



City of Madison

Proposed Demolition and Conditional Use

Location
901 Woodrow Street

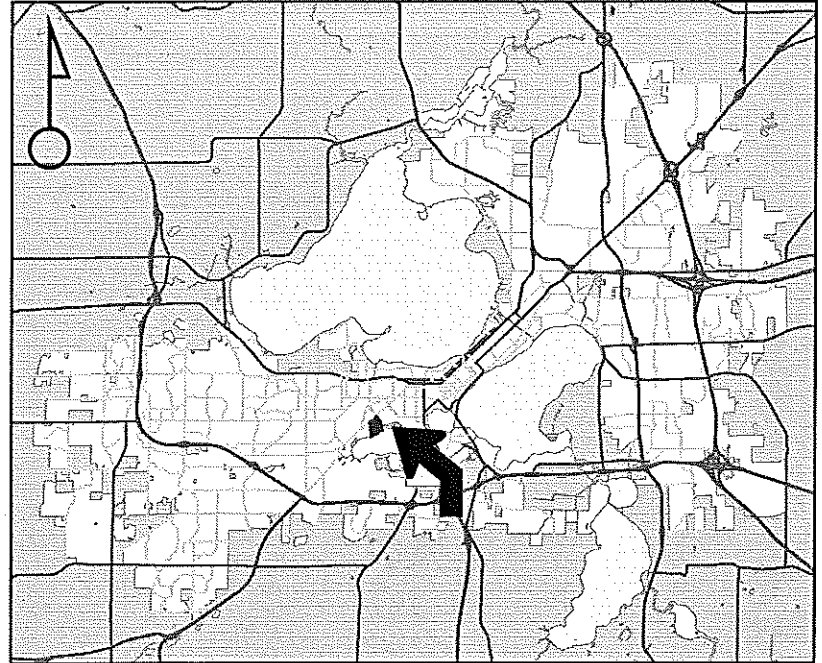
Project Name
Edgewood College Visual and
Theatre Arts Center

Applicant
Dan Carey – Edgewood College/
Doug Hursh – Potter Lawson, Inc

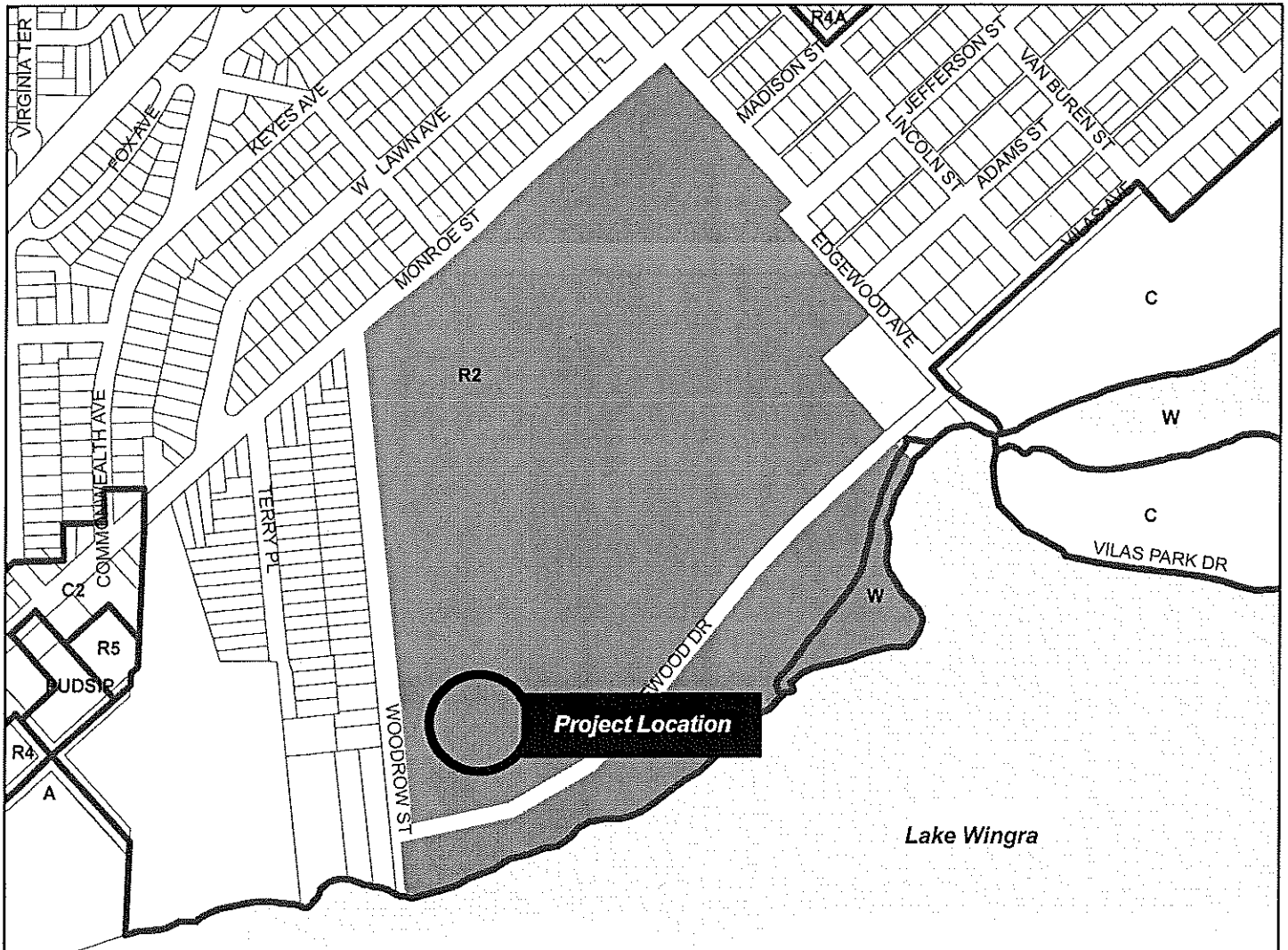
Existing Use
Student housing and surface parking on
Edgewood College grounds

Proposed Use
Demolish single-family residence to allow
construction of Edgewood College Visual and
Theatre Arts Center and amendment/update
to Edgewood Campus Master Plan

Public Hearing Date
Plan Commission
24 January 2011



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 500'

City of Madison, Planning Division : RPJ : Date : 11 January 2011





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

| FOR OFFICE USE ONLY: | |
|---|--|
| Amt. Paid _____ | Receipt No. _____ |
| Date Received <u>12/1/10</u> | |
| Received By <u>JLC</u> | |
| Parcel No. <u>0709-272-0099-2</u> | |
| Aldermanic District <u>10-Brian Solomon</u> | |
| GO <u>CU, Hist L, WAD-98, waterfront</u> | |
| Zoning District <u>R2, Hist L, W</u> | |
| For Complete Submittal | |
| Application <input checked="" type="checkbox"/> | Letter of Intent <input checked="" type="checkbox"/> |
| IDUP <u>NA</u> | Legal Descript. <input checked="" type="checkbox"/> |
| Plan Sets <input checked="" type="checkbox"/> | Zoning Text <u>NA</u> |
| Alder Notification _____ | Waiver _____ |
| Nbrhd. Assn Not. _____ | Waiver _____ |
| Date Sign Issued <u>12/1/10</u> | |

1. **Project Address:** 901 Woodrow Street **Project Area in Acres:** 55 (campus)
Project Title (if any): Edgewood College Visual and Theatre Arts Center (VTAC)

2. This is an application for:

| Zoning Map Amendment (check the appropriate box(es) in only one of the columns below) | | |
|---|--|---|
| <input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: | Rezoning to or Amendment of a PUD or PCD District: | |
| Existing Zoning: _____ to _____ | <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP | <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP |
| Proposed Zoning (ex: R1, R2T, C3): _____ | <input type="checkbox"/> Amended Gen. Dev. | <input type="checkbox"/> Amended Spec. Imp. Plan |
| <input checked="" type="checkbox"/> Conditional Use | <input checked="" type="checkbox"/> Demolition Permit | <input type="checkbox"/> Other Requests (Specify): _____ |

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Dan Carey Company: Edgewood College
Street Address: 1000 Edgewood Drive City/State: Madison, WI Zip: 53711
Telephone: (608) 663-2262 Fax: (608) 663-6717 Email: dcarey@edgewood.edu

Project Contact Person: Doug Hursh Company: Potter Lawson, Inc.
Street Address: 15 Ellis Potter Court City/State: Madison, WI Zip: 53711
Telephone: (608) 274-2741 Fax: (608) 274-3674 Email: dough@potterlawson.com

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: _____
44,000 sf Visual and Theatre Arts Center, parking for 6 cars, demolition of small residence.

Development Schedule: Commencement March, 2011 Completion March, 2012

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 3,200 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans: → The site is located within the limits of Comprehensive Plan, which recommends: "Campus" for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request: → List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices: Brian Solomon, Distr. 10 Alder (9/16/10); Dudgeon Monroe & Vilas Neighborhood Assoc 10/5/10, 10/6/10, 10/13/10
NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
Planning Staff: Tim Parks Date: 9/9/10 Zoning Staff: DAT Date: 9/9/10
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Doug Hursh Date 12/1/10
 Signature  Relation to Property Owner architect
 Authorizing Signature of Property Owner  Date 30 NOV 10

Effective May 1, 2009

December 1, 2010

City of Madison Plan Commission
Department of Planning
City of Madison
210 Martin Luther King, Jr. Blvd.
Madison, WI 53710

Letter of Intent
Visual and Theater Arts Center, Edgewood College
901 Woodrow Street
Madison, WI
PLI Project No. 2001.22.03

Dear Plan Commission members and City staff:

Attached is the application for a City of Madison Conditional Use Permit and Demolition Permit for the construction of a new Visual and Theater Arts Center on the Edgewood College Campus. Edgewood Inc. the owner of the property seeks a Demolition Permit and Conditional Use Permit for a Major Alteration of an Existing Conditional Use.

Master Plan and Existing Site

This project has been a part of the Edgewood Campus Plan since 1996. That campus plan stated that this site was planned for a new 44,000 SF classroom building of 3 stories plus a basement, and noted that there would be a parking lot for 12 cars. The site has a 1970's vintage prefabricated house that is being used for student housing for 7 students as well as a small parking lot for approximately 12 cars. The house will be demolished and the existing parking lot will be removed.

Building Site Design

The building sits on the southeastern edge of the campus, it is sited to be a part of the Edgewood Campus while reducing its impact on the neighborhood and the woods. To the north of the site there is an Indian eagle effigy mound, to the west are the single family residences along Woodrow Street, to the east lies the college library, and to the south lies a wooded area, the Park and Pleasure Drive and Lake Wingra. The building was sited to stay a safe distance from the eagle effigy mound, it is set back 70 feet from the neighborhood street and it is located a safe distance away from a 200 year old oak tree that we intend to save. Loading and trash service is located in a service courtyard that is hidden from the neighborhood. Only 6 new parking stalls are proposed and will be used for staff and barrier free parking only. More information about parking is described in the memorandum of understanding.

As part of this project the College has agreed to move the bus shelter along Monroe Street from the west side of the intersection of Monroe Street and Edgewood College Drive to the east side of the intersection, as requested by the city metro transportation department.

Facility Need and Use

The Edgewood College Art and Theater departments are located in inadequate and awkward spaces that were not intended for their current use. The art department is located in old science classrooms and the theater department is located in the basement of Regina Hall, below the dining hall. The new building will provide classrooms that are designed specifically for the art processes that will take place. It will also include a black box theater on the lower level that will be used as a classroom space for the theater department as well as for theater productions. The building will also include offices for the faculty, an art gallery and common spaces intended to help foster a sense of community.

Building Design

The proposed building is approximately 44,000 SF and will be 2 stories with a basement. The building is designed with a sloping roof and overhang to reduce the height of the building towards the neighborhood and to present a more residential form towards the neighborhood street. The classrooms surround an interior commons area, designed to foster a sense of community and encourage social interaction. The common space opens towards the woods and the lake and focus on a 200 year old oak tree that will be preserved. A stepped patio space is framed by the 2 classroom wings and provides an opportunity for outdoor classes. Brick is used to tie the building to the campus and cement board siding painted a darker bronze color is use to relate to the residential neighborhood and the woods. The black box theater is placed on the lowest level and located on the side of the building facing the residential street which allows a reduction in the number of windows facing the street. Light spillage on to the residential street is a concern by the neighborhood. Please see the Memorandum of Understanding for more information regarding the design of the building.

