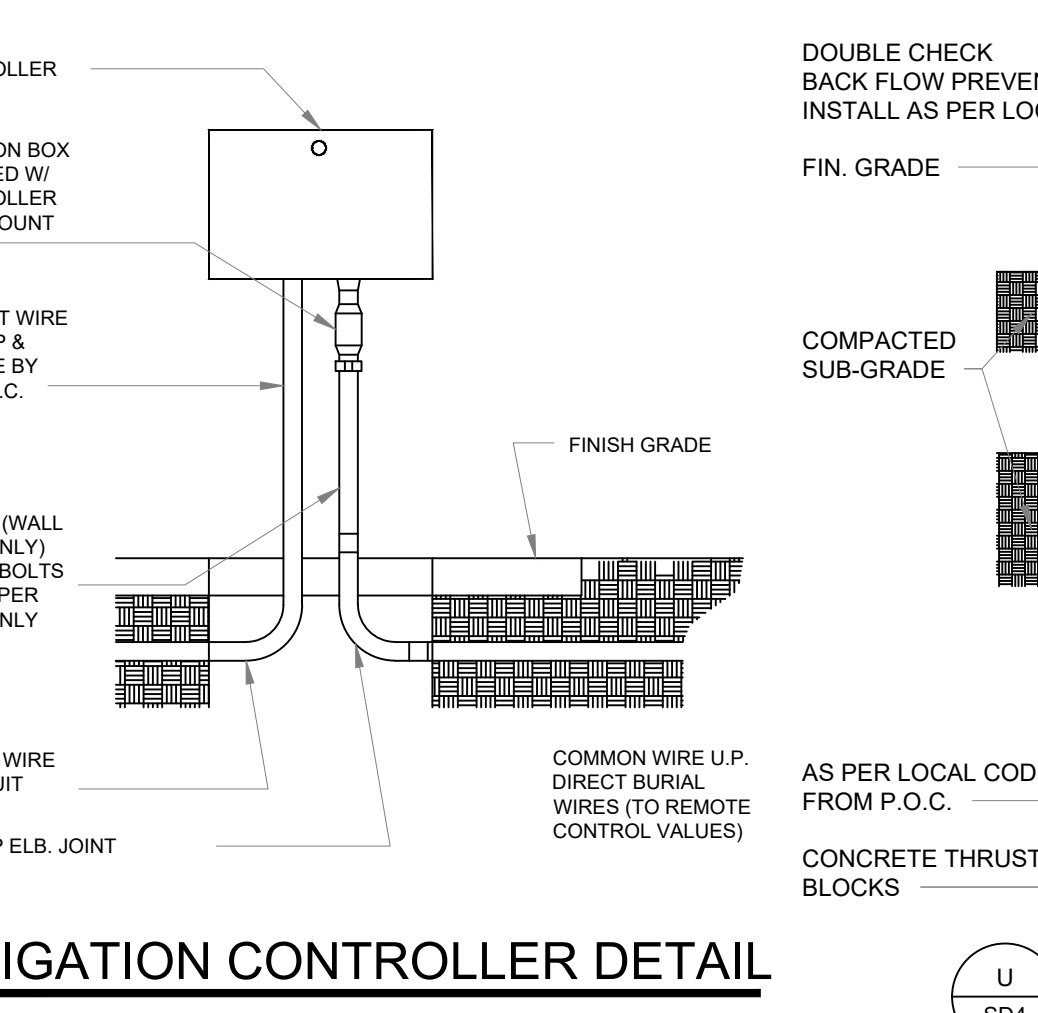
P SHRUB HEAD RISER
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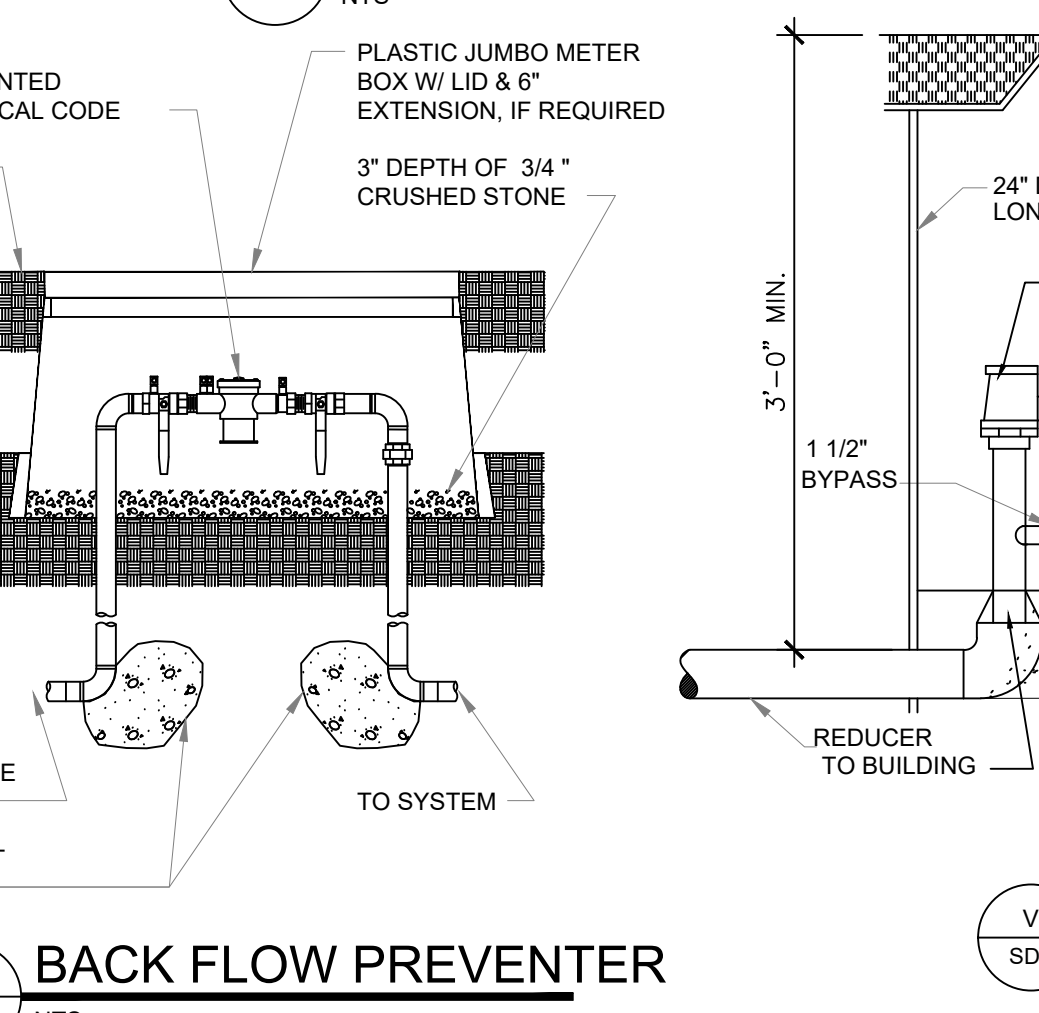
Q GROUND COVER PLANTING
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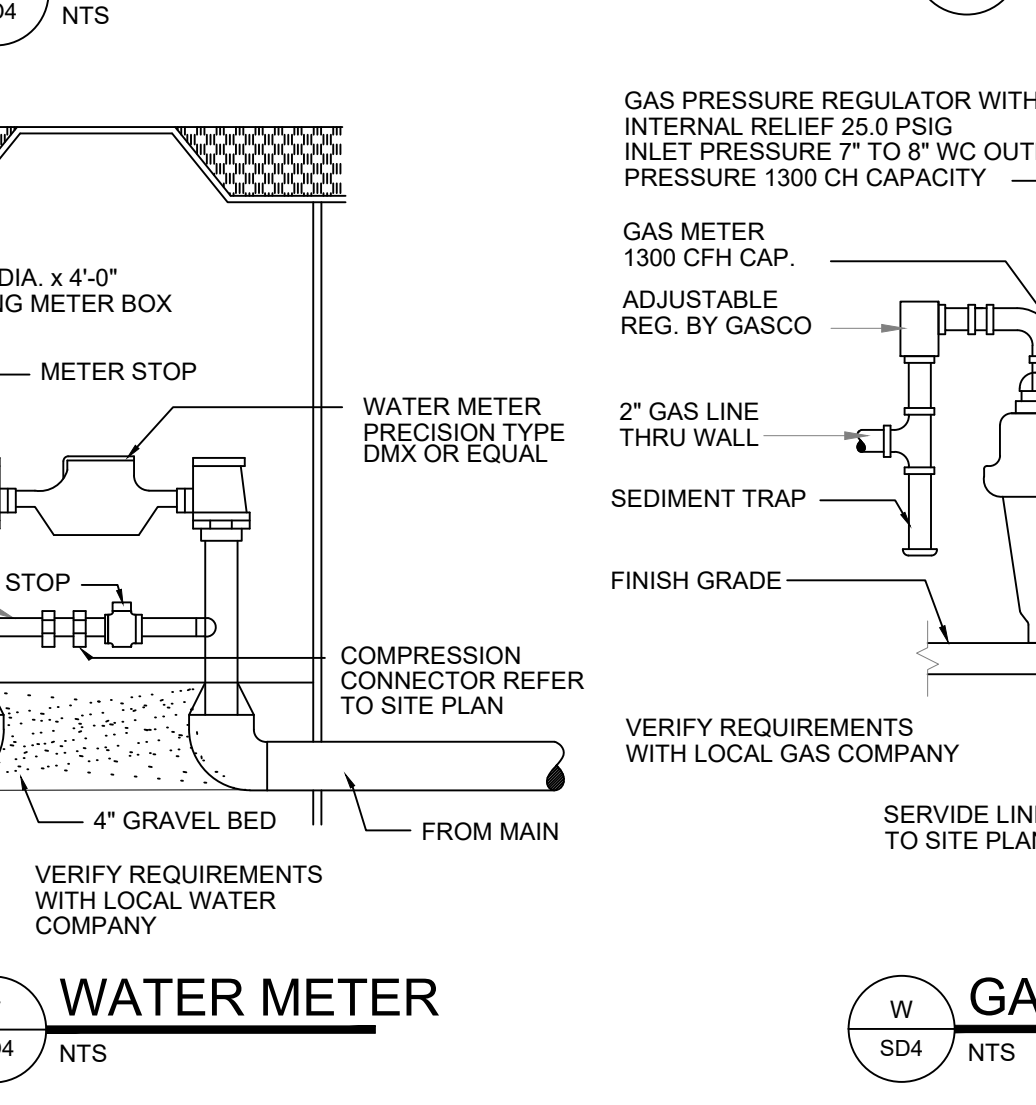
R SANITARY CLEANOUT
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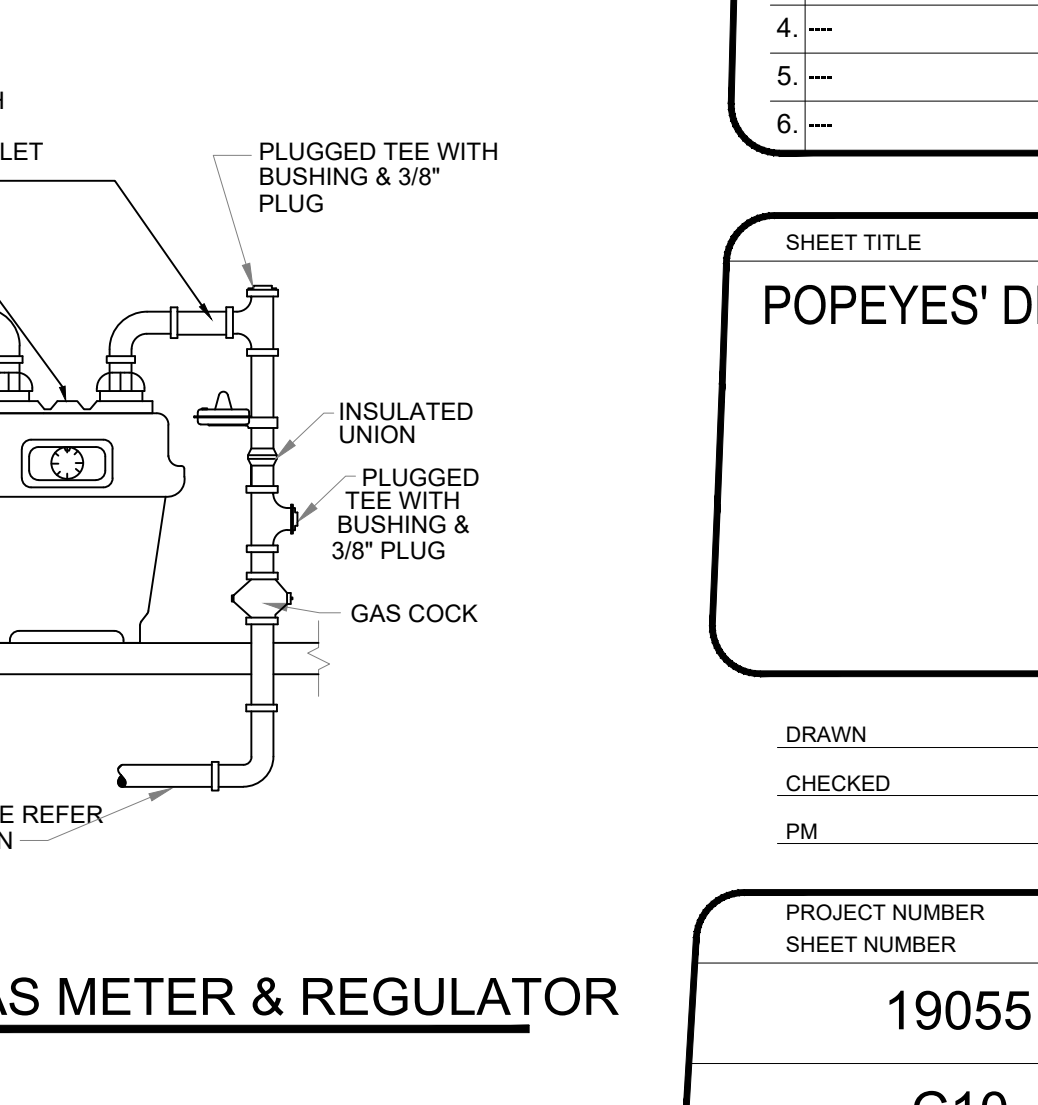
T IRRIGATION CONTROLLER DETAIL
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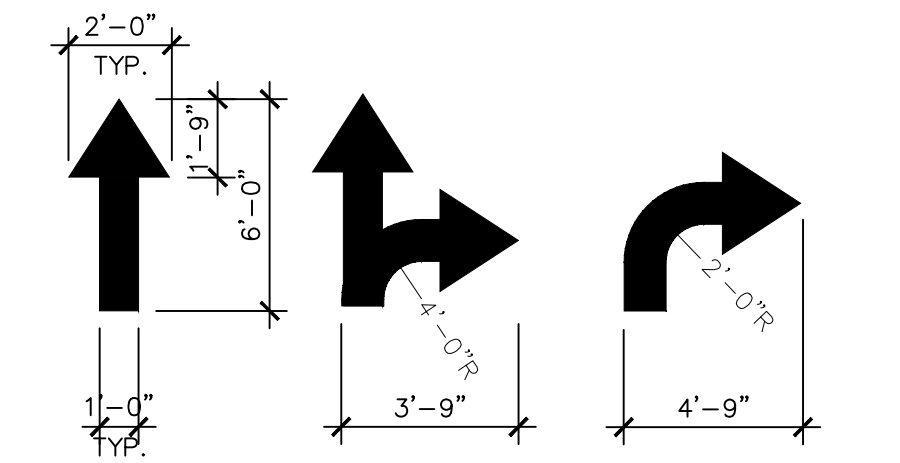
U BACK FLOW PREVENTER
SD4 NTS



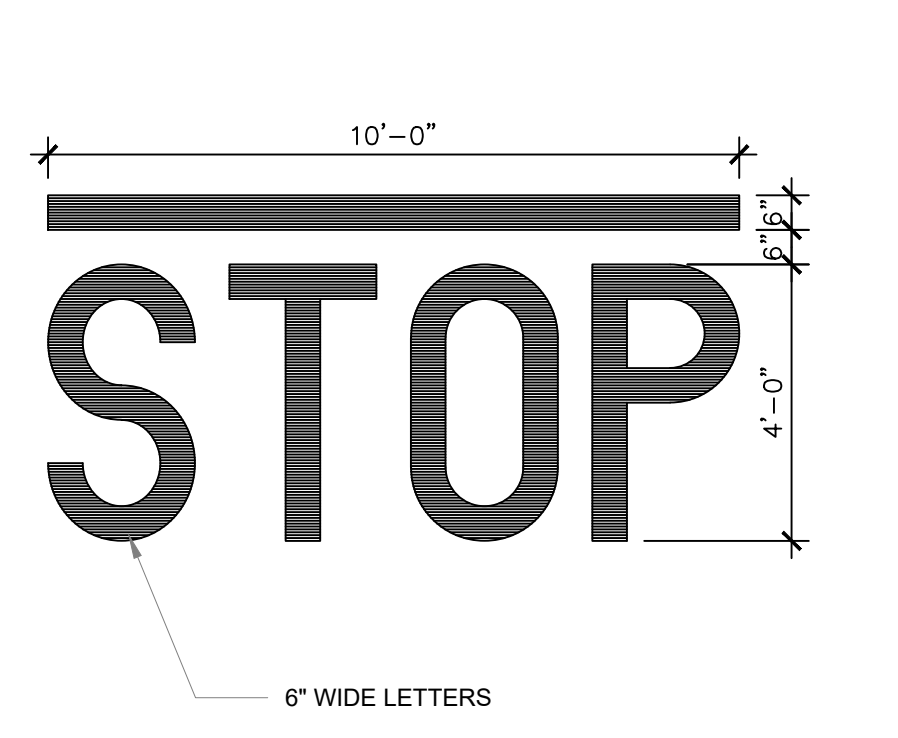
V WATER METER
SD4 NTS



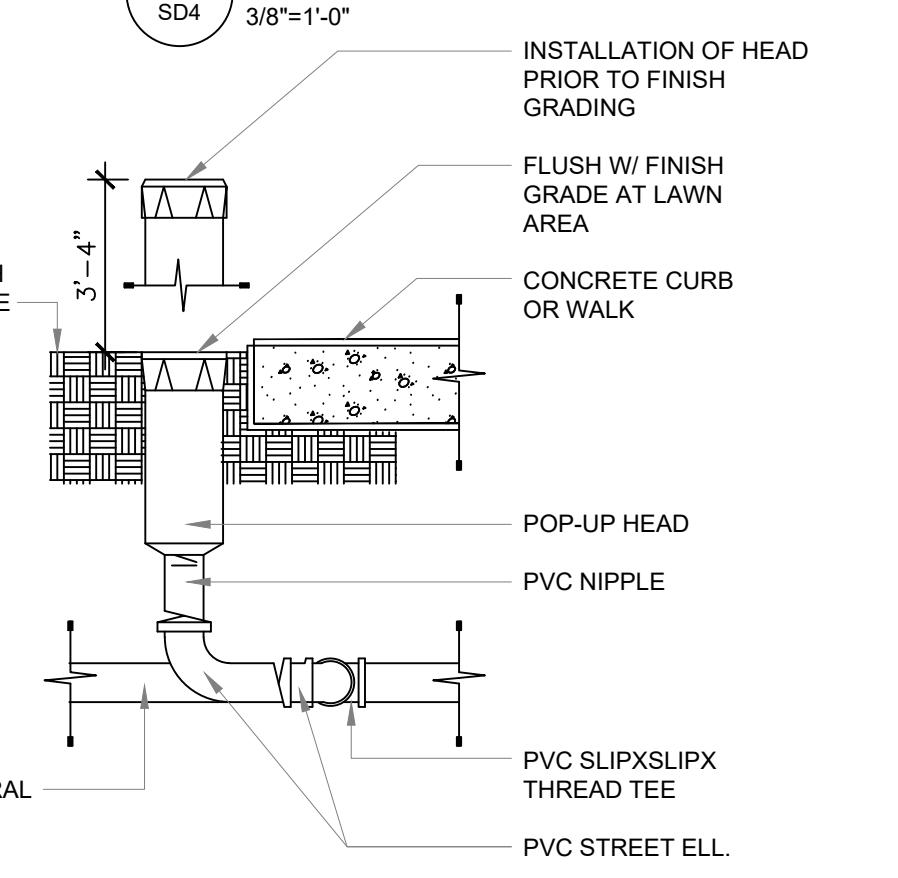
W GAS METER & REGULATOR
SD4 NTS



E PAINTED TRAFFIC ARROWS
SD4 NTS



F PAINTED STOP SIGN
SD4 3/8"=1'-0"



L POP-UP LAWN SHRUB HEAD
SD4 NTS

ARC DESIGN
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FAX: (815) 484-4303

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PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RD STE 330
BURR RIDGE, IL 60527
(847) 208-5656

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POPEYES' DETAILS

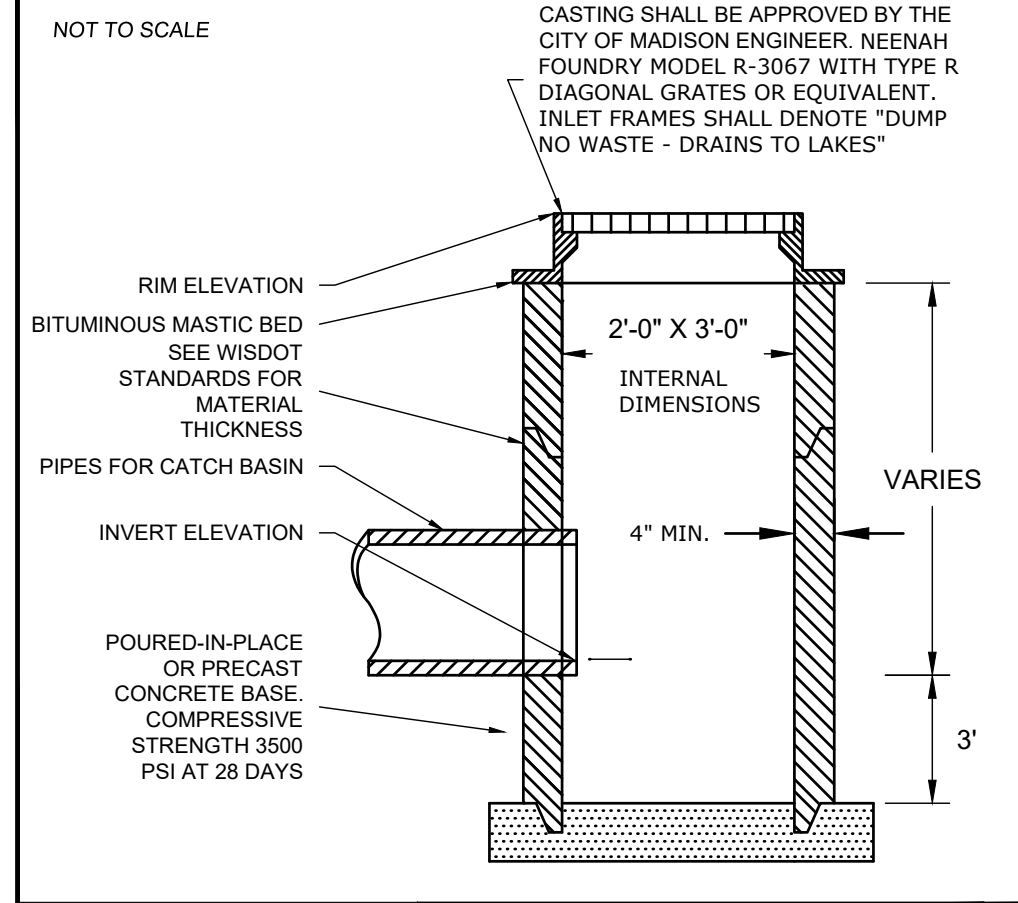
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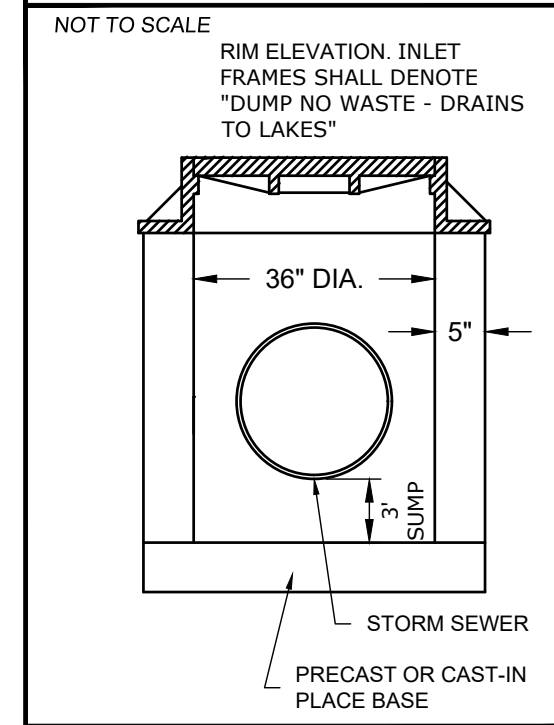
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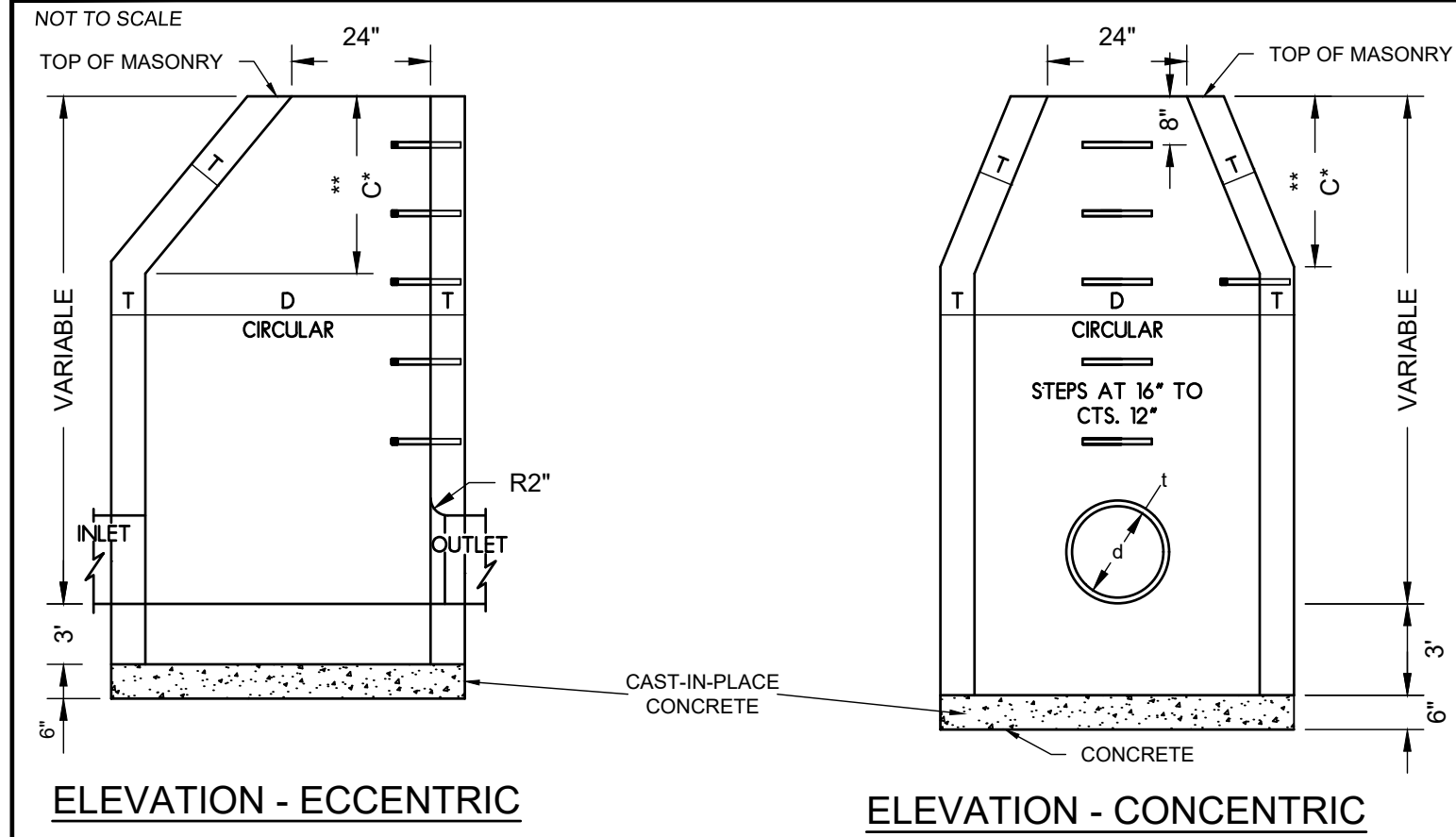
2' X 3' INLET DETAIL



3' DIA INLET TYPE B

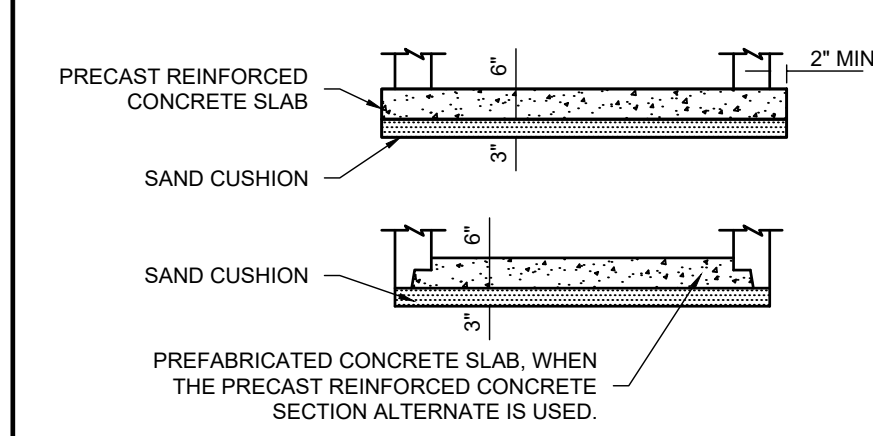


MANHOLE TYPE A DETAIL



ELEVATION - ECCENTRIC

ELEVATION - CONCENTRIC

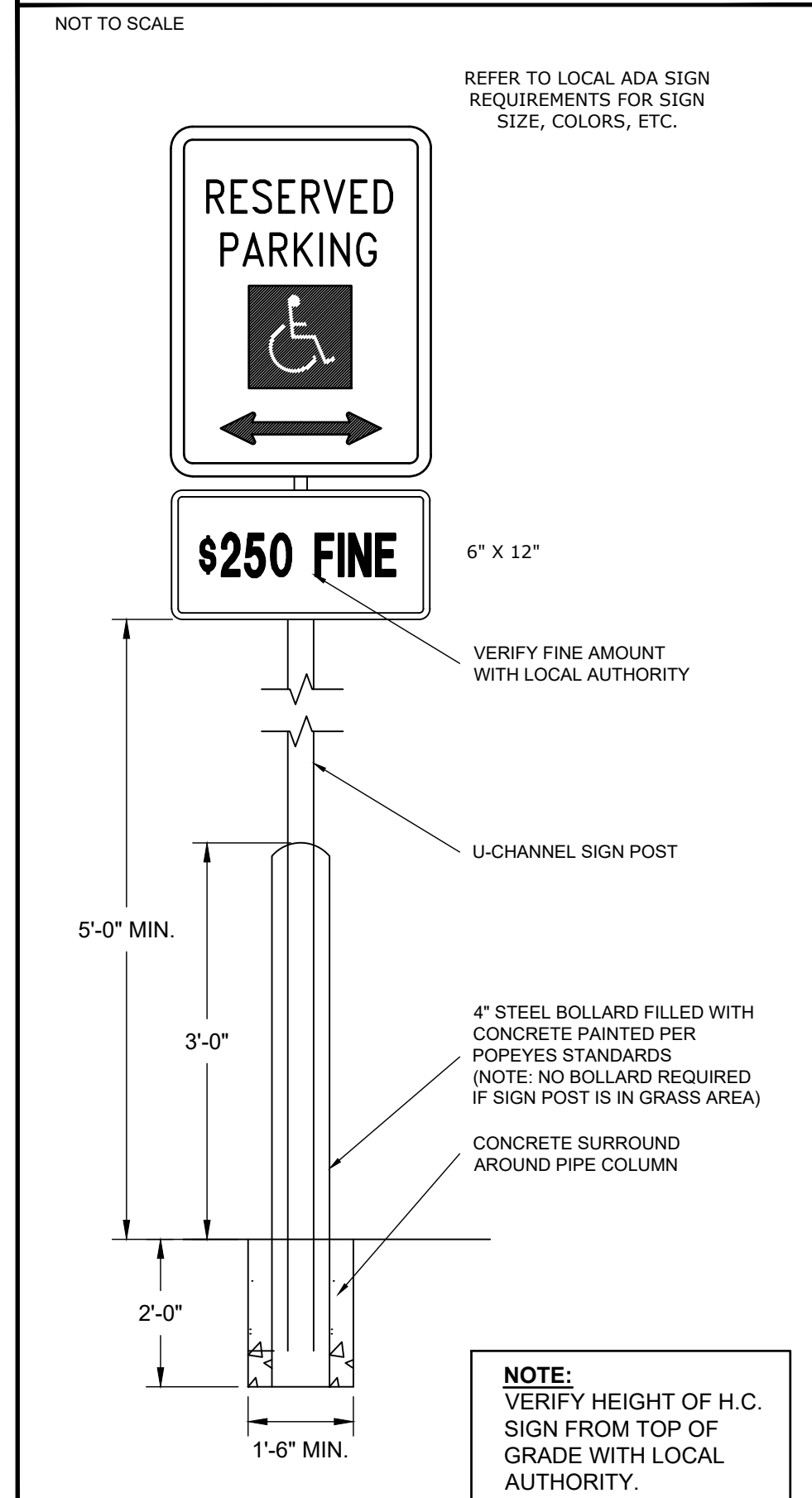


ALTERNATE BOTTOM SLAB

ALTERNATE MATERIALS FOR WALLS	D	C	(MIN)
CONCRETE	(6-24)	(0-24)	(6)
MASONRY UNIT	(6-24)	(0-24)	(6)
BRICK MASONRY	(6-24)	(0-24)	(6)
PRECAST REINFORCED CONCRETE SECTION	(6-24)	(0-24)	(6)
CAST-IN-PLACE CONCRETE	(6-24)	(0-24)	(6)

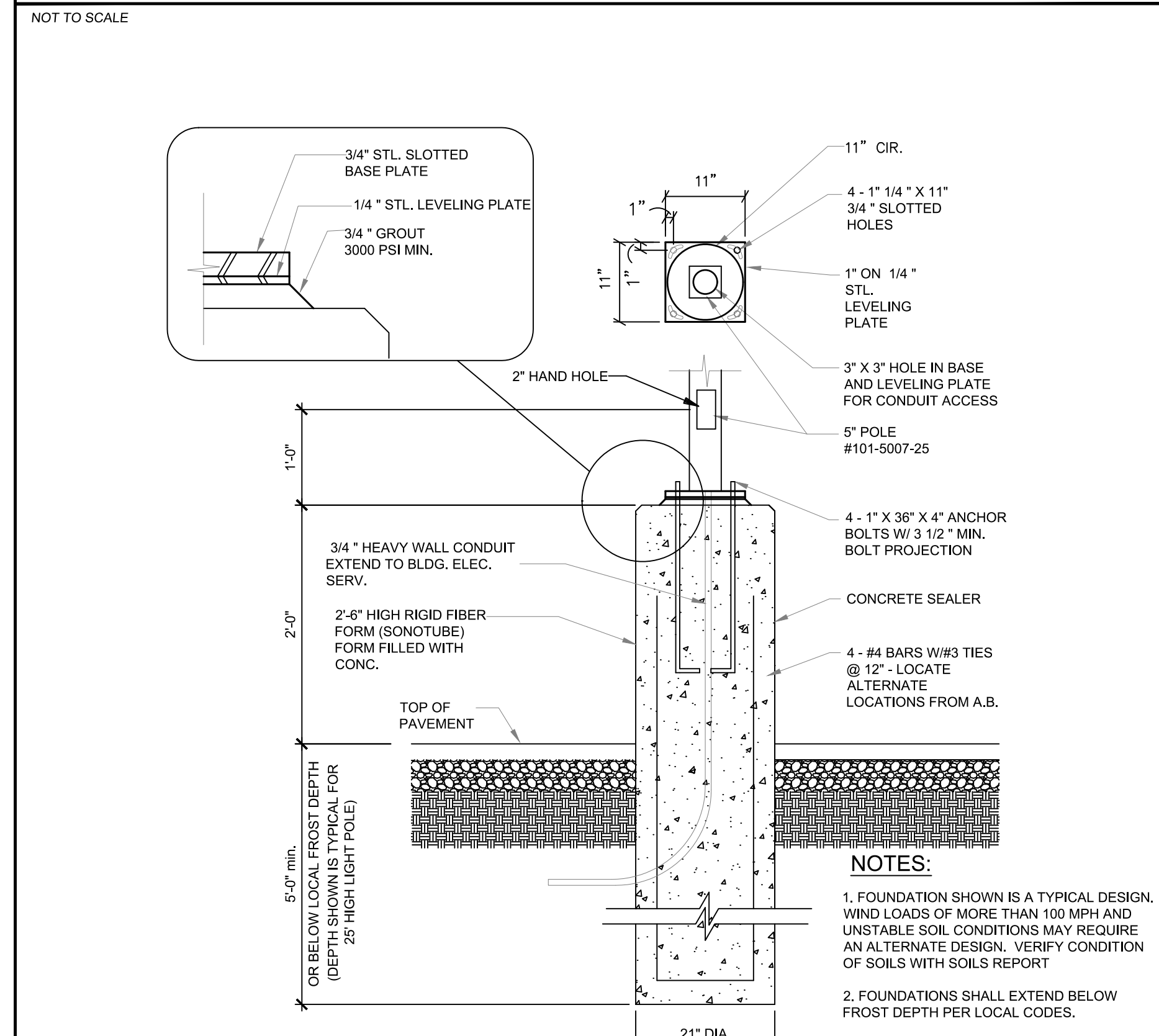
GENERAL NOTES
SEE STANDARD 602701 FOR DETAILS OF STEPS.
*DIMENSION "C" FOR PRECAST REINFORCED CONCRETE SECTIONS MAY VARY FROM THE DIMENSION GIVEN TO PLUS 6".
**SEE STANDARD 602601 FOR OPTIONAL PRECAST REINFORCED CONCRETE FLAT SLAB TOP.

ACCESSIBLE PARKING SIGN DETAIL



NOTE:
VERIFY HEIGHT OF H.C. SIGN FROM TOP OF GRADE WITH LOCAL AUTHORITY.

LIGHT POLE FOUNDATION



NOTES:
1. FOUNDATION SHOWN IS A TYPICAL DESIGN. WIND LOADS OF MORE THAN 100 MPH AND UNSTABLE SOIL CONDITIONS MAY REQUIRE AN ALTERNATE DESIGN. VERIFY CONDITION OF SOILS WITH SOILS REPORT
2. FOUNDATIONS SHALL EXTEND BELOW FROST DEPTH PER LOCAL CODES.

SITE LIGHTING: THE NATIONAL ACCOUNT VENDOR SHALL FURNISH THE SITE LIGHTING PACKAGE, AS REQUIRED FOR THE SPECIFIC LOCATION. UNDER THIS SPECIFICATION SECTION, PROVIDED ARE 1" RIGID GALVANIZED STEEL ELECTRICAL CONDUIT, AND THE REQUIRED WIRING FROM THE PANEL TO THE POLE.

