

BUILDING INFORMATION:

237 UNIT APARTMENT PROJECT & Club House/Pool

SITE - LOT 1: - 3 Story - 41units

11 - Mini 1 bedrm --- 21 - 1bedrm --- 9- 2bedrm

SITE - LOT 2: - 3 Story - 51units- Bldg 1

18- Mini 1 bedrm --- 24- 1bedrm --- 7- 2bedrm --- 2 - 3 Bedrm

SITE - LOT 2: - 3 Story - 42units- Bldg 2

15- Mini 1 bedrm --- 16- 1bedrm --- 9- 2bedrm --- 2 - 3 Bedrm

SITE - LOT 3: - 2 Story RowHouse - 50 Units 10 Bldgs

12 A, 38 C, -3bedrm, 2 Car Garage

SITE - LOT 4: - 2 Story RowHouse - 53 Units 9 Bldgs

12 A, 4 B1, 27 C, 10 D -3bedrm, 2 Car Garage

Type 5V wood frame unprotected

Building shall have smoke & CO detectors
NFPA Sprinkler 13R

PARKING STALLS

GARAGES @ ROWHOUSES Lot 3 = 100 STALLS + 5 on Site

GARAGES @ ROWHOUSES Lot 4 = 106 STALLS

GARAGES @ APARTMENT Lot 2 -BLDG1 = 44 STALLS

GARAGES @ APARTMENT Lot 2 -BLDG 2 = 36 STALLS

+ 5 on Site LOT 3 = 63

GARAGES @ APARTMENT Lot 31 = 37 STALLS

+ 5 on Site LOT 1 = 25

On Street PARKING AVAILABLE

BIKE PARKING

IN GARAGES @ ROWHOUSES Lot 3 = 50 STALLS + 10 on Site

IN GARAGES @ ROWHOUSES Lot 4 = 53 STALLS +10 on site

IN GARAGES @ APARTMENT Lot 2 -BLDG1 = 10 STALLS

IN GARAGES @ APARTMENT Lot 2 -BLDG 2 = 10 STALLS

+ 5 on Site LOT 3 = 15 TOTAL

IN GARAGES @ APARTMENT Lot 1 = 8 STALLS

+ 5 on Site LOT 1 = 13 TOTAL

Jannah Village

PROJECT

MULTIFAMILY PROJECT

MADISON

FELLAND ROAD
MADISON, WI

Owner

SIMPLE HOMES MADISON LLC

Linsay Hagens

simplehomesproperties@gmail.com

608-446-2224

ARCHITECT

SiegerARCHITECTS

73 White Oaks Ln

Madison, WI 53711

Phone: 608.347.7332

email: siegerarchitects@sbcglobal.net

Bob Sieger

Quam Engineering, LLC

4604 Siggelkow Rd Suite A

McFarland, WI 53558

Phone: 608.838.7750

email: rquam@quamengineering.com

Ryan Quam

LANDSCAPE ARCHITECT, LLC

PAUL SKIDMORE

13 RED MAPLE TRL

MADISON, WI 53717

608-826-0032

paulskidmore@tds.net

CONSTRUCTION MANAGER

PlanRIGHT General Construction

1610 N. Bristol Street

Sun Prairie, WI 53590

PROJECT #

2103

MADISON - WI
Conditional Use Plan
August 2021

SHEET INDEX

C1.0 REFERENCE Site

- C1.1 Architectural LOT 1 Site Plan
- C1.2 Lot 1 Grading and Soil erosion Control
- C1.3 Lot 1 Utilities
- C1.1 Architectural LOT 2 Site Plan
- C1.2 Lot 2 Grading and Soil erosion Control
- C1.3 Lot 2 Utilities
- C1.1 Architectural LOT 3 Site Plan
- C1.2 Lot 3 Grading and Soil erosion Control
- C1.3 Lot 3 Utilities
- C1.1 Architectural LOT 4 Site Plan
- C1.2 Lot 4 Grading and Soil erosion Control
- C1.3 Lot 4 Utilities
- LA.1 Site Landscape Lot 1
- LA.2 Site Landscape Lot 2
- LA.3 Site Landscape Lot 3
- LA.4 Site Landscape Lot 4
- LA.5 Landscape Worksheet
- LA.6 Site Landscape Spec and Details
- CD.1 Site Lighting and Details Lot 1
- CD.2 Site Lighting and Details Lot 2
- CD.3 Site Lighting and Details Lot 3
- CD.4 Site Lighting and Details Lot 4
- C2.1 Site Details - Typical

3 STORY APARTMENT BUILDINGS

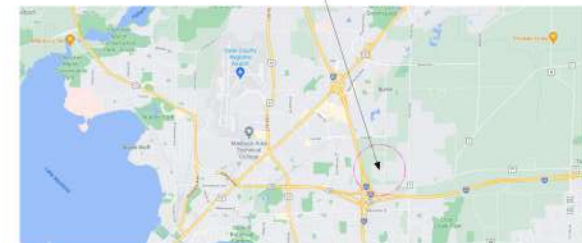
- A1.0 Floor Plan -Garage -Lot 1
- A1.1 1st Floor Plan/Elevation -Lot 1
- A1.2 Floor Plans 2&3 Floor -Lot 1
- A2.1.0 Floor Plans-Garage -Lot 2 bldg 1
- A2.1.1 1st Floor Plans -Lot 2 bldg 1
- A2.1.2 Floor Plans -2 & 3 Lot 2 bldg 1
- A2.4.1 Elevations Lot 2 bldg 1
- A2.2.0 Floor Plans-Garage -Lot 2 bldg 2
- A2.2.1 1st Floor Plans/Elevation -Lot 2 bldg 2
- A2.2.2 Floor Plans -2 & 3 Lot 2 bldg 2

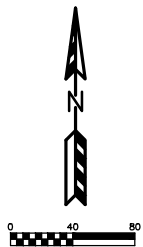
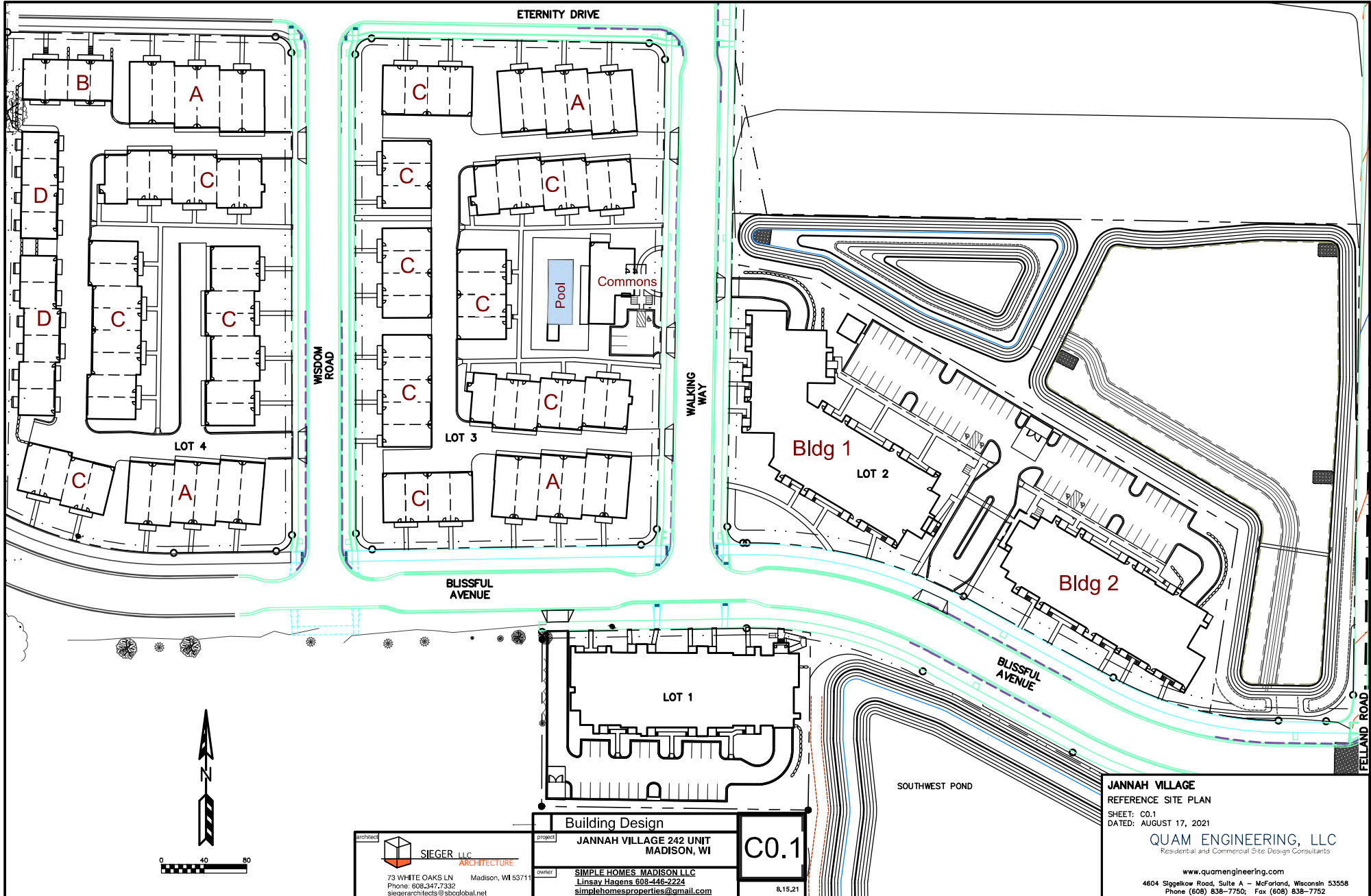
P1.1 Pool and Commons Building

TOWNHOMES

- A.TH.1 Floor Plans -Typical
- A4.1 Elevations -Typical
- B1 Floor Plans
- B4 Elevations
- C1.1 Floor Plans -Typical Elevations
- C2 Floor Plans -Typical Elevations
- C3 Floor Plans -Typical Elevations
- D1.1 Floor Plans -Typical
- D4 Elevations -Typical

SITE LOCATION



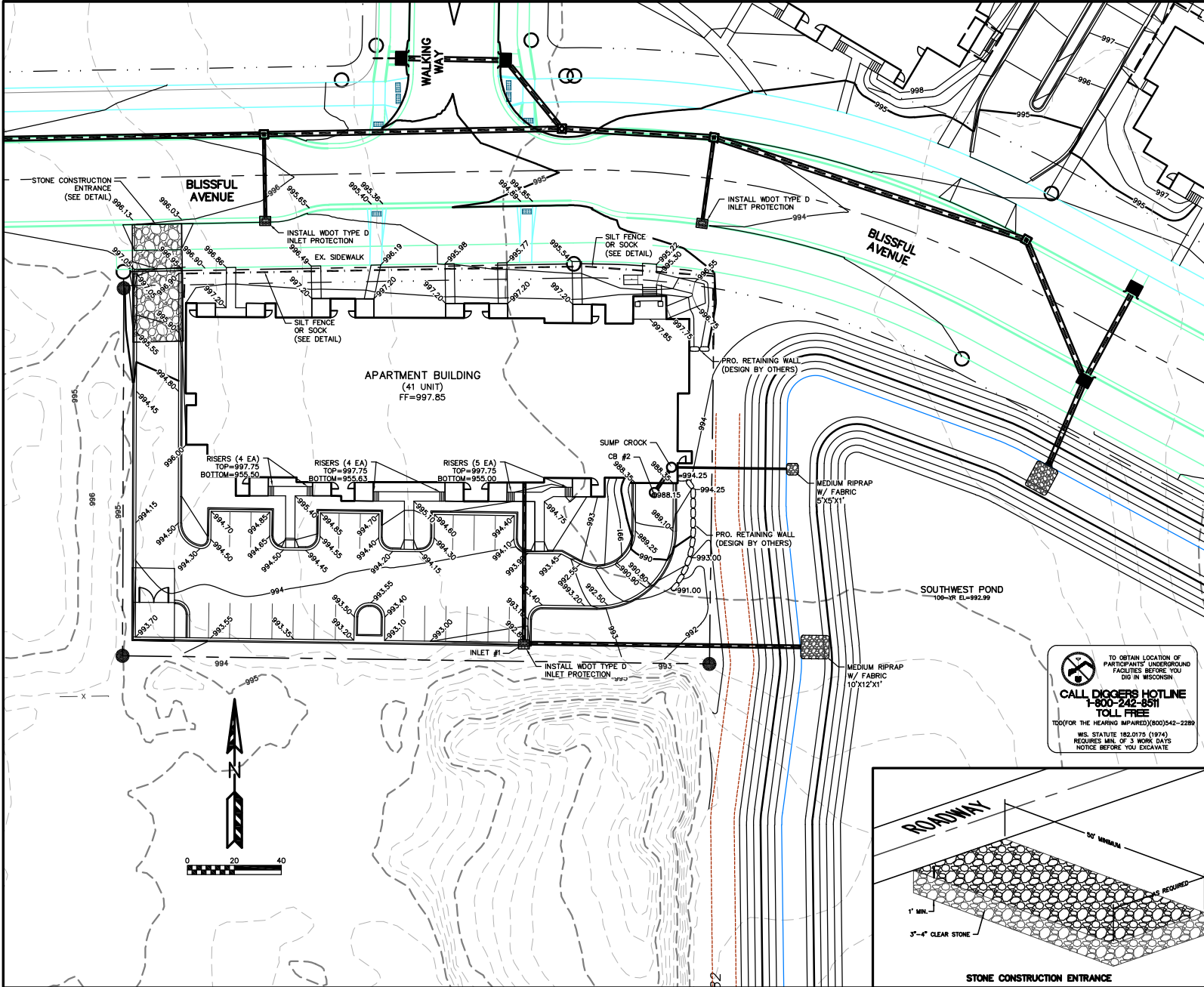


architect
SIEMER LLC
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608-347-7332
 siegerarchitects@sbcglobal.net

project
JANNAH VILLAGE 242 UNIT
 MADISON, WI
 owner
SIMPLE HOMES MADISON LLC
 Linsay Hagens 608-446-2224
 simplehomesproperties@gmail.com

C0.1
 8.15.21

JANNAH VILLAGE
 REFERENCE SITE PLAN
 SHEET: C0.1
 DATED: AUGUST 17, 2021
QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggeikow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



EROSION NOTES:
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
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TIME SCHEDULE:
 SEPTEMBER 15, 2022 INSTALL INITIAL EROSION CONTROL DEVICE AND ROUGH GRADE SITE.
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 JUNE 2023 APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED. (PER DNR TECH STANDARAD 1056).
 COMPLETE FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.

INSPECTIONS:
 COMPLETE WEEKLY SELF-INSPECTION OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCES.