Sustainability

The project is pursuing LEED certification. The project will utilize several sustainable strategies to reduce energy consumption and reduce the impact of the construction on the environment.

Some of the strategies include:

- Geothermal Heat Exchange for heating and cooling
- Day light and occupancy sensors
- Variable drive fans for exhaust
- Energy Recovery unit for exhaust air
- Water saving fixtures
- Reduction of interior materials
- Construction waste recycling
- Indoor air quality management
- Use of zero VOC interior products
- Recycled content of materials
- Indigenous landscaping
- Additional Storm water retention and erosion control measures

Neighborhood Approval Process – Memorandum of Understanding

A standing Neighborhood and Campus Liaison Committee has created and signed a memorandum of understanding to document the concerns and agreements between the Edgewood Campus and the surrounding neighborhoods regarding this project. The committee has been meeting since 2001 when the college was originally proposing this project. Several changes and agreements have come about as a result of this review process and are recorded in the document. The project was presented to both the Dudgeon Monroe Neighborhood Association and the Vilas Neighborhood Association. Both association representatives have signed the memorandum.

We respectfully submit this conditional use and demolition permit application for your review.

Sincerely,



Douglas R. Hursh, AIA, LEED AP
Principal in Charge of Design
Potter Lawson Inc.

Project Information

Building Name: Visual and Theater Arts Center (VTAC)
Edgewood College

Construction Schedule Projected construction start March 2011
Construction finished by March 2012

Owner Edgewood Inc.
1000 Edgewood College Drive
Madison, WI 53711
Dan Carey, President Edgewood College
Maggie Balistreri-Clarke, Dean of Student, Neighborhood Liaison
Kathy Henry, Facilities Director
Luke Leanna, Project Manager

Architect Potter Lawson, Inc.
15 Ellis Potter Court
P.O. Box 44964 (53744-4964)
Madison, WI 53711
Doug Hursh, Principal in Charge
Jody Shaw, Project Manager
Kevin Anderson, Project Architect
John Dreher, Electrical Engineer

General Contractor J.H. Findorff & Son
300 South Bedford Street
P.O. Box 1647
Madison, WI 53701-1647
Sam Lawrence, Pre construction Project Manager
Luke Hutchins, Construction Project Manager

Structural Engineering Arnold & O'Sheridan, Inc.
1111 Deming Way, Ste. 200
Madison, WI 53717
608/821-8500 FAX: 608/821-8501
Paul Karow, Senior Structural Project Engineer

HVAC Engineer Engineering 370, LLC
370 Orchard Drive
Oregon, WI 53575
George Jolivette

Project Information (continued)

**Plumbing, Fire Protection
and Commissioning Agent**

JDR Engineering
5525 Nobel Drive, Suite 110
Madison, WI 53711
Tim Meeker, Project Manager
Chris Gehrke, Plumbing/Fire Protection Engineer

Landscape Architect

Ken Saiki Design
303 S. Paterson St., #1
Madison, WI 53703
Ken Saiki, Landscape Architect
Steve Whayland, Civil Engineer
Alissa Santuri, Landscape Designer

**External Noise/
Sound Engineer**

Wise and Associates
1409 East Skyline Drive
Madison, WI 53705
Steve Wise

Surveyor

D'Onofrio Kotke
Wayne Barsness

Building Site Size

55 Acre Edgewood Campus

Parking Requirements

No additional parking stalls are required as the new classroom facility does not add any new students to campus. The building project will include 6 parking stalls which will be used for barrier free parking and for Edgewood College staff parking only. The existing site has a total of 12 stalls and the master plan stated 12 stalls in this area. Edgewood College has agreed to reduce the parking stalls in this area due to neighborhood concerns with additional traffic and parking, as well as, the concern with the visual appearance of a larger parking lot in this area across from single family residences.

Moped Parking

Campus policy prohibits moped parking in front of the classroom building. All mopeds are parked in a central campus designated moped parking area. Due to the small size of the campus, students do not ride mopeds between classes.

Bicycle Parking

Along the sidewalk near the front entry to the building there is a designated bike parking area for approximately 28 bicycles. There are also other various bike parking areas near all the residences halls, and at the center of campus.

Descriptive notes to accompany the graphic of the Edgewood Campus Plan
November 29, 2010

The Edgewood Campus Plan Graphic has been a part of the Edgewood Campus Master Plan since 1996. It has evolved over time to respond to the needs of the three institutions as well as changes that have occurred to the natural environment, and input from the surrounding residential neighborhoods. It is not intended to be a detailed blueprint for construction. Footprints for buildings, roadways, parking lots and landscape elements shown on the graphic are place holders to communicate areas that are planned for future development. Each element is intended to be refined during the detailed design phase and will be vetted through the campus, city and neighborhood approval processes.

The numbers below correspond to those on the November 29, 2010 graphic.

1. Proposed 44,000 sf Visual and Theater Arts Center along with 6 parking stalls limited for faculty and/or staff and students with physical disabilities.
 - a. This building has been a part of the Campus Master Plan since 1996.
2. Location for future facility of 80,000 sf and parking for 231 cars that would replace the cars in the courtyard between Predolin and the Edgedome. The current thinking is to build an athletic facility in this location that would replace the Edgedome.
 - a. This facility has been a part of the Campus Master Plan since 1996.
 - b. Notes from the original Master Plan in 1996 stated: Height, setback, and other design specifications, and the specific parking allocation, will be clarified through a Conditional Use Application. The building height, design, massing, setback and landscaping shall be in proportion to and in relationship to adjacent uses.
 - c. Discussions of this footprint as a possible athletic facility were held with neighbors in 2003 during the renovation of Mazzuchelli.
 - d. The Master Plan calls for a maximum of 231 cars on this site.
3. Expansion of Chapel
 - a. Discussions of a possible renovation and expansion of the Chapel were held with neighbors in 2003 during the renovation of Mazzuchelli.
4. Replacement of the Fox Apartments with offices and/or music practice room.
 - a. This is a new change to the Campus Master Plan. The college is currently looking for alternative space for the existing music department. This change was shown to the Neighborhood Liaison Committee on November 18, 2010. The college is in the process of studying the feasibility of this location.
5. Expansion of the Dining Hall in Regina. This is projected to be a one story addition of the dining hall along with an expansion of the basement below for college functions.
 - a. Discussions of this expansion were held with neighbors in 2003 when the College planned to expand Regina Hall.
6. Addition to Regina Hall for expansion of residential housing.
 - a. This addition has been a part of the Campus Master Plan since 1996. An expansion was approved by the neighbors and the City in 2003. The footprint was modified in 2006 to remove the portion of the addition to the south to avoid disturbing a potential Indian mound.

7. Replacement of the Edgedome with a new Performing Arts Facility.
 - a. Currently ownership of the Edgedome is shared between the College and the Campus School. Any future development on this site would need to be worked out between the 2 schools.
8. Expansion of the Campus School to include a new gymnasium as well as other campus school functions.
 - a. The campus school expansion has been a part of the Campus Master Plan since 1996.
 - b. The Campus School footprints that are on the current Campus Master Plan include a gym expansion next to Dominican Hall and a small expansion to the south of the main building. These were presented to the neighbors in 2004. At that time there was support for this plan.
9. Replacement of the Siena Apartments and associated parking with a new residence hall to house 90 – 100 students.
 - a. This project was shown on the original Campus Plan from 1996.
 - b. Notes from the original Master Plan of 1996 stated: Height, setback, and other design specifications will be clarified in the Conditional Use Application.
 - c. The exact footprint of this building has not yet been finalized.
10. Expansion of the High School
 - a. The High School expansion has been a part of the Campus Master Plan since 1996.
 - b. A small expansion to the auxiliary gym is under discussion.
11. Non-residential buildings
 - a. The original Master Plan called for 2 small residential buildings east of Marshall Hall.
 - b. In a neighborhood liaison committee agreement that emerged from the Dominican Hall discussions, the College agreed to removed the 2 small residence halls depicted on the Master Plan to the east of Marshall Hall and agreed that any construction north-east of Marshall Hall and parallel to Edgewood Avenue would be for non-residential use.
 - c. Possible uses for this these non-residential buildings include small classrooms, offices or service facilities.
12. High School Remodeling
 - a. The high school is considering a plan that would add another story to the northwest corner of their facility.
 - b. The footprint for that section of campus is not expected to change.

Enrollment Projections

Campus School

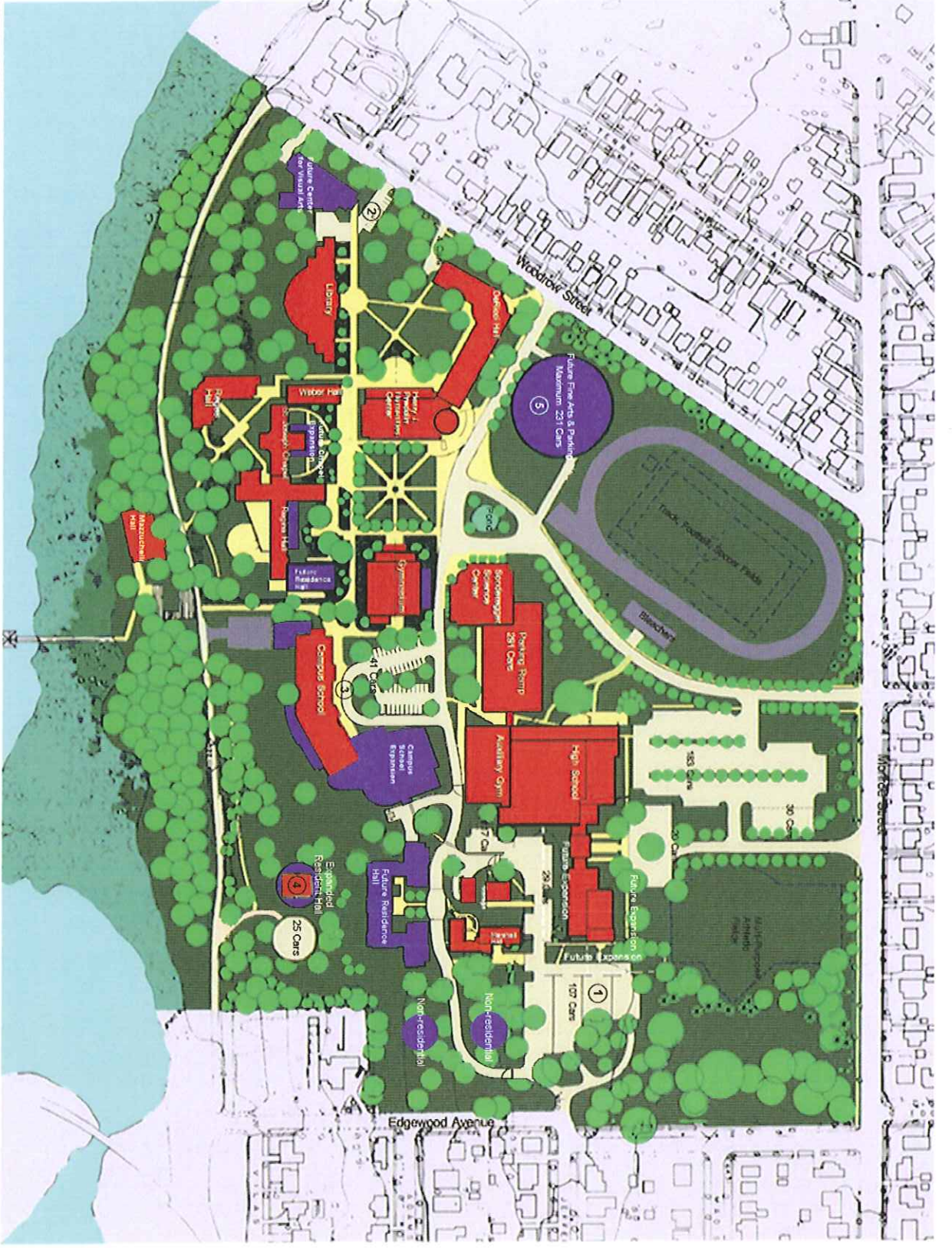
The original Master Plan stated that the enrollment of the campus school would be a maximum of 320 pupils. This continues to be the optimal enrollment number for the Campus School.