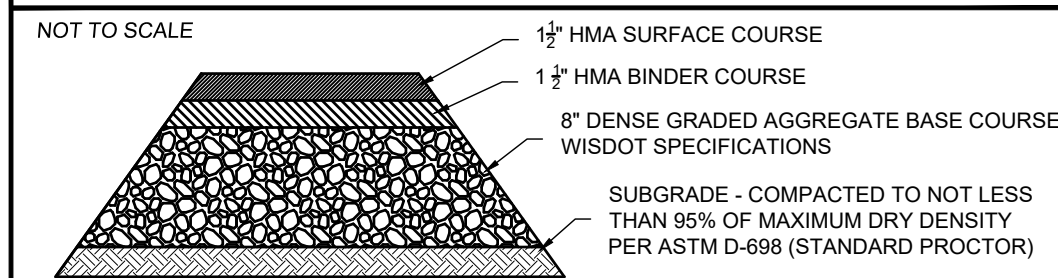
GROUND/BOND ALL SITE LIGHTING FIXTURES/POLES PER THE NEC. THE BRANCH CIRCUIT CONDUCTORS SHALL BE INCREASED FROM #10 AWG TO #8 AWG IF THE HORIZONTAL DISTANCE FROM THE PANEL TO THE POLES IS GREATER THAN EIGHTY (80) FEET. ALL SITE LIGHTING SHALL BE CONTROLLED THROUGH THE LIGHTING CONTROL SYSTEM SHOWN ON THE DRAWINGS. REFER TO THE SITE PLAN FOR QUANTITY AND LOCATION OF ALL SITE LIGHTING. SET FIXTURES AS SPECIFIED, AND AIM AFTER DARK FOR UNIFORM LIGHT DISTRIBUTION. THE NATIONAL ACCOUNT VENDOR SHALL PROVIDE A SITE PHOTOMETRIC AT NO COST, WHICH MAY BE A PART OF THE CONSTRUCTION DOCUMENTS SET, BUT SHALL BE SUBMITTED TO POPEYES DESIGN FOR THEIR RECORDS.

LUMINAIRE SCHEDULE

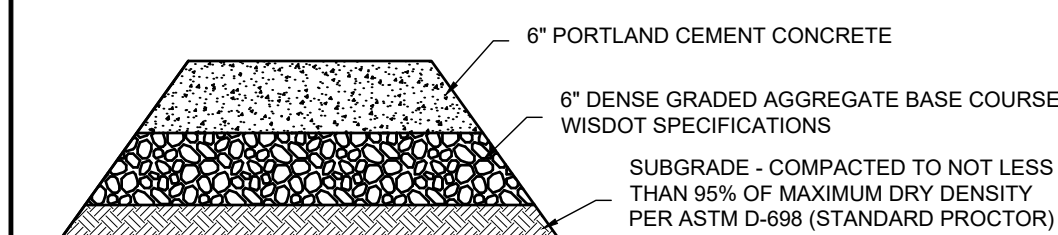
SYMBOL	TOTAL HEIGHT	ARRANGEMENT	QUANTITY	CREE PART #
	27'	SINGLE	6	OSQ-A-NM-4ME-T-57K-UL-BZ + OSQ-AABZ OSQ-BLSLF

VERIFY LIGHTING FIXTURES WITH CREE LIGHTING PLAN INCLUDED IN SUBMITTAL DOCUMENTS

TYPICAL PAVEMENT SECTIONS



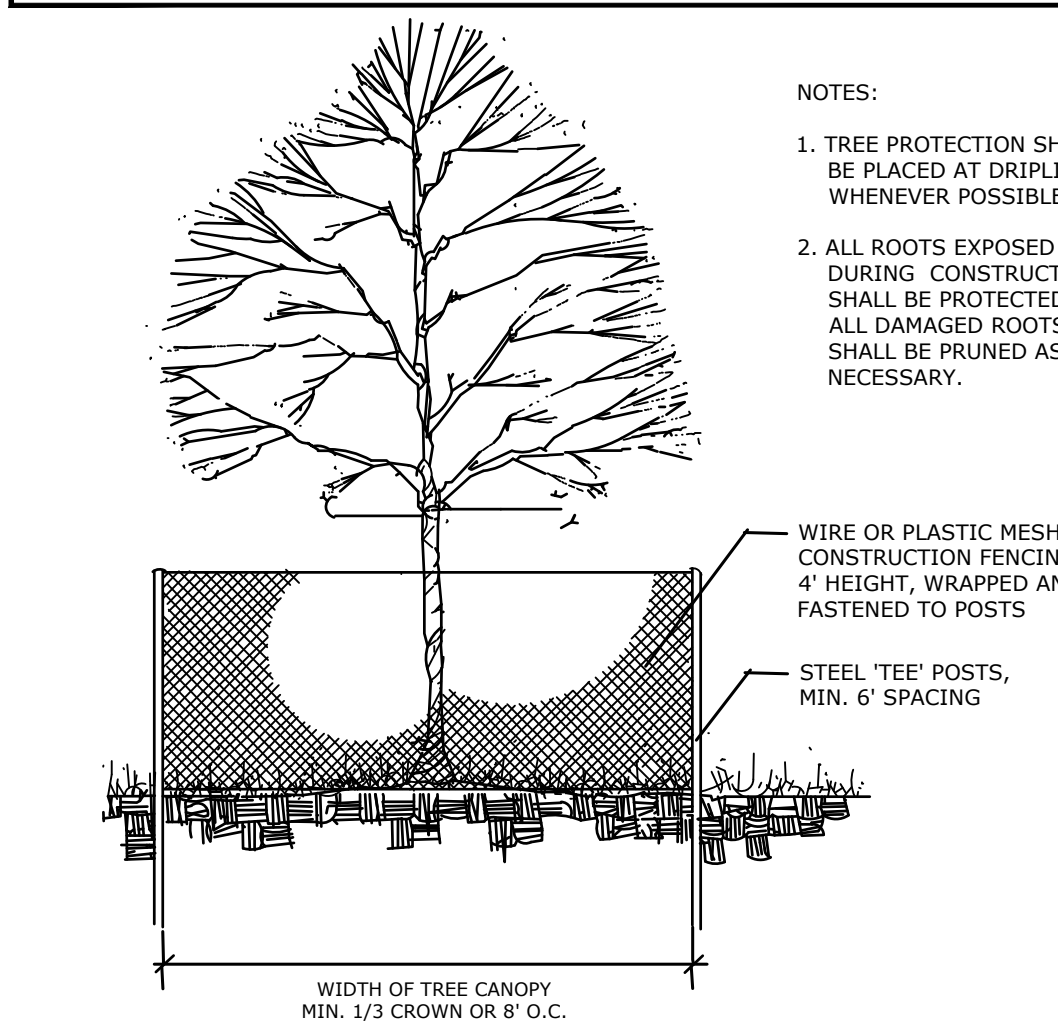
STANDARD ASPHALT PAVEMENT



HEAVY DUTY CONCRETE PAVEMENT

TO BE USED IN DRIVEWAY AND TRASH ENCLOSURE AREAS

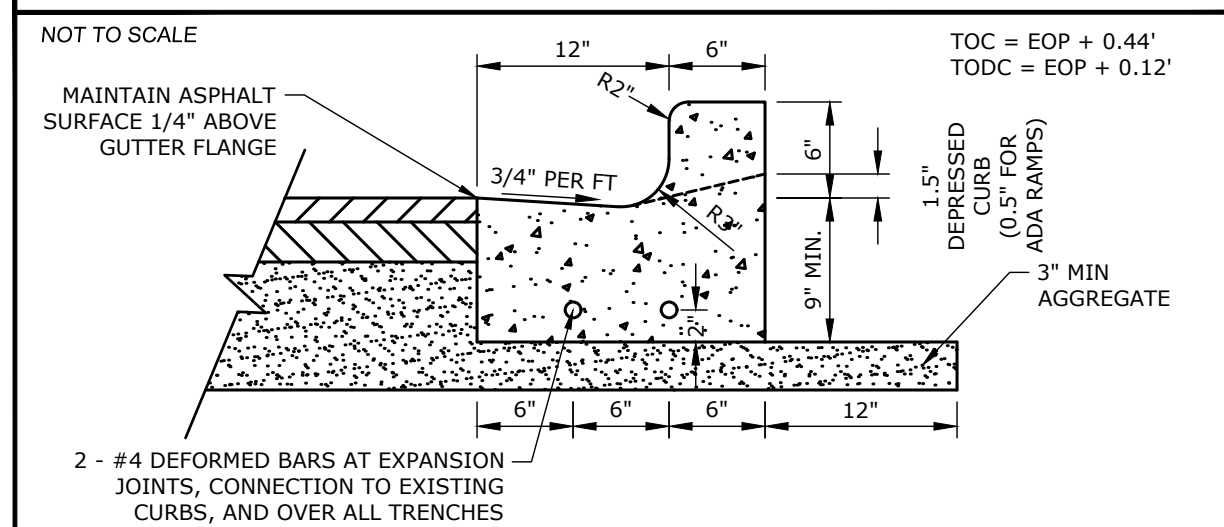
- NOTES:
- TREE PROTECTION SHALL BE PLACED AT DRILLINE WHENEVER POSSIBLE
 - ALL ROOTS EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED. ALL DAMAGED ROOTS SHALL BE PRUNED AS NECESSARY.



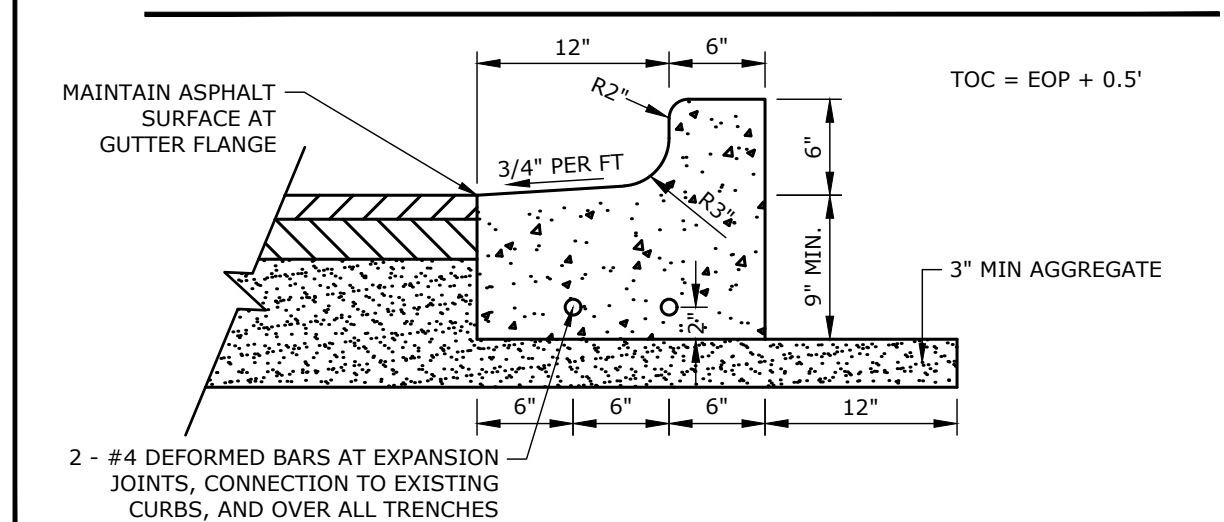
TREE PROTECTION DETAIL

NOT TO SCALE

CONCRETE CURB & GUTTER

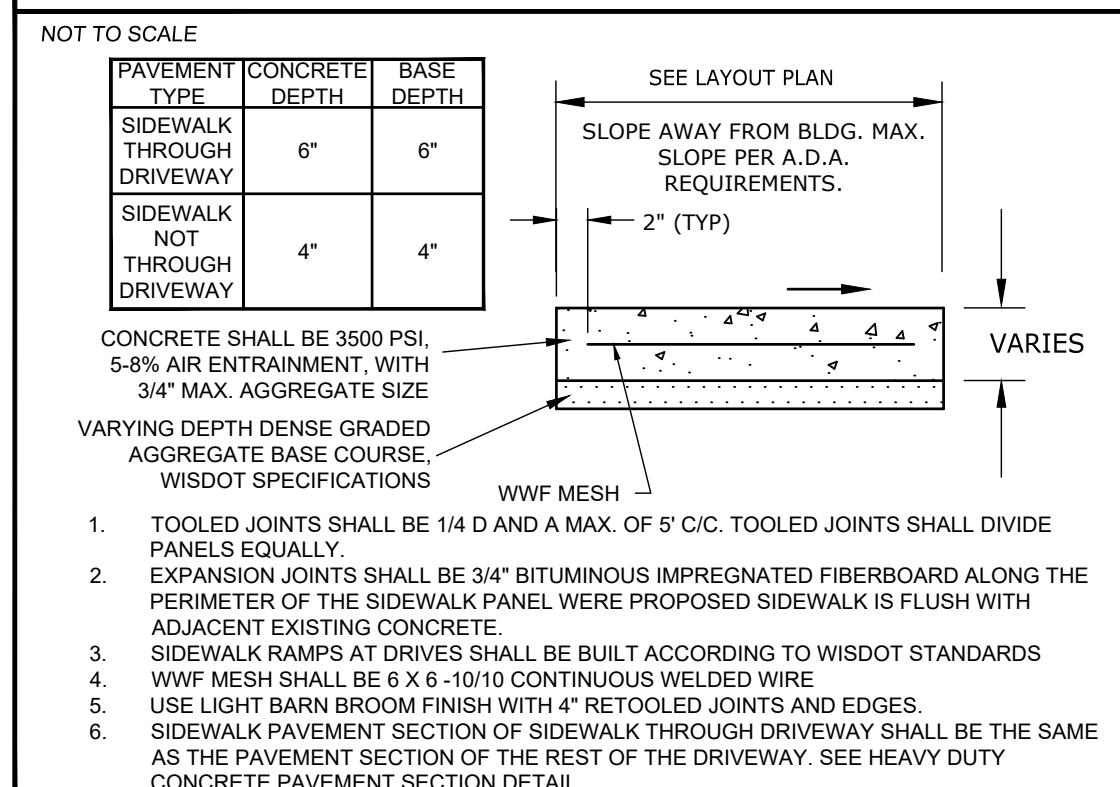


B-6.12 SECTION



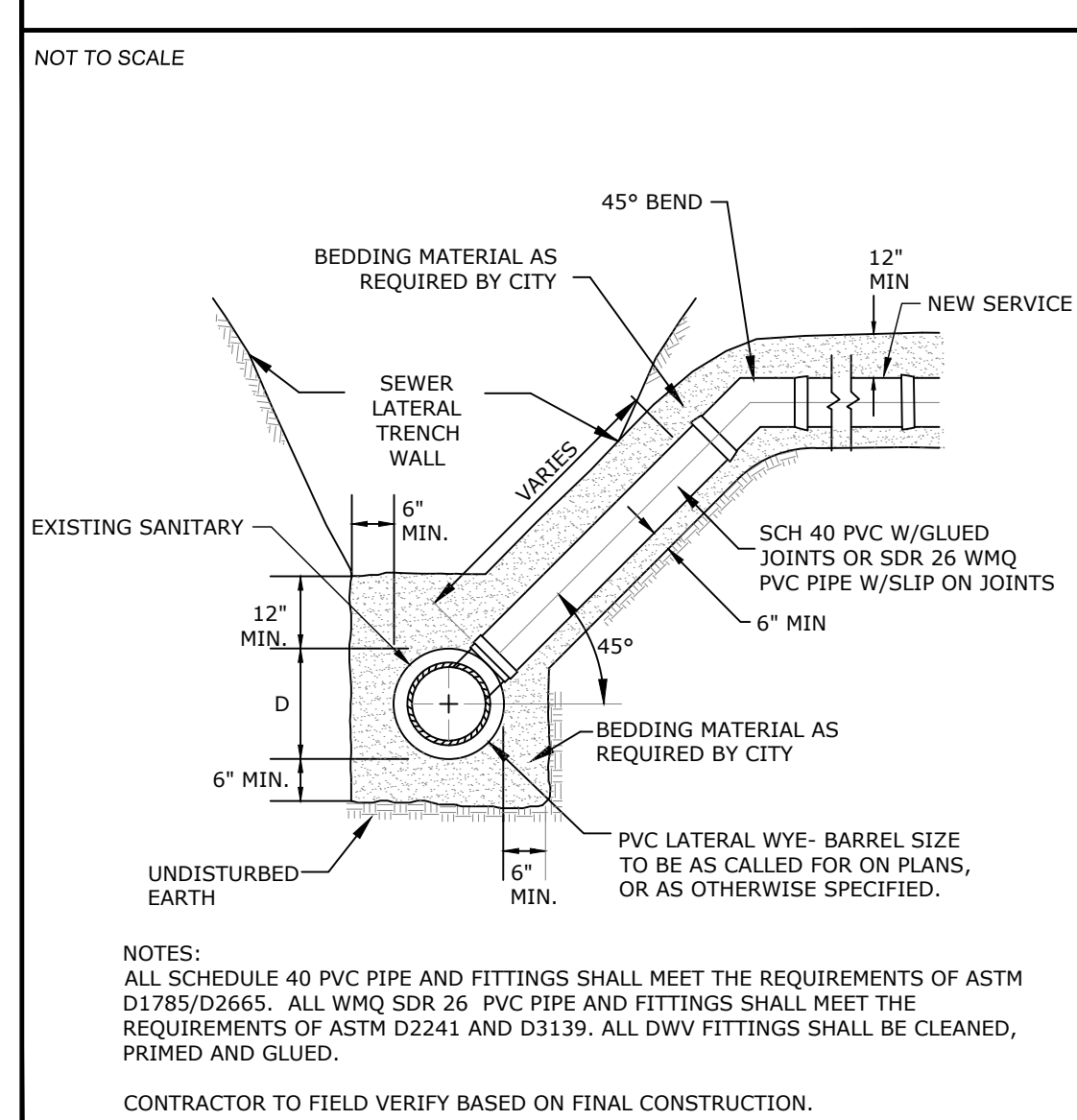
B-6.12 SECTION (REJECTING)

SIDEWALK NOT ADJACENT TO STORE



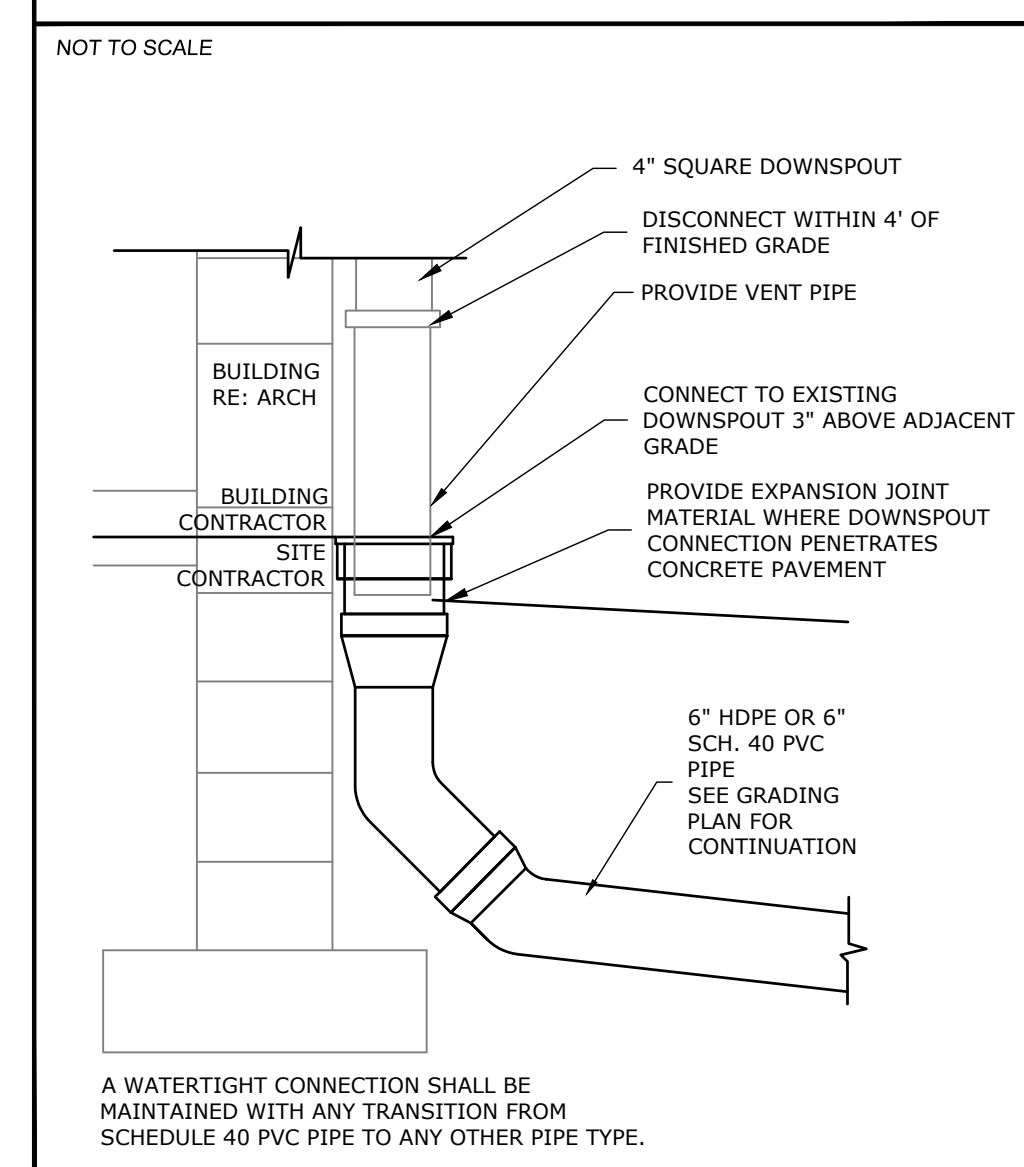
- TOOLED JOINTS SHALL BE 1/4 D AND A MAX. OF 5' C/C. TOOLED JOINTS SHALL DIVIDE PANELS EQUALLY.
- EXPANSION JOINTS SHALL BE 3/4" BITUMINOUS IMPREGNATED FIBERBOARD ALONG THE PERIMETER OF THE SIDEWALK PANEL WHERE PROPOSED SIDEWALK IS FLUSH WITH ADJACENT EXISTING CONCRETE.
- SIDEWALK RAMP AT DRIVES SHALL BE BUILT ACCORDING TO WISDOT STANDARDS
- WWF MESH SHALL BE 6 X 6 - 10/10 CONTINUOUS WELDED WIRE
- USE LIGHT BARN BROOM FINISH WITH 4" RETOILED JOINTS AND EDGES.
- SIDEWALK PAVEMENT SECTION OF SIDEWALK THROUGH DRIVEWAY SHALL BE THE SAME AS THE PAVEMENT SECTION OF THE REST OF THE DRIVEWAY. SEE HEAVY DUTY CONCRETE PAVEMENT SECTION DETAIL.

ALTERNATE SERVICE RISER DETAIL



NOTES:
ALL SCHEDULE 40 PVC PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM D1785/D2665. ALL W/MQ SDR 26 PVC PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM D2241 AND D3139. ALL DWV FITTINGS SHALL BE CLEANED, PRIMED AND GLUED.
CONTRACTOR TO FIELD VERIFY BASED ON FINAL CONSTRUCTION.

DOWNSPOUT CONNECTOR DETAIL



A WATER TIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.

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SHEET TITLE

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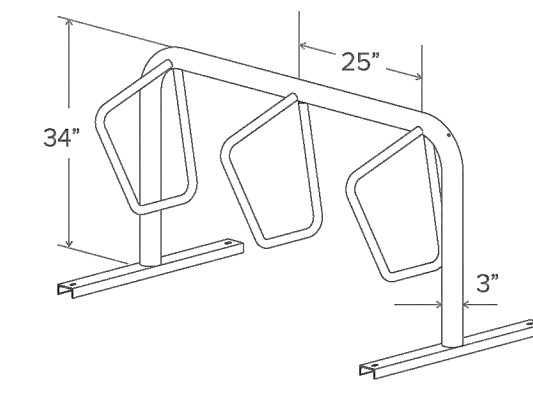
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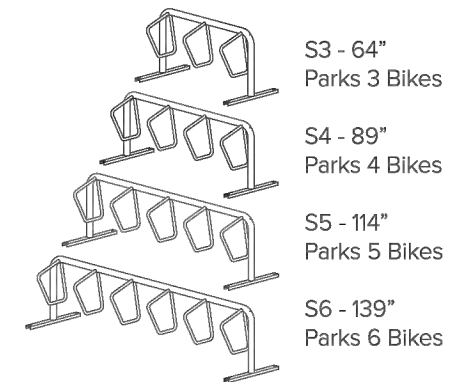
DERO S4 CAMPUS BICYCLE RACK



Submittal Sheet



- CAPACITY** 3-11 Bikes
- MATERIALS** Centerbeam: 3" OD 7 gauge tube
Arms: 1.25" OD 11 gauge tube
All welds to be continuous MIG welds
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
- MOUNT OPTIONS**
- Surface**
Fork Mount has 34" x 3" channel feet and can be left freestanding or anchored to the ground. Tamper-resistant fasteners available upon request.
 - In-Ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option

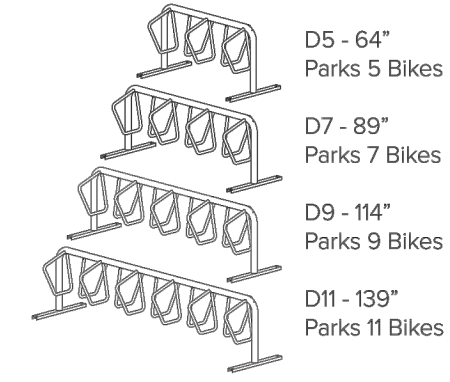


S3 - 64"
Parks 3 Bikes

S4 - 89"
Parks 4 Bikes

S5 - 114"
Parks 5 Bikes

S6 - 139"
Parks 6 Bikes



D5 - 64"
Parks 5 Bikes

D7 - 89"
Parks 7 Bikes

D9 - 114"
Parks 9 Bikes

D11 - 139"
Parks 11 Bikes

REFER TO THE CITY OF MADISON, WI BIKE RACK REQUIREMENTS FOR BICYCLE PARKING SPACE SIZE, DESIGN AND INSTALLATION REQUIREMENTS.

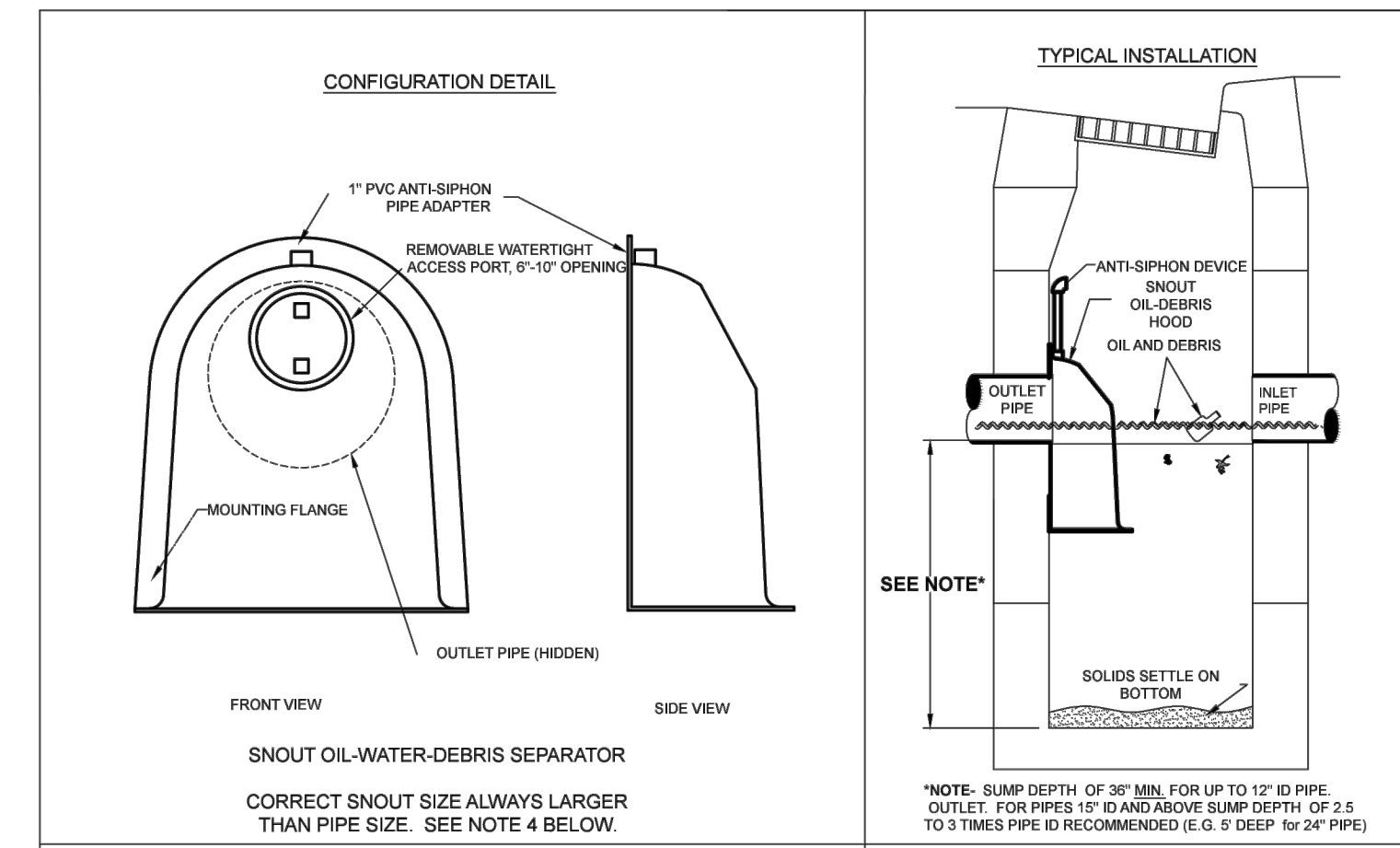
THE SARIS CITY RACK, MADRAX SPARTAN RACK, MADRAX SENTRY RACK, AND MADRAX SHARK RACK ARE ALSO ACCEPTABLE (MINIMUM FOUR SPACES).

ADJUSTMENTS TO THE BICYCLE PARKING AREA MAY BE REQUIRED TO MEET MINIMUM REQUIREMENTS IF A RACK OTHER THAN THE DERO CAMPUS RACK IS SELECTED. ADJUSTMENTS ARE TO BE MADE BY THE CONTRACTOR.

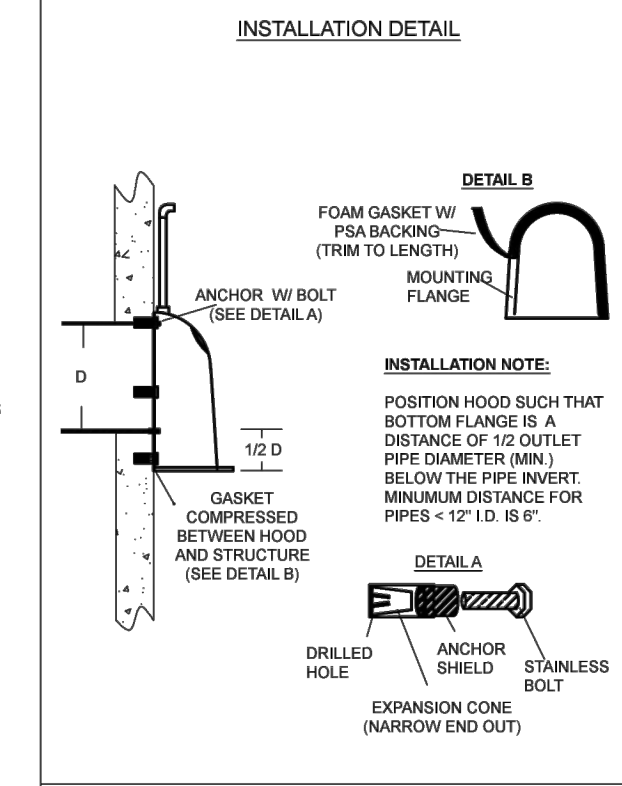
CONTACT ARTHUR ROSS, CITY OF MADISON, WI PEDESTRIAN-BICYCLE COORDINATOR AT (608) 266-6225 FOR QUESTIONS.

©2021

SNOUT BY BEST MANAGEMENT PRACTICES, INC. SPECIFICATIONS



- NOTES:**
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 9 MATHEWS DRIVE, UNIT A1-A2, EAST HADDAM, CT 06423. TOLL FREE: (800) 504-8008 OR (888) 434-0277. FAX: (877) 454-3197. WEB SITE: www.bmpinc.com OR PRE-APPROVED EQUAL.
 - ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
 - ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL).
 - THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION. NOTE: THE CORRECT SNOUT SIZE WILL ALWAYS BE LARGER THAN NOMINAL PIPE SIZE (E.G. 12" ID PIPE REQS. 18" SERIES SNOUT OR LARGER).
 - THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 4" FOR PIPES < 12" I.D.
 - THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.
 - THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
 - ALL STRUCTURE JOINTS SHALL BE WATERTIGHT.
 - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).
 - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
A. INSTALLATION INSTRUCTIONS
B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
D. 3/8" STAINLESS STEEL BOLTS
E. ANCHOR SHIELDS
- US Patent # 6126817, 7951294, 7857966, 8512556
Canada Patent # 2285146, 2690156, 2690156 others pending



HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES		
DESCRIPTION	DATE	SCALE
OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	01/08/20	NONE
DRAWING NUMBER		SP-SN