RESTORATION NOTES:
 RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. NET BETAHON NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL INCREASE SHALL BE ADDED TO THE MULCH.

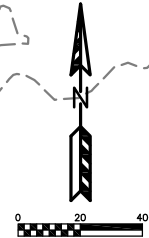
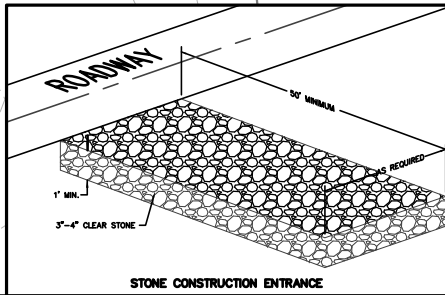
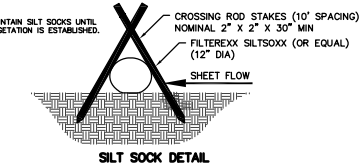
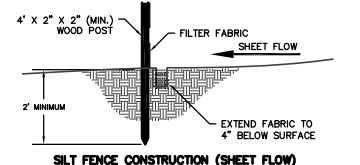
FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE. FERTILIZER SHALL ME THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM OCTOBER 1 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WEED SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

OWNER:
 SHOPY HOMES MADISON, LLC
 ATTN: LINDSAY HASEN
 5117 BUTTERFLY DRIVE
 MADISON, WI 53704

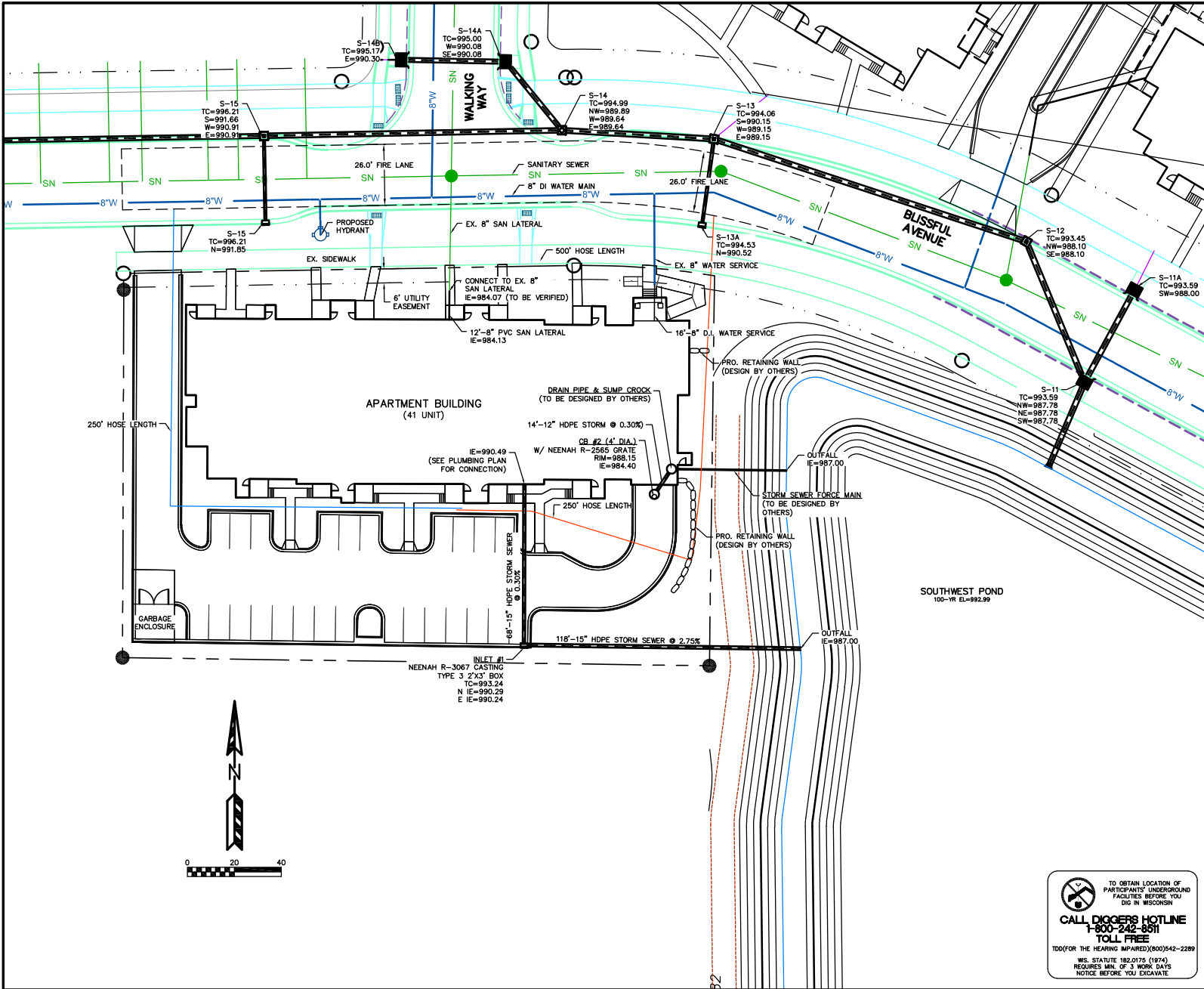
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8811 TOLL FREE
 TCO (FOR THE HEARING IMPAIRED) (800)542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



JANNAH WAGE - LOT 1
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-2
 DATED: AUGUST 17, 2021

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
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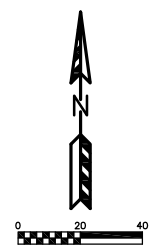


UTILITY NOTES:

- ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.
- PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
- MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
- ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
- THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
- ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.
- SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- WATER MAIN SHALL BE CLASS 52 DUCTILE IRON PIPE, PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
- CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

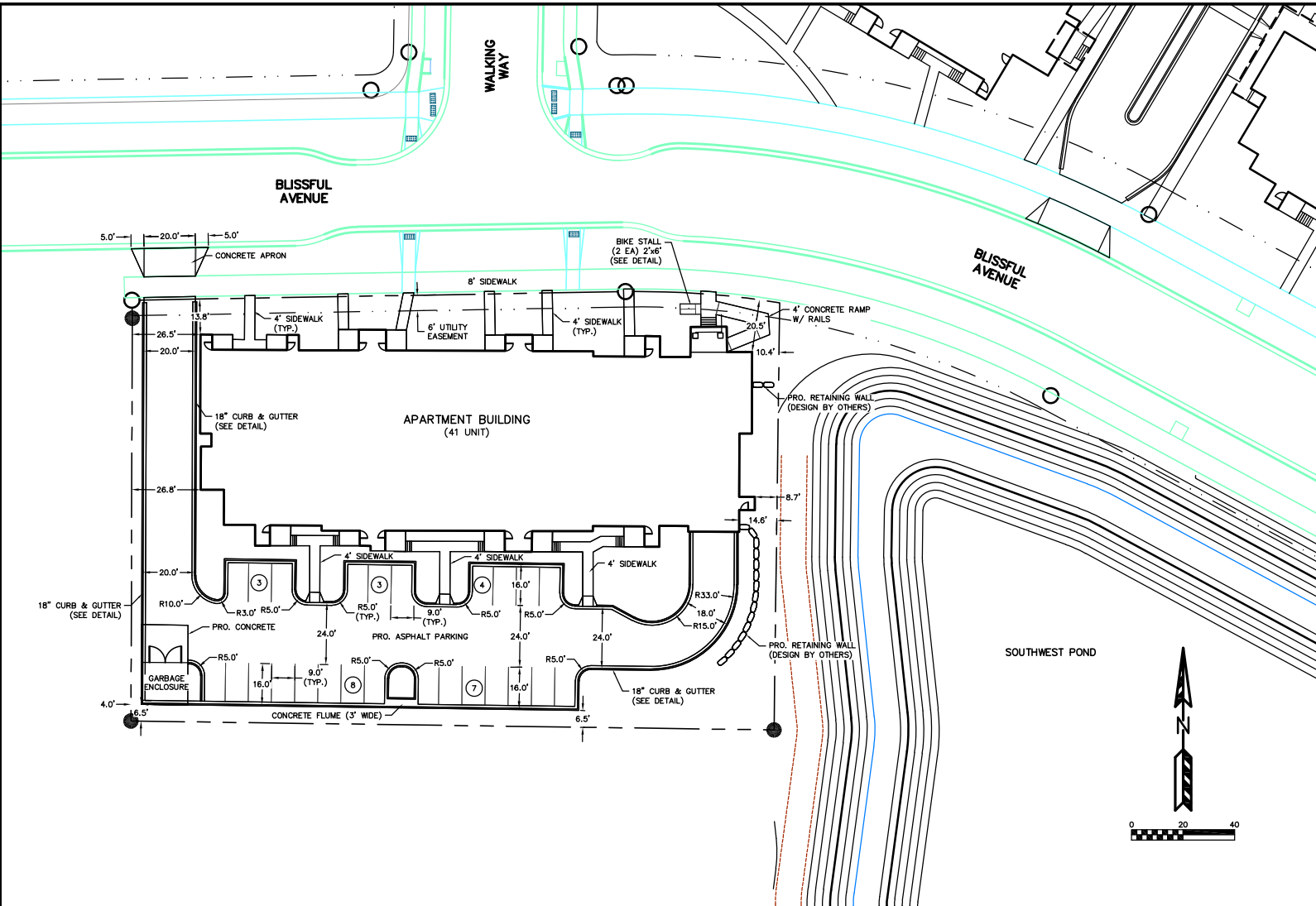
GENERAL NOTES:

- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.



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CALL DIGGERS HOTLINE
1-800-242-8311
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 TDD/VOICED (FOR THE HEARING IMPAIRED) (800) 542-2289
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JANNAH VILLAGE - LOT 1
 UTILITY PLAN
 SHEET: C-3
 DATED: AUGUST 17, 2021
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 Residential and Commercial Site Design Consultants
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 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
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CITY NOTE:
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

CURB & GUTTER NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

PAVING NOTES:
 PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.

THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

SIGNING NOTES:
 THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING.

GENERAL NOTES:
 THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

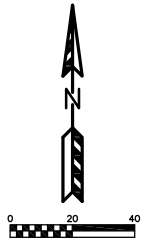
ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address TO BE DETERMINED
 Site coverage (total) 50% ACCESS
 Number of building stories (above grade) 3
 Building height 20'
 Total Building height above existing grade 26.7'
 Total square footage of building 15,095 sq. ft.
 Use of property MULTIFAMILY APARTMENT BUILDING
 Impervious area 0.65 ACCESS
 Open space area 28.1%
 Lot coverage 28.1%
 Number of bicycle stalls shown 2

DESCRIPTION	Number
Parking (above ground)	29
Accessible (above ground)	0
Parking (garage)	36
Accessible (garage)	3
Total	62

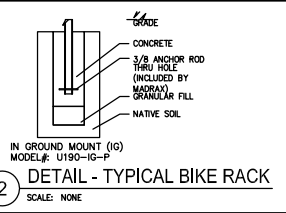
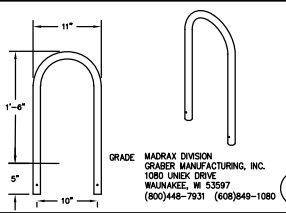
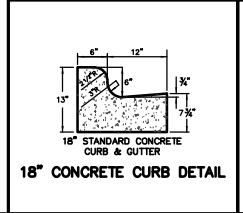


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RESERVED PARKING

 VEHICLES WITH ONE OR TWO WHEEL CHAIRS OR STATE REGISTERED CARB THIS SPACE

HANDICAP ACCESSIBLE SIGN DETAIL



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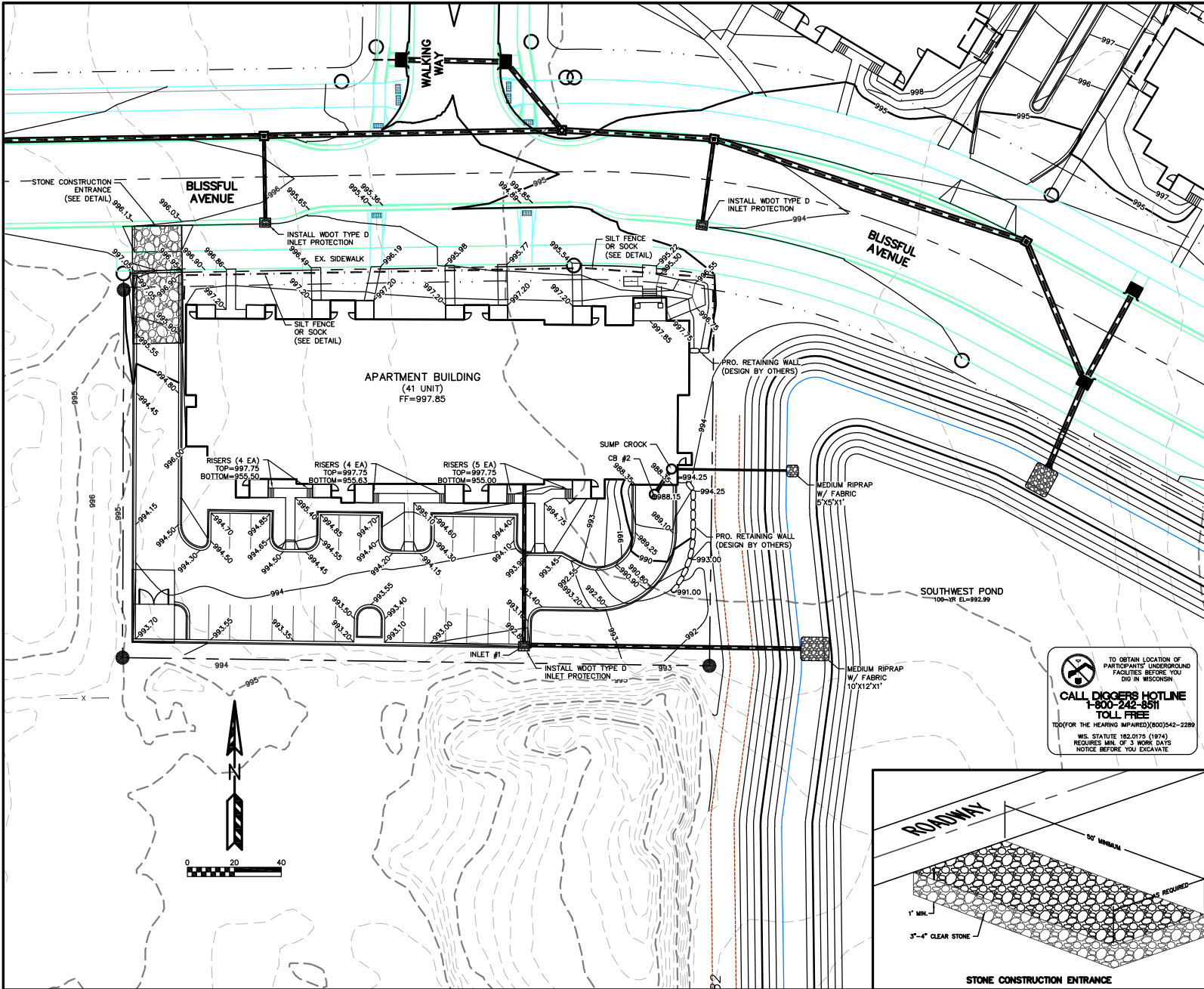
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JANNAH VILLAGE - LOT 1

