

by HILTON™

TRU by Hilton
8102 WATTS ROAD
MADISON, WI 53719

UDC FINAL / PLANNING
COMMISSION
NOVEMBER 30, 2016

PROJECT LOCATION MAP:



PROJECT ROOM MATRIX

tru Madison West									
Floor	Double Queens			Kings			Total	SquareFootage	
	Standard D/Q	ACC D/Q	Roll-In D/Q	Standard King	ACC KING	Roll-In KING			
1	6	0	0	5	0	1	12	11973	
2	11	0	1	18	1	0	31	11584	
3	11	1	0	18	1	0	31	11584	
4	11	1	0	18	1	0	31	11584	
Totals	39	2	1	59	3	1	105	46725	
		40%			60%		100%		

Parking Stalls					
ACC-Parking Stalls	4	Non ACC-Parking Stalls	93	Total	97

Site Information	
Total Site Square footage	76,055

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JOB #201245

OWNER:

MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN 53562
PHONE: (608) 836-6060
FAX: (608) 836-6399
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ARCHITECT:

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PROJECT: TRU BY HILTON
8102 WATTS ROAD
MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562-0994

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PROJECT: 201245
DRAWN BY: MJB
DATE:
SCALE: AS NOTED
UDC INFORMATIONAL 07/27/2016
DAT 07/28/2016
UDC / PLANNING COM. 10/26/2016
DIOCESE SUBMITTAL 10/26/2016
UDC / PLANNING COM. 11/30/2016

PROJECT
INFORMATION
AND CONTACTS



SITE IMAGE:



ADJACENT BUILDINGS:



AERIAL IMAGES:



GARY BRINK ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53542
608-829-1758
608-829-1064 (FAX)



PROJECT:
TRU BY HILTON
830 WATTS ROAD
MADISON, WISCONSIN 53719

CLIENT:
MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53662-0994

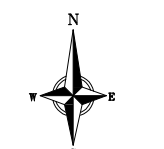
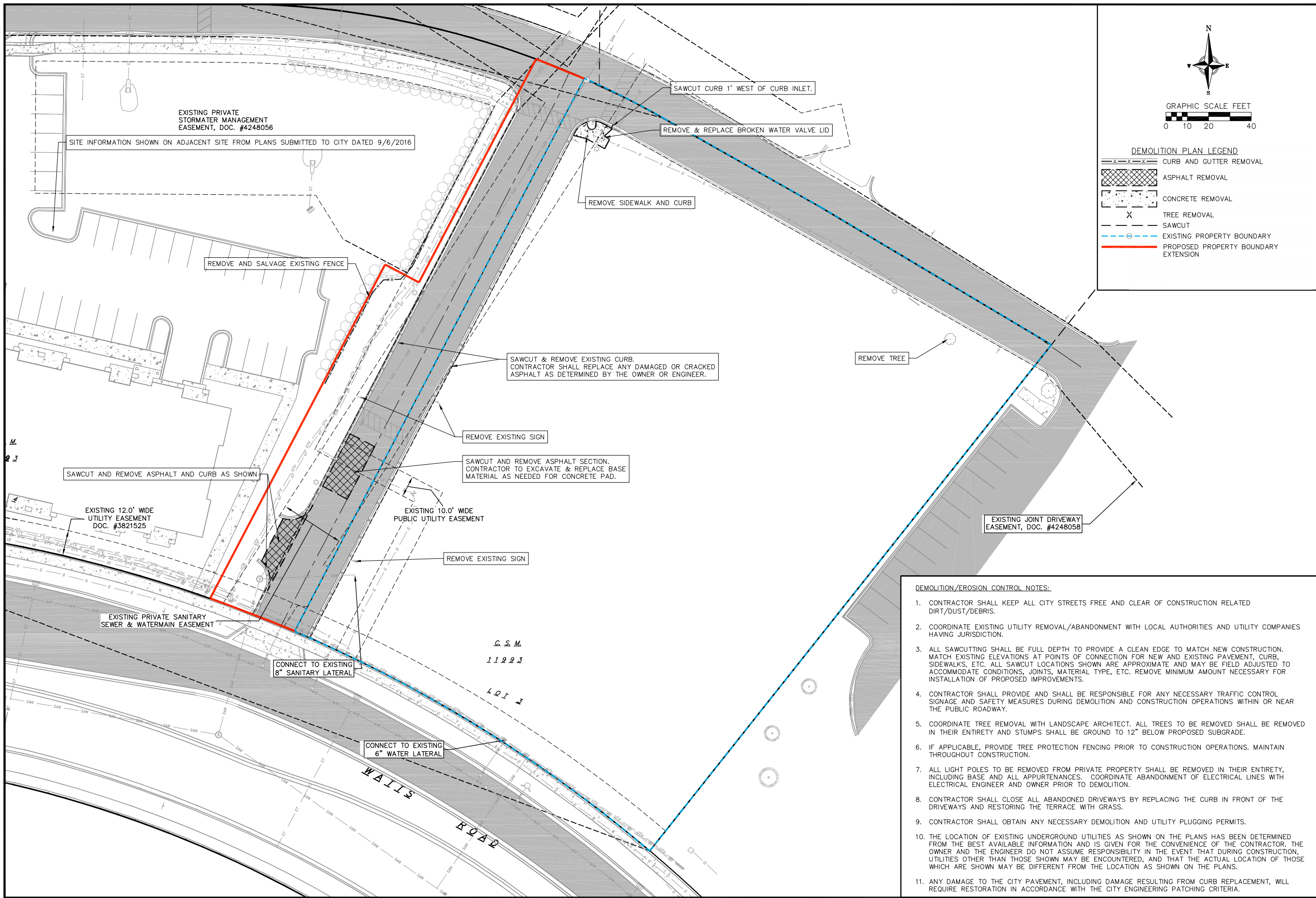
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PROJECT: 201245
DRAWN BY: EC.01
DATE: MJB
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UDC / PLANNING.COM: 10/26/2016
DOCKET SUBMIT: 10/26/2016
UDC / PLANNING.COM: 11/30/2016

EXISTING
SITE
CONDITIONS
EC.01

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DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	TREE REMOVAL
	SAWCUT
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY EXTENSION

- DEMOLITION/EROSION CONTROL NOTES:**
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 - COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 - ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 - COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
 - IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 - ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 - CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 - ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

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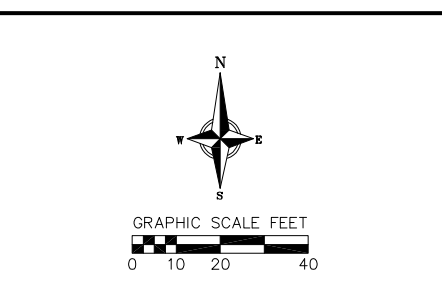
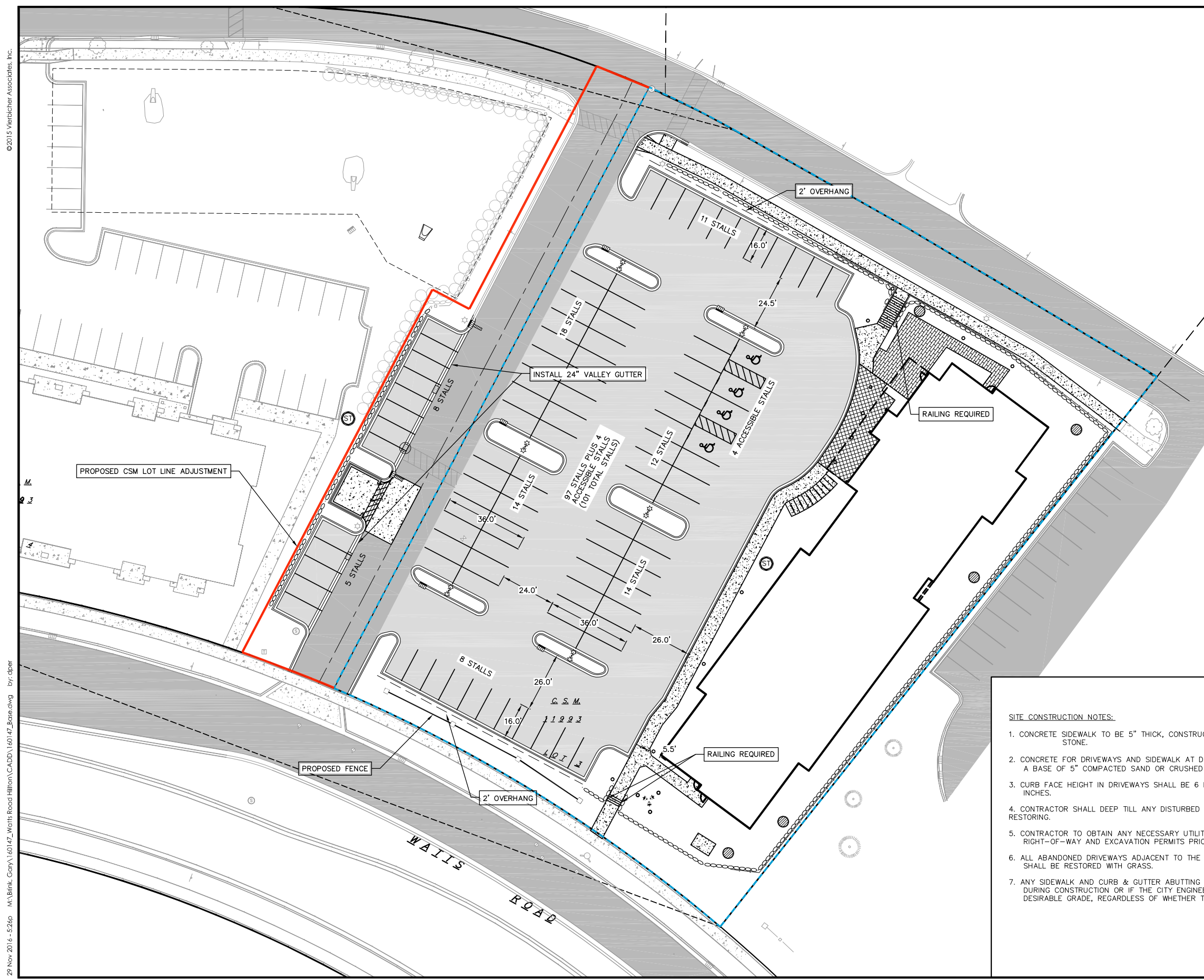
DEMOLITION PLAN
 TRU BY HILTON
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 11/30/2016
 DRAFTER: ACAR/dper
 CHECKED: TSCH
 PROJECT NO.: 160147

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SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER
- PROPOSED RAIL/FENCE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING ASPHALT
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED SIGN
- PROPOSED HANDICAP PARKING
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY EXTENSION

- SITE CONSTRUCTION NOTES:**
1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 3. CURB FACE HEIGHT IN DRIVEWAYS SHALL BE 6 INCHES. CURB FACE IN PARKING LOTS SHALL BE 4 INCHES.
 4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
 5. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
 7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

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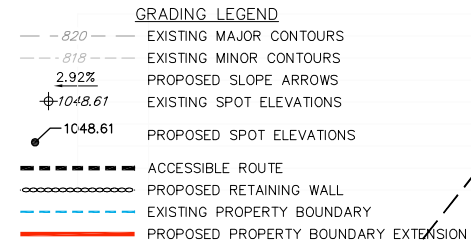
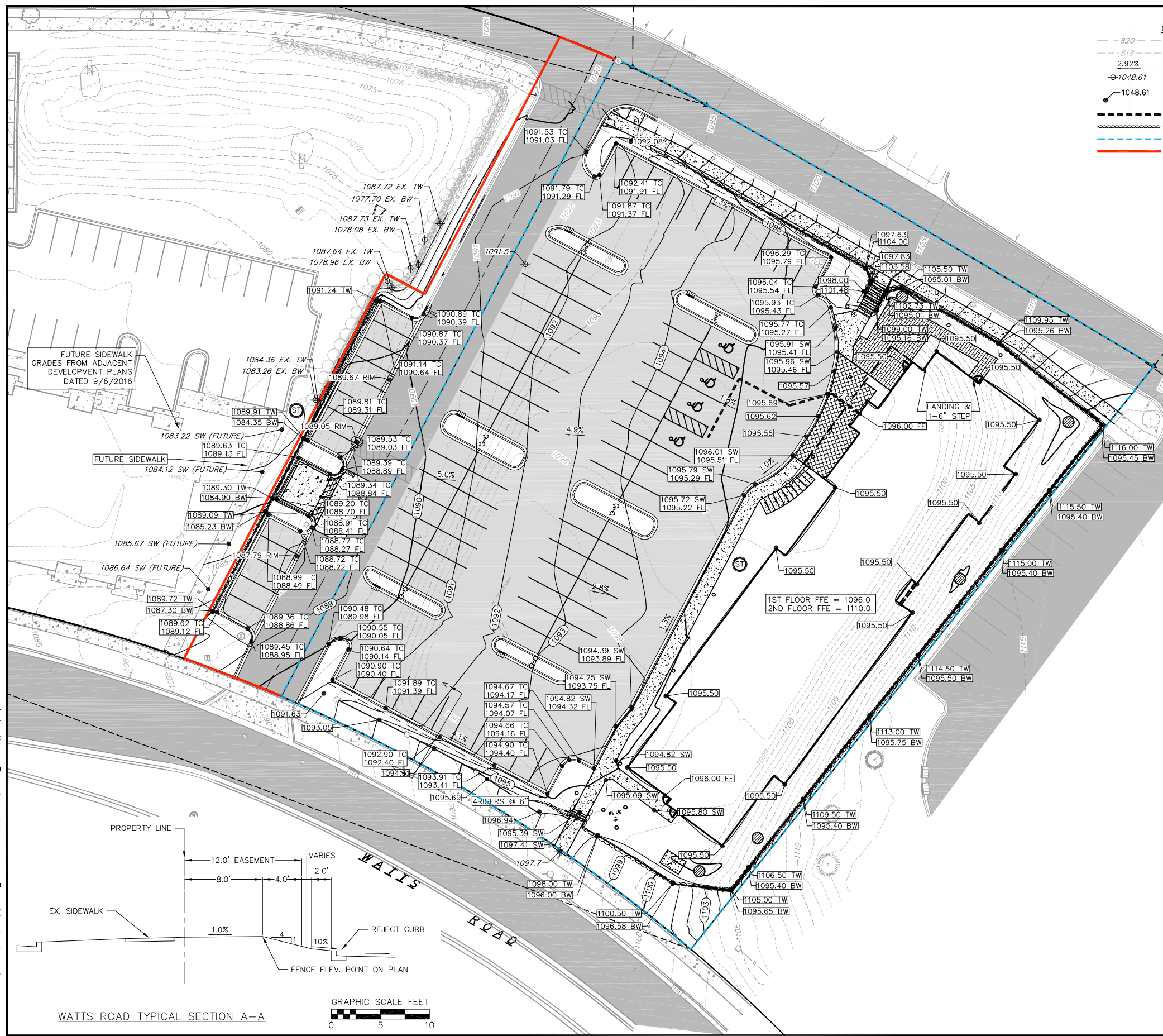
SITE PLAN
 TRU BY HILTON
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

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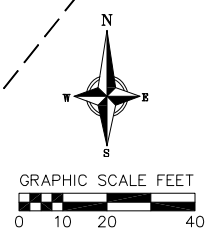
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ABBREVIATIONS

TC	=	TOP OF CURB
FF	=	FINISHED FLOOR ELEVATION
SW	=	SIDEWALK
FL	=	FLOWLINE
P	=	PAVEMENT
TS	=	TOP OF STAIRS
BS	=	BOTTOM OF STAIRS
TW	=	TOP OF WALL
BW	=	BOTTOM OF WALL
R	=	RIM ELEVATION



GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- INSTALL A 50' L X 20' W X 1.5' D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL W DOT TYPE D PROTECTION IN EXISTING CURB INLETS AND W DOT TYPE A IN FIELD INLETS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGNERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.