ARC DESIGN RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
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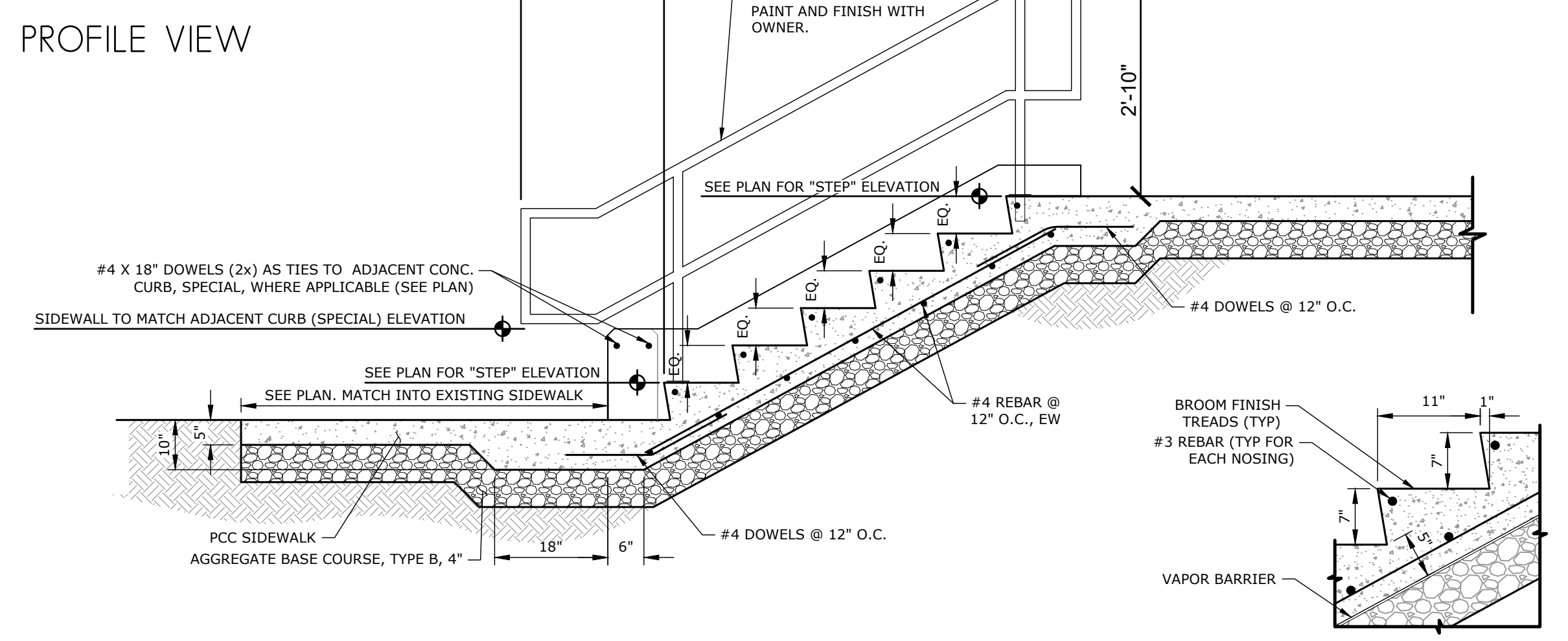
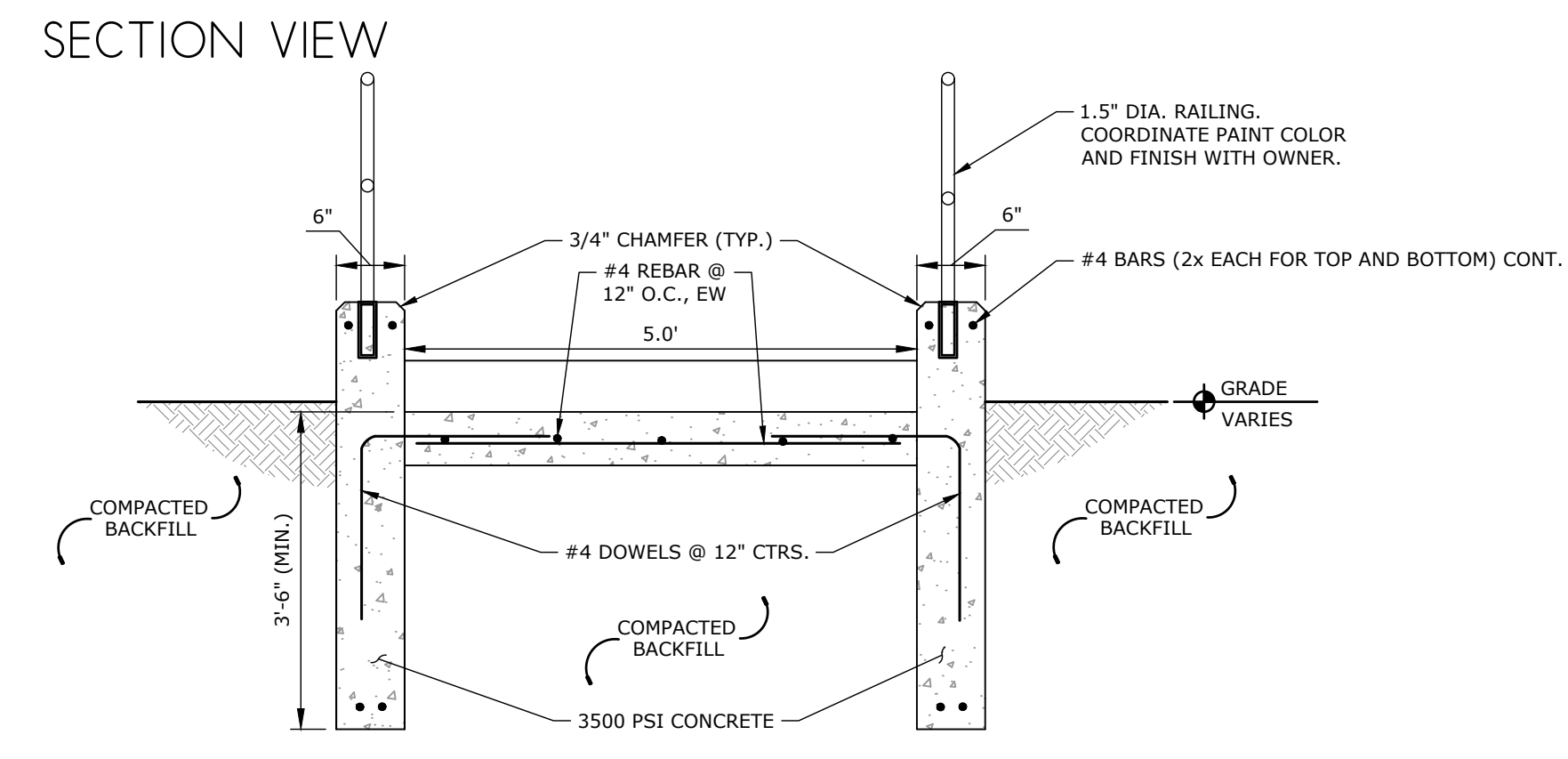
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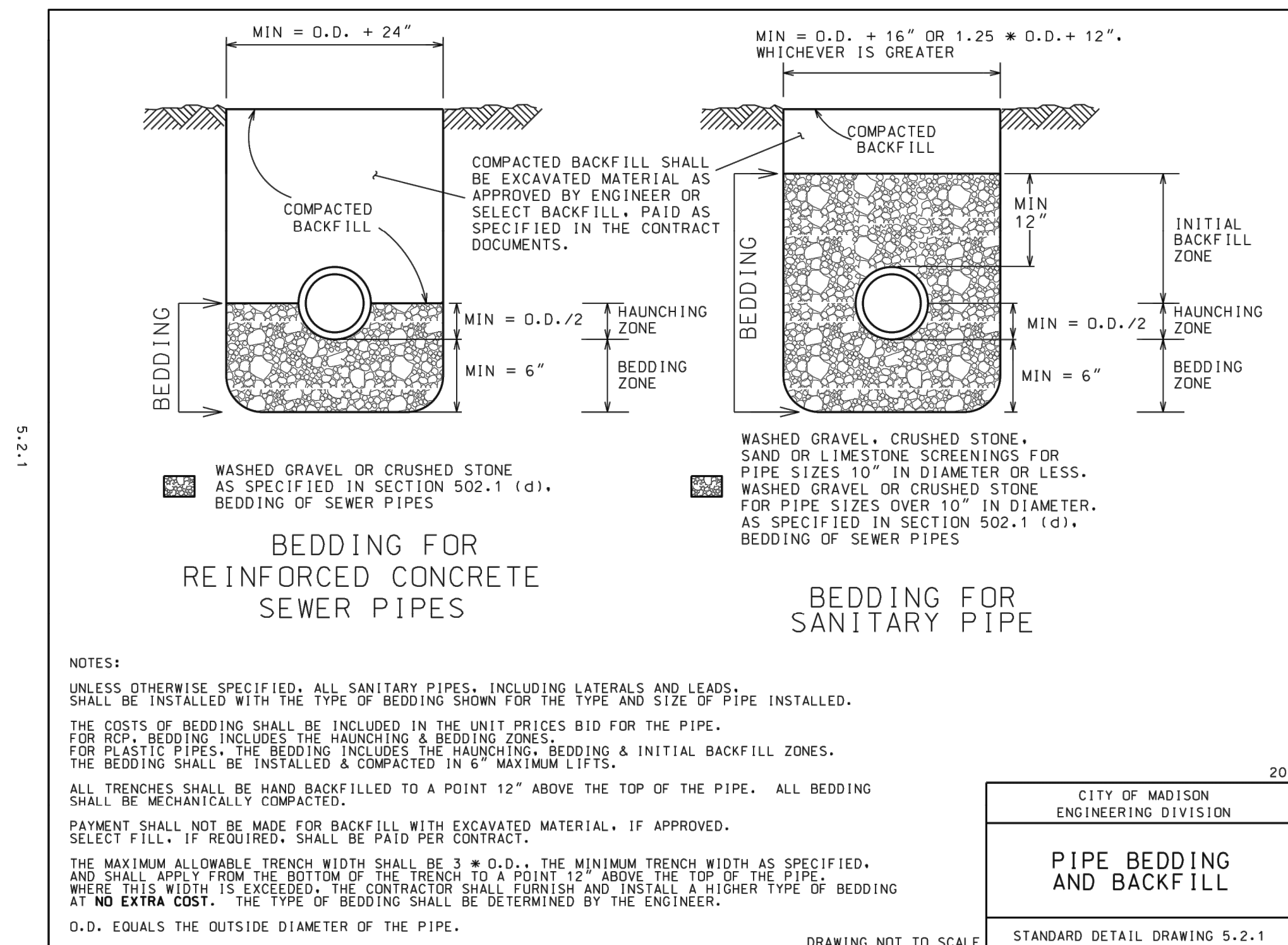
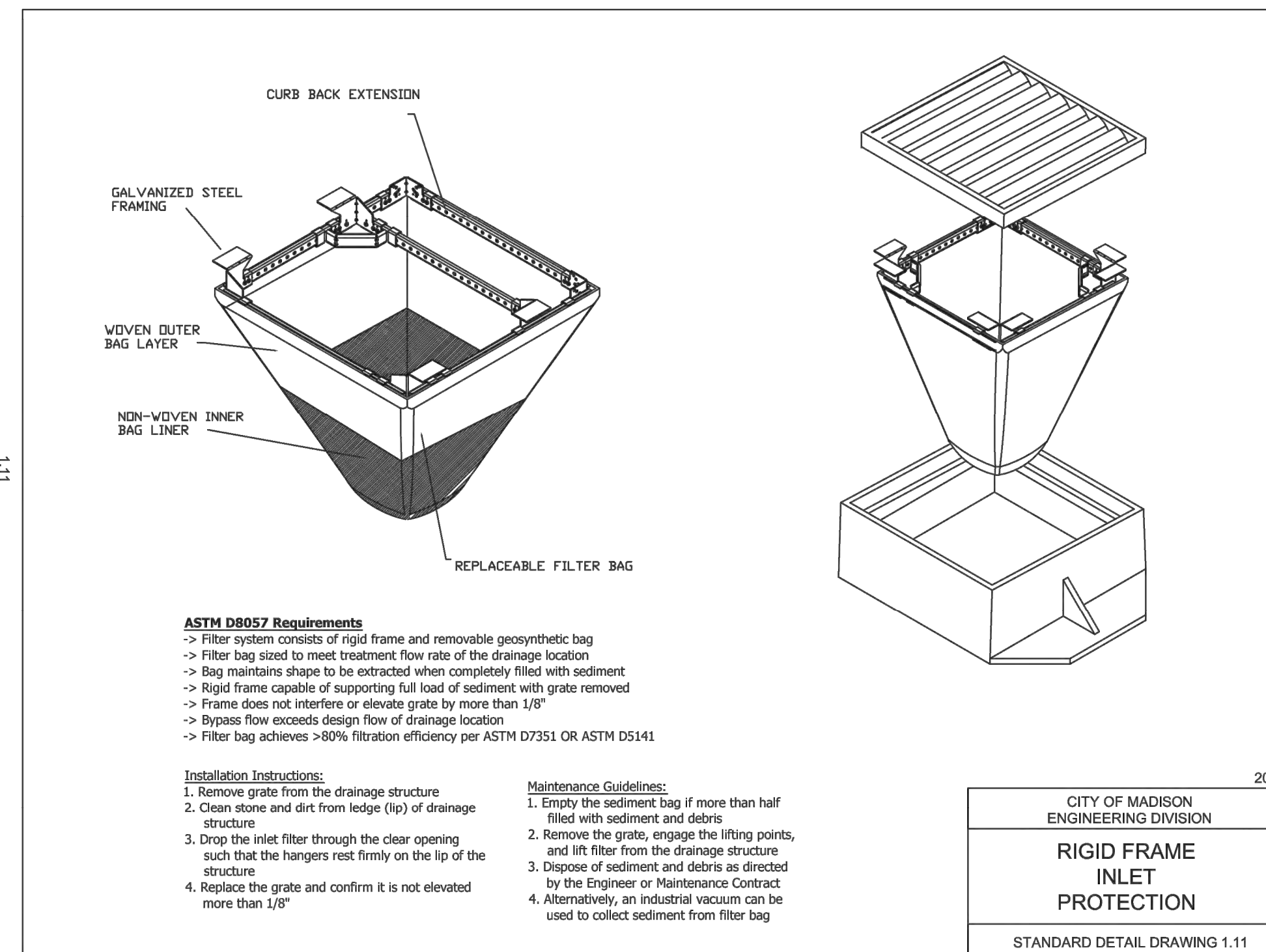
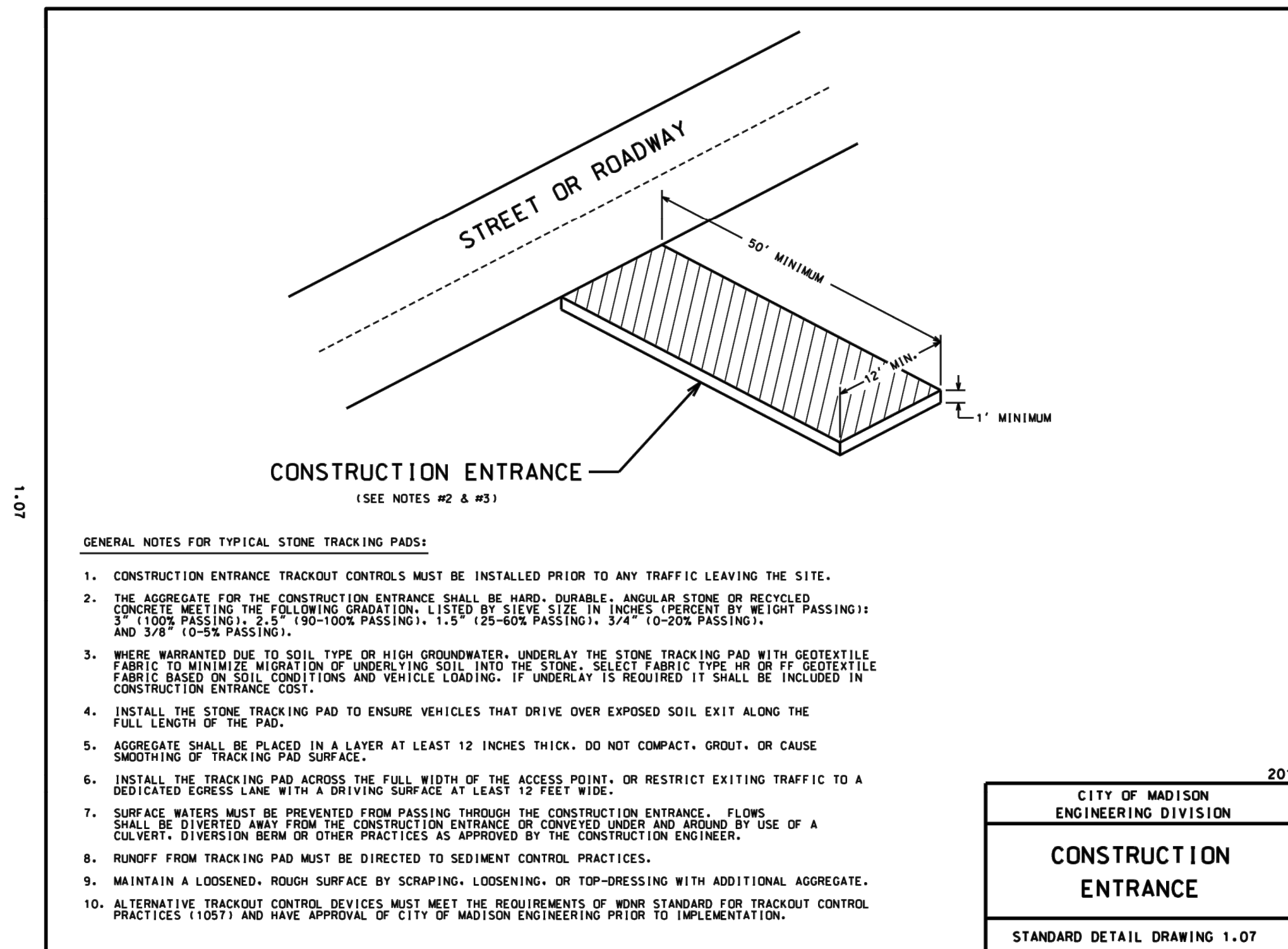
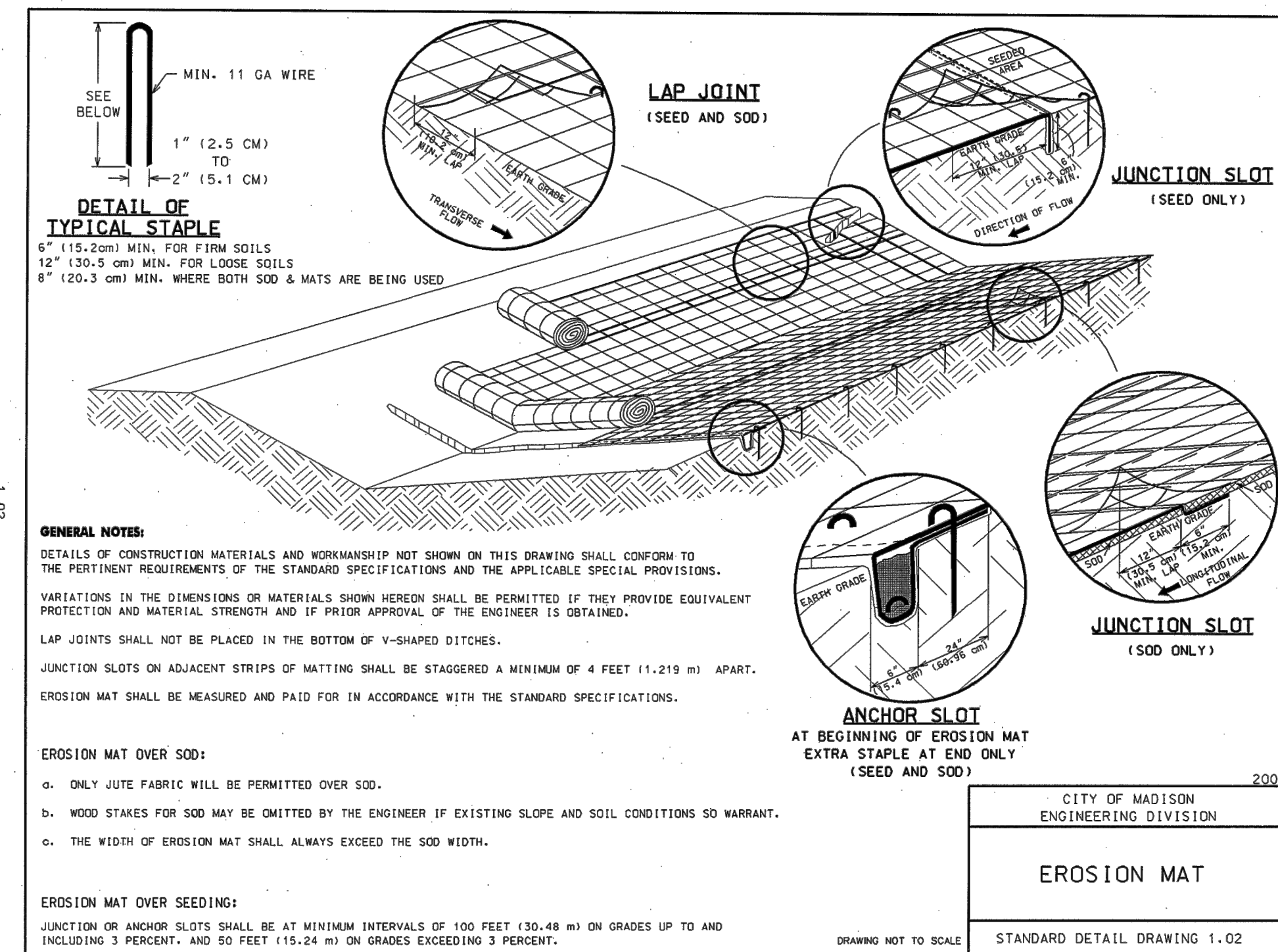
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CONC. STEPS



CONC. STEP DETAIL



ARC DESIGN RESOURCES INC.
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SHEET TITLE

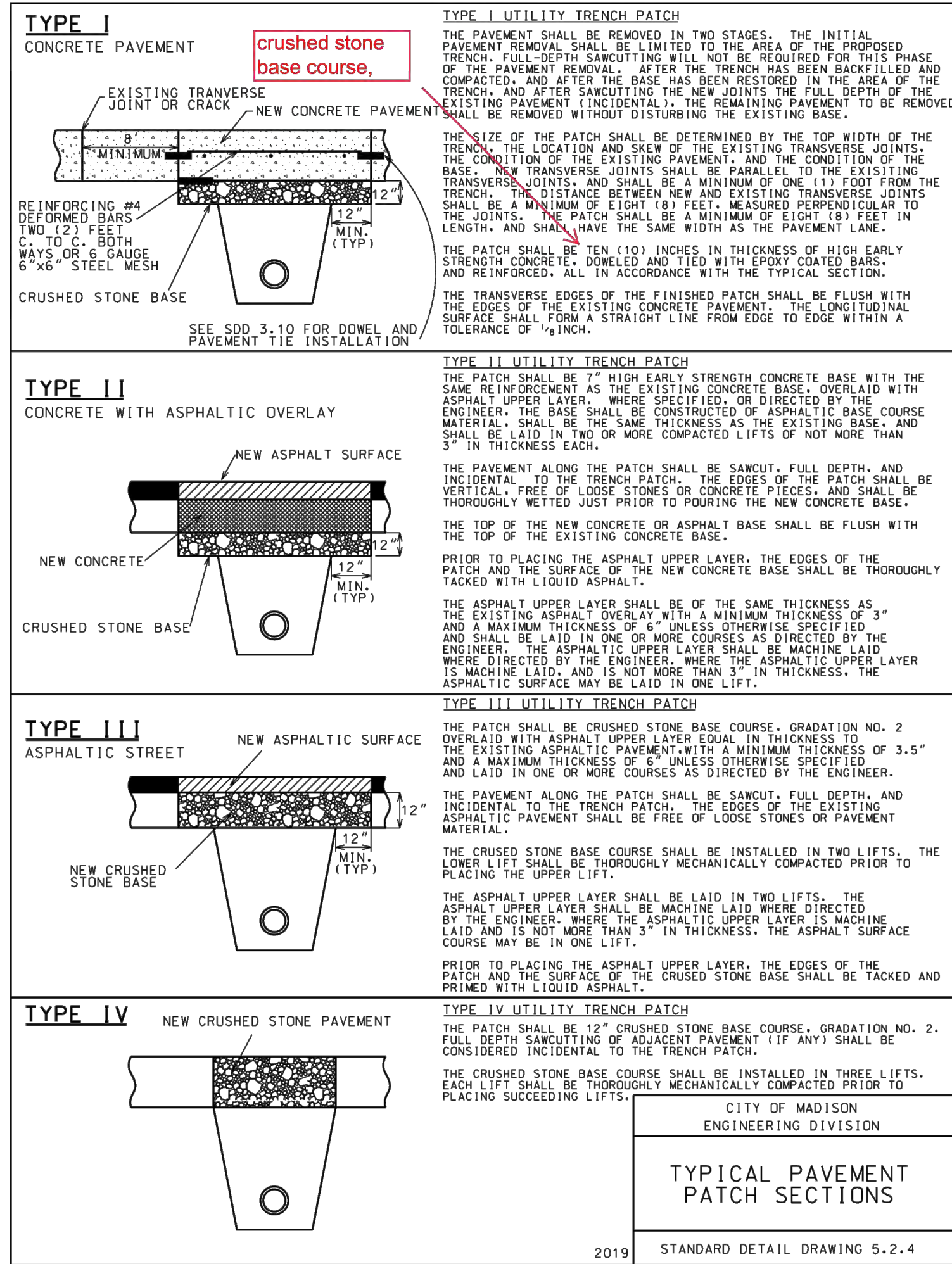
**CITY OF MADISON
 DETAILS**

DRAWN	KG
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PM	RCS

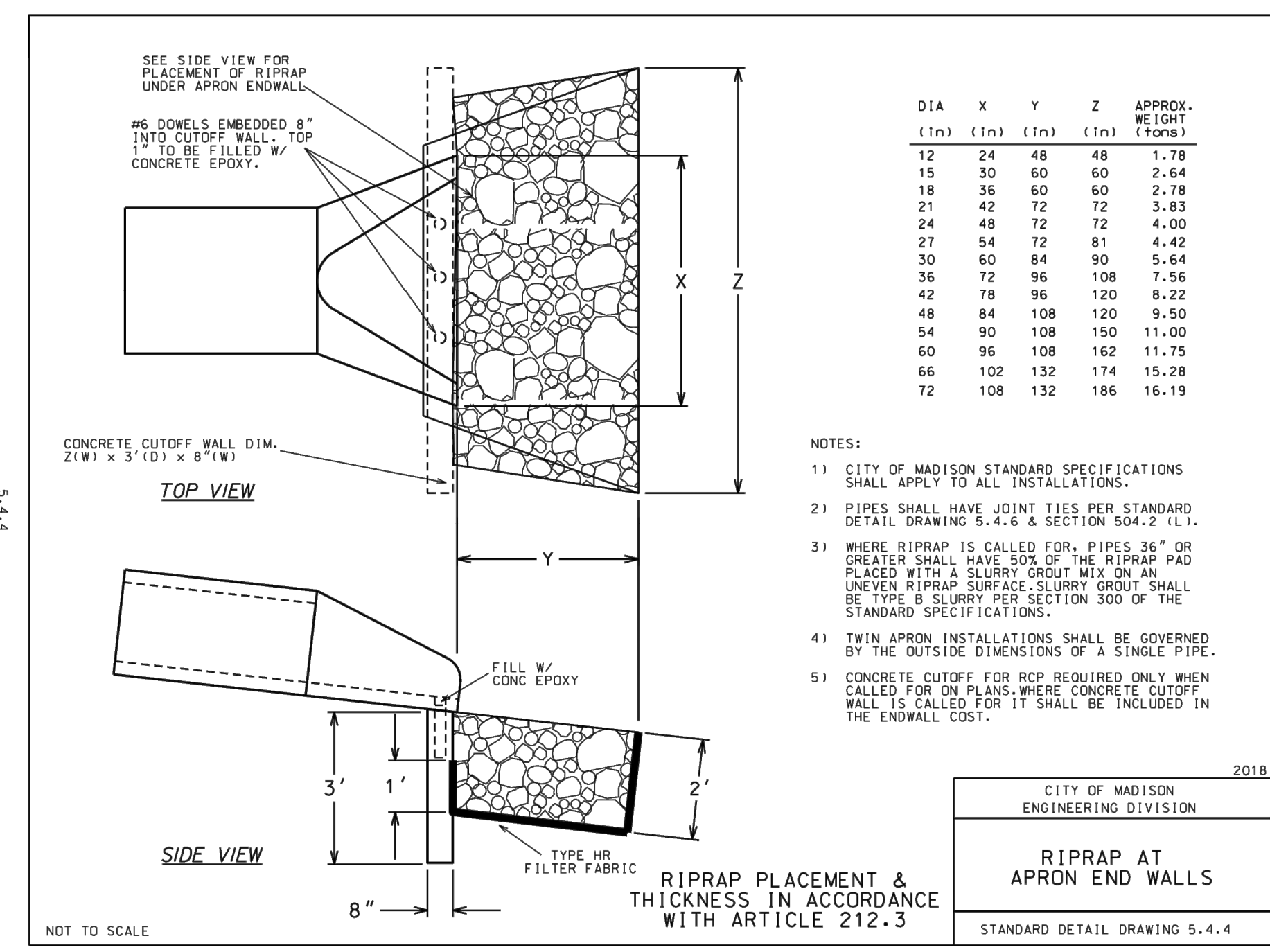
PROJECT NUMBER
 SHEET NUMBER

19055

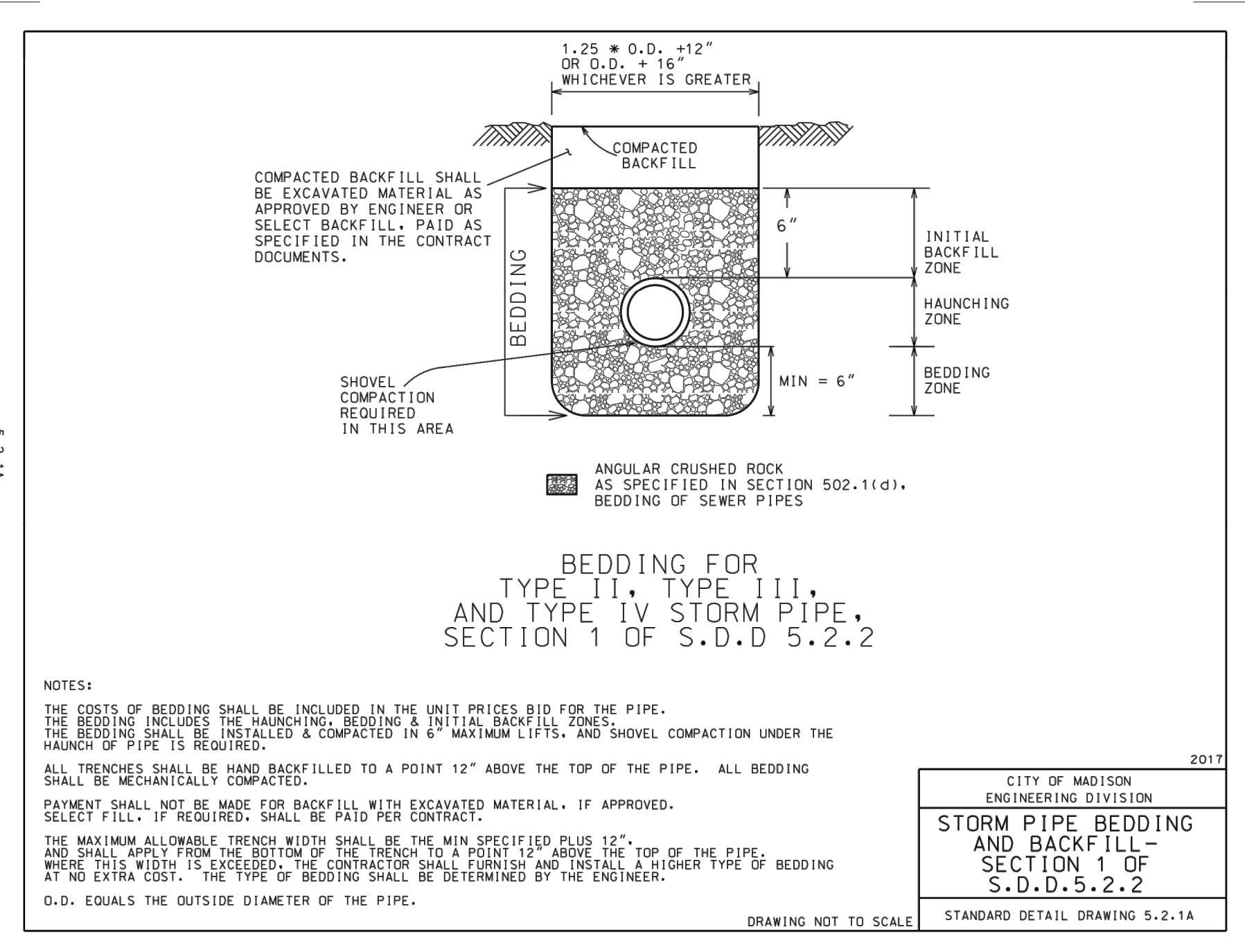
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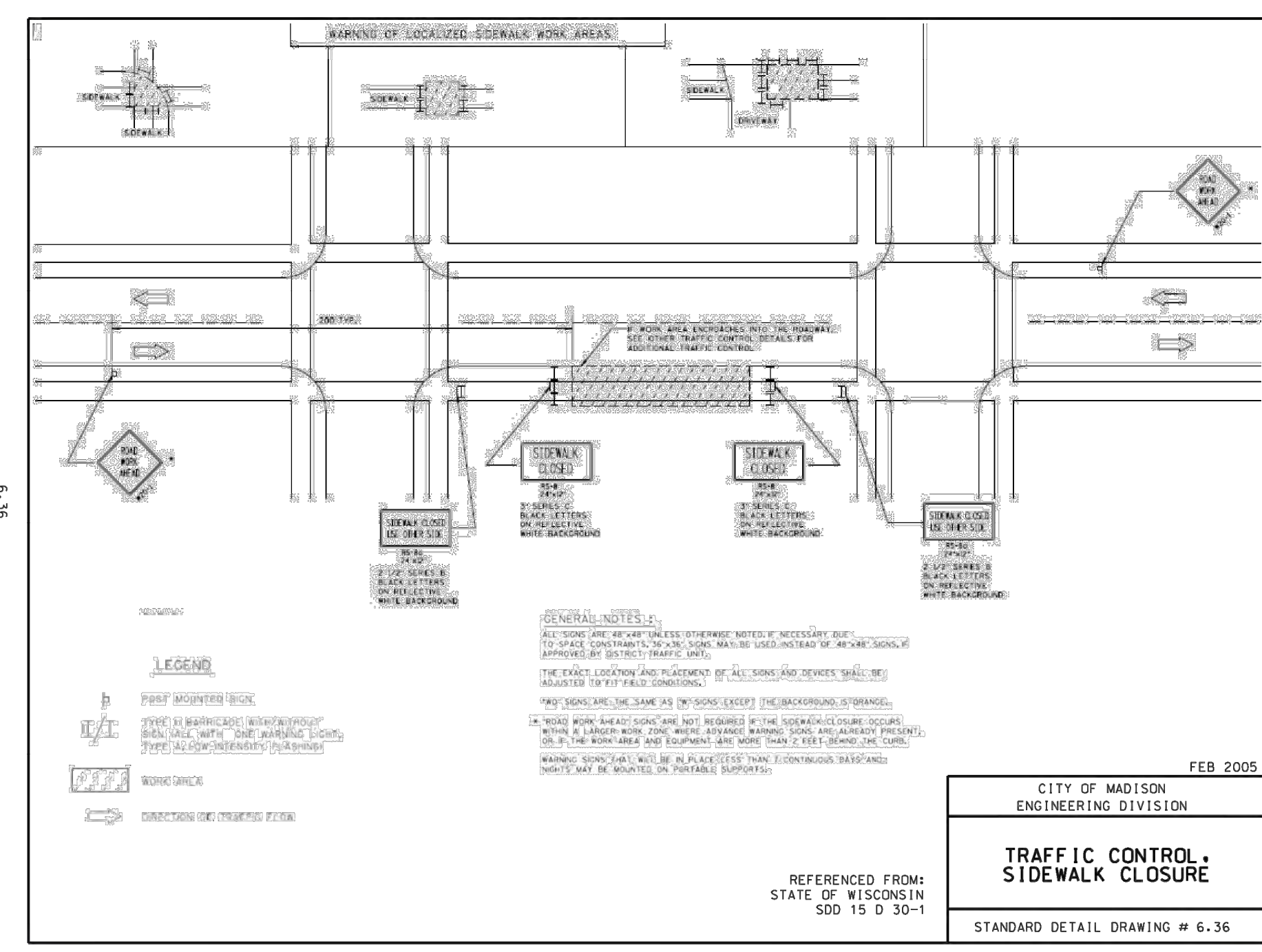
CITY OF MADISON
 ENGINEERING DIVISION
TYPICAL PAVEMENT PATCH SECTIONS
 2019 STANDARD DETAIL DRAWING 5.2.4



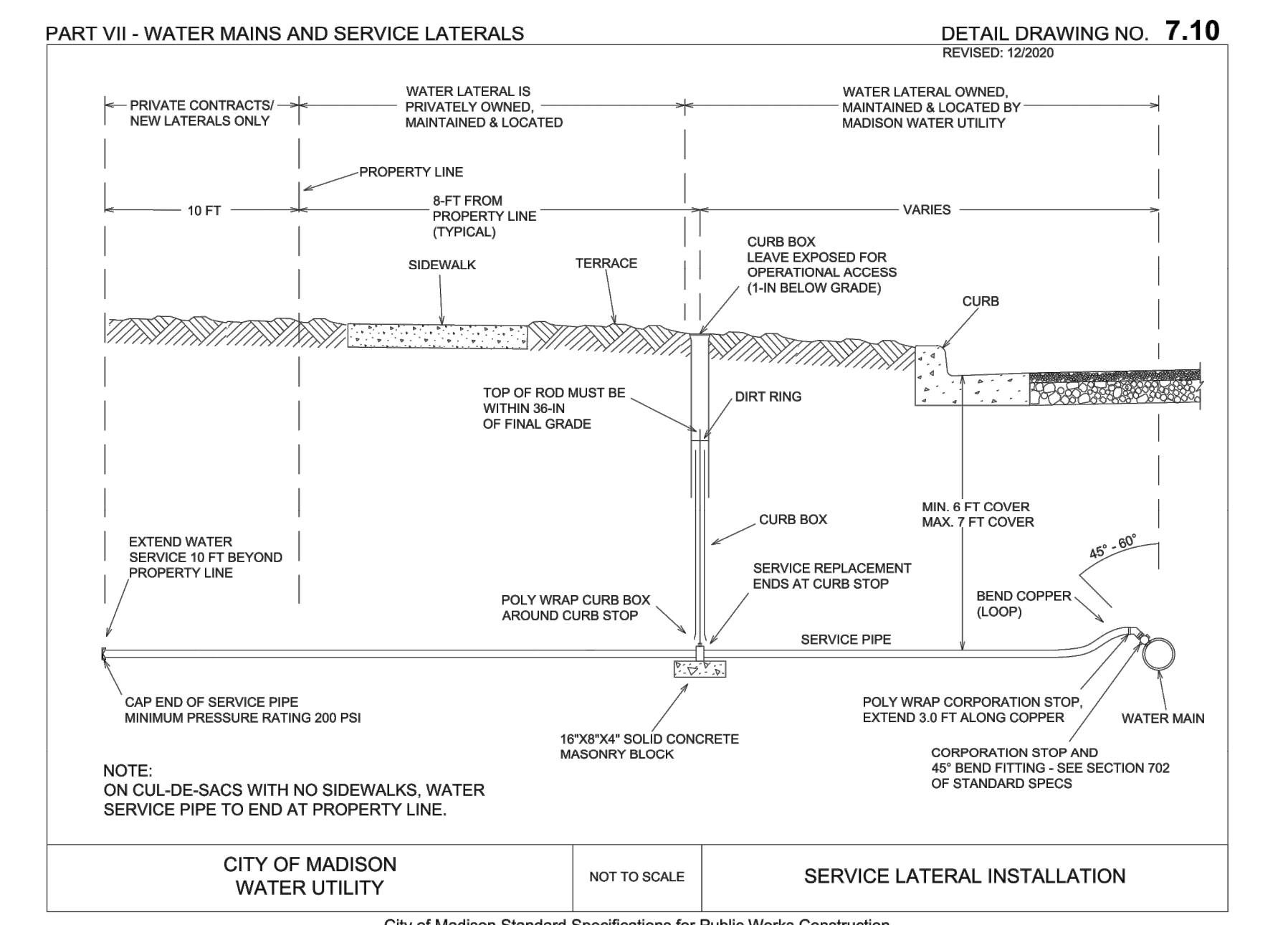
CITY OF MADISON
 ENGINEERING DIVISION
RIPRAP AT APRON END WALLS
 2018 STANDARD DETAIL DRAWING 5.4.4



CITY OF MADISON
 ENGINEERING DIVISION
STORM PIPE BEDDING AND BACKFILL - SECTION 1 OF S.D.D. 5.2.2
 2017 STANDARD DETAIL DRAWING 5.2.1A



CITY OF MADISON
 ENGINEERING DIVISION
TRAFFIC CONTROL - SIDEWALK CLOSURE
 FEB. 2005 REFERENCED FROM: STATE OF WISCONSIN SDD 15 D 30-1 STANDARD DETAIL DRAWING # 6.36



CITY OF MADISON
 WATER UTILITY
 NOT TO SCALE
 SERVICE LATERAL INSTALLATION
 City of Madison Standard Specifications for Public Works Construction

ARC DESIGN RESOURCES INC.
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 Design Firm License No. 2411-11

PROJECT NAME
 OWNER'S NAME
POPEYES MADISON, WI
 6831 ODANA RD
 MADISON, WI
 DANE COUNTY
 ABYGROUPS
 200 S FRONTAGE RD STE 330
 BURR RIDGE, IL 60527
 (847) 208-5656