SITE PLAN
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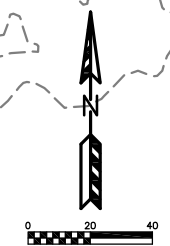
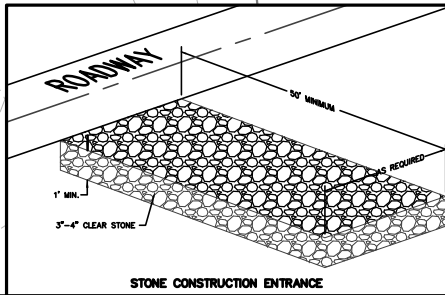
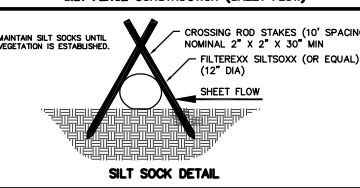
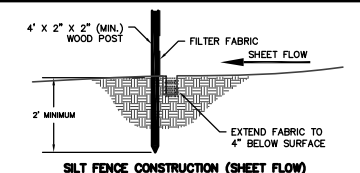
RESTORATION NOTES:
 RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. NET BETAHON NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL INCREASE SHALL BE ADDED TO THE MULCH.
 FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL BE THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.
 SEEDING FROM OCTOBER 1 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WEED SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

OWNER:
 SHIRLEY HOMES MADISON, LLC
 ATTN: LINDSAY HASEN
 5117 BUTTERFIELD DRIVE
 MADISON, WI 53704

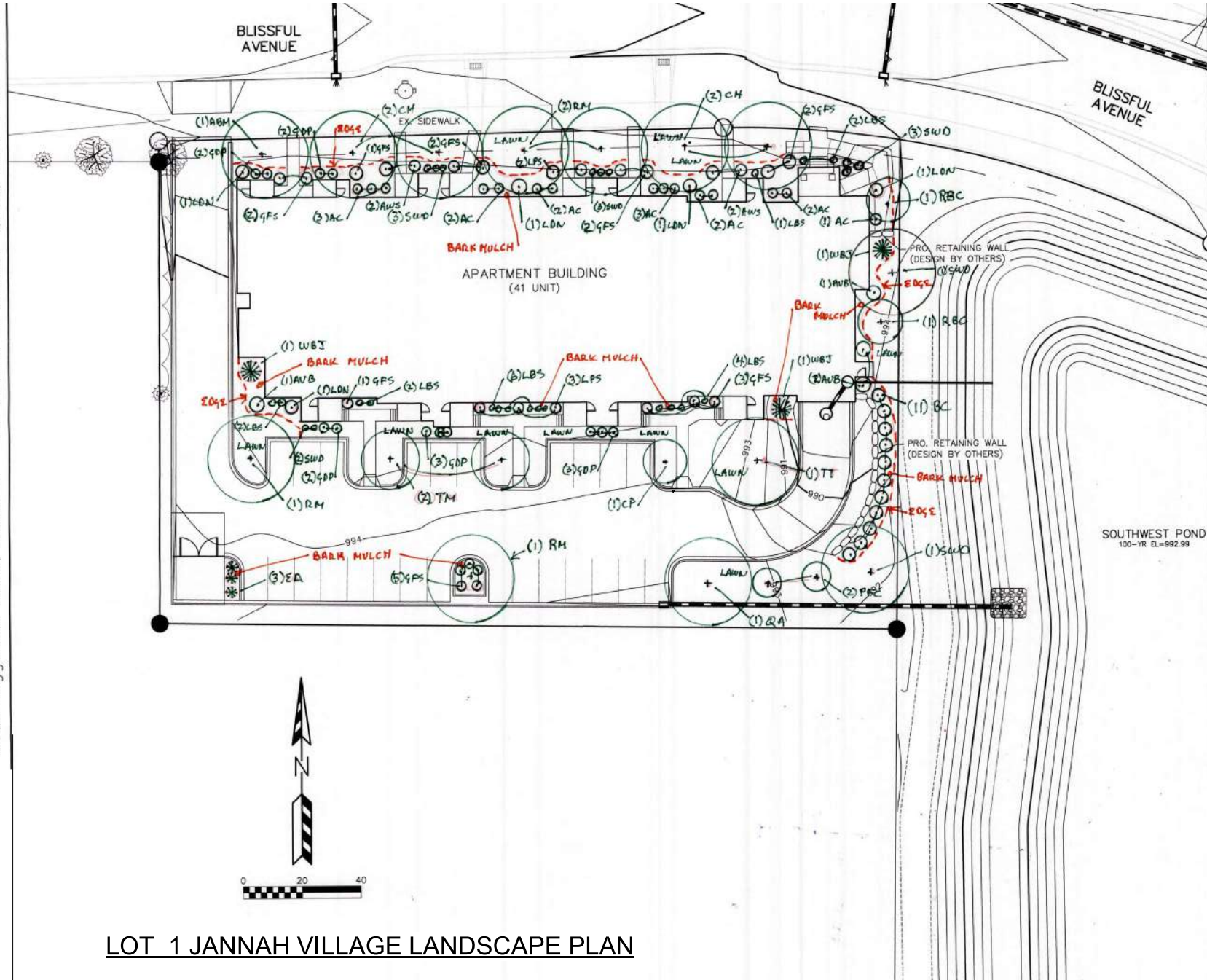
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELOW ROAD, SUITE A
 MCFARLAND, WI 53558

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8811 TOLL FREE
 TDD (FOR THE HEARING IMPAIRED) (800)542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



JANNAH WAGE - LOT 1
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-2
 DATED: AUGUST 17, 2021

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



LOT 1 JANNAH VILLAGE LANDSCAPE PLAN

LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
 13 Rec Maple Trl Madison, WI 53717
 608-626-0032 paulskidmore@tds.net

prepared by
SiegerARCHITECTS
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332 siegerarchitects@sbcglobal.net

PROJECT LINDSAY HAGENS Jannah Village Madison, WI	DRAWN BY [Signature]
	DATE 8.16.21

LA 1

LIGHTING FIXTURE SCHEDULE

Lighting Notes:

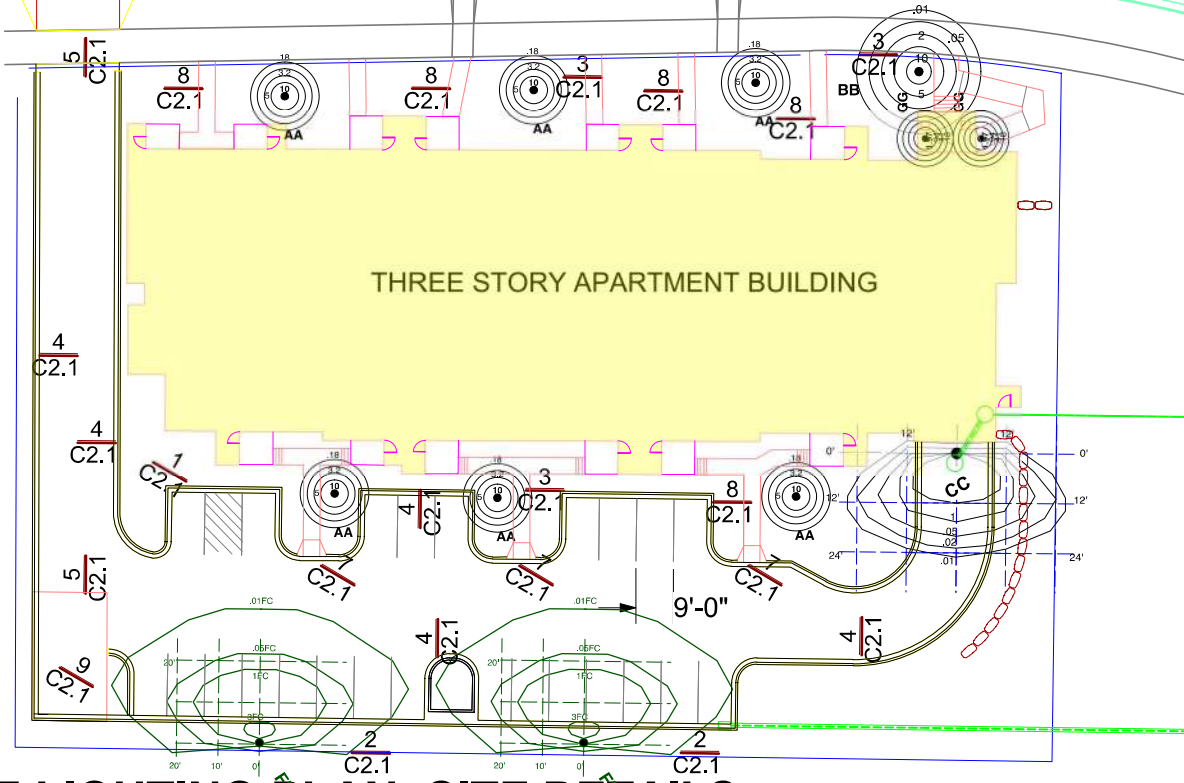
- 1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLEDR12Y-180 w/ photocell	12W LED WARM	120	42" HT LED bollard- walk lites WHITE
BB	RAB	BLEDR24Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites WHITE
CC	RAB	SLIM 18 NW	12w LED -warm	120	Wall Pack -mt ht 12" @ SPORT COURT white
EE	RAB - LED	SLEDR 3W w/ photocell	5W LED -warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED4T 78 POLE LT w/ accessories	78W - LED WARM	120	AREA LIGHT 2 hd per 16' pole -white
GG	RAB	NDLED6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

WALKING WAY

BLISSFUL AVENUE

SEE SHEET C2.1 FOR ARCHITECTURAL SITE DETAILS

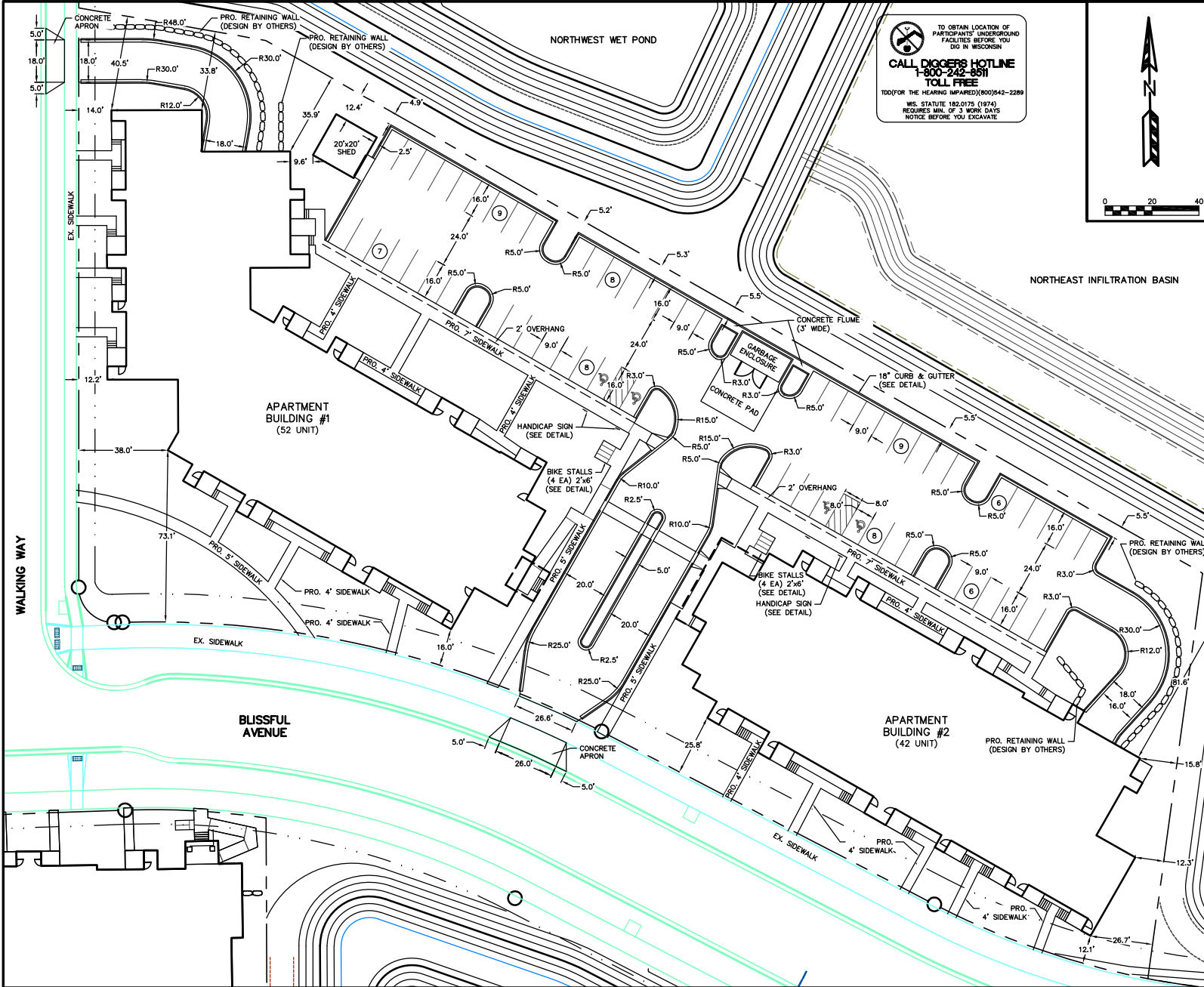


SITE LIGHTING PLAN- SITE DETAILS

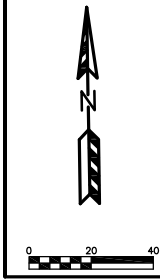
ARCHITECTURE
SIEGER LLC
 ARCHITECTS
 3 WHITE OAKS LN Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101
 siegerarchitects@siegerllc.com

OWNER
JANNAH VILLAGE 242 UNIT MADISON, WI
 SIMPLE HOMES MADISON LLC
 Lindsay Higgins 608-446-7224
 simplehomesmadison@gmail.com

CD.1
 2.12.21



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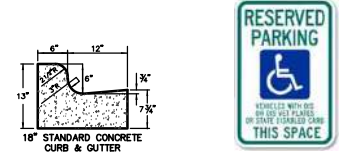
CITY NOTE:
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CURB & GUTTER NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