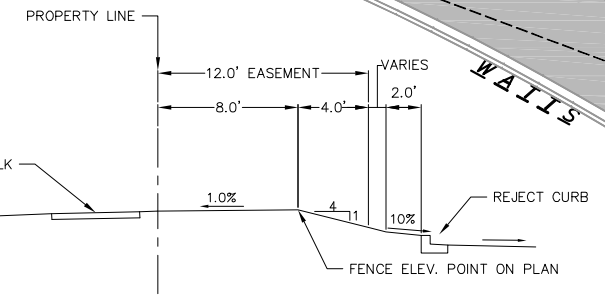
GRADING AND EROSION CONTROL PLAN
TRU BY HILTON
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE	11/30/2016
DRAFTER	ACAR/dper
CHECKED	TSCH
PROJECT NO.	106147

WATTS ROAD TYPICAL SECTION A-A



EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT, DOC. #4248056

EXISTING JOINT DRIVEWAY EASEMENT, DOC. #4248058

EXISTING 12.0' WIDE UTILITY EASEMENT DOC. #3821525

EXISTING PRIVATE SANITARY SEWER & WATERMAIN EASEMENT

CONNECT TO EXISTING 8" SANITARY LATERAL

CONNECT TO EXISTING 6" WATER LATERAL

EXISTING 10.0' WIDE PUBLIC UTILITY EASEMENT

ROOF INFILTRATION



- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER ENDWALL
 - STORM SEWER CURB INLET
 - STORM SEWER CURB INLET W/MANHOLE
 - STORM SEWER FIELD INLET
 - ROOF DRAIN CLEANOUT
 - SANITARY SEWER PIPE (GRAVITY)
 - WATER SERVICE LATERAL PIPE
 - GAS MAIN
 - ELECTRIC SERVICE
 - EXISTING PROPERTY BOUNDARY
 - PROPOSED PROPERTY BOUNDARY EXTENSION

UTILITY NOTES:

1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
9. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
10. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
11. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
12. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
13. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
14. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
15. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
16. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
18. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

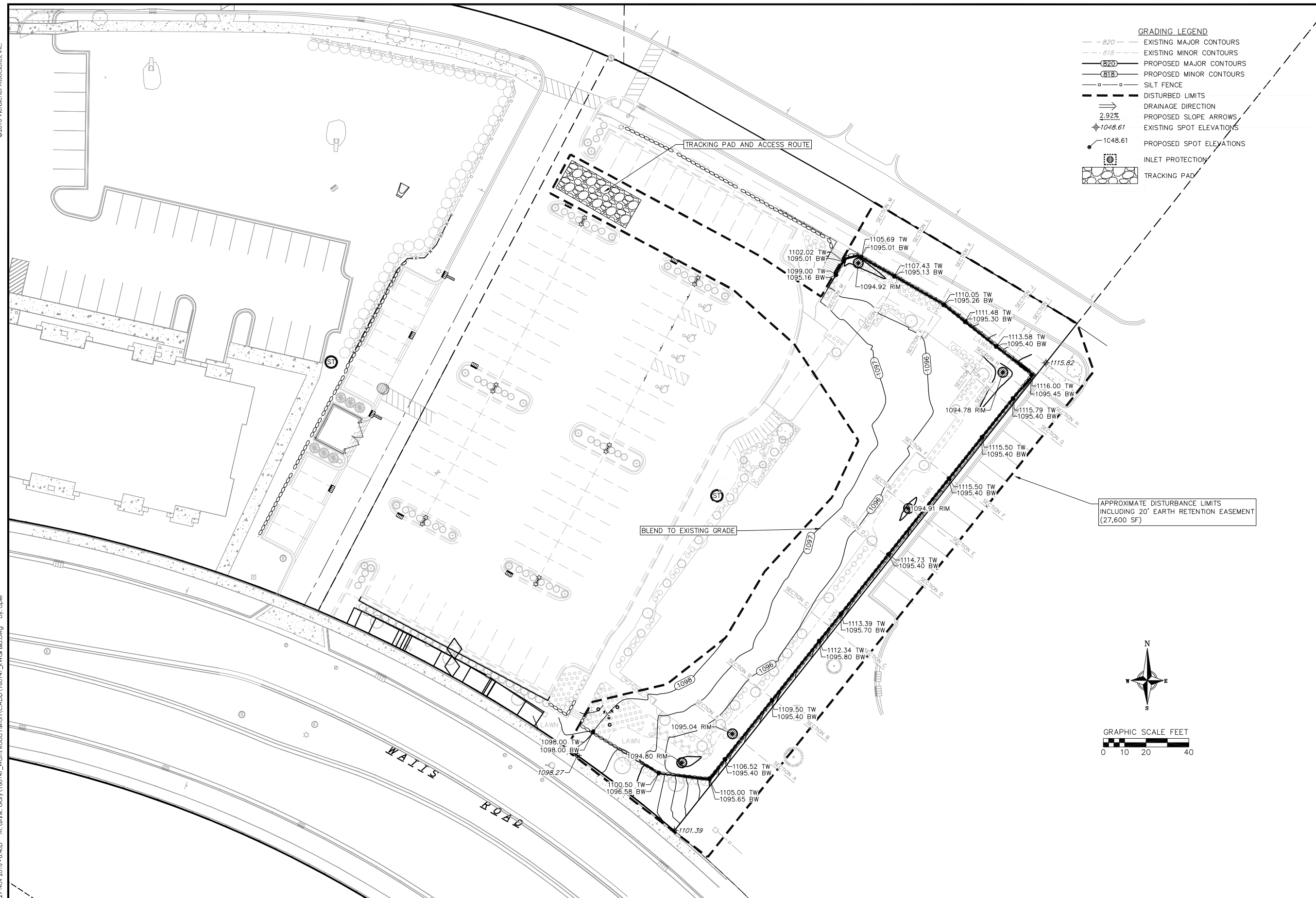
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UTILITY PLAN
 TRU BY HILTON
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

NO.	REVISIONS	
	DATE	REMARKS

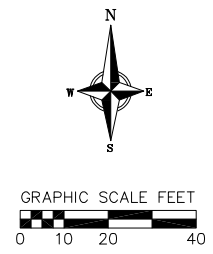
SCALE: AS SHOWN
 DATE: 11/30/2016
 DRAFTER: ACAR/dper
 CHECKED: TSCH
 PROJECT NO.: 160147

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- GRADING LEGEND**
- 820 - EXISTING MAJOR CONTOURS
 - 818 - EXISTING MINOR CONTOURS
 - 820 - PROPOSED MAJOR CONTOURS
 - 818 - PROPOSED MINOR CONTOURS
 - - - - SILT FENCE
 - - - - DISTURBED LIMITS
 - >->- DRAINAGE DIRECTION
 - >->- 2.92% PROPOSED SLOPE ARROWS
 - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
 - ⊕ 1048.61 PROPOSED SPOT ELEVATIONS
 - ⊕ INLET PROTECTION
 - ▨ TRACKING PAD

APPROXIMATE DISTURBANCE LIMITS INCLUDING 20' EARTH RETENTION EASEMENT (27,600 SF)



RETAINING WALL INTERIM GRADING PLAN
TRU BY HILTON
CITY OF MADISON
DANE COUNTY, WISCONSIN

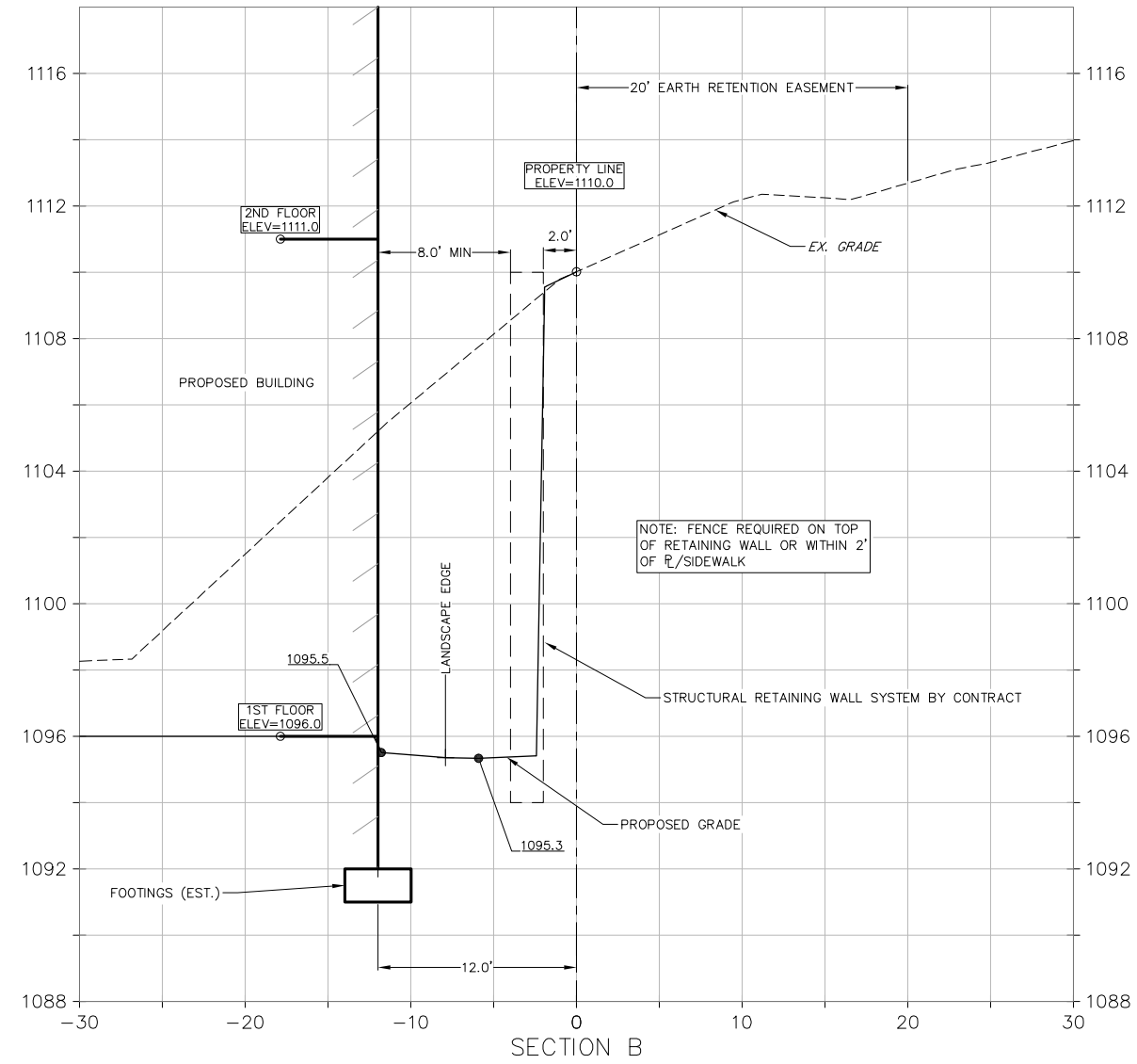
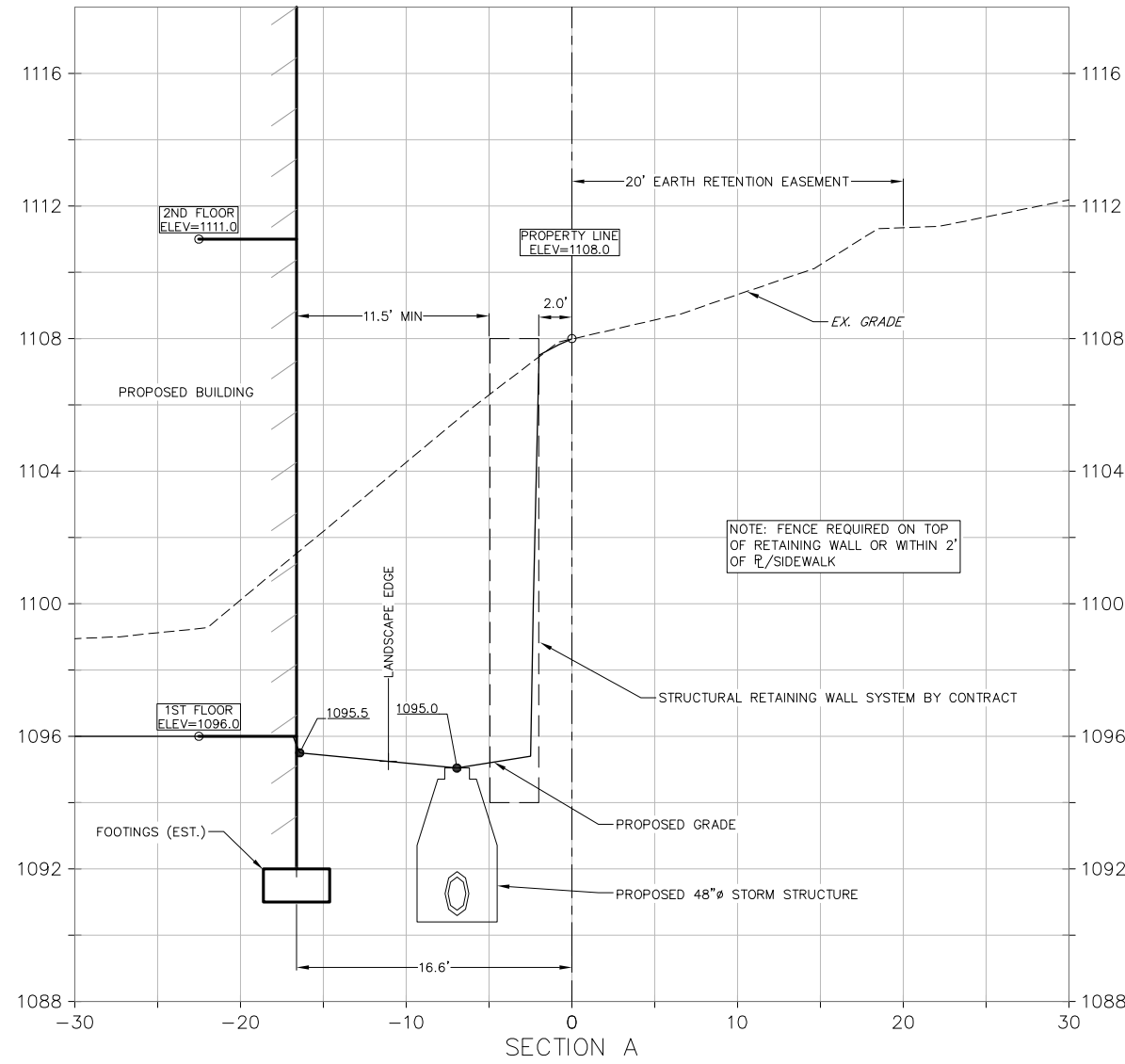
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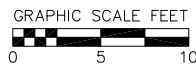
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24X36
1"=5' HORIZONTAL
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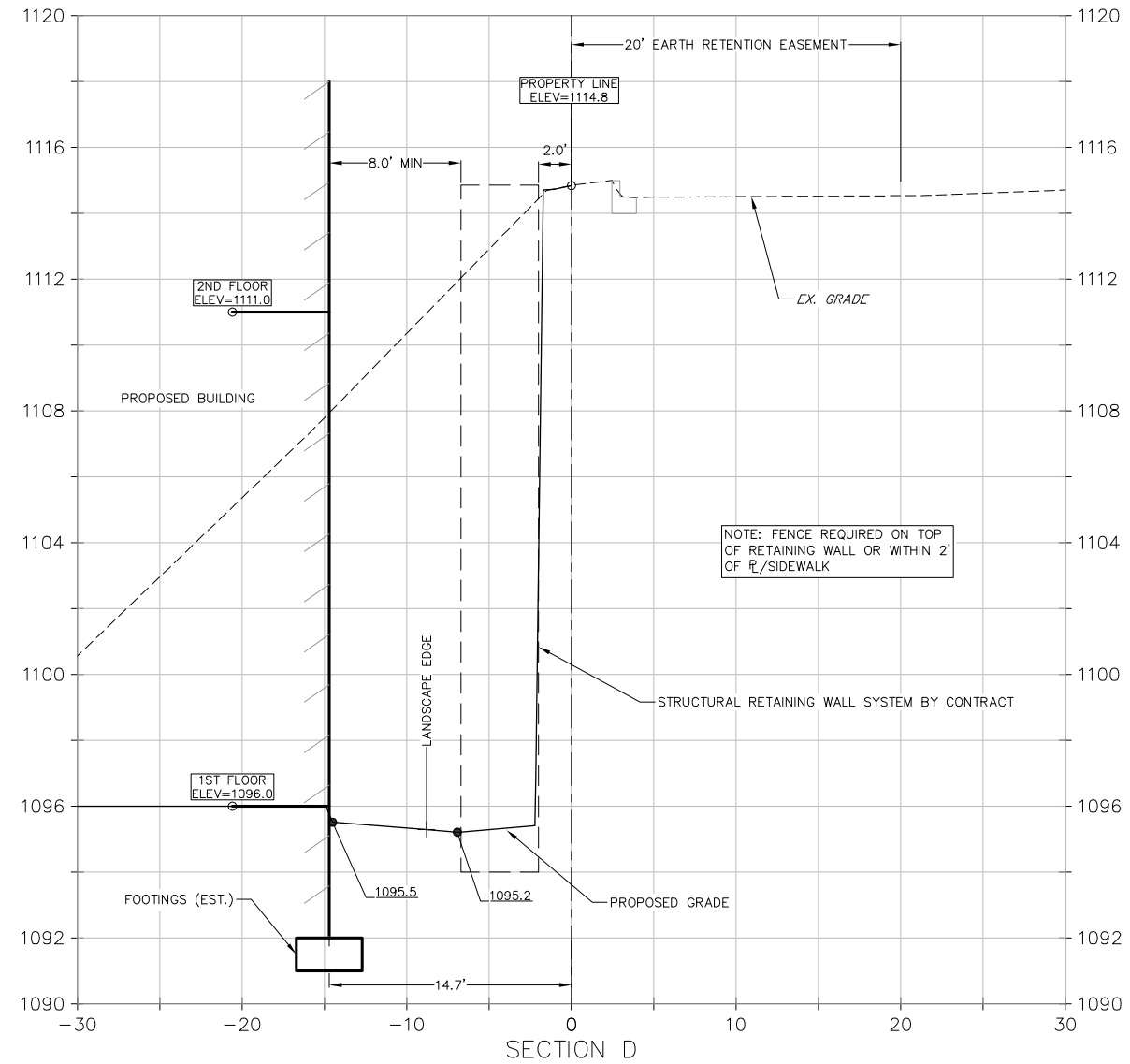
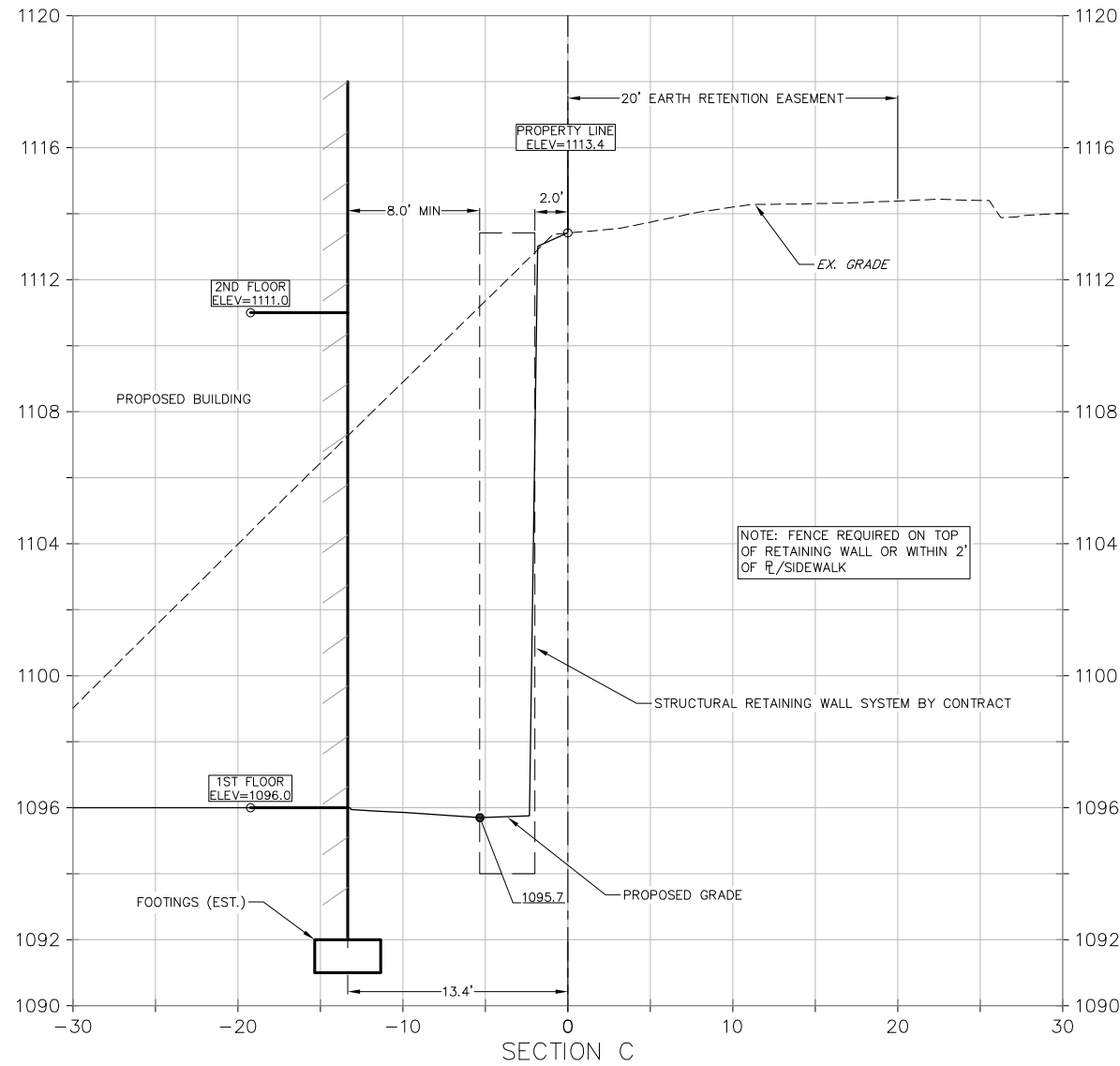