CONSULTANTS

ISSUED FOR	DATE
1. AGENCY REVIEW	10/27/2021
2. AGENCY REVIEW	02/04/2022
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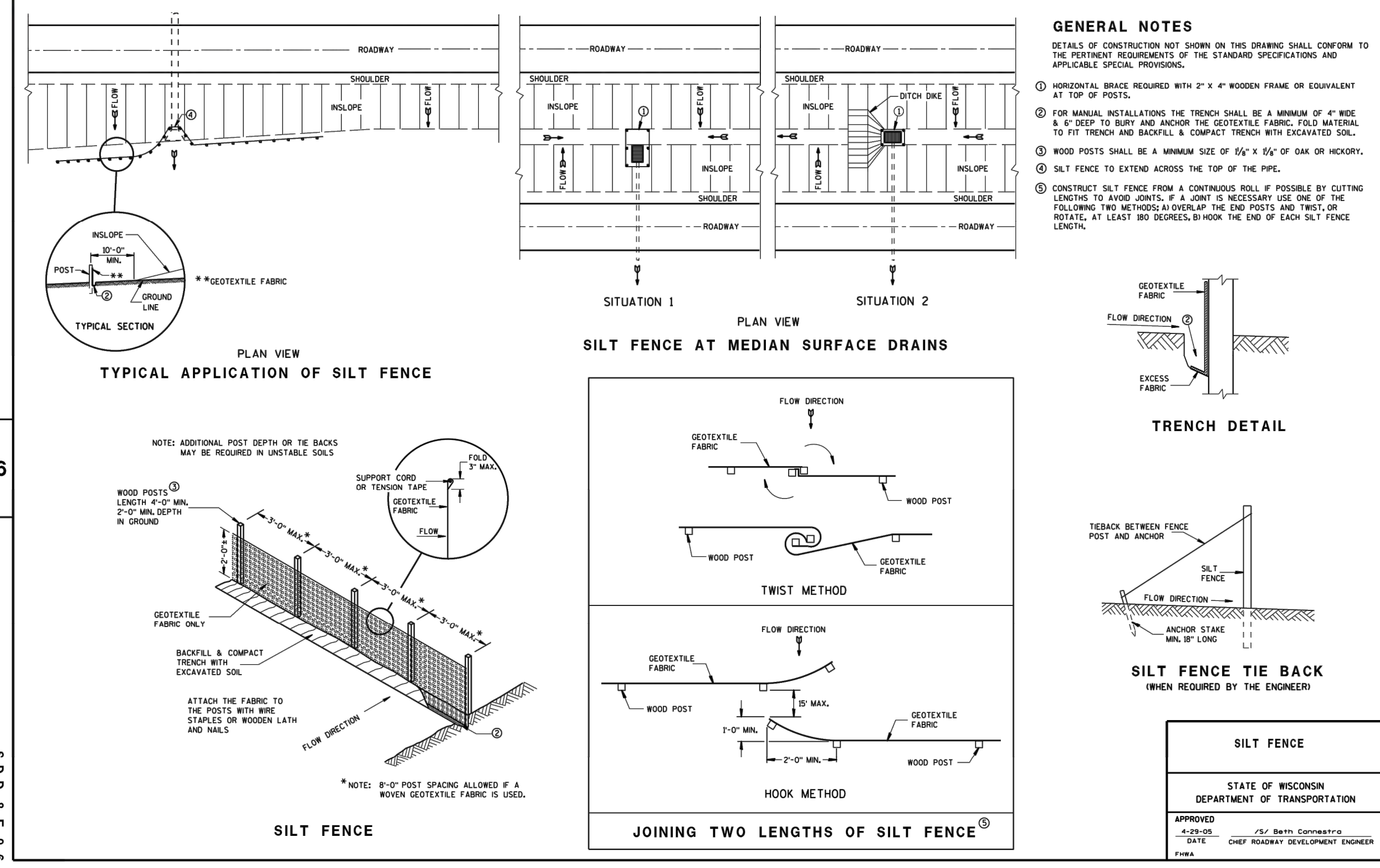
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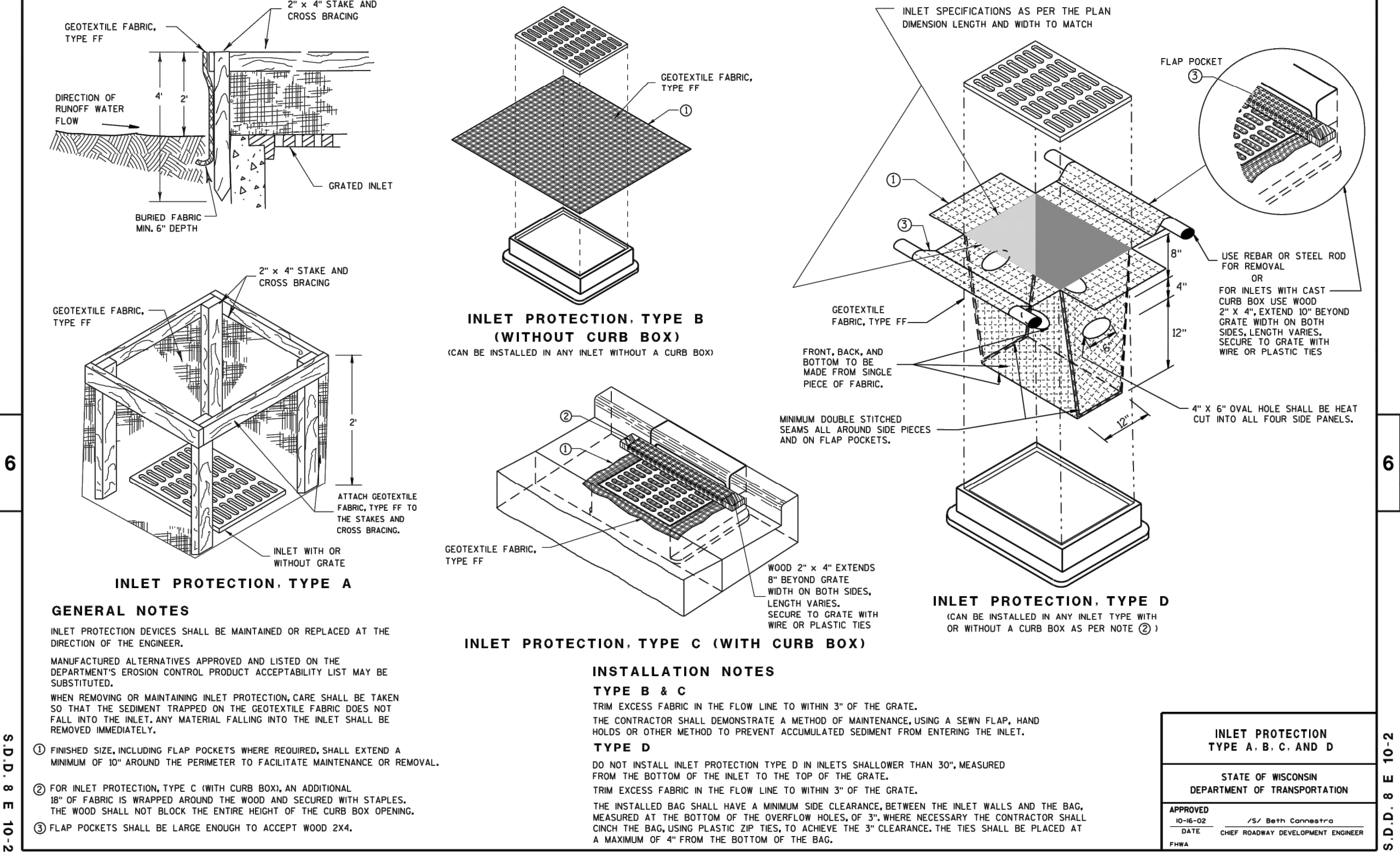
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 SHEET NUMBER
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SDD 8e9 Silt Fence



SDD 8e9

SDD 8e10 Inlet Protection Type A, B, C and D



SDD 8e10

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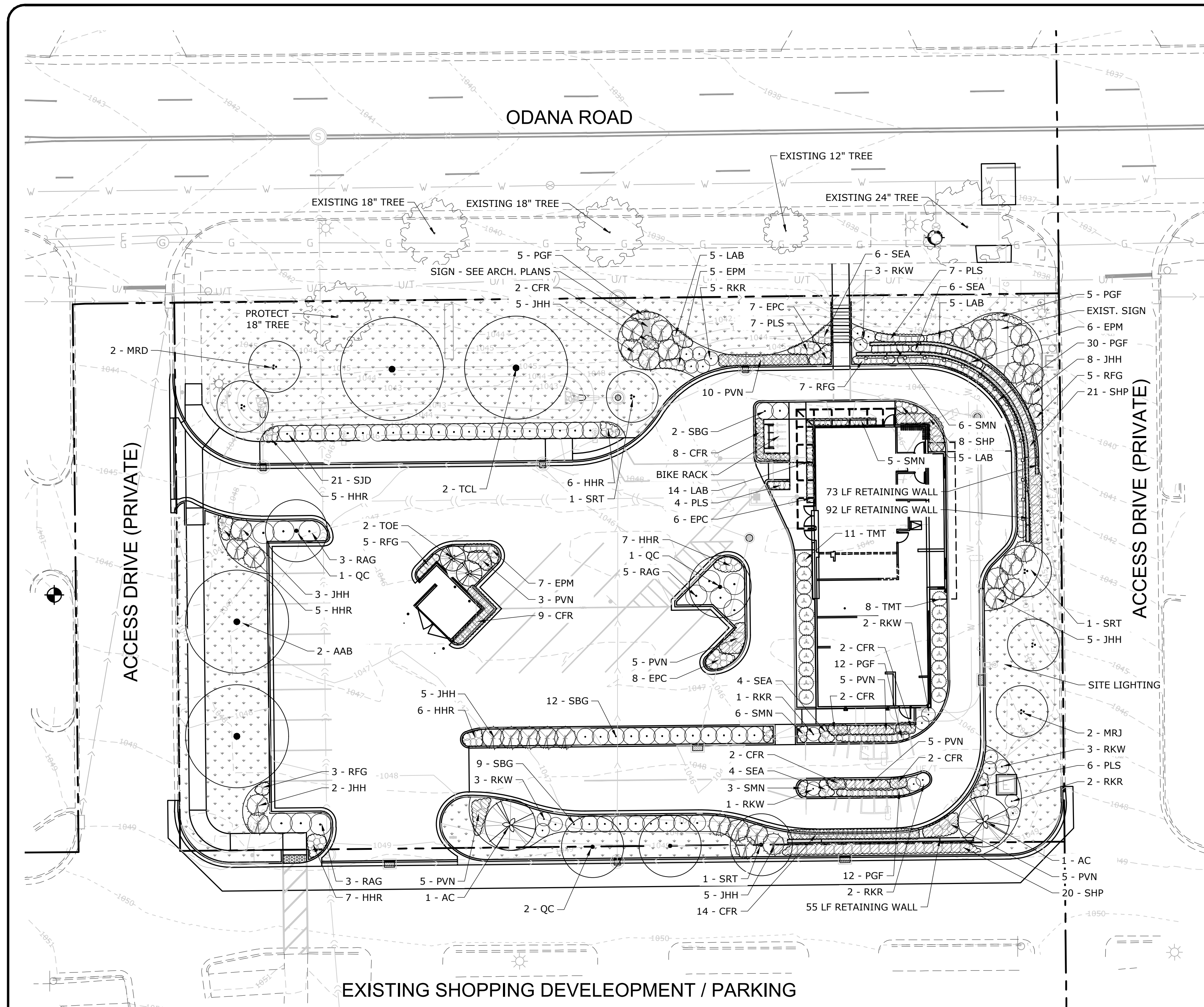
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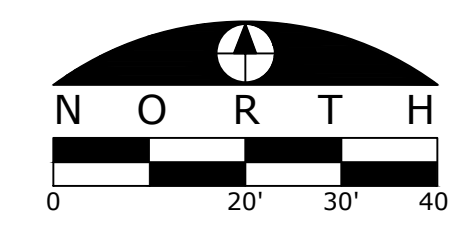
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PROJECT NUMBER
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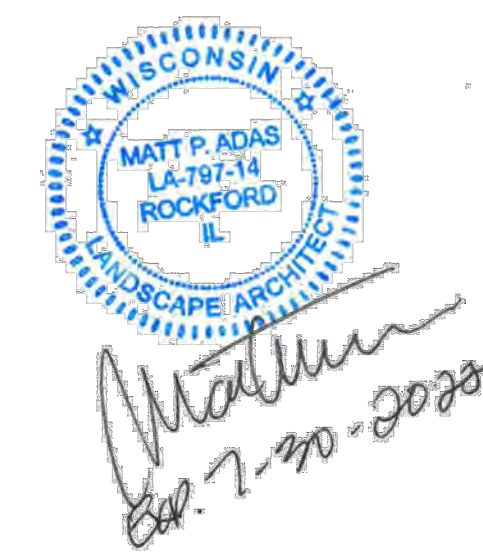
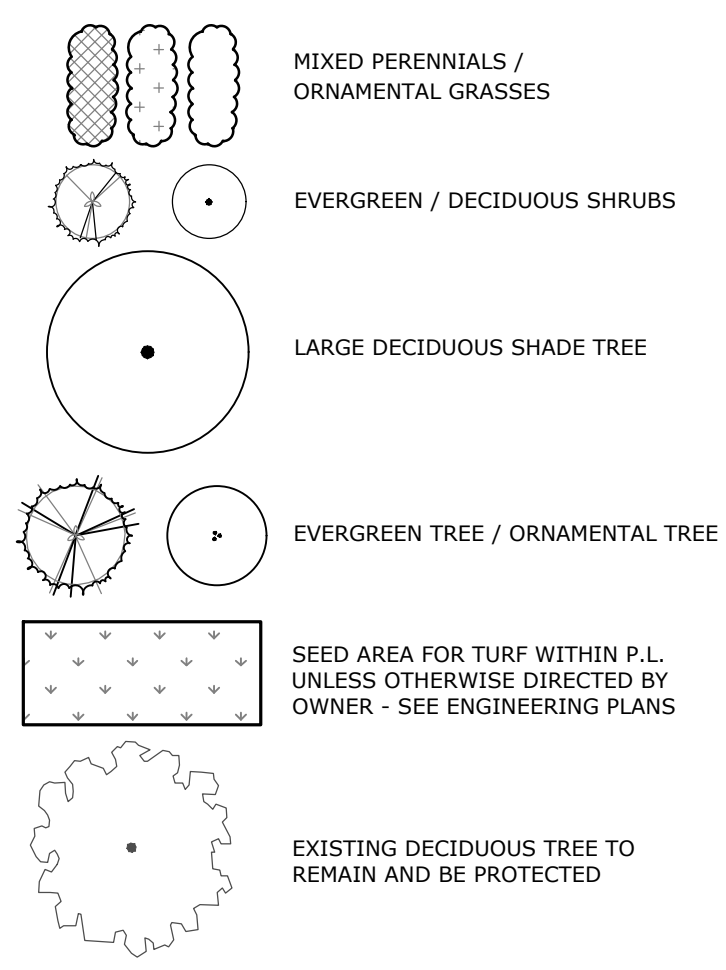


PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AAB	2	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	2.5"	
AC	2	Abies concolor WHITE FIR	6'	EVERGREEN
MRD	2	Malus x 'Ruby Daze' RUBY DAZE CRABAPPLE	7'	MULTI-STEMMED
MRJ	2	Malus x 'Red Jewel' RED JEWEL CRABAPPLE	7'	MULTI-STEMMED
QC	4	Quercus X 'Crimschmidt' CRIMSON SPIRE OAK	2.5"	COLUMNAR / HYBRID
SRT	3	Syringa reticulata JAPANESE TREE LILAC	7'	MULTI-STEMMED
TCL	2	Tilia cordata LITTLE LEAF LINDEN	2"	
TOE	2	Thuja occidentalis 'Emerald' EMERALD GREEN ARBORVITAE	5'	EVERGREEN - UPRIGHT
JHH	33	Juniperus horizontalis 'Hughes' HUGHES SPREADING JUNIPER	5 GAL	EVERGREEN
RAG	11	Rhus aromatica 'Gro Lo' GROW LOW FRAGRANT SUMAC	5 GAL	
RKR	10	Rosa x 'Radrazz' KNOCK OUT RED ROSE	5 GAL	HYBRID - REBLOOMING
RKW	12	Rosa x 'Radwhite' KNOCK OUT WHITE ROSE	5 GAL	HYBRID - REBLOOMING
SBG	23	Spiraea betulifolia 'Glow Girl' GLOW GIRL TOR SPIREA	24"	
SID	21	Spiraea japonica 'Galen' GALEN DOUBLE-PLAY ARTISAN SPIREA	24"	
TMT	19	Taxus media x 'Tauntoni' TAUNTON JAPANESE YEW	24"	EVERGREEN
CFR	41	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
EPC	21	Echinacea purpurea 'Cheyenne' CHEYENNE MIXED CONEFLOWER	GAL	2'-0" O.C. - PERENNIAL
EPM	18	Echinacea purpurea 'Magnus' PURPLE CONEFLOWER	GAL	2'-0" O.C. - PERENNIAL
HHR	30	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
LAB	29	Lavandula angustifolia 'Balavurulu' BALAVURULU SUPER BLUE LAVANDER	GAL	2'-0" O.C. - PERENNIAL
PGF	64	Phlox x glaberrima 'Forever Pink' FOREVER PINK HYBRID PHLOX	GAL	2'-0" O.C. - PERENNIAL
PLS	24	Perovskia atriplicifolia 'Little Sprite' LITTLE SPRITE RUSSIAN SAGE	GAL	2'-0" O.C. - PERENNIAL
PVN	38	Panicum virgatum x 'Apache Rose' APACHE ROSE SWITCH GRASS	GAL	2'-6" O.C. - ORN. GRASS
RFG	20	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEA	20	Sedum x 'Autumn Joy' AUTUMN JOY SEDUM	GAL	2'-0" O.C. - PERENNIAL
SMN	20	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL
SHP	49	Sporobolus heterolepis PRAIRIE DROPSSEED	GAL	2'-6" O.C. - ORN. GRASS



LEGEND



ZONING DATA

CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
DEVELOPED AREA LANDSCAPE	23,564 S.F. (0.54 ACRE) DEVELOPED AREA	393 POINTS - (5 POINTS PER 300 S.F. DEVELOPED AREA)	1137 POINTS - TREES, SHRUBS, PERENNIALS & GRASSES
FRONTAGE LANDSCAPE	261 L.F. - ODANA RD.	9 TREES + 45 SHRUBS (1 TREE + 5 SHRUBS / 30 L.F. FRONTAGE)	9 TREES + 45 SHRUBS (2 SHADE TREES, 4 ORNAMENTAL TREES, 5 EXIST. TREES)
INTERIOR PARKING LOT LANDSCAPING	13,611 S.F. - PARKING LOT	681 S.F. - 5% OF PARKING LOT TO BE INTERIOR LANDSCAPE	952 S.F. - 7% OF PARKING LOT FOR INTERIOR LANDSCAPE AREA
FOUNDATION PLANTINGS	BUILDING FACADES	NO MIN. / MAX QUANTITY - REQUIRED ALONG ALL FACADES OR FOUNDATIONS NOT DIRECTLY ABUTTING SIDEWALK, ETC.	PLANTINGS ALONG ALL FACADES OR FOUNDATIONS NOT DIRECTLY ABUTTING SIDEWALK, ETC.
DISTRICT BOUNDARY SCREENING	N/A - SAME ZONING / USE	N/A - SAME ZONING / USE	N/A - SAME ZONING / USE

PLANTING NOTES

- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.I.E. at '811'. For regional locating, contact 'Digger's Hotline'. Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-till, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/distorted leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- All plant material, especially trees, must be sourced within a fifty (50) mile radius of the subject property construction site.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees and multi-stemmed ornamental trees shall be mulched to outer-most branches at the time of installation.
- Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaced edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan.
- Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial ryegrass and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scalds hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per Method 1, Section 251, of the Standard Specifications for Road and Bridge Construction.
- All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting.
- Acceptance and guarantee notes shall apply to all seeded areas.
- Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.

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OWNER'S NAME

POPEYES MADISON, WI

6831 ODANA RD
MADISON, WI
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ABYGROUPS
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REVISIONS

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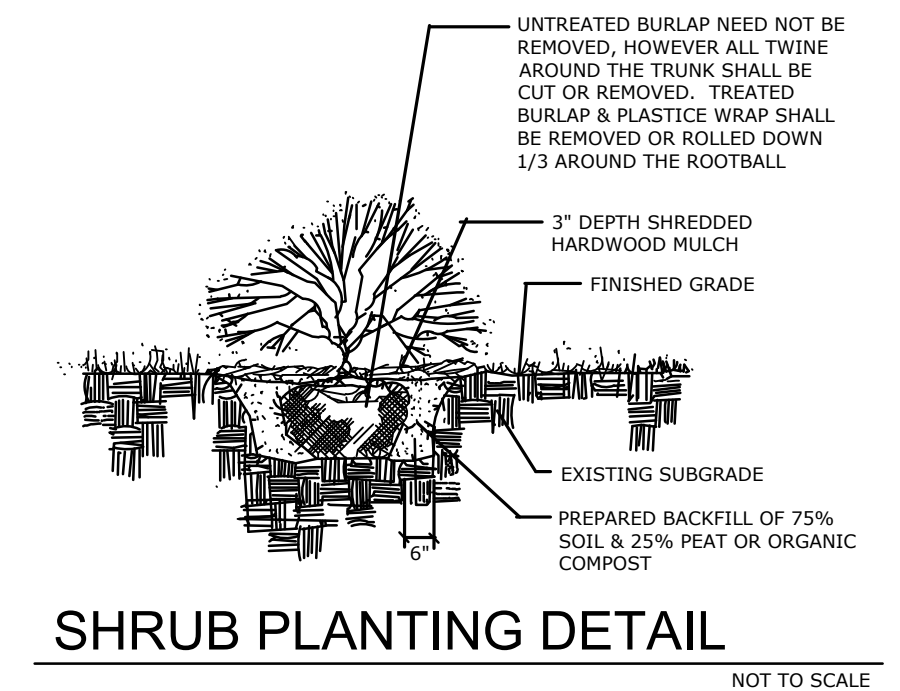
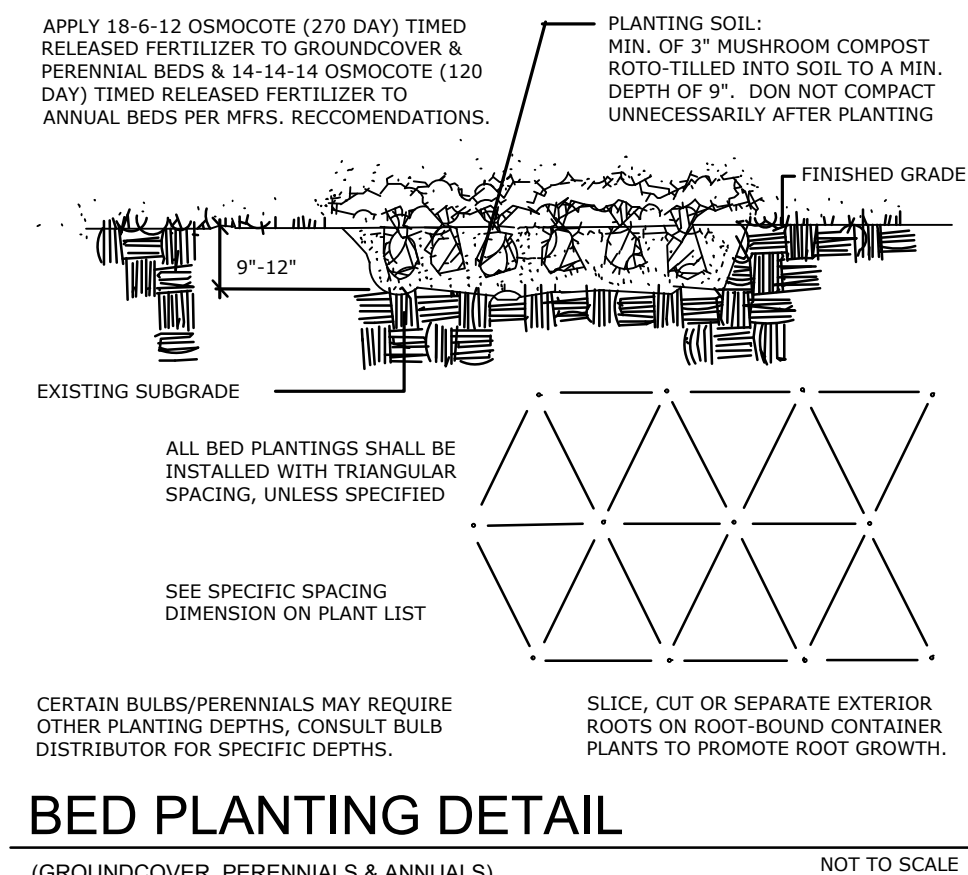
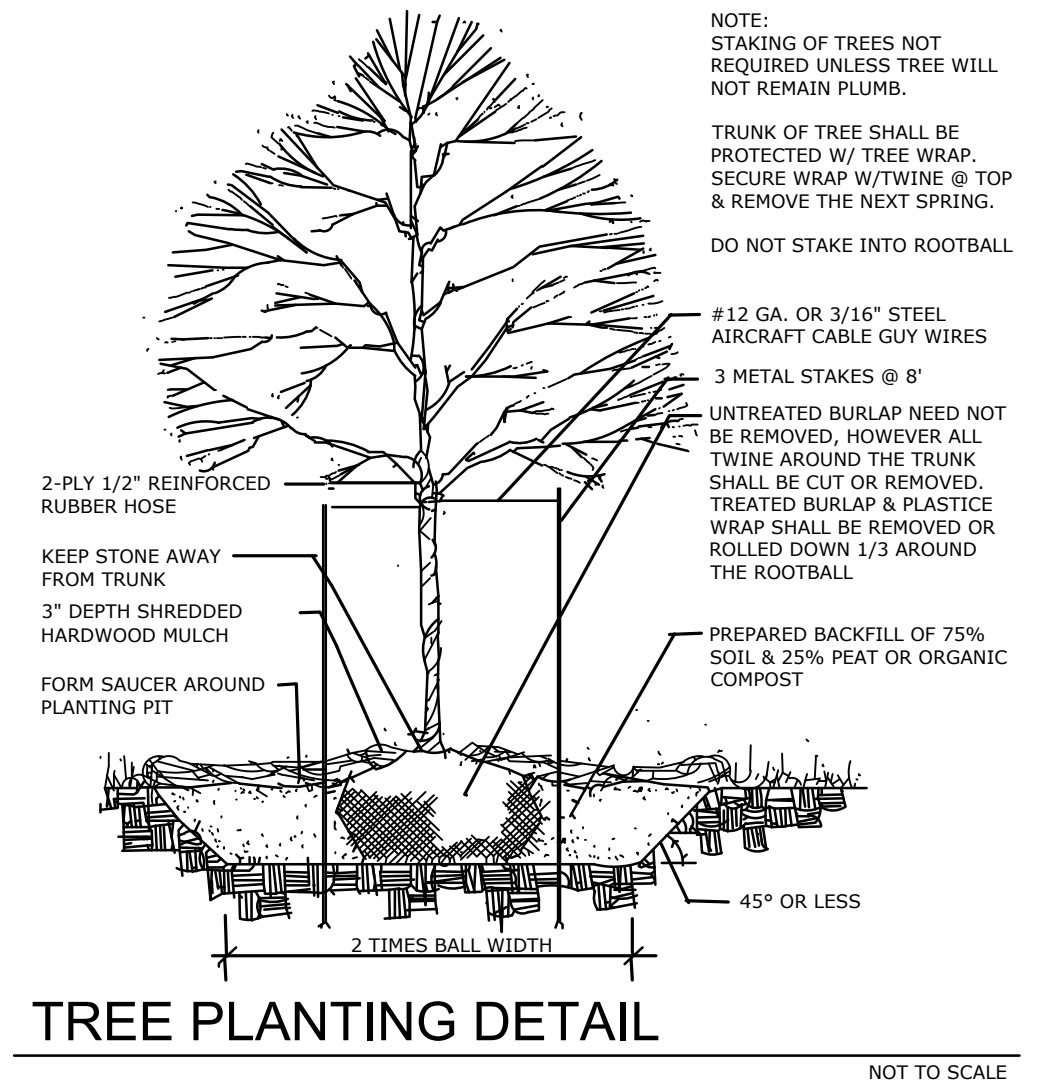
LANDSCAPING PLAN

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PROJECT NUMBER
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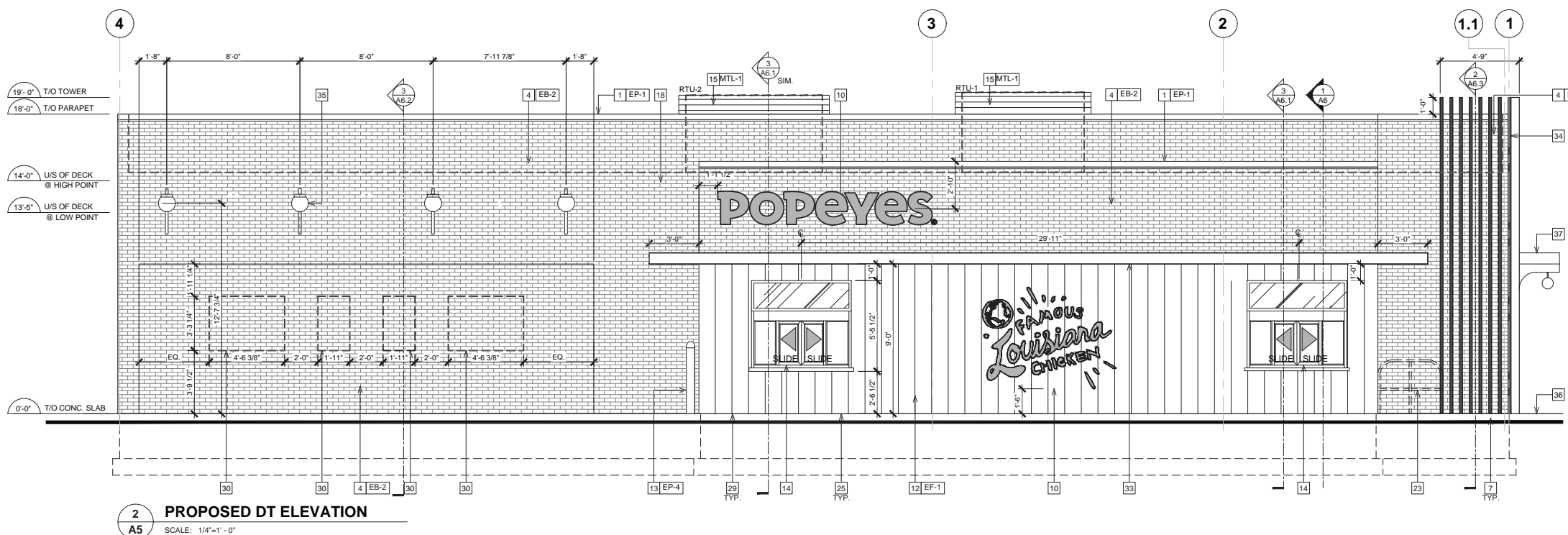
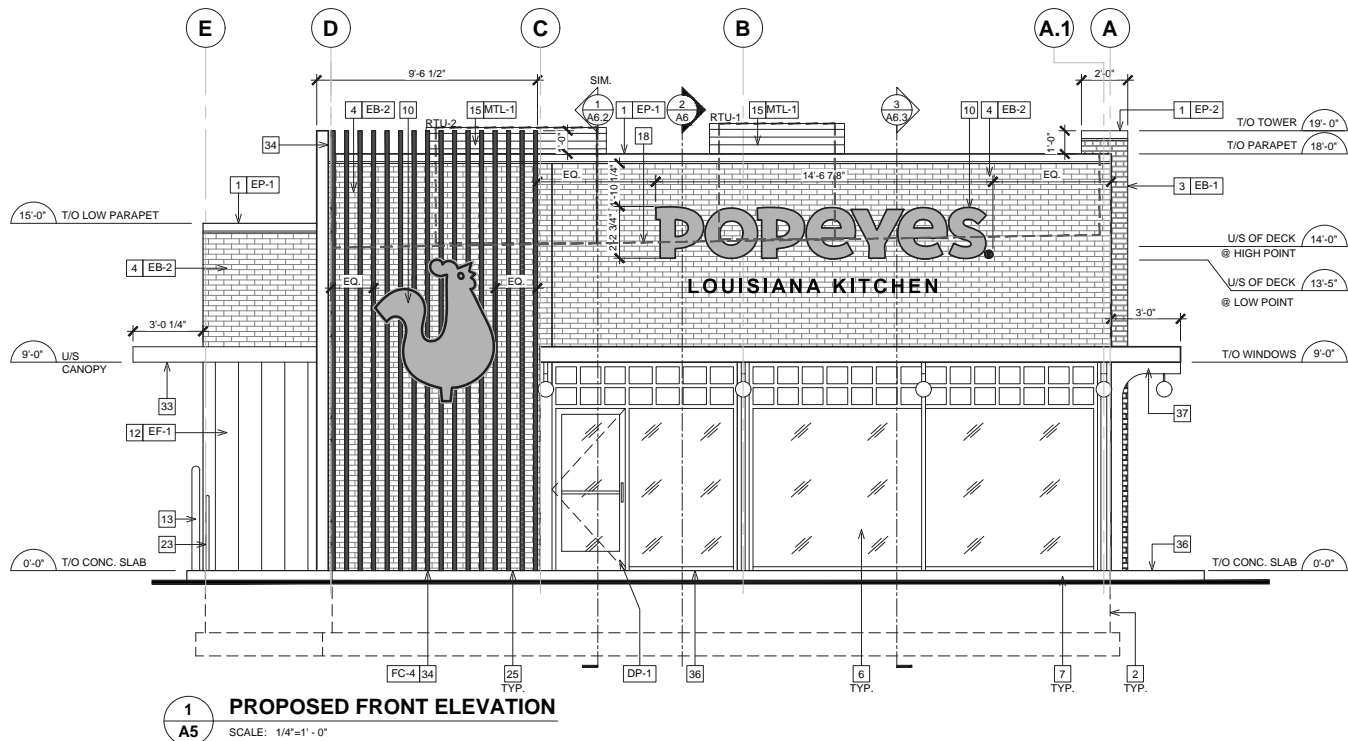
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L01



EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MANUF.	PATTERN & COLOR
EB-1	GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED	GLEN-GERY	GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
EB-2	GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804	GLEN-GERY	GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
EP-1	VINTAGEWOOD AWP 3030	NICHIHA	SIZE: 17-7/8" HIGH x 119-5/16" LONG, COLOUR: CEDAR. NOTE: FIBER CEMENT BOARD TO BE INSTALLED WITH NICHIHA ALUMINUM TRIM PIECES, STARTER CLIPS & JOINTS (COLOUR: MATCH CEDAR)
FC-4	VERTICAL SIMULATED WOOD SLATS		
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	WHITE BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: OC-125 MOONLIGHT WHITE
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	RED BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: 2105-20 ROOT BEER CANDY
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	DUMPSTER WALLS AND REAR DOOR ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: HC-170 STONINGTON GREY
EP-4	EXTERIOR PAINT	BENJAMIN MOORE	BOLLARDS COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: SAFETY YELLOW
EP-5	METAL PAINT	BENJAMIN MOORE	DUMPSTER GATES COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: FACTORY FINISH BLACK
EP-6	ANTI GRAFFITI COAT	BENJAMIN MOORE	EXTERIOR WALLS ALPHATIC ACRYLIC URETHANE COLOR: V500-00 CLEAR
P-08	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING EXTERIORS WHERE NECESSARY SHERWIN WILLIAMS 'IRON ORE SW7089' MIN. 2 COATS SPRAY APPLICATION
MC-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: TBD *SEALANT, TITEBOND WEATHER MASTER SEALANT COLOR: 61121 BLACK
DP-1	DOOR	STOREFRONT MANUFACTURER	MAIN ENTRANCE DOOR - ORANGE PANTONE #3564 C
MTL-1	ROOFTOP UNIT SCREENING - ENVISOR	CITYSCAPES ARCHITECTURAL INNOVATIONS	PANEL HEIGHT: TOP OF PANEL EQUAL TO TOP OF RTU. BOTTOM OF PANEL TO BE 12" ABOVE ROOF PANEL TYPE: 7.2 HORIZONTAL RIB METAL TOP TRIM: 3" SQUARE EDGE REFER TO MECH. DWGS FOR MIN. DISTANCE COLOR: ALABASTER WHITE

GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR: TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

1	NOTE REFERENCE REFER TO ELEVATION NOTES
FN#	FINISH TYPE

EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING C/W DRIP.
- N/A.
- GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
- GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
- N/A.
- PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL 3/4" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION
- NON-ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL 3/4" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION
- NICHIHA VINTAGE WOOD, COLOR: CEDAR.
- PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-6" A.F.F. G.C. TO PAINT "SAFETY YELLOW". REFER TO POPEYES MASTER SCHEDULE.
- DRIVE-THRU WINDOW. REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.
- PROVIDE DECORATIVE SCREENING AROUND ROOFTOP EQUIPMENT IF VISIBLE FROM GRADE AROUND BUILDING.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- C/T CABINET AND METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
- METAL RAILING SUPPLIED AND INSTALLED BY G.C (ONLY IF REQUIRED), ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON THE SITE PLAN. PAINT FINISH 'BLACK'.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- HOSE BIB. G.C. TO PAINT. COLOR TO MATCH ADJACENT MATERIAL COLORS. COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DECORATIVE PANELS SUPPLY AND INSTALL BY SIGN COMPANY.
- G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPANY.
- REAR EXIT DOOR TO BE PAINT WHITE.
- WALL SCONCE SUPPLY AND INSTALL BY SIGN COMPANY.
- PRE-FABRICATED CANOPIES W/ PRE-WIRED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.
- VERTICAL SIMULATED WOOD SLATS.
- WALL SCONCE LIGHTING. REFER TO ELECTRICAL SCHEDULE.
- CONCRETE SIDEWALK (BY G.C), REFER TO SITE PLAN.
- HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.

ISSUE TABLE

No.	Date (mm/dd/yy)	Description
01	02-02-2022	2136 PROTOTYPE WITH FULL BRICK
02	02-27-2022	2136 PROTOTYPE WITH FULL BRICK

REVISIONS

No.	Date	Description

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description

POPEYES LOUISIANA KITCHEN
6831 ODANA ROAD,
MADISON, WISCONSIN

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DESIGN GUIDELINE ONLY - NOT FOR PERMIT OR CONSTRUCTION

Company Logo



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

Project



Store Type

US 2136 MODEL
2136-21

Location

PROTOTYPE
2136 (U.S.)
CITY, STATE

Drawing Title

EXTERIOR
ELEVATIONS

Drawn

XX

Scale

1/4"=1'-0"

Project No.

2021_0061

Checked

XX

Date

02/27/2022

Drawing No.