PAVING NOTES:
 PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.
 THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

SIGNING NOTES:
 THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING

GENERAL NOTES:
 THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

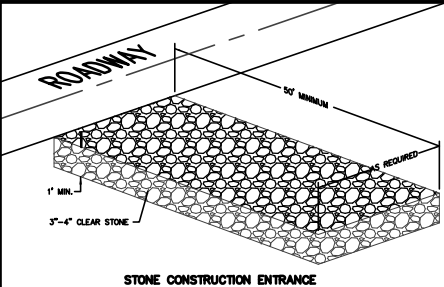
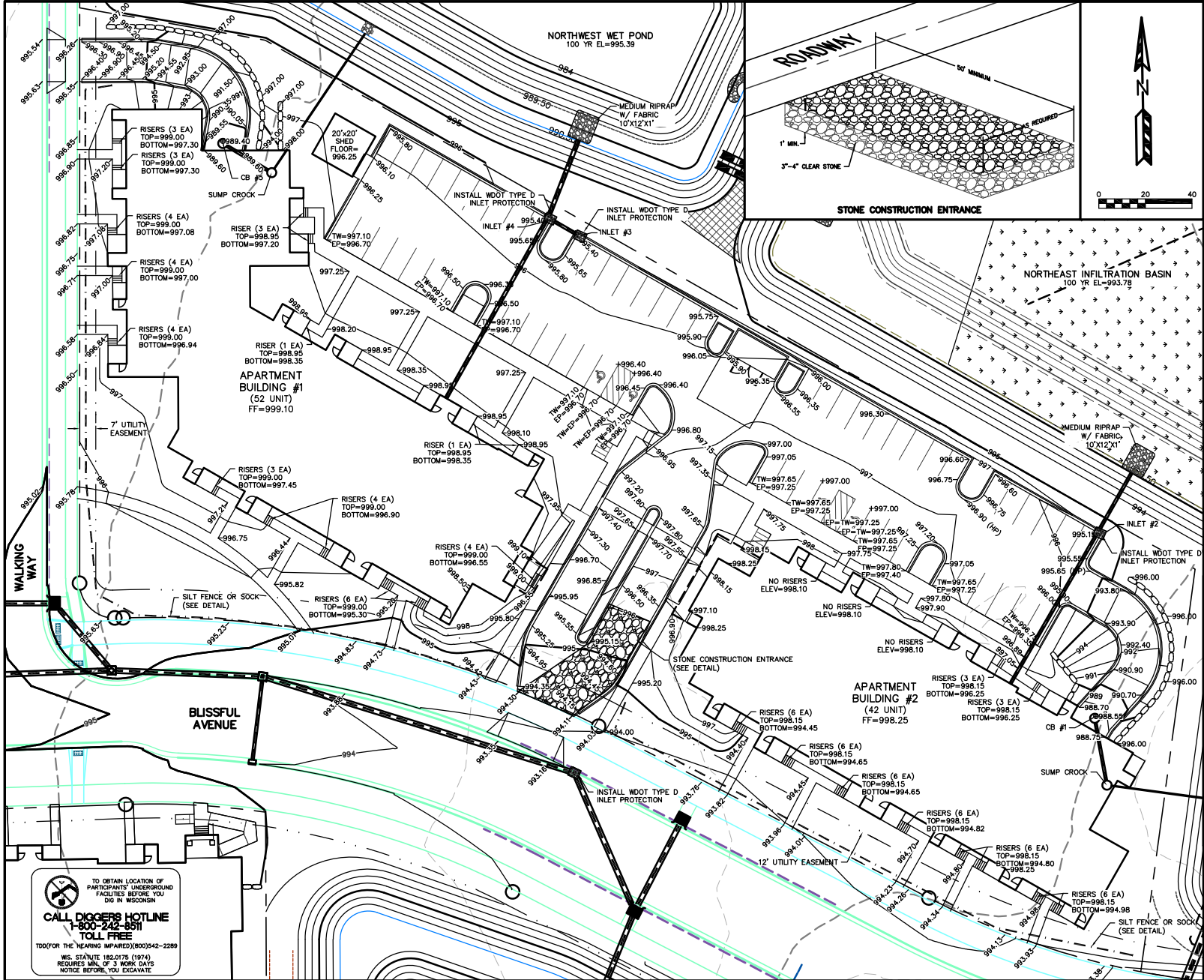


18" CONCRETE CURB DETAIL



JANNAH VILLAGE - LOT 2
 SITE PLAN
 SHEET: C-1
 DATED: AUGUST 17, 2021

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 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



EROSION NOTES:
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS.
 SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED.
 ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY ON WITHIN 0.5 HRS. OF EACH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY.
 ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
 PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REORDERING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

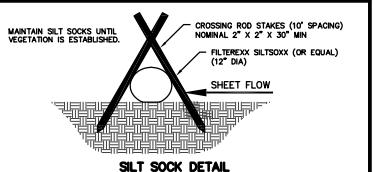
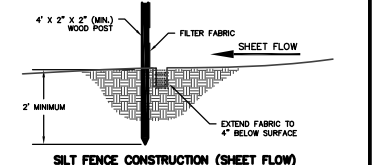
TIME SCHEDULE:

SEPTEMBER 1, 2022	INSTALL INITIAL EROSION CONTROL DEVICE AND ROUGH GRADE SITE.
SEPT. 15, 2022 - JUNE 1, 2023	CONSTRUCT EAST BUILDING, SIDEWALK, AND PAVEMENT.
SEPT. 15, 2023 - JUNE 1, 2024	CONSTRUCT WEST BUILDING, SIDEWALK, AND PAVEMENT.
JUNE 1, 2023 & JUNE 1, 2024	APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED. (PER DNR TECH STANDARDS)
JUNE/JULY 2023 & 2024	COMPLETE FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.

INSPECTIONS:
 COMPLETE WEEKLY SELF-INSPECTION OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCES.

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 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. NET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 530 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL INCREASE SHALL BE ADDED TO THE MULCH.
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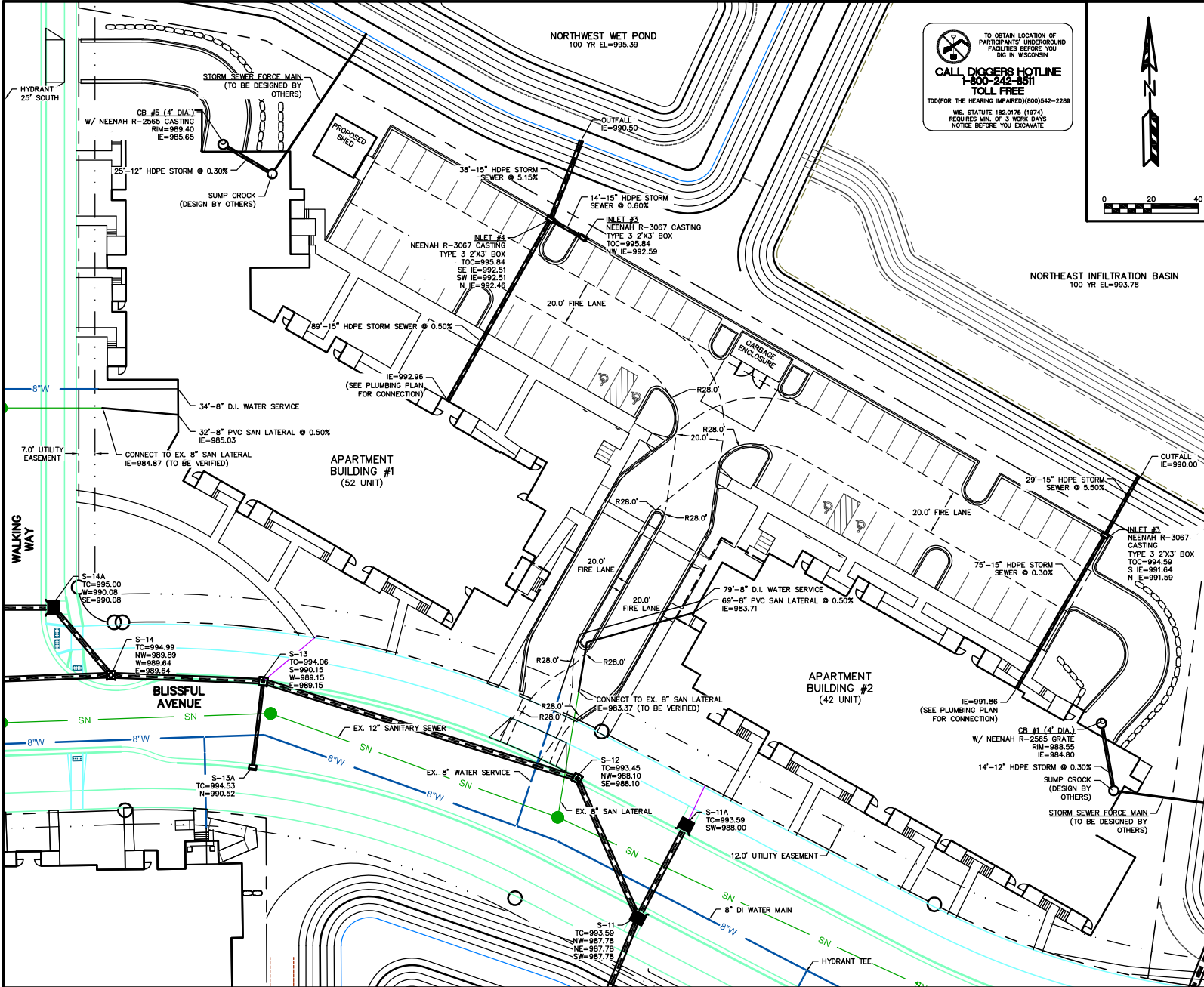
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: LINDSAY HAGREN
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



JANNAH VILLAGE - LOT 2
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-2
 DATED: AUGUST 17, 2021

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 Residential and Commercial Site Design Consultants
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 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

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CALL DIGGERS HOTLINE
 1-800-242-8611
 TOLL FREE
 TDD/VOICEMAIL: (608)342-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU DIG/DATE



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
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1-800-242-5611
TOLL FREE
 TDD/VOIC FOR THE HEARING IMPAIRED (800)542-2289
 WIS. STATUTE 182.0178 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

UTILITY NOTES:

- ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.
- PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS
- THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
- MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
- ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2f) OF STATE STATUTES.
- THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
- ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.
- SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- WATER MAIN SHALL BE CLASS 52 DUCTILE IRON PIPE, PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATER TIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
- CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

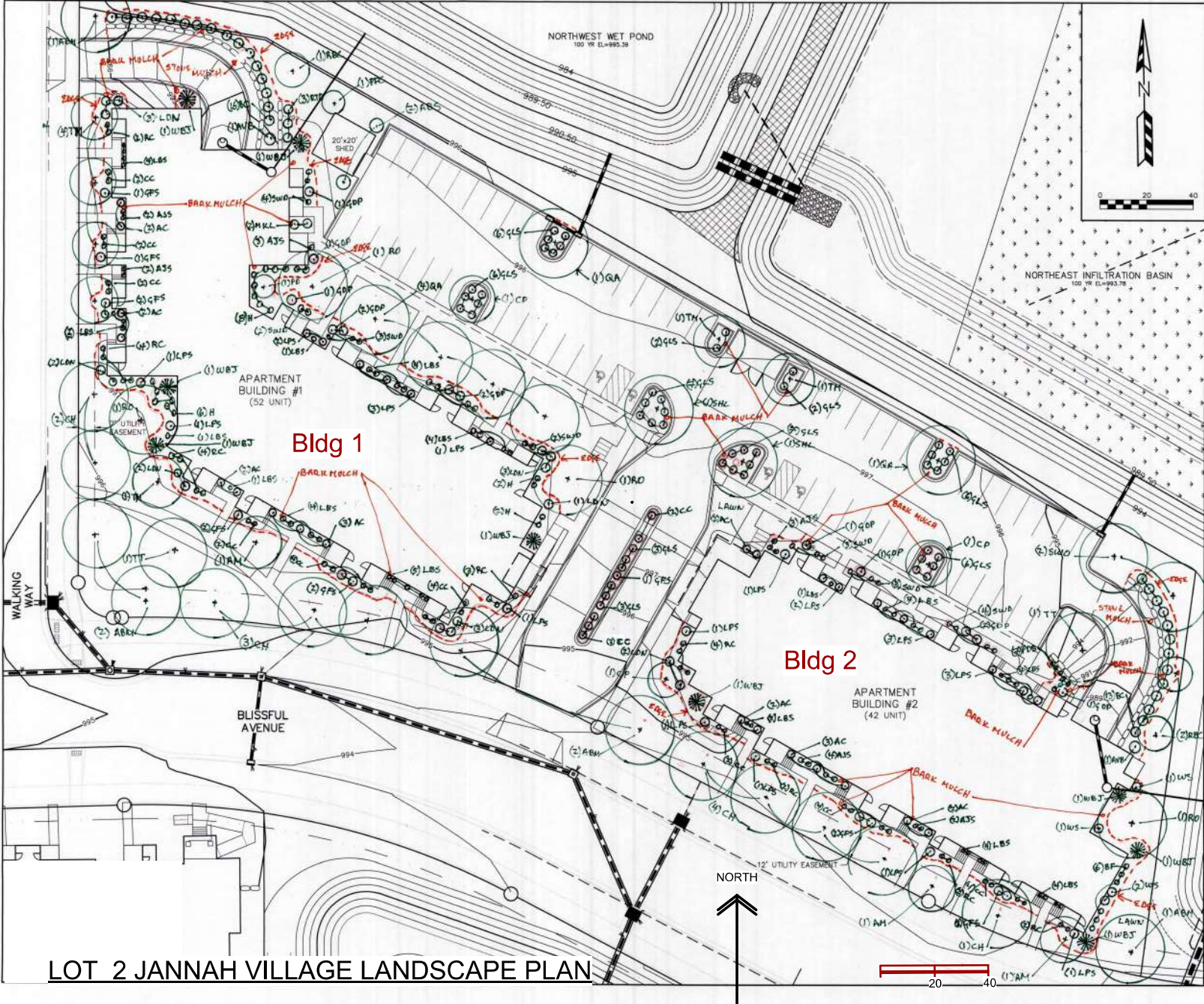
GENERAL NOTES:

- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

JANNAH VILLAGE - LOT 2
 UTILITY PLAN
 SHEET: C-3
 DATED: AUGUST 17, 2021


QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

QUAM ENGINEERING, LLC 4604 Sigelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \LH-03-18\LH03-LOTS 1-2 BASE.DWG



