



City of Madison

Proposed Rezoning

Location

301 and 302 Samuel Drive

Applicant

Attic Angels/Randy Bruce -
Knothe & Bruce Architects

From: PD-GDP

To: PD-SIP

Existing Use

Vacant Land

Proposed Use

Construct 174-unit apartment building at
302 and a two-family-twin residence at 301

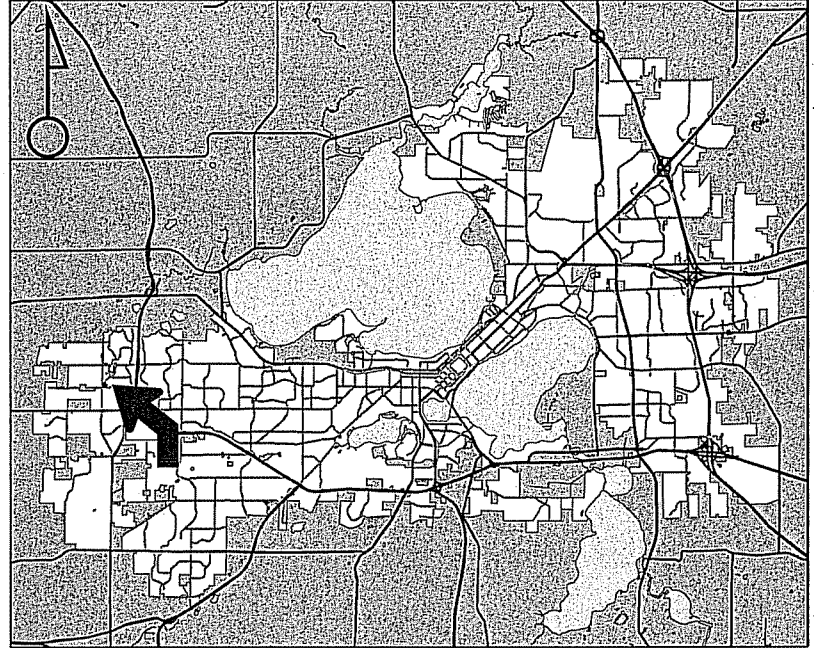
Public Hearing Date

Plan Commission

09 June 2014

Common Council

17 June 2014



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division ; RPJ : Date : 30 April 2014





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- A separate Urban Design Commission application is no longer required for projects requiring both Urban Design Commission and Plan Commission approvals.
- This form may also be completed online at <http://www.cityofmadison.com/developmentcenter/landdevelopment>
- All Land Use Applications should be filed with the Zoning Administrator at the above address.

FOR OFFICE USE ONLY:	
Amt. Paid	\$ <u>2,300</u> Receipt No. <u>152733</u>
Date Received	<u>4/2/14</u>
Received By	<u>SA</u>
Parcel No.	<u>0708-222-1102-8</u>
Aldermanic District	<u>9 Paul Skidmore</u>
GQ	<u>HUD ENG</u>
Zoning District	<u>PD</u>
For Complete Submittal	
Application	<input checked="" type="checkbox"/> Letter of Intent <input checked="" type="checkbox"/>
Photos	<input type="checkbox"/> Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/> Zoning Text <input checked="" type="checkbox"/>
Alder Notification	<input type="checkbox"/> Waiver <input type="checkbox"/>
Nbrhd. Assn Not.	<input type="checkbox"/> Waiver <input type="checkbox"/>
Date Sign Issued	<input type="checkbox"/>

1. **Project Address:** 302 Samuel Drive, Madison WI **Project Area in Acres:** 4.59 acres

Project Title (if any): Tuscany Apartments

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from** PD-GDP **to** Amended PD-GDP-SIP
- Major Amendment to Approved PD-GDP Zoning** **Major Amendment to Approved PD-SIP Zoning**
- Conditional Use, or Major Alteration to an Approved Conditional Use**
- Demolition Permit**
- Review of Minor Alteration to Planned Development by the Plan Commission Only**

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Craig Enzenroth Company: Gallina Corporation

Street Address: 101 E. Main St., Suite 500 City/State: Mt. Horeb, WI Zip: 53572

Telephone: (608) 437-8301 Fax: (608) 437-8302 Email: cenzenroth@gallinacos.com

Project Contact Person: J. Randy Bruce Company: Knothe & Bruce Architects, LLC

Street Address: 7601 University Ave, Suite 201 City/State: Middleton, WI Zip: 53562

Telephone: (608) 836-3690 Fax: () Email: rbruce@knothebruce.com

Property Owner (if not applicant): Attic Angels

Street Address: 640 Junction Rd City/State: Madison, WI Zip: 53717

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Lot 2: 174 dwelling units with underground parking.

The apartments will not be age-restricted. Lot 3: 2 unit cottage duplex with private garage parking.

Development Schedule: Commencement August 2014 Completion August 2015

5. Required Submittals:

- Site Plans**, fully dimensioned and describing pertinent project details, submitted as follows below and depicting all lot lines; existing, altered, demolished and/or proposed buildings; parking areas and driveways; sidewalks; the location of any new signs; existing and proposed utility locations; building elevations, materials and floorplans, and; landscaping:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (collated, stapled and folded)
 - **Twenty (20) copies** of the plan set reduced to fit onto 11 X 17-inch paper (collated, stapled and folded)
 - For projects also being reviewed by the **Urban Design Commission**, **twelve (12) additional** 11 X 17-inch copies.
 - **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper
- REVISED! – Letter of Intent: Twelve (12) copies** describing this application in detail including, but not limited to: existing conditions; the project schedule; names of persons involved (contractor, architect, civil engineer, etc.); details of the project, including proposed uses, building square footage, number of dwelling units, auto and bike parking stalls, etc.; hours of operation; value of land; project cost; any public subsidy requested, and; number of construction and full-time equivalent jobs created. **For projects also being reviewed by the Urban Design Commission, provide twelve (12) additional copies** of the letter.
- Filing Fee:** Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

In Addition, The Following Items May Also Be Required With Your Application:

- Legal Description of Property:** For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications requesting rezoning to more than one district, a separate description of each district shall be submitted.
- For any applications proposing **Demolition or Removal** of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: https://www.cityofmadison.com/developmentCenter/demolitionNotification/
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Approval of a **Reuse & Recycling Plan** by the City's Recycling Coordinator is required prior to issuance of permits.
- A **Zoning Text** shall accompany all Planned Development District (PD/PCD/PUD) applications.

6. Applicant Declarations:

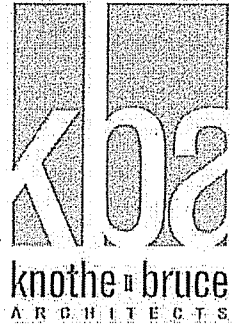
- Conformance with adopted City plans:** The site is located within the limits of the Junction Ridge Neighborhood Development Plan, which recommends residential low-density for this property.
 - Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30** days prior to filing this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alderperson Skidmore: 2/13/2014 and Jim Boll, Junction Ridge Neighborhood Association: 2/13/2014
- If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.
- Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
Planning Staff: Tim Parks Date: 1/28/2014 Zoning Staff: DAT Meeting Date: 3/6/2014

→ **The applicant attests that this form is accurately completed and all required materials are submitted:**

Name of Applicant Gallina Corporation Relation to Property Owner Developer
Authorizing Signature of Property Owner Duane Nilrop Date 04-02-2014

February 13, 2013

Alder Paul Skidmore
Common Council Office
City County Building
210 Martin Luther King Jr Blvd Room 417
Madison, WI 53703



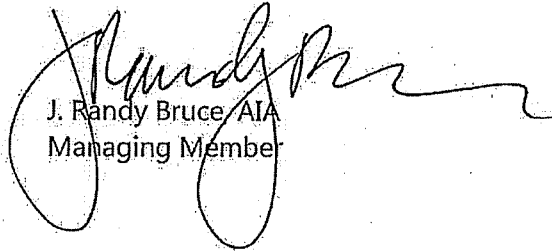
Re: Tuscany Apartments
Elderberry Rd and N Pleasant View Rd
KBA Project # 1351

Dear Alder Skidmore,

As you know, we are working with the Gallina Companies on the plans for The Tuscany Apartments, located on the northeast corner of Elderberry Road and N. Pleasant View Road. This site was originally part of the Attic Angels PUD. As currently proposed, the development will not be age-restricted and will consist of 174 dwelling units with underground parking. We have neighborhood meetings set up for the February 25th and 27th and are tentatively planning on making our PUD-SIP submittal to the City on March 12, 2014.

We look forward to working with you to create a successful development for this site. If you have any questions, please contact me at 608-836-3690 or rbruce@knothebruce.com.

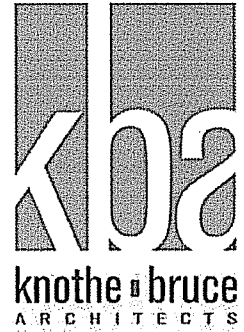
Sincerely,



J. Randy Bruce, AIA
Managing Member

April 2, 2014

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701



Re: Letter of Intent
Amended PD-GDP-SIP
Tuscany Apartments
302 Samuel Drive
Madison, Wisconsin

KBA Project # 1351

Ms. Katherine Cornwell:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Developer: Gallina Corporation
101 E. Main St. Suite 500
Mt. Horeb, WI 53572
608-437-8301
608-437-8302 fax
Contact: Craig Enzenroth
cenzenroth@gallinacos.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: J. Randy Bruce
rbruce@knothebruce.com

Engineer: Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
608-838-0444
608-838-0445 fax
Contact: Louis A. Olson
lolson@snyder-associates.com

Landscape Design: The Bruce Company
2830 Parmenter St.
Middleton, WI 53562
608-836-7041 x253
608-831-6266 fax
Contact: Rich Strohmenger
rstrohmenger@brucecompany.com

Introduction:

Attic Angel-Prairie Point, Inc. is a 54 acre community designed to meet the market need for independent and assisted living on the west side of Madison. The development is located on the east side of Pleasant View Road and the north side of the Elderberry Road extension. The PUD-GDP for the development was approved in 2001 and the development has been substantially completed at this time.

This proposal will establish an amended PD-GDP-SIP for Lot 2, which will be developed by Gallina Corporation as a market rate, non-age-restricted apartment community. (The deed restriction placed on this property restricting housing for seniors only will be lifted for Lot 2).

Lot 3 will be developed by Attic Angels and is the last remaining cottage home site within the Attic Angel development.

Lot 2 Project Description:

The project consists of (2) four-story buildings connected by a two-story central community center and office facility with a total of 174 apartments. The building façade has an Italian influence and uses changes in color, texture, and material to break up the scale of the larger building. The exterior materials will be a combination of masonry and EIFS to give a durable and high-quality façade.

Vehicular access to the site is achieved from Samuel Drive. Underground parking at each building is provided and includes 174 resident parking stalls. An additional 102 parking spaces are provided on grade in the courtyard between the two building wings. Bicycle parking is dispersed throughout the site and in the basement parking areas.

Lot 3 Project Description:

This project consists of (1) two-unit building located across Samuel Drive from the 174-unit Tuscany Apartments complex. This duplex will be the last cottage home site developed in the Attic Angels community. The duplex will be designed to meet the needs of specific residents and may vary in footprint and exterior geometry. However, the exterior architecture will be consistent with the material palette, geometry, and detailing of the cottage homes constructed immediately north of Lot 2 and the limits of the building footprint will not exceed the “building envelope” shown on the site plan.

Site Development Data: Lot 2 - 174 Unit Lot 3 - 2 Unit

Dwelling Unit Mix:

Efficiency	10 units	-
One Bedroom	88 units	-
One Bedroom + Den	16 units	-
<u>Two Bedroom</u>	<u>60 units</u>	<u>2 units</u>
Total Dwelling Units	174 units	2 units

Gross Floor Area:

South Wing	97,012 S.F.	-
North Wing	96,516 S.F.	-
<u>Clubhouse</u>	<u>8,475 S.F.</u>	<u>-</u>
Total	202,003 S.F.	4,400 – 6,000 S.F.
Floor Area Ratio	1.10	

Densities:

Lot Area (S.F.)	184,425 S.F.	15,666 S.F.
Lot Area (Acre)	4.23 Acres	0.36 Acres
Lot Area / D.U.	1,060 SF/unit	7,833 SF/unit
Density	41.13 units/acre	5.56 units/acre

Building Height:

Four stories One story

Vehicle Parking:

Underground	174 stalls	-
Driveway/Surface	103 stalls	4 stalls
<u>Garage</u>	-	<u>4 stalls</u>
Total	277 stalls	8 stalls

Parking Ratio: 1.59 stalls/unit 4 stalls/unit

Bike Parking:

Surface (2'x6')	34 stalls	-
Garage (2'x6')	120 stalls	-
<u>Garage (Wall Hung)</u>	<u>38 stalls</u>	<u>4 stalls</u>
Total	192 stalls	4 stalls

Project Schedule:

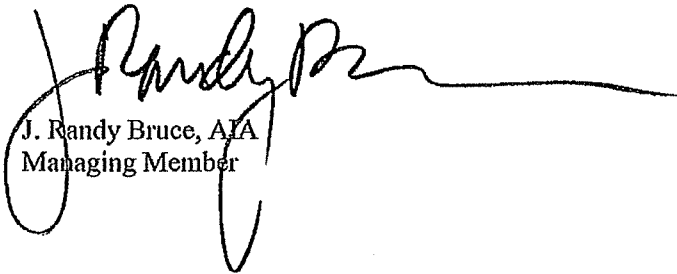
It is anticipated that the construction for the 174-unit building will start in late summer of 2014 and will be completed late summer of 2015. The anticipated start of construction for the duplex will be fall 2014.

Social & Economic Impacts:

This development will have a positive social and economic impact on the community. The project will continue a successful and attractive community that offers an alternative housing choice in an established neighborhood, it will provide jobs for local tradesmen, and it will assist in the completion of the Attic Angels development started over 10 years ago.

Thank you for your time in reviewing our proposal.

Very Truly Yours,



J. Randy Bruce, AIA
Managing Member

Legal Description: See attached exhibit A.

A. **Statement of Purpose:**

Lot 2: This zoning district is established to allow for the construction of a 174 unit apartment building to be known as Tuscany Apartments.

Lot 3: This zoning district is established to allow for the construction of a cottage duplex.

B. **Permitted Uses:** Following are permitted uses:

1. Multifamily residential uses as shown in approved plans.
2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.

C. **Lot Area:** As shown on the approved plans.

D. **Height Regulations:** As shown on the approved plans.

E. **Yard Regulations:** As shown on the approved plans.

F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.

G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.

H. **Parking & Loading:** Off-street parking and loading shall be provided as shown on the approved plans.

I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.211 for the TR-U1 zoning district.

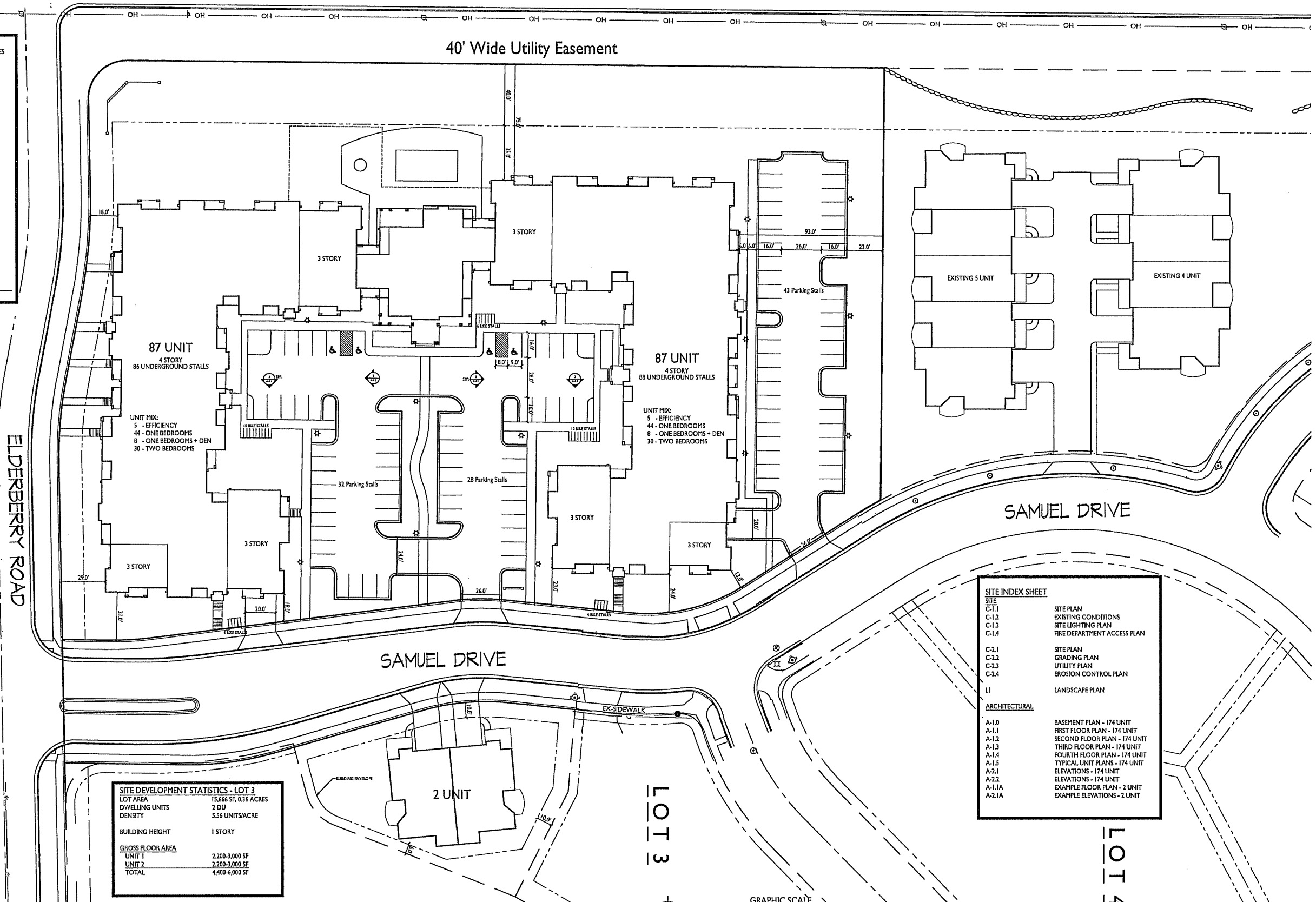
J. **Signage:** Signage for the residential buildings will be allowed as per the TR-U1 zoning district or as provided in the approved SIP plans or as a minor alteration to the approved PUD-SIP.