A5

POPEYES LOUISIANA KITCHEN MODEL 2136, WISCONSIN: 6831 ODANA ROAD, MADISON, WISCONSIN: 2136 PROTOTYPE DOCUMENTS (FULL BRICK) STORE NO. XXXX



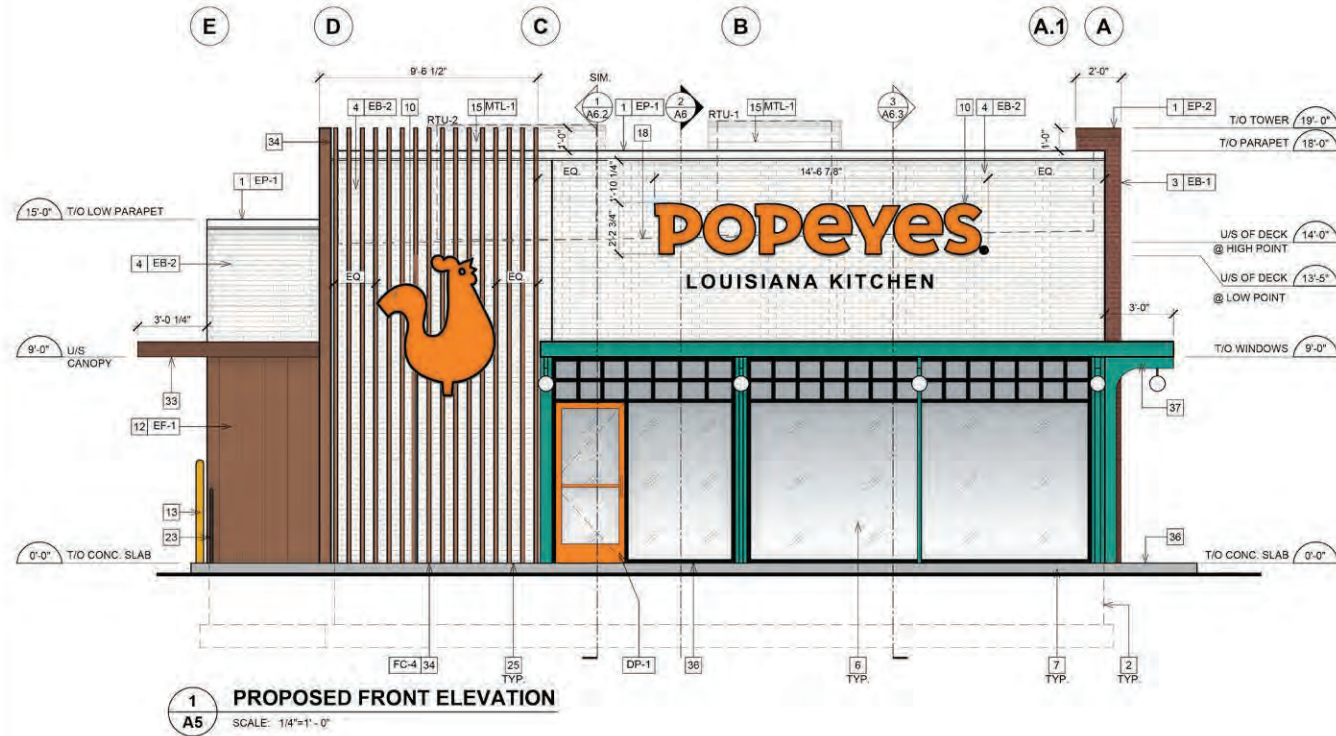
EB-1



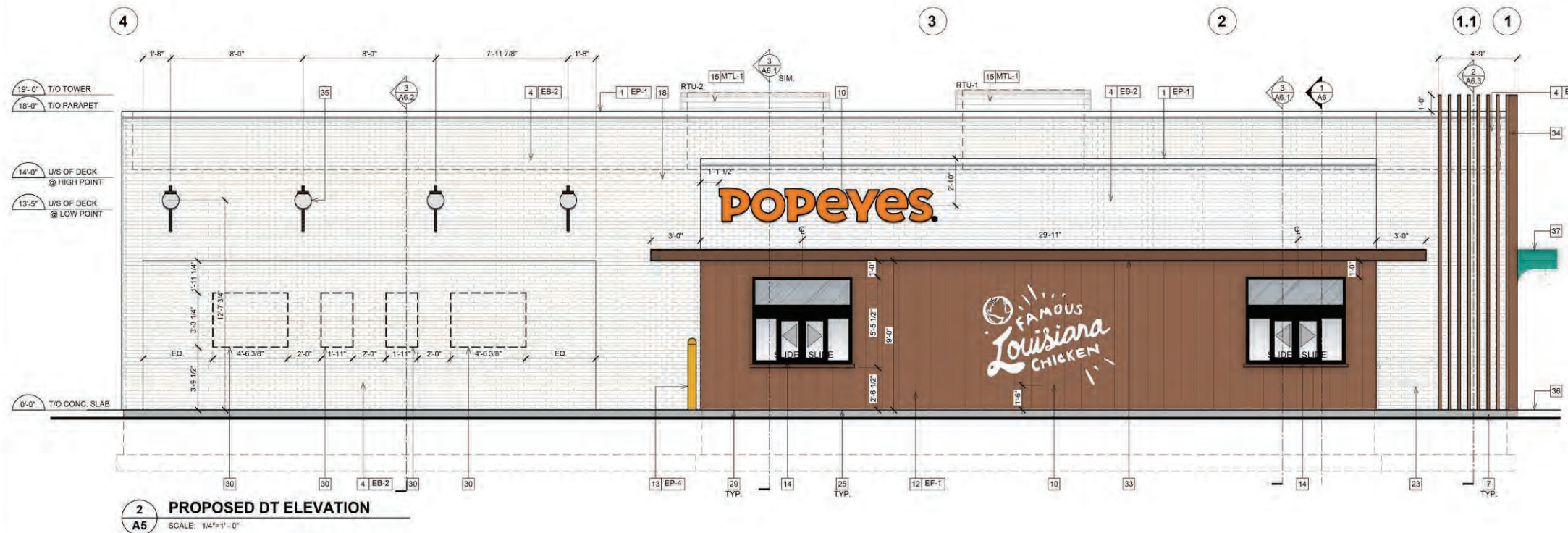
EB-2



EF-1



1 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED DT ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MANUF.	PATTERN & COLOR
EB-1	GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, WILLIAMSBURG RED	GLEN-GERY	GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
EB-2	GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804	GLEN-GERY	GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
EP-1	VINTAGEWOOD AWP 3030	NICHIHA	SIZE: 17-7/8" HIGH x 119-5/16" LONG, COLOUR: CEDAR. NOTE: FIBER CEMENT BOARD TO BE INSTALLED WITH NICHIHA ALUMINUM TRIM PIECES, STARTER CLIPS & JOINTS (COLOUR: MATCH CEDAR)
FC-4	VERTICAL SIMULATED WOOD SLATS		
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	WHITE BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: OC-125 MOONLIGHT WHITE
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	RED BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: 2105-20 ROOT BEER CANDY
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	DUMPSTER WALLS AND REAR DOOR ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: HC-170 STONINGTON GREY
EP-4	EXTERIOR PAINT	BENJAMIN MOORE	BOLLARDS COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: SAFETY YELLOW
EP-5	METAL PAINT	BENJAMIN MOORE	DUMPSTER GATES COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: FACTORY FINISH BLACK
EP-6	ANTI GRAFFITI COAT	BENJAMIN MOORE	EXTERIOR WALLS ALIPHATIC ACRYLIC URETHANE COLOR: V500-00 CLEAR
EP-6B	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING COLOURS WHERE NECESSARY SHERWIN WILLIAMS "IRON ORE SW7069" MIN. 2 COATS SPRAY APPLICATION
MC-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: TBD SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 61121 BLACK
DP-1	DOOR	STOREFRONT MANUFACTURER	MAIN ENTRANCE DOOR - ORANGE PANTONE #3564 C
MTL-1	ROOFTOP UNIT SCREENING - ENVISOR	CITYSCAPES ARCHITECTURAL INNOVATIONS	PANEL HEIGHT: TOP OF PANEL EQUAL TO TOP OF RTU BOTTOM OF PANEL TO BE 12" ABOVE ROOF PANEL TYPE: TOP TRIM: 3" SQUARE EDGE OFFSET FROM UNIT: REFER TO MECH DWGS FOR MIN. DISTANCE COLOR: ALABASTER WHITE

GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR: TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

- 1 NOTE REFERENCE REFER TO ELEVATION NOTES
- FN# FINISH TYPE

EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING C/W DRIP.
- N/A.
- GLEN- GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
- GLEN- GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
- N/A.
- PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPOSED FOUNDATION TO BE PARSED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE 1/8" DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NON-ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE 1/8" DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NICHIHA VINTAGE WOOD, COLOR: CEDAR.
- PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-6" A.F.F. G.C. TO PAINT "SAFETY YELLOW". REFER TO POPEYES MASTER SCHEDULE.
- DRIVE-THRU WINDOW. REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.
- PROVIDE DECORATIVE SCREENING AROUND ROOFTOP EQUIPMENT IF VISIBLE FROM GRADE AROUND BUILDING.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- C/T CABINET AND METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
- METAL RAILING SUPPLIED AND INSTALLED BY G.C (ONLY IF REQUIRED); ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON THE SITE PLAN. PAINT FINISH BLACK.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- HOSE BIB. G.C. TO PAINT. COLOR TO MATCH ADJACENT MATERIAL COLORS. COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DECORATIVE PANELS SUPPLY AND INSTALL BY SIGN COMPANY.
- G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPANY.
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- HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.

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No.	Date (mm/dd/yy)	Description
01	02-02-2022	2136 PROTOTYPE WITH FULL BRICK
02	02-27-2022	2136 PROTOTYPE WITH FULL BRICK

REVISIONS		
No.	Date	Description

DRAWINGS REVISED AS PER DESIGN BULLETIN		
No.	Date	Description

POPEYES LOUISIANA KITCHEN
6831 ODANA ROAD,
MADISON, WISCONSIN

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DESIGN GUIDELINE ONLY - NOT FOR PERMIT OR CONSTRUCTION

Company Logo:

LINDENGROUP

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LAND PLANNING
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10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

Project: US 2136 MODEL 2136-21

Location: PROTOTYPE 2136 (U.S.) CITY, STATE

Drawing Title: EXTERIOR ELEVATIONS

Store Type: US 2136 MODEL 2136-21

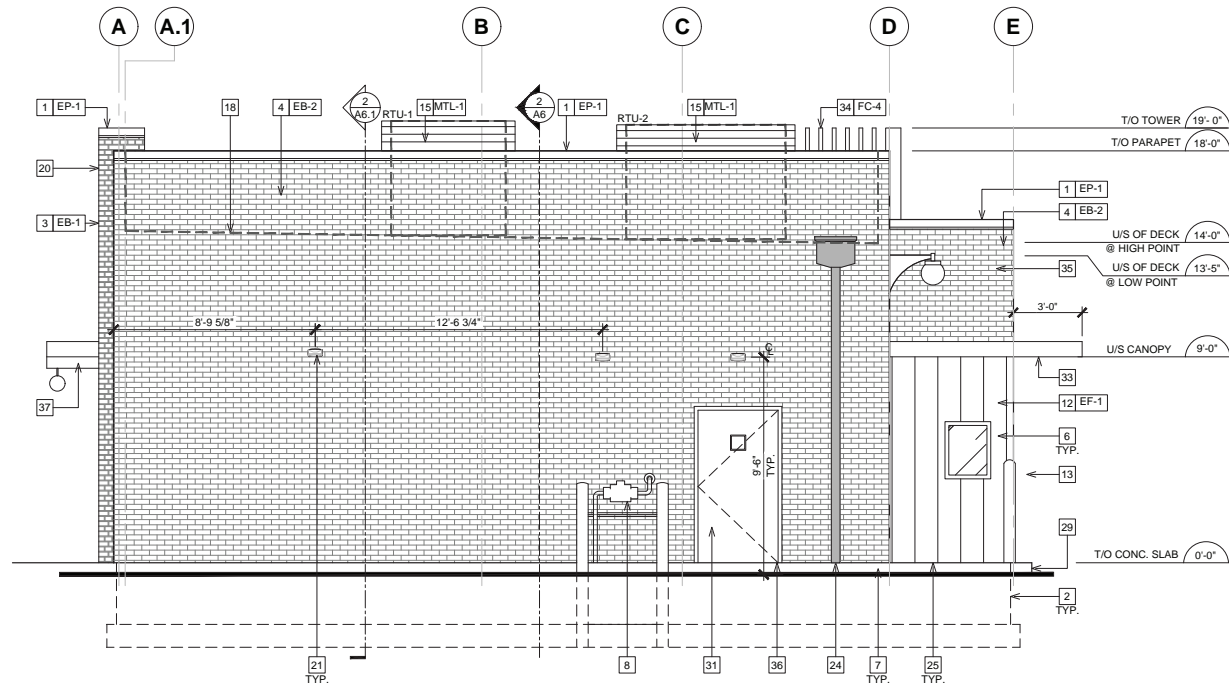
Location: PROTOTYPE 2136 (U.S.) CITY, STATE

Drawn	XX	Checked	XX
Scale:	1/4"=1'-0"	Date:	02/27/2022
Project No:	2021_0061	Drawing No.:	A5

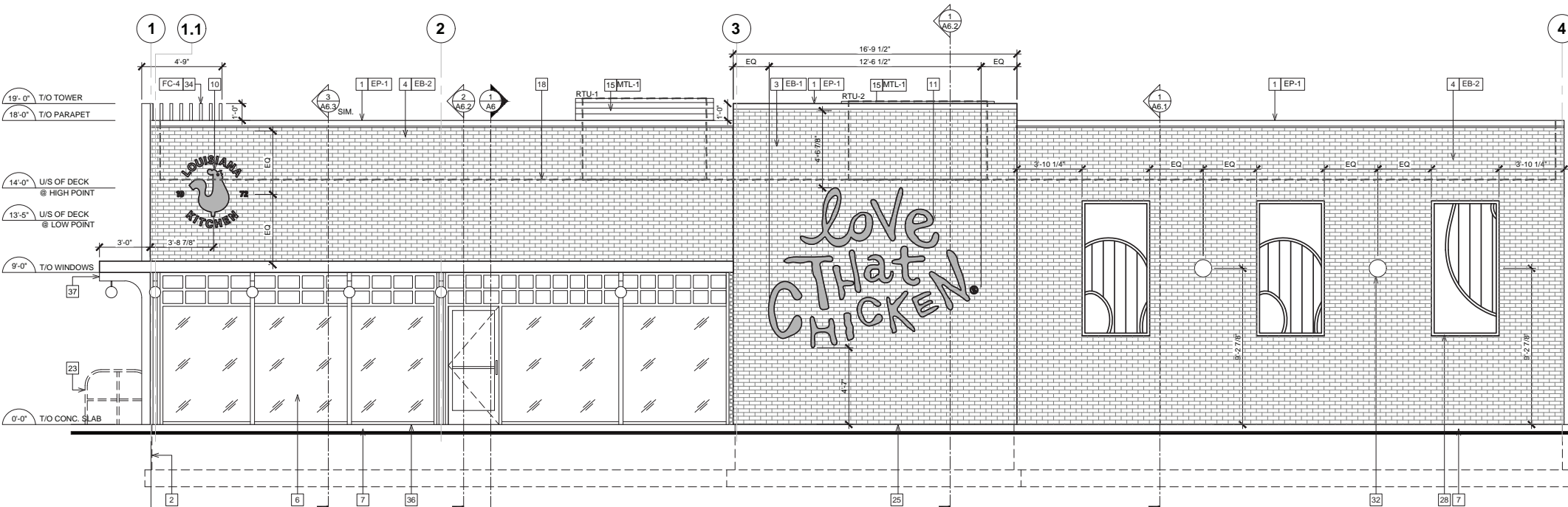
POPEYES LOUISIANA KITCHEN MODEL 2136, 6831 ODANA ROAD, MADISON, WISCONSIN; 2136 PROTOTYPE DOCUMENTS (FULL BRICK) STORE NO. XXXX

EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



1 PROPOSED REAR ELEVATION
A5.1 SCALE: 1/4"=1'-0"



2 PROPOSED SIDE ELEVATION
A5.1 SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MANUF.	PATTERN & COLOR
EB-1	GLEN-GERY FACE BRICK CHERRY CREEK WILLIAMSBURG RED	GLEN-GERY	GLEN-GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
EB-2	GLEN-GERY FACE BRICK ASPEN WHITE WIRECUT WHITE W804	GLEN-GERY	GLEN-GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
EP-1	VINTAGEWOOD AWP 3030	NICHIHA	SIZE: 17-7/8" HIGH x 119-5/16" LONG. COLOUR: CEDAR. NOTE: FIBER CEMENT BOARD TO BE INSTALLED WITH NICHIHA ALUMINUM TRIM PIECES, STARTER CLIPS & JOINTS (COLOUR: MATCH CEDAR)
FC-4	VERTICAL SIMULATED WOOD SLATS		
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	WHITE BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: OC-125 MOONLIGHT WHITE
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	RED BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: 2105-20 ROOT BEER CANDY
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EP-4	EXTERIOR PAINT	BENJAMIN MOORE	BOLLARDS COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: SAFETY YELLOW
EP-5	METAL PAINT	BENJAMIN MOORE	DUMPSTER GATES COROTECH HIGH SOLIDS RAPID DRY ENAMEL COLOR: FACTORY FINISH BLACK
EP-6	ANTI GRAFFITI COAT	BENJAMIN MOORE	EXTERIOR WALLS ALIPHATIC ACRYLIC URETHANE COLOR: V500-00 CLEAR
PM-08	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING COLOURS WHERE NECESSARY SHERWIN WILLIAMS "IRON ORE SW7069" MIN. 2 COATS SPRAY APPLICATION
MC-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: TBD *SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 61121 BLACK
DP-1	DOOR	STOREFRONT MANUFACTURER	MAIN ENTRANCE DOOR - ORANGE PANTONE #3564 C
MTL-1	ROOFTOP UNIT SCREENING - ENVISOR	CITYSCAPES ARCHITECTURAL INNOVATIONS	PANEL HEIGHT: TOP OF PANEL EQUAL TO TOP OF RTU. BOTTOM OF PANEL TO BE 12" ABOVE ROOF PANEL TYPE: 7.2 HORIZONTAL RIB METAL TOP TRIM: 3" SQUARE EDGE OFFSET FROM UNIT: REFER TO MECH. DWGS FOR MIN. DISTANCE COLOR: ALABASTER WHITE

GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR: TO MATCH WINDOW / DOOR FRAMES.
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SYMBOL LEGEND

1	NOTE REFERENCE REFER TO ELEVATION NOTES
FN#	FINISH TYPE

EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING C/W DRIP.
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- N/A.
- PRE-FINISHED BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL 2" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION
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- DRIVE-THRU WINDOW. REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.
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- N/A.
- DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- C/T CABINET AND METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
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- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
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02	02-27-2022	2136 PROTOTYPE WITH FULL BRICK

No.	Date	Description
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No.	Date	Description
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POPEYES LOUISIANA KITCHEN
6831 ODANA ROAD,
MADISON, WISCONSIN

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DESIGN GUIDELINE ONLY - NOT FOR PERMIT OR CONSTRUCTION

Company Logo



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM



POPEYES

Store Type US 2136 MODEL 2136-21

Location PROTOTYPE 2136 (U.S.)

CITY, STATE

Drawing Title EXTERIOR ELEVATIONS

Drawn XX Checked XX

Scale 1/4"=1'-0" Date 02/27/2022

Project No. 2021_0061 Drawing No. A5.1

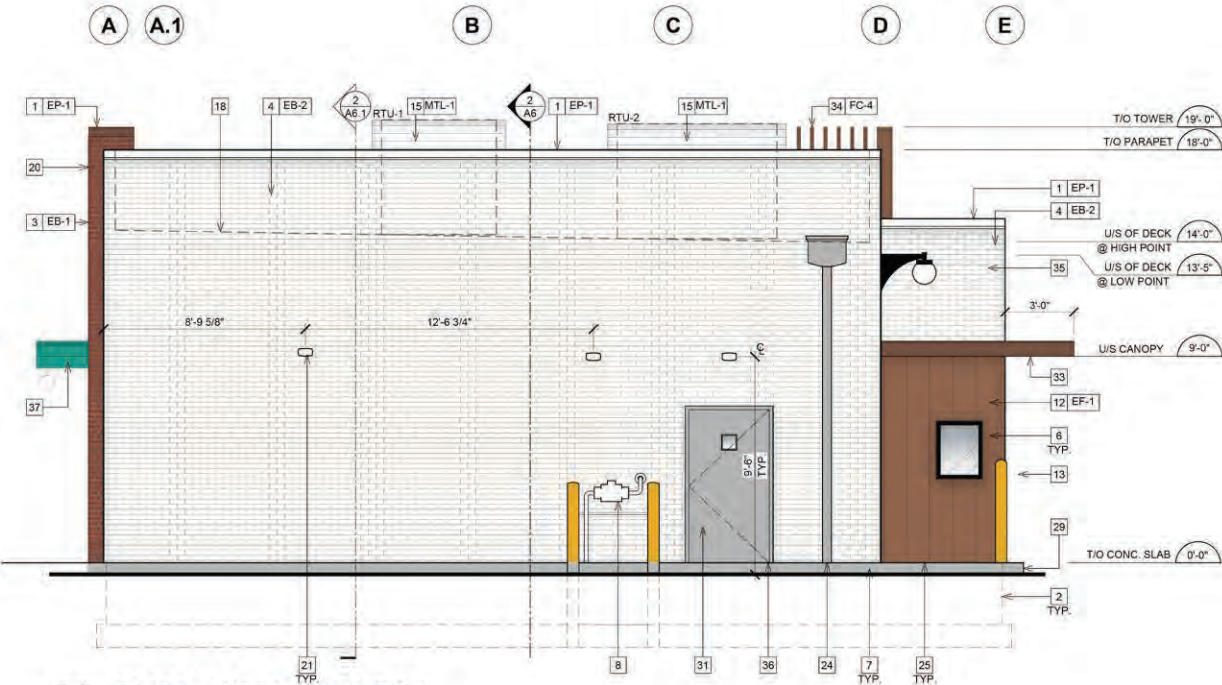
POPEYES LOUISIANA KITCHEN MODEL 2136, 6831 ODANA ROAD, MADISON, WISCONSIN; 2136 PROTOTYPE DOCUMENTS (FULL BRICK) STORE NO. XXXX



EB-1

EB-2

EF-1



1 PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MANUF.	PATTERN & COLOR
EB-1	GLEN-GERY FACE BRICK CHERRY CREEK WILLIAMSBURG RED	GLEN-GERY	GLEN-GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
EB-2	GLEN-GERY FACE BRICK ASPEN WHITE WIRECUT WHITE W804	GLEN-GERY	GLEN-GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
EF-1	VINTAGEWOOD AWP 3030	NICHHA	SIZE: 17-7/8" HIGH x 119-5/16" LONG, COLOUR: CEDAR, NOTE: FIBER CEMENT BOARD TO BE INSTALLED WITH NICHHA ALUMINUM TRIM PIECES, STARTER CLIPS & JOINTS (COLOUR MATCH CEDAR)
FC-4	VERTICAL SIMULATED WOOD SLATS		
EP-1	EXTERIOR PAINT	BENJAMIN MOORE	WHITE BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: OC-125 MOONLIGHT WHITE
EP-2	EXTERIOR PAINT	BENJAMIN MOORE	RED BRICK PARAPET - ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: 2105-20 ROOT BEER CANDY
EP-3	EXTERIOR PAINT	BENJAMIN MOORE	DUMPSTER WALLS AND REAR DOOR ULTRA SPEC EXT LOW LUSTRE (N455), COLOR: HC-170 STONINGTON GREY
EP-4	EXTERIOR PAINT	BENJAMIN MOORE	BOLLARDS COROTECH HIGH SOLIDS RAPID DRY ENAMEL, COLOR: SAFETY YELLOW
EP-5	METAL PAINT	BENJAMIN MOORE	DUMPSTER GATES COROTECH HIGH SOLIDS RAPID DRY ENAMEL, COLOR: FACTORY FINISH BLACK
EP-6	ANTI GRAFFITI COAT	BENJAMIN MOORE	EXTERIOR WALLS ALPHATIC ACRYLIC URETHANE, COLOR: V500-00 CLEAR
P-08	EXTERIOR METAL PAINTS & METAL RAILING	SHERWIN WILLIAMS	PAINT FOR FASCIAS AND/OR EXTERIOR METALS (SOFFITS, TRIM, ETC.) TO MATCH SURROUNDING COLOURS WHERE NECESSARY SHERWIN WILLIAMS "IRON ORE SW709" MIN. 2 COATS SPRAY APPLICATION
MC-1	PREFINISHED METAL FLASHING	FIRESTONE BUILDING PRODUCTS	COLOR: TBD "SEALANT": TITEBOND WEATHER MASTER SEALANT, COLOR: 81121 BLACK
DP-1	DOOR	STOREFRONT MANUFACTURER	MAIN ENTRANCE DOOR - ORANGE PANTONE #3584 C
MTL-1	ROOFTOP UNIT SCREENING - ENVISOR	CITYSCAPES ARCHITECTURAL INNOVATIONS	PANEL HEIGHT: TOP OF PANEL EQUAL TO TOP OF RTU, BOTTOM OF PANEL TO BE 12" ABOVE ROOF PANEL TYPE: TOP TRIM: 3" SQUARE EDGE OFFSET FROM UNIT: REFER TO MECH. DWGS FOR MIN. DISTANCE COLOR: ALABASTER WHITE

GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR: TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

- 1 NOTE REFERENCE REFER TO ELEVATION NOTES
- FN# FINISH TYPE

EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING G/W DRIP.
- N/A.
- GLEN-GERY FACE BRICK, CHERRY CREEK WILLIAMSBURG RED, STANDARD MORTAR, SIZE: BUILDERS 3-1/8" T x 2-13/16" H x 8-5/8" L
- GLEN-GERY FACE BRICK, ASPEN WHITE WIRECUT WHITE W804, WHITE MORTAR, SIZE: MODULAR 3-5/8" T x 2-1/4" H x 7-5/8" L
- N/A.
- PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NON-ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C TO PROVIDE AND INSTALL EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NICHHA VINTAGE WOOD, COLOR: CEDAR.
- PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-6" A.F.F. G.C TO PAINT "SAFETY YELLOW". REFER TO POPEYES MASTER SCHEDULE.
- DRIVE-THRU WINDOW. REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.
- PROVIDE DECORATIVE SCREENING AROUND ROOFTOP EQUIPMENT IF VISIBLE FROM GRADE AROUND BUILDING.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- C/T CABINET AND METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
- METAL RAILING SUPPLIED AND INSTALLED BY G.C (ONLY IF REQUIRED). ARCHITECT TO COORDINATE WITH CIVIL ENGINEER ON THE SITE PLAN. PAINT FINISH BLACK.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C TO COORDINATE CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- HORSE BIB. G.C TO PAINT. COLOR TO MATCH ADJACENT MATERIAL COLORS. COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DECORATIVE PANELS SUPPLY AND INSTALL BY SIGN COMPANY.
- G.C TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPANY.
- REAR EXIT DOOR TO BE PAINT WHITE.
- WALL SCIENCE SUPPLY AND INSTALL BY SIGN COMPANY.
- PRE-FABRICATED CANOPIES W/ PRE-WIRED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.
- VERTICAL SIMULATED WOOD SLATS.
- WALL SCIENCE LIGHTING. REFER TO ELECTRICAL SCHEDULE.
- CONCRETE SIDEWALK (BY G.C). REFER TO SITE PLAN.
- HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.

ISSUE TABLE

No.	Date (mm/dd/yyyy)	Description
01	02-02-2022	2136 PROTOTYPE WITH FULL BRICK
02	02-27-2022	2136 PROTOTYPE WITH FULL BRICK

REVISIONS

No.	Date	Description

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description

POPEYES LOUISIANA KITCHEN
6831 ODANA ROAD,
MADISON, WISCONSIN

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Company Logo

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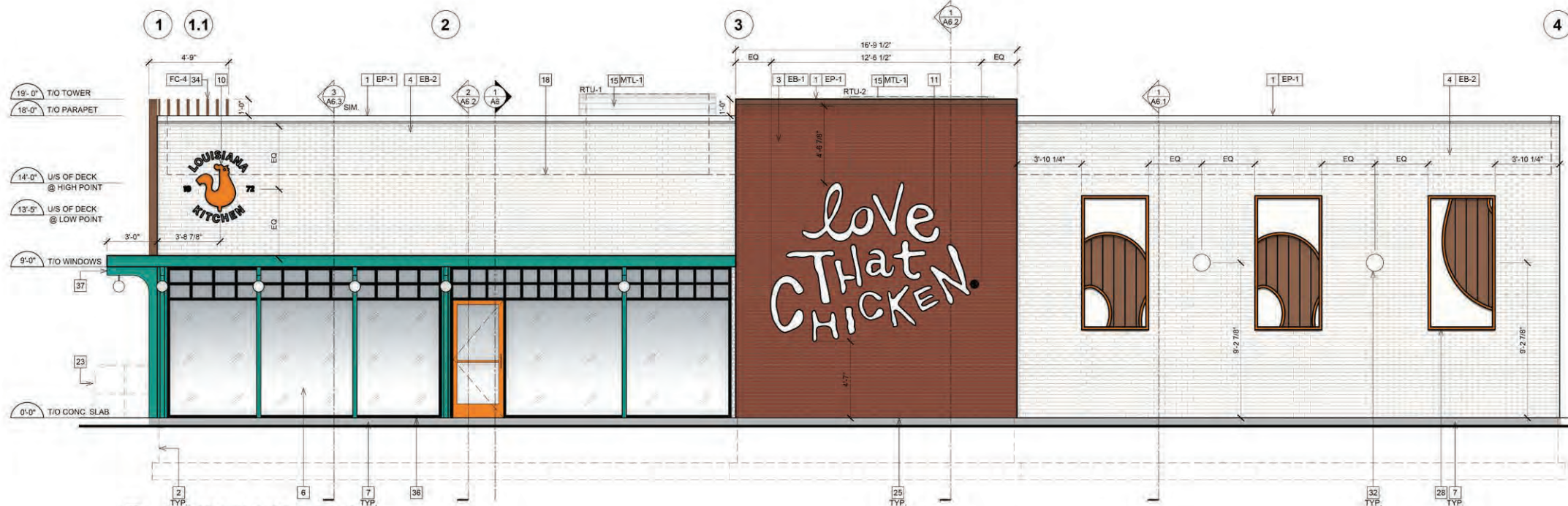
Project

Store Type: US 2136 MODEL 2136-21

Location: PROTOTYPE 2136 (U.S.) CITY, STATE

Drawing Title: EXTERIOR ELEVATIONS

Drawn: XX	Checked: XX
Scale: 1/4"=1'-0"	Date: 02/27/2022
Project No: 2021_0061	Drawing No: A5.1



2 PROPOSED SIDE ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



EXTERIOR DESIGN

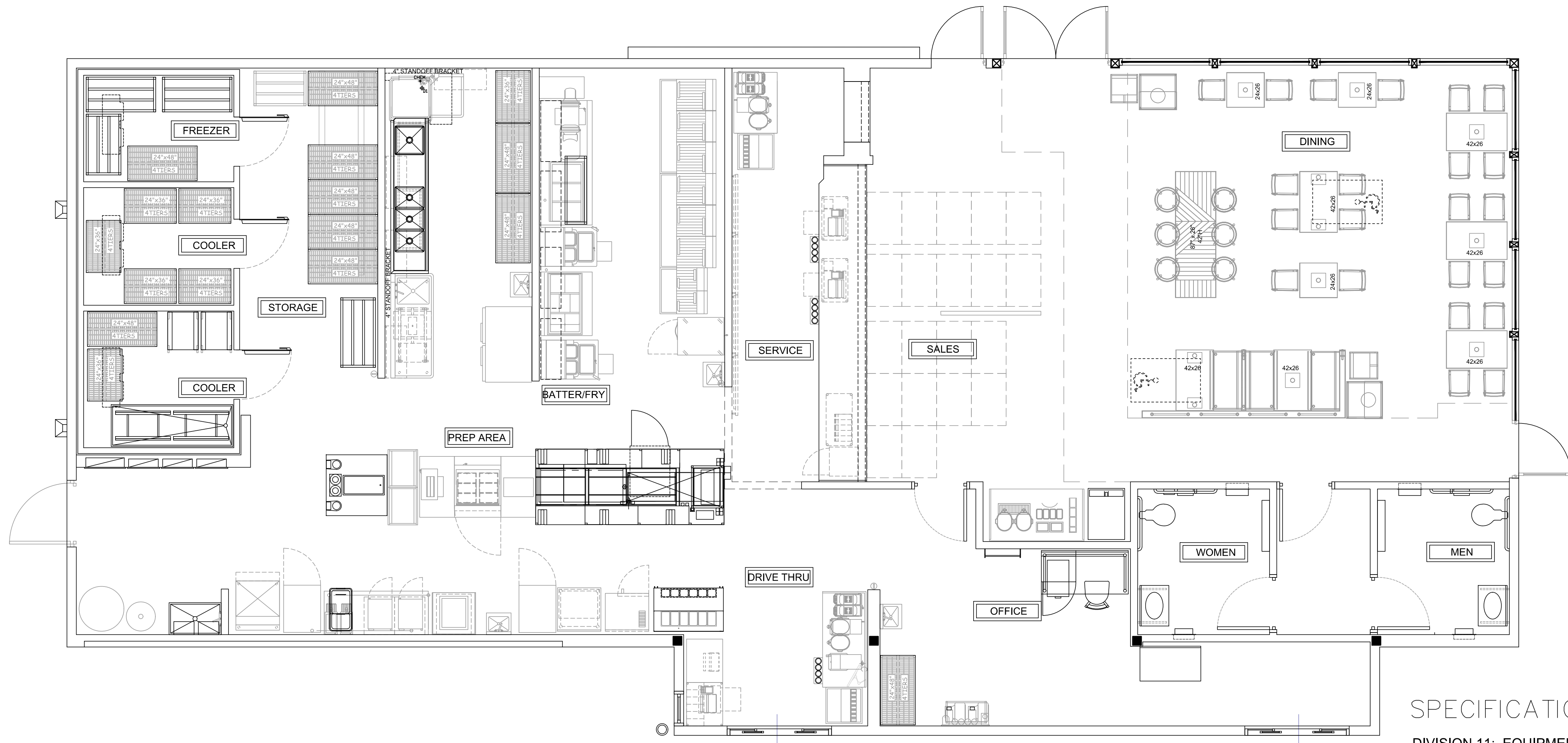
POPEYES LOUISIANA KITCHEN



EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN





1 EQUIPMENT PLAN
EQ1 1/4"=1'-0"

SPECIFICATIONS

DIVISION 11: EQUIPMENT

GENERAL PROVISIONS

- SCOPE: COORDINATE WITH THE INSTALLATION OF ALL EQUIPMENT ITEMS SHOWN ON PLANS AND SCHEDULED IN EQUIPMENT SCHEDULE (EXCEPT AS NOTED AS INSTALLED BY KITCHEN CONTRACTOR) WHICH ARE FURNISHED BY THE OWNER OR UNDER SEPARATE CONTRACT. EQUIPMENT SCHEDULE LISTS TRADES RESPONSIBLE FOR FURNISHING, INSTALLING AND FINAL CONNECTION.
- SUBMISSIONS: PROVIDE THE OWNER, AT THE COMPLETION OF THIS CONTRACT, WITH AN "OWNER'S MANUAL" SO LABELED. THE MANUAL SHALL CONSIST OF A THREE-RING LOOSE-LEAF BINDER CONTAINING ALL PRINTED MATTER SUCH AS: GUARANTEE CARDS, CLEANING INSTRUCTIONS, NOTICES TO OWNER, OPERATING MANUALS, SERVICE AGENTS AND MAINTENANCE INSTRUCTIONS THAT MAY BE CONTAINED IN THE SHIPPING CARTON OF EQUIPMENT AND SPECIALTIES.
- DELIVERY AND STORAGE: RECEIVE, UNLOAD, AND SAFEGUARD THE EQUIPMENT. COORDINATE SHIPPING TIME WITH OWNER.
- PROTECTION AND CLEANING: SURFACES SHALL BE CLEANED BEFORE FINAL INSPECTION.

MATERIALS

- SEE EQUIPMENT SCHEDULE

PERFORMANCE

- INSTALL EQUIPMENT ACCORDING TO NFPA 96 AND MANUFACTURER'S INSTRUCTIONS, PROVIDE FACTORY AUTHORIZED START & ADJUSTMENT.

DIVISION 12: FURNISHINGS

GENERAL PROVISIONS

- SCOPE: COORDINATE INSTALLATION OF ARTWORK, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS, AND ACCESSORIES WHICH ARE FURNISHED UNDER SEPARATE CONTRACT TO THE OWNER. IF REQUESTED THROUGH THE CONTRACT, INSTALL DECOR, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS AND/OR ACCESSORIES.
- NOTES: DETAILS AND MATERIALS SHOWN ON THE APPROVED DECOR DRAWINGS CONFLICTING WITH THE STANDARD PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF THE INSTALLATION. VERIFICATION OF ADA COMPLIANCE WILL BE NECESSARY.
- DELIVERY AND STORAGE: RECEIVE AND SAFEGUARD OWNER SUPPLIED ITEMS ON THE JOB SITE IF REQUESTED.

PERFORMANCE

- INSTALLATION: PREPARE SURFACES TO RECEIVE THESE MATERIALS AND COOPERATE WITH THE INSTALLATION OF DECOR MATERIALS AS SHOWN ON THE DECOR DRAWINGS.

NOTES

SYMBOL

TEXT EQUIPMENT No.

- IT IS THE RESPONSIBILITY OF THE G.C. TO COORDINATE DELIVERY, UNCRATING, POSITIONING, FINAL HOOK-UP AND REMOVAL OF TRASH OF ALL OWNER SUPPLIED KITCHEN EQUIPMENT.
- ALL KITCHEN EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- DECOR ITEMS SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
- FOR DINING ROOM FURNITURE, SEE DECOR PACKAGE, CONTACT DECOR VENDOR FOR DETAILS.

INTERIOR SIGN PACKAGE-BY G.C.

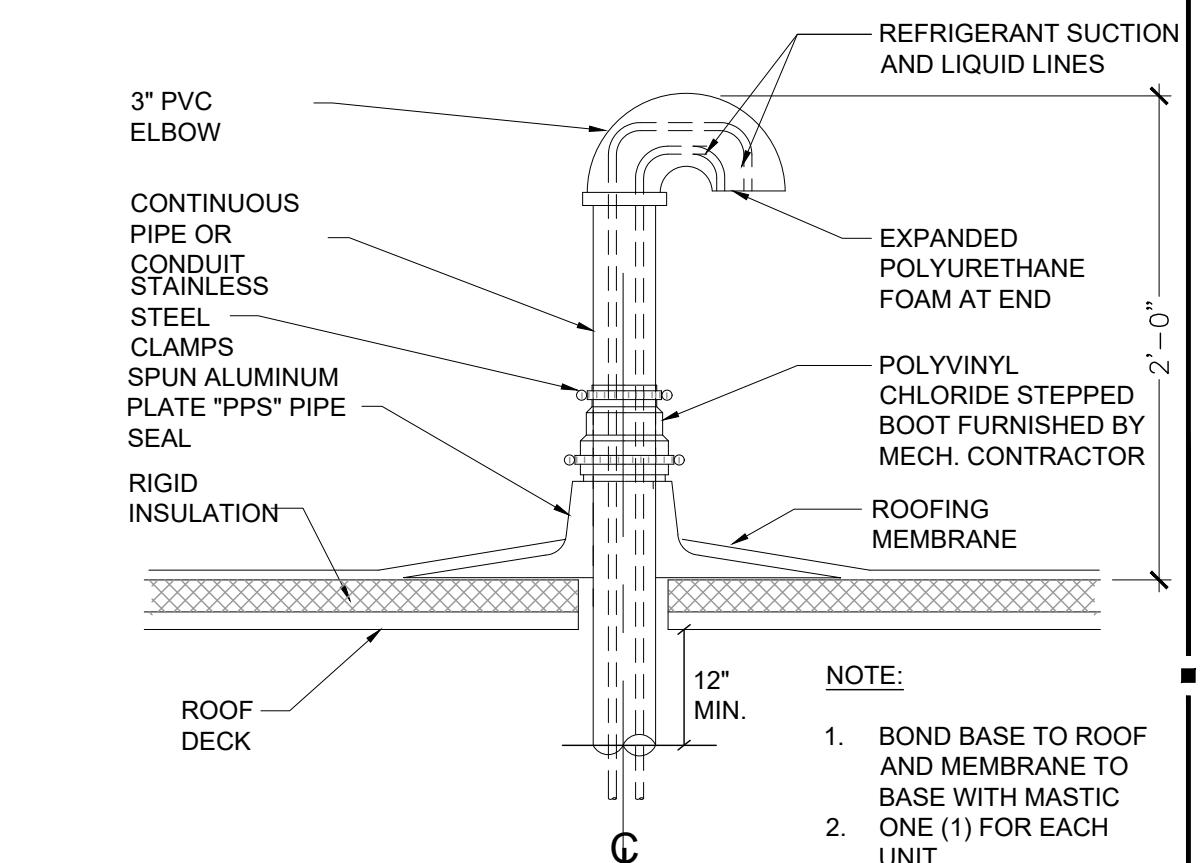
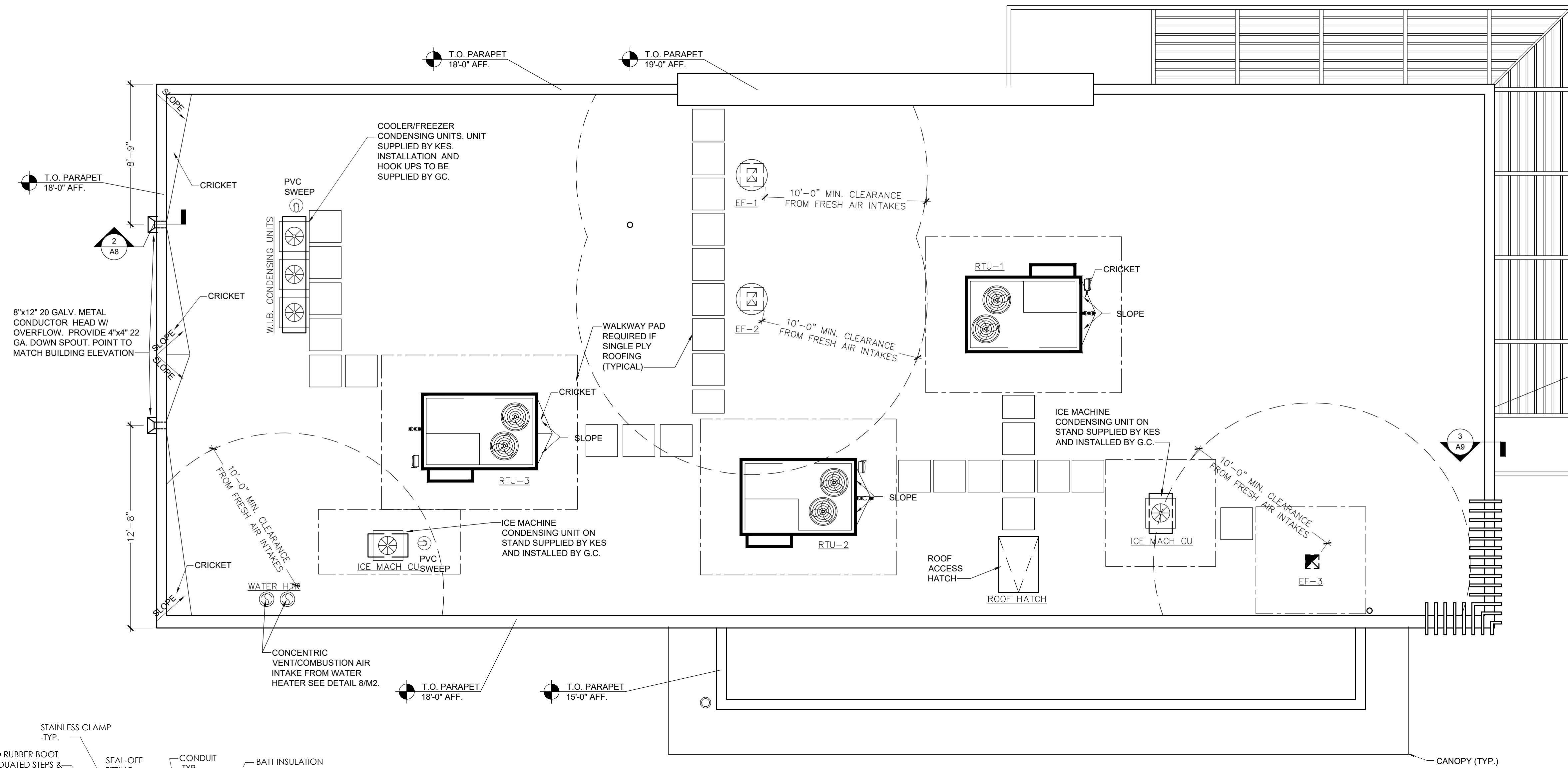
AREA	SIGN NAME	QTY	MOUNTING LOCATION	COMMENTS	
FRONT OF HOUSE	HOURS OF OPERATION	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT ON WINDOW NEXT TO DOOR, IF POSSIBLE	
	DOOR TRAFFIC FLOW SIGNS				
	IN	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS	
	OUT	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS	
	LOBBY FLOW SIGN	2	SITS ON TOP OF SERVICE COUNTER	3 SIDED SIGN, "ORDER HERE", "PAY HERE", "NEXT REGISTER"	
	QUEUEING LINE FLOW SIGN	1	TOP OF QUEUEING LINE POLE	2 SIDED SIGN, "ENTER HERE", "PLEASE COME AGAIN"	
	RESTROOM SIGNS		LATCH-SIDE WALL, MTD, C 60" A.F.F.	HANDICAPPED	
	"HANDICAP WOMEN"	1	EXTERIOR OF WOMEN'S RESTROOM DOOR, 60" AFF	MOUNT TO CENTER LINE OF SIGN	
	"HANDICAP MEN"	1	EXTERIOR OF MEN'S RESTROOM DOOR, 60" AFF	MOUNT TO CENTER LINE OF SIGN	
	"RESTROOMS"	1	VISIBLE TO CUSTOMERS IN DINING AREA, 60" AFF	MOUNT TO CENTER LINE OF SIGN	
	"EMPLOYEES MUST WASH HANDS..."	2	INTERIOR OF BOTH RESTROOMS DOOR, 60" AFF		
	"NO SMOKING"	5	DINING ROOM		
	"EMPLOYEES ONLY"	1	ENTRANCE BETWEEN KITCHEN AND DINING ROOM		
	TEA URN SIGNS				
	"UNSWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN	
	"SWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN	
	"WATER"	1	HANGS ON DISPENSER	2 SIDED SIGN	
	BACK OF HOUSE	BIN DECALS			
		"FLOUR"	1	PLACE ON FLOUR BIN	STICKER APPLICATION
		"RICE"	1	PLACE ON RICE BIN	STICKER APPLICATION
"FILTER"		1	PLACE ON FILTER POWDER BIN	STICKER APPLICATION	
3 COMPARTMENT SINK DECALS					
"WASH"		1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION	
"RINSE"		1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION	
"FILTER"		1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION	
"HOT USE CAUTION"		6	MICROWAVE WINDOW, OVEN, PRODUCT DISPLAY AREAS	STICKER APPLICATION	
"MUST BE 18..."		4	FRYER, FILTER, MARINATOR, (IF APPLICABLE)		
FRYER LABELS (1, 2, 3, 4, 5, 6)	1	PLACE ON APPROPRIATE FRYER	STICKER APPLICATION		
"STOP! ALL VENDORS MUST..."	1	EXTERIOR OF BACK DOOR, 60" AFF			
"WARNING! ONLY MANAGERS..."	1	EXTERIOR OF BACK DOOR, 48" AFF			
"MANAGERS... ACCESS TO SAFE"	1	EXTERIOR OF BACK DOOR, 48" AFF			
"CHEMICAL STORAGE ONLY"	1	ON OR OVER AREA TO STORE CHEMICALS	MOUNT TO SHELVING UNIT OR WALL		
OTHER	HANDICAP PARKING SIGN	2	DESIGNATED PARKING SPOT (S) 84" TO BOT. OF SIGN		