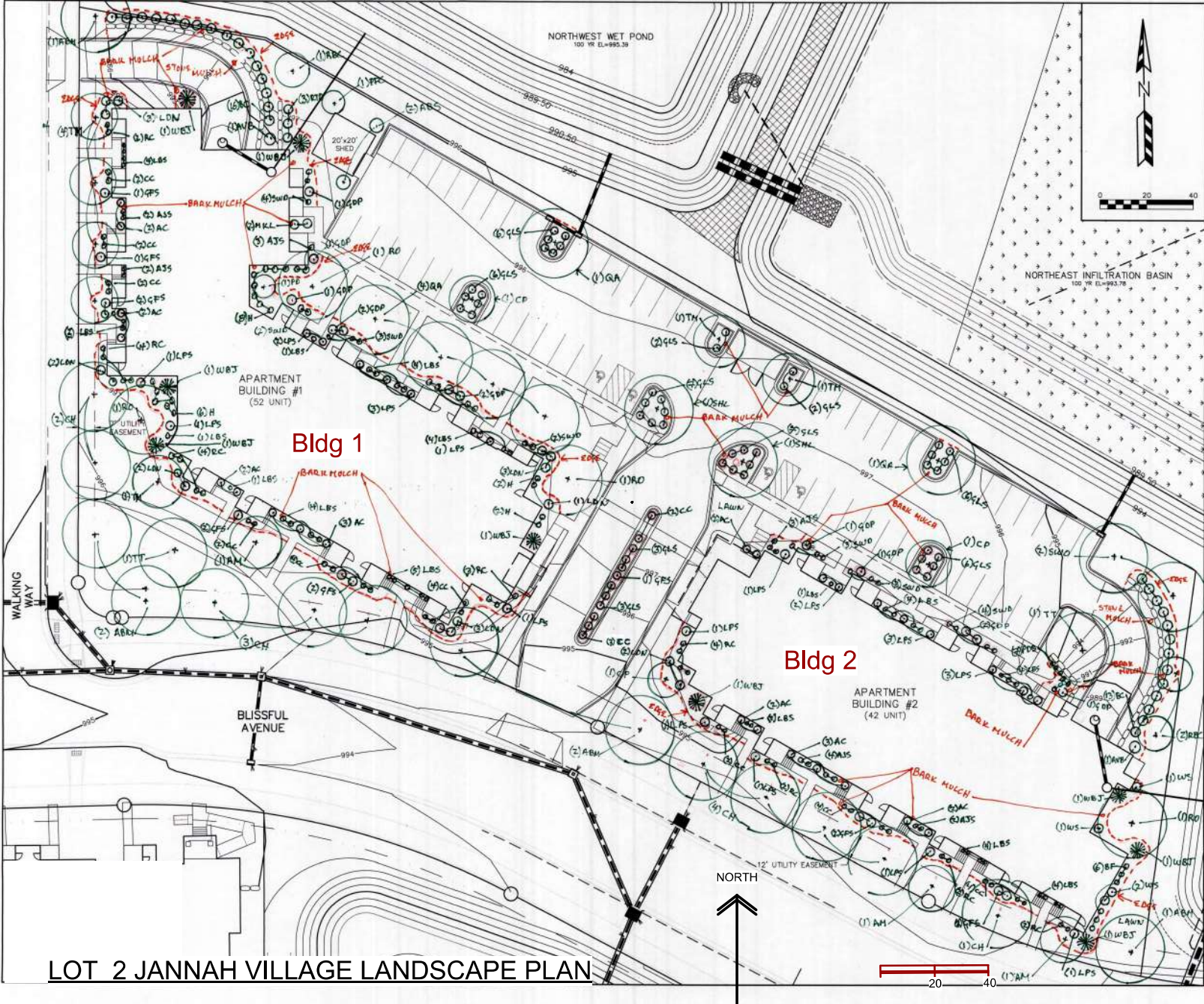
LOT 2 JANNAH VILLAGE LANDSCAPE PLAN

LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
 13 Red Maple Trl Madison, WI 53717
 608-626-0032 paulskidmore@tds.net


SiegerARCHITECTS
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332 siegerarchitects@siegelohai.net

PROJECT: **LINDSAY HAGENS**
 Jannah Village
 Madison, WI
 DRAWN:

LA 2
 8.16.21



LOT 2 JANNAH VILLAGE LANDSCAPE PLAN

LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
 13 Red Maple Trl Madison, WI 53717
 608-826-0032 paulskidmore@tds.net

PROPOSED
 LINDSAY HAGENS
 Jannah Village
 Madison, WI
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332 siegararchitects@sbcglobal.net

DATE
 8.16.21

LA 2

BLISFUL AVENUE

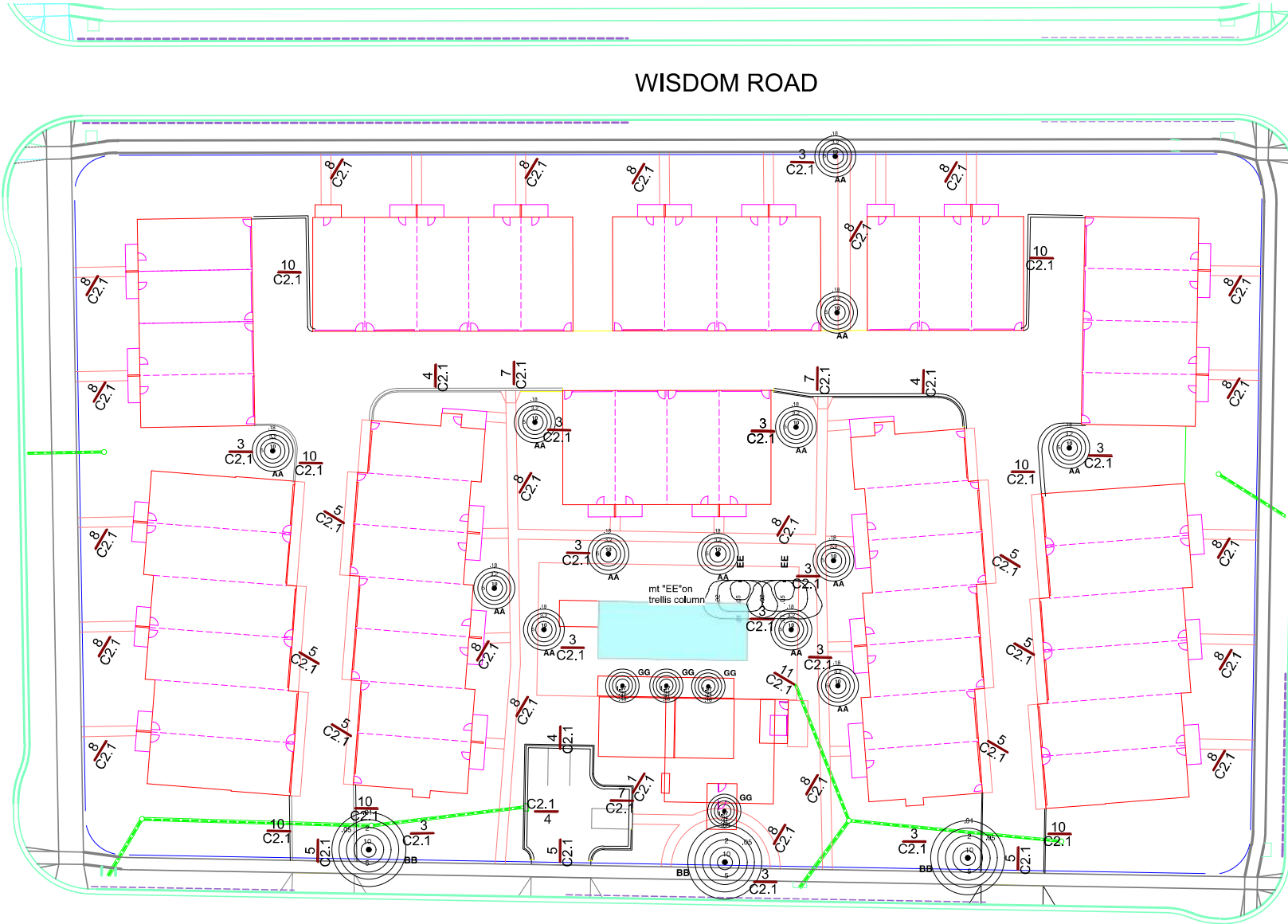
WISDOM ROAD

ETERITY DRIVE

WALKING WALL

SITE LIGHTING PLAN- SITE DETAILS

SCALE: 1" = 4'0" @ 11X17 SHT SIZE



LIGHTING FIXTURE SCHEDULE

Lighting Notes:
1. Bollard lights (BB) see Detail 3C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	FAB	BLEDTR-CY-180 W/ PHOTO CELL	120V-LED WARM	120	42" FT LED bollard-walk line WHITE
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CC	FAB	SUN 183 RW	120V-LED-warm	120	WAB PAK - entry 12" @ SPORT COURT white
EE	FAB-LED	SLIDES RW in BRACKET	54V-LED-warm	120	Outdoor wall fix @ 24" recess in wall white
FF	FAB	RECESSED SQUARE 12" w/ MICROSLIDE	120V-LED WARM	120	AREA LIGHT 2-1/2" dia for 10' recess white
GG	FAB	NOLDFIX-180V-180	120V-LED WARM	120	6" recess - mt in wall overhang @ entry

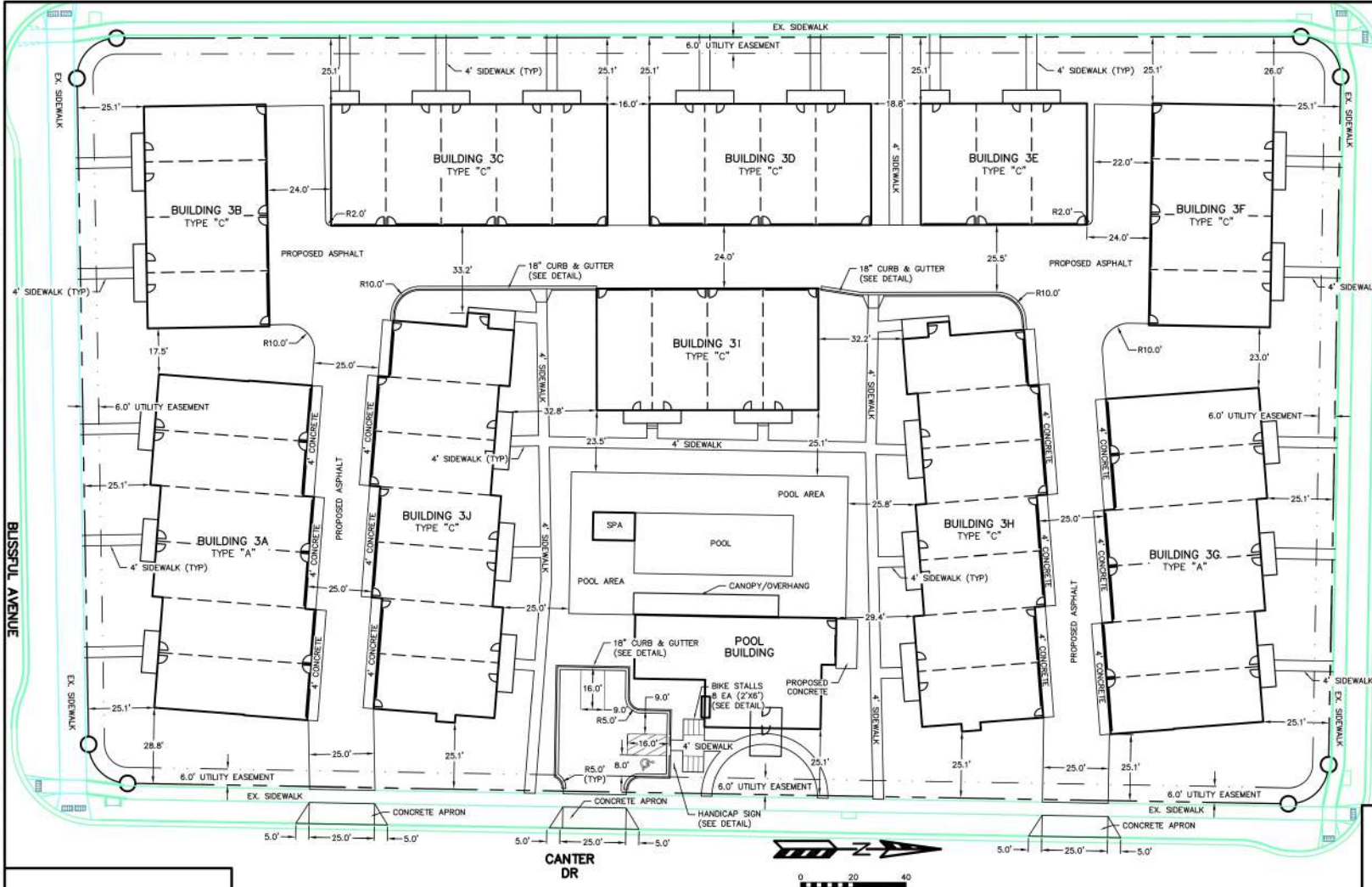
ARCHITECTS
ARC SIEGER LLC SIEGER

3 WHITE OAKS LN Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101
siegerarchitects@siegerllc.com

project: **JANNAH VILLAGE 242 UNIT**
owner: **SIMPLE HOMES MADISON LLC**
3 WHITE OAKS LN Madison, WI 53711
Phone: 608.448.2724
simplehomesproject@mshllc.com

CD 3
3-12-21

QUAM ENGINEERING, LLC 4604 Sigelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \UH-03-18\UH03-L0TS 3-4 BASE.DWG