High School

The high school has a 5-year average of 650 students. The current high school enrollment is 650 students. The optimal high school enrollment would be 700 students. The original Master Plan gave a projection of 900 students which was the largest enrollment achieved in the early 1970's.

College

As stated in its Master Plan, Edgewood College anticipates an enrollment of 2400 students on its Monroe Street campus. Edgewood intends to pursue its long-standing goal of reaching an on-campus resident population of 600. Edgewood also intends to continue toward the realization of the facilities as envisioned in the Master Plan. Edgewood will continue to seek creative solutions, such as promoting our extensive shuttle program and our alternative transportation program, using off campus sites for instruction and restricting parking for resident students, to mitigate the impact of this new facility on our surrounding neighborhoods.



Edgewood Campus Plan

Madison, Wisconsin

Parking Demand at Build Out

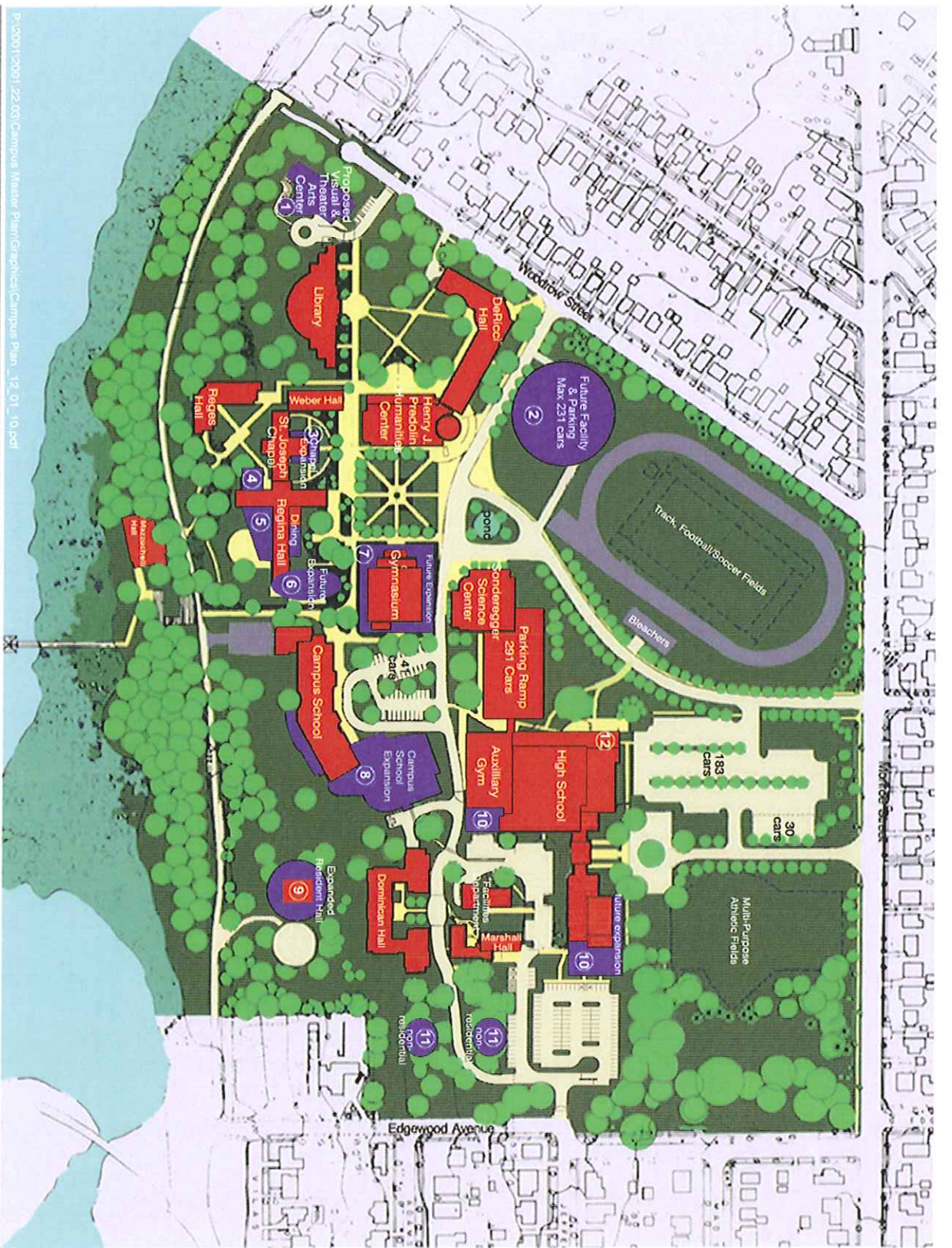
| Category | Total Sales |
|--------------------|-------------|
| College | 925 |
| High School | 323 |
| Campus School | 47 |
| Total Sales | 975 |



February 22, 2006

Potter Lawson

JJR



P:\2001\2001_22_001\Campus Master Plan\Graphics\Campus Plan_12_01_10.pdf

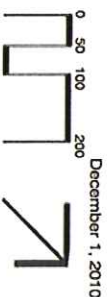
Edgewood Campus Plan

Madison, Wisconsin

Existing
Future/Proposed

Parking Demand at Build Out

| | |
|---------------------|------------|
| College | 605 |
| High School | 323 |
| Campus School | 47 |
| Total Stalls | 975 |



December 1, 2010

Potter Lawson

JJR

**Edgewood Neighborhood Liaison Committee
Memorandum of Understanding
Visual and Theatre Arts Center (VTAC)
Building at Edgewood College
November 11, 2010**

INTRODUCTION

As part of its continued orderly expansion and improvement of the Edgewood Campus, Edgewood College is proposing the construction of a Visual and Theatre Arts Building.

The Edgewood Neighborhood Liaison Committee, with the support and approval of the Councils of the Dudgeon-Monroe and Vilas Neighborhood Associations and Edgewood, Incorporated, submit this memorandum. It is intended to provide a record of consensus reached throughout consultations regarding the construction of a new visual and Theatre arts building in the southwest corner of the Edgewood College campus, and to be incorporated into the conditional use approval process as a mutually agreed to condition. It is our hope that this will be helpful both to Edgewood, Inc. and to the City of Madison during the approval process, and beyond.

The work of this committee was supplemented by one open public meeting, presentations to both neighborhood associations and an additional meeting with Woodrow Street neighbors plus numerous sub-committee meetings, sponsored by the Liaison Committee. Edgewood's Vice President for Student Development/Dean of Students, Maggie Balistreri-Clarke, managed leadership of the committee and the process of interaction between Edgewood and Potter-Lawson, the architects, its other planners including expert consultants, its faculty and staff, and the neighborhoods.

The residents of the city of Madison place high value on the established residential character of Dudgeon-Monroe and Vilas neighborhoods, and additionally place a very high value on the woods and other undeveloped areas that help characterize this unique area of the city. Edgewood shares these values. With our mutual vision of protection of our shared neighborhood and its natural resources, and in a spirit of collaboration, we proceeded to voice concerns, address issues and seek agreement.

The following document is the product of our work as the Edgewood Neighborhood Liaison Committee. This document outlines the issues and concerns raised and the subsequent agreements reached through this process.

ISSUES, RESPONSES AND AGREEMENTS

Issue: **SIZE OF BUILDING**

Neighborhood Concerns:

Neighbors felt that a building of 43,000-45,000 square feet was too large for that particular site. Since the visual arts program was originally intended to be part of the future Fine Arts Facility situated north of DeRicci Hall, a building slated to be 80,000 square feet, neighbors asked if the future Fine Arts Facility would decrease in size.

Edgewood's Response:

Edgewood College brought to everyone's attention that since the master plan was developed there has been a significant increase in enrollment in the visual arts. In order to accommodate this shifting enrollment pattern, the concept of a larger and separate Visual and Theatre Arts building was proposed. Edgewood's Master Plan is still slated to include a future facility that will be 80,000 square feet regardless of the size of the proposed Visual Arts building. The size of the proposed Visual and Theatre Arts building is not expected to have any impact on the size of the future facility.

Agreement:

The proposed Visual Arts building will be 44,000 square feet. The overall visual impact of the larger building was mitigated by the following design features. The west side of the building will be 185' long. At the north end of the building along Woodrow Street the building has a sloped roof that slopes up towards the campus and slopes down towards Woodrow Street to reduce the scale and height of the structure toward the residential neighborhood. At the north end of the building along Woodrow Street, the building will be approximately 26' feet tall from the ground to the roof overhang; the roof peak is approximately 14' taller so the building will be approximately 40' tall from the grade to the top of the sloped roof. The land slopes away toward the south, towards the lake, at this end of the site the building will be approximately 5' to 6' taller as measured from the ground.

Issues: VISUAL APPEARANCE & IMPACT

Agreement:

In order to reduce the height of the building, two full stories will be above grade, and a third lower level will be partially exposed and partially below grade. This lowers the building by two floors from the 4-story building proposed in the master plan document. This reduces the scale of the building in order to fit with the scale of the neighborhood better. Edgewood has designed the building with a shortened floor-to-roof dimension, and a roof that slopes down towards Woodrow Street, and slopes up towards the campus. This further reduces the scale of the building in order to fit with the scale of the neighborhood more appropriately.

Smaller windows are shown on a portion of the Woodrow Street elevation. The amount of the light-colored brick has been reduced on the Woodrow Street elevation as well as towards the lake, which will allow the building to blend in with the woods. Edgewood proposes to introduce another material for these elevations that is darker than the light-colored brick. This material will be painted cement board siding. Edgewood will use the darker brick color that has been used in an accent band of brick on the Predolin Center for the Humanities. This brick is slightly darker than the typical brick used on campus.

Issue: SETBACK FROM THE PARK & PLEASURE DRIVE

Agreement:

One wing will be 115' from the Park & Pleasure Drive, and the other will be 130'. The building will be located approximately the same distance to the Park & Pleasure Drive as the existing Rosewood House that will be removed.

Issue: SETBACK FROM WOODROW STREET

Agreement:

The setback from Woodrow Street will be 70'. At the southwest corner, it will be 73'. This is the same setback from Woodrow as the existing Rosewood House that will be removed.

Issue: MECHANICAL SYSTEM

Agreement:

The goal is that the building will not cause any increase in sound levels above the existing neighborhood ambient conditions. A noise survey was performed in November 2009 to establish the design target. At the time, the neighboring residential locations ranged from 43.6 to 49.3 dBA at midnight. In order to insure that mechanical systems for the new building do not add to the this background noise level, each component will be designed to a target noise emission of approximately 35 dBA as measured from the neighboring residential locations.

There will be no fans or compressors placed outside of the building. All mechanical equipment will be located within the building. The proposed geothermal system will have lower inherent sound generation than a conventional heating/cooling system. Several exhaust fans will be located inside the building. The exhaust stacks have been moved to the east side of the building closer to the campus and further away from Woodrow Street. The exhaust stacks exit the roof, but fans are internal. All fans will be fractional horsepower, characterizing them to be as small as power drills selected for low discharge sound power and connected to outlet ducts designed for further attenuation through length, elbow and if needed, acoustical liner. Energy recovery units which are also inside the building may be equipped with silencers if necessary to ensure acceptable noise emissions from the mechanical room louvers. The cyclone sawdust collector will be located within the building and be vented through the east wall, and it will have a silencer as necessary and outlet duct designed for further attenuation through length and elbows.

Since the use of the A-weighted sound level can result in two sounds at the same sound level but with distinctly different spectral characteristics and acceptability to the listeners, the acoustical engineer will continue to work with the engineering consultants and architect to minimize any noise from the building, (with input from the residents) and take measures to correct them by retrofitting if it proves necessary.