NOTES:

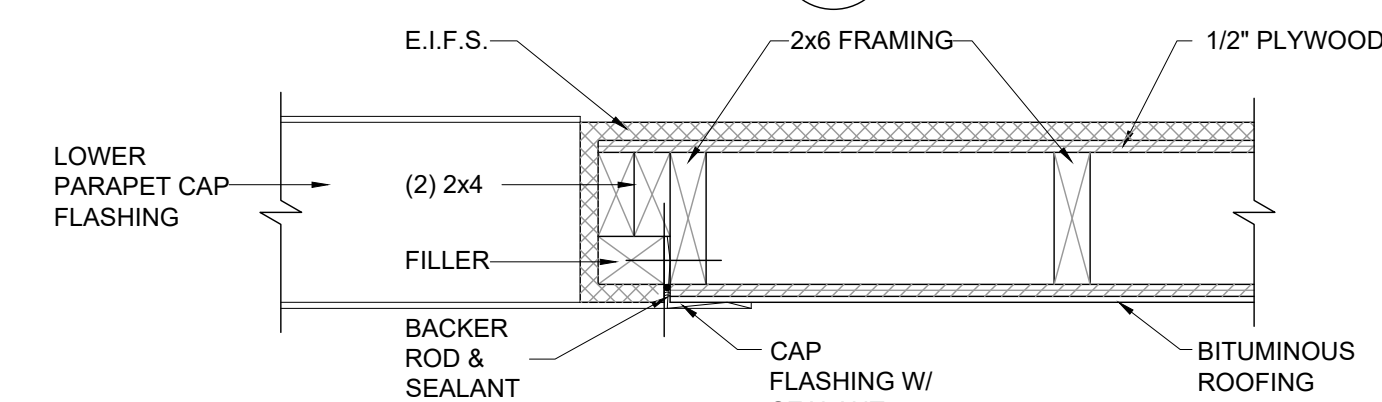
- FLOOR MATS SHOULD BE PLACED IN THE AREAS DESCRIBED BELOW:
ENTRY WAY MATS: 3M NOMAD, AVAILABLE SIZES 3'x5' OR 4'x6'
KITCHEN FLOOR MATS: MATRIX 'GRIP ROCK'
LOCATIONS:
-INSIDE WALK-IN COOLER (3'-0" x 5'-6")
-OUTSIDE THE WALK-IN COOLER (3'-0" x 4'-0")
-ICE MACHINE (3'-0" x 4'-0")
-3 COMPARTMENT SINK (3'-0" x 7'-6")
-CONDIMENT COUNTER (3'-0" x 8'-10")
- EQUIPMENT SUBSTITUTIONS REQUIRE POPEYES PRE-APPROVAL
SUBMIT CUT SHEETS TO POPEYES DEPARTMENT

SEATING	
SEATS:	71
GROUPS:	21
RATIO:	3.4
SQUARE FOOTAGE	
KITCHEN (NET):	1,278
WALK-IN (NET):	185
DINING/RESTROOM (NET):	1,545
TOTAL (NET) :	3,008
TOTAL (GROSS) :	3,149

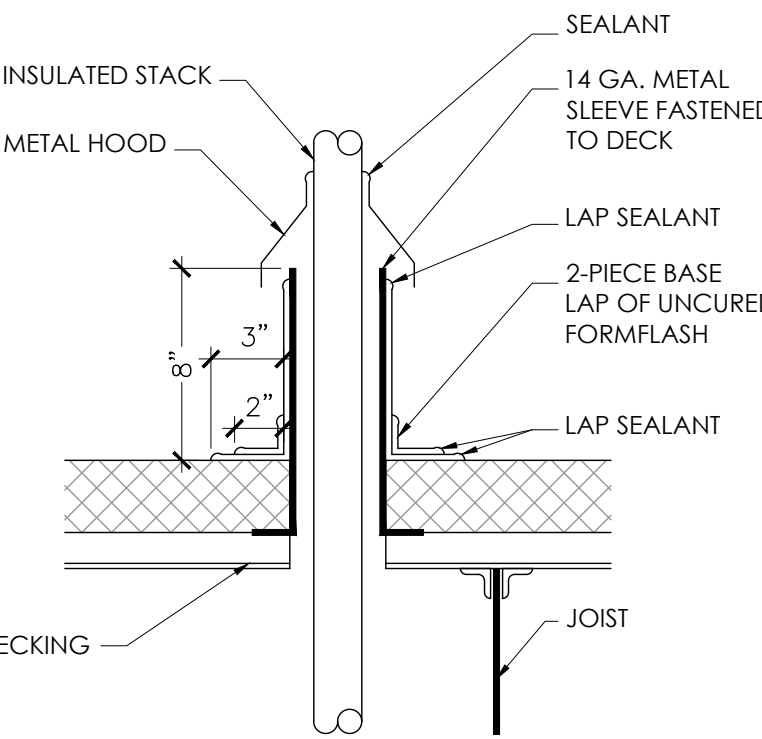
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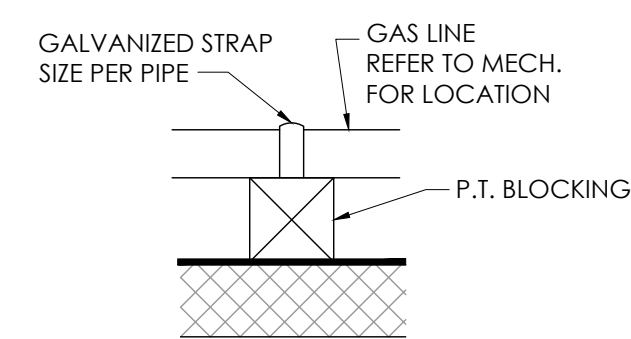
8 VENT/SWEEP ROOF PENETRATION DTL.
A4 3'-11'-0"



7 TYPICAL FRAMING DETAIL AT END OF PARAPET
A4 1'-1/2"=1'-0"



2 PIPING OR VENT FLASHING
A4 1'-1/2"=1'-0"

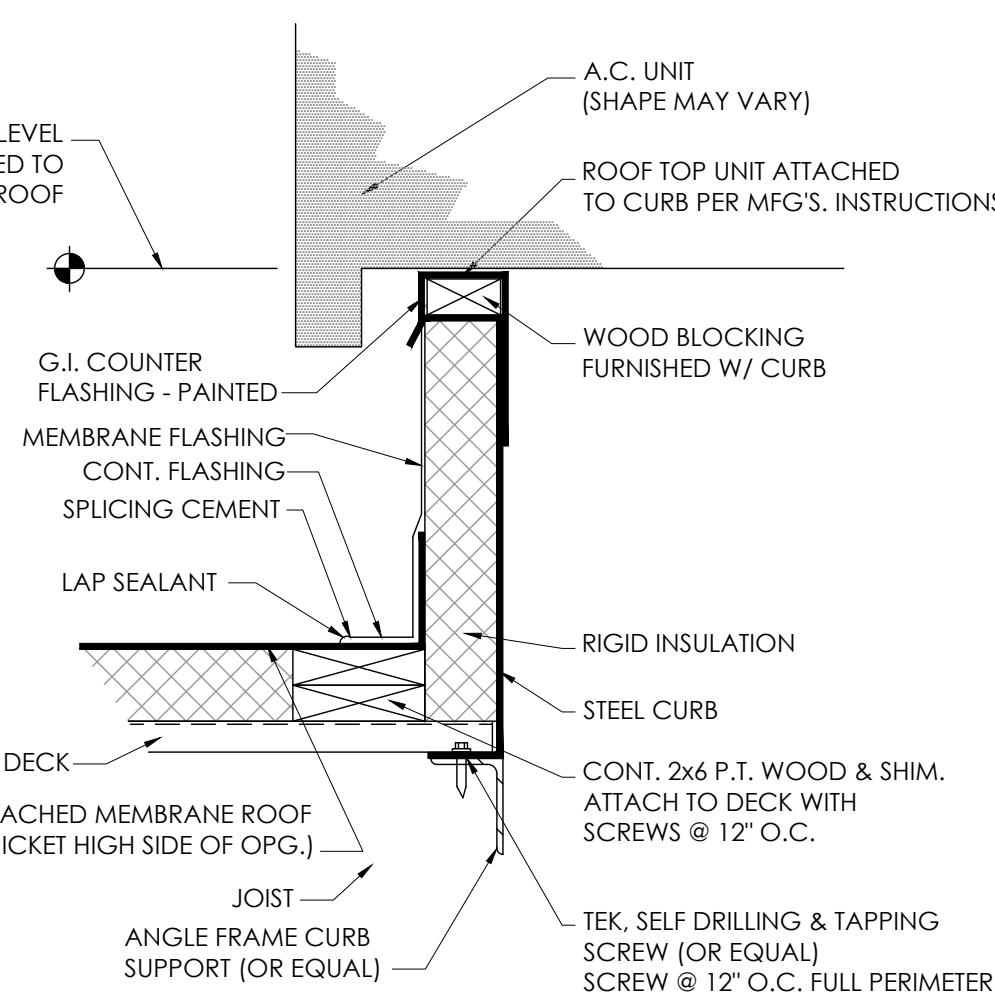


6 GAS PIPING DETAIL
A4 1'-1/2"=1'-0"

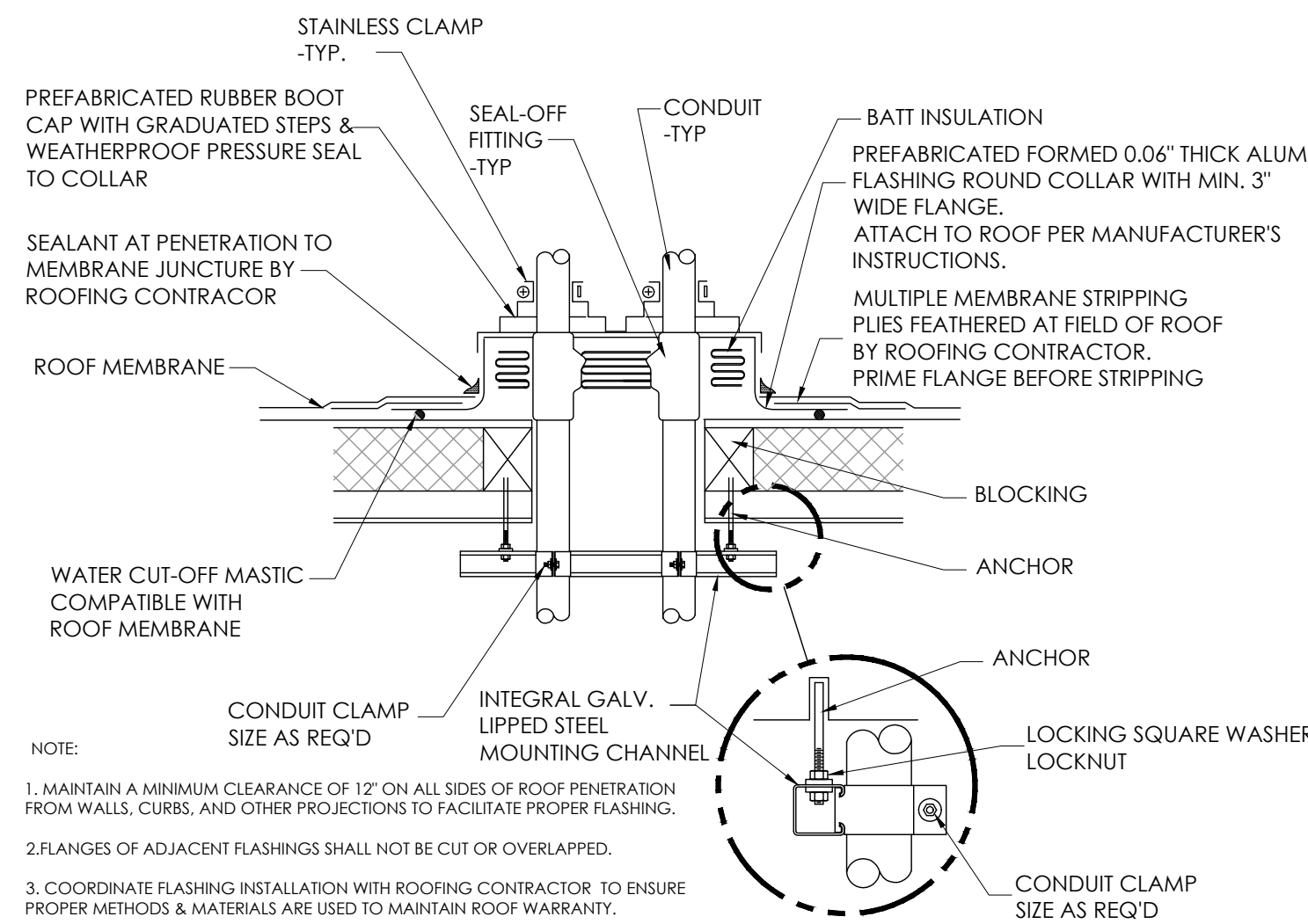
1 ROOF PLAN
A4 1/4"=1'-0"

NOTE:
ROOFING SYSTEM SHALL BE WHITE SINGLE PLY ROOF MEMBRANE AS MANUFACTURED BY:
1) DUROLAST

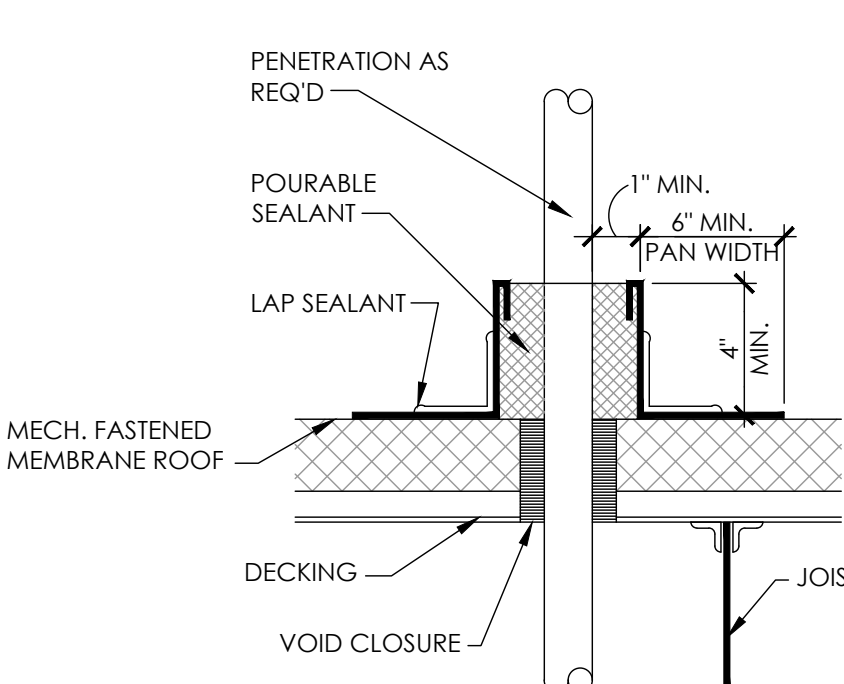
ROOFING TO BE APPLIED OVER R-16 (MIN.) INSULATION BOARD IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



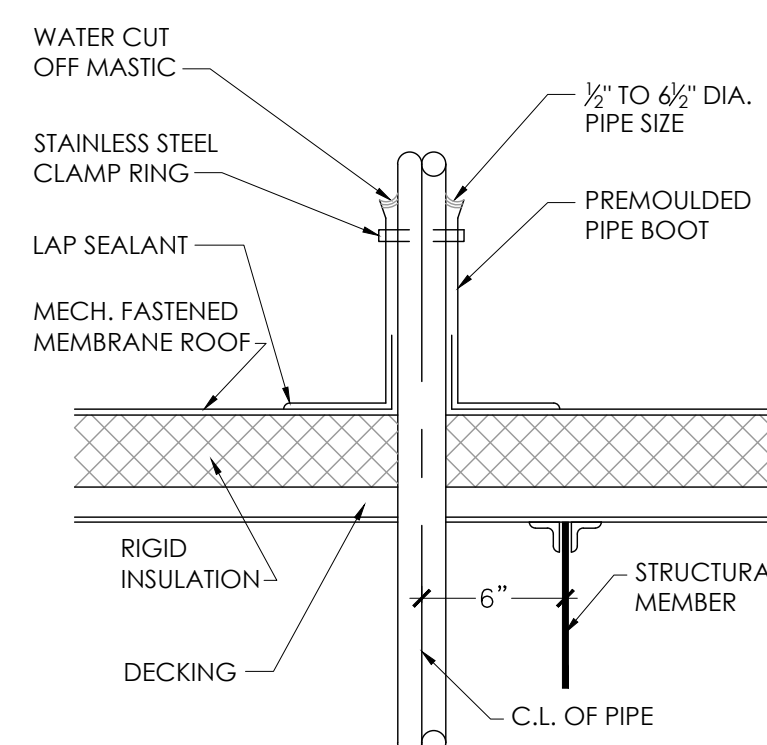
5 MECHANICAL CURB DETAIL
A4 1'-1/2"=1'-0"



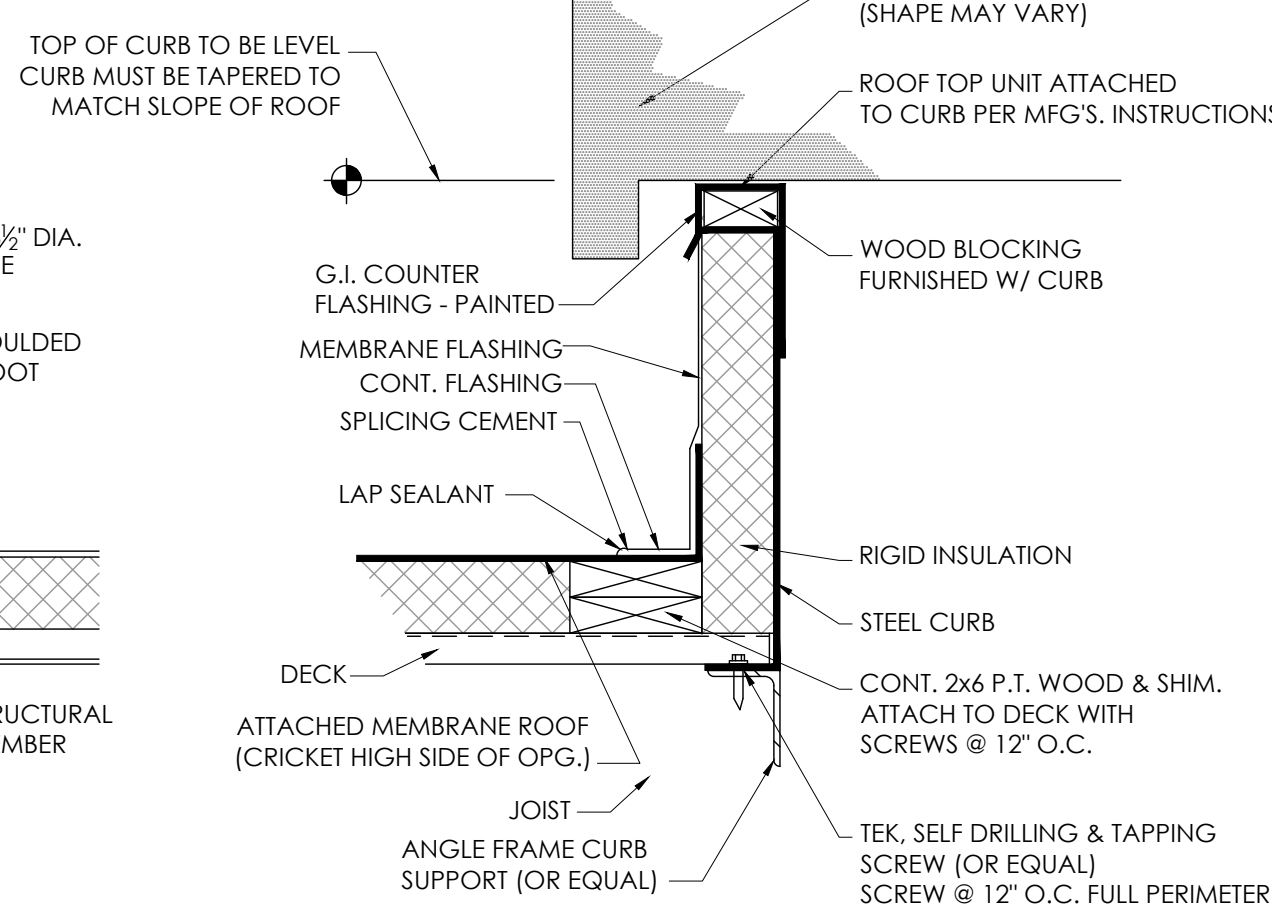
9 CONDUIT ROOF PENETRATION
A4 NTS



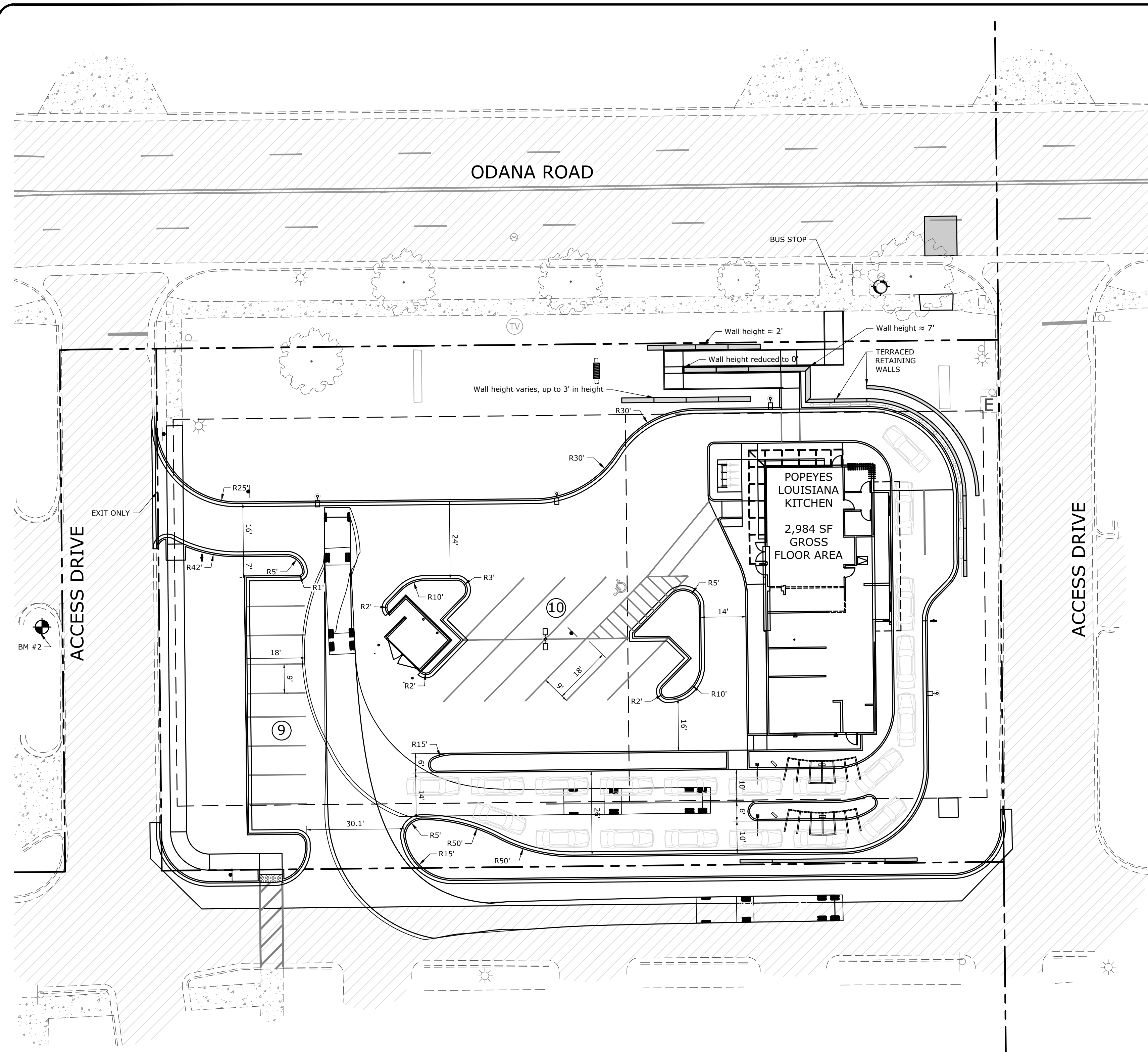
3 PITCH POCKET DETAIL
A4 1'-1/2"=1'-0"



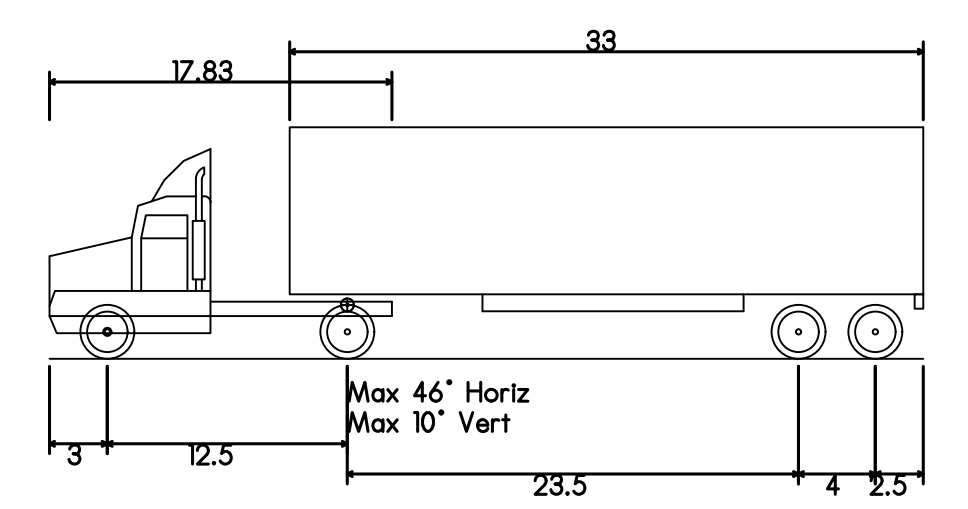
4 HOT GAS VENT PIPE DETAIL
A4 1'-1/2"=1'-0"



5 MECHANICAL CURB DETAIL
A4 1'-1/2"=1'-0"



WB-40 SEMI-TRUCK



WB-40 - Intermediate Semi-Trailer
 Overall Length 45.500ft
 Overall Width 8.000ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Track Width 8.000ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 40.000ft

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PROJECT NAME
 OWNERS NAME

**POPEYES
 MADISON, WI**

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 MADISON, WI
 DANE COUNTY

ABYGROUPS
 200 S FRONTAGE RC STE 330
 BURR RIDGE, IL 60527
 (847) 208-5656

CONSULTANTS

ISSUED FOR

ITEM	DATE
1. AGENCY REVIEW	01/03/2021
2. AGENCY REVIEW	01/06/2021
3. AGENCY REVIEW	01/13/2021
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

REVISIONS

ITEM	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

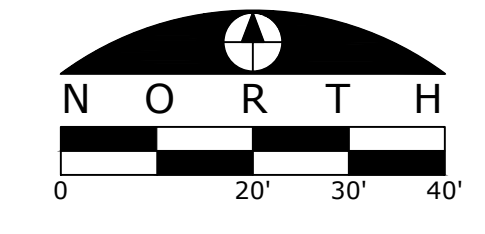
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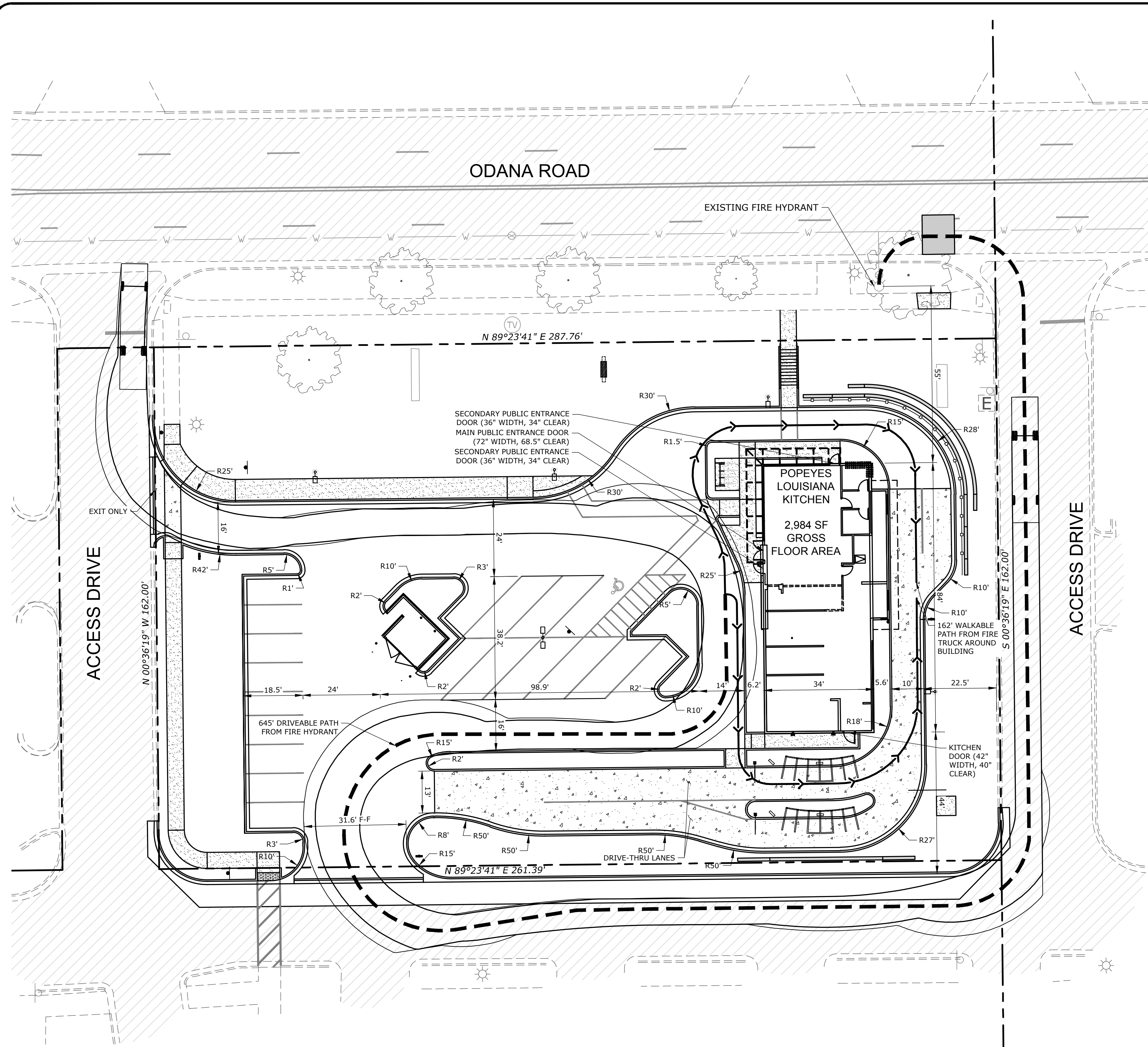
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 CHECKED LND
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PROJECT NUMBER
 SHEET NUMBER

19055

1 OF 1





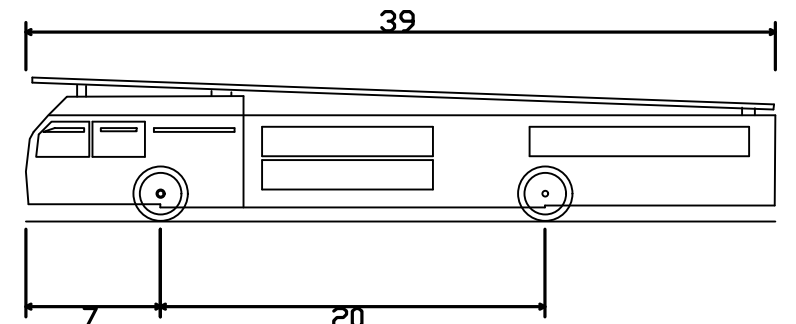
LEGEND

- PROPERTY LINE
- DRIVEABLE PATH FROM FIRE HYDRANT TO FIRE LANE
- WALKABLE PATH FROM FIRE TRUCK TO BUILDING
- EXISTING CURB AND GUTTER
- PROPOSED ACCEPTING CURB AND GUTTER
- EXISTING WATER MAIN
- PROPOSED WATER SERVICE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING WATER VALVE
- PROPOSED WATER SERVICE CURB BOX
- PROPOSED LIGHT POLE (SEE DETAILS, ARCH. PLANS, AND CREE LIGHTING PLAN)

BUILDING DATA

CONSTRUCTION TYPE	V-B UNPROTECTED, UNSPRINKLERED
OCCUPANCY CLASSIFICATION	A-2 ASSEMBLY - RESTAURANT
OCCUPANCY LOAD	70 PERSONS MAXIMUM
BUILDING AREA	2,984 SF
BUILDING HEIGHT	19' 0" (1 STORY)
FIRE PROTECTIONS SYSTEMS REQUIRED	NONE REQUIRED
KNOX BOX INCLUDED?	NONE
DISTANCE TO NEAREST FIRE HYDRANT	55'

AERIAL FIRE TRUCK



Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

ARC DESIGN
 RESOURCES INC.