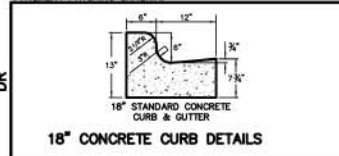
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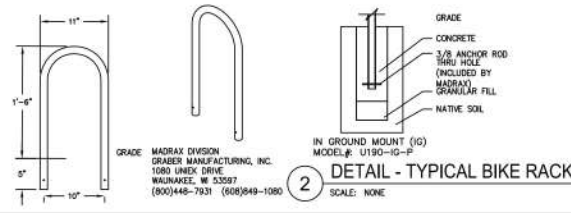
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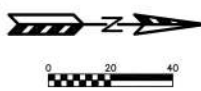
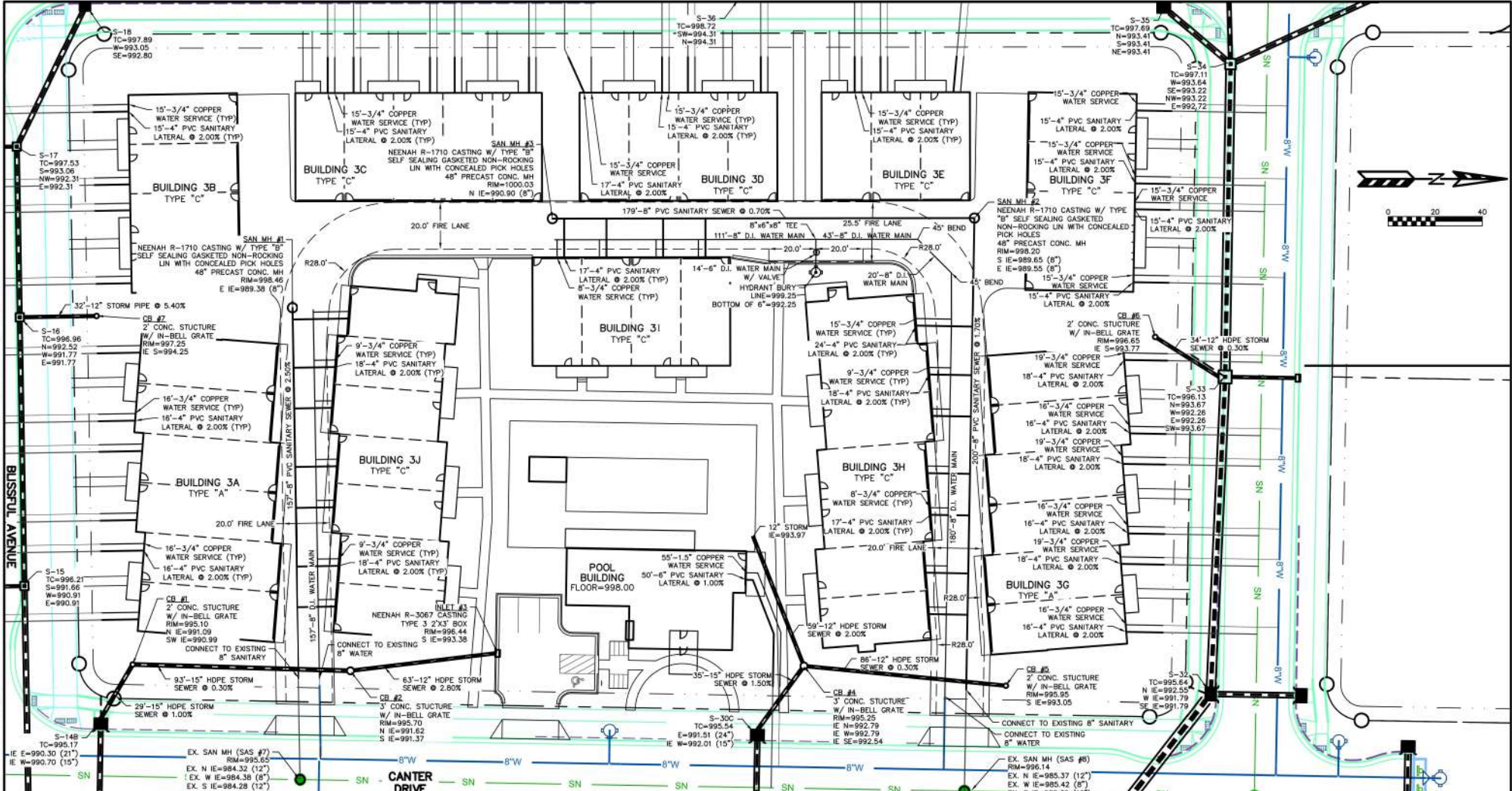


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JANNAH VILLAGE - LOT 3
SITE PLAN
SHEET: C-1
DATED: AUGUST 17, 2021

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752





UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS.

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THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8911

TOLL FREE

100FOR THE HEARING IMPAIRED: (800)542-2289

WS STATUTE 182.0715 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

JANNAH VILLAGE - LOT 3

UTILITY PLAN

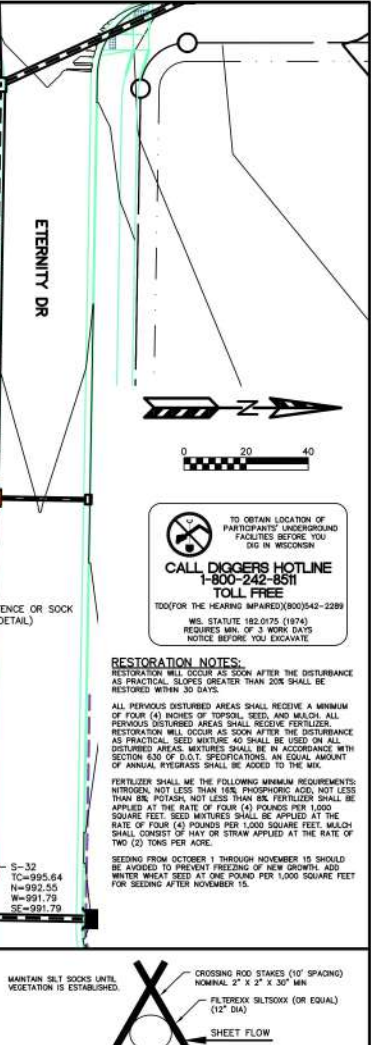
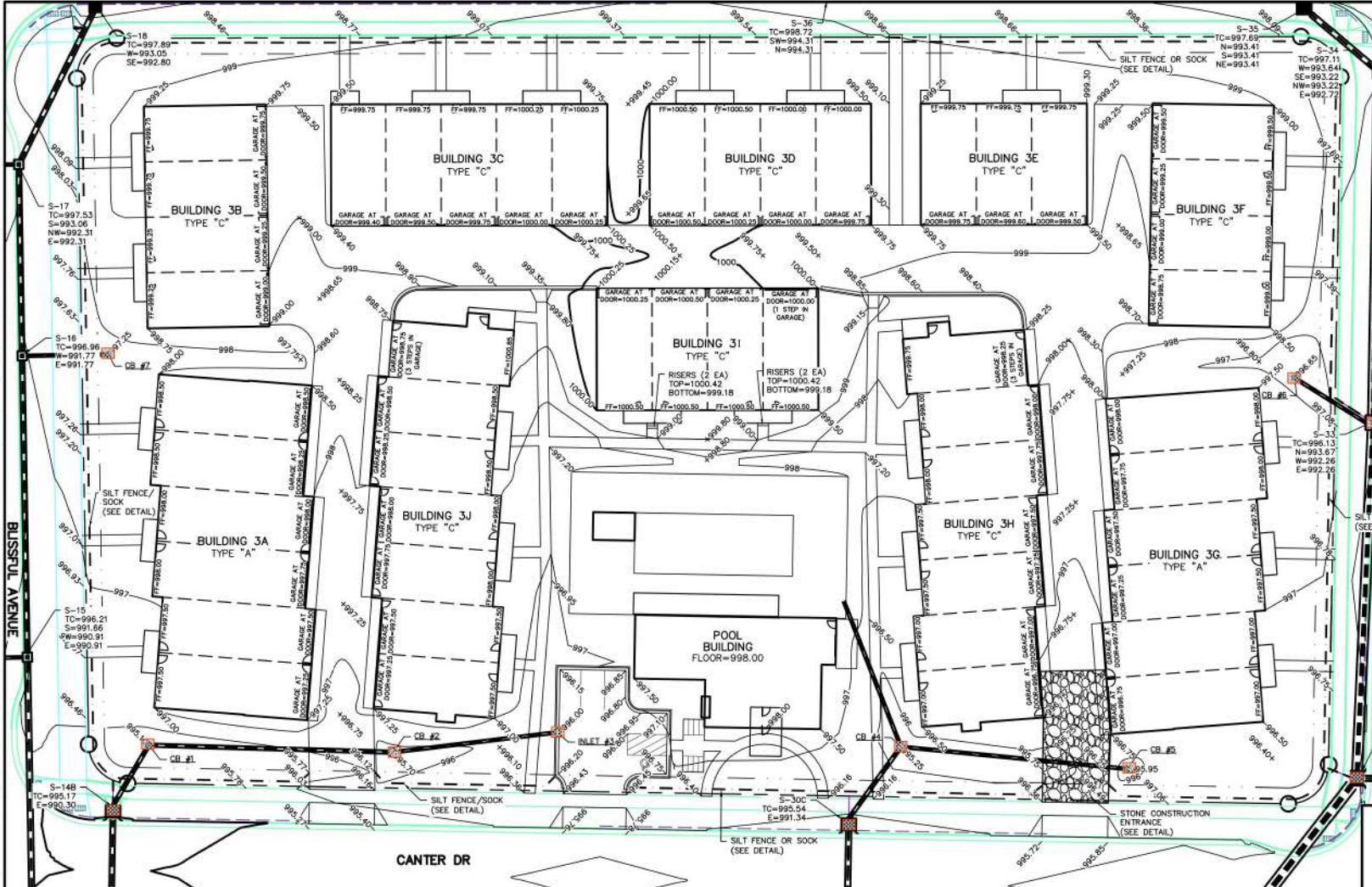
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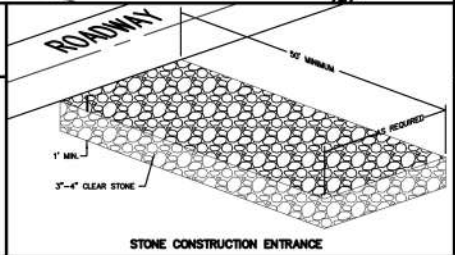
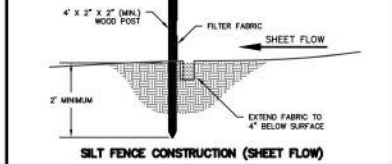
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TIME SCHEDULE:
 NOVEMBER 1, 2021 - NOVEMBER 15, 2021
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 JULY 15, 2023 - AUGUST 15, 2023

INSTALL FLEXSTORM CATCH-IT INLET PROTECTION

OWNER:
 SIMPLY HOMES MADISON, LLC
 ATTN: JESSICA HANSON
 5117 BUTTERFIELD DRIVE
 MADISON, WI 53704

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

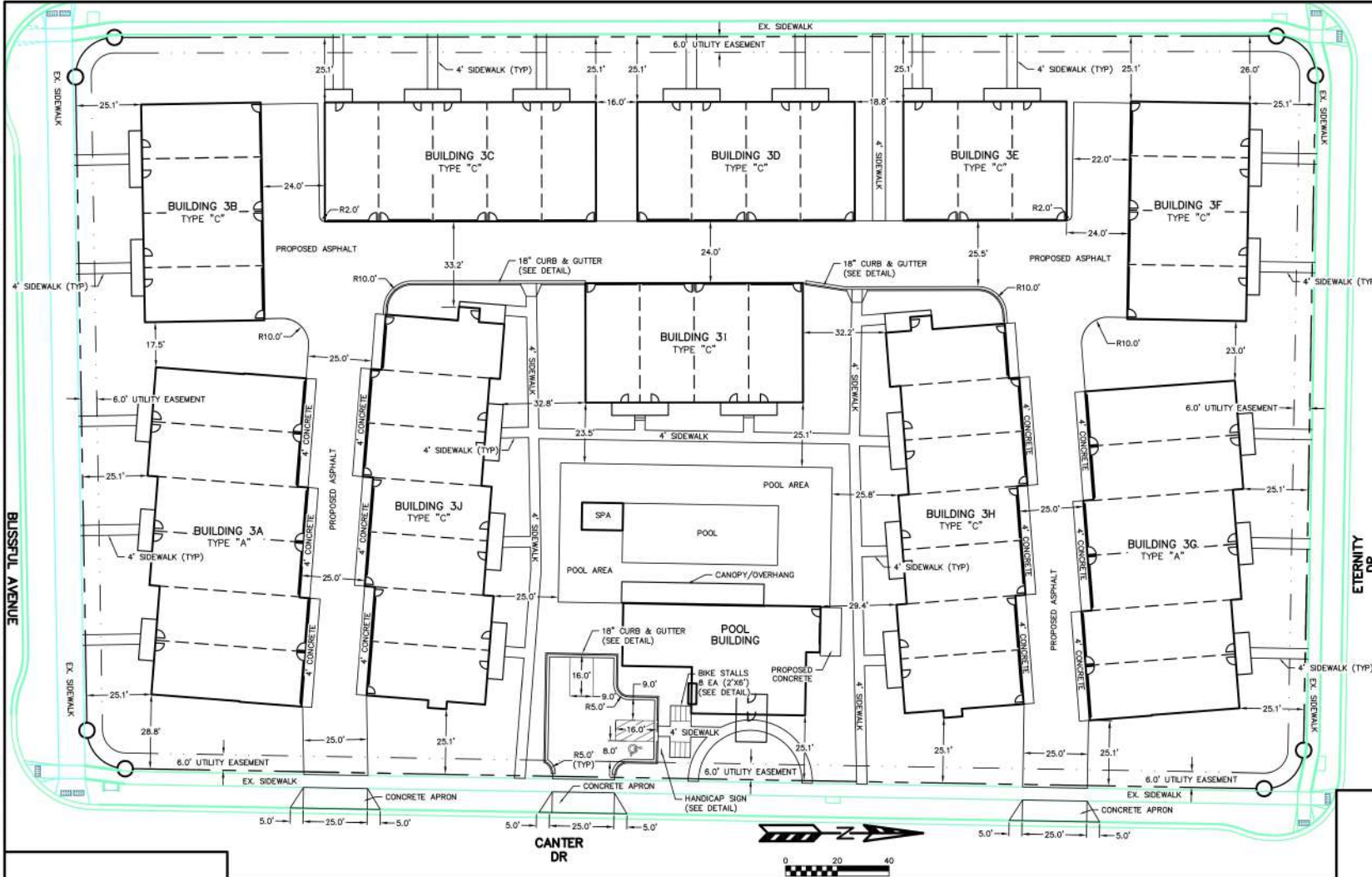


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 WIS. STATUTE 182.075 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

RESTORATION NOTES:
 RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.
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JANNAH VILLAGE - LOT 3
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-2
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QUAM ENGINEERING, LLC 4604 Sigelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \UH-03-18\UH03-LOTS 3-4 BASE.DWG