Issue: SOUNDPROOFING

Agreement:

The acoustical engineer performed a study to determine if the noise from the operation of equipment on the interior of the building would transfer to the exterior of the building and pose a noise problem for the neighborhood. The table saw that is proposed to be located in the stagecraft area, which is proposed to be located in the lower level adjacent to Woodrow Street, was used to test if its sound would be audible on the exterior. It was determined that with an exterior wall constructed of steel studs with insulation and brick or metal exterior panels, that the sound from the table saw would not provide an increase in sound levels above the existing ambient noise level of the neighborhood. The exterior walls will not be constructed with concrete block, but will be built with steel studs. The windows in the building will be inoperable.

The acoustical engineer will continue to work with the engineering consultants and architect to minimize any noise from the building, and take measures to correct them by retrofitting if it proves necessary.

Issue: FUME AND AIR-BORNE EMISSIONS

Agreement:

A number of toxic materials will be used in conjunction with painting, printmaking, photography, pottery, woodworking and welding classes. No airborne wastes will be emitted that remotely threaten air quality for the neighborhood or for the Madison area in general, and all will be well within DNR rules and regulations.

An odor filtration system is not in the scope of the project. The mechanical engineering consultant stated an odor filtration system is inappropriate for the size and scope of this building. The art faculty stated that the products used have low V.O.C.'s and/or are water-based. The proposed processes have been and continue to be used in DeRicci Hall at this time and no complaints have been registered with Edgewood in regards to odor from DeRicci Hall. Furthermore, the diluting and dispersion of air in the proposed mechanical systems will be more effective and efficient than what is currently being provided at DeRicci Hall.

The liaison committee will review this issue if odor turns out to be a problem. To the extent reasonably possible, process exhaust fans and ducts will be designed and sized, keeping in mind the possible future requirements of odor filters.

Issue: NEW FIRE DEPARTMENT ACCESS

Agreement:

Based on the architect's meeting with the Madison Fire Department the project will no longer require the additional fire access drive on the west side of the building along Woodrow Street.

Issue: DRAINAGE & RUN-OFF

Agreement:

Edgewood has designed a drainage and storm water treatment system meant to be both unobtrusive and effective in leading water runoff to site infiltration and bio-retention areas.

The City of Madison requires that the proposed storm water system will provide water quality and infiltration storm water control defined by reducing, to the maximum extent practical, total suspended solids load leaving the site by 80%, based on the average annual rainfall, as compared to no runoff management controls, and infiltration of sufficient runoff volume so that the post-development infiltration volume shall be at least 60% of the pre-development infiltration volume, based on average annual rainfall. Erosion control is also required.

The proposed storm water system has currently been designed and modeled (using the Recarga model) to provide additional storm water storage and infiltration to control 94% of the suspended solids and provide for 94% of the pre-development infiltration volume. This design has been accomplished by two "bio-retention basins for infiltration" that will be placed on the southeast corner and west side of the proposed building to retain and infiltrate water runoff from the proposed building roof and paved areas.

Edgewood has agreed to investigate and model up to a 24 inch depth below the outlet, for each of the "bio-retention basins for infiltration," which is twice the 12 inch standard depth. Approval of this additional depth for infiltration by the City will result in even better suspended solids control and total water volume infiltration than the standard requirement. The final design depth for infiltration, from the bottom of the basins to the lowest outlet elevation, will be set based on the results of the infiltration soil borings (for existing soil conditions) conducted in fall 2010. The "bio-retention basin for infiltration" final design will seek to maximize the volume of storm water infiltrated, while also ensuring the basins are able to infiltrate/drain captured storm water within 72 hours after a rainfall event, as is required by the City.

Regarding erosion control related to the bio-retention infiltration basin overflows; a combination of: trapezoidal shaped riprap level spreaders, webbed, 3 inch deep, clear stone filled erosion control lined channels and/or clear stone erosion control berms will be installed downhill from the bio-retention basin pipe overflows to prevent erosion ditches from forming downhill from the pipes.

All aspects of this solution are intended to comply with applicable sections of the existing Edgewood Woodlands document and the city of Madison Stormwater and Erosion Control Ordinance.

Issue: PARKING LOT & DELIVERIES

Agreement:

The parking spaces will be positioned on the southern side of the entry drive with headlights facing towards the proposed building. There will be semi-trucks delivering major items such as furniture on an infrequent basis. There will be a 30' buffer of landscaping from the Woodrow Street curb to the first stall. There will be 6 spaces in all, one will be a barrier-free space, and the rest reserved for faculty and staff during all hours to eliminate the cruise-for-potential-parking by everyone. A sign will be posted indicating that this is designated parking only and enforced 24/7. Edgewood's Security Department will be responsible for monitoring the lot to ensure that the lot is being used only by faculty and staff around the clock. The parking will not be assigned or reserved to specific people unless that proves to be necessary as time goes on. Currently two trucks from Waste Management service the library lot Mondays, Thursdays and Fridays. Trash is picked up on Mondays and Thursdays and recycling is picked up on Mondays and Fridays. There will be additional dumpsters for the Visual and Theatre Arts Building. Because of this additional capacity Waste Management does not foresee an increase in trips to this location. The new dumpsters will be located behind a brick screen wall near the receiving entry on the east side of the building.

Issue: PARKING LOT ENTRY

Agreement:

The entry drive will be 20' from the western tip of the eagle mound, and 20' from the southern tip. The entry will be 24' wide and will be designed to meet city of Madison standards for driveway aprons. The diameter of the internal turn-around between the library and the VA building will be 70', and the radius 35'.

Issue: LANDSCAPING

Agreement:

Additional landscaping, including evergreen plants will be planted along the curb of Woodrow by the Indian mound-prairie, and outside of De Ricci Hall's west side. The heavily landscaped screening currently along the curb of Woodrow Street will be maintained and augmented with additional plantings. Flowering bushes and plants will create a middle story of 12' high along the street edge. The bio-retention and filtration basins will be planted with a mix of indigenous flowering perennials and sedges (grass-like plants), selected for the soil moisture conditions to which they will be exposed.

Any additional landscaping along the Park & Pleasure Dive will comply with the existing Edgewood Woodlands document and requires approval by that committee.

Issue: LIGHTING

Agreement:

OUTDOOR LIGHTING: There will not be outdoor lighting along Woodrow Street. There will be ground fixtures between the VTAC building and the library for safety purposes since the building will be open until late at night. On the south side of the building facing the wooded area, there will be low lights on the patio as well as light fixtures on the exterior walls. The wall mounted lights will provide light on the patio. The emergency exit from the stair at the south end of the building will be lit. The egress path from the stairway exit to the circle driveway that faces the woods will be lit with bollards and wall mounted lights as required by code. The bollard light fixtures along the egress path going from the stairs to the circle drive will light toward the building rather than toward the wooded area. It is Edgewood's intention that all exterior lighting will be of a type designed to minimize light pollution. No acorn type light fixtures will be used.

PARKING LOT LIGHTING: There will be three pole lights in the parking lot (like the ones at the Laurel Tavern), each 10' tall utilizing cut-off housings in order to reduce the amount of glare visible from the neighborhood and the lake. At the circle driveway there will only be lighting along the building near the receiving area and to provide adequate lighting for the emergency egress path. There will be no pole lights around the south end of the circle drive.

LIGHTING OF THE WEST SIDE OF THE BUILDING: Motorized perforated fabric shades will be installed on the west side of the building within the studio spaces to cut down on nighttime spillage of internal light. The shade fabric will have 1% transparency. The blinds will be on a timer to automatically lower in the evenings.

LIGHTING ON THE NORTH SIDE OF THE BUILDING: The two-story glass entrance space from the atrium / entryway will be blocked by an extending portion of the building so that light spillage is minimized towards Woodrow Street. Windows for offices will be on the first floor and windows for classrooms will be on the 2nd floor. Edgewood does not expect the offices to be used late at night. Occupancy sensors will be used in classrooms and offices. The entrance plaza will be lit with bollards and indirect lighting on the wood canopy over the entry.

LIGHTING ON THE SOUTH SIDE OF THE BUILDING: The two-story glass portions facing the Park & Pleasure Drive will be lit in such a way as to reduce direct glare from light fixtures as seen from the surrounding woodlands. There will be 2 wall mounted lights at the patio area, there will be no pole mounted lights, and the sidewalk will be lit with bollards that have back shields so the light is directed toward the building and not the woods. There will be louvered LED step lights as needed for safety.

INTERIOR LIGHTING OF THE ATRIUM AND ENTRY WAY: The entryway and the atrium have floor-to-ceiling windows. The entry glass faces north towards DeRicci Hall and east into campus, the atrium space faces south toward the wooded area. There will be an effort made to design the atrium and entryway so that no direct light fixture will create glare to the exterior.

Direct lighting will be used to maximize efficiency of the light fixtures in the entry and atrium space. The light fixtures near the glass facing the wooded area will be turned perpendicular to the glass and the fixtures will have parabolic baffles to shield the lamps from view, this will help to reduce the amount of light spillage from the interior of the building. The light fixtures spread light on the long sides and not from the ends, so the perpendicular arrangement helps to spread the light in the building and not out through the glass. The lights in all spaces except the theater will be on occupancy sensors and day light sensors, so when enough daylight comes through the windows the lights will be off, and when no one trips the occupancy sensors the lights will be off. So when the building is not occupied all of the lights will be off.

Issue: HOURS OF OPERATION

Agreement:

The building is expected to be unlocked from 6:00 am until 10:00 pm Monday through Friday. Students will be allowed to remain in the building to continue their work. Those requiring access for special projects will be given swipe access on an 'as needed' basis allowing them to enter until midnight. We do not expect to allow students to be in the building past 2:00 am. Any students in the building beyond 10:00 pm will be expected to abide by the noise and light policy established for the building.

On weekends – the building is expected to be unlocked from 9:00 am until 5:00 pm unless an event is scheduled. Students would not typically have afterhours access without prior approval.

Issue: BLACK BOX THEATRE

Agreement:

The current theater in the basement of Regina seats approximately 80 people, the new Black Box will seat approximately 113 to 134 people when it is configured to hold the most people. We would expect that any public performances expected to generate more than 134 people to be scheduled in Anderson Auditorium in Predolin Humanities Center which holds 259, as is currently the case.

The Black Box theatre is expected to serve primarily as a Theatre Arts department classroom. This space is intended for classes, rehearsals, co-curricular events and other academic activities associated with the Theatre Arts department. Because of the emphasis on educational theater, the process of mounting a show is as important as the performance; therefore, the use of this space for general public performances is expected to be about 3%, based on hourly use for a 30 week academic year. For the 2010 – 11 Regina Theatre season, there are 4 shows scheduled for a total of 20 performances. These are spread over 7 weekends from September through April. A typical performance schedule includes 2 weekends with 1 performance on Fridays and 2 performances on Saturday. Included in the 20 performances is a Thursday night performance of the show expected to be the most popular, such as for *Brigadoon* in the current season. The number of shows is not expected to expand in the future. Shows typically end at 10:30 pm.

Edgewood will study adding a sidewalk that will allow patrons and students of the VTAC to connect to the covered walkway on the north side of the library. This will keep patrons accessing the VTAC out of the weather as much as possible, as they walk from on-campus parking to the facility.

Edgewood will actively work to minimize the impact of traffic by theatre attendees upon Woodrow Street. For all VTAC activities, the College publicity and documents will use 1000 Edgewood College Drive as the address for the facility and take other measures, to encourage the use of the central drive and interior parking lots for all traffic and parking associated with the VTAC. These measures will include the following: the Theater Department box office will add information about parking on the central drive to the voicemail and email responses to ticket requests; all theater cast and crew members will be asked to instruct anyone coming to their performances to be sure to use the Central Drive and campus parking; Security will arrange a golf cart shuttle from Regina to the VTAC for anyone needing assistance getting to the facility during the first season and monitor the impact of this practice on reducing traffic; if needed a sign will be placed at the top of Woodrow stating that the VTAC parking is accessed through the Central Drive. The liaison committee or a designated sub-committee will monitor the results of these strategies after theater performances so that we may adjust our strategies as needed to minimize cruising and noise associated with public performances.

Edgewood will work with our alders to request that the City of Madison Engineering Division Geospatial Information and Mapping Services (MADMAPS) to add Edgewood College Drive to official city maps so that the entrance to the College is depicted as coming off of Monroe Street. Edgewood will also request that electronic mapping services such as Mapquest and Google maps list the VTAC address as 1000 Edgewood College Drive.