K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

N. PLEASANT VIEW ROAD

SITE DEVELOPMENT STATISTICS - LOT 2

LOT AREA	184,425 SF/4.22 ACRES
DWELLING UNITS	174 DU
DENSITY	41.23 UNITS/ACRE
BUILDING HEIGHT	4 STORIES
GROSS FLOOR AREA	97,012 SF
SOUTH WING	97,012 SF
NORTH WING	96,516 SF
CLUBHOUSE	8,475 SF
TOTAL	202,003 SF
FLOOR AREA RATIO	1.10
UNIT MIX	
EFFICIENCY	10
ONE BEDROOM	88
ONE BED + DEN	16
TWO BEDROOM	60
TOTAL	174
VEHICLE PARKING	
SURFACE	103
GARAGE	174
TOTAL	277
PARKING RATIO	1.59 STALLS/UNIT
BIKE PARKING	
2x6 SURFACE	34
GARAGE (2x6)	120
GARAGE (WALL HUNG)	38
TOTAL	192



SITE DEVELOPMENT STATISTICS - LOT 3

LOT AREA	15,666 SF, 0.36 ACRES
DWELLING UNITS	2 DU
DENSITY	5.56 UNITS/ACRE
BUILDING HEIGHT	1 STORY
GROSS FLOOR AREA	2,200-3,000 SF
UNIT 1	2,200-3,000 SF
UNIT 2	2,200-3,000 SF
TOTAL	4,400-6,000 SF

SITE INDEX SHEET

SITE	
C-1.1	SITE PLAN
C-1.2	EXISTING CONDITIONS
C-1.3	SITE LIGHTING PLAN
C-1.4	FIRE DEPARTMENT ACCESS PLAN
SITE PLAN	
C-2.1	GRADING PLAN
C-2.2	UTILITY PLAN
C-2.3	EROSION CONTROL PLAN
C-2.4	LANDSCAPE PLAN
LANDSCAPE PLAN	
L1	LANDSCAPE PLAN
ARCHITECTURAL	
A-1.0	BASEMENT PLAN - 174 UNIT
A-1.1	FIRST FLOOR PLAN - 174 UNIT
A-1.2	SECOND FLOOR PLAN - 174 UNIT
A-1.3	THIRD FLOOR PLAN - 174 UNIT
A-1.4	FOURTH FLOOR PLAN - 174 UNIT
A-1.5	TYPICAL UNIT PLANS - 174 UNIT
A-2.1	ELEVATIONS - 174 UNIT
A-2.2	ELEVATIONS - 174 UNIT
A-1.1A	EXAMPLE FLOOR PLAN - 2 UNIT
A-2.1A	EXAMPLE ELEVATIONS - 2 UNIT

ISSUED
Issued for Land Use - April 2, 2014

PROJECT TITLE
Tuscany Apartments

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Site Plan

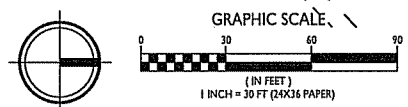
SHEET NUMBER

C-1.1

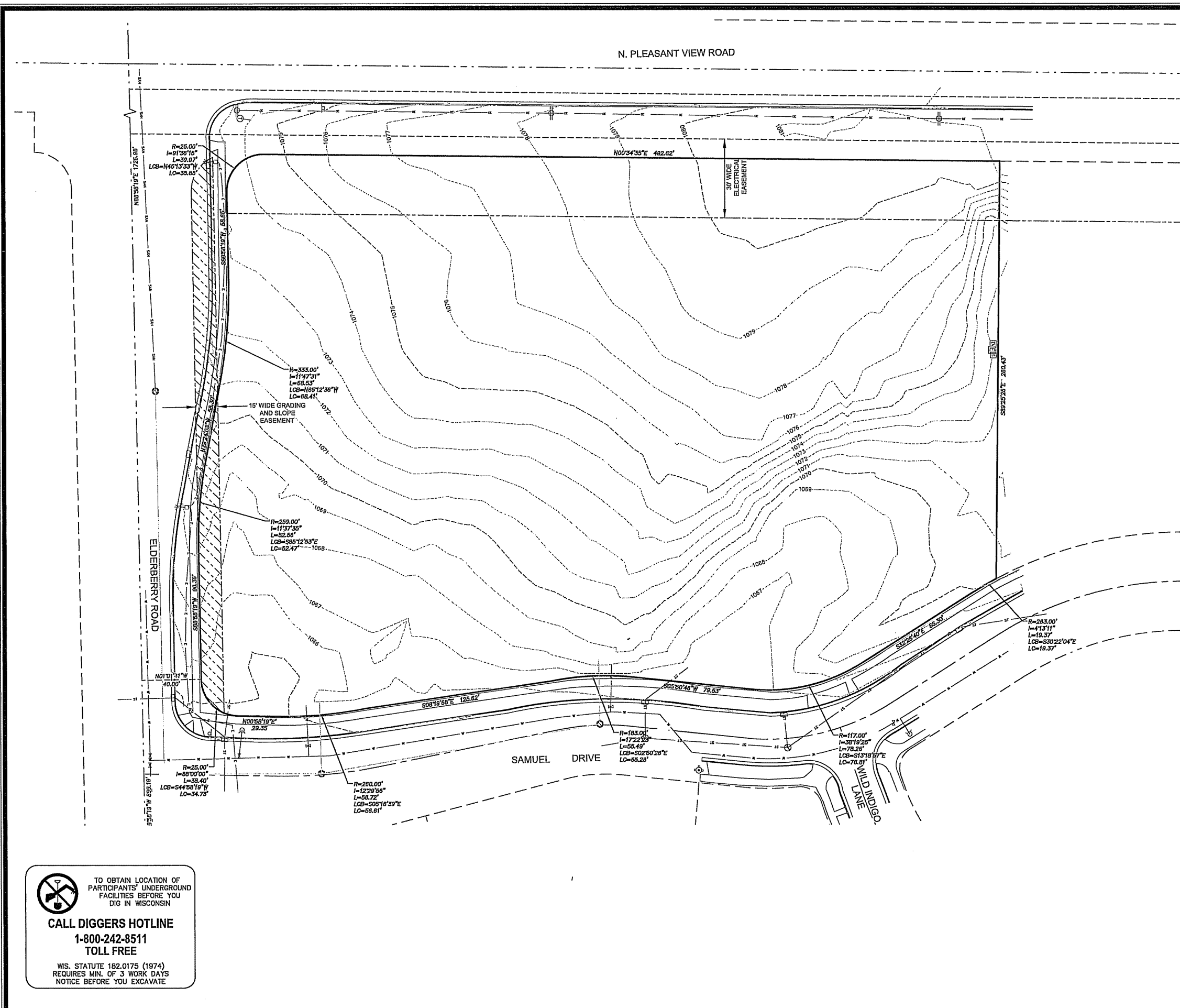
PROJECT NO. **1351**

© 2013 Knothe & Bruce Architects, LLC

SITE PLAN
C-1.1 1" = 30'-0"



13



NOTES

1. **UTILITY WARNING**
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3. NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.

MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1" = 30'	
Technician: XXX	Date: 03-25-14	Field Bk. Pg:	
Project No: 114-0138.30			Sheet C1.2

TUSCANY AT PRAIRIE POINT
EXISTING CONDITIONS

MADISON, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

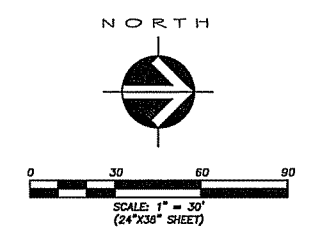
IOWA MISSOURI
NEBRASKA WISCONSIN

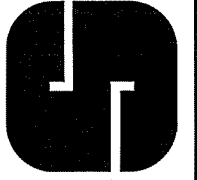
SNYDER & ASSOCIATES

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

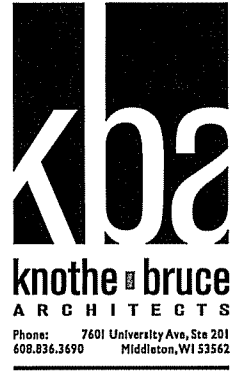




PROJECT No. GAL02

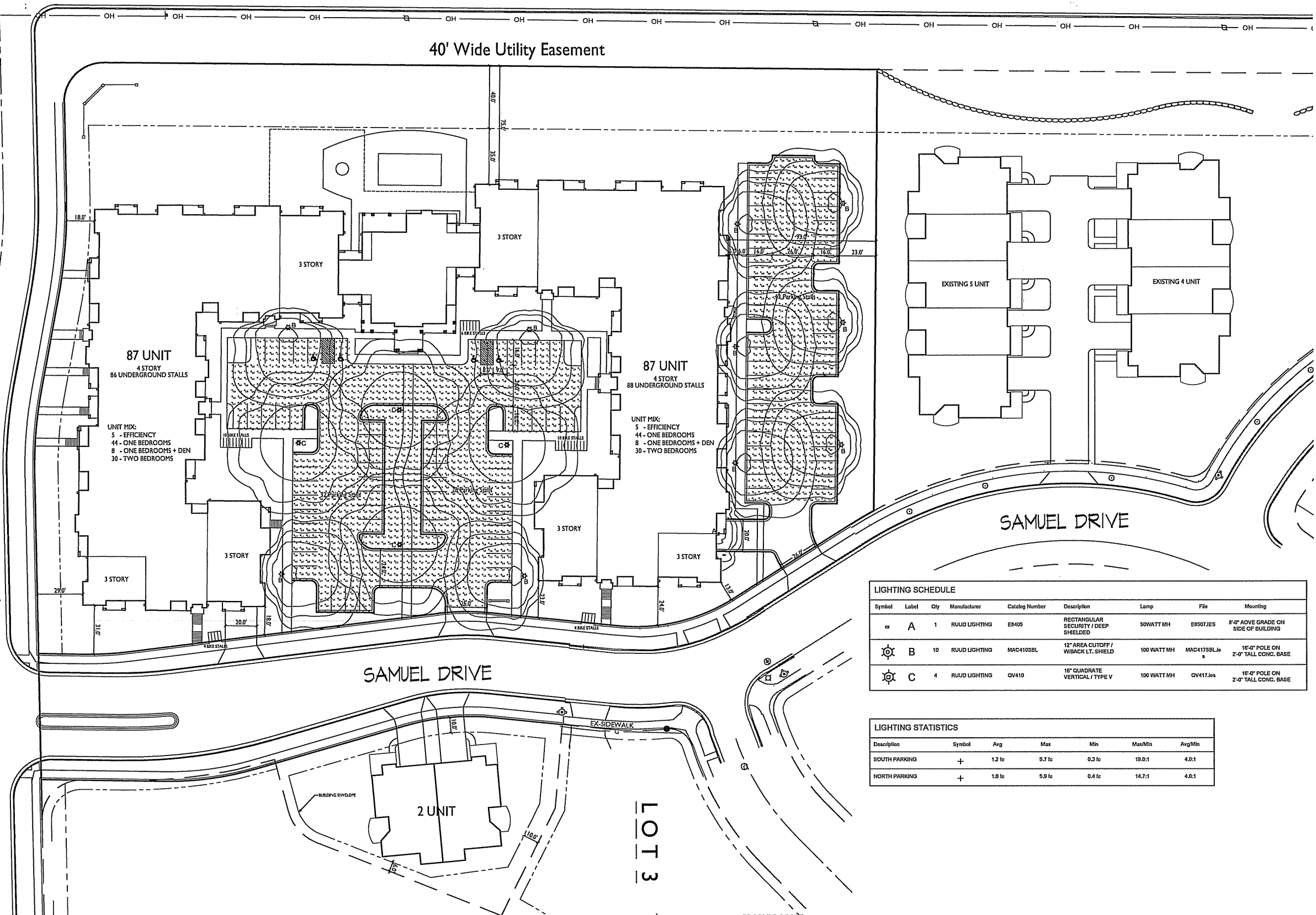
Sheet C1.2

N. PLEASANT VIEW ROAD



40' Wide Utility Easement

ELDERBERRY ROAD



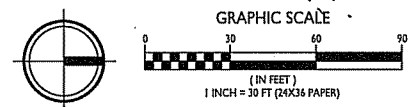
ISSUED
Issued for Land Use - April 2, 2014

PROJECT TITLE
Tuscany
Apartments

Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
□	A	1	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50WATT MH	E8507.JES	8'-0" ABOVE GRADE ON SIDE OF BUILDING
☉	B	10	RUUD LIGHTING	MAC4105BL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC4175BL.jp	16'-0" POLE ON 2'-0" TALL CONC. BASE
☉	C	4	RUUD LIGHTING	QV410	16" QUADRATE VERTICAL / TYPE V	100 WATT MH	QV417.Jes	16'-0" POLE ON 2'-0" TALL CONC. BASE

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SOUTH PARKING	+	1.2 fc	5.7 fc	0.3 fc	19.0:1	4.0:1
NORTH PARKING	+	1.8 fc	5.9 fc	0.4 fc	14.7:1	4.0:1