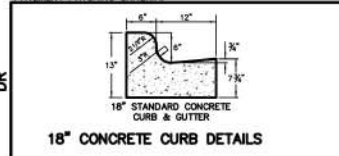
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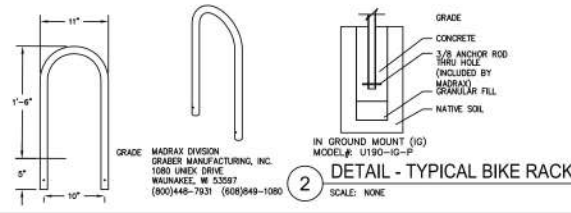
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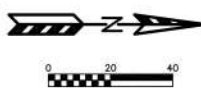
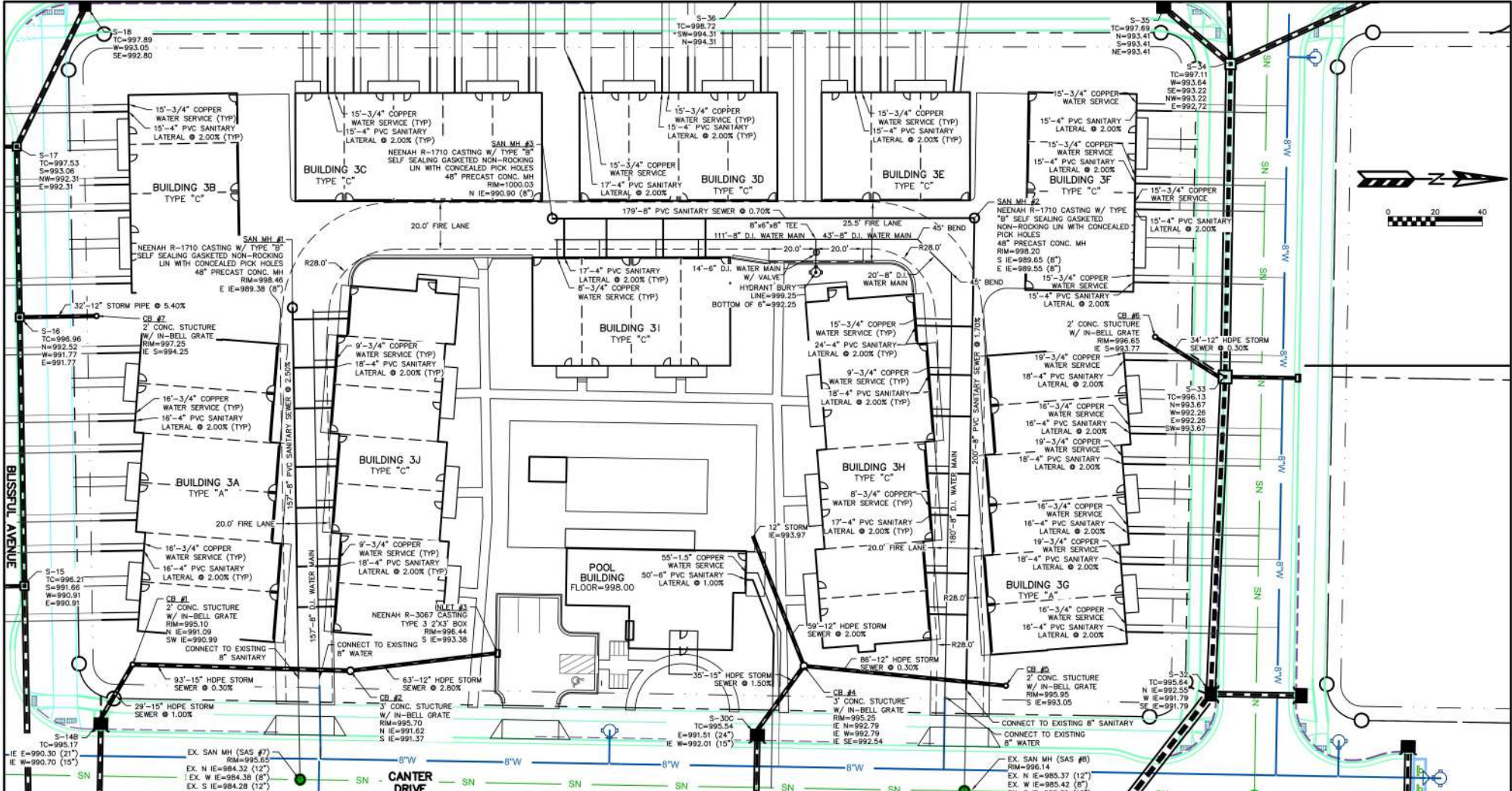


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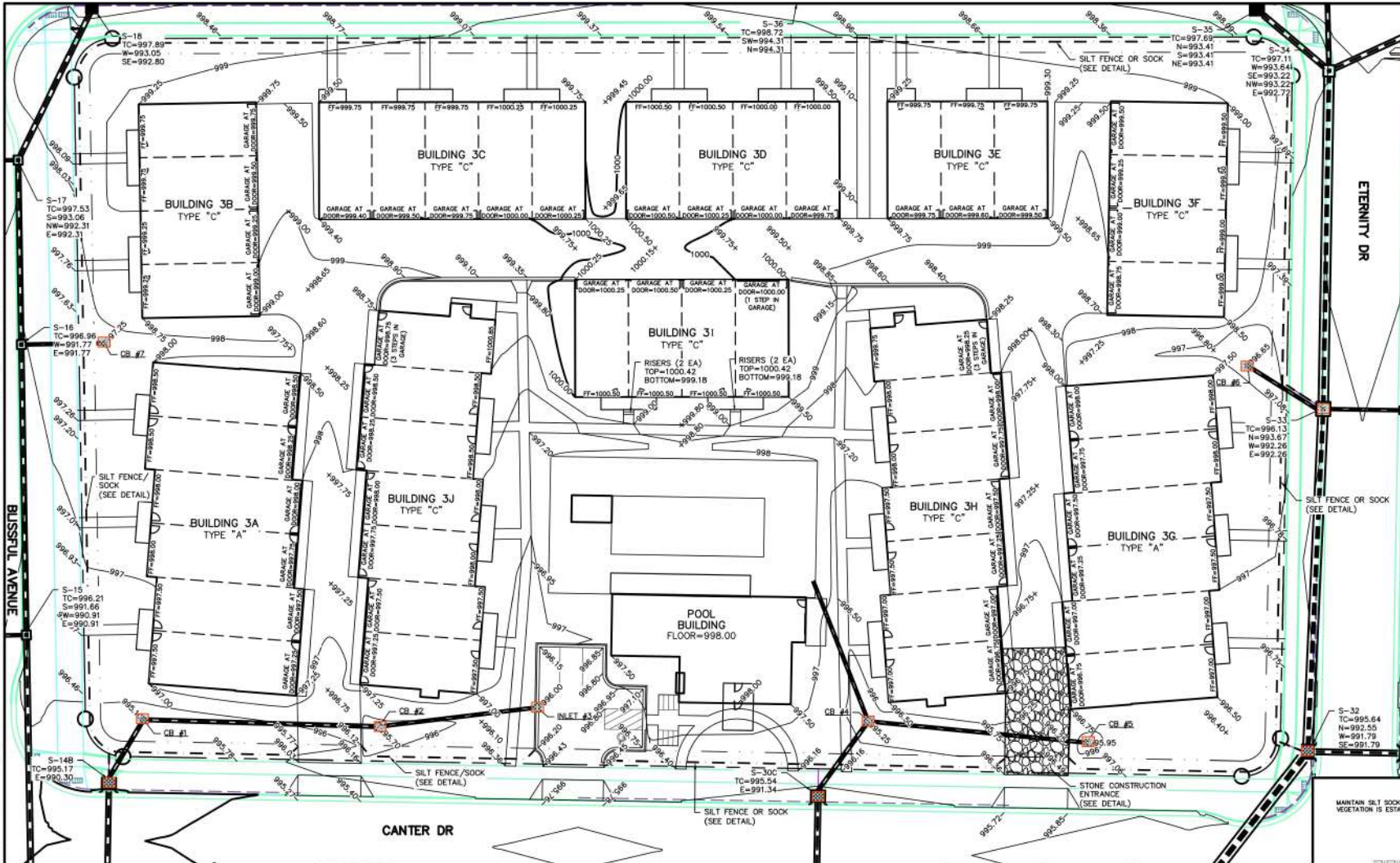
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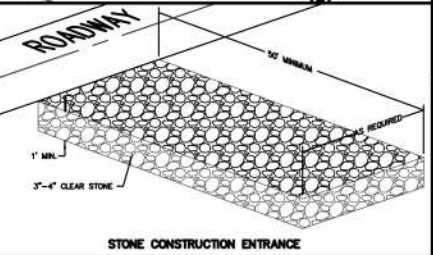
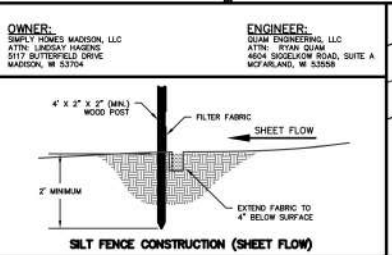


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 NOVEMBER 1, 2021 - JUNE 1, 2022: CONSTRUCT UTILITIES AND PRIVATE DRIVE BINDER.
 JUNE 1, 2022 - JULY 15, 2023: CONSTRUCT BUILDINGS.
 JULY 15, 2023 - AUGUST 15, 2023: APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED (PER ENR TECH STANDARD 1058). COMPLETE FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.

OWNER:
 SIMPLY HOMES MADISON, LLC
 ATTN: LINDSEY HANSEN
 5117 BUTTERFIELD DRIVE
 MADISON, WI 53704

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



JANNAH VILLAGE - LOT 3
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BLISFUL AVENUE

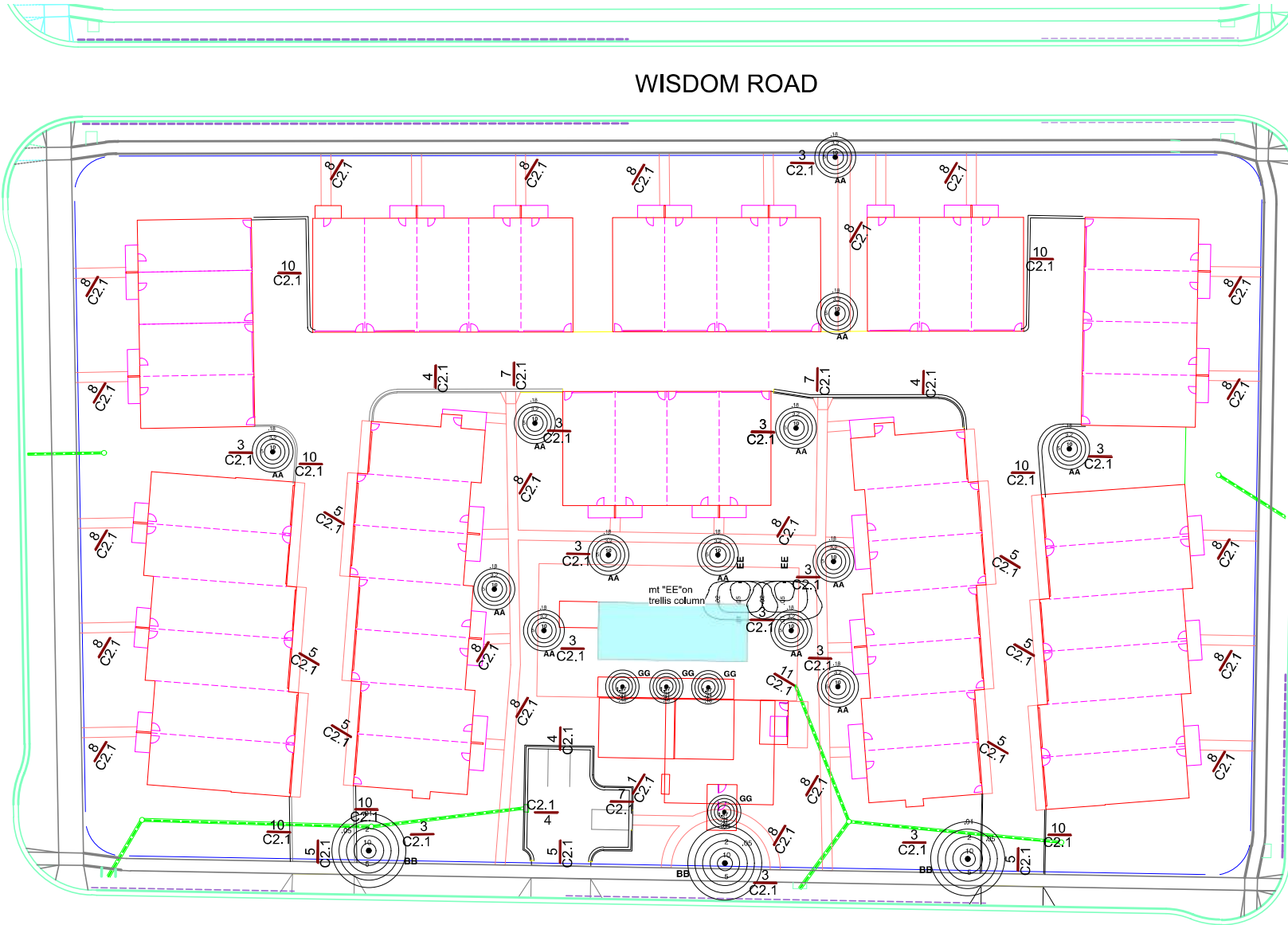
WISDOM ROAD

ETERITY DRIVE

WALKING WALL

SITE LIGHTING PLAN- SITE DETAILS

SCALE: 1" = 4'0" @ 11X17 SHT SIZE



LIGHTING FIXTURE SCHEDULE

Lighting Notes:

1. Bollard lights (BB) see Detail 3C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	FAB	BLEDTR-CY-180 W/ PHOTO CELL	120V-LED WARM	120V	42" FT LED bollard- warm/less WHITE
BB	FAB	BLEDTR-CY-180 W/ PHOTO CELL	120V-LED WARM	120V	42" FT LED bollard- very less WHITE
CC	FAB	SUN 18 IN ROW	120V-LED-warm	120V	18" LED- warm
EE	FAB	SLIDES RW IN BRACKET	120V-LED-warm	120V	18" LED- warm
FF	FAB	RECESSED SQUARE 14" W/ MICROSLIDE	120V-LED WARM	120V	AREA LIGHT- 2.42' post 18" recess white
GG	FAB	NOLDFOR-SQ-V-DB	120V-LED WARM	120V	6" recess- mt in wall overhang @ entry