Issue: USE OF BLACK BOX THEATRE BY OUTSIDE GROUPS

Agreement:

During the academic year, the Black Box Theatre will be a Theatre Arts department classroom. Therefore, we expect no public performances to be held that are not sponsored by the Theatre Arts department during the academic year. For any use of the Black Box Theatre by outside groups, The Campus Assistance Center (CAC) staff will put our expectations for use of the Black Box Theatre as part of the contract process including the need to use 1000 Edgewood College Drive as the address for any publicity. Groups will need to state specifically on tickets and in any publicity that parking for the facility is available through the Central Drive only. Security will arrange for a shuttle as needed for anyone needing assistance from campus parking to the VTAC.

A Campus Assistance Center staff will take responsibility for ensuring that liaison committee members are alerted for any non-Theater Department public performances held in the Black Box Theatre so as to alert neighbors of the possibility of noise and traffic. Debrief sessions with liaison committee members will be held after public performances to monitor the effectiveness of our efforts to minimize the impact of noise and traffic on the neighborhood.

For as long as is needed, the liaison committee will be asked to monitor both the proactive steps that are taken to avoid noise and traffic on Woodrow associated with public performances and also to evaluate the results of these efforts. The college will alert the liaison committee members regarding performances intended for general public patronage that are not on the Theatre Arts Department schedule both during the academic year and during the summer months. Our intent is to prevent the generation of noise and traffic in the neighborhood and to keep our neighbors informed of public performance events that could have an impact on our neighborhood. Edgewood will actively work to minimize the impact of traffic at curtain time or post-performance by theatre attendees on Woodrow Street.

Issue: FUTURE QUAD

Agreement:

There will be drive lanes through the future campus quad between The Predolin Center and the Edgedome to allow for garbage pick-up and service. The proposed Woodrow Street access drive has been designed to service only the library and the new VA building. There is no expectation for any other use.

Issue: COLLEGE ENROLLMENT

As stated in its Master Plan, Edgewood College anticipates an enrollment of 2400 students on its Monroe Street campus. Edgewood intends to pursue its long-standing goal of reaching an on-campus resident population of 600. Edgewood also intends to continue toward the realization of the facilities as envisioned in the Master Plan. Edgewood will continue to seek creative solutions, such as promoting our extensive shuttle program and our alternative transportation program, using off campus sites for instruction and restricting parking for resident students, to mitigate the impact of this new facility on our surrounding neighborhoods.

Issue: LEED® Certification

As an extension of our commitment to environmental responsibility, the College will seek certification as verification of its efforts to design and construct the VTAC in adherence to U.S.Green Building Council's LEED® standards.

EDGEWOOD NEIGHBORHOOD LIAISON COMMITTEE MEMBERS
AND NEIGHBORHOOD ASSOCIATION PRESIDENTS

Shawn Schey 11-29-10
Shawn Schey Date
Dudgeon-Monroe Neighborhood Assoc.

Jon Standridge 11/30/10
Jon Standridge Date
Vilas Neighborhood Association

Daryl K. Sherman 11.29.10
Daryl K. Sherman Date
Dudgeon Monroe Neighborhood Association

Bill Stern 11/29/10
Bill Stern Date
Vilas Neighborhood Association

Lynn Pitman 11/18/10
Lynn Pitman, President Date
Dudgeon Monroe Neighborhood Association

Kay Cahill Date
Kay Cahill Date
Vilas Neighborhood Association

Sister Kathleen Malone Date
Sister Kathleen Malone Date
President, Edgewood Campus School

Brad Ricker 11/16/10
Brad Ricker Date
President, Vilas Neighborhood Association

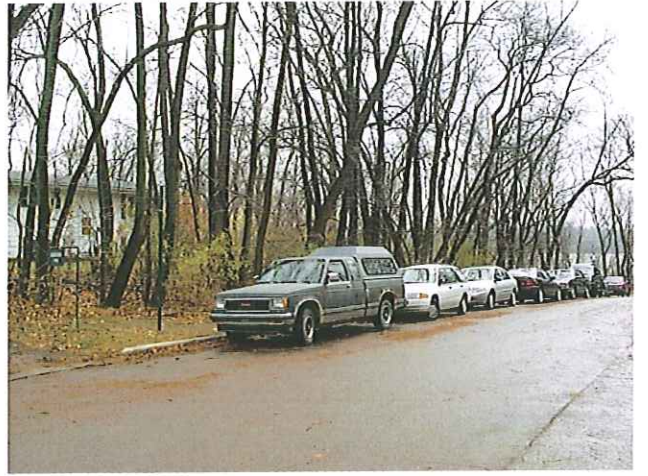
Erin Bykowski 11-16-10
Erin Bykowski Date
Parking Coordinator, Edgewood College

Judd Schemmel 11/16/10
Judd Schemmel Date
President, Edgewood High School

Maggie Balistreri-Clarke 11.16.10
Maggie Balistreri-Clarke Date
Dean of Students, Edgewood College



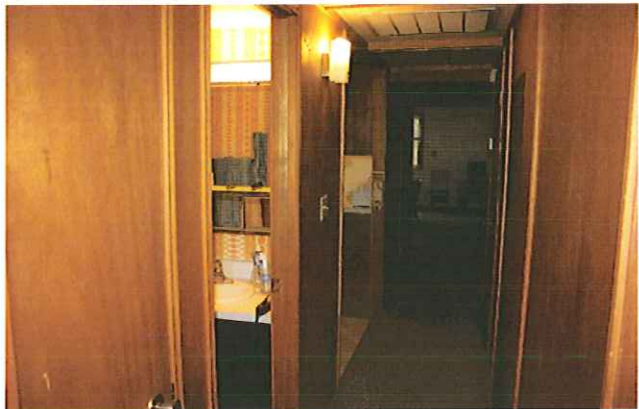
Site Aerial



Site Context Photos



Existing House Photos (exterior)



Existing House Photos (interior)



Conceptual Illustrations



Conceptual Illustrations



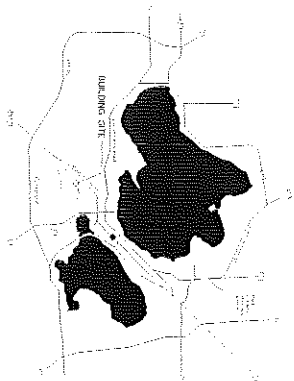
Conceptual Illustrations

EDGEWOOD COLLEGE Visual and Theatre Arts Center

901 Woodrow Street - Madison, WI
 PLI # 2001.22.03
 Permit Set

DRAWING INDEX

| NO. | DESCRIPTION | PERMIT SET | | CONTRACT BOOK | |
|-------------------------------|-------------------|------------|---|---------------|---|
| | | 1 | 2 | 1 | 2 |
| GENERAL SITE LANDSCAPE | | | | | |
| 001 | GENERAL SITE PLAN | X | | | |
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Potter Lawson

15 Ellis Potter Court
 Madison, Wisconsin
 53711
 (608) 274-2741
 fax: 274-3674

Potter Lawson

Consultant

Name

901 Woodrow Street - Madison, WI

EDGEWOOD COLLEGE
 Visual and Theatre Arts
 Center

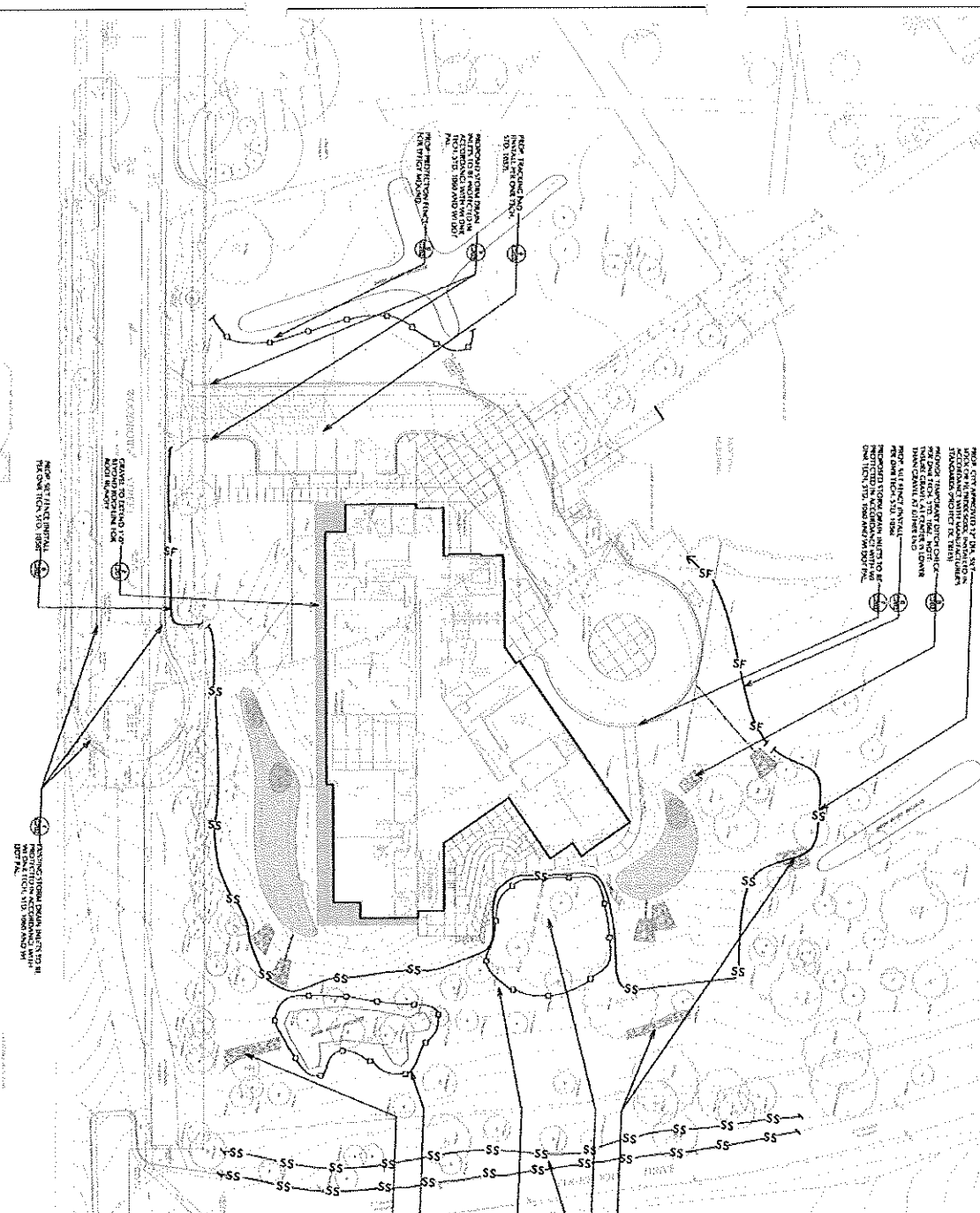
COVER DRAWING

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- EROSION CONTROL GENERAL NOTES**
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 PROVIDE SILT FILTER ON ALL PAVING OPERATION FOR LOWER LEVEL FOUNDATIONS AND ASSOCIATED GRADING.
 INSTALL SILT FENCE AND SILT SOCKS WHERE SHOWN AND PRELATE RULES.