1 SITE LIGHTING PLAN
C-1.3 1" = 30'-0"



302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Site Lighting Plan

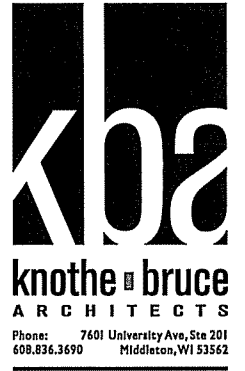
SHEET NUMBER

C-1.3

PROJECT NO. 1351
© 2013 Knothe & Bruce Architects, LLC

N. PLEASANT VIEW ROAD

40' Wide Utility Easement



ISSUED
Issued for Land Use - April 2, 2014

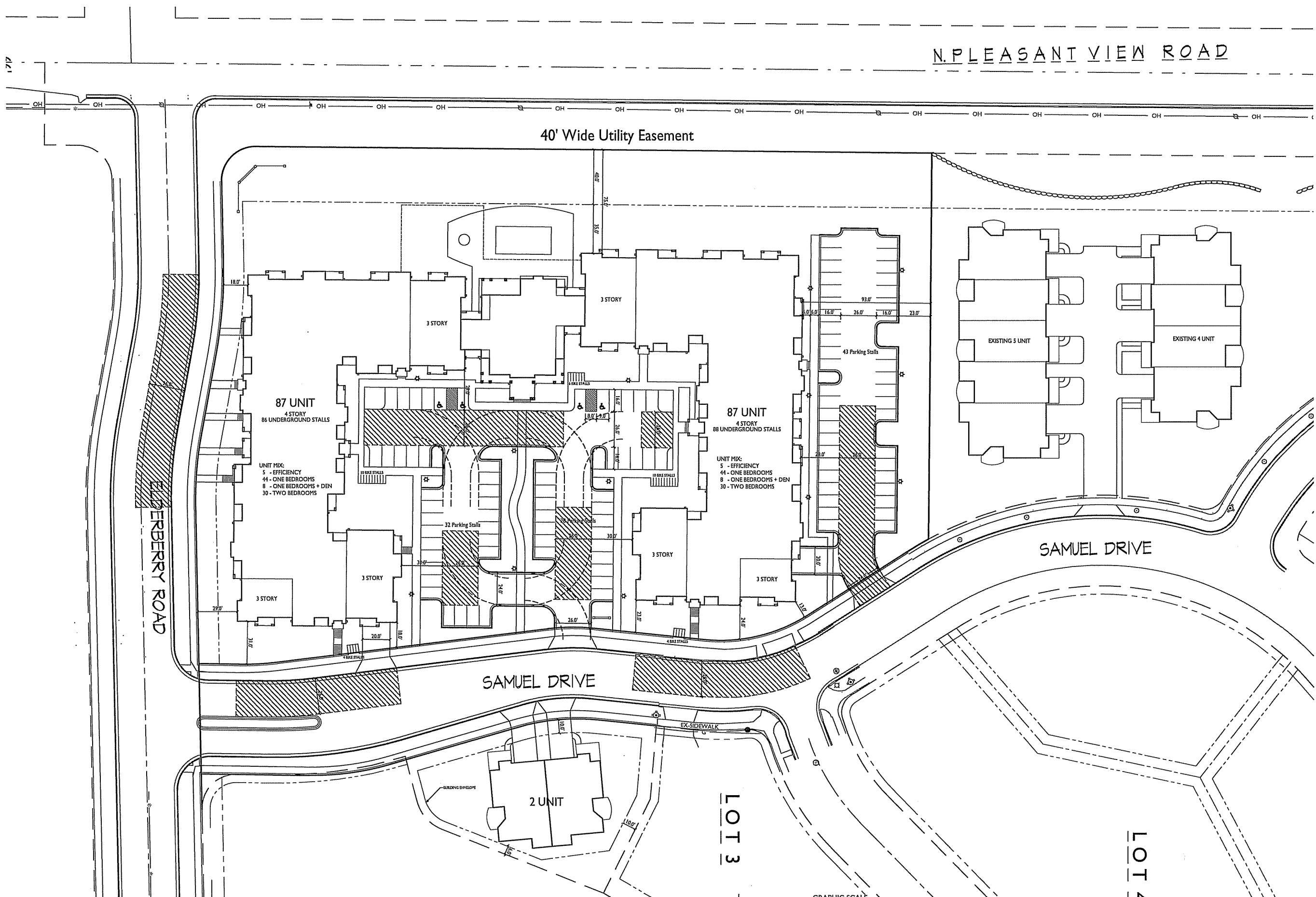
PROJECT TITLE
Tuscany
Apartments

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Fire Department
Access Plan

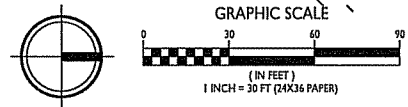
SHEET NUMBER

C-1.4

PROJECT NO. 1351
© 2013 Knothe & Bruce Architects, LLC



1 FIRE DEPARTMENT ACCESS PLAN
C-1.4 1" = 30'-0"



LOT 3

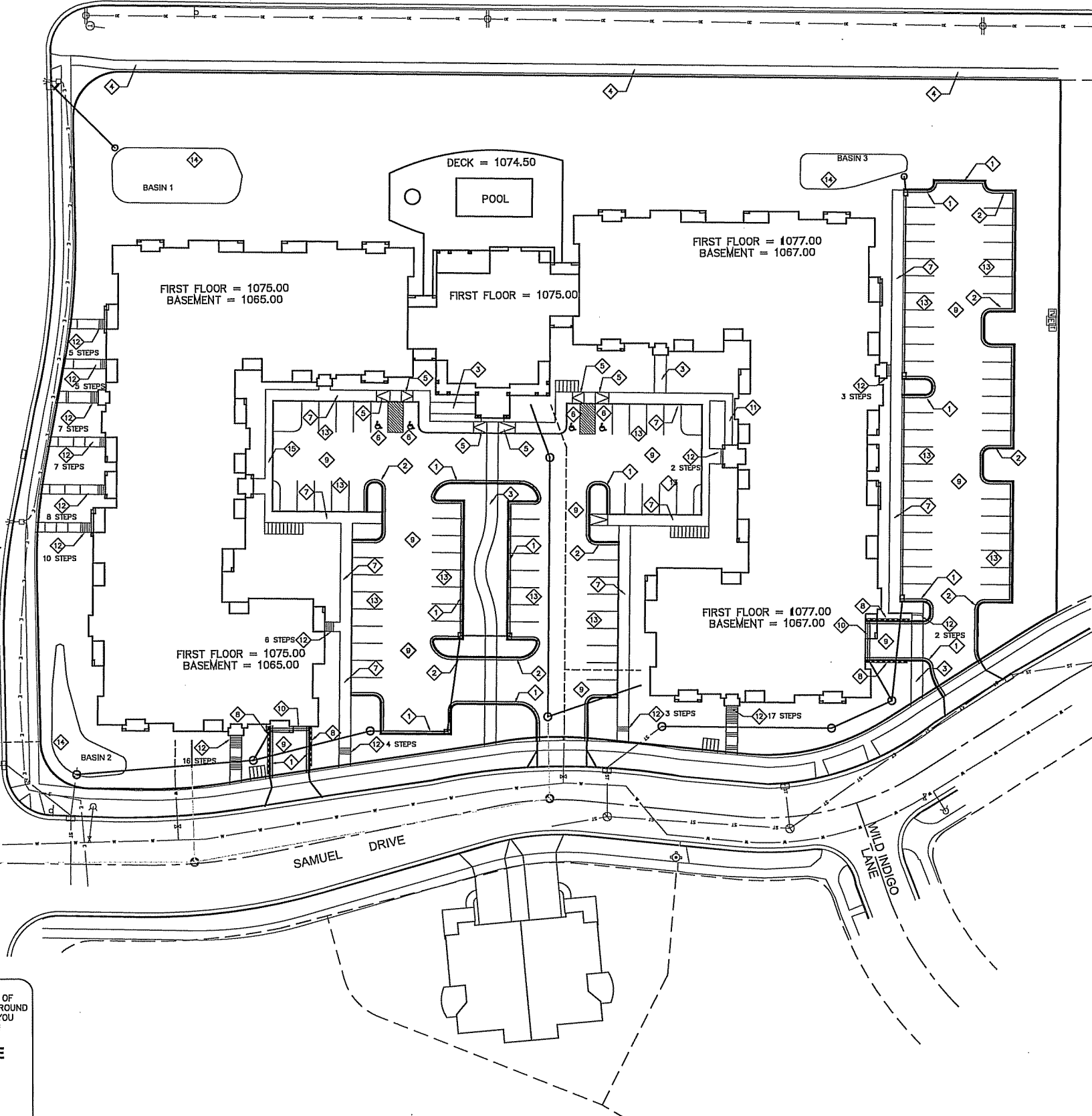
LOT 2

N. PLEASANT VIEW ROAD

ELDERBERRY ROAD

SAMUEL DRIVE

WILD INDIGO LANE



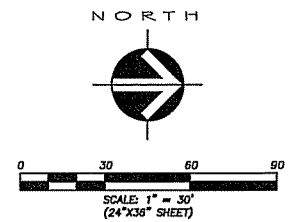
SITE DEVELOPMENT DATA

LOT AREA: 777 SF OR 777 ACRES
 DWELLING UNITS: GDP - 184 UNITS
 LOT AREA PER UNIT: SIP PROPOSED - 1,872 SF/UNIT
 DENSITY: 23.3 DU/ACRE
 SITE COVERAGE: BUILDING: 38,269 SF (19.46%)
 PAVEMENT: 41,827 SF (21.27%)
 USABLE OPEN SPACE: 21,342 SF (203.3 SF/DU)
 BUILDING HEIGHT: GDP - 45'-0" (PLUS 15% ONE ELEVATION = 51'-9")
 SIP PROPOSED - 45'-0" (PLUS 51'-0" ONE ELEVATION)
 VEHICLE PARKING: GDP - VARIES, SET AT SIP
 SIP PROPOSED - UNDERGROUND 95 STALLS
 SURFACE 89 STALLS
 TOTAL 184 STALLS (1.76/DU)

BIKE PARKING
 SURFACE (SHORT TERM) 30 STALLS
 UNDERGROUND (LONG TERM) 109 STALLS
 TOTAL 139 STALLS

- PLAN KEY**
- ① 18" ACCEPTING CURB AND GUTTER
 - ② 18" REJECTING CURB AND GUTTER
 - ③ 6' WIDE CONCRETE SIDEWALK
 - ④ 5' WIDE CONCRETE SIDEWALK
 - ⑤ HANDICAP RAMP
 - ⑥ HANDICAP STALL WITH SIGNAGE
 - ⑦ 6' WIDE THICKENED SIDEWALK
 - ⑧ PROPOSED RETAINING WALL
 - ⑨ PROPOSED ASPHALT PAVEMENT
 - ⑩ TRENCH DRAIN WITH GRATE
 - ⑪ 4' WIDE SIDEWALK
 - ⑫ CONCRETE STAIRS
 - ⑬ 9' x 18' PAINTED PARKING STALL (TYP)
 - ⑭ BIORETENTION BASIN
 - ⑮ 4' WIDE THICKENED SIDEWALK

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



TUSCANY AT PRAIRIE POINT

SITE PLAN

SNYDER & ASSOCIATES

PROJECT No. GAL02

Sheet C2.1

MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1" = 30'	
Technician: XXX	Date: 03-25-14	Field No.	
Project No: 114-0138.30			
PROJECT LOCATION: University of Prairie Point			

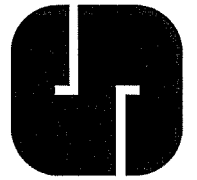
MADISON, WISCONSIN

MISSOURI

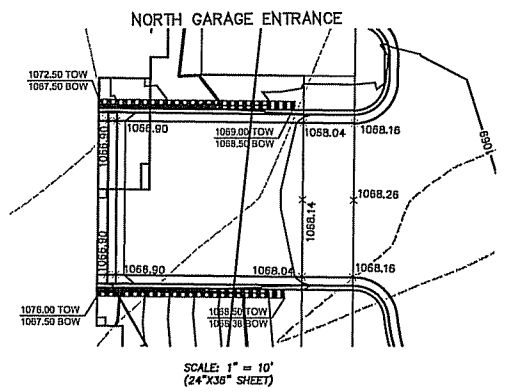
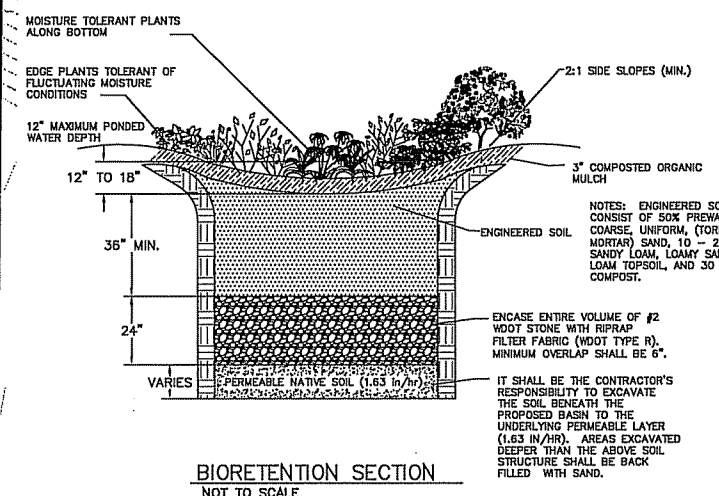
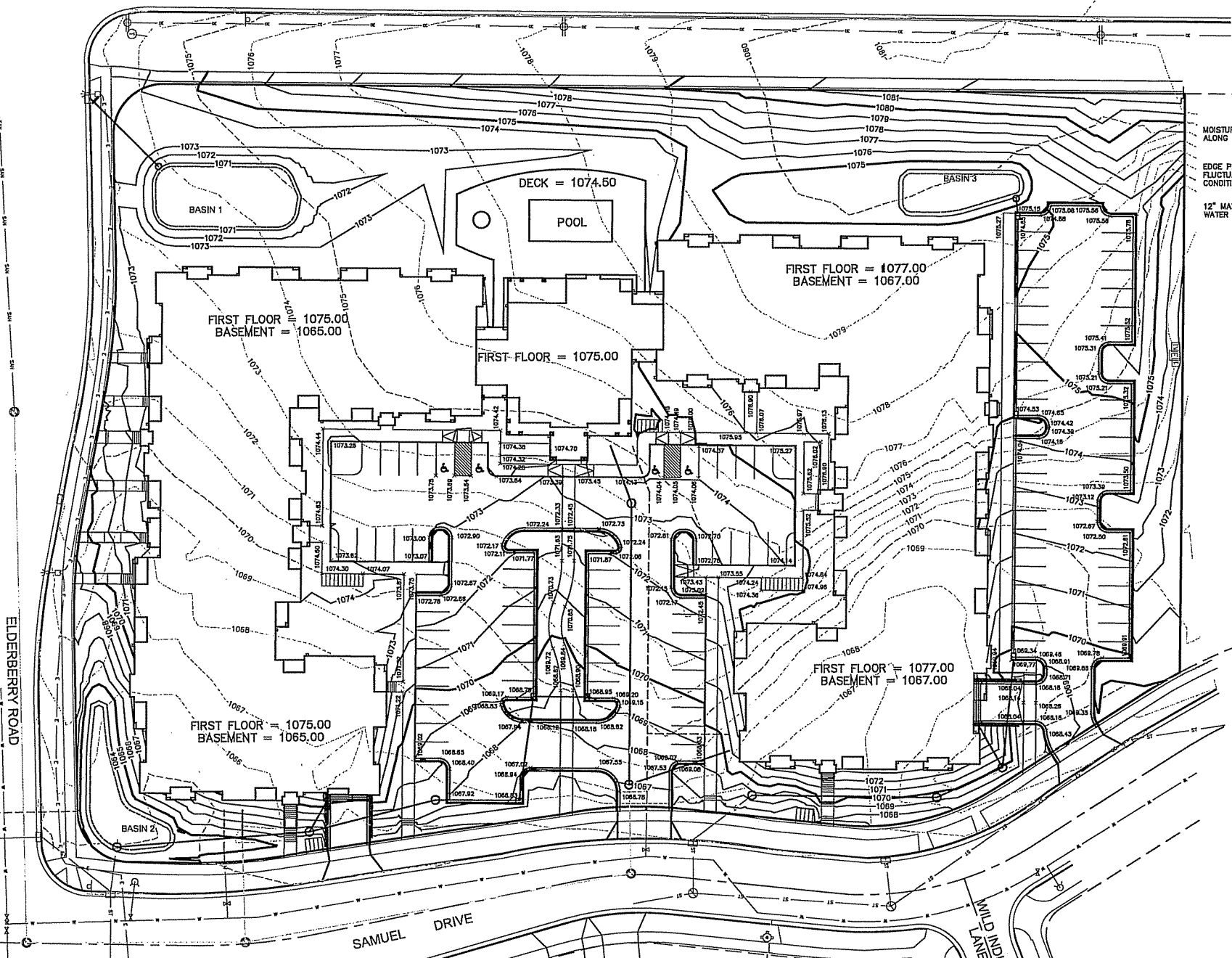
IOWA

NEBRASKA

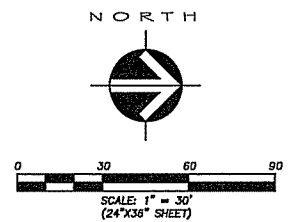
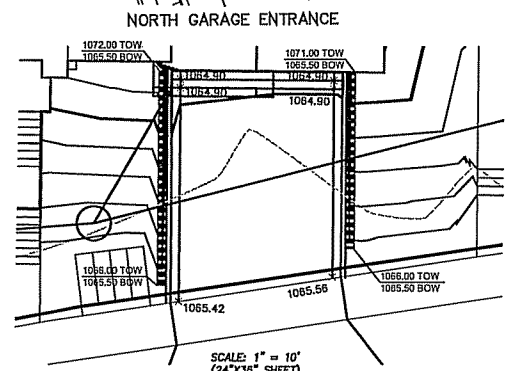
5010 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-898-0444



N. PLEASANT VIEW ROAD



- GENERAL NOTES**
1. ALL SPOT ELEVATIONS ARE AT THE FLAG OR EDGE OF CONCRETE SIDEWALK UNLESS OTHERWISE NOTED.
 2. ALL STEPS SHOWN ARE 7" RISERS AND 11" TREADS.
 3. RETAINING WALL HEIGHTS AND ELEVATIONS
BOW = BOTTOM OF WALL
TOW = TOP OF WALL



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1" = 30'	
Team Lead: XXX	Date: 03-25-14	Plot Bc:	
Project No: 114-0136-30			Sheet C2.2