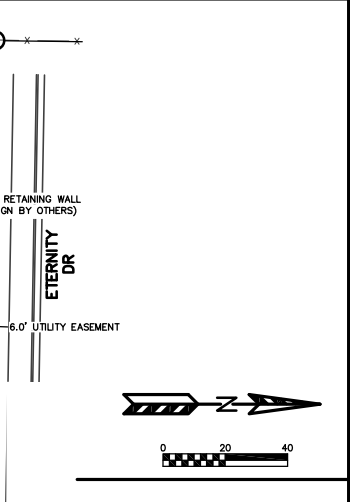
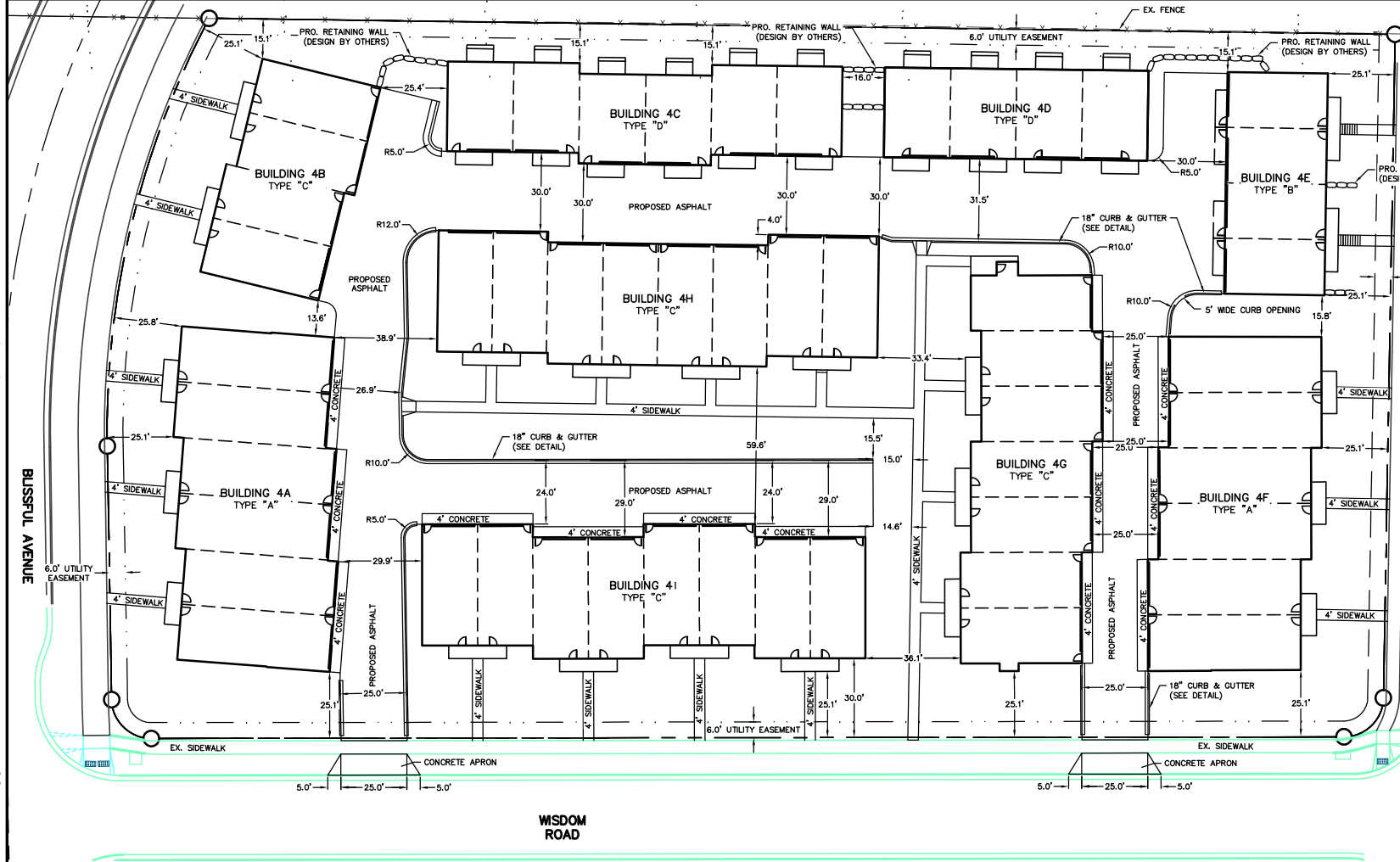
ARCHITECTS
ARC SIEGER LLC SIEGER

3 WHITE OAKS LN Madison, WI 53711
Phone: 608.283.6100 Fax: 608.283.6101
siegerarchitects@siegerllc.com

project JANNAH VILLAGE 242 UNIT MADISON, WI	owner SIMPLE HOMES MADISON LLC Lindsay Hagons 608-448-2724 simplehomes@simplehomes.com
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3-12-21

CD 3



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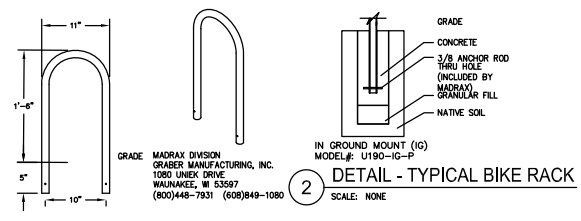
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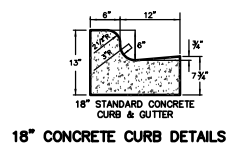
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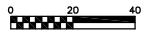
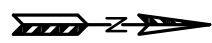
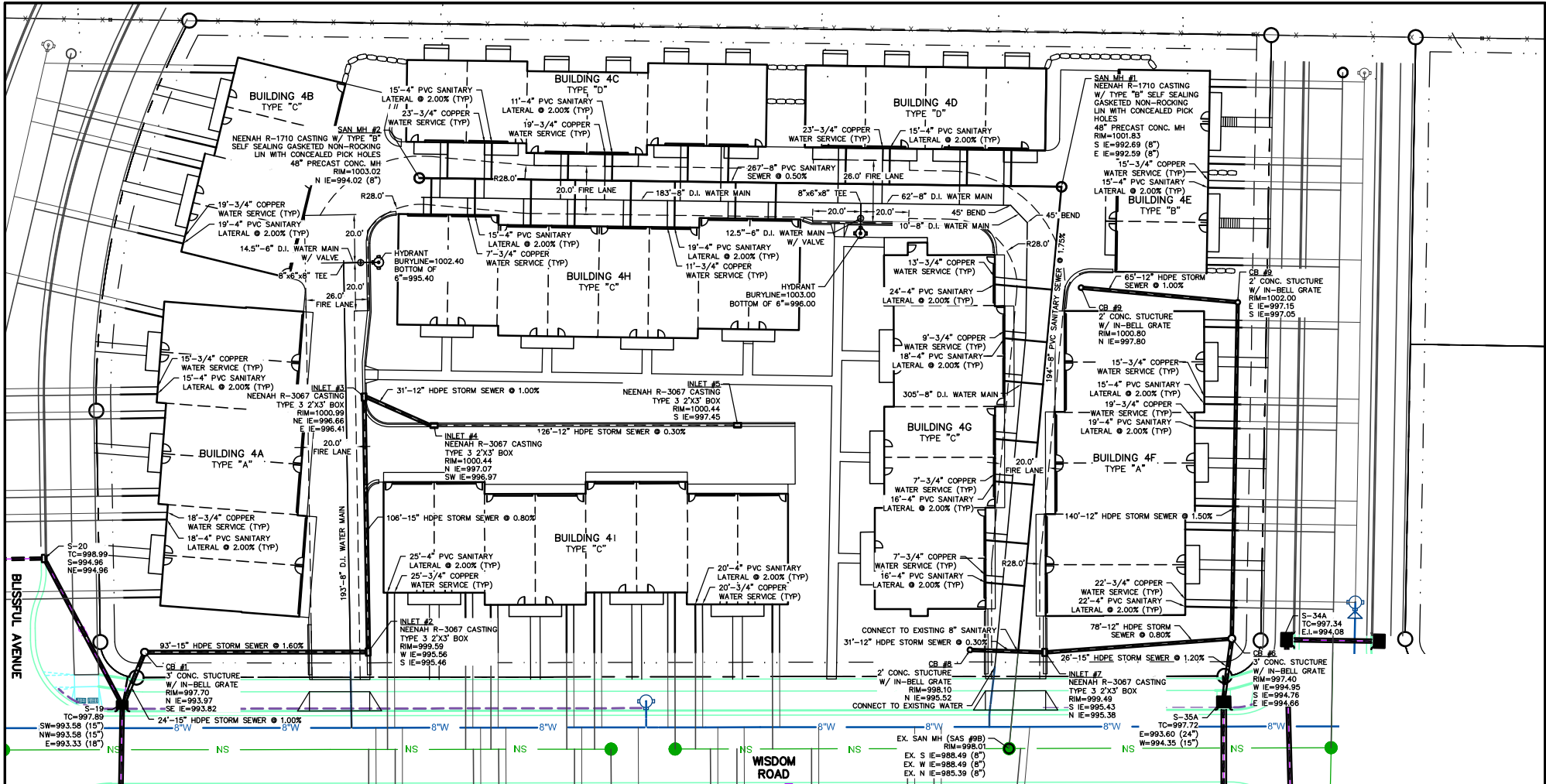
WISDOM ROAD



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8811
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



JANNAH VILLAGE - LOT 4
 SITE PLAN
 SHEET: C-1
 DATED: AUGUST 17, 2021
QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggeikow Road, Suite A - McFarland, Wisconsin 53558
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UTILITY NOTES:

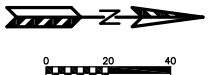
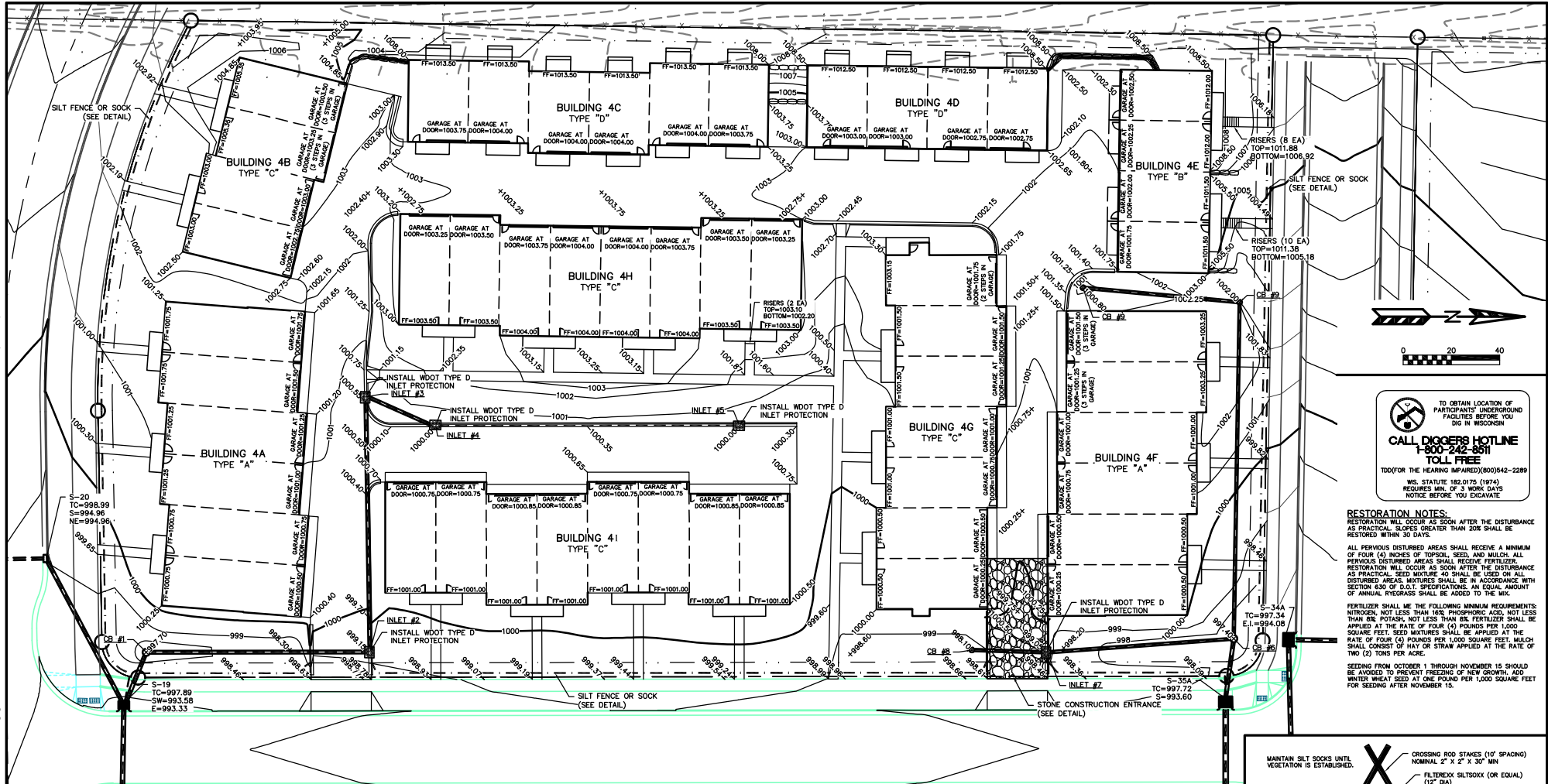
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 PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS.
 THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
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 MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
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 CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.

GENERAL NOTES:

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JANNAH VILLAGE - LOT 4
 UTILITY PLAN
 SHEET: C-3
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 (FOUR FOR THE HEARING IMPAIRED) (800)542-2289
 WIS. STATUTE 180.0715 (10/16) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

RESTORATION NOTES:
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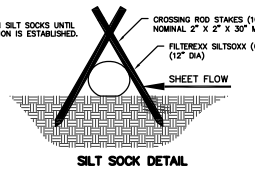
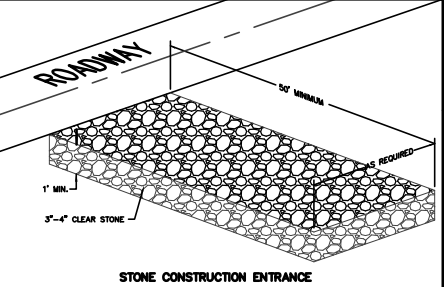
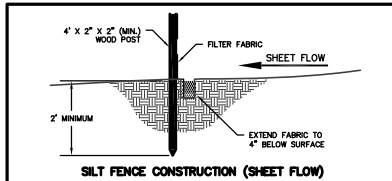
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 ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF FINAL GRADING. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
 PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
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TIME SCHEDULE:
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INSTALL INITIAL EROSION CONTROL DEVICES AND ROUGH GRADE SITE.
 CONSTRUCT UTILITIES AND PRIVATE DRIVE BINDER.
 CONSTRUCT BUILDINGS.
 APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED (PER DNR TECH STANDARD 1059). COMPLETE FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.

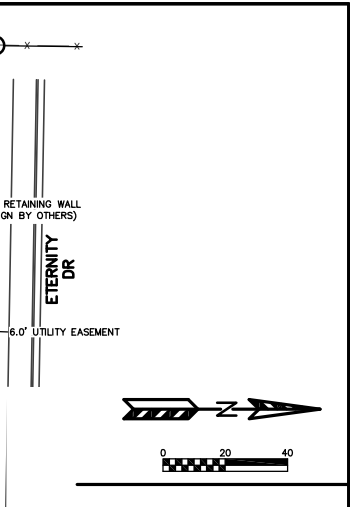