5281 ZENITH PARKWAY
 LOVES PARK, IL 61111
 VOICE: (815) 484-4300
 FAX: (815) 484-4303

www.arcdesign.com
 Design Firm License No. 2411-11

PROJECT NAME
 OWNER'S NAME

POPEYES
MADISON, WI

6831 ODANA RD
 MADISON, WI
 DANE COUNTY

ABYGROUPS
 200 S FRONTAGE RC STE 330
 BURR RIDGE, IL 60527
 (847) 208-5656

CONSULTANTS

ISSUED FOR

1.	AGENCY REVIEW	DATE
1.	AGENCY REVIEW	10/14/2021
2.	AGENCY REVIEW	02/03/2020
3.	---	---
4.	---	---
5.	---	---
6.	---	---
7.	---	---
8.	---	---
9.	---	---
10.	---	---
11.	---	---
12.	---	---

REVISIONS

1.	ITEM	DATE
1.	---	---
2.	---	---
3.	---	---
4.	---	---
5.	---	---
6.	---	---

SHEET TITLE

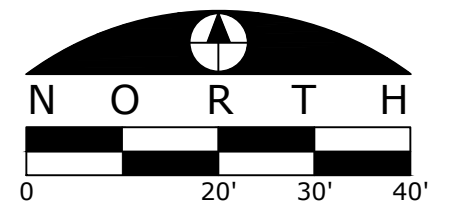
FIRE ACCESS PLAN

DRAWN KG
 CHECKED LND
 PM RCS

PROJECT NUMBER
 SHEET NUMBER

19055

1 OF 1





CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address _____
 Name of Project _____
 Owner / Contact _____
 Contact Phone _____ Contact Email _____

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3				
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						

Total Number of Points Provided _____

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

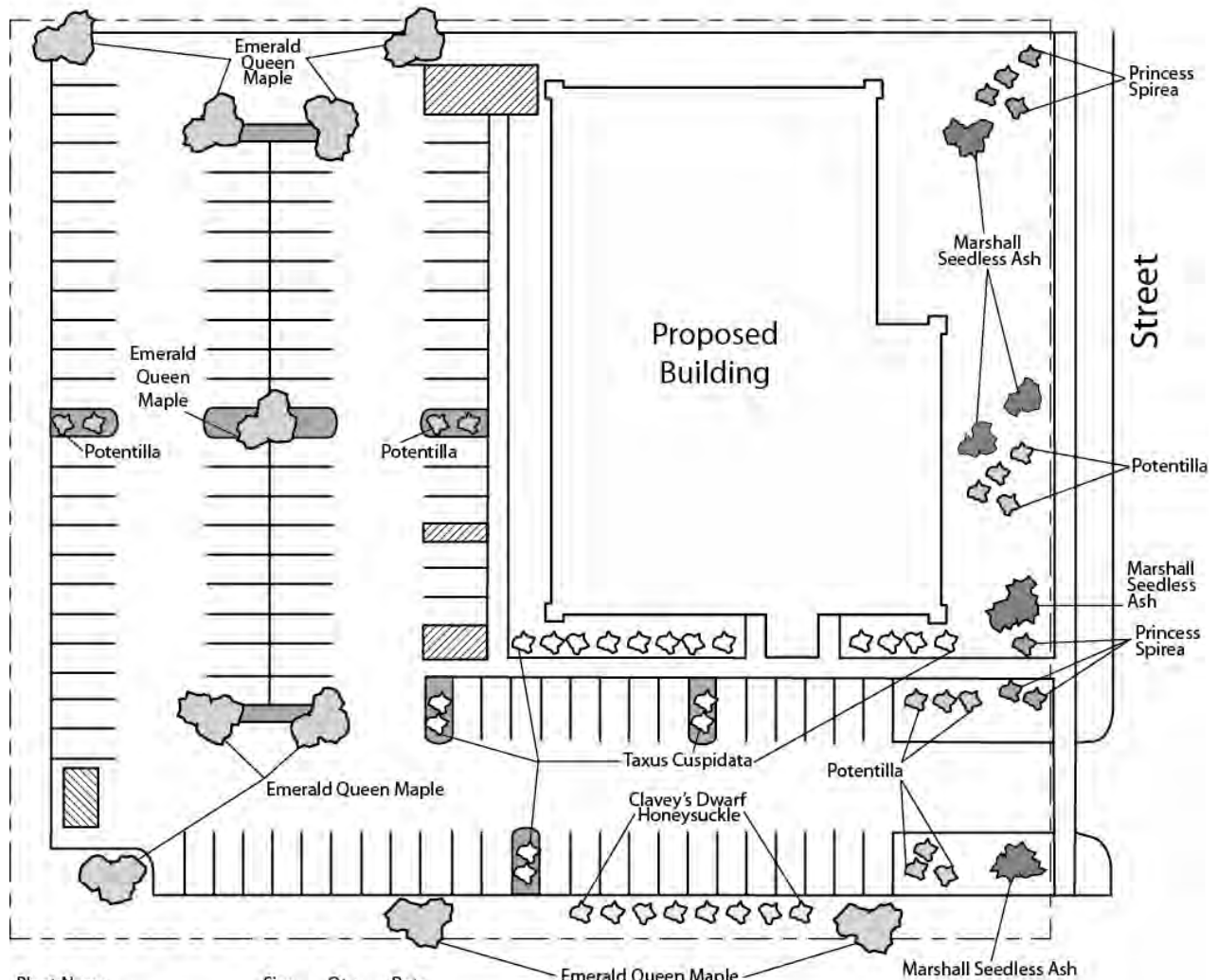
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
			TOTAL 585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 3. Storage areas including trash and loading.
 4. Lighting (landscape, pedestrian or parking area).
 5. Irrigation.
 6. Hard surface materials.
 7. Labeling of mulching, edging and curbing.
 8. Areas of seeding or sodding.
 9. Areas to remain undisturbed and limits of land disturbance.
 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 11. Existing trees eight (8) inches or more in diameter.
 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	4	4MB-16L-Q7	SINGLE	1.000	11350	96	OSQM-B-16L-57K7-4M-UL-NM-BZ-Q7 w/OSQ-ML-B-AA-BZ + OSQ-BLSLF	B1-U0-G2
	1	4M-2(180)-16L-Q7	2 @ 180°	1.000	14800	96	OSQM-B-16L-57K7-4M-UL-NM-BZ-Q7 w/OSQ-ML-B-AA-BZ	B2-U0-G3
	6	H1	SINGLE	1.000	1256	17.9	CL-H-18110-91-HL-D-91-13-LED2-30-DBC-M	B1-U0-G0
	7	Dalt	SINGLE	1.000	1200	14.5	Comparable to existing building lights	B1-U0-G0

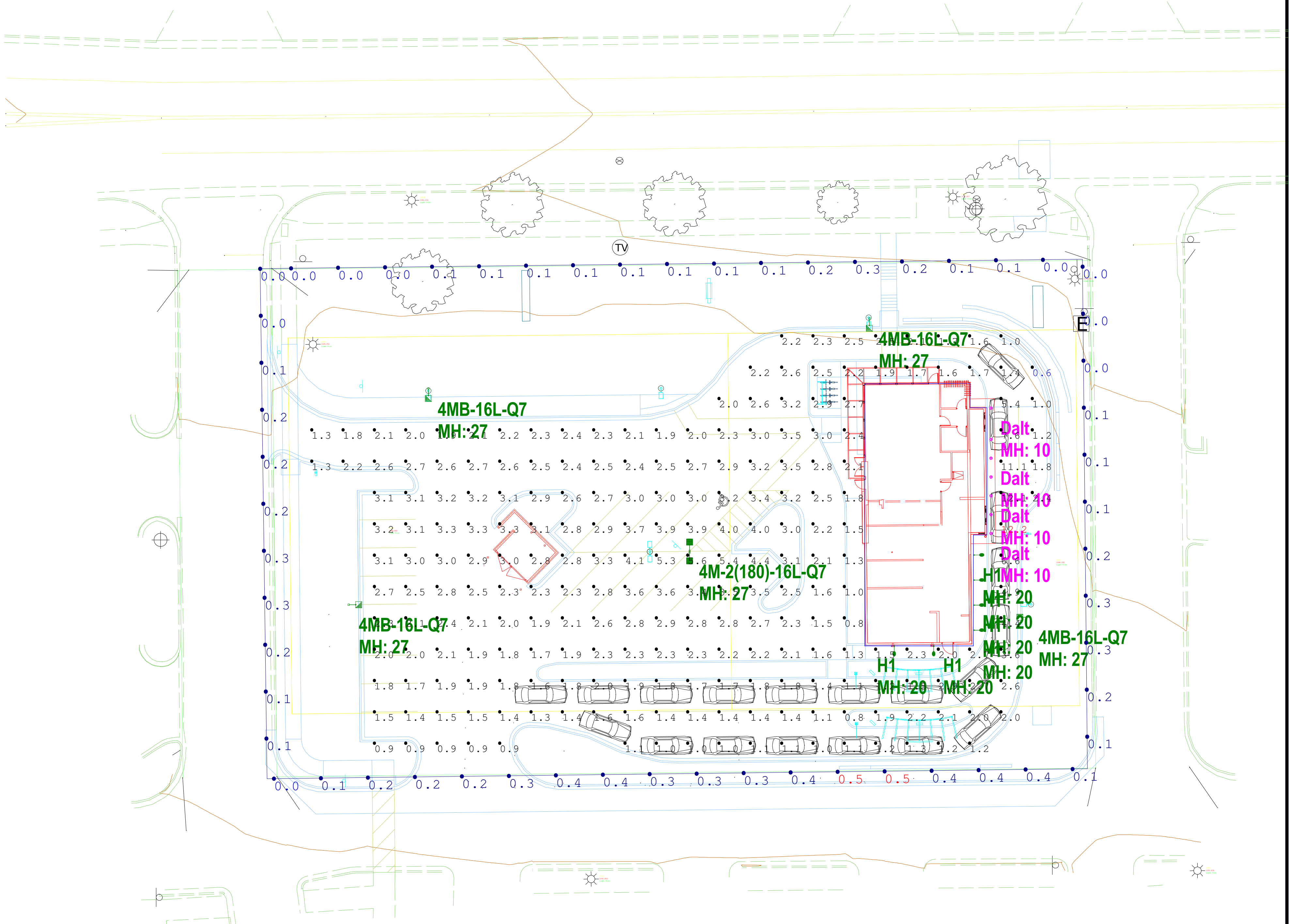
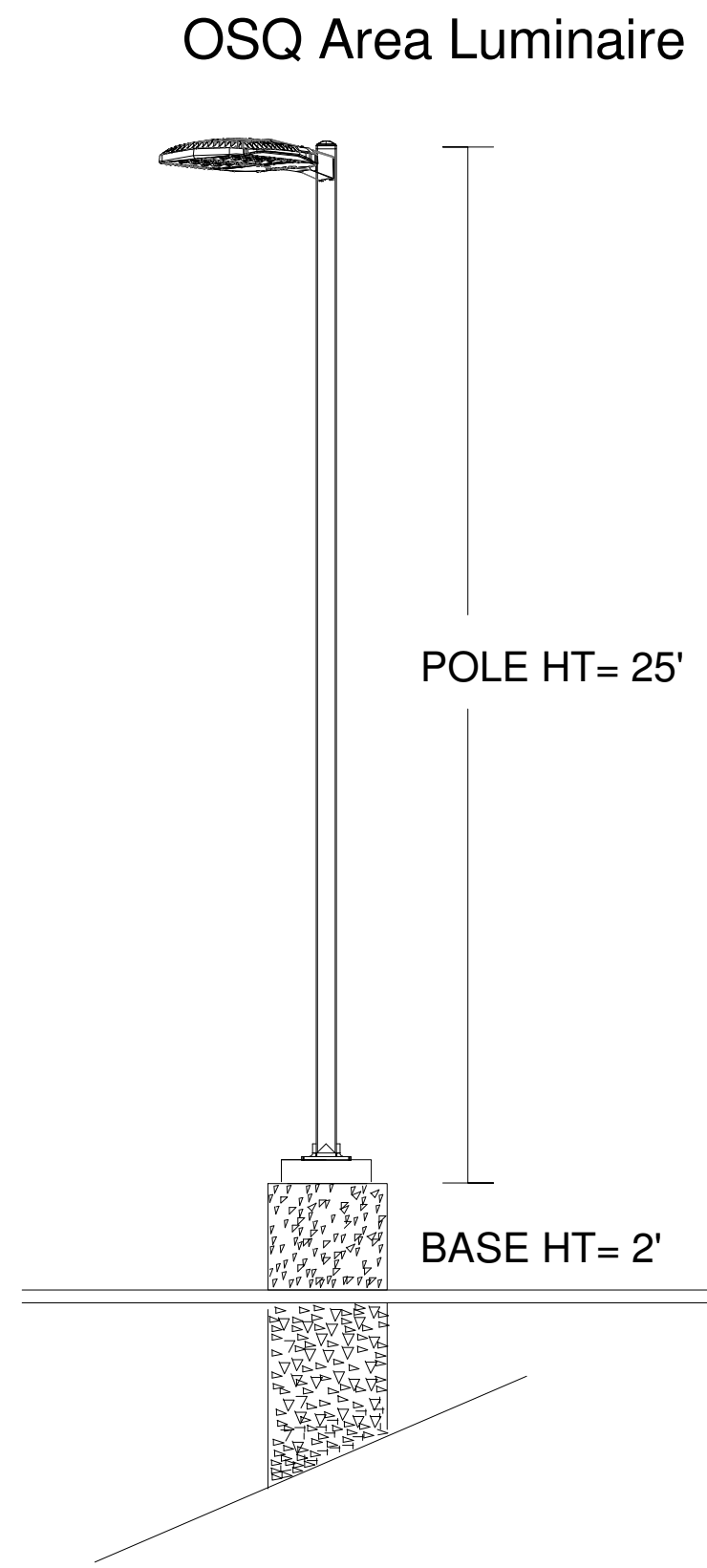
Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Area	Fc	2.47	12.2	0.6	4.12	20.33
Property Line	Fc	0.18	0.5	0.0	N.A.	N.A.

Calculations on property line are at 4' AFG.

FIXTURE MOUNTING HEIGHT: 27' AFG (25' POLE + 2.0' Base)

- ADDITIONAL EQUIPMENT REQUIRED:
 (5) CL-SSP-4011-25-OT-BZ (25' x 4" x 11ga STEEL SQUARE POLE)
 (4) PB-1A4BZ SINGLE TENON
 (1) PB-2A4BZ TWIN TENON
 (6) OSQ-B-ML-AA-BZ ADJUSTABLE ARM MOUNT

PROPOSED POLES MEET 100MPH SUSTAINED WIND LOADS



Type: CL-SSP-4011-25-D6-PS

CATALOG

CL-SSP

SIZE/GAUGE

4011 – 4" Square/11ga
(available on 18', 20' and 25' poles)
4007 – 4" Square/7ga
(available on 25' and 30' poles)
5011 – 5" Square/11ga
(available on 25', 26' poles)
5007 – 5" Square/7ga
(available on 25', 28' and 30' poles)

HEIGHT

18 – 18'
 20 – 20'
 25 – 25'
 26 – 26'
 28 – 28'
 30 – 30'

MOUNTING

OT – Open Top
 TT – Tenon Top
 D1 – Drilled for Single
 D2 – Drilled for Double at 180°
 D3 – Drilled for Double at 90°
 D5 – Drilled for Triple at 90°
 D6 – Drilled for Quad at 90°

FINISH

Polyester Powder Coat Finish
BZ – Bronze
SV – Silver
BK – Black
WH – White
PS – Platinum Silver

SHAFT

- ASTM A-500 Grade B carbon steel
- Minimum 46,000 P.S.I. yield strength
- Drilled top includes removable cap
- Tenon top includes 2-3/8" O.D. x 4.0" H x .25" Thick tenon

BASE PLATE

- ASTM A-36 hot rolled carbon steel
- Minimum 36,000 P.S.I. yield strength
- Removable Base Cover
- 8.0" Square Base Plate (4" Poles)
- 11.0" Square Base Plate (5" Poles)
- 0.75" Thick Base Plate (11ga. Poles)
- 0.75" Thick Base Plate (7ga. 4" Poles)
- 1.0" Thick Base Plate (7ga. 5" Poles)
- ø8.5" Bolt Circle (4" Poles)
- ø10.5-11.5" Bolt Circle (5" Poles)
- 1.0" Bolt Holes (11ga. Poles)
- 1.25" Bolt Holes (7ga. Poles)
- 5.66" – 6.36" Bolt Pattern Measurement (4" poles)
- 7.43" – 8.13" Bolt Pattern Measurement (5" Poles)

ANCHOR BOLTS

- F1554 Grade
- Minimum 55,000 P.S.I. yield strength
- Fully galvanized
- 17.0" L x 0.75" Dia. J Bolts (11ga. Poles)
- 37.0" L x 1.0" Dia. J Bolts (7ga. Poles)
- Includes two hex nuts and two flat washers

HAND HOLE

- 3.0" x 5.0" Hand Hole w/ Cover
- Located 14.0" above base

ACCESSORIES

Templates

CS006S05 (4"/11ga Poles)
 CS006S06 (5"/11ga Poles)
 CS006S07 (5"/7ga Poles)

Anchor Bolts

CZ066X01R0 (11ga Poles)
 CZ066X03R0 (7ga Poles)

WARRANTY

One-year limited warranty. Certain exclusions apply. For details, contact factory.

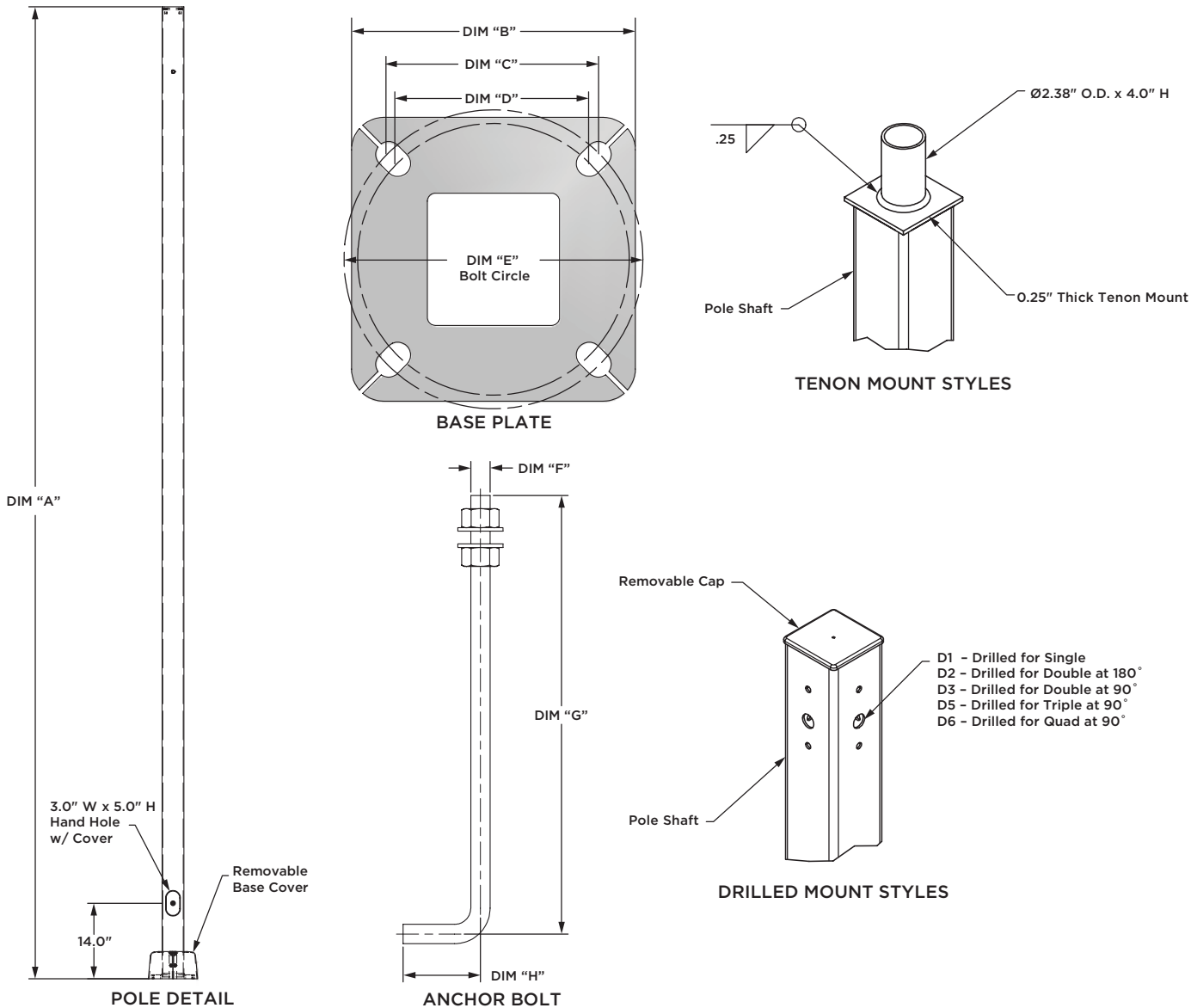


Square Steel Poles

CL-SSP Series

POLE DATA														
Pole Selection	DIMENSIONS										EPA/WINDLOADING (sq. ft.)			
	Pole Size	Pole Gage	DIM "A" Pole Height	DIM "B" Base Plate	DIM "C" Min. Bolt Pattern	DIM "D" Max. Bolt Pattern	DIM "E" Bolt Circle	DIM "F" Anchor Bolt Diameter	DIM "G" Anchor Bolt Height	DIM "H" Anchor Bolt Width	80*	90*	100*	120*
CL-SSP-4011-18	4"	11ga.	18'	8" SQ.	5.66"	6.36"	ø8.5"	0.75"	17"	3"	11.1	9.0	7.2	5.1
CL-SSP-4011-20	4"	11ga.	20'	8" SQ.	5.66"	6.36"	ø8.5"	0.75"	17"	3"	9.0	7.3	5.9	4.2
CL-SSP-4011-25	4"	11ga.	25'	8" SQ.	5.66"	6.36"	ø8.5"	0.75"	17"	3"	4.1	3.3	2.6	1.8.
CL-SSP-4007-25	4"	7ga.	25'	8" SQ.	5.66"	6.36"	ø8.5"	0.75"	17"	3"	9.7	7.8	6.3	4.5
CL-SSP-5011-25	5"	11ga.	25'	11" SQ.	7.43"	8.13"	ø10.5-11.5"	0.75"	17"	3"	8.5	6.9	5.6	4.0
CL-SSP-5007-25	5"	7ga.	25'	11" SQ.	7.43"	8.13"	ø10.5-11.5"	1"	37"	4"	17.5	14.2	11.4	8.1
CL-SSP-5011-26	5"	11ga.	26'	11" SQ.	7.43"	8.13"	ø10.5-11.5"	0.75"	17"	3"	4.8	3.9	3.1	2.2
CL-SSP-5007-28	5"	7ga.	28'	11" SQ.	7.43"	8.13"	ø10.5-11.5"	1"	37"	4"	11.4	9.2	7.4	5.3
CL-SSP-5007-30	5"	7ga.	30'	11" SQ.	7.43"	8.13"	ø10.5-11.5"	1"	37"	4"	10.6	8.6	6.9	4.9

* Includes 1.3 gust factor.



OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology – Medium & Large

Rev. Date: V5 09/14/2021

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 6L lumen package is a suitable upgrade for HID applications up to 250 Watt, and the 11L lumen package is a suitable upgrade for HID applications up to 400 Watt. The 22L lumen package is a suitable upgrade for HID applications up to 750 Watts, and the 30L lumen package is a suitable upgrade for HID applications up to 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways

Performance Summary

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: 4,000 - 30,000

Efficacy: Up to 173 LPW

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty*: 10 years on luminaire; 10 years on Colorfast DeltaGuard® finish; up to 5 years for Synapse® accessories; 1 year on luminaire accessories

* See <http://creelighting.com/warranty> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

Ordering Information

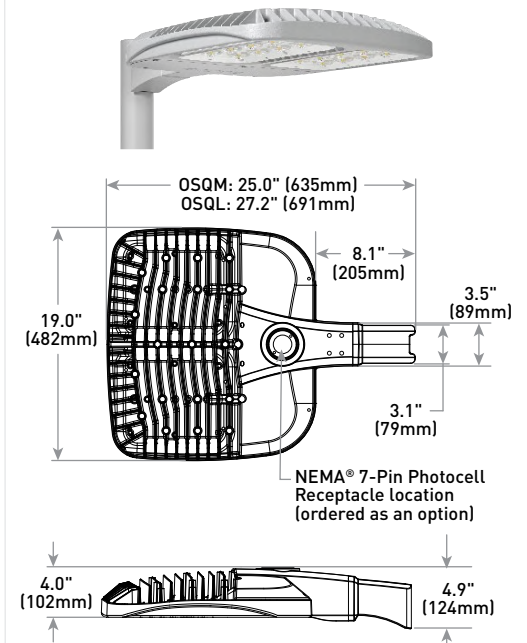
Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-ML-B-AA-BK + **Luminaire:** OSQM-B-4L-30K7-2M-UL-NM-BK

Mount (Luminaire must be ordered separately)*	
OSQ-	
OSQ-ML-B-AA Adjustable Arm	Color Options: SV Silver BZ Bronze BK Black WH White
OSQ-ML-B-DA Direct Arm	
OSQ-ML-B-TSP Transportation Mount (stainless steel; do not specify color)	
OSQ-ML-B-TM Trunnion Mount	

* Reference EPA and pole configuration suitability data beginning on page 10

OSQ-ML-B-DA Mount



Luminaire	Weight
OSQM	28.9 lbs. (13.1kg)
OSQL	32.4 lbs. (14.7kg)

Note: Refer to page 11 for fixture mounting drill pattern. For additional mounts, refer to drawings beginning on page 19

Luminaire (Mount must be ordered separately)											
OSQ	B										
Family	Size	Series	Lumen Package†	CCT/CRI	Optic	Voltage	Mount	Color Options	Controls**	Options	
OSQ	M Medium L Large	B	Medium 4L 4,000 Lumens 6L 4000K, 6,000 Lumens 9L 5000K, 9,000 Lumens 11L 5700K, 11,000 Lumens 16L 16,000 Lumens	30K7	3000K, 70 CRI	Asymmetric 2M* Type II Medium 3M* Type III Medium 4M* Type IV Medium	UL Universal 120-277V UH Universal 347-480V - Not available with 4L or 6L lumen packages	NM No Mount - Must specify mount from table above - Mount ships separately	BK Black BZ Bronze SV Silver WH White	PML Programmable Multi-Level, up to 40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output - Must select Q9, Q8, Q7, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range adjustability - Refer to pages 12-18 for power and lumen values - Not available with PML or PML2 options X8/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output - Must select add X8, X7, X6, X5, X4, X3, X2, or X1 - Not available with 22L or 30L lumen packages - Not available with PML or PML2 options - Lumen output is permanently locked to the setting selected - Refer to pages 12-18 for power and lumen values	20KV 20kV/10kA Surge Suppression - Replaces standard 10kV surge protection F Fuse - Compatible with 120V, 277V or 347V (phase to neutral) - Consult factory if fusing is required for 208V, 240V or 480V (phase to phase) - Refer to PML spec sheet for availability with PML options - When code dictates fusing, use time delay fuse R NEMA® 7-Pin Photocell Receptacle - 7-pin receptacle per ANSI C136.41 - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - 18" (457mm) seven-conductor cord exits luminaire - Requires photocell or shorting cap by others RL Rotate Left - LED and optic are rotated to the left - Refer to RR/RL configuration diagram on page 19 for optic directionality - Not for use with symmetric optics RR Rotate Right - LED and optic are rotated to the right - Refer to RR/RL configuration diagram on page 19 for optic directionality - Not for use with symmetric optics
				40K7	4000K, 70 CRI						
				50K9	5000K, 90 CRI						
				57K7	5700K, 70 CRI						
				5M	Type V Medium						
				5N	Type V Narrow						
			50	Type V Square							
			N3	Narrow Flood							
			33	NEMA® 3x3							
			44	NEMA® 4x4							
			55	NEMA® 5x5							
			66	NEMA® 6x6							
75	NEMA® 7x5										
			Large 22L 22,000 Lumens 30L 30,000 Lumens								

† Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values

* Available with Backlight Shield when ordered with field-installed accessory (see table above)

** Luminaire comes standard with 0-10V dimming



US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

CREE LIGHTING®

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weather-tight LED driver compartment and high-performance heat sink
- Convenient interlocking mounting method on direct arm. Mounting adaptor is rugged die cast aluminum and mounts to 3" [76mm] or larger square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" [51mm] centers. Refer to page 11 for fixture mounting drill pattern.
- Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" [51mm] IP, 2.375" [60mm] O.D. tenon.
- Adjustable arm mount can be adjusted 180° in 2.5" increments.
- Transportation mount is constructed of 316 stainless steel and mounts to surface with [4] 3/8" fasteners by others
- Trunnion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunnion mount secures to surface with [1] 3/4" bolt or [2] 1/2" or 3/8" bolts
- Luminaires ordered with NM mount include 18" [340mm] 18/5 or 16/5 cord exiting the luminaire; when combined with R option, 18" [340mm] 18/7 or 16/7 cord is provided
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

Weight		
Mount	Housing	
	Medium	Large
OSQ-ML-B-AA	28.4 lbs. (12.9kg)	32.0 lbs. (14.5kg)
OSQ-ML-B-DA	28.9 lbs. (13.1kg)	32.4 lbs. (14.7kg)
OSQ-ML-B-TSP	42.0 lbs. (19.1kg)	44.0 lbs. (20.0kg)
OSQ-ML-B-TM	32.6 lbs. (14.8kg)	36.1 lbs. (16.4kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard; 20kV surge suppression protection optional
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Controls by others
- Refer to Dimming spec sheet for details
- **Maximum 10V Source Current:** 1.0mA
- **Operating Temperature Range:** -40°C - +40°C [-40°F - +104°F]

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed (UL1598)
- Suitable for wet locations
- Meets NEMA C82.77 standards
- Drivers and LEDs are UL Recognized in accordance with UL8750
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2018, 3G bridge and overpass vibration standards
- ANSI C136.2 10kV [standard] and 20kV [optional] surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct or transportation mounts only. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/> for most current information
- DLC Premium qualified versions available. Please refer to <https://www.designlights.org/search/> for most current information
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Product Specifications

SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-B2) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience.

Synapse Wireless Control Accessories	
Twist-Lock Lighting Controller TL7-B2 - Suitable for 120-277V (UL) voltage only - Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle - Not for use with PML or PML2 options - Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaire - Refer to TL7-B2 spec sheet for details	Synapse Wireless Sensor WSN-DPM - Motion and light sensor - Control multiple zones - Refer to WSN-DPM spec sheet for details
Twist-Lock Lighting Controller TL7-HVG - Suitable for 120-480V (UL and UH) voltage - Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle - Not for use with PML or PML2 options - Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaire - Refer to TL7-HVG spec sheet for details	SimplySNAP On-Site Controller SS450-002 - Verizon® LTE-enabled - Designed for indoor applications - Refer to SS450-002 spec sheet for details
SimplySNAP Central Base Station CBSSW-450-002 - Includes On-Site Controller (SS450-002) and 5-button switch - Indoor and Outdoor rated - Refer to CBSSW-450-002 spec sheet for details	Building Management System (BMS) Gateway BMS-GW-002 - Required for BACnet integration - Refer to BMS-GW-002 spec sheet for details
	Outdoor Antennas (Optional, for increased range, 8dB gain) KIT-ANT420SM - Kit includes antenna, 20' cable and bracket KIT-ANT3360 - Kit includes antenna, 30' cable and bracket KIT-ANT600 - Kit includes antenna, 50' cable and bracket - Refer to Outdoor antenna spec sheet for details

Electrical Data*									
Lumen Package	Optic	System Watts 120-480V	Utility Label Wattage	Total Current (A)					
				120V	208V	240V	277V	347V	480V
4L**	All	29	30	0.25	0.14	0.12	0.11	N/A	N/A
	Asymmetric	48	50	0.41	0.23	0.20	0.17	N/A	N/A
6L**	Symmetric	39	40	0.33	0.19	0.17	0.14	N/A	N/A
	All	60	60	0.51	0.29	0.25	0.22	0.18	0.13
11L	All	72	70	0.62	0.36	0.31	0.27	0.21	0.16
16L	All	104	100	0.89	0.51	0.43	0.39	0.31	0.22
22L	All	132	130	1.12	0.63	0.55	0.47	0.39	0.28
30L	All	202	200	1.72	0.96	0.84	0.72	0.60	0.43

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%
 ** Available with UL voltage only

OSQ Series Ambient Adjusted Lumen Maintenance¹						
Ambient	Optic	Initial LMF	25K hr Reported² LMF	50K hr Reported² LMF	75K hr Reported²/ Estimated³ LMF	100K hr Reported²/ Estimated³ LMF
5°C (41°F)	Asymmetric	1.04	1.03	1.01	0.99²	0.97²
	Symmetric	1.05	1.05	1.05	1.05³	1.05³
10°C (50°F)	Asymmetric	1.03	1.02	1.00	0.98²	0.96²
	Symmetric	1.04	1.03	1.03	1.03³	1.03³
15°C (59°F)	Asymmetric	1.02	1.01	0.99	0.97²	0.95²
	Symmetric	1.02	1.02	1.02	1.02³	1.02³
20°C (68°F)	Asymmetric	1.01	1.00	0.98	0.96²	0.94²
	Symmetric	1.01	1.01	1.01	1.01³	1.01³
25°C (77°F)	Asymmetric	1.00	0.99	0.97	0.95²	0.93²
	Symmetric	1.00	1.00	1.00	1.00³	1.00³

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.
 ² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.
 ³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Accessories

Field-Installed	Hand-Held Remote	Shorting Cap
Backlight Shield (Front Facing Optics) OSQ-BLSMF (Medium) OSQ-BLSLF (Large)	XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	XA-XLSHRT
Backlight Shield (Rotated Optics) OSQ-BLSMR (Medium) OSQ-BLSLR (Large)		
Bird Spikes OSQ-MED-BRDSPK OSQ-LG-BRDSPK		



Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	4	4MB-16L	SINGLE	1.000	12350	104	OSQM-B-16L-57K7-4M-UL-NM-BZ w/OSQ-ML-B-AA-BZ + OSQ-BLSLF	B1-U0-G2
	1	4M-2(180)-16L	2 @ 180°	1.000	16100	104	OSQM-B-16L-57K7-4M-UL-NM-BZ w/OSQ-ML-B-AA-BZ	B2-U0-G3
	6	H1	SINGLE	1.000	1256	17.9	CL-H-18110-91-HL-D-91-13-LED2-30-DBCM-M	B1-U0-G0
	7	Dalt	SINGLE	1.000	1200	14.5	Comparable to existing building lights	B1-U0-G0

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Area	Fc	2.65	12.3	0.7	3.79	17.57
Property Line	Fc	0.20	0.5	0.0	N.A.	N.A.

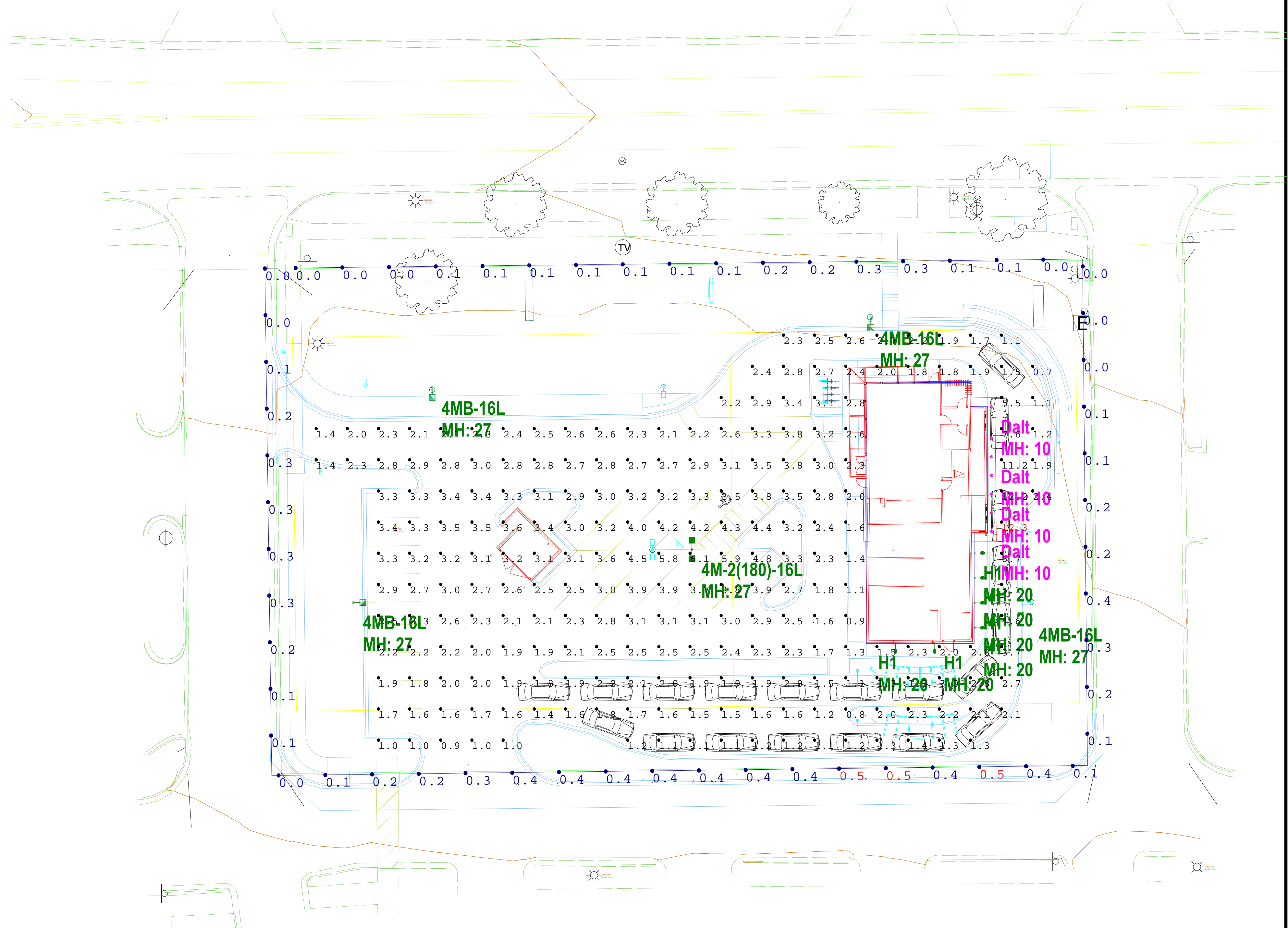
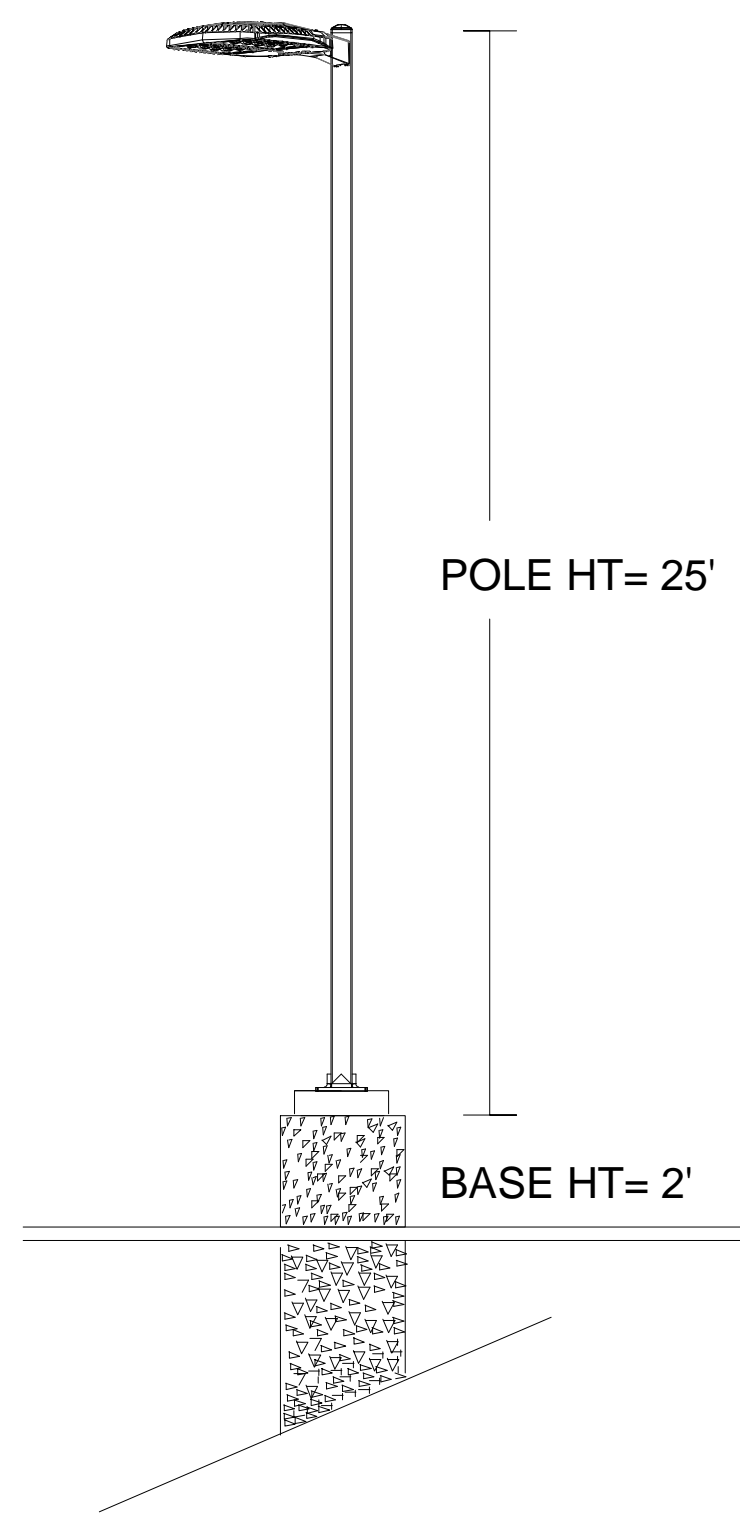
Calculations on property line are at 4' AFG.