MADISON, WISCONSIN

MISSOURI

IOWA

NEBRASKA

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-659-0444

TUSCANY AT PRAIRIE POINT

GRADING PLAN

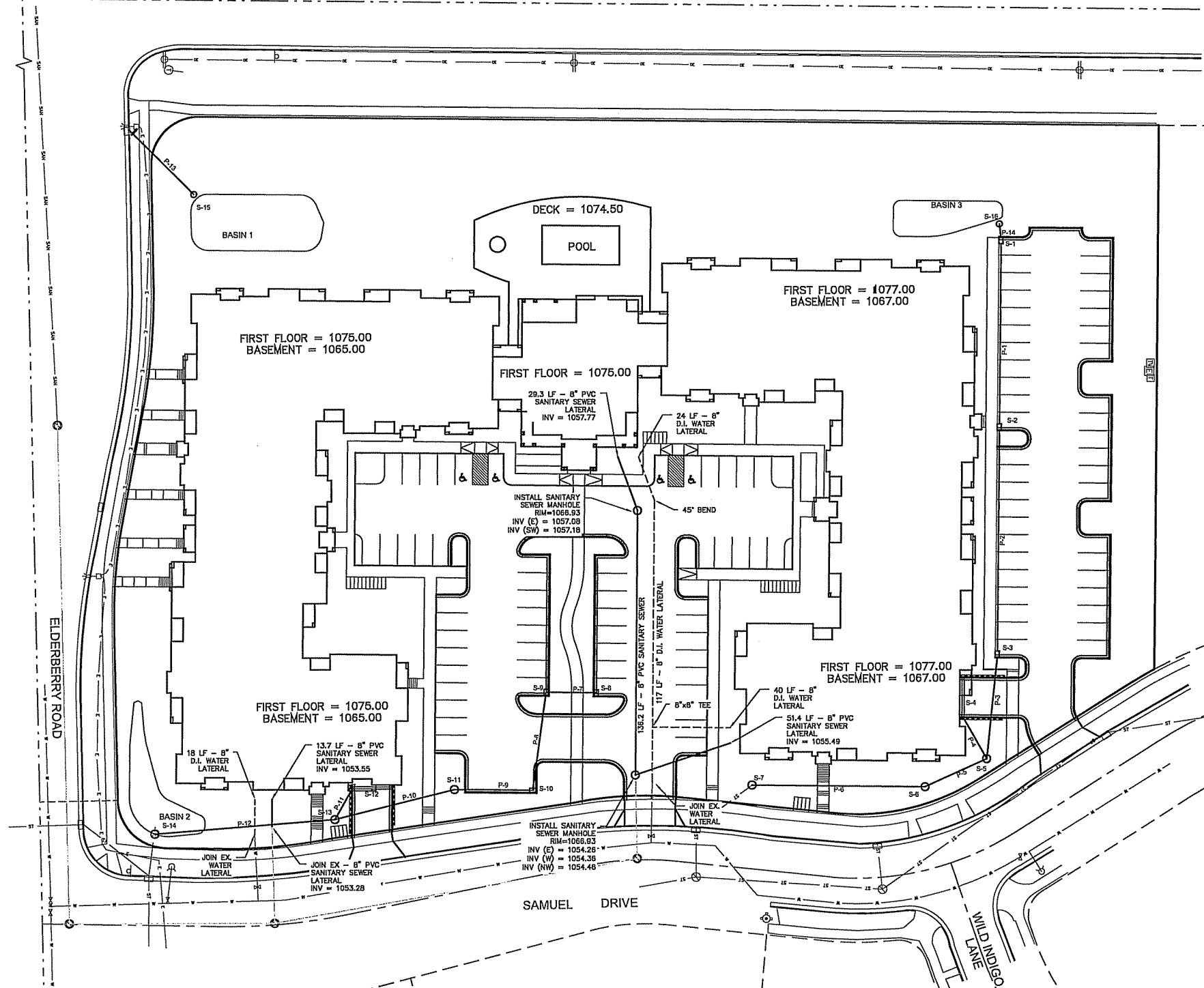
SNYDER & ASSOCIATES



PROJECT No. GAL02

Sheet C2.2

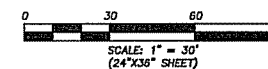
N. PLEASANT VIEW ROAD



GENERAL NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS.
- NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% OF STANDARD PROCTOR DENSITY. MOISTURE IS TO BE BETWEEN OPTIMUM AND +3%.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT, VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- WATER SERVICE, PROVIDE THE FOLLOWING:
 - 8-INCH DUCTILE IRON SERVICE LINE.
 - COORDINATE BUILDING WATER CONNECTION WITH MECHANICAL DRAWINGS.
 - CONNECT TO EXISTING 8" WATER SERVICE CONTRACTOR TO VERIFY WATER MAIN LOCATION PRIOR TO CONSTRUCTION.
- SANITARY SEWER SERVICE, PROVIDE THE FOLLOWING:
 - COORDINATE SANITARY SEWER SERVICE CONNECTION WITH MECHANICAL DRAWINGS.
 - CONNECT TO EXISTING 8" PVC SANITARY SEWER PROVIDED BY CITY. CONTRACTOR TO VERIFY DEPTH AND LOCATION PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
- CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICE PROVIDER, THE CITY OF MADISON, AND THE OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" CLEARANCE BETWEEN UTILITIES.
- CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.
- THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 152.017(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND COMPLETED BY A CITY LICENSED CONTRACTOR.
- UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND. WHERE BOTH THE WATER SERVICE AND THE SEWER LATERAL END AT THE SAME LOCATION, A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.
- ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).
- THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- SANITARY SEWER LATERAL ELEVATIONS ARE BASED ON CITY OF MADISON ASBUILT INFORMATION. ALL ELEVATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- PROPOSED SANITARY WORK SHALL BE SUBJECT TO CITY OF MADISON PATCHING CRITERIA - 50' MINIMUM MILL AND OVERLAY.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE OR PLANT TREES IN THE PUBLIC RIGHT OF WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER.

NORTH



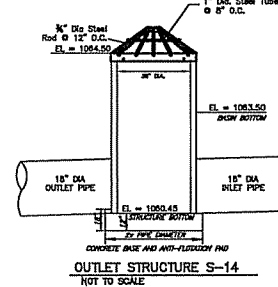
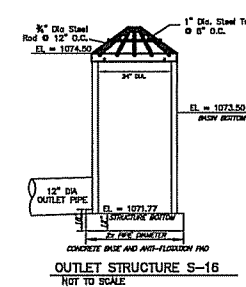
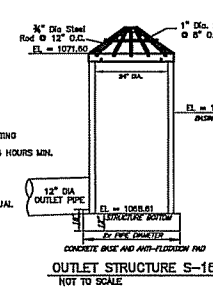
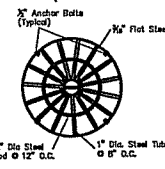
STORM SEWER STRUCTURE SCHEDULE					
STRUCTURE NUMBER	TYPE	GRATE/ID TYPES	TOP OF CASTING	INVERT	DEPTH (FT)
S-1	H-INLET	R-3067	1075.14	1071.64	3.50
S-2	H-INLET	R-3067	1075.04	1071.54	3.50
S-3	H-INLET	R-3067	1069.80	1065.49	4.31
S-4	TRENCH DRAIN	R-4990-CK	1066.00	1065.00	1.00
S-5	48" DIA MANHOLE	R-3059	1068.24	1064.90	3.34
S-6	48" DIA MANHOLE	R-3059	1069.35	1064.19	5.16
S-7	54" DIA MANHOLE	R-3059	1068.15	1062.35	5.80
S-8	H-INLET	R-3067	1069.45	1065.25	4.20
S-9	H-INLET	R-3067	1069.29	1065.09	4.20
S-10	H-INLET	R-3067	1067.23	1062.83	4.40
S-11	48" DIA MANHOLE	R-3059	1064.50	1061.82	2.68
S-12	TRENCH DRAIN	R-4990-CK	1064.00	1063.00	1.00
S-13	54" DIA MANHOLE	R-3059	1068.38	1064.09	4.29
S-14	INFILTRATION BASIN 2 OUTFALL	N/A	1064.50	1060.45	4.05
S-15	INFILTRATION BASIN 3 OUTFALL	N/A	1071.60	1066.51	5.09
S-16	INFILTRATION BASIN 3 OUTFALL	N/A	1074.50	1071.77	2.73

STORM SEWER PIPE SCHEDULE									
PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH (FT)	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	DIAMETER OF PIPE (IN)		
P-1	S-1	S-2	60.00	1071.64	1071.54	1.63	12"	12"	12"
P-2	S-2	S-3	117.00	1071.54	1065.49	4.43	12"	12"	12"
P-3	S-3	S-5	54.19	1065.49	1064.90	1.04	18"	18"	18"
P-4	S-4	S-6	24.76	1066.00	1064.90	4.04	18"	18"	18"
P-5	S-5	S-6	34.75	1064.90	1064.19	2.50	18"	18"	18"
P-6	S-6	S-7	89.18	1064.19	1062.35	2.50	18"	18"	18"
P-7	S-8	S-9	28.00	1065.25	1065.09	1.49	12"	12"	12"
P-8	S-9	S-10	50.91	1065.09	1062.83	4.41	18"	18"	18"
P-9	S-10	S-11	49.35	1062.83	1061.82	2.91	18"	18"	18"
P-10	S-11	S-13	83.00	1061.82	1061.89	3.25	18"	18"	18"
P-11	S-12	S-13	18.30	1063.00	1061.89	15.38	18"	18"	18"
P-12	S-13	S-14	83.25	1061.89	1060.45	0.89	18"	18"	18"
P-13	S-15	EX INLET	48.52	1068.61	1063.13	1.21	12"	12"	12"
P-14	S-16	S-1	7.18	1071.77	1071.64	1.81	12"	12"	12"

ALL DISTANCES ARE FROM CENTERLINE TO CENTERLINE OF STRUCTURES

NOTES

- EACH GRATE IS WIRE BRUSHED AND CLEANED THOROUGHLY PRIOR TO PAINTING.
- EACH COAT IS AN OVERALL COAT EACH COAT IS ALLOWED TO DRY FOR 24 HOURS MIN.
- FIRST COAT: RUST-OLEUM X-80 RED BARE METAL PRIMER OR EQUAL.
- SECOND COAT: RUST-OLEUM 960 ZINC CHROMATE PRIMER OR EQUAL.
- THIRD COAT: RUST-OLEUM 1280 HIGH GLOSS AND METALLIC FINISH OR EQUAL.
- GALVANNEED AND EPOXY COATED GRATES ALSO AVAILABLE AS SPECIFIED.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

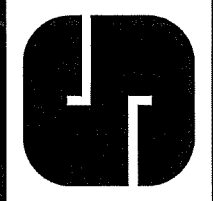
REVISION	DATE	BY
XXX	03-25-14	XXX

Engineer: XXX
Checked By: XXX
Technician: XXX
Project No: 114-0138-30
Scale: 1" = 30'
Printed: XXX

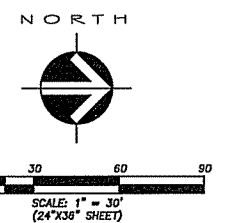
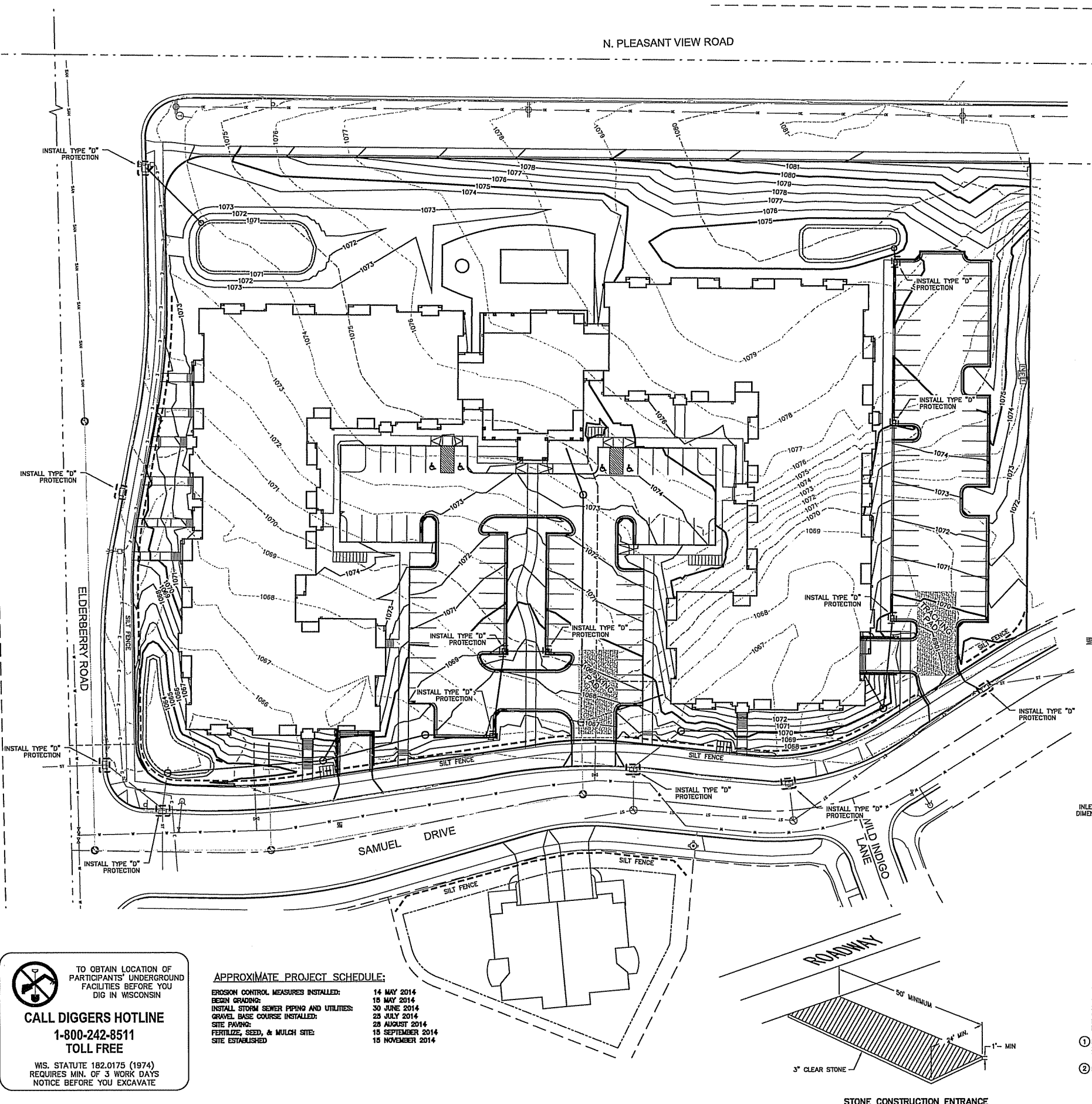
MADISON, WISCONSIN
MISSOURI
IOWA
NEBRASKA

9010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

TUSCANY AT PRAIRIE POINT
UTILITY PLAN
SNYDER & ASSOCIATES



PROJECT No. GAL02
Sheet C2.3



GENERAL NOTES

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE IS INSTALLED.

SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON.

CONTRACTOR SHALL NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS PRIOR TO ANY SOIL DISTURBING ACTIVITY.

TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED WITHIN 10-DAYS. PERIMETER CONTROL ON THE DOWNSTREAM SIDE SHALL BE IN-PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).

CONTRACTOR TO MINIMIZE AREAS OF EXPOSED SOIL AT ALL TIMES.

AREAS WITH SLOPES 4:1 OR GREATER AND ALL INTERIOR BIORETENTION AREA SLOPES SHALL BE STABILIZED WITH CLASS I TYPE B EROSION CONTROL MATTING.

MULCH SHALL BE PUNCHED INTO THE SOIL TO A MINIMUM DEPTH OF 2-INCHES USING A MULCH TILLER WHILE TRAVELING ON THE CONTOUR.

BIO-RETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE EMPLACED TO WITHIN 3 INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS EMPLACED, 3 INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.

ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.

GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 18%; PHOSPHORIC ACID, NOT LESS THAN 8% POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.

MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 1.5 TONS PER ACRE. MULCH MUST BE CRIMPED.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

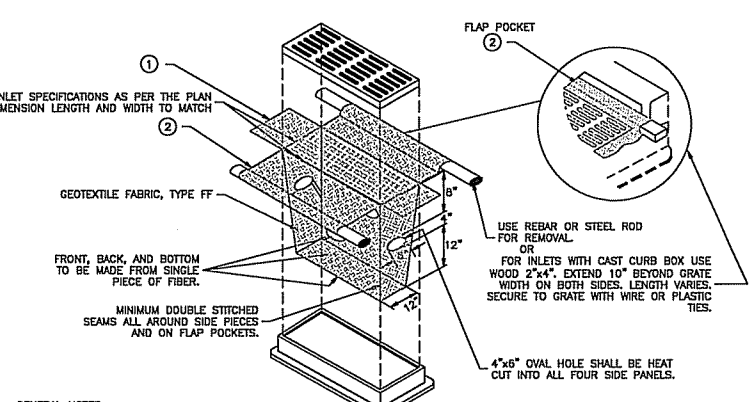
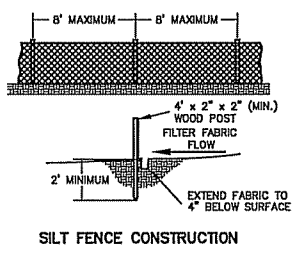
FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN SEVEN DAYS OF DRY WEATHER ELAPSE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY OF MADISON.