RETAINING WALL - CROSS SECTION
TRU BY HILTON
CITY OF MADISON
DANE COUNTY, WISCONSIN

NO.	REVISIONS	REMARKS
1	NO. 11/21/2016	REMARKS

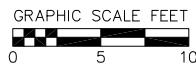
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PROJECT NO.	160147

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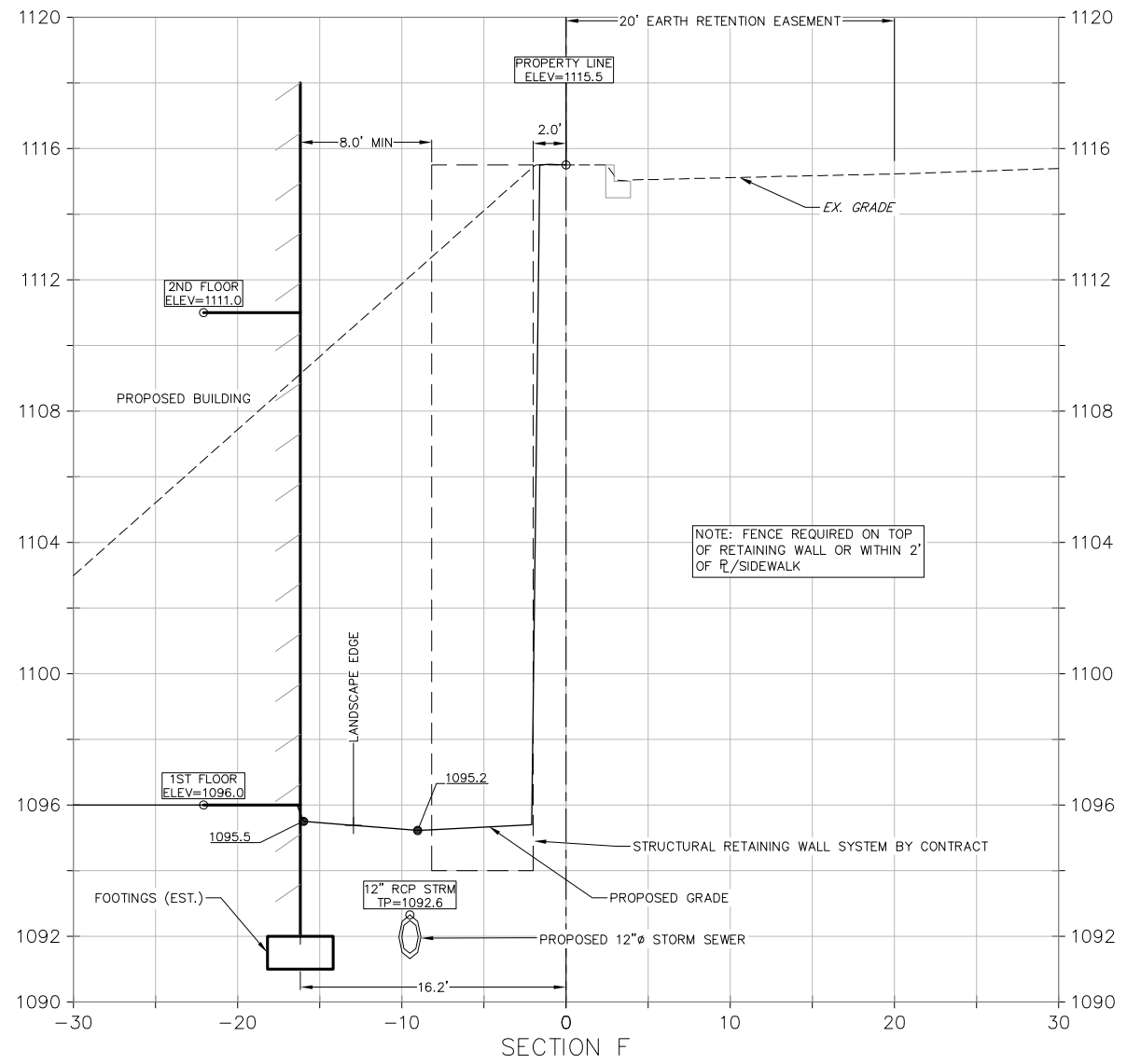
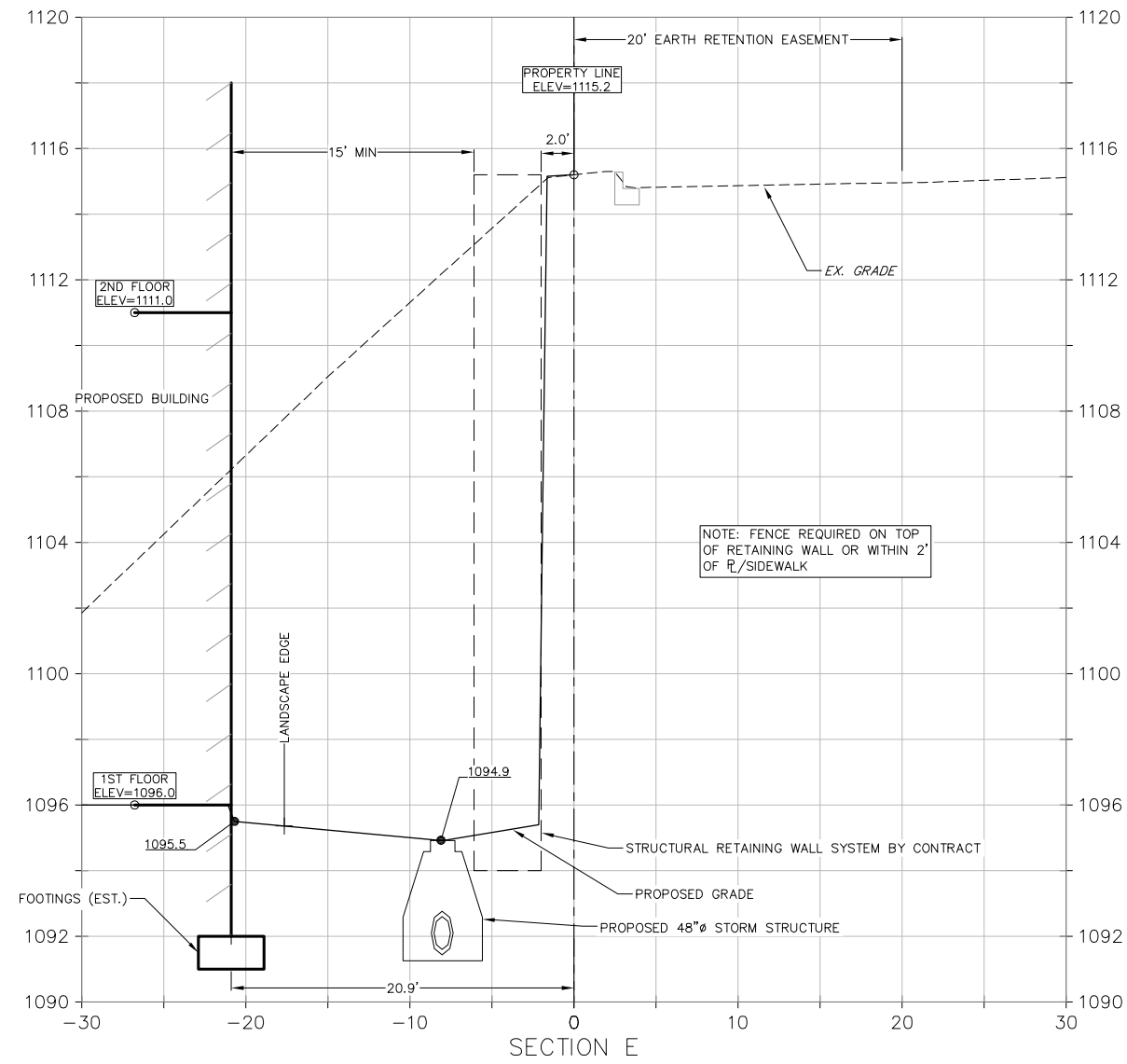
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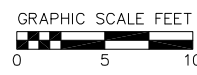
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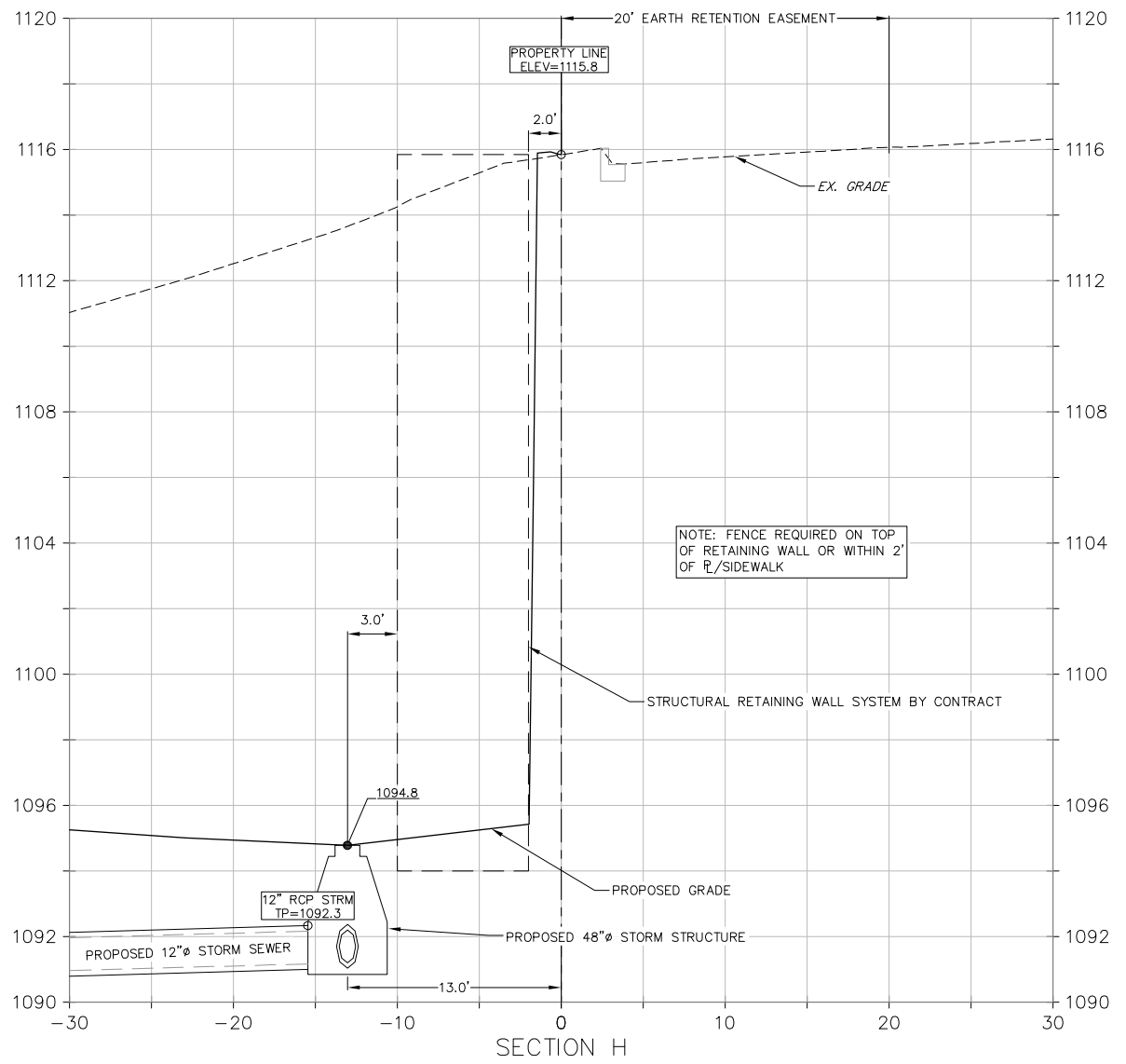
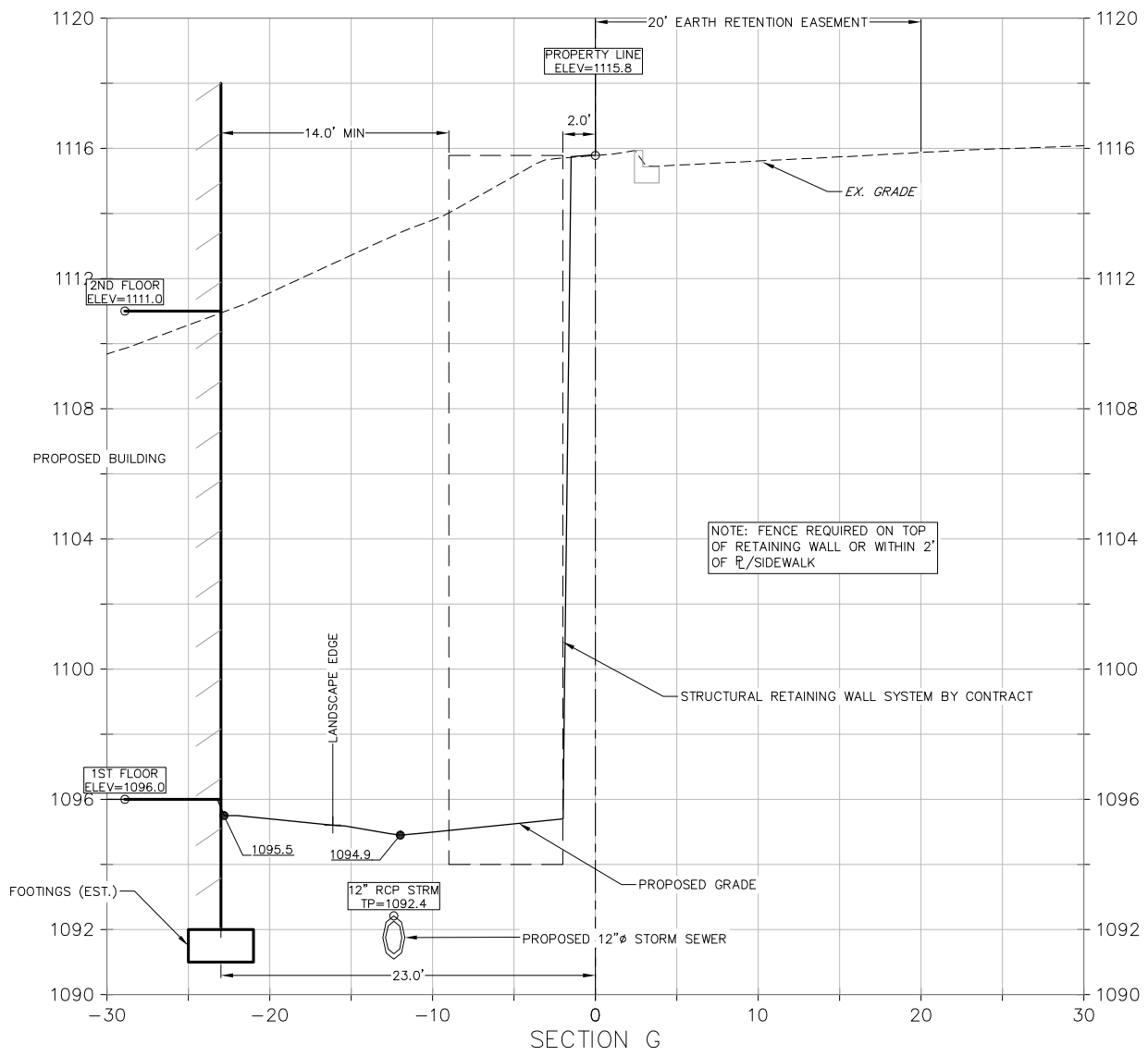