Project Information

Client: **Edgewood College**

Address: **301 Woodson St., Madison, Wisconsin**

Project Name: **EROSION CONTROL PLAN**

Project No: **C101**

Legend

SF SILT FENCE

SS SILT SOCK

--- PROTECTION FENCE

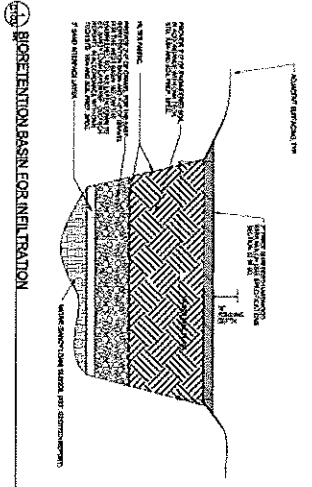
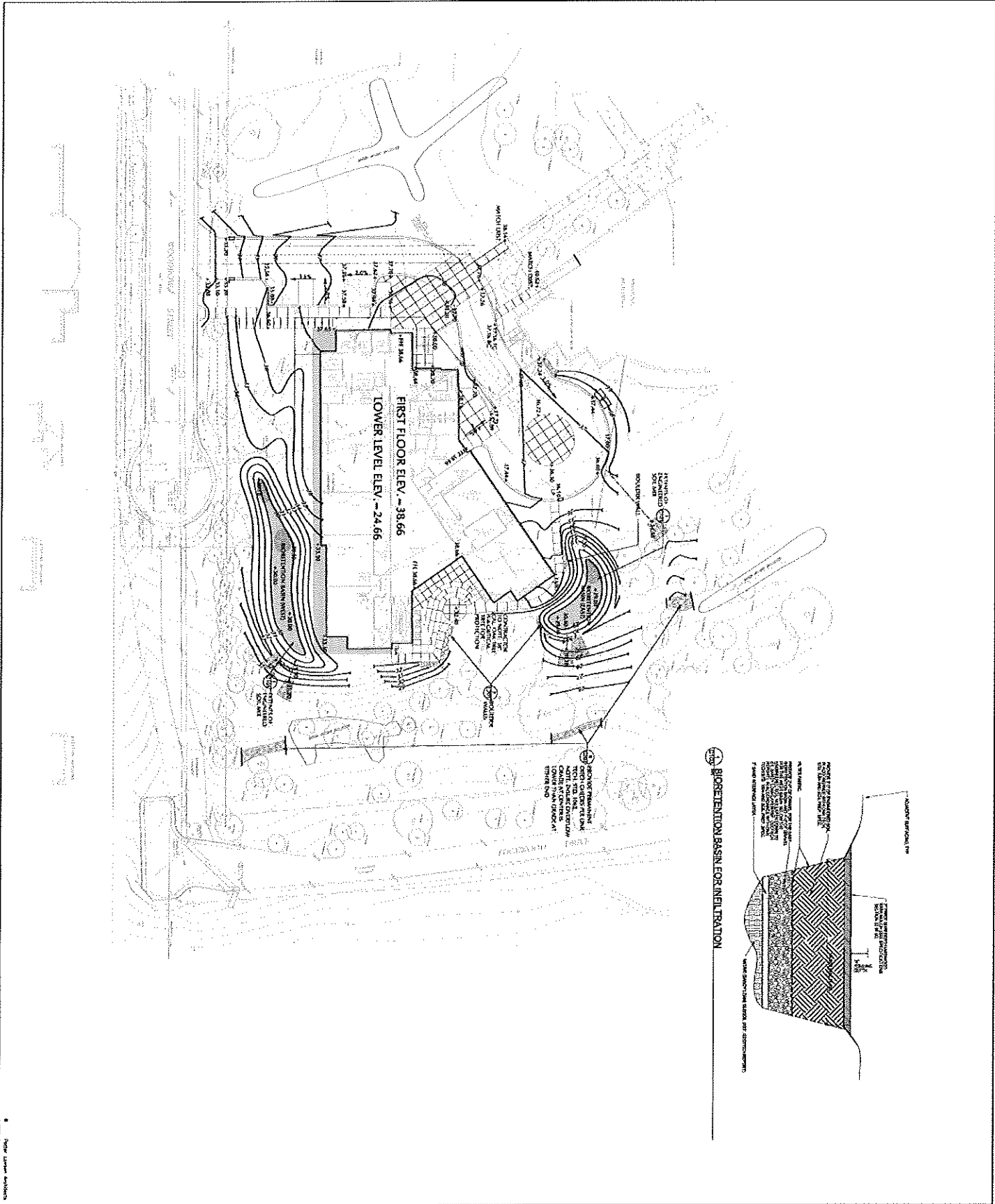
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North Arrow



Potter Lawson

CONSULTANTS



Potter Lawson Associates, Inc.
1000 North Lincoln Street
Madison, WI 53703
608.261.1111

Notes:



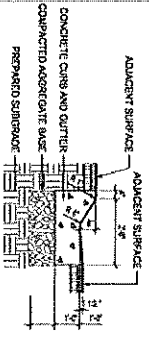
| Date | Revised/Updated | By |
|----------|------------------------------|----|
| 1/23/13 | Final Set | MM |
| 12/11/12 | Final Construction Documents | MM |
| 10/27/12 | Final Construction Documents | MM |
| 09/27/12 | Final Construction Documents | MM |
| 08/27/12 | Final Construction Documents | MM |
| 07/27/12 | Final Construction Documents | MM |
| 06/27/12 | Final Construction Documents | MM |
| 05/27/12 | Final Construction Documents | MM |
| 04/27/12 | Final Construction Documents | MM |
| 03/27/12 | Final Construction Documents | MM |
| 02/27/12 | Final Construction Documents | MM |
| 01/27/12 | Final Construction Documents | MM |

EDGEWOOD COLLEGE
Vital and Thomas Ales
Owner
901 WOODROW DR.
MADISON, WISCONSIN

SITE GRADING PLAN

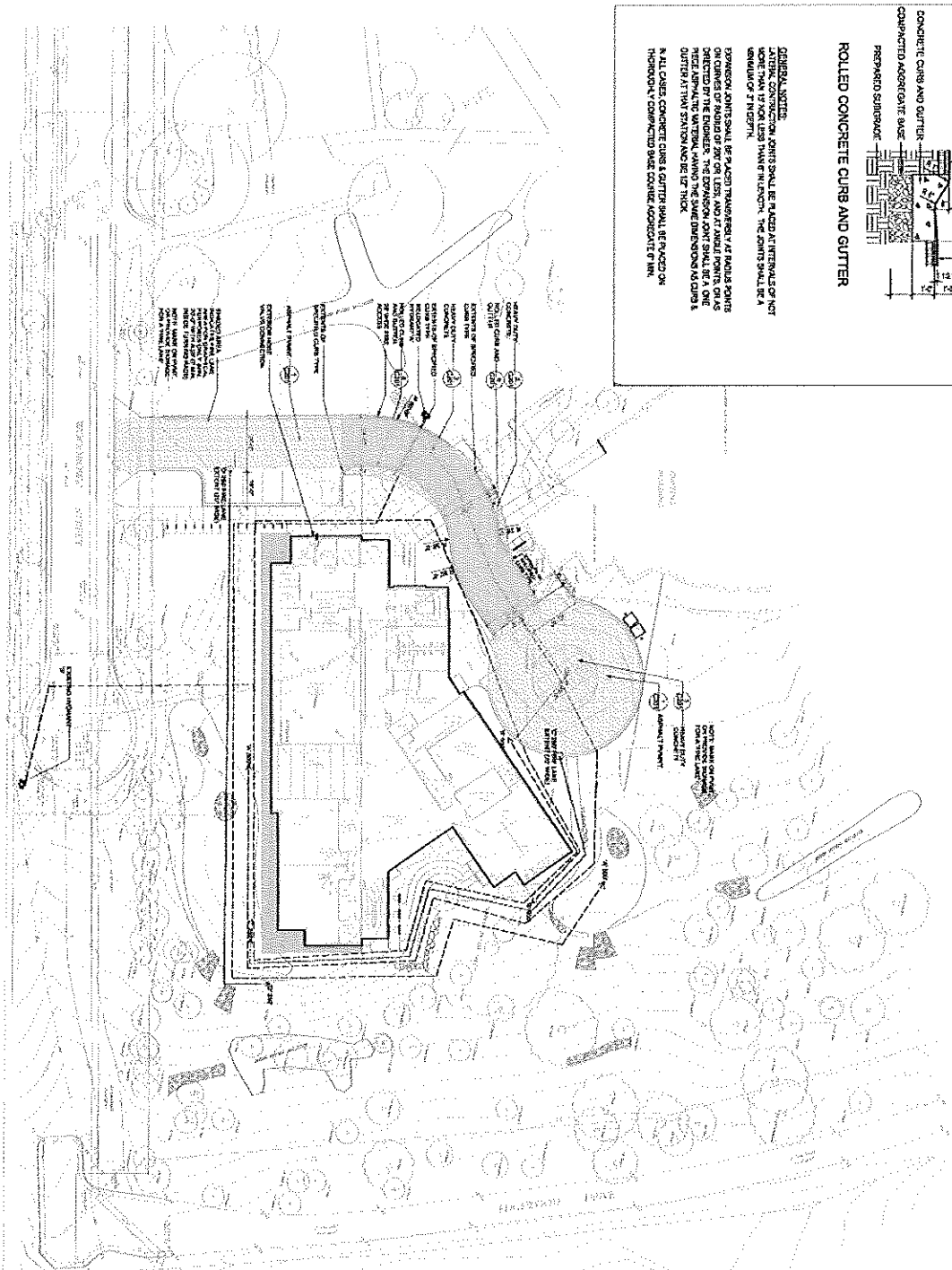
Project No. C103

• Other Large Buildings



ROLLED CONCRETE CURB AND GUTTER

GENERAL NOTES:
 ALL CURB, CONCRETE CURB & GUTTER SHALL BE A MINIMUM OF 1/8" THICK.
 ALL CURB, CONCRETE CURB & GUTTER SHALL BE A MINIMUM OF 1/8" THICK.
 ALL CURB, CONCRETE CURB & GUTTER SHALL BE A MINIMUM OF 1/8" THICK.
 ALL CURB, CONCRETE CURB & GUTTER SHALL BE A MINIMUM OF 1/8" THICK.



- FIRE ACCESS GENERAL NOTES:**
1. BUILDING IS COMPLETELY PROTECTED BY AN NFPA 73 AUTOMATIC FIRE SPRINKLER SYSTEM
 2. FIRE LANE FROM WOODROW ST. TO THE END OF THE TURN AROUND CALLED BACK IS A MIN. 20' WIDE AND SLOPE IS NO GREATER THAN 6%
 3. ALL PORTIONS OF THE EXTERIOR BUILDING WALL ARE WITHIN 250' OF THE FIRE LANE
 4. A FEW APPARATUS FIRE LANE (20' WIDE) IS AVAILABLE TO SW. OF THE NORTH SIDE OF THE BUILDING AND 75% OF THE EAST SIDE OF THE BUILDING
 5. ALL PORTIONS OF THE EXTERIOR BUILDING WALL ARE WITHIN 300' OF TWO FIRE HYDRANTS

Peter Lawson

Consultant:



Notes:

| NO. | DATE | DESCRIPTION |
|-----|---------|-----------------------------|
| 1 | 1/27/16 | Final Set |
| 2 | 2/2/16 | 100% Construction Documents |
| 3 | 2/2/16 | 100% Construction Documents |
| 4 | 2/2/16 | 100% Construction Documents |
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EDGEWOOD COLLEGE
 Visual and Technical Arts
 Center
 801 WOODROW ST.
 MADISON, WISCONSIN