PROPOSED TURF REINFORCEMENT MATTING SHALL BE CLASS III TYPE B.

INLET PROTECTION SHALL BE INSTALLED ON ALL ONSITE AND OFFSITE CATCH BASINS AS SHOWN ON THE STANDARD DETAIL.



GENERAL NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

2 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES:

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30"; MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CHISEL THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

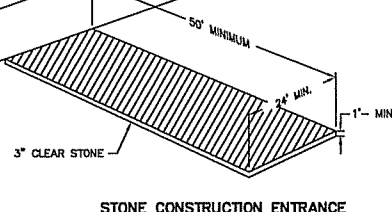
 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

APPROXIMATE PROJECT SCHEDULE:

EROSION CONTROL MEASURES INSTALLED:	14 MAY 2014
BEGIN GRADING:	18 MAY 2014
INSTALL STORM SEWER PIPING AND UTILITIES:	30 JUNE 2014
GRAVEL BASE COURSE INSTALLED:	25 JULY 2014
SITE PAVING:	28 AUGUST 2014
FERTILIZE, SEED, & MULCH SITE:	18 SEPTEMBER 2014
SITE ESTABLISHED:	18 NOVEMBER 2014



MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1"=30'	Field Bk:
Technician: XXX	Date: 03-25-14	Project No: 114-0138-30	Sheet C2.4

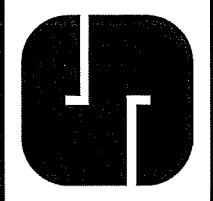
TUSCANY AT PRAIRIE POINT
EROSION CONTROL PLAN

MADISON, WISCONSIN

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

MISSOURI
IOWA
NEBRASKA
WISCONSIN

SNYDER & ASSOCIATES



PROJECT No. GAL02
Sheet C2.4

Plant Material List (87 Unit Building)

Quantity	Code Name	Common Name	Scientific Name	Planting Size
4	GSL	Greenspire Littleleaf Linden	Tilia Cordata 'greenspire'	2' B&B
1	TCS	Tina Crabapple (std)	Malva Sargenti 'tina'	2' B&B
3	SHL	Skyline Thinls Honeylocust	Gleditsia Triacanth Iner 'skyline'	2' B&B
4	ARM	Armstrong Maple	Acer X Freemanii 'armstrong'	2' B&B
2	WBC	Whitespire Gray Birch (dp)	Betula Populifolia 'whitespire' (dp)	6' B&B
2	TCH	Think Cockspur Hawthorn (dp)	Crataegus Crus-Galli Var Iner	6' B&B
13	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
9	PE	Pioneer Elm	Ulmus 'pioneer'	2 1/2' B&B
3	SWO	Swamp White Oak	Quercus bicolor	2 1/2' B&B
4	CCP	Chandlerer Callery Pear	Pyrus Calleryana 'chandlerer'	2 1/2' B&B
4	NJCC	Red Jewel Crabapple (dp)	Malva 'jewelcole' (dp)	2' B&B
9	ISL	Ivory Silk Japanese Tree Lilac	Syringa Reticulata 'ivory silk'	2 1/2' B&B

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
9	EWP	Eastern White Pine	Pinus strobus	5' B&B
25	KCJ	Kelly Compact Juniper	Juniperus Chinensis 'kellys Compacta'	#3 CONT.
40	MJ	Mountain Juniper	Juniperus Chinensis 'mountain'	4' B&B
2	MJA	Mini Arctica Juniper	Juniperus Sabina 'mini Arctica'	#3 CONT.
11	BHS	Black Hills Spruce	Picea Glauca Var Denata	5' B&B
8	AP	Austrian Pine	Pinus Nigra	5' B&B
18	TY	Tauson Yew	Taxus X Media 'tauson'	18" B&B
21	HA	Holmstrup Arborvitae	Thuja Occidentalis 'holmstrup'	#3 CONT.
35	TA	Techyn/mission Arborvitae	Thuja Occidentalis 'techyn'	5' B&B

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
91	RDR	Royal Returns Daylily	Hemerocallis 'royal Returns'	#1 CONT.
53	PD	Prairie Dropseed	Sporobolus heterophyllus	#1 CONT.
6	LTC	Little Titch Camellia	Nepeta racemosa 'little Titch'	#1 CONT.
11	GBD	Going Bananas Daylily	Hemerocallis 'going Bananas'	#1 CONT.
3	AJS	Autumn Joy Sedum	Sedum 'herbstfreude'	#1 CONT.
45	PMG	Purple Maiden Grass	Miscanthus sinensis Var Purpureuscent	#1 CONT.
12	LBS	Little Bluestem	Schizachyrium scoparium	#1 CONT.
38	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
43	FBG	Fall Blooming Feather Reed Grass	Calamagrostis brachytricha	#1 CONT.
97	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis acutiflora 'karl Foerster'	#1 CONT.

Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
19	DKR	Double Knock Out Rose	Rosa 'radiko'	#2 CONT.
56	GLS	Green-Low Fragrant Sumac	Rhus aromatica 'gro-Low'	#2 CONT.
21	GFS	Goldflame Spirea	Spiraea japonica 'goldflame'	#3 CONT.
7	NBV	Northern Burgandy Arwed Viburnum	Viburnum dentatum 'mortoni'	4' B&B
9	LHDS	Little Henry Dwarf Sweetspire	Itea virginica 'sprich'	#5 CONT.
8	SWN	Summer White Ninebark	Physocarpus opulifolius 'neward'	#5 CONT.
15	FL	Pallidin Lilac	Syringa Meyer 'pallidin'	3' B&B
2	GVB	Green Velvet Boxwood	Buxus micro Var Koreana 'green Velvet'	#5 CONT.
2	CKV	Compact Koreanalce Viburnum	Viburnum carlesii 'compactum'	30" B&B
12	DBH	Dwarf Bush-Honeysuckle	Diervilla lonicera	#2 CONT.

Plant Material List (Duplex Building)

Quantity	Code Name	Common Name	Scientific Name	Planting Size
2	WBC	Whitespire Gray Birch (dp)	Betula Populifolia 'whitespire' (dp)	6' B&B

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	MJA	Mini Arctica Juniper	Juniperus Sabina 'mini Arctica'	#3 CONT.
1	BHS	Black Hills Spruce	Picea Glauca Var Denata	5' B&B
4	TA	Techyn/mission Arborvitae	Thuja Occidentalis 'techyn'	5' B&B
4	MJ	Mountain Juniper	Juniperus Chinensis 'mountain'	4' B&B
2	EWP	Eastern White Pine	Pinus strobus	5' B&B

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	ZC	Zagreb Coreopsis	Coreopsis verticillata 'zagreb'	#1 CONT.
2	PMG	Purple Maiden Grass	Miscanthus sinensis Var Purpureuscent	#1 CONT.
6	RDR	Royal Returns Daylily	Hemerocallis 'royal Returns'	#1 CONT.
10	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
4	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis acutiflora 'karl Foerster'	#1 CONT.
2	LTC	Little Titch Camellia	Nepeta racemosa 'little Titch'	#1 CONT.
3	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.

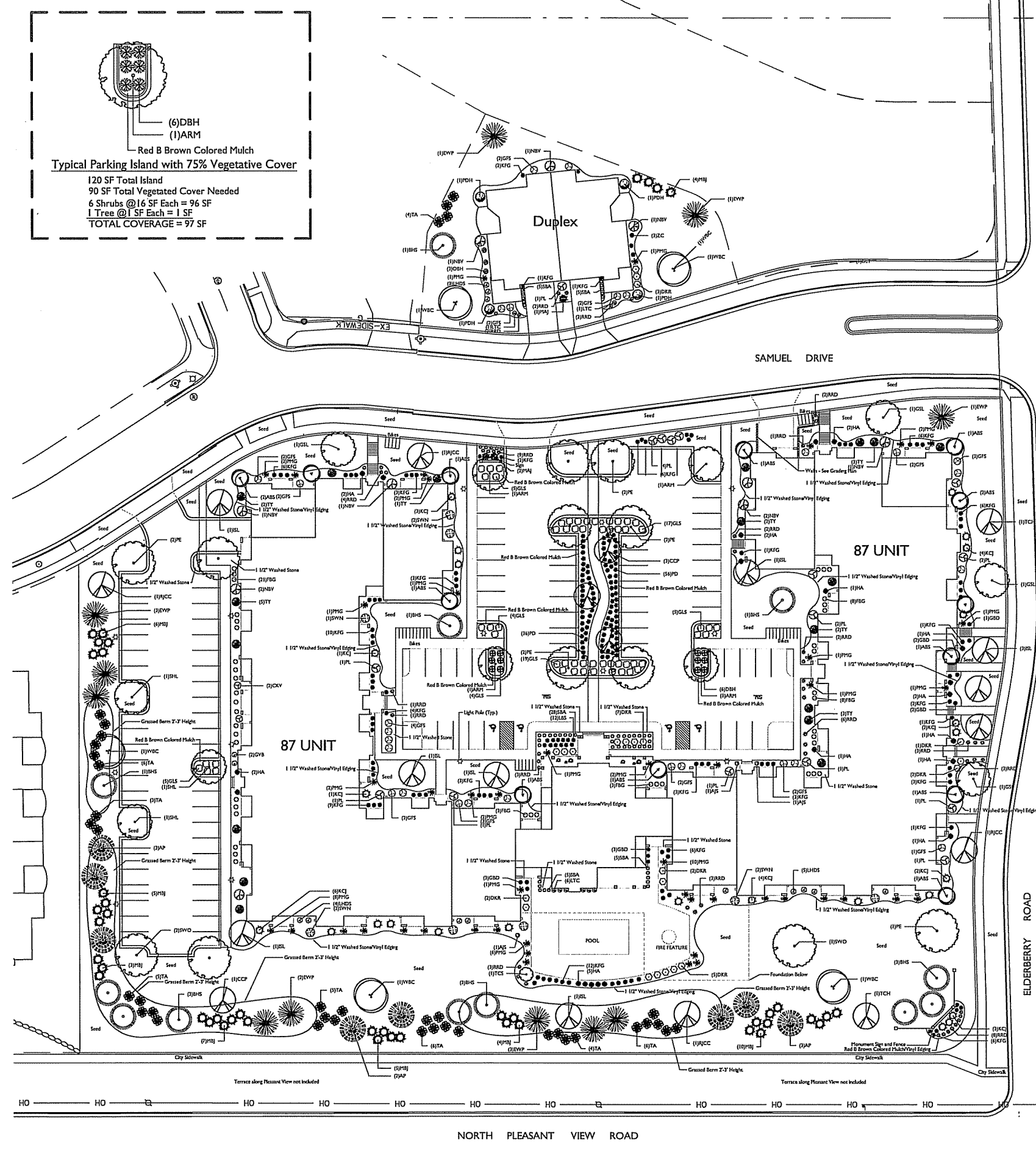
Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	FL	Pallidin Lilac	Syringa Meyer 'pallidin'	3' B&B
3	NBV	Northern Burgandy Arwed Viburnum	Viburnum dentatum 'mortoni'	4' B&B
4	PDH	Pink Diamond Hydrangea	Hydrangea paniculata 'pink Diamond'	#5 CONT.
3	LHDS	Little Henry Dwarf Sweetspire	Itea virginica 'sprich'	#5 CONT.
3	DKR	Double Knock Out Rose	Rosa 'radiko'	#2 CONT.
6	GFS	Goldflame Spirea	Spiraea japonica 'goldflame'	#3 CONT.

LANDSCAPE WORKSHEET
Tuscany Apartments
 Zoning district is PD-SIP
 Total square footage of developed area = 183,766
 Total square footage of first 5 acres of developed area + 100 square feet = 613 Landscape Units
 Total square footage of 0 additional acres of developed area + 100 square feet = 0 Landscape Units

NUMBER OF LANDSCAPE POINTS REQUIRED
 613 Landscape Units x 5 landscape points for first 5 acres = 3,065 points
 0 Landscape Units x 1 landscape point for additional 0 acres = 0 points
TOTAL LANDSCAPE POINTS REQUIRED = 3,065 points

PLANT TYPE OR ELEMENT	Point Value	NEW		EXISTING	
		Qty.	Points Achieved	Qty.	Points Achieved
Overstory Deciduous Tree > 2-1/2" (dbh)	35	26	910		
Tall Evergreen Tree > 5-6 feet tall	35	26	910		
Ornamental Tree: 1-1/2" Caliper (dbh)	15	33	495		
Upright Evergreen Shrub: 3-4 feet tall	10	45	450		
Shrub, deciduous: 3 gallon / 12"-24"	3	399	1197		
Shrub, evergreen: 3 gallon / 12"-24"	4	56	224		
Ornamental grass/perennial: 1 gallon / 6"-18"	2	151	302		
Ornamental / Decorative fencing or wall	4 per 10 ft.				
Existing significant specimen tree	14 per Cal. in.				
Landscape furniture for public seating and/or transit connections	5 per seat				
Sub Totals		4,558	14,588	0	14,588
TOTAL POINTS PROVIDED					14,588



GENERAL NOTES

A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3" wide beds for shrub groupings).

C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

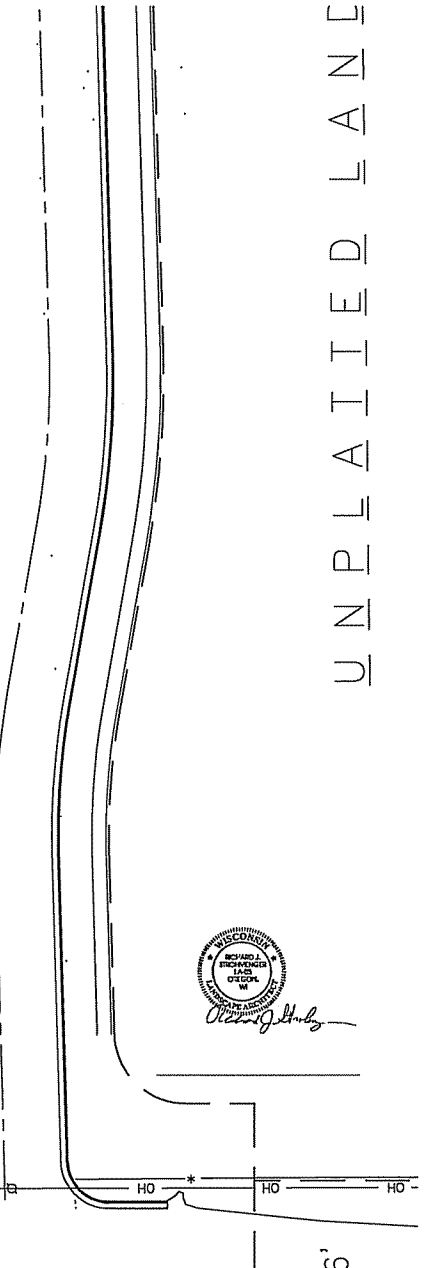
F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Dixie Kentucky Bluegrass
 20% Fony II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Gleney Kentucky Bluegrass

G) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.

H) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

I) Existing street trees shall be protected. Contractor shall install tree protection leading in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction: <http://www.cityofmadison.com/business/pdf/documents/StdSpecs2013/Part1.pdf>.

J) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



the bruce company
 LANDSCAPE ARCHITECTS
 LANDSCAPE CONTRACTORS
 2830 PARMENTER STREET
 P.O. BOX 520330
 MIDDLETON, WI 53562-0330
 TEL: (608) 836-7951
 FAX: (608) 831-4266

TUSCANY APARTMENTS
 N. PLEASANT VIEW ROAD and ELDERBERRY DRIVE
 MADISON, WISCONSIN

Checked By: SS
 Drawn By: 2/24/14 RS

Revised: DRAFT
 4/2/14 RS
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:

L1

This plan made exclusively for the party named in this block, it remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or implemented in whole or part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.