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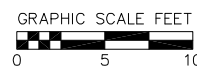
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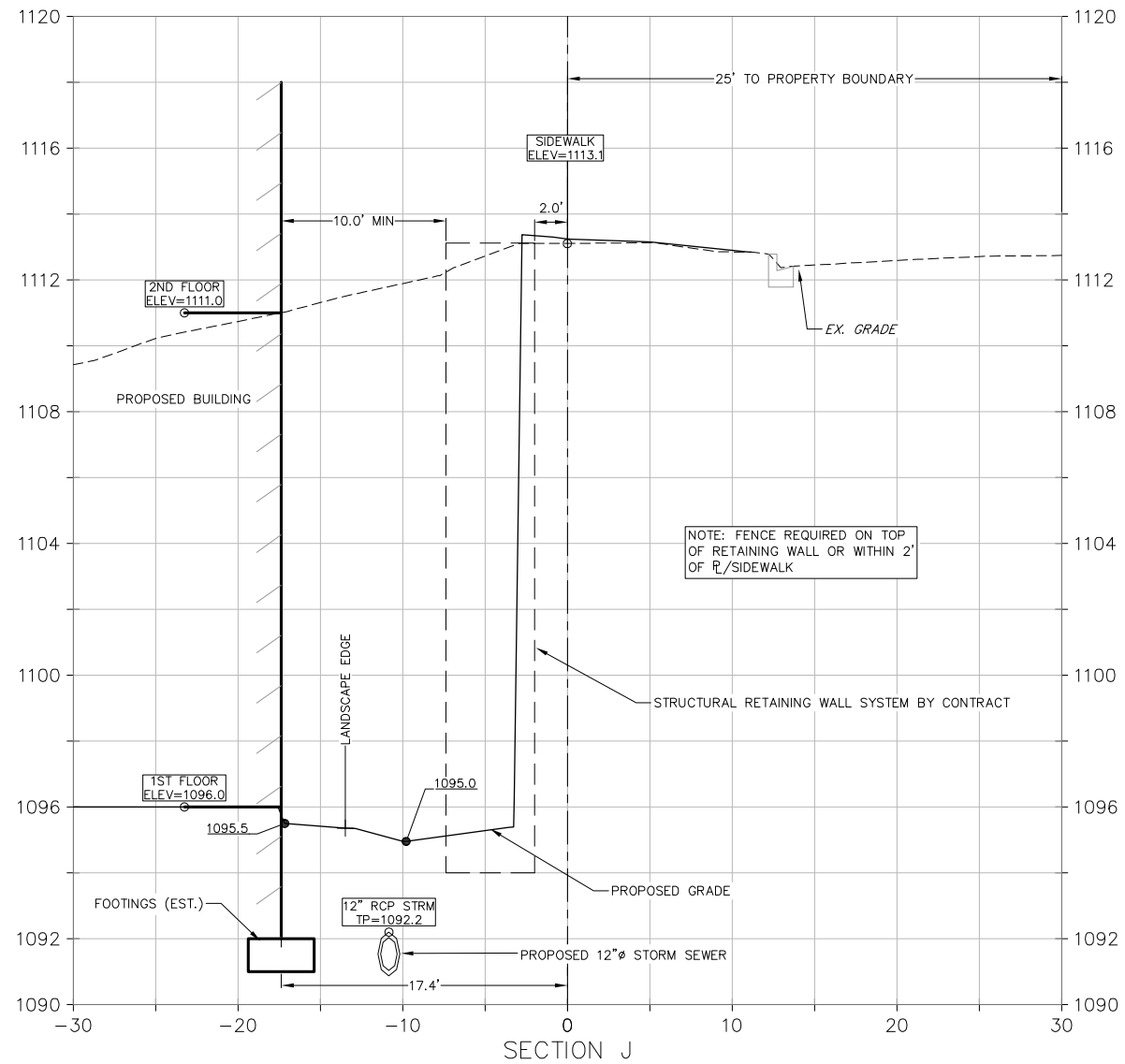
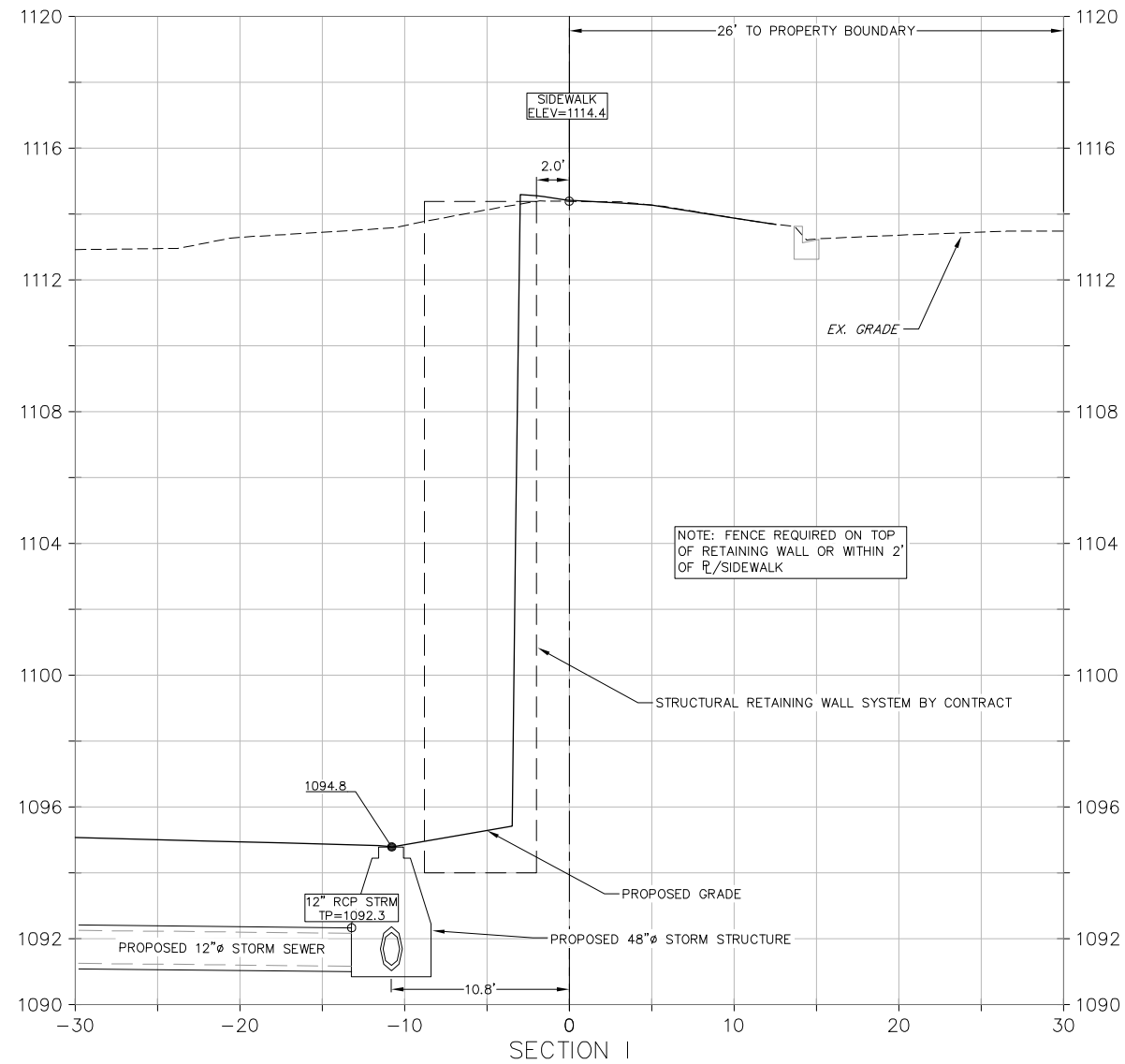
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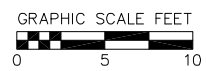
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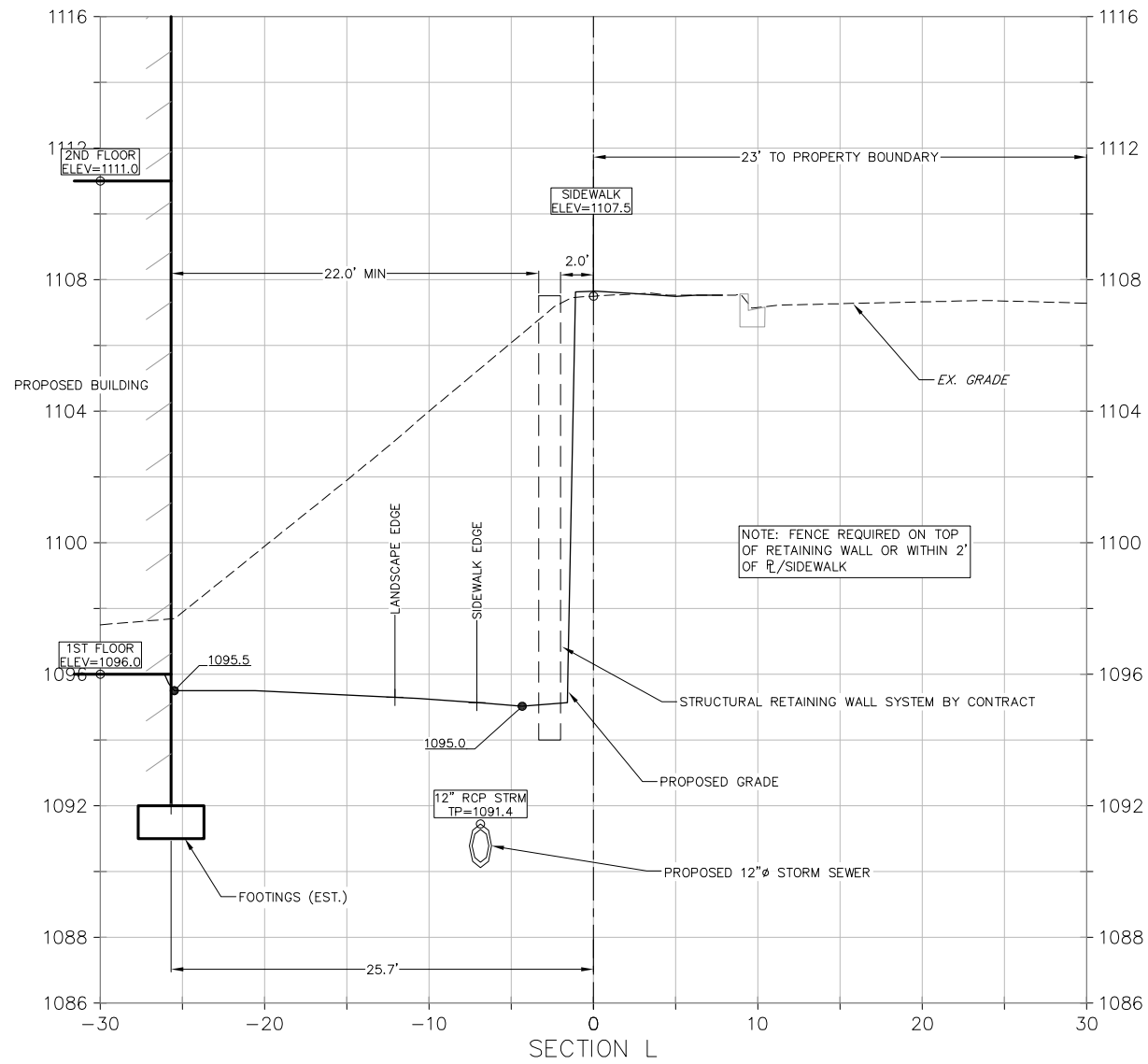
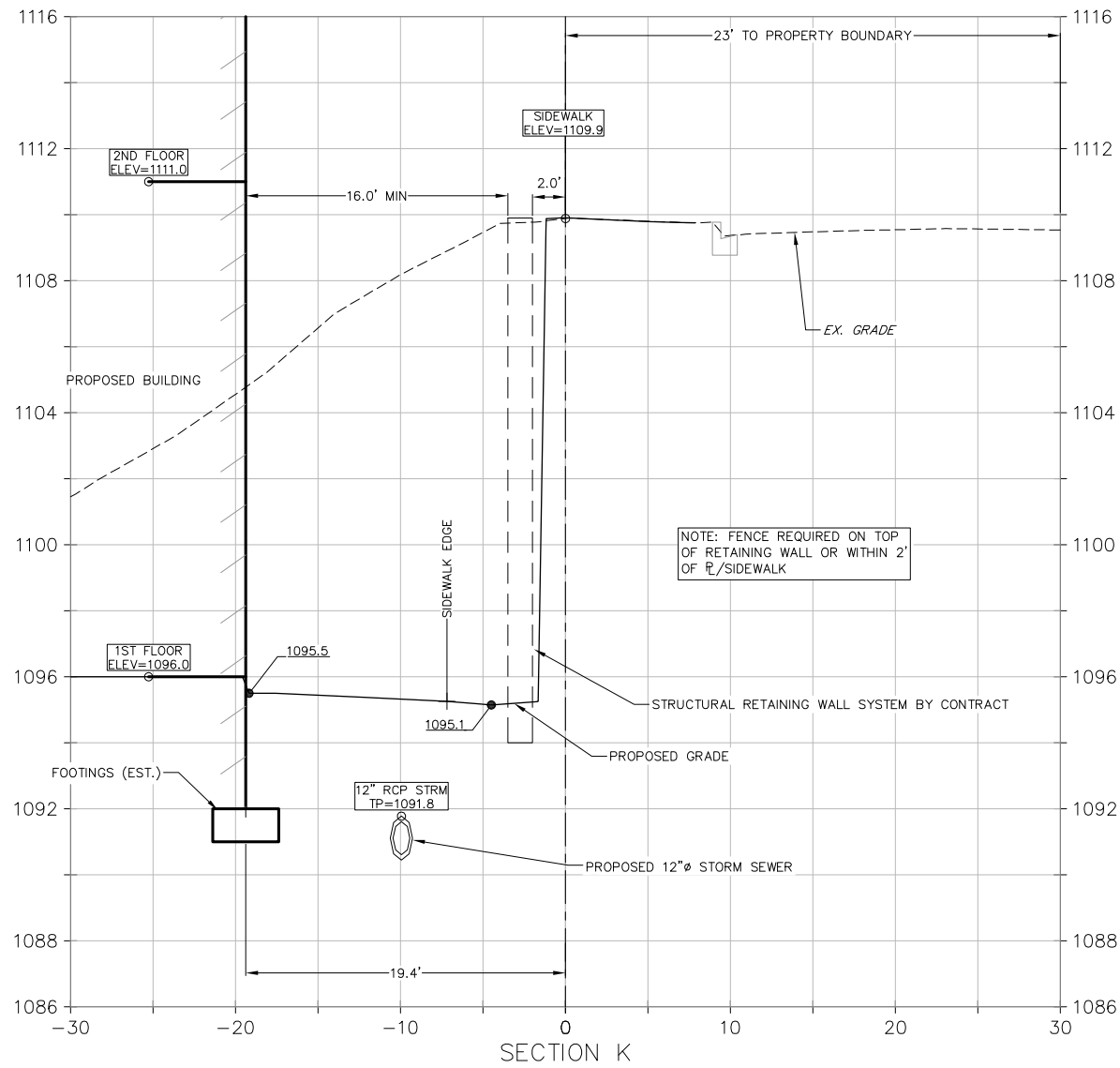
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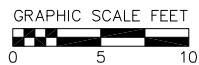
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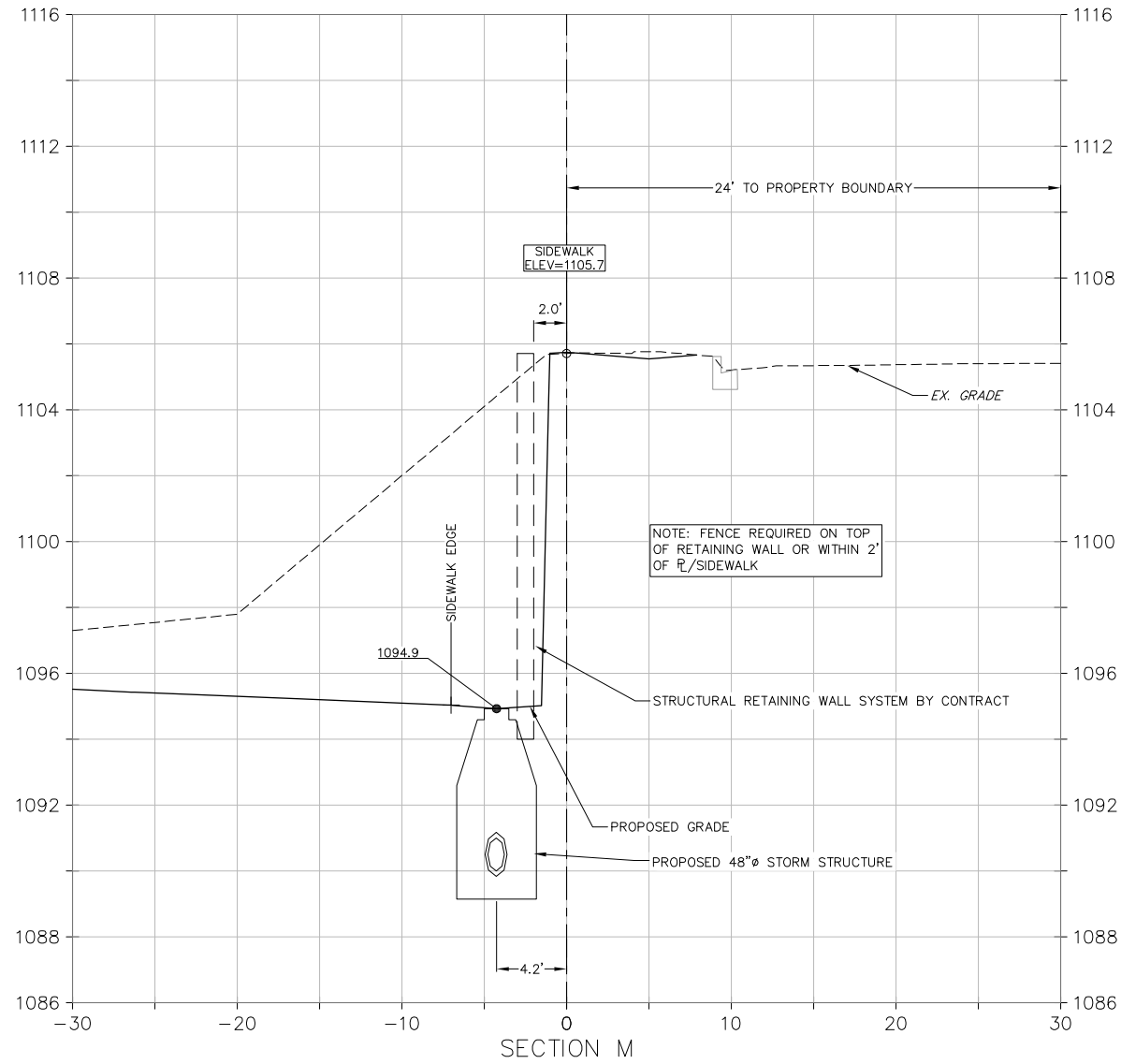