FIRE ACCESS PLAN

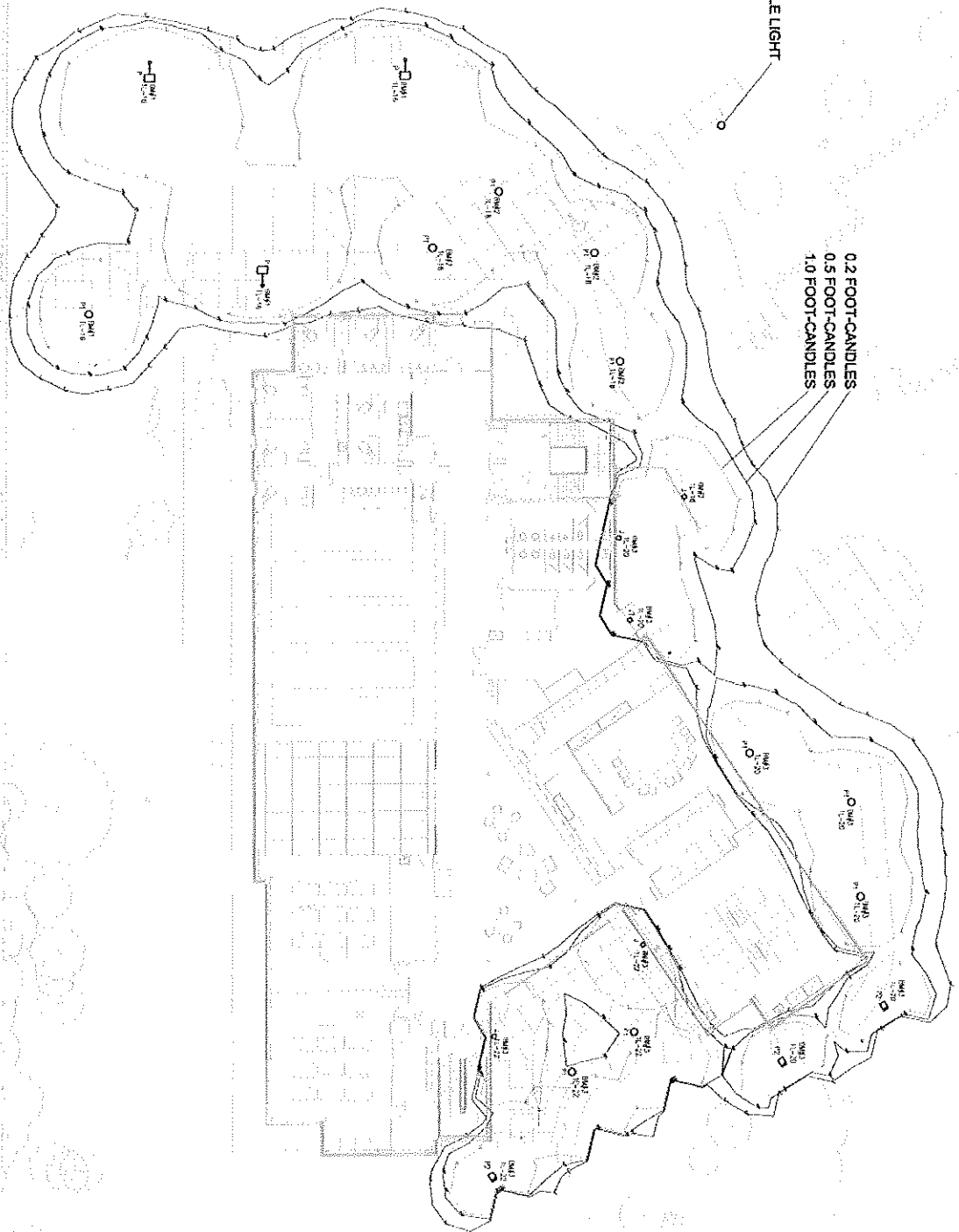
Project No. C105

EXISTING BUILDING

SEE CIVIL DRAWINGS
HIGHLAND CAMPUS RENOVATION

EXISTING POLE LIGHT

0.2 FOOT-CANDLES
0.5 FOOT-CANDLES
1.0 FOOT-CANDLES



1 ELECTRICAL SITE PLAN



© 2001 Potter Lawson Architects

Potter Lawson

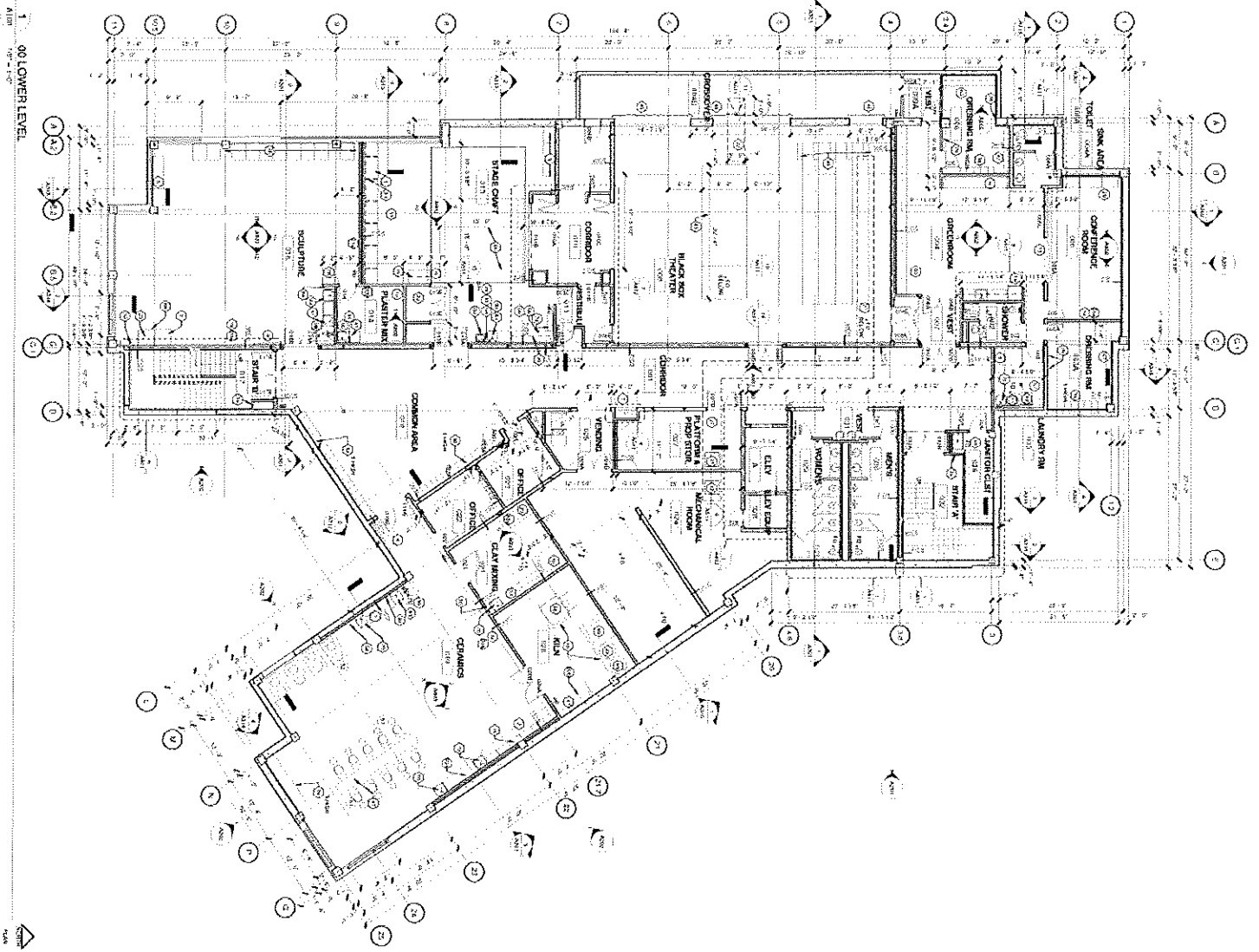
Consultants:

Notes:

EDGEWOOD COLLEGE
Vance and Thompson Ales
Campus
1017 Wallace Street
MADISON, INDIANAPOLIS

ELECTRICAL SITE PLAN

Project No. **E002**



1 00 LOWER LEVEL

1/4" = 1'-0"

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Potter Lawson

Architects

300 Madison Street, Madison, WI

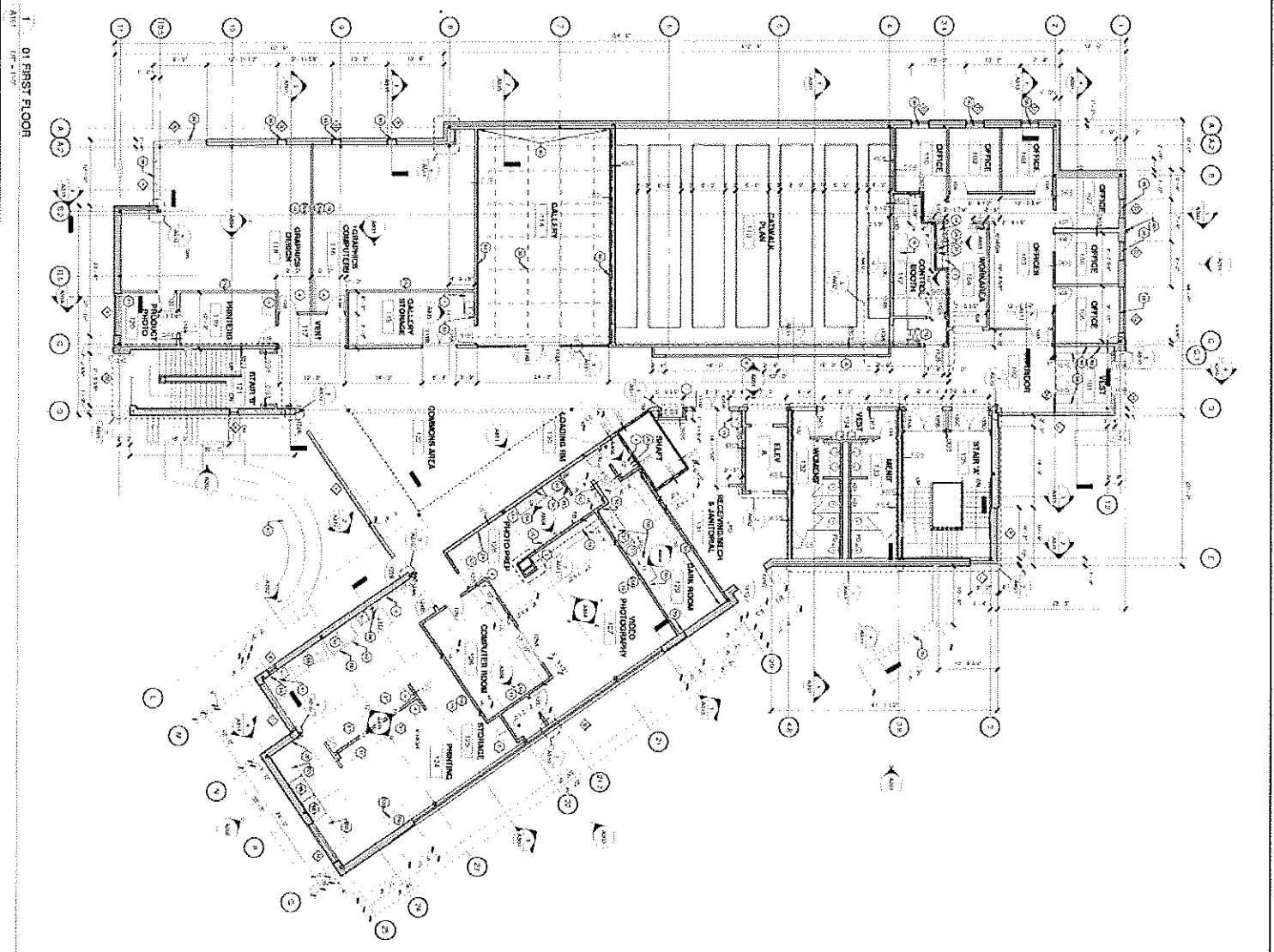
EDGEWOOD COLLEGE
Visual and Theatre Arts
Center

001 Madison Street, Madison, WI

LOWER LEVEL PLAN

A100

| NO. | REVISION | DATE |
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01 FIRST FLOOR