SCALE: 1"=30'-0"



knothe & bruce
ARCHITECTS
Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use - April 2, 2014

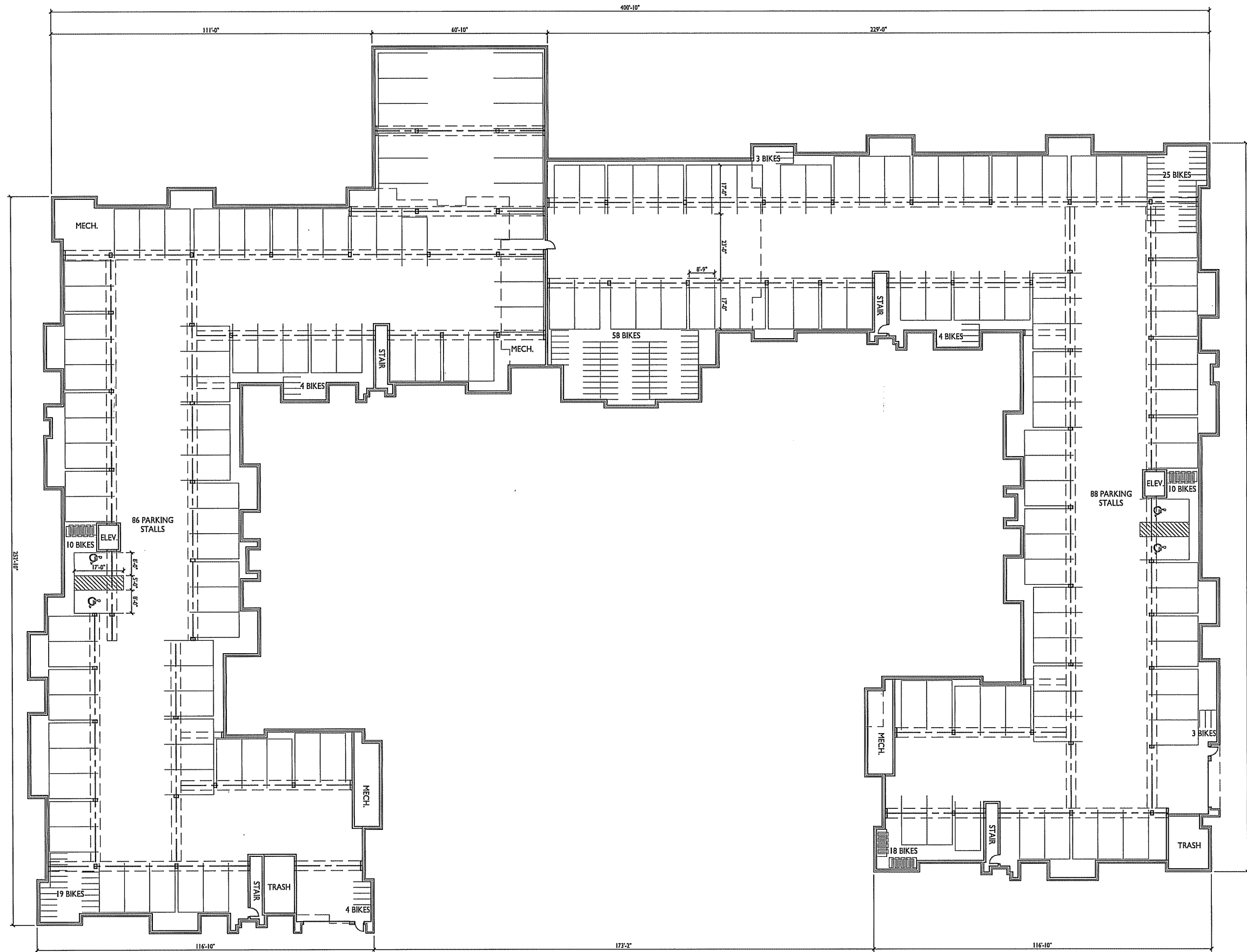
PROJECT TITLE
**Tuscany
Apartments**

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Basement Plan

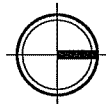
SHEET NUMBER

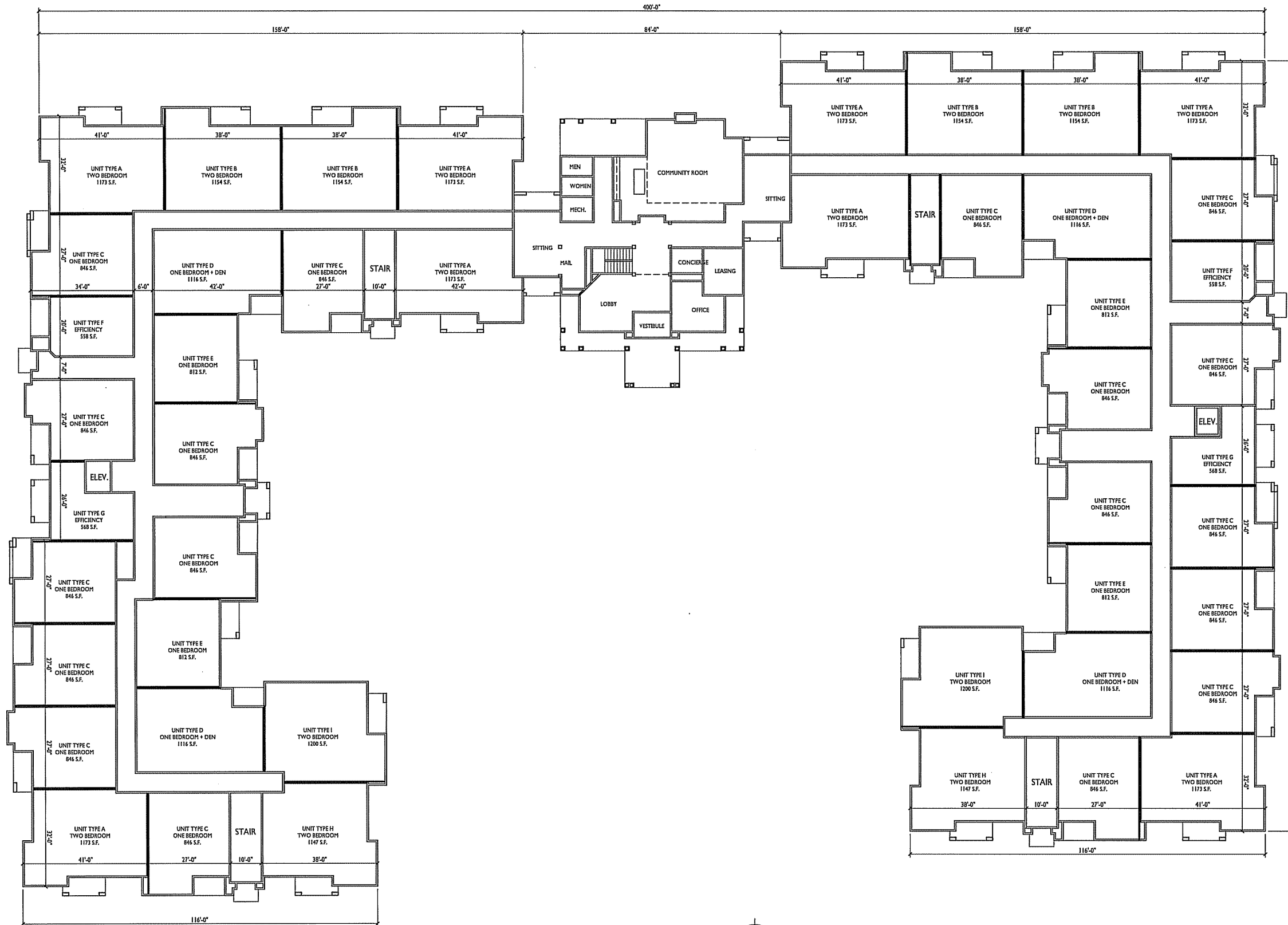
A-1.0

PROJECT NO. **1351**
© 2013 Knothe & Bruce Architects, LLC



BASEMENT PLAN
A-1.0 1/16"=1'-0"





UNIT TYPE A
TWO BEDROOM
1173 S.F.

UNIT TYPE C
ONE BEDROOM
846 S.F.

ISSUED
 Issued for Land Use - April 2, 2014

PROJECT TITLE
**Tuscany
 Apartments**

302 Samuel Drive
 Madison, Wisconsin
 SHEET TITLE
First Floor Plan

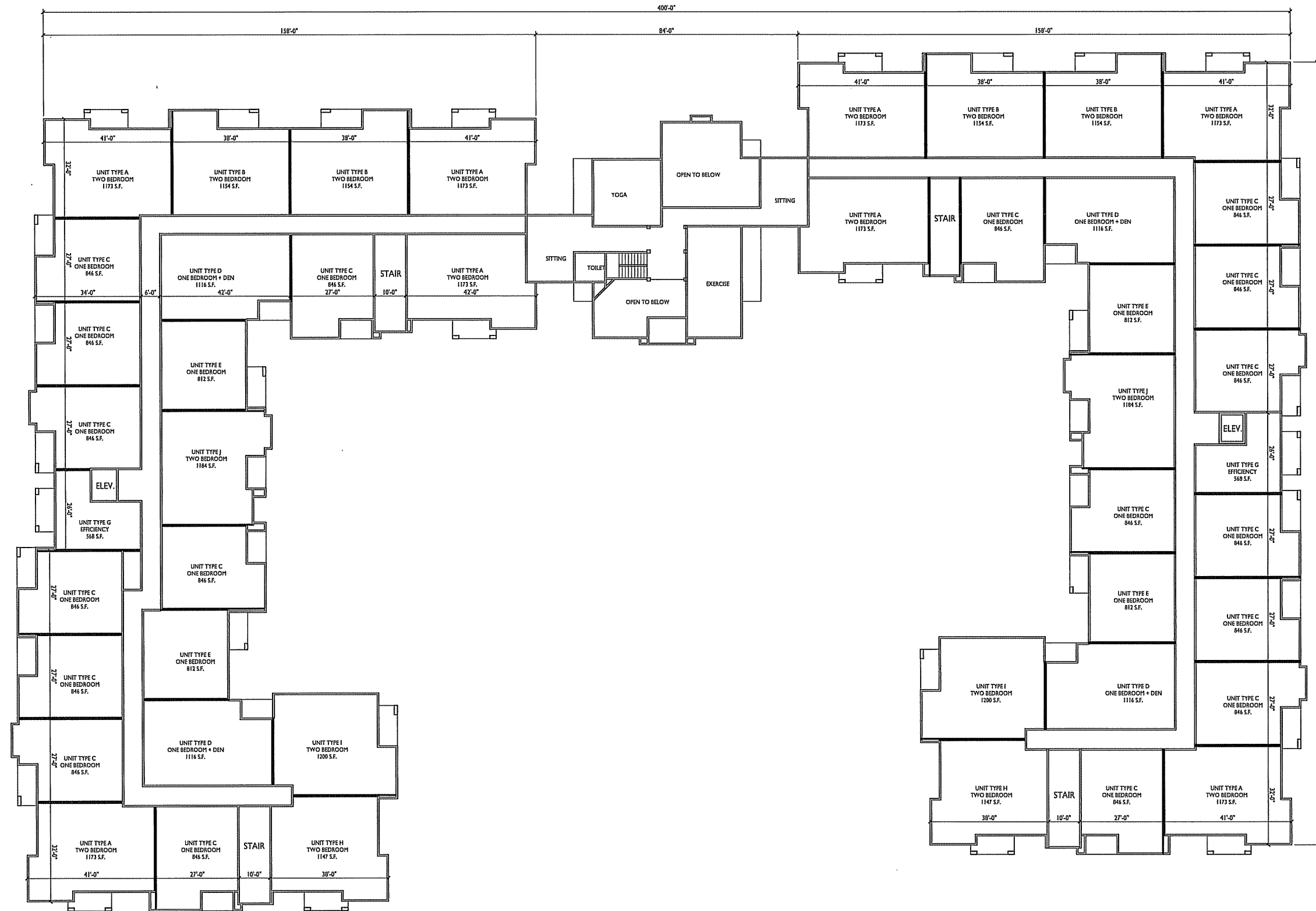
FIRST FLOOR PLAN
 1/16"=1'-0"



SHEET NUMBER

A-1.1

PROJECT NO. **1351**
 © 2013 Knothe & Bruce Architects, LLC

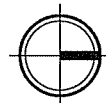


ISSUED
 Issued for Land Use - April 2, 2014

PROJECT TITLE
**Tuscany
 Apartments**

302 Samuel Drive
 Madison, Wisconsin
 SHEET TITLE
Second Floor Plan

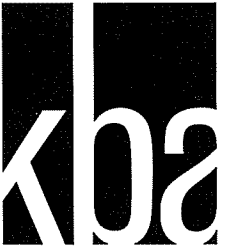
SECOND FLOOR PLAN
 A-1.2 1/16"=1'-0"



SHEET NUMBER

A-1.2

PROJECT NO. **1351**
 © 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use - April 2, 2014