FIXTURE MOUNTING HEIGHT: 27' AFG (25' POLE + 2.0' Base)

ADDITIONAL EQUIPMENT REQUIRED:
 (5) CL-SSP-4011-25-OT-BZ (25' x 4" x 11ga STEEL SQUARE POLE)
 (4) PB-1A4BZ SINGLE TENON
 (1) PB-2A4BZ TWIN TENON
 (6) OSQ-B-ML-AA-BZ ADJUSTABLE ARM MOUNT

PROPOSED POLES MEET 100MPH SUSTAINED WIND LOADS

OSQ Area Luminaire

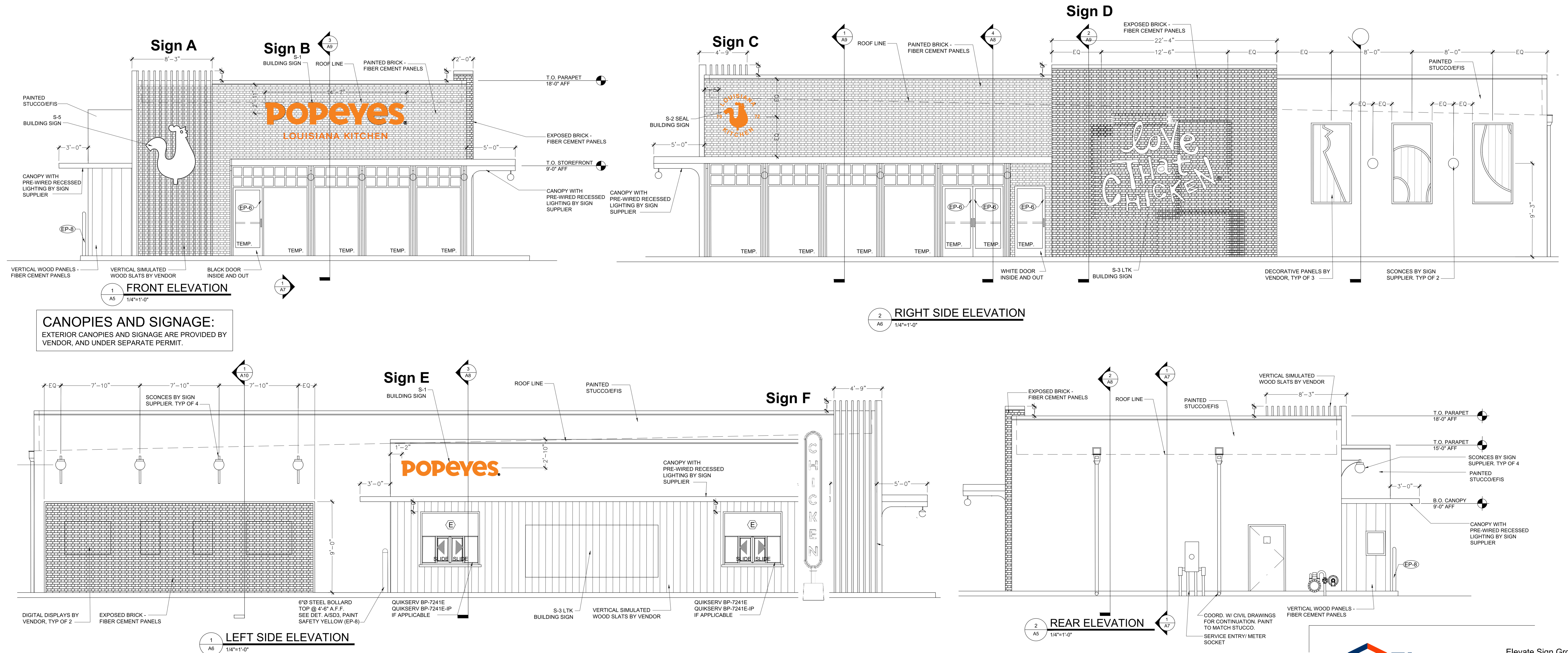


EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN

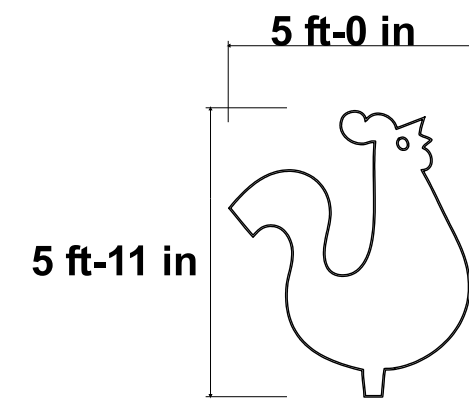
6831 Odana Rd. Madison WI.
Zoned CC - sign Group 3

Signage is shown as proposed.
See Architectural elevations for wall material types.

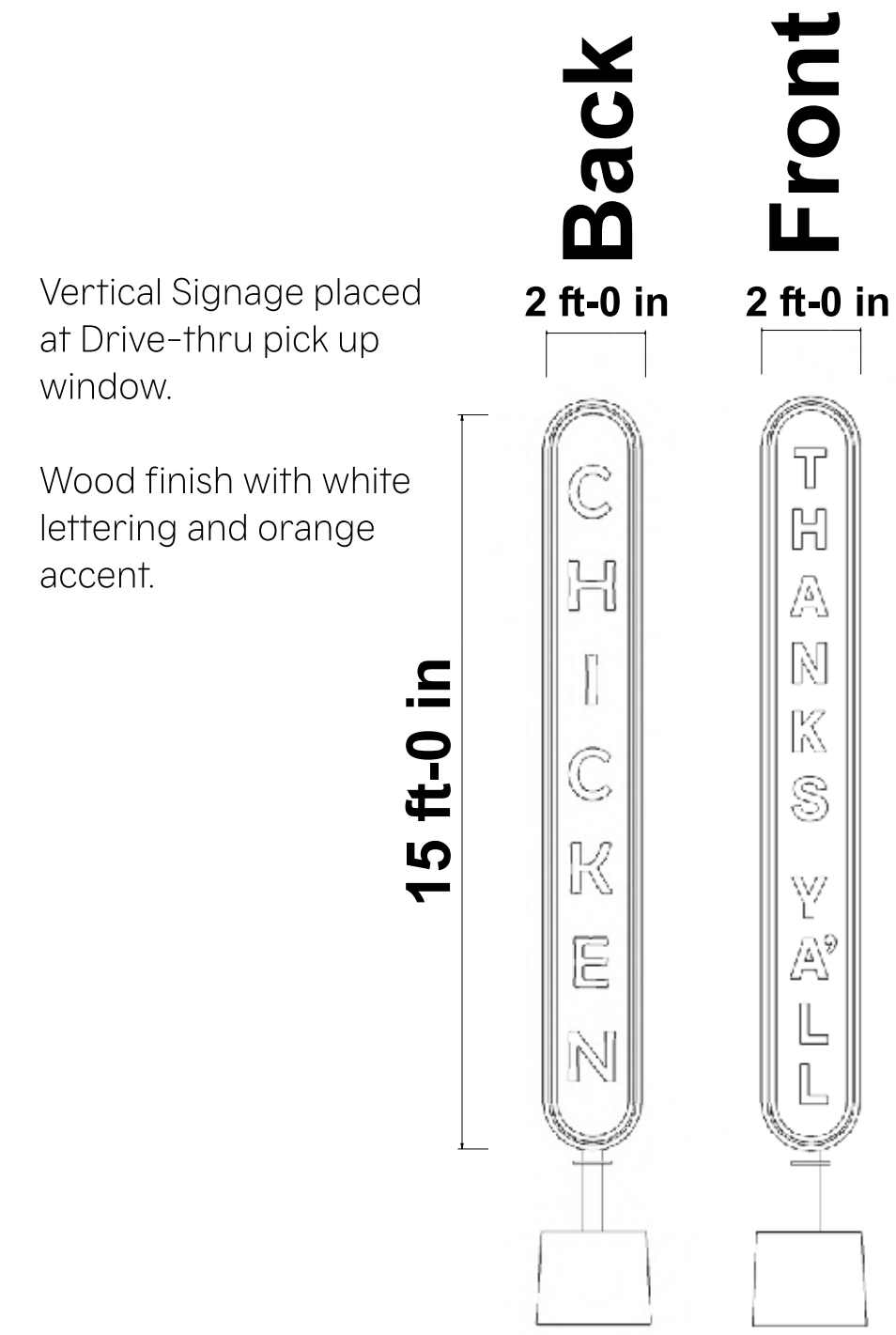


CANOPIES AND SIGNAGE:
EXTERIOR CANOPIES AND SIGNAGE ARE PROVIDED BY VENDOR, AND UNDER SEPARATE PERMIT.

Sign A 29.5 sqft



Sign F 30 sqft
 Illuminated Drive-thru sign

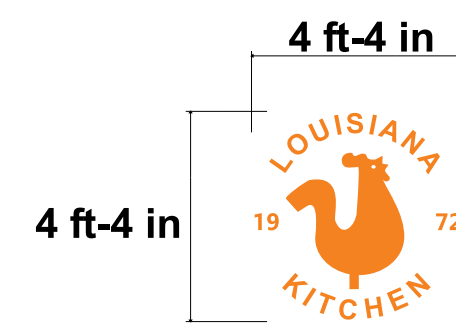


Sign B 36.7 sqft

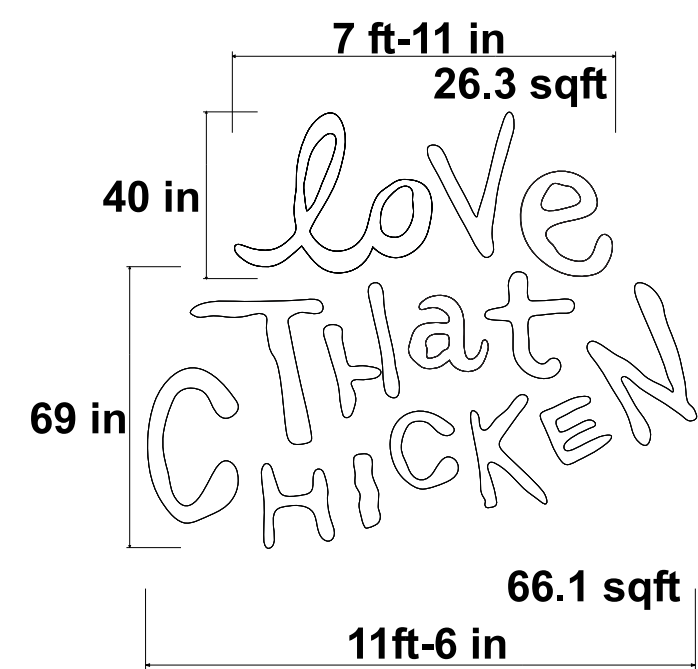
Individual Illuminated Letters



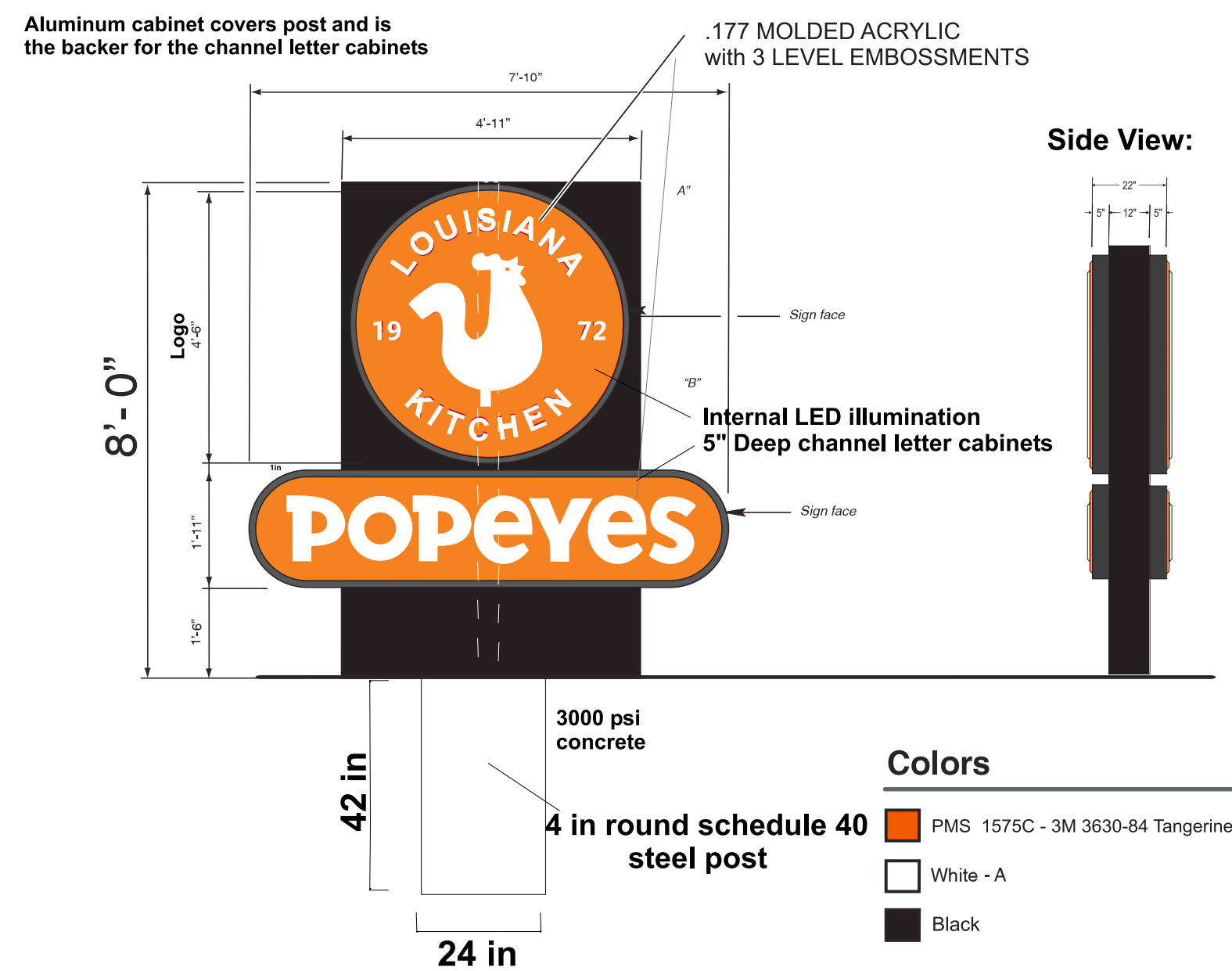
Sign C 18.7 sqft
 Illuminated Logo



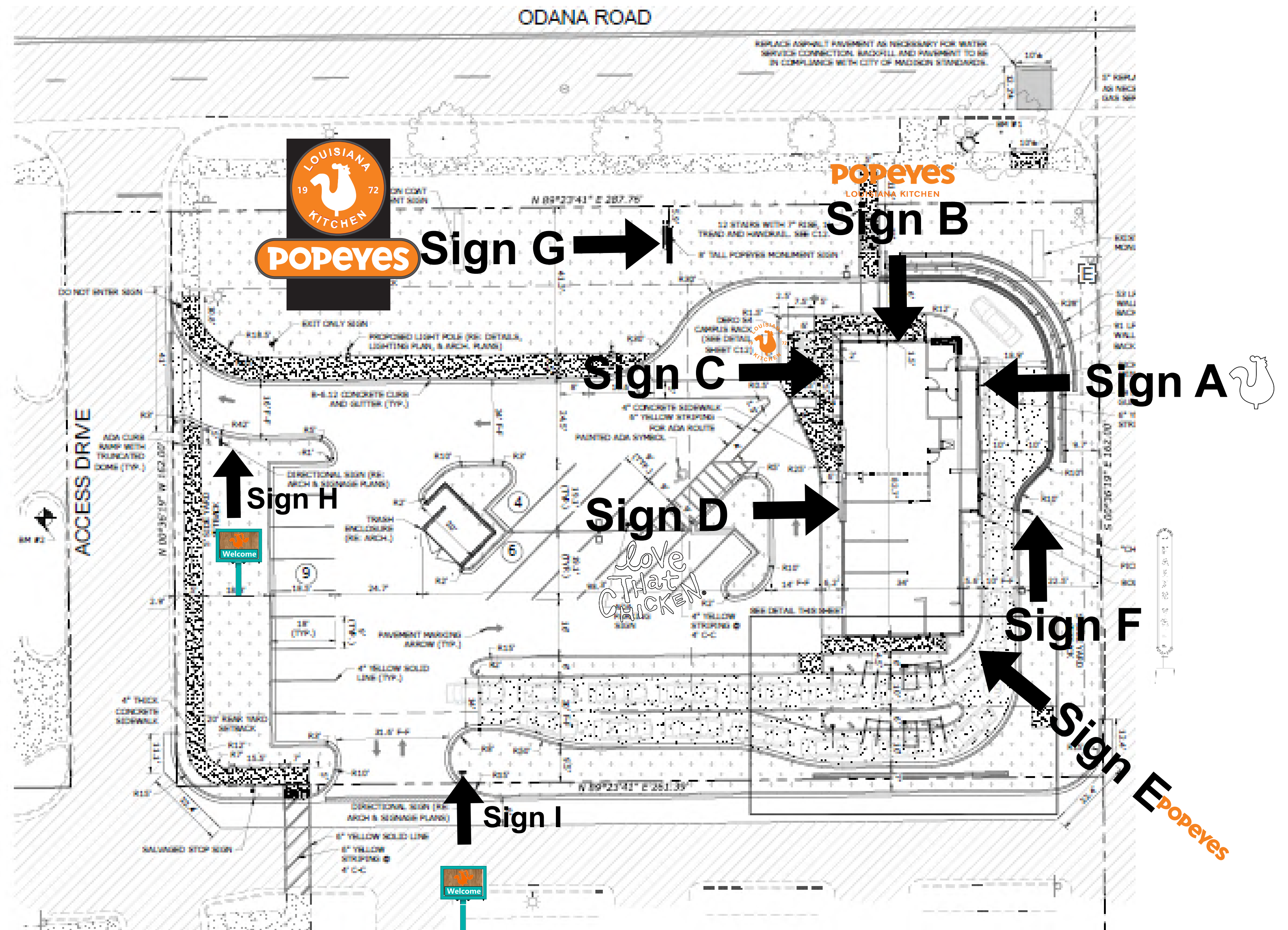
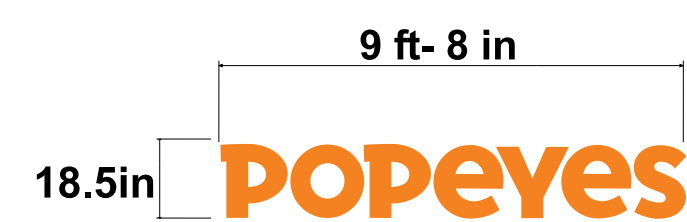
Sign D sqft 92.4 sqft
 Individual Non-Illuminated Letters



Sign G 52 sqft
 Monument Sign

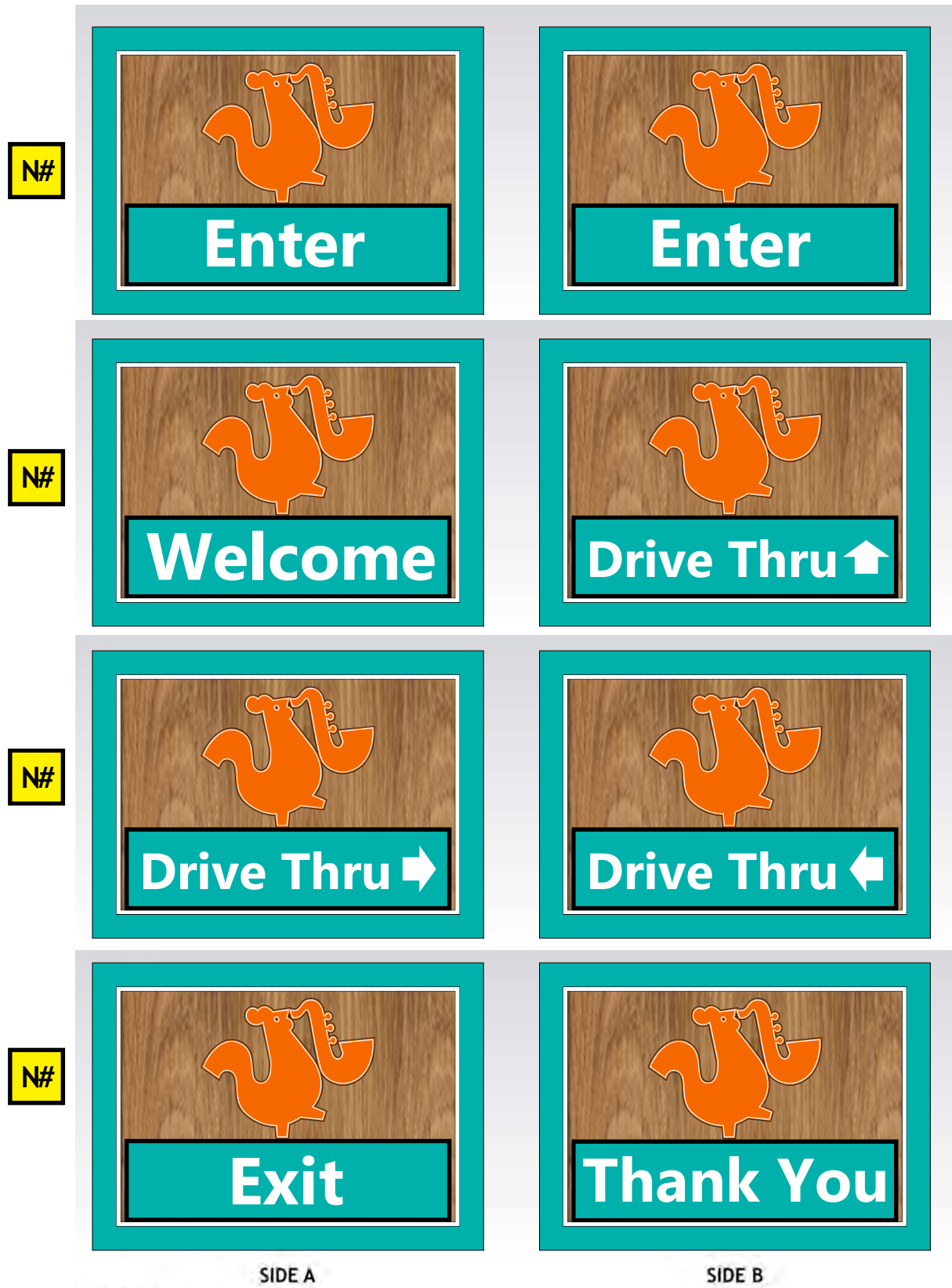


Sign E 14.9 sqft
 Individual Illuminated Letters



Sign H & I 3.1 sqft ea





N#

N#

N#

N#

FACES

SIDE A

SIDE B

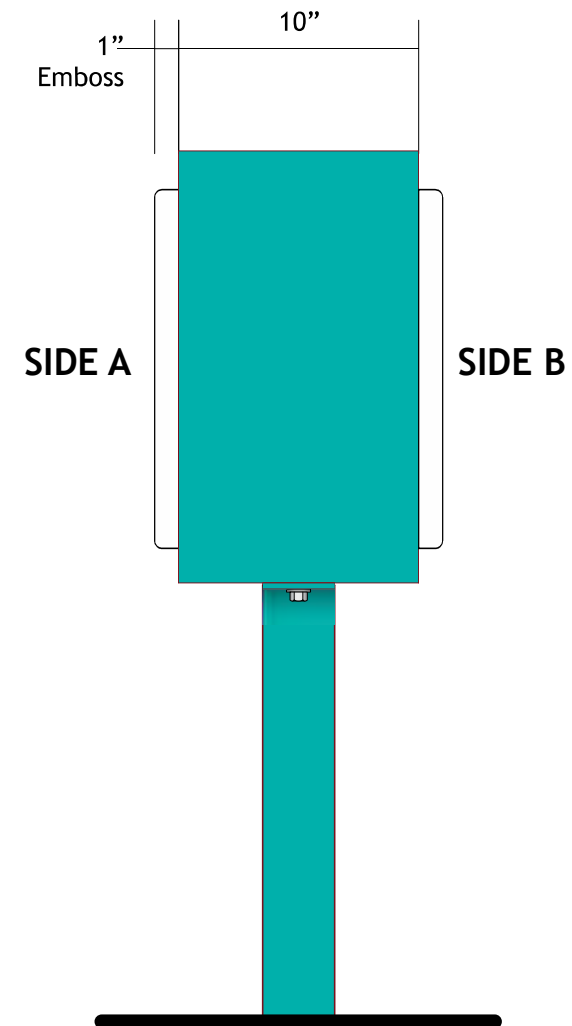
Scale: 1"=1'-0"

DIRECTIONAL SIGN

SIGN AREA = 3.12 SQ. FT. EA.



Front View



Side View

Scale: 1 1/2" = 1'-0"

COLOR SPECIFICATIONS: DIGITAL PRINT 2ND SURFACE

- PMS 3564C - 33M 3630-84 TANGERINE
- PMS 326C - TEAL
- WOOD GRAIN
- WHITE - BACK SPRAYED PAINT



LOREN

LOREN INDUSTRIES

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Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

02-20-0002R4

PAGE NO.:

23 OF 34

CLIENT:

POPEYES

ADDRESS

5707 Blue Lagoon Drive
Miami, FL 33126

Approval Signature

DATE:

02/14/2020

PROJECT MANAGER

Dave P.

DESIGNER:

EC

REVISION DATE:

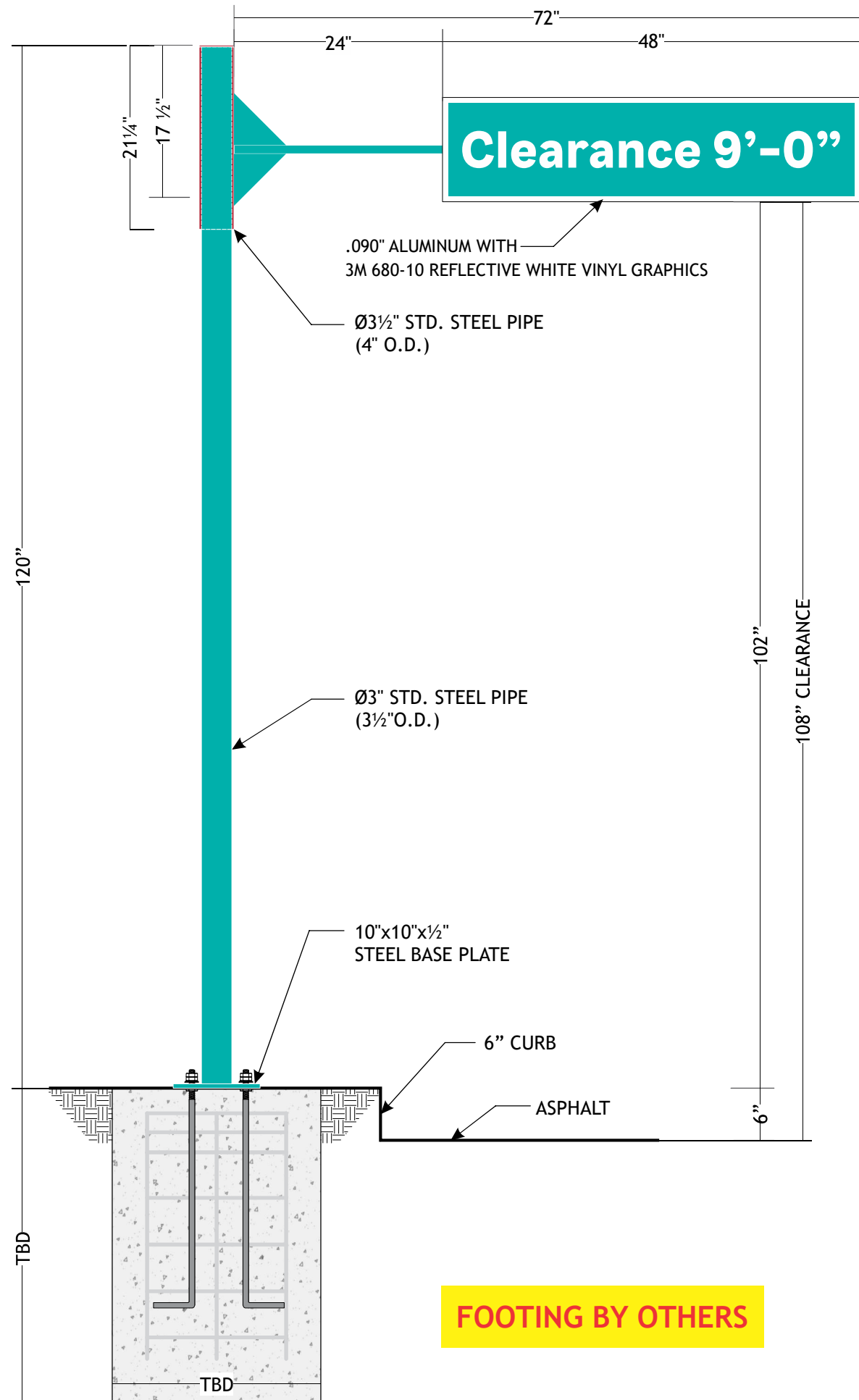
03/11/2021

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Adrian C.

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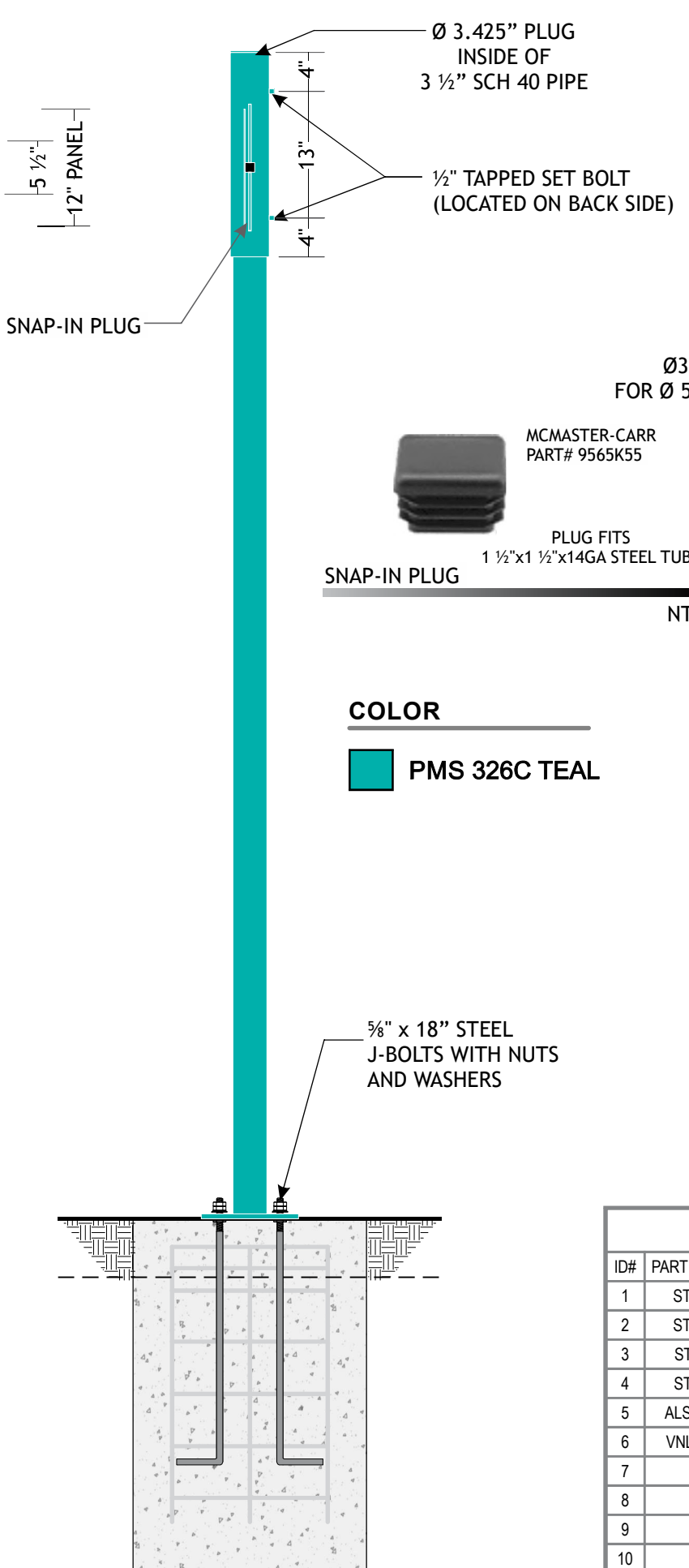
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FOOTING BY OTHERS

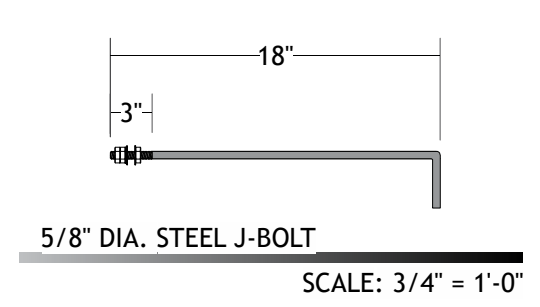
CLEARANCE BAR
FRONT VIEW

SCALE: 3/4" = 1'-0"

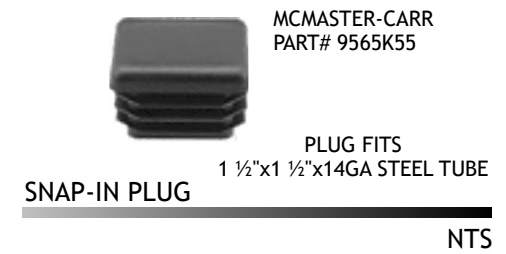


CLEARANCE BAR
SIDE VIEW

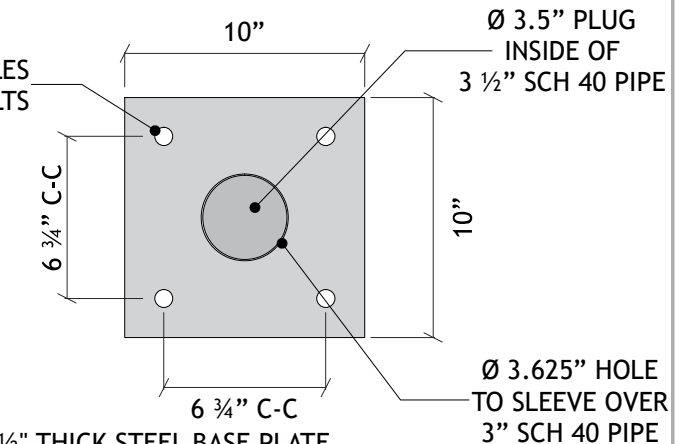
SCALE: 3/4" = 1'-0"



5/8" DIA. STEEL J-BOLT
SCALE: 3/4" = 1'-0"



SNAP-IN PLUG
MCMASTER-CARR PART# 9565K55
PLUG FITS 1 1/2"x1 1/2"x14GA STEEL TUBE
NTS



3 1/2" THICK STEEL BASE PLATE
PATTERN SCALE: 1 1/2" = 1'-0"

COLOR
PMS 326C TEAL

SPECIFICATIONS:

1. PANEL .090" ALUMINUM WITH 3M 680-10 REFLECTIVE WHITE VINYL GRAPHICS
2. 1" TUBE STEEL HORIZONTAL ARM
3. 3 1/2" SCH 40 ROUND PIPE SLEEVE, WITH CAP PLATE
4. 3" SCH 40 ROUND PIPE MAIN SUPPORT
5. 1/2"x10"x10" STEEL BASE PLATE
6. 5/8"x18" STEEL J-BOLTS
7. PAINT - PMS 326C TEAL

NOTE:
.125" ACM TEMPLATE OF BASE PLATE & J-BOLTS TO SHIP AHEAD OF PIPE.

BILL OF MATERIALS

ID#	PART NUMBER	MATERIAL DESCRIPTION	QTY	UOM
1	STRP-13	3-1/2" Round Pipe, Schedule 40 X 20'	2	FT
2	STRP-03	3" Round Pipe, Schedule 40 X 20'	10	FT
3	STPL-04	1/2" X 48" X 96" Steel Plate	1	SF
4	STTS-02	1" Sq Tube Steel, Galvanized x 16GA x 20'	5	FT
5	ALS-090.02	.090" X 48" X 120" Mill Aluminum Sheet	4	SF
6	VNL-3M-41	680-10 X 48" Reflective White Vinyl	4	FT
7		5/8" X 18" STEEL J-BOLT	4	EA
8		5/8" SAE WASHER	8	EA
9		5/8" STEEL HEX NUT	8	EA
10		PAINT	0.10	GA



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PROJECT MANAGER
Dave P.

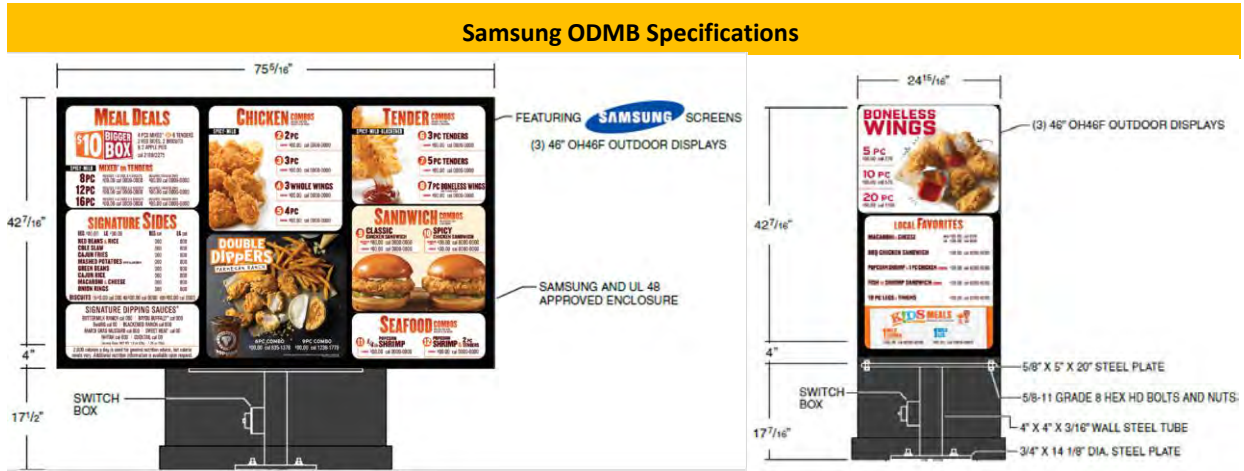
DESIGNER:
EC

REVISION DATE:
03/11/2021

REVISION BY:
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DRIVE-THRU EQUIPMENT: DIGITAL MENU BOARD AND PREVIEW BOARD



Specifications & Measurements			
Display	Diagonal Size	TV	46"
		Screen	45.0" /116.8cm
	Type	120Hz E-LED BLU	
	Resolution	1920 x 1080 (16:9)	
	Brightness (Typ.)	2,500	
	Contrast Ratio (Typ.)	5000:1	
	Viewing Angle (H/V)	178/178	
	Response Time (G-to-G)	6ms	
	Operation Hour	24/7	
Connectivity	Input	RGB	N/A
		Video	HDMI 1.4 (2), HDBaseT (LAN Common)
		HDCP	HDCP 2.2
		USB	USB 2.0 (1)
	Output	Audio	Stereo Mini Jack
External Control	RS232C (In/Out), RJ45 (In/Out), HDBaseT		
Power Type	Type	Internal	
	Power Supply	AC100-240V~(+/-10%),50/60Hz	
	Power Consumption	Max [W / H]	468
		Typical [W / H]	440
		Sleep Mode	<0.5W
Off Mode		<0.5W	
Dimensions	Pre-sell (1 x 1)	24.9" x 4" x 64"	
	Menu Board (1 x 3)	75.3" x 4" x 64"	
Weight	Pre-sell (1 x 1)	235 lb.	
	Menu Board (1 x 3)	490 lbs.	