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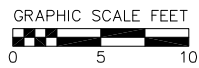
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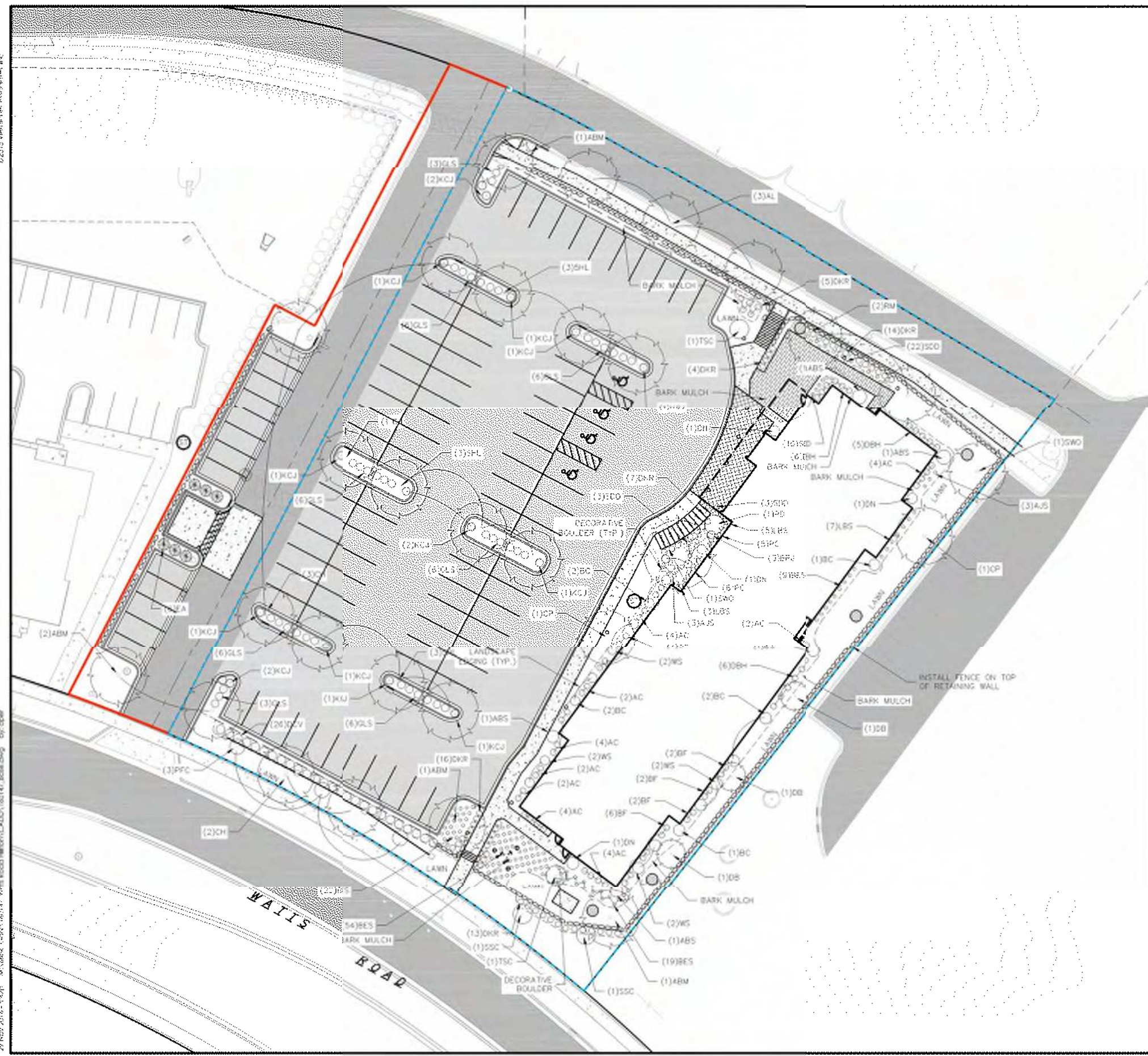
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GRAPHIC SCALE FEET
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PLAN 101

KEY	QUAN	SIZE	COMMON NAME	ROOT
(25) Canopy Trees				
ARM	5	2 1/2"	Autumn Blaze Maple	BB
AL	3	2 1/2"	American Linden	BB
CH	4	2 1/2"	Common Hackberry	BB
RM	2	2 1/2"	Red Maple	BB
SHL	0	2"	Skyline Honey Locust	BB
SWO	2	2 1/2"	Swamp White Oak	BB
(13) Low Ornamental Trees				
CP	2	2"	Calvery Pear	BB
OB	3	2"	Dawyd Upright Beech	BB
PD	1	3"	Pagoda Dogwood	BB
PFC	3	2"	Prairie Fire Crab	BB
SSC	2	2"	Spring Snow Crab	BB
TSC	2	2"	Tina Serpant Crab	BB
(206) Deciduous Shrubs				
ABS	4	4"	Autumn Brilliance Serviceberry	BB
AC	26	18"	Alone Cornus	Pot
SC	6	24"	Black Chokeberry	Pot
SF	16	18"	Bronx Forsythia	Pot
DBH	17	18"	Dwarf Bush Honeysuckle	Pot
DCV	26	24"	Dwarf Cranberrybush Viburnum	Pot
DKR	50	18"	Double Knockout Rose	Con
DN	5	24"	Dietlo Ninebark	Pot
GLS	30	18"	Gro Low Sumac	Pot
WS	8	24"	White Snowberry	Pot
(20) Evergreen Shrubs				
BRJ	3	5 G	Blue Rug Juniper	Con
EA	6	5'	Emerald Arborvitae	BB
KCJ	16	2 G	Kaley's Compact Juniper	Con
(125) Perennials				
AJS	6	1 G	Autumn Joy Sedum	Con
BES	63	1 G	Black Eyed Susan	Con
LBS	15	1 G	Little Blue Stern	Con
PC	12	1 G	Purple Coneflower	Con
SDD	29	1 G	Stella De Oro Day Lily	Con

- NOTES:
- Lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and locally grown grass sod.
 - Foundation planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
 - Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".
 - Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
 - Designated planting beds to be separated from lawn areas with 5" black vinyl edging.
 - Decorative boulders to be native, weathered, pitted limestone shelf rock. Approximate size: 36" x 24" x 18".
 - Contractor will be responsible for all landscape maintenance for 90 days after completion and acceptance of the project.
 - Owner will be responsible for landscape maintenance after completion and acceptance of the project.

MADISON LANDSCAPE WORKSHEET

Landscape Points Required	
Impervious Area =	37,768 SF
Landscape Points Required: 37,768/300 =	126 units
126 units x 5 points/unit =	630 points
Landscape Points Supplied	
Proposed canopy trees - 25 @ 35 =	875 points
Proposed ornamental trees - 13 @ 15 =	195 points
Proposed evergreen trees - 0 @ 35 =	0 points
Proposed deciduous shrubs - 209 @ 3 =	627 points
Proposed evergreen shrubs - 25 @ 4 =	100 points
Proposed perennials & grasses 176 @ 2 =	352 points
Total landscape points supplied =	2,149 points

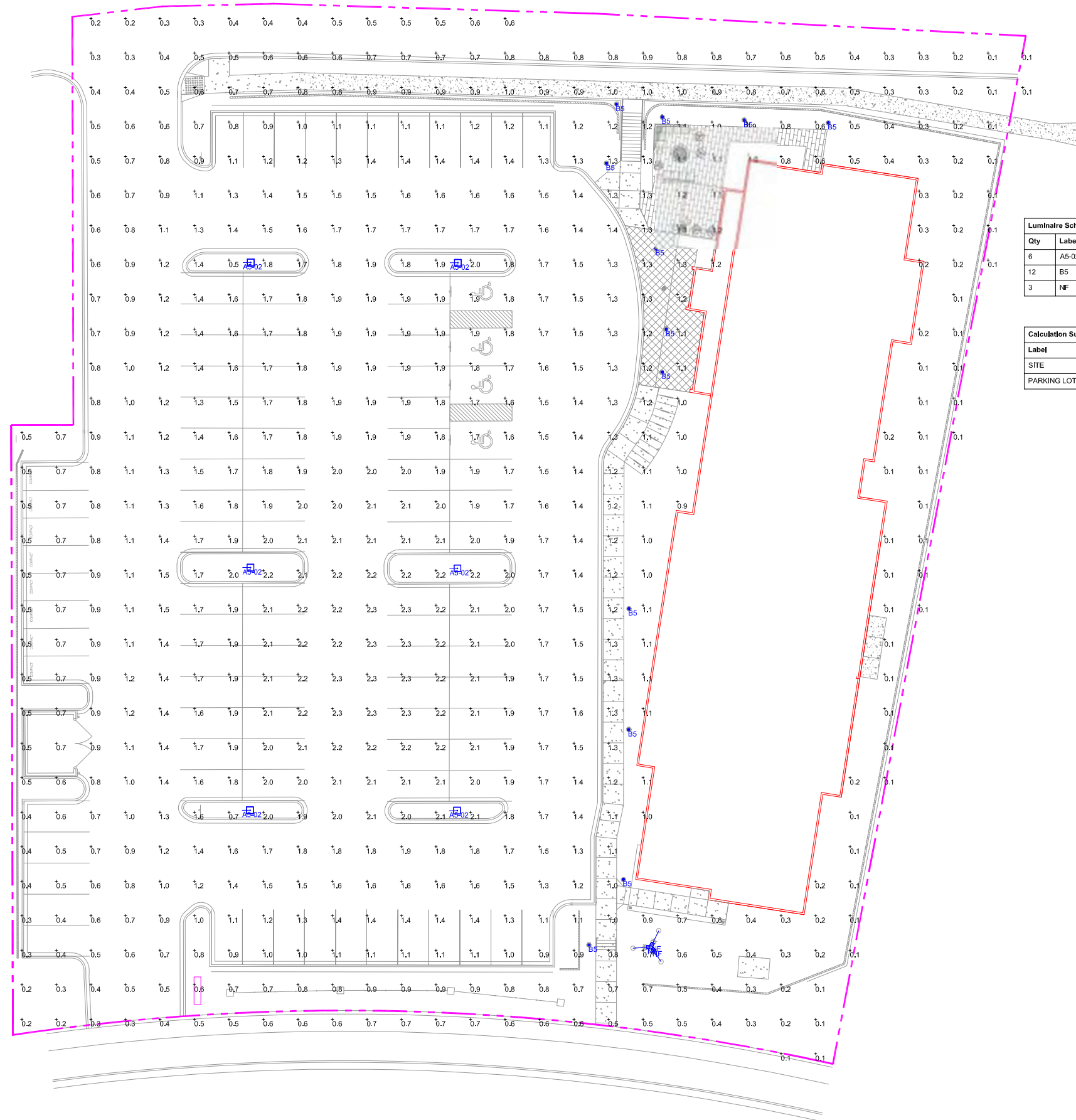


LANDSCAPE PLAN
TRU BY HILTON
CITY OF MADISON
DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS

SCALE: A1 5/8"=1'
DATE: 11/02/2016
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PROJECT NO.: 160147

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Luminaire Schedule						
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
6	A5-02	SINGLE	12628	113	0.980	McGRAW-EDISON + GLEON-AF-02-LED-E1-5WQ + (25' POLE 2' BA
12	B5	SINGLE	1779	21.3	0.900	CREE + PWY-EDG-5M-P3-02-E-UJ-350-40K
3	NF	SINGLE	2935	25.9	0.900	LUMARK + NFFLD-S-C70-D-UNV-33-7050

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SITE	Illuminance	Fc	1.15	2.3	0.1	11.50
PARKING LOTS AND DRIVES	Illuminance	Fc	1.51	2.3	0.4	3.78



TRU BY HILTON
8102 WATTS ROAD
MADISON, WI 53719

SITE LIGHTING



GARY BRINK ASSOCIATES
ARCHITECTS
7790 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53542
608-829-1758
608-829-0541 (FAX)



by HILTON

- SITE PLAN COORDINATION AND GENERAL NOTES**
1. REFER TO CIVIL DRAWINGS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
 2. SEE CIVIL DRAWINGS FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK PAVING JOINTS, PAVING SECTIONS, BARRIER FREE RAMP, AND HANDICAP STRIPING.
 3. ANY DAMAGE OR DISRUPTION TO AREAS ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ECT. SHALL BE REPAIRED TO "AS NEW" CONDITIONS.
 4. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR (SECTIONS 16.23(9)(c)5 AND 23.01. MGO).
 5. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN CURB AND SIDEWALK AND EXTEND AT LEAST 5'-0" FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5'-0" OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5'-0" OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
 6. THE PROPOSED HOTEL USE IS DESIGNED SO THAT TRAFFIC-INDUCED INTERIOR NOISE LEVELS WILL NOT EXCEED 52 DECIBELS.

**PROPOSED
ADJACENT
DEVELOPMENT**

- SITE PLAN KEY NOTES**
- STANDARD 2' (w) x 6' (d) BICYCLE STALL (11 COUNT ON PROPERTY)
 - ACCESSIBLE PARKING STALLS
 - ACCESSIBLE PARKING STALL SIGNAGE - SEE DETAIL 11/A1.20
 - CONCRETE BOLLARD
 - DECORATIVE CONCRETE PATIO
 - CONCRETE SIDE WALK
 - TRASH ENCLOSURE - SEE DETAIL 1/A1.20
 - STOP SIGN
 - FIRE APPARATUS
 - STORM WATER DRAIN
 - RETAINING WALL
 - DECORATIVE SOLID 5' FENCE ABOVE NEW RETAINING WALL.
 - GUARD RAIL ABOVE NEW RETAINING WALL
 - EXISTING BOULDER RETAINING WALL
 - EXISTING STORM WATER MANAGEMENT POND
 - PROPOSED TRANSFORMER LOCATION
 - 2'x 8' MONUMENTAL SIGN
 - 1'x3' DIRECTIONAL SIGN
 - (1) 30' FLAG POLE
 - (2) 25' FLAG POLE
 - FLAG POLE UP LIGHTING
 - LIGHT POLE
 - ILLUMINATED BOLLARD
 - 5' DIAMETER GAS FIRE FIRE PIT
 - DESIGNATED OUTDOOR GAME AREA
 - EXISTING LIGHT POLE TO REMAIN.
 - FENCE AND COLUMNS IN SIMILAR APPEARANCE TO PRINCETON CLUB FENCE AND COLUMNS.
 - 2'-0" OVERHANG FOR 16' LONG PARKING STALLS.
 - OWNER FURNISHED OUTDOOR PATIO FURNITURE.
 - STAIRS CONNECTING TRU PARKING LOT WITH HOMEWOOD WAY SIDEWALK ACROSS FROM THE HAMPTON INN.

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address 8102 WATTS ROAD, MADISON WI 53719
 Site acreage 1.75 Acres
 Pervious area .36 Acres
 Impervious area 1.39 Acres

Number of building stories (above grade) 4
 Building height 49-4 3/8'
 Type of construction (new structures or additions)
Type 5A

Square footage of building footprint 11,973 sq. ft.
 Total square footage of building 46,725 sq. ft.

Use of property HOTEL
 Gross square feet of office NA
 Gross square feet of retail area NA
 Number of employees in warehouse NA
 Number of employees in production NA
 Capacity of restaurant/place of assembly NA

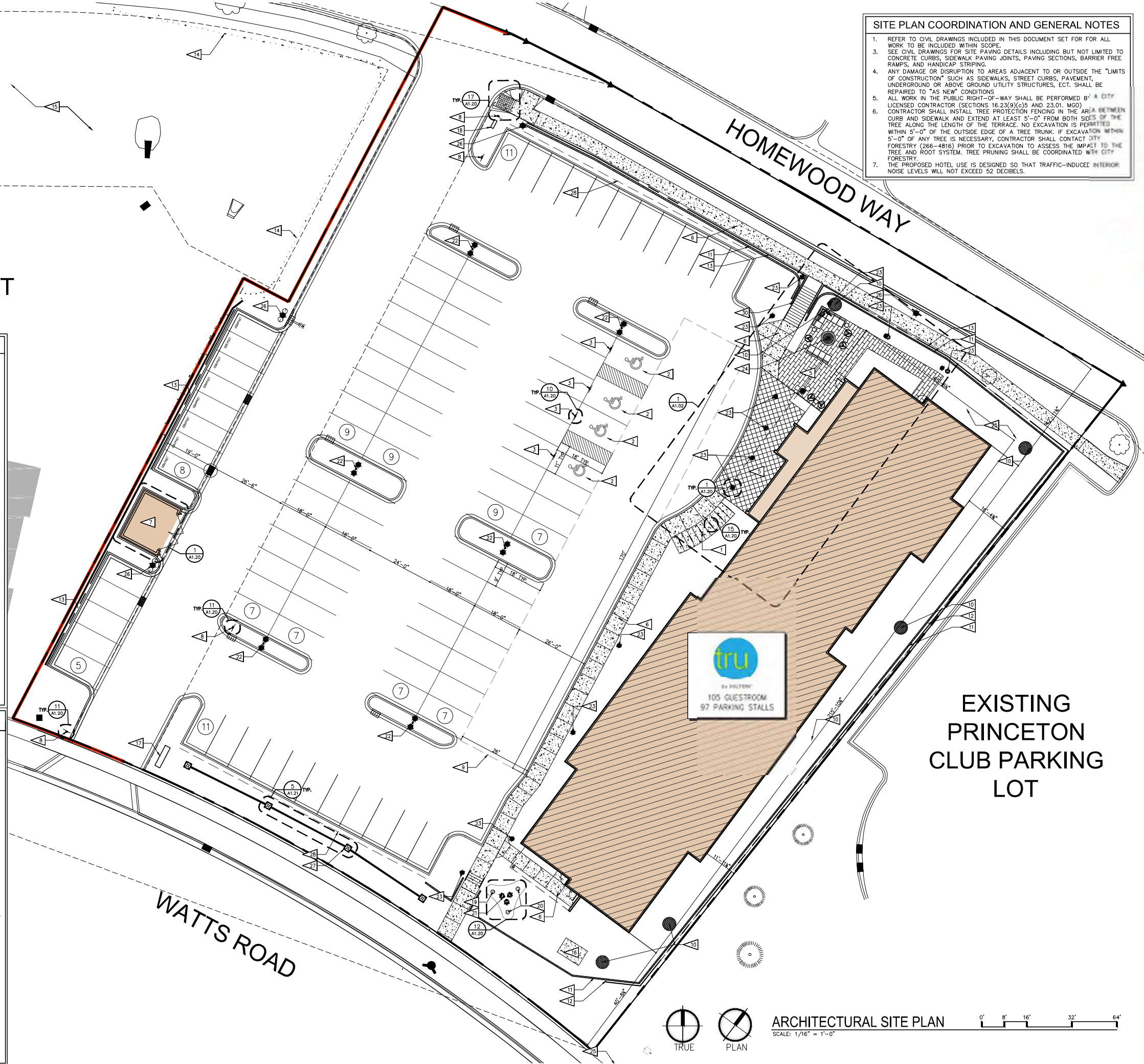
Number of bicycle stalls shown Site: 11 Bicycle Stalls
 Number of Parking stalls:

	SHOWN
Small Car	8
Large Car	85
Accessible	4
Total	97

Number of trees shown See Landscape Plan

Area Analysis:

	Sq. Ft.
Total Site	76,065
Building Footprints	11,974
Greenspace	15,835
Paving/Building/Sidewalk	48,276
Site Coverage	79.2%



**EXISTING
PRINCETON
CLUB PARKING
LOT**

PROJECT: **TRU BY HILTON**
 8102 WATTS ROAD
 MADISON, WISCONSIN 53719
 CLIENT: **MADISON WEST PRINCETON INVESTORS I, LLC**
 C/O NORTH CENTRAL GROUP
 1600 ASPEN COMMONS, SUITE 200
 MIDDLETON, WI 53562-4994

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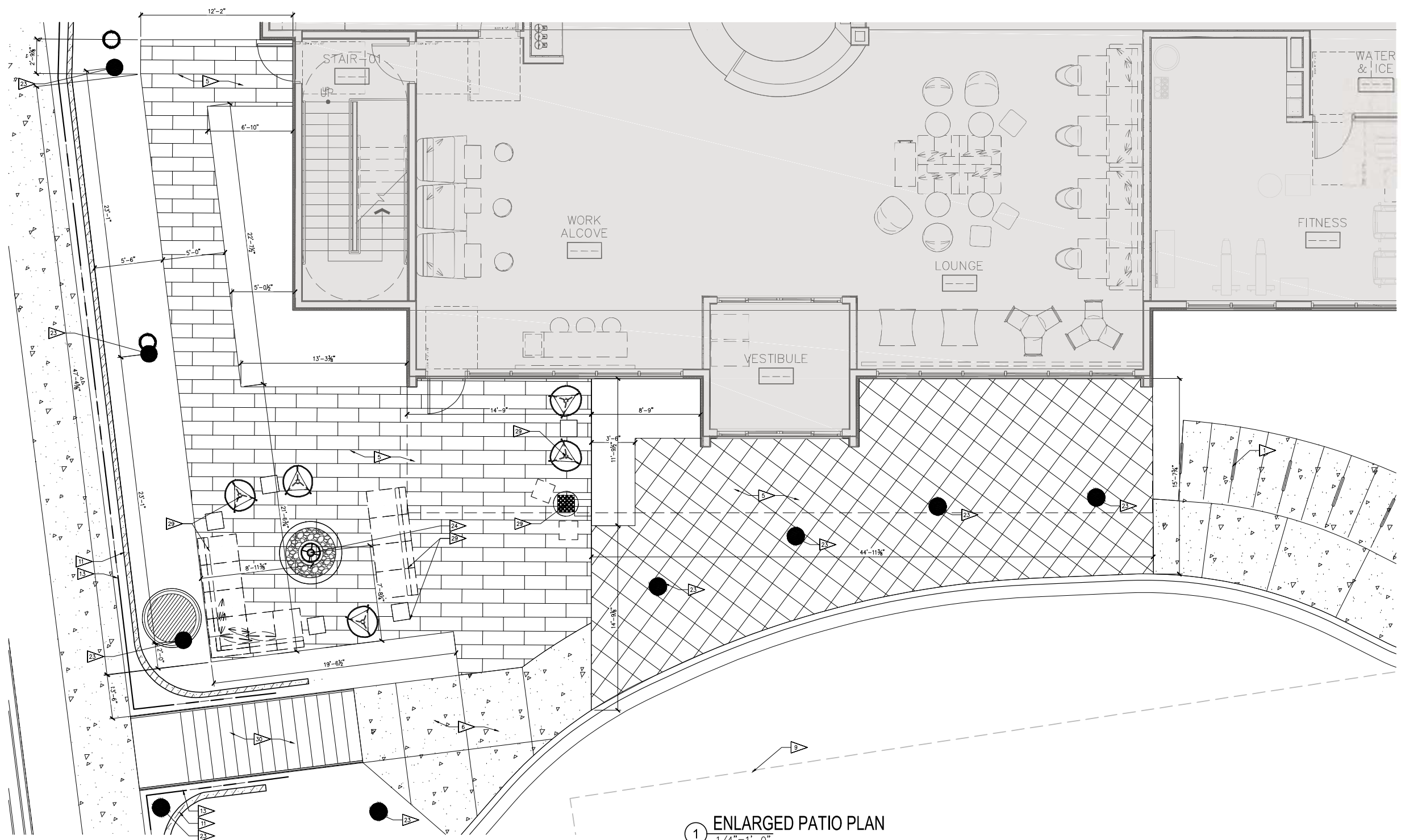


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ENLARGED
PATIO PLAN
A1.02

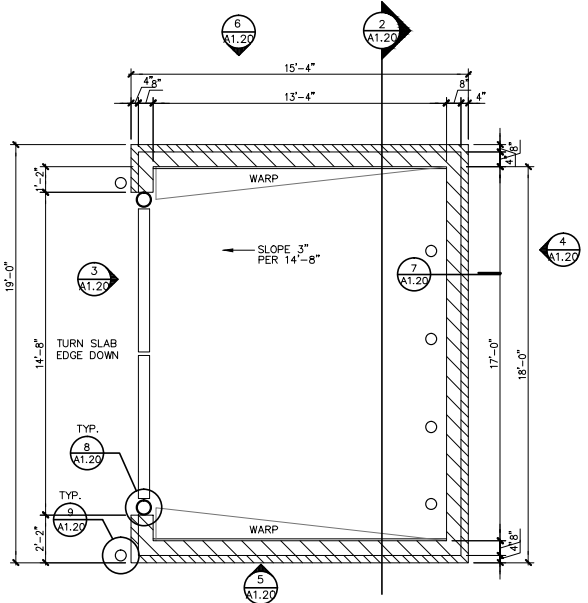


1 ENLARGED PATIO PLAN
1/4"=1'-0"

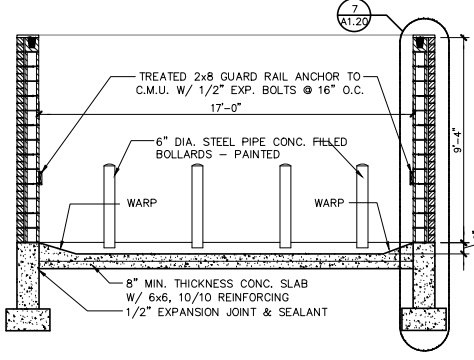
SITE PLAN NOTES
1. REFER TO SHEET A1.01 FOR SITE PLAN GENERAL NOTES, KEY NOTES, AND SYMBOLS LEGEND



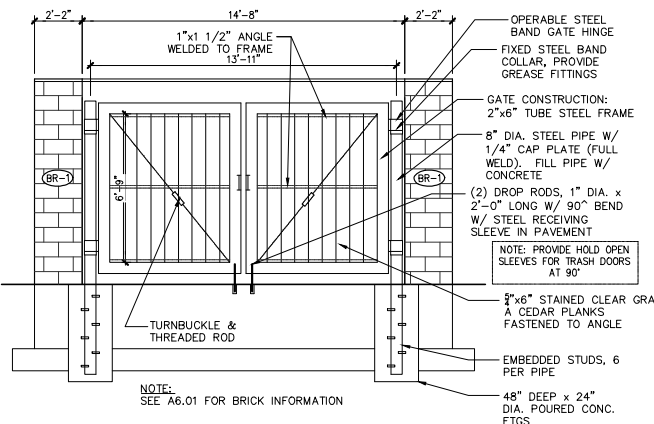
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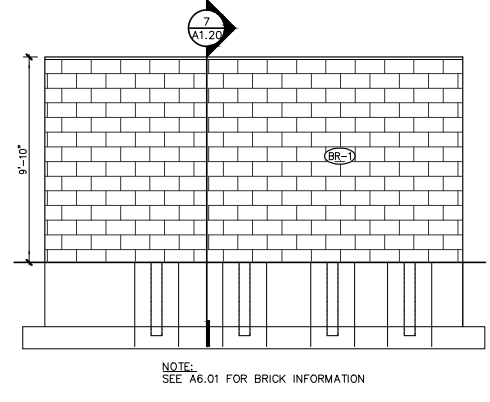
1 TRASH ENCLOSURE PLAN
SCALE: 1/4"=1'-0"



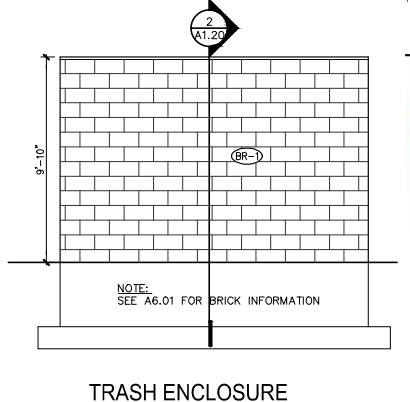
2 SECTION THRU TRASH ENCLOSURE
SCALE: 1/4"=1'-0"



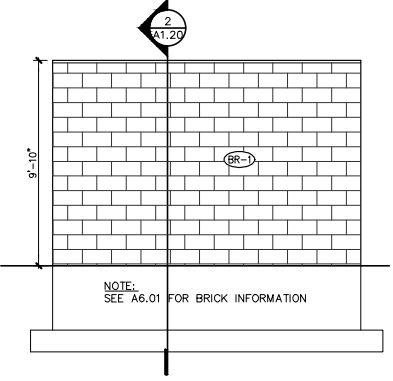
3 TRASH ENCLOSURE - NORTH ELEVATION
SCALE: 1/4"=1'-0"



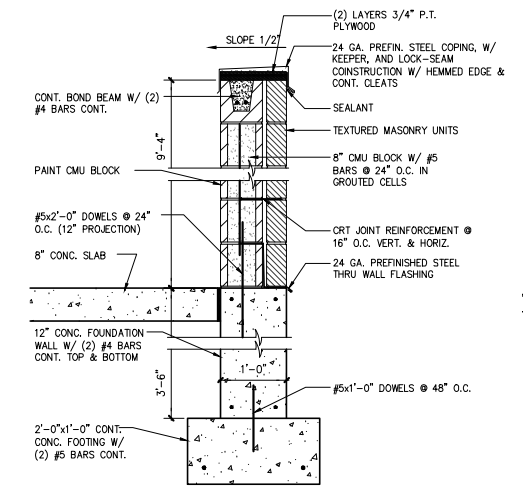
4 TRASH ENCLOSURE - SOUTH ELEVATION
SCALE: 1/4"=1'-0"



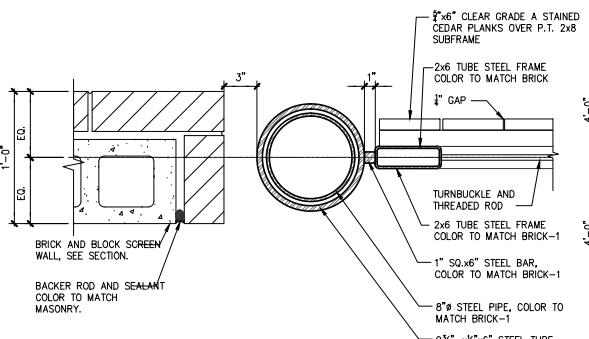
5 TRASH ENCLOSURE WEST ELEVATION
SCALE: 1/4"=1'-0"



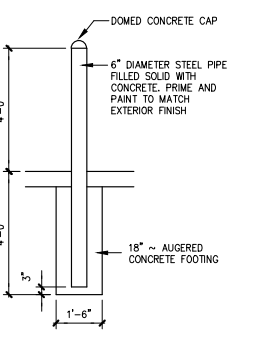
6 TRASH ENCLOSURE EAST ELEVATION
SCALE: 1/4"=1'-0"



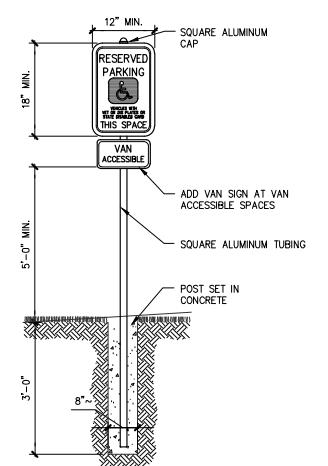
7 TRASH ENCLOSURE WALL
SCALE: 3/4"=1'-0"



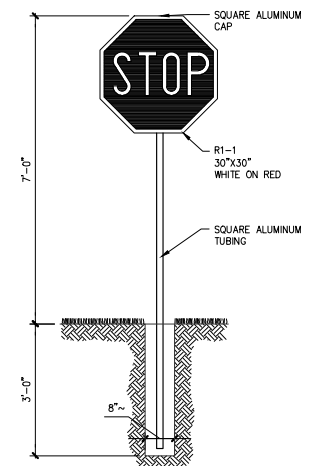
8 GATE POST DETAIL
SCALE: 1 1/2"=1'-0"



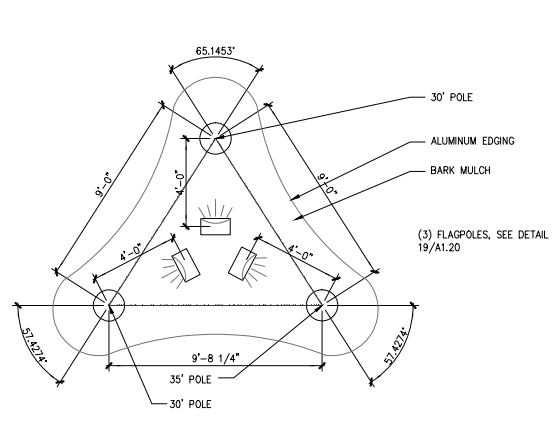
9 TYPICAL BOLLARD
SCALE: N.T.S.



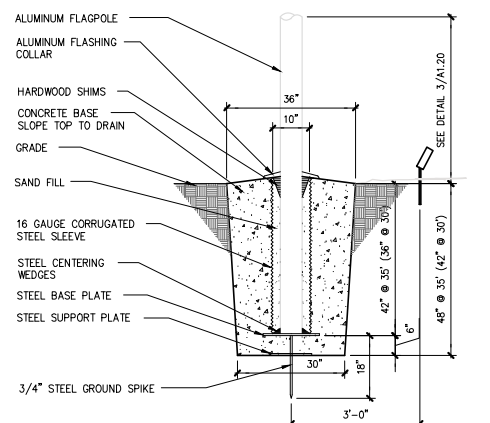
10 HANDICAP SIGN DETAIL
SCALE: N.T.S.



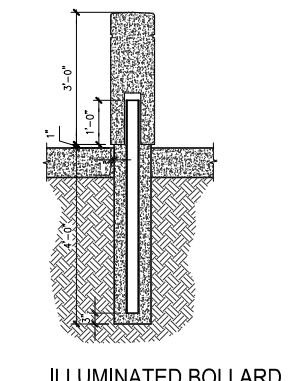
11 STOP SIGN
SCALE: N.T.S.



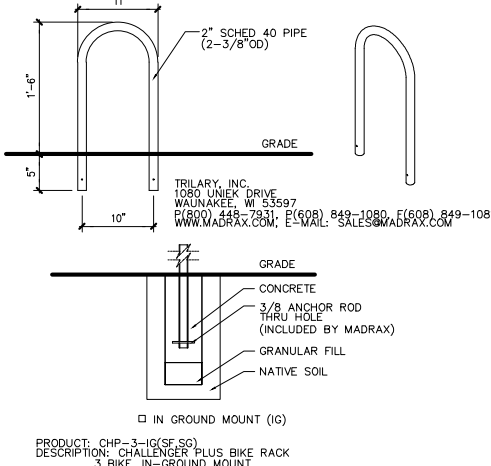
12 FLAG POLE LAYOUT
SCALE: 1/4"=1'-0"



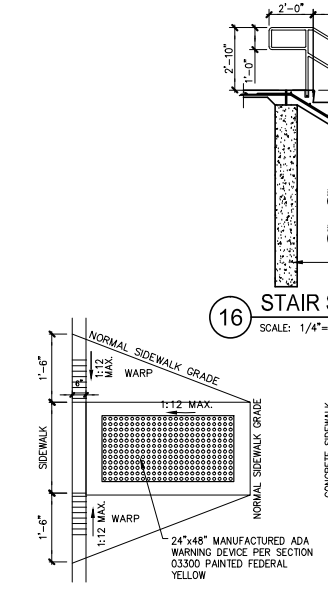
13 FLAG POLE BASE DETAIL
SCALE: N.T.S.



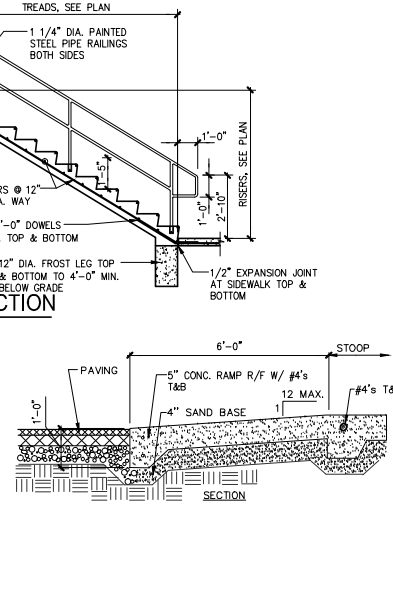
14 ILLUMINATED BOLLARD AT MAIN ENTRY
SCALE: N.T.S.