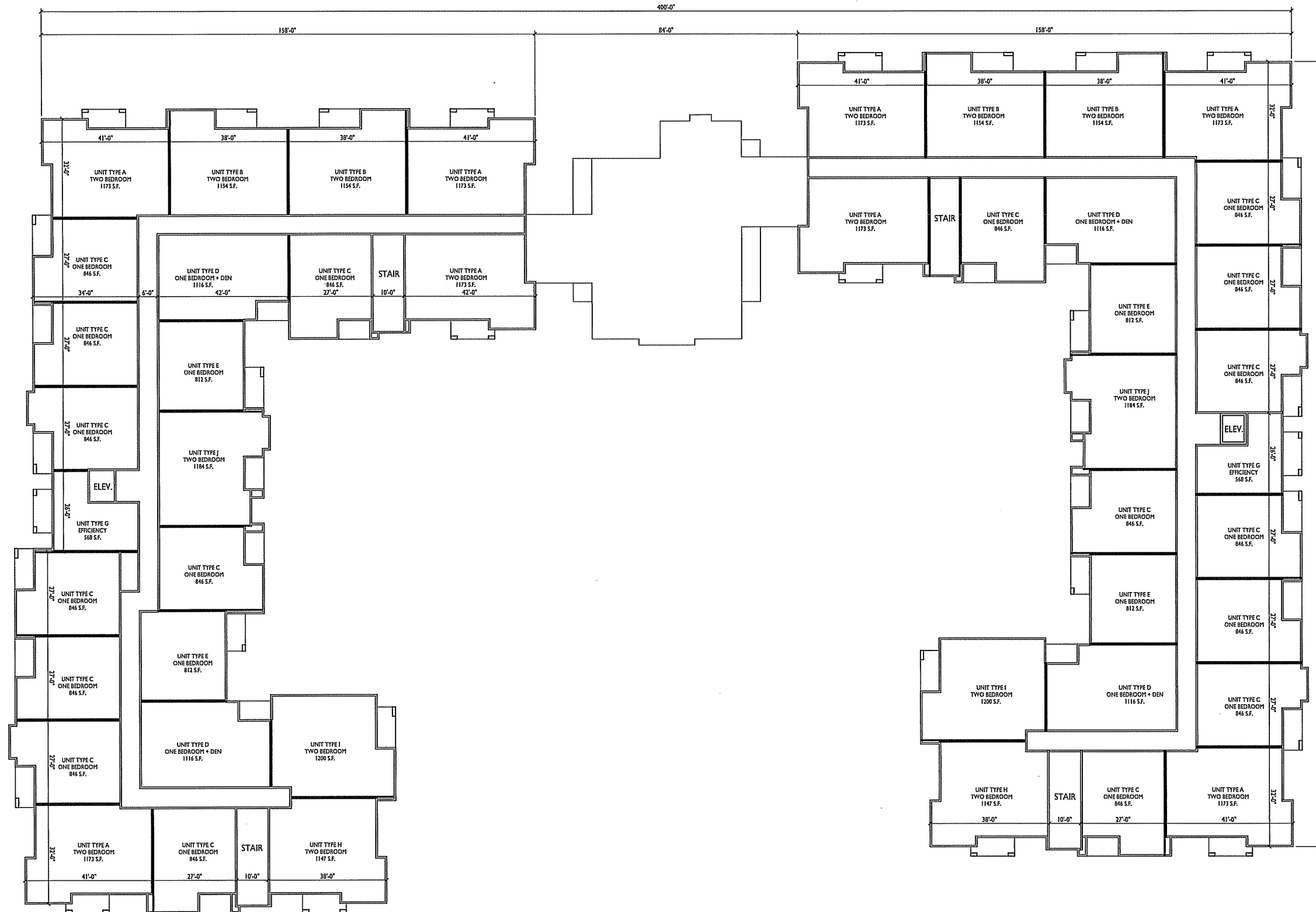
PROJECT TITLE
Tuscany
Apartments

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Third Floor Plan

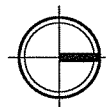
SHEET NUMBER

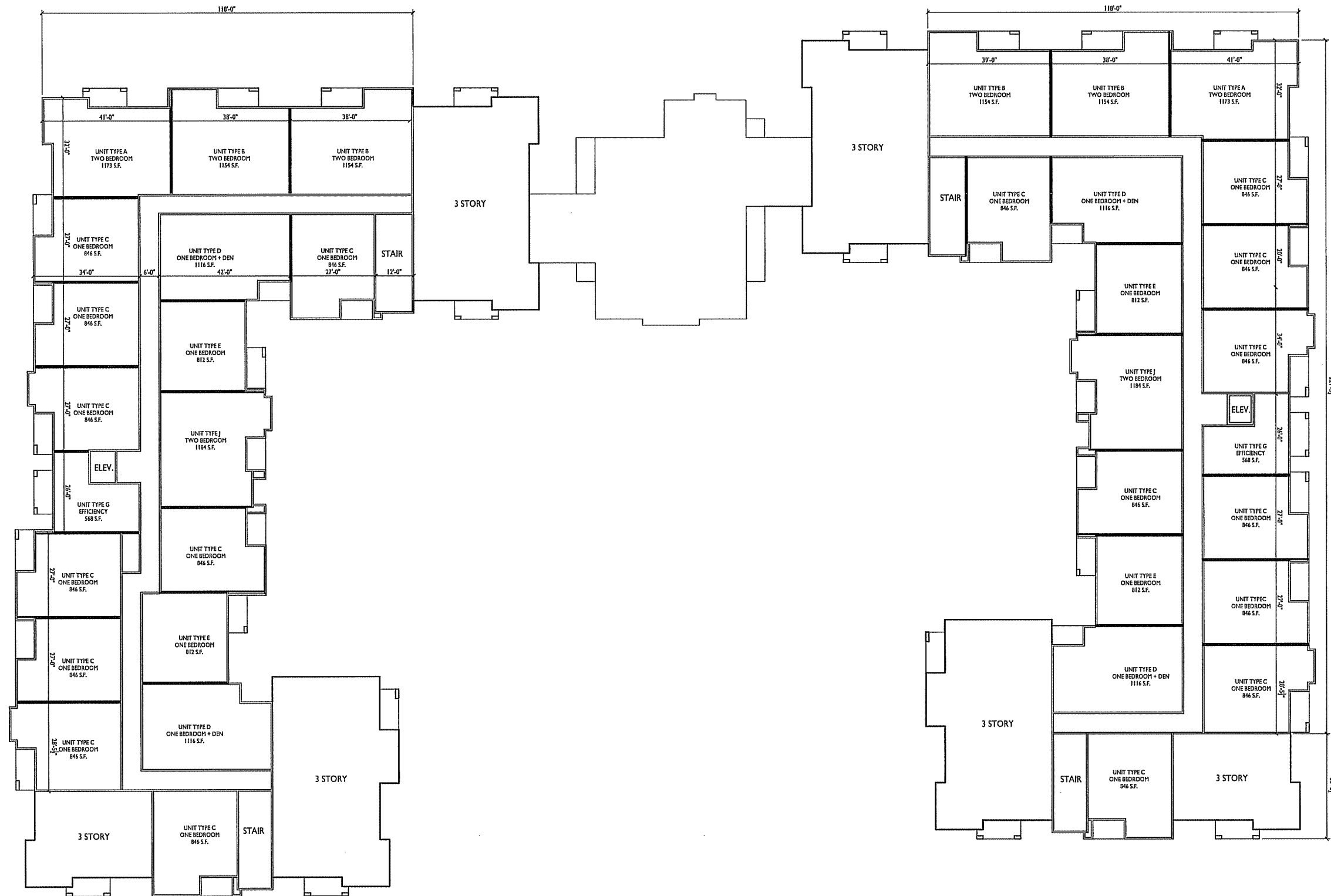
A-1.3

PROJECT NO. 1351
© 2013 Knothe & Bruce Architects, LLC



1
A-1.3
THIRD FLOOR PLAN
1/16"=1'-0"



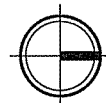


ISSUED
 Issued for Land Use - April 2, 2014

PROJECT TITLE
**Tuscany
 Apartments**

302 Samuel Drive
 Madison, Wisconsin
 SHEET TITLE
Fourth Floor Plan

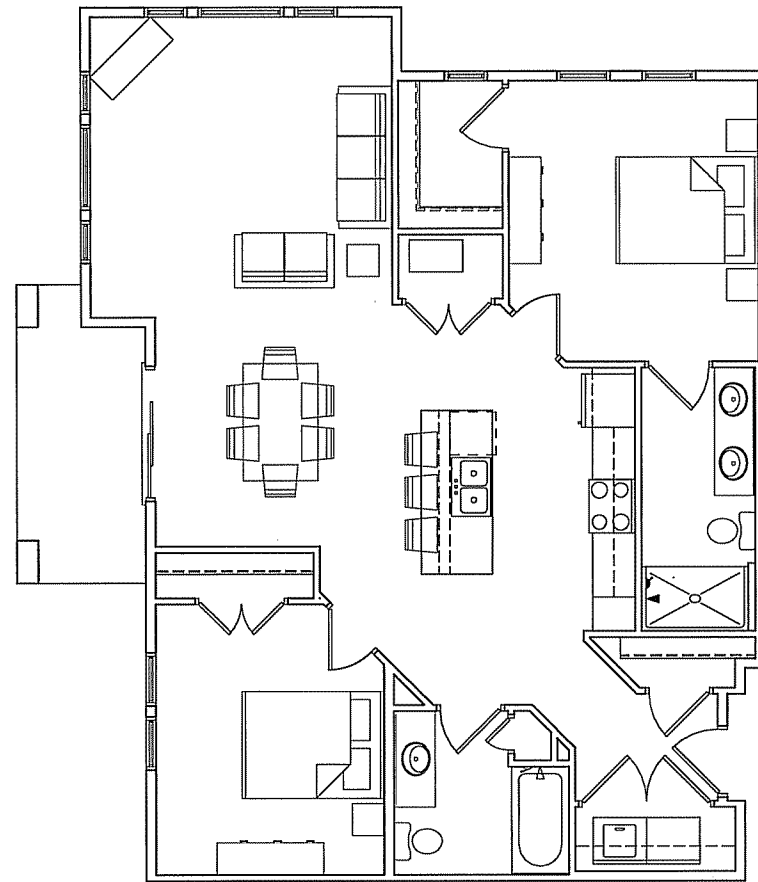
FOURTH FLOOR PLAN
 A-1.4 1/16"=1'-0"



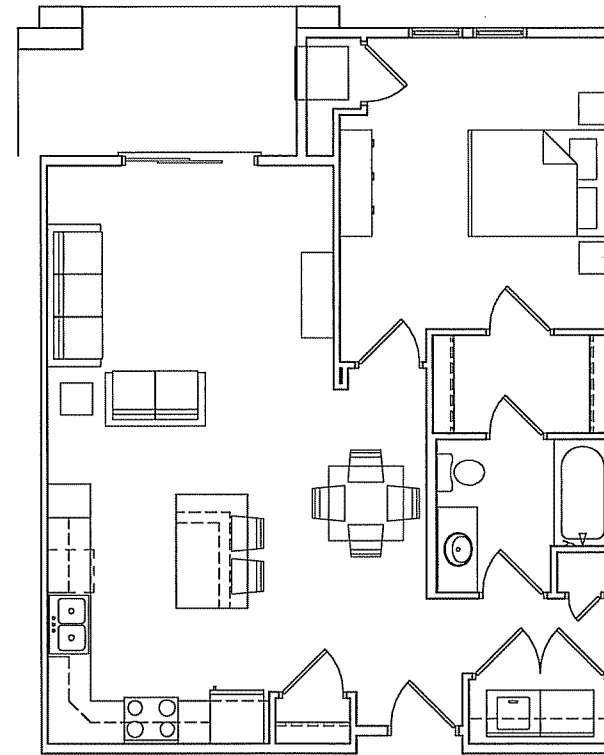
SHEET NUMBER

A-1.4

PROJECT NO. **1351**
 © 2013 Knothe & Bruce Architects, LLC



UNIT TYPE A
TWO BEDROOM
1173 S.F.



UNIT TYPE C
ONE BEDROOM
846 S.F.

ISSUED
 Issued for Land Use - April 2, 2014

PROJECT TITLE
Tuscany
Apartments

302 Samuel Drive
 Madison, Wisconsin
 SHEET TITLE
Typical Unit Plans

TYPICAL UNIT PLANS
 A-1.5 1/4"=1'-0"

SHEET NUMBER

A-1.5

PROJECT NO. **1351**
 © 2013 Knothe & Bruce Architects, LLC



1 EAST ELEVATION
 A-2.1 1/16"=1'-0"

ISSUED
 Issued for Land Use - April 2, 2014



2 WEST ELEVATION
 A-2.1 1/16"=1'-0"

PROJECT TITLE
 Tuscany
 Apartments



3 SOUTH ELEVATION
 A-2.1 1/16"=1'-0"

302 Samuel Drive
 Madison, Wisconsin
 SHEET TITLE
 Elevations

SHEET NUMBER

A-2.1



1 NORTH ELEVATION
A-2.2 1/16"=1'-0"



2 COURTYARD ELEVATION
A-2.2 1/16"=1'-0"



3 COURTYARD ELEVATION
A-2.2 1/16"=1'-0"

ISSUED
Issued for Land Use - April 2, 2014

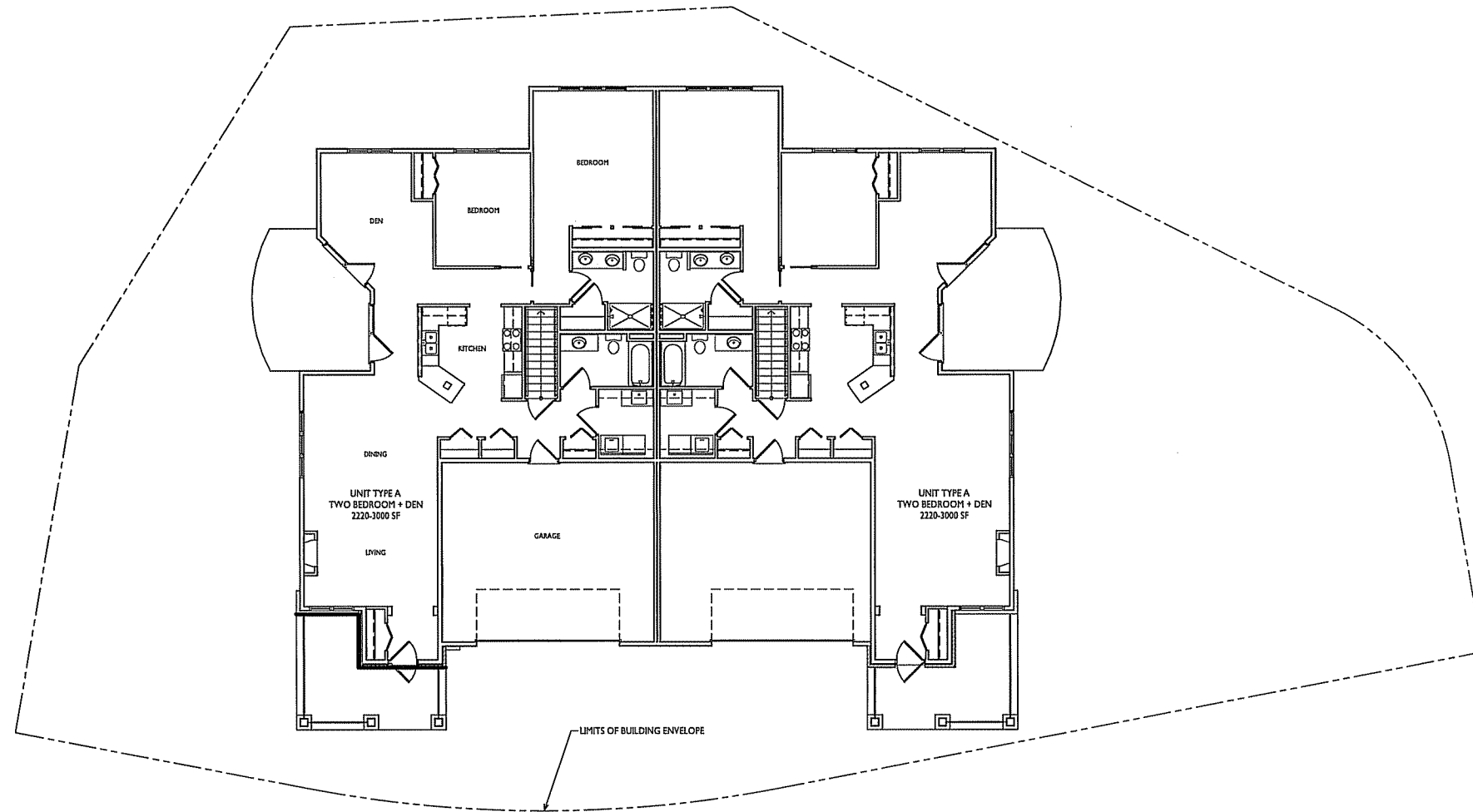
PROJECT TITLE
Tuscany
Apartments

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. 1351
© 2013 Knothe & Bruce Architects, LLC



ISSUED
 Issued for Land Use - April 2, 2014


PROJECT TITLE
Attic Angel
Prairie Point
2 Unit Building

Samuel Drive
 SHEET TITLE
Example Floor
Plan

SHEET NUMBER

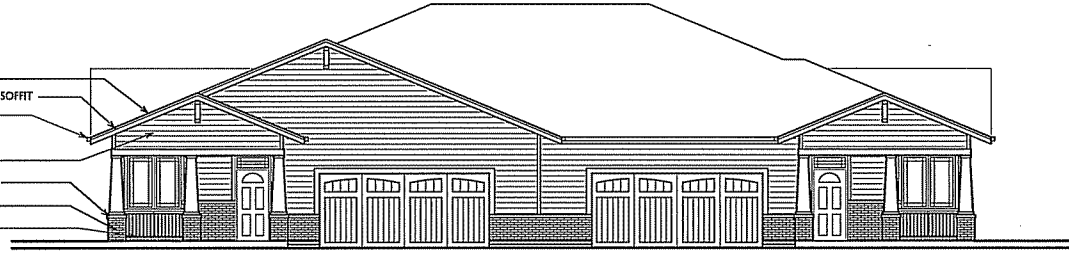
A-1.IA

PROJECT NO. **1341**
 © 2013 Knothe & Bruce Architects, LLC

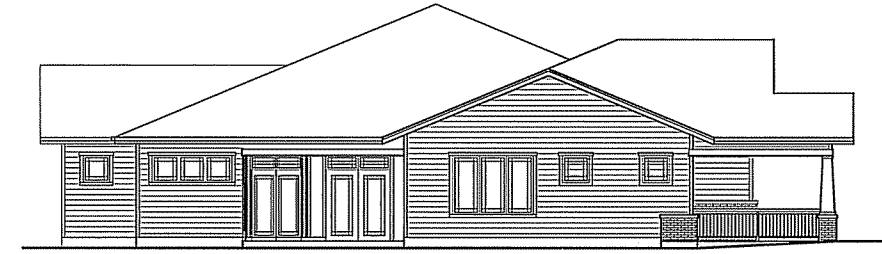
EXAMPLE FLOOR PLAN
 1/8"=1'-0" 

TYPICAL MATERIALS

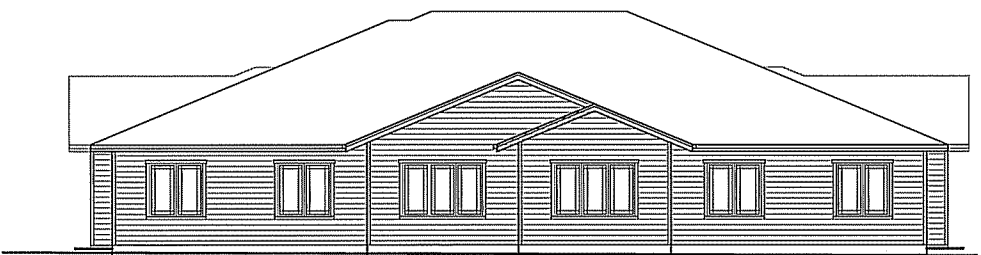
- ASPHALT SHINGLES
- ALUMINUM FASCIA & SOFFIT
- ALUMINUM GUTTER
- VINYL SIDING
- PRECAST SILL BANDS
- BRICK VENEER
- ALUMINUM RAILINGS



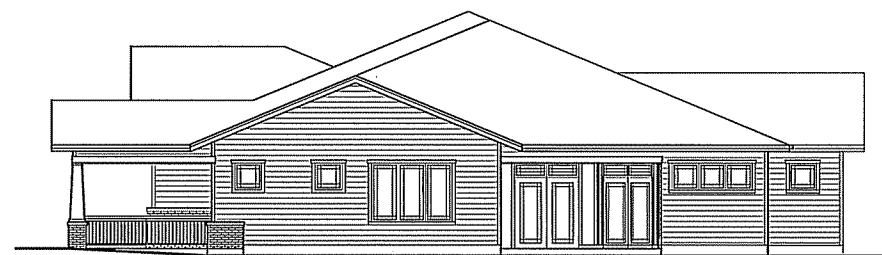
1
 A-2.1A
 1/8"=1'-0"
EXAMPLE WEST ELEVATION