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Potter Lawson

351 Madison Street, Madison, WI

608.261.1234

EDGEWOOD COLLEGE

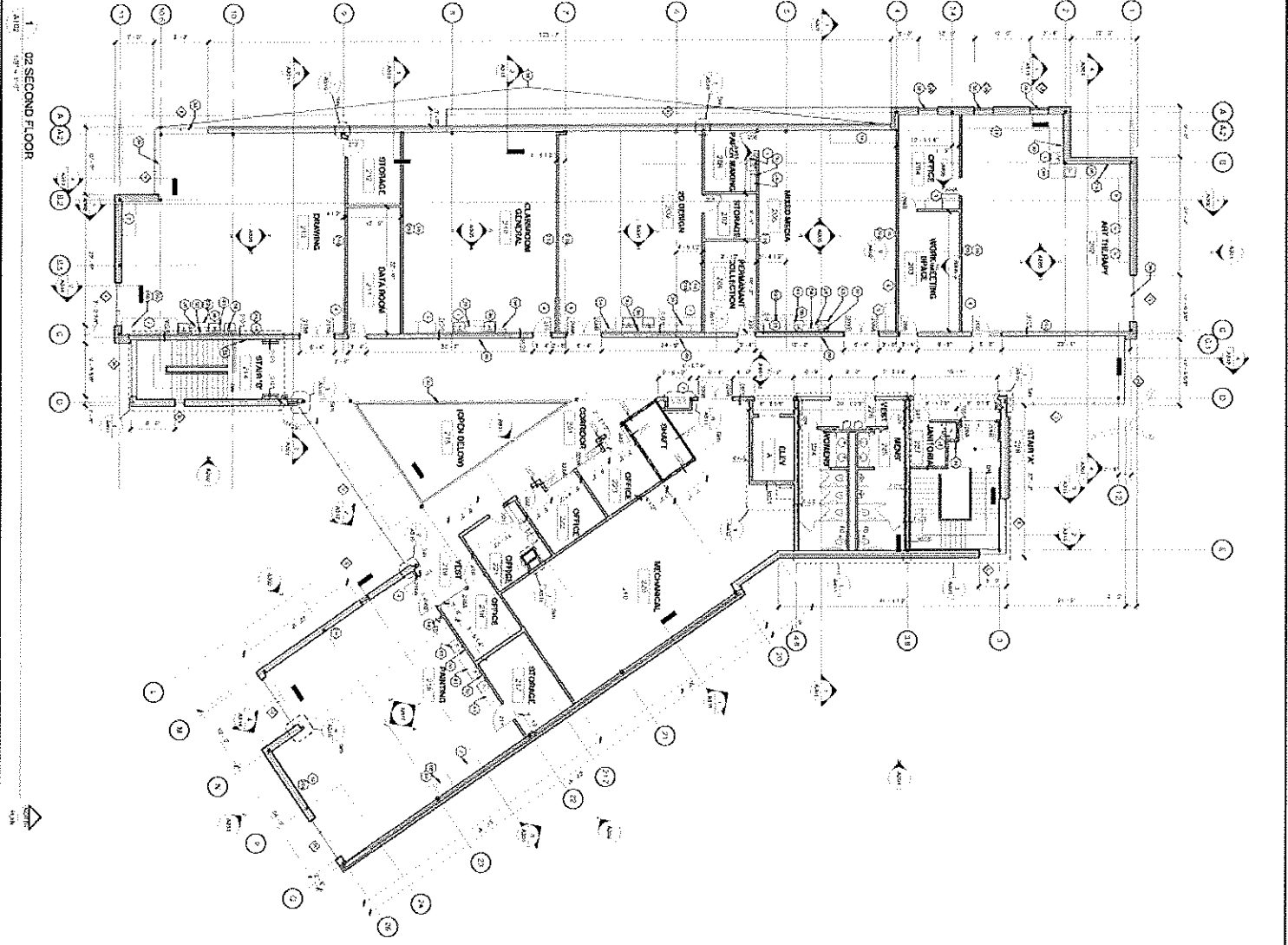
Visual and Theatre Arts Center

351 Madison Street, Madison, WI

608.261.1234

FIRST FLOOR PLAN

A101



- 1. 2x4 STUDENT WORK AREA
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- 25. 2x4 STUDENT WORK AREA

Edgewood College
Visual and Theatre Arts Center

501 Madison Street, Madison, WI

Potter Lawson

Architects

SECOND FLOOR PLAN

A102

DATE: 11/25/2015

TIME: 12:48 PM

2010

**PARKING AND TRANSPORTATION
MANAGEMENT PLAN**



EDGEWOOD COLLEGE

Transportation Overview

The Edgewood College community is comprised of approximately 3000 faculty, staff and students.

Members of the Edgewood Community travel to the Monroe Street campus via car, Madison Metro City Bus, Edgewood College Shuttle, on mopeds, motorcycles, bikes and on foot. Parking on campus is available for 550 vehicles. The College has committed considerable human and financial resources to increasing alternative transportation options and usage. The primary goals of these efforts are 1) to reduce the demand for parking on campus and 2) to minimize noise, traffic and parking in the neighborhood surrounding campus. The College has met considerable success toward the achievement of these goals.

An example of parking management can be seen in the shift in the number of parking permits issued. During the 2009-10 school year, approximately 250 faculty/staff permits and over 1200 commuter permits were distributed. These numbers were down from the previous year by 200 permits and it is expected that another decrease will occur during 2010-11 school year. This decrease is largely due to an increase in the number of people using alternative transportation.

While commuter permits are down this year, the number of resident student permits is up. Prior to 2007, the College housed 350 students on campus. Less than 100 resident parking spaces were given out each year to upperclassmen. In 2007, the college opened a new residence hall, adding 198 resident students. Many of these students require a vehicle to work outside jobs to fund the cost of attending a private institution. In many cases, the local transit system does not meet the needs of these students.

Initially, resident parking was limited to 100 spaces in order to ensure space for commuter students. This led to an overflow of student parking in the neighborhoods surrounding the college. In order to take pressure off parking in the neighborhood, 30 more residents were allowed to park in 2008. To further reduce the number of cars parking in the neighborhood, the College no longer limits the number of permits available to residents.

As the college continued to grow, resources and energy were invested into seeking creative transportation options to meet the needs of the community. The College re-formulated its Parking and Transportation Committee and created a charge to develop programs and regulations to find solutions to the changing parking situation on campus. Additionally, the college works closely with the surrounding neighborhoods through a Neighborhood Liaison Committee. Representatives on this committee bring forward concerns and work together to solve issues. These committees along with the Transportation Office have improved parking on campus and in the neighborhoods through a variety of different methods. These groups continue to seek solutions as problems arise.

Implemented Strategies

- **Parking and Transportation Coordinator** – In 2008 the College committed resources to hire a full-time coordinator. The Coordinator is a member of the Security Department and oversees all aspects of the College's Parking and Transportation Program.
- **Commuter Shuttle Program**- In 2006, the college implemented a commuter shuttle program. The shuttle program began with one location at a church parking lot near Westgate Mall. The first year 25 participants signed up. By fully participating in the program employees earned incentives such as extra days off and coupons for meals. The shuttle program has been growing ever since its inception. The shuttle program now operates from two different locations, Westwood Christian Church and Star Cinema. For fall 2010, with an aggressive marketing campaign and an increase in participation benefits, over 130 participants signed up for the shuttle program.
- **Carpool Program** – The College designated a convenient, reserved carpool lot for carpool groups of two or more. Participants are encouraged to carpool with reserved parking, reduced permit rates and incentives.
- **Madison Metro Program** – The Transportation Office conducted a major marketing campaign to advertise College-subsidized Madison Metro bus passes which are available at no cost to

students, faculty and staff. The campaign led to an increase in the number of passes distributed. The College issued over 2000 passes in 2009-10 which was an increase of close to 400 passes over the previous year. These numbers are expected to increase during the 2010-11 academic year.

- **Safe Ride Shuttle Program** – The safe ride program began in fall 2007 to provide transportation for students living nearby or on campus. The program offers shuttles to students from campus to Monroe, Regent, Park and Lake Streets and University Avenue. Each year the average ridership has continued to climb, now reaching close to 400 students each weekend. Over the 2009 Halloween weekend alone the college had well over 1000 students participating. This program has greatly reduced foot and vehicle traffic in the neighborhood and increased the safety of our students.
- **Sustainable Transportation** - The Alternative Transportation Program supports a walking and biking program that rewards and recognizes those who participate in sustainable transportation. Those in the program have signed pledges not to drive to campus and to use mass transit or walk or bike to campus.
- **Campus Parking Lots** – The creation of a faculty and staff-only parking lot on the east end of campus has been successful in relieving the congested main lots located in the center of campus. The main lots are now more readily available for student use. In addition to the creation of an employee-only lot, the gate on the east end of campus is closed from 11 pm – 5 am daily. This measure is designed to reduce student vehicular and pedestrian traffic on Edgewood Avenue.
- **New Hire Policy** – As of July 1, 2008 a new full-time hire campus parking policy was implemented. New hires are not immediately eligible for an on-campus parking permit. New full-time hires are expected to participate in the alternative transportation program. These employees are only granted a parking space if one becomes available in the campus lot on the east end of the campus.

- **Storage Lot-** Freshmen students who have a need for a car near campus are allowed to park at the College’s storage lot, located off Odana Road. These spaces are provided to reduce the number of students parking in the neighborhood. Permits for this lot are free to students.
- **Madison Police Department-**The College continues to work with the Madison Police Department to monitor and enforce parking regulations and behavior in the neighborhood. The city has agreed to commit additional parking enforcement to the area as well as nighttime coverage by the police department. This has greatly discouraged parking on the East End of campus.
- **First Year Students-**First time resident students are not eligible to receive a parking permit. This policy is shared with students throughout their application process to the College. Parents and students are reminded of this policy during advising and registration days which take place during the summer months before the new academic year begins.

Proposed Edgewood College Parking and Transportation Plan

Visual Theatre Arts Center

| Goal/ Desired Outcome | Strategies | Timeline |
|---|---|--|
| Maintain current parking space vacancy rate on campus | Continued shuttle and bus ridership <ul style="list-style-type: none"> • Continued marketing • New hires must ride the shuttle • Continued incentives • Continual assessment and improvement | Continued |
| Maintain current parking space vacancy rate on campus | Provide residents with transportation alternatives to bringing a car to campus <ul style="list-style-type: none"> • Maintain current Safe Ride ridership through marketing, assessment and improvements • Continue to offer storage parking at an off campus location • Continued education on Madison Metro | Continued Dec 2010 for Shopping Shuttle |

| | | |
|--|---|-----------|
| | <ul style="list-style-type: none"> • Implement a “Shopping Shuttle” program | |
| Reduce Demand for Parking | <ul style="list-style-type: none"> • Market alternative transportation options – bus, bike, walk, scooter, etc • Increase parking fees for faculty/staff in main lots – (Library, Regina, DeRicci) | Continued |
| Assess strategies implemented | <ul style="list-style-type: none"> • Neighborhood Meetings • Surveys | Continued |
| Specific Efforts to Reduce Impact of VTAC on Neighborhood | <ul style="list-style-type: none"> • Limit parking at VTAC: 5 regular parking spaces are available, 1 disabled • Regular parking stalls will be reserved spaces, preventing drivers from driving up and down Woodrow “searching” for parking. • All marketing materials will list Edgewood College Drive as the main entrance to the college and that parking is only available on the main part of campus • All theater cast and crew members will be asked to instruct anyone coming to their performances to be sure to use the Central Drive and campus parking; • Security will arrange a golf cart shuttle from Regina to the VTAC for anyone needing assistance getting to the facility during the first season and monitor the impact of this practice on reducing traffic; • Limit hours of building operation and number of theatre productions • Continue to work with City Police to target parking violators in surrounding neighborhoods • If needed a sign will be placed at the top of Woodrow stating that the VTAC parking is accessed through the Central Drive. • Work with neighbors to modify parking regulations in the neighborhood as necessary once the VTAC opens | |

Parking Study: Woodrow and Terry Streets

To set a pre-VTAC benchmark, the college collected data in fall 2010, to determine the number of cars parked on Woodrow and Terry streets during specific days and times. Vehicles were counted on two different days. The first day being over Fall Break in mid-October at the college when Faculty and Students are typically not present at the college. The second date was a Wednesday when classes were in session. Wednesdays are typically the highest traffic day at the college.

Pre-VTAC Car Count

| Time periods | Woodrow St. | Terry Place |
|--|-------------|-------------|
| Fall Break: October 11 th , 2010-10:00 am | 32 | 15 |
| Wednesday: October 27 th , 2010- 10:00 am | 35 | 25 |

Conclusion

Edgewood College has committed extensive human and financial resources toward the accomplishment of the goals to 1) reduce the demand for parking on campus and 2) minimize noise and traffic in the

neighborhood. Many creative solutions have been put into place and the College community has responded well to these efforts. Indicators of the success of these efforts include the increase of students, faculty and staff participating in various alternative transportation programs and the decrease in complaints from neighbors living in the surrounding areas.

The College is committed to continuing to work with the Edgewood Neighborhood Liaison Committee to monitor our current programs and to mitigate the impact of current and future building projects on traffic, parking and noise in the neighborhoods that surround campus. Page | 7

For further information contact:

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