15 DETAIL - TYPICAL BIKE RACK
SCALE: NONE



16 STAIR SECTION
SCALE: 1/4"=1'-0"



17 CURB RAMP DETAIL
SCALE: N.T.S.

PROJECT: TRU BY HILTON
640 EAST WISCONSIN
MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
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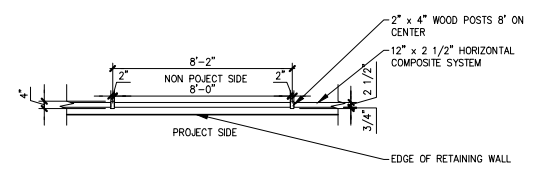


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C/O NORTH CENTRAL GROUP
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MIDDLETON, WI 53562-2694

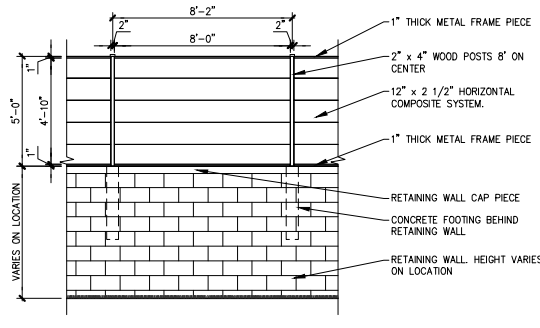
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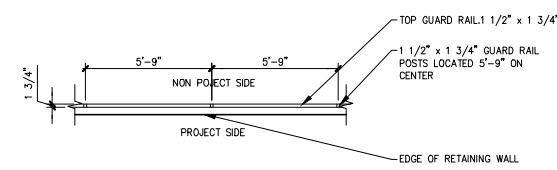
SITE
DETAILS
A1.21



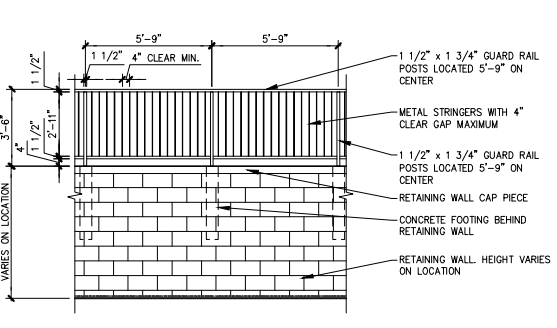
1 PROPERTY SCREENING FENCE PLAN
SCALE: 1/4"=1'-0"



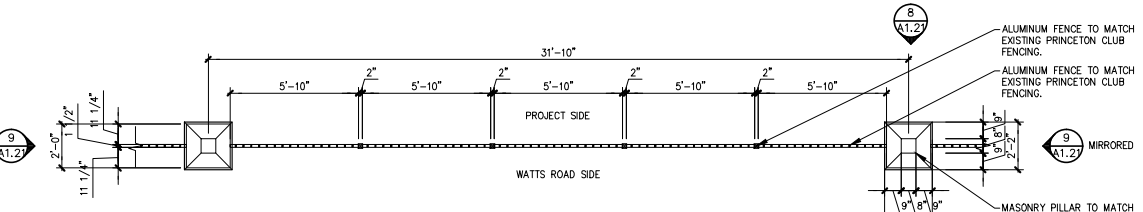
2 PROPERTY SCREENING FENCE ELEVATION
SCALE: 1/4"=1'-0"



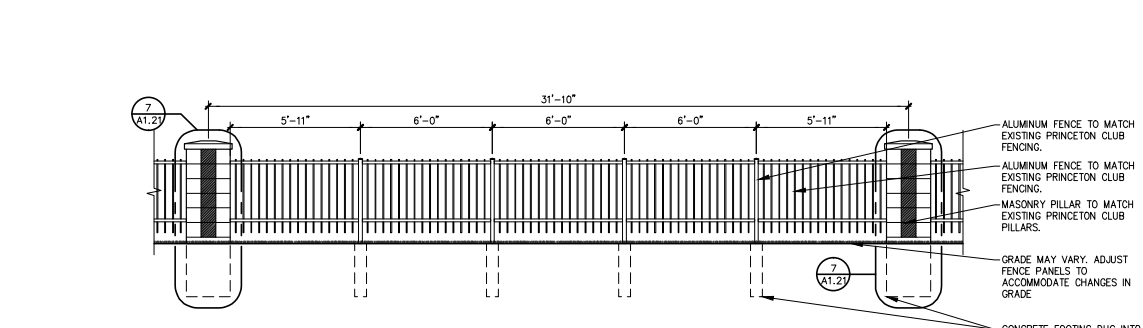
3 PROPERTY GUARD RAIL PLAN
SCALE: 1/4"=1'-0"



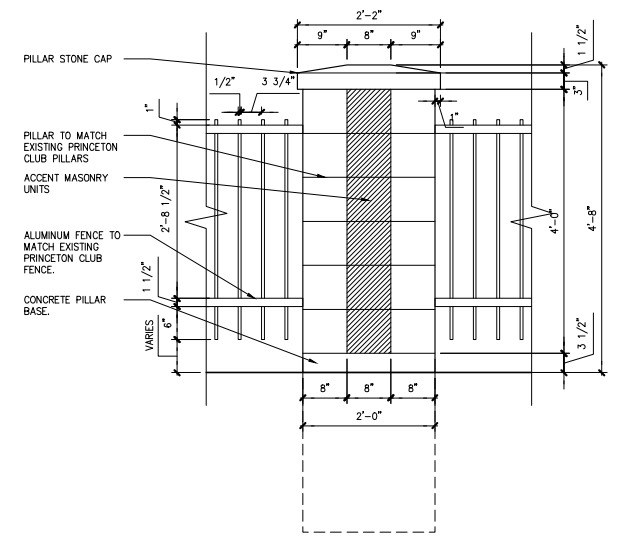
4 PROPERTY GUARD RAIL ELEVATION
SCALE: 1/4"=1'-0"



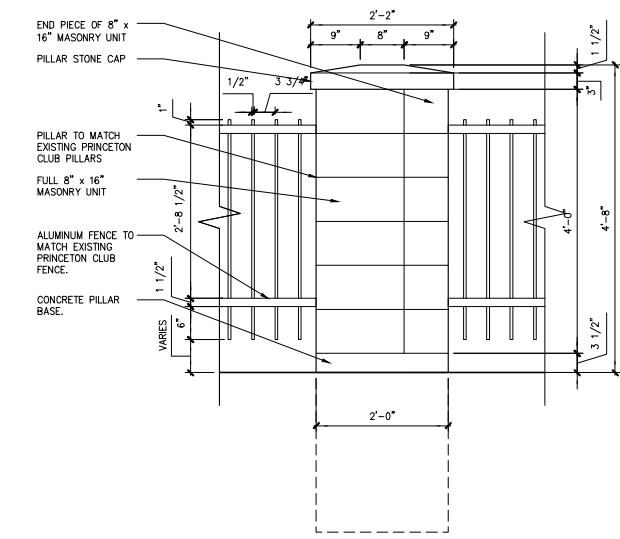
5 PILLAR AND FENCE PLAN TO MATCH PRINCETON CLUB
SCALE: 1/4"=1'-0"



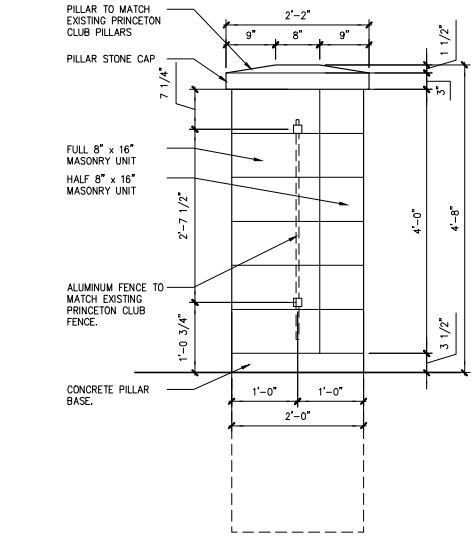
6 PILLAR AND FENCE ELEVATION TO MATCH PRINCETON CLUB
SCALE: 1/4"=1'-0"



7 FRONT PILLAR ELEVATION
SCALE: 3/4"=1'-0"



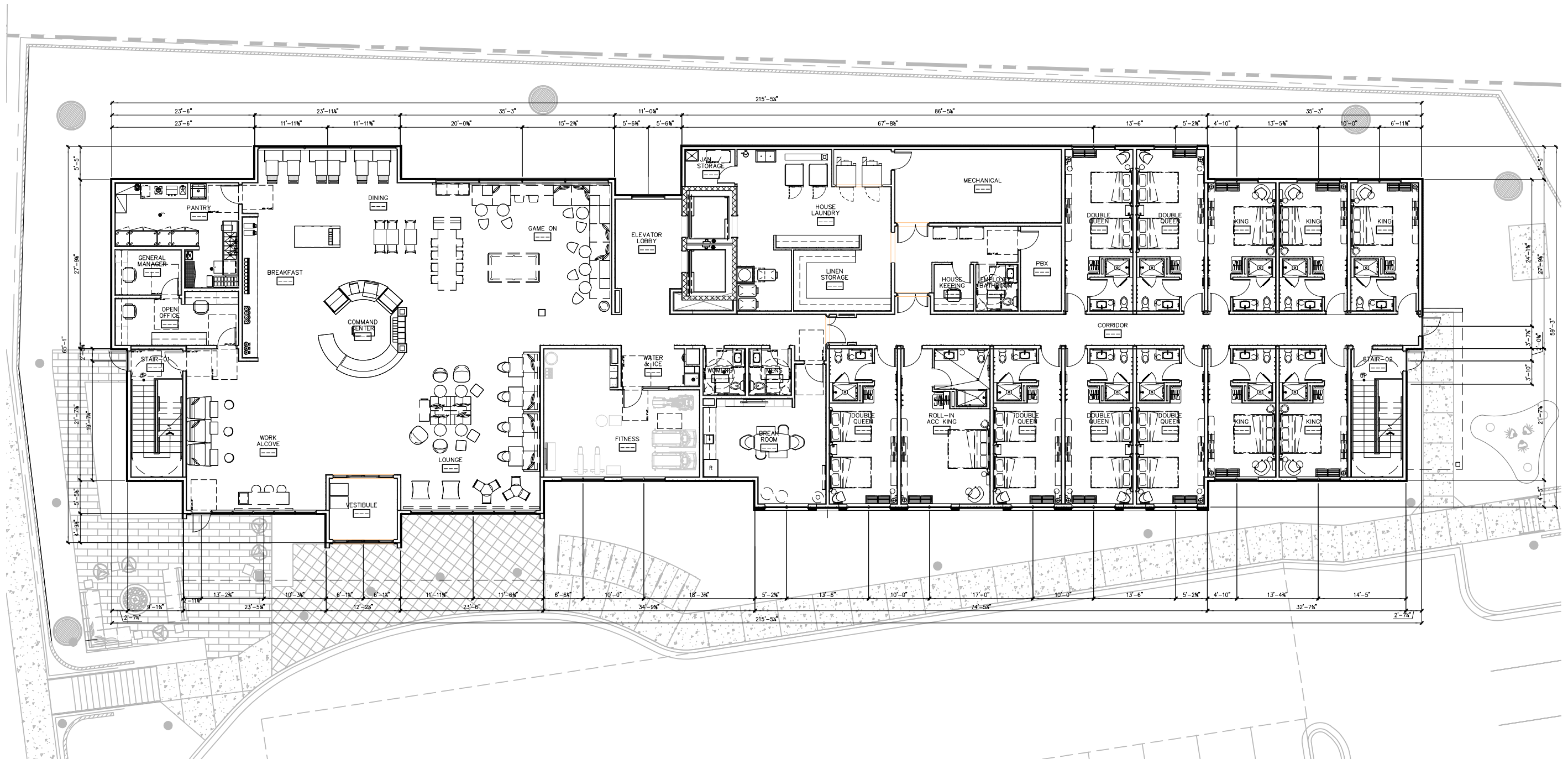
8 BACK PILLAR ELEVATION
SCALE: 3/4"=1'-0"



8 SIDE PILLAR ELEVATION
SCALE: 3/4"=1'-0"

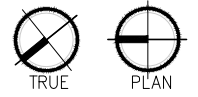


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PROJECT: TRU BY HILTON
8102 WATTS ROAD
MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
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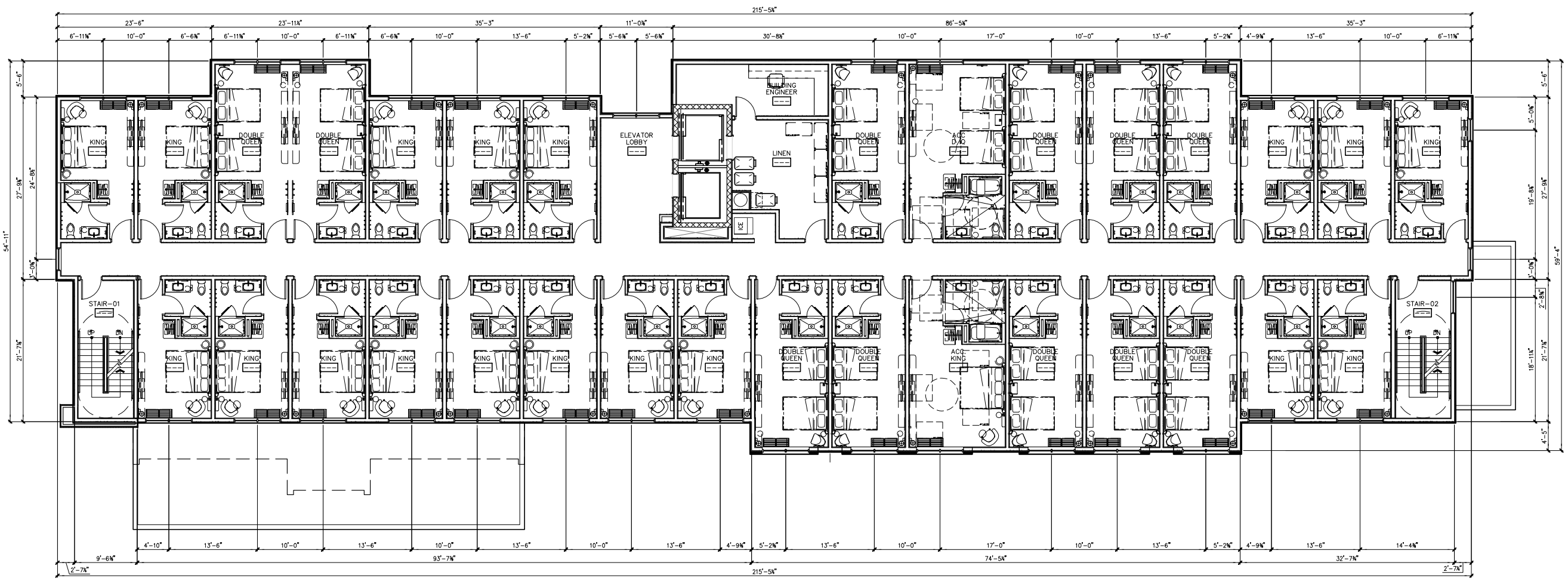
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
A2.01

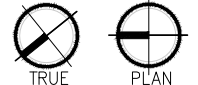


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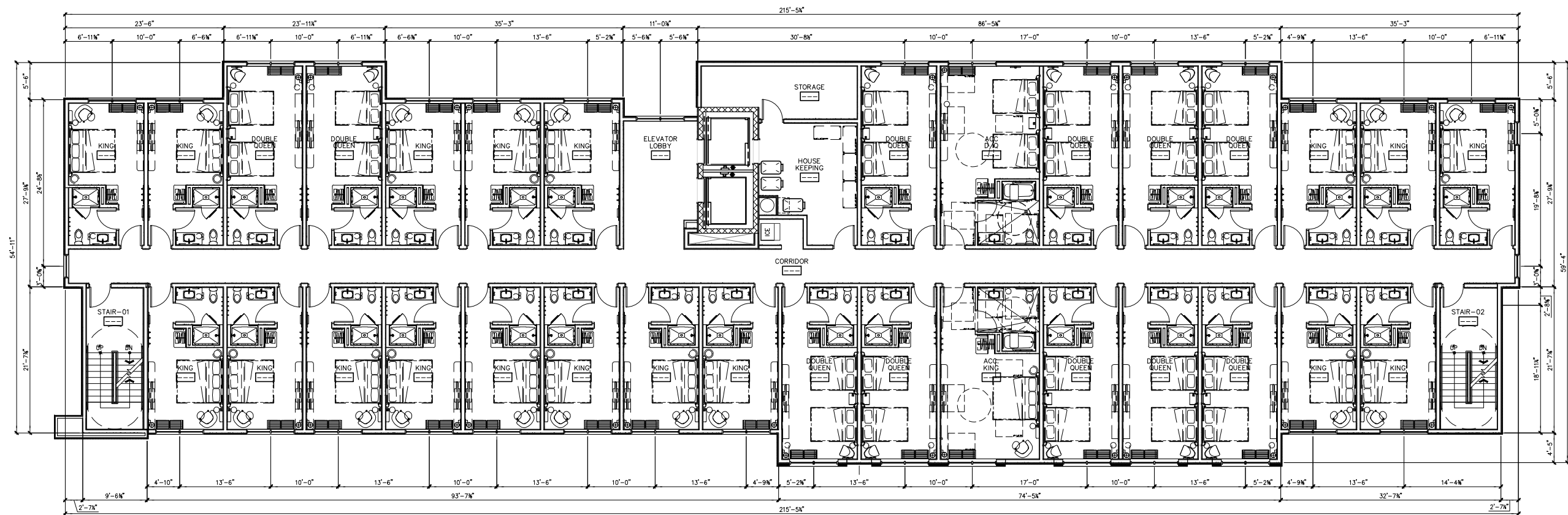


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"





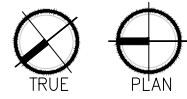
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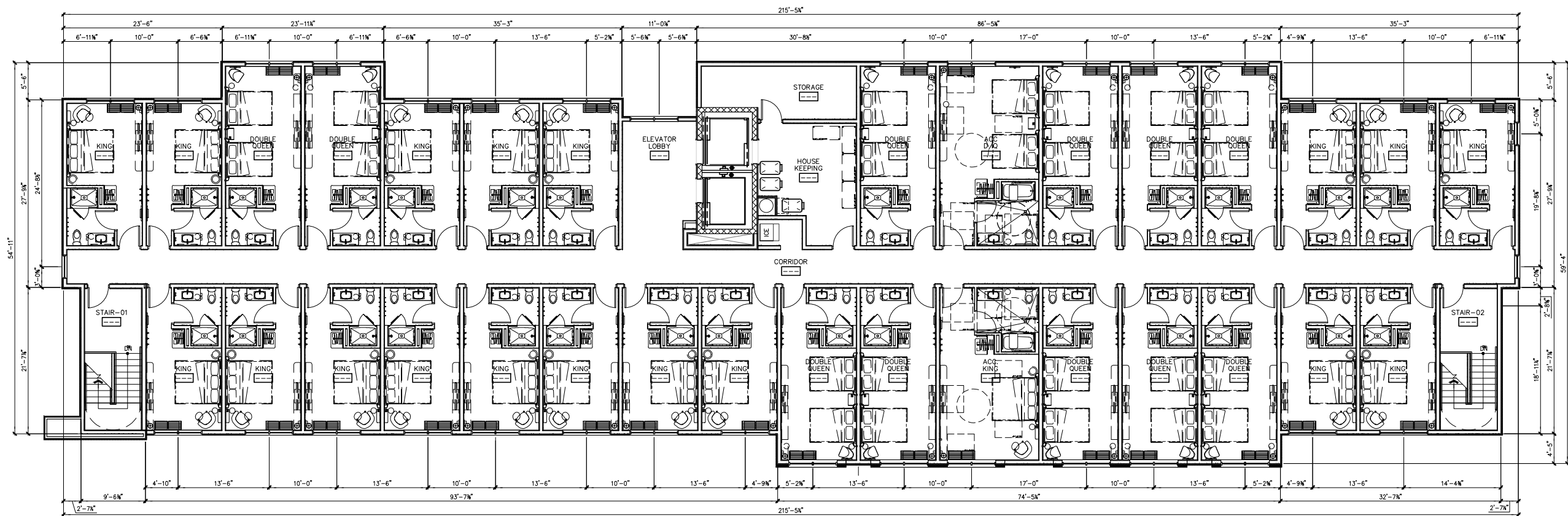


THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"





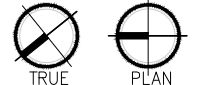
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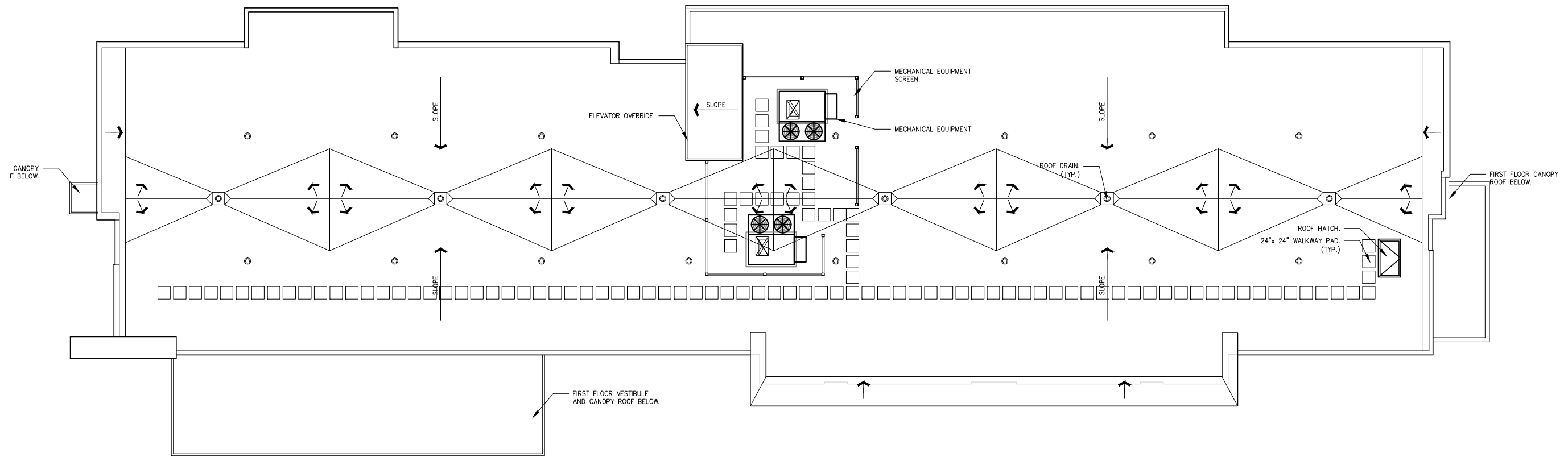


FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"





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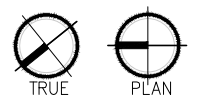


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MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
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ROOF PLAN
SCALE: 1/8" = 1'-0"

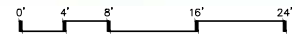




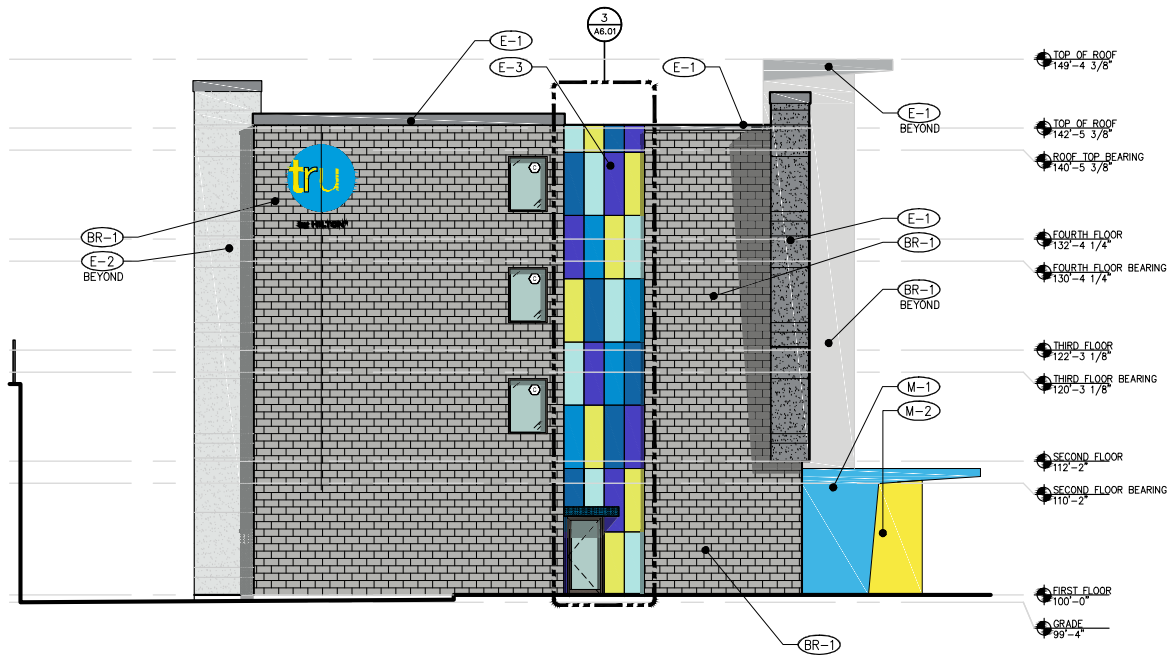
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MIDDLETON, WI 53542
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608-829-0564 (FAX)



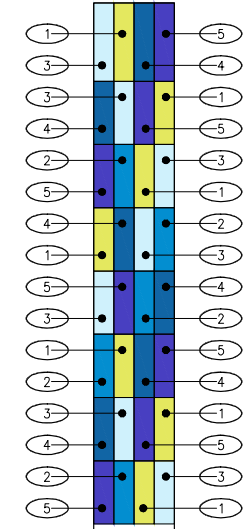
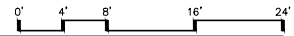
1 PLAN WEST ELEVATION
SCALE: 1/8" = 1'-0"



GRAPHIC	EXTERIOR FINISH KEY
	BR-1 MFC: MESASTONE TEXTURED MASONRY UNITS FINISH: N.A. COLOR: GRAY MARBLE SIZE: 8" (H) X 16" (W)
	E-1 MFC: DRYVIT FINISH: SANDBLAST DPR COLOR: "TRUH 02 1030" - w/ "STRATOTONE" HIGH PERFORMANCE COLORANT (PANTONE 7C BLACK)
	E-2 MFC: DRYVIT FINISH: SANDBLAST DPR COLOR: TRUH0127405
	E-3 MFC: DRYVIT FINISH: SANDBLAST HDP - "TRUH" COLOR: SEE 3/AG.01 COLOR DIAGRAM FOR LOCATIONS 1. COLOR 1: "TRUH 04 1085" - PANTONE PMS PROCESS YELLOW - w/ "STRATOTONE" HIGH PERFORMANCE COLOR 2. COLOR 2: "TRUH 05 1085" - PANTONE PMS PROCESS CYAN - w/ "STRATOTONE" HIGH PERFORMANCE COLOR 3. COLOR 3: "TRUH 06 1085" - PANTONE PMS #317C - w/ "STRATOTONE" HIGH PERFORMANCE COLORANT 4. COLOR 4: "TRUH 07 1085" - PANTONE PMS #695C - w/ "STRATOTONE" HIGH PERFORMANCE COLORANT 5. COLOR 5: "TRUH 08 1085" - PANTONE PMS #695C - w/ "STRATOTONE" HIGH PERFORMANCE COLORANT
	M-1 MFC: BERBRIDGE FINISH: F.B.D. COLOR: SEE ELEVATIONS FOR COLOR
	M-2 MFC: BERBRIDGE FINISH: F.B.D. COLOR: SEE ELEVATIONS FOR COLOR



2 PLAN NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 TYPICAL COLOR DIAGRAM
SCALE: 1/8" = 1'-0"

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MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562-0954

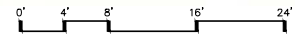
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PROJECT: 201245
DRAWN BY: MJB
DATE:
SCALE: AS NOTED
UDC INFORMATIONAL 07/27/2016
DAT 07/28/2016
UDC / PLANNING COM. 10/26/2016
DIOCESE SUBMITTAL 10/26/2016
UDC / PLANNING COM. 11/30/2016



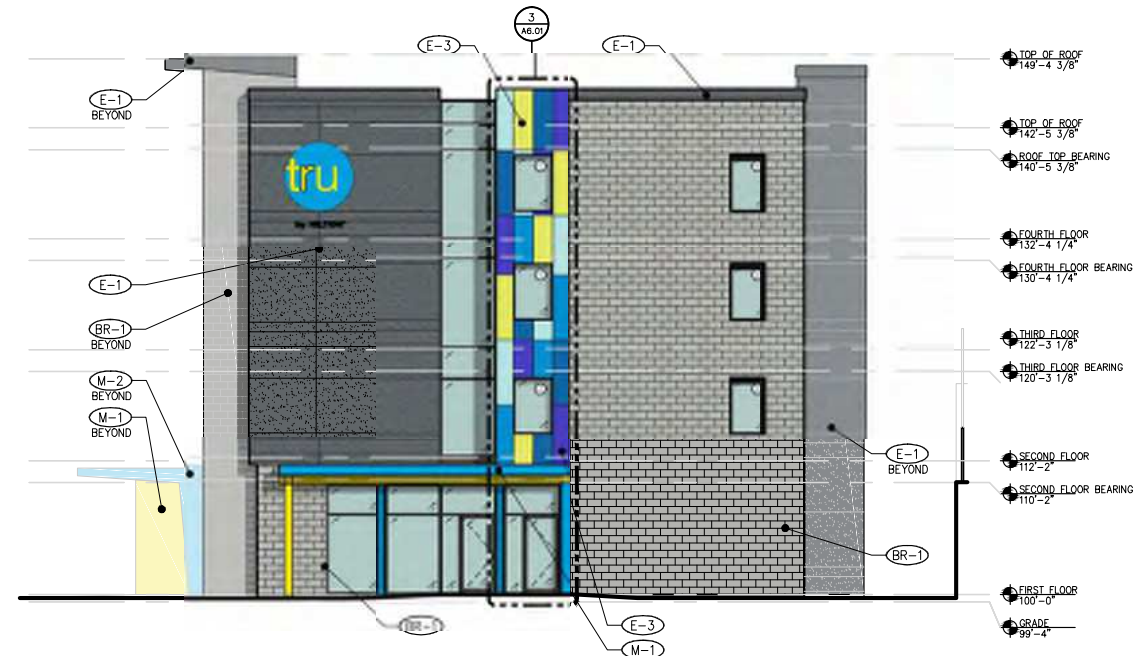
GARY BRINK ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 304
MIDDLETON, WI 53542
608-85-1758
608-829-0564 (FAX)



1 PLAN EAST ELEVATION
SCALE: 1/8" = 1'-0"



GRAPHIC	EXTERIOR FINISH KEY
	BRICK-1 MFR: MESASTONE TEXTURED MASONRY UNITS FINISH: N.A. COLOR: GRAY MARBLE SIZE: 8" (H) X 16" (W)
	GF5-05 MFR: DRYVET FINISH: SANDBLAST DPR COLOR: "TRUH 02 1032" - W/ "STRATOTONE" HIGH PERFORMANCE COLORANT (PANTONE 7C BLACK)
	GF5-02 MFR: DRYVET FINISH: SANDBLAST DPR COLOR: TRUH027405
	GF5-03 MFR: DRYVET FINISH: SANDBLAST DPR - "TRUH" COLOR: SEE 3/AG/ST COLOR DIAGRAM FOR LOCATIONS 1. COLOR 1: TRUH 04 10855 - PANTONE PMS PERFORMANCE COLOR PROCESS: YELLOW - W/ "STRATOTONE" HIGH PERFORMANCE COLOR 2. COLOR 2: TRUH 05 10855 - PANTONE PMS PERFORMANCE COLOR PROCESS: CYAN - W/ "STRATOTONE" HIGH PERFORMANCE COLOR 3. COLOR 3: TRUH 06 10855 - PANTONE PMS #317C - W/ "STRATOTONE" HIGH PERFORMANCE COLORANT 4. COLOR 4: TRUH 07 10855 - PANTONE PMS #395C - W/ "STRATOTONE" HIGH PERFORMANCE COLORANT 5. COLOR 5: TRUH 08 10855 - PANTONE PMS #395C - W/ "STRATOTONE" HIGH PERFORMANCE COLORANT
	METAL-1 MFR: BERTRIDGE FINISH: T.B.D. COLOR: SEE ELEVATIONS FOR COLOR
	METAL-2 MFR: BERTRIDGE FINISH: T.B.D. COLOR: SEE ELEVATIONS FOR COLOR



2 PLAN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

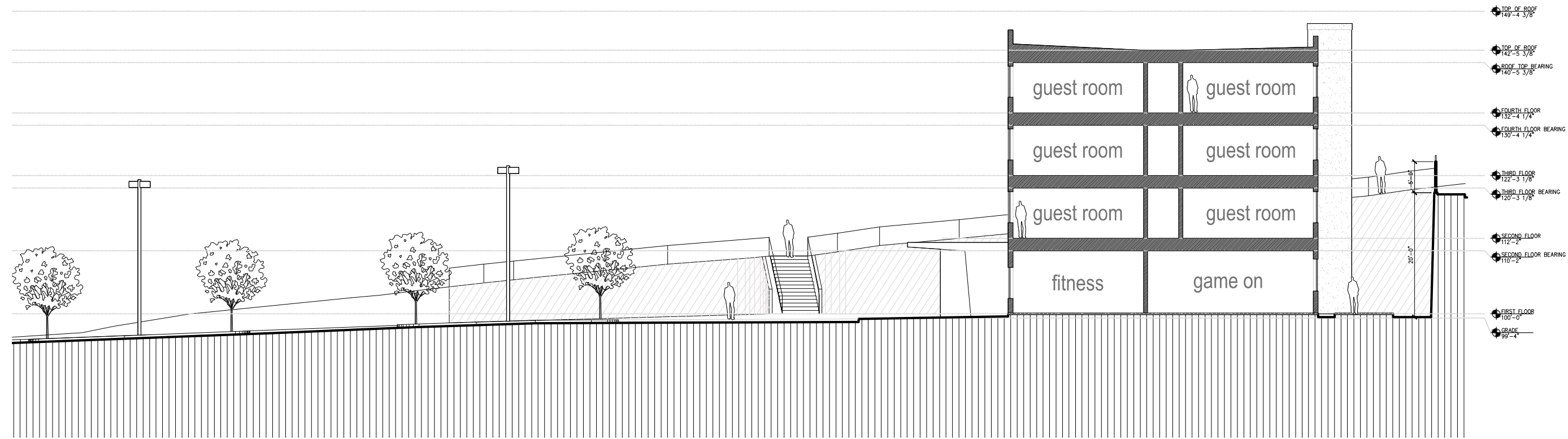


PROJECT: TRU BY HILTON
8102 WATTS ROAD
MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562-9894

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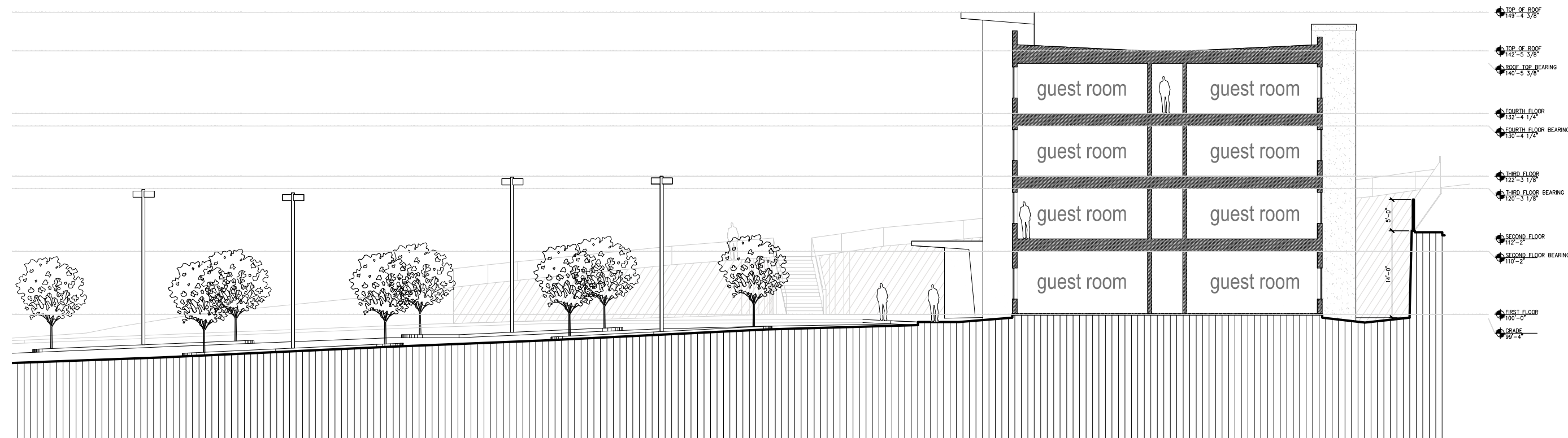
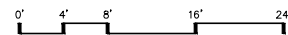


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608-829-1750
608-829-3056 (FAX)



SITE SECTION

SCALE: 1/8" = 1'-0"



SITE SECTION

SCALE: 1/8" = 1'-0"



PROJECT: TRU BY HILTON
8102 WATTS ROAD
MADISON, WISCONSIN 53719
CLIENT: MADISON WEST PRINCETON INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
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