2
 A-2.1A
 1/8"=1'-0"
EXAMPLE NORTH ELEVATION



3
 A-2.1A
 1/8"=1'-0"
EXAMPLE EAST ELEVATION



4
 A-2.1A
 1/8"=1'-0"
EXAMPLE SOUTH ELEVATION

ISSUED
 Issued for Land Use - April 2, 2014

PROJECT TITLE
Attic Angel
Prairie Point
2 Unit Building

Samuel Drive
 SHEET TITLE
Example
Elevations

SHEET NUMBER

A-2.1A

PROJECT NO. **1341**
 © 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use - April 2, 2014

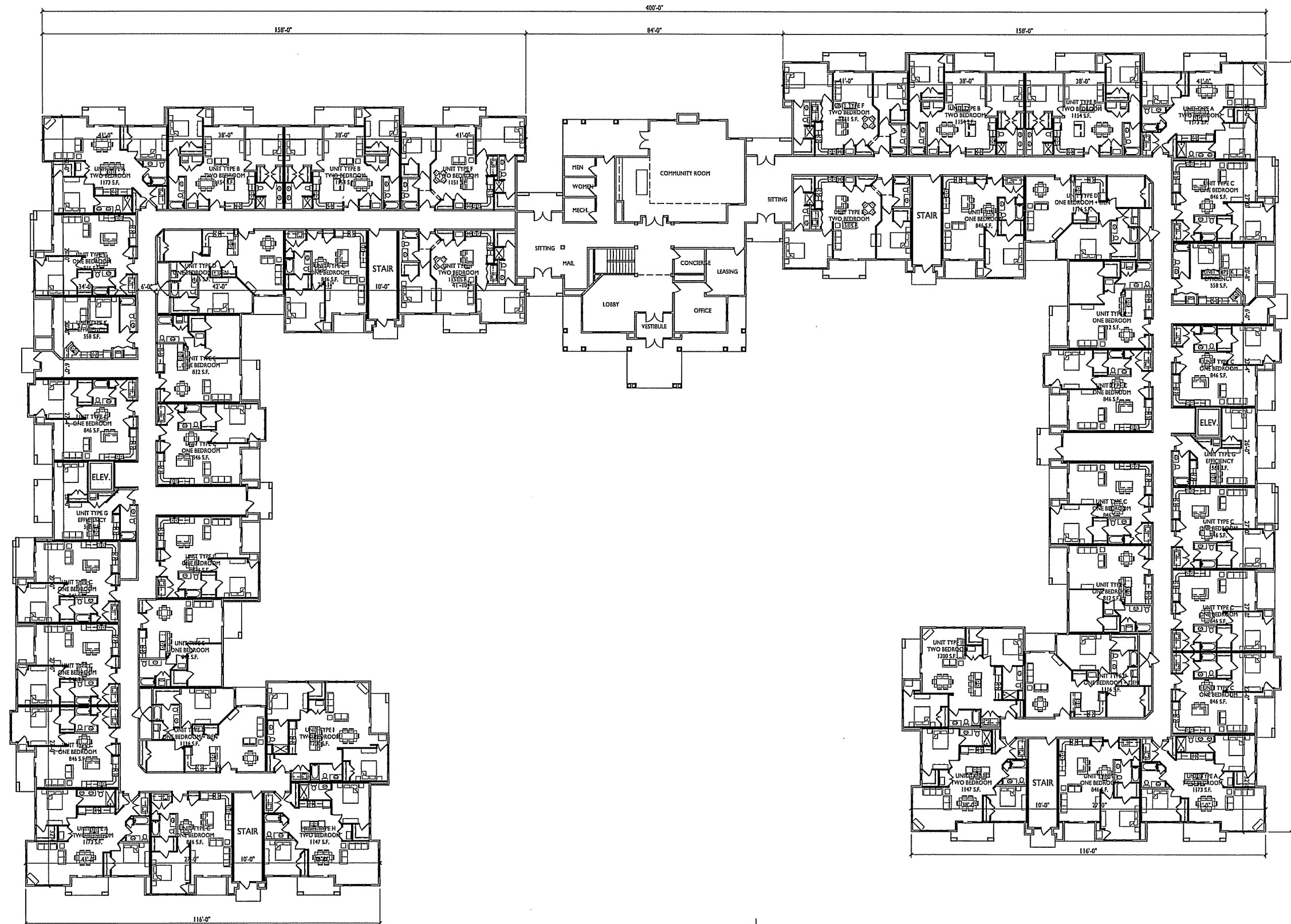
PROJECT TITLE
Tuscany
Apartments

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
First Floor Plan

SHEET NUMBER

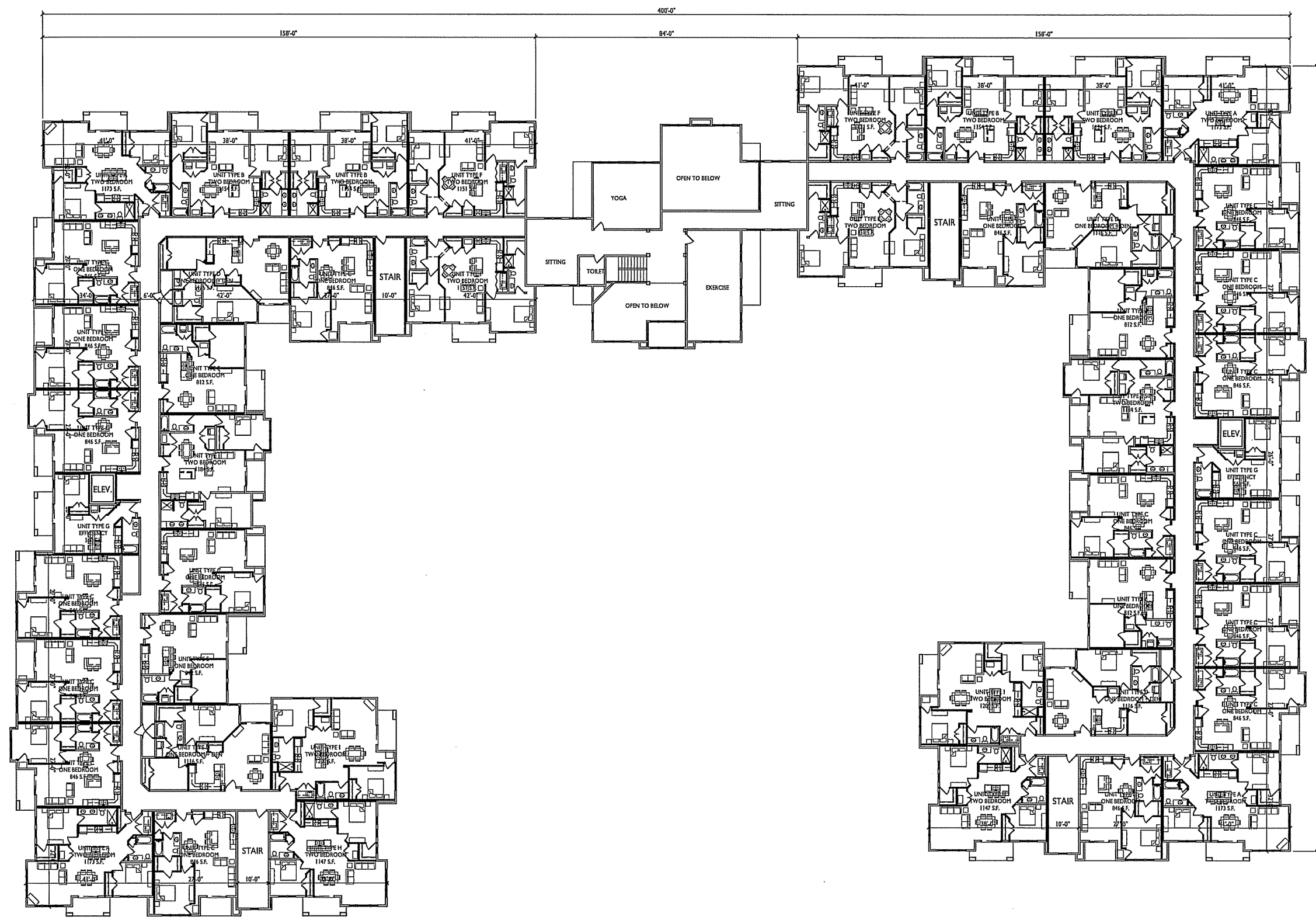
A-1.1

PROJECT NO. 1351
© 2013 Knothe & Bruce Architects, LLC



FIRST FLOOR PLAN
1/16"=1'-0"





ISSUED
 Issued for Land Use - April 2, 2014

PROJECT TITLE
**Tuscany
 Apartments**

302 Samuel Drive
 Madison, Wisconsin
 SHEET TITLE
Second Floor Plan

1 SECOND FLOOR PLAN
 A-1.2 1/16"=1'-0"


SHEET NUMBER
A-1.2



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use - April 2, 2014

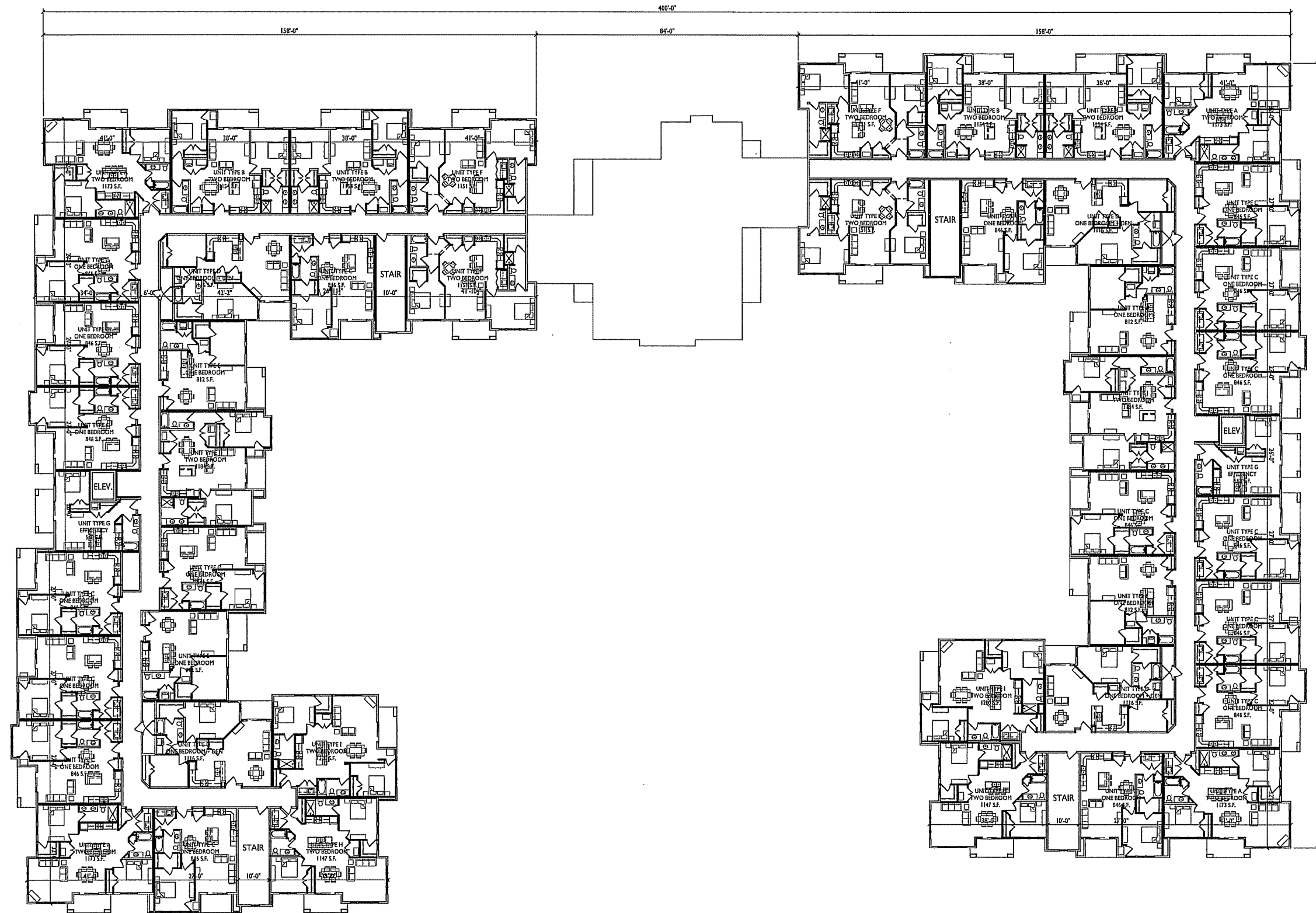
PROJECT TITLE
Tuscany
Apartments

302 Samuel Drive
Madison, Wisconsin
SHEET TITLE
Third Floor Plan

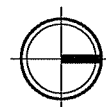
SHEET NUMBER

A-1.3

PROJECT NO. 1351
© 2013 Knothe & Bruce Architects, LLC



1 THIRD FLOOR PLAN
A-1.3 1/16"=1'-0"





knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED

Issued for Land Use - April 2, 2014

PROJECT TITLE

Tuscany
Apartments

302 Samuel Drive
Madison, Wisconsin

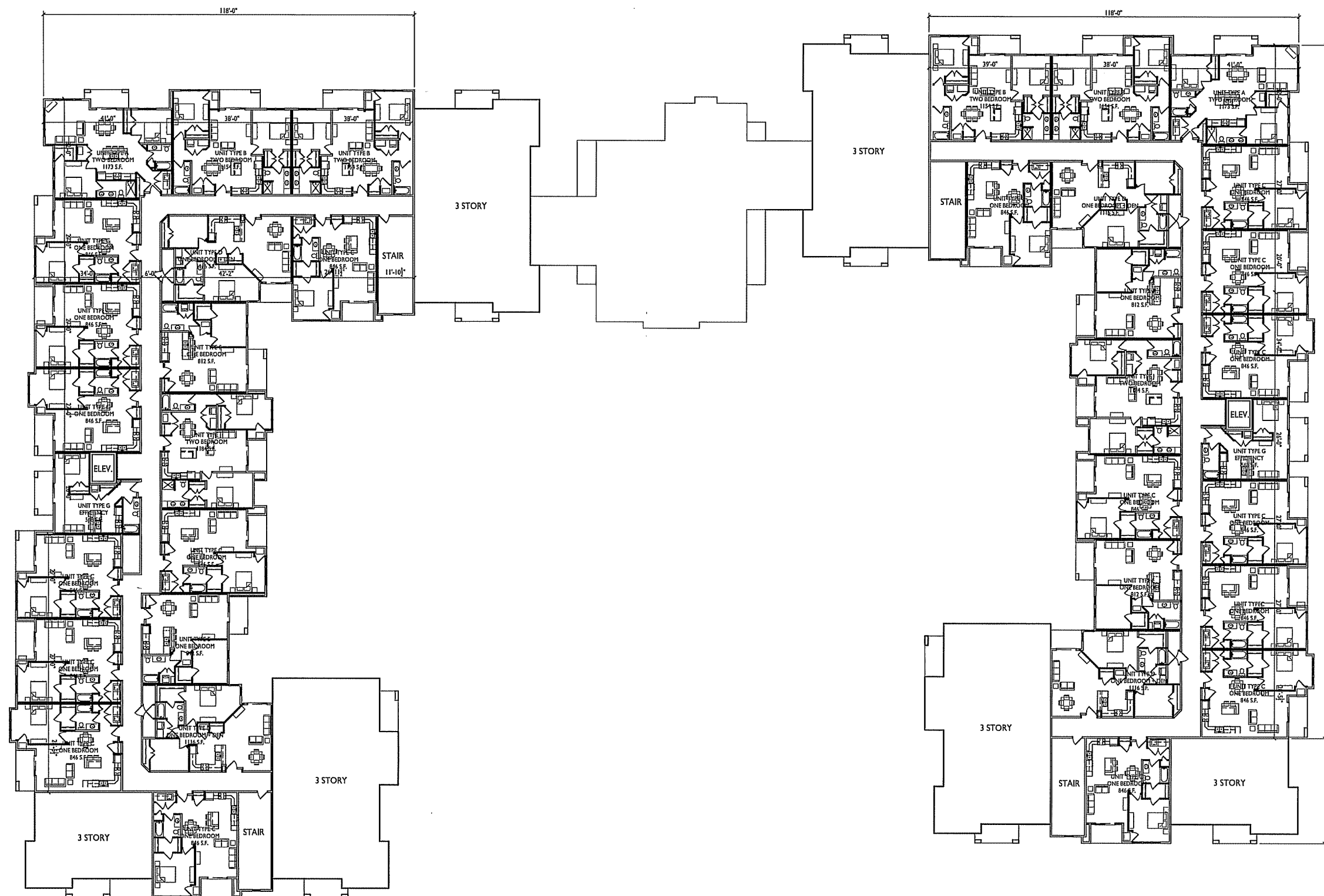
SHEET TITLE
Fourth Floor Plan

SHEET NUMBER

A-1.4

PROJECT NO. 1351

© 2013 Knothe & Bruce Architects, LLC



FOURTH FLOOR PLAN
A-1.4 1/16"=1'-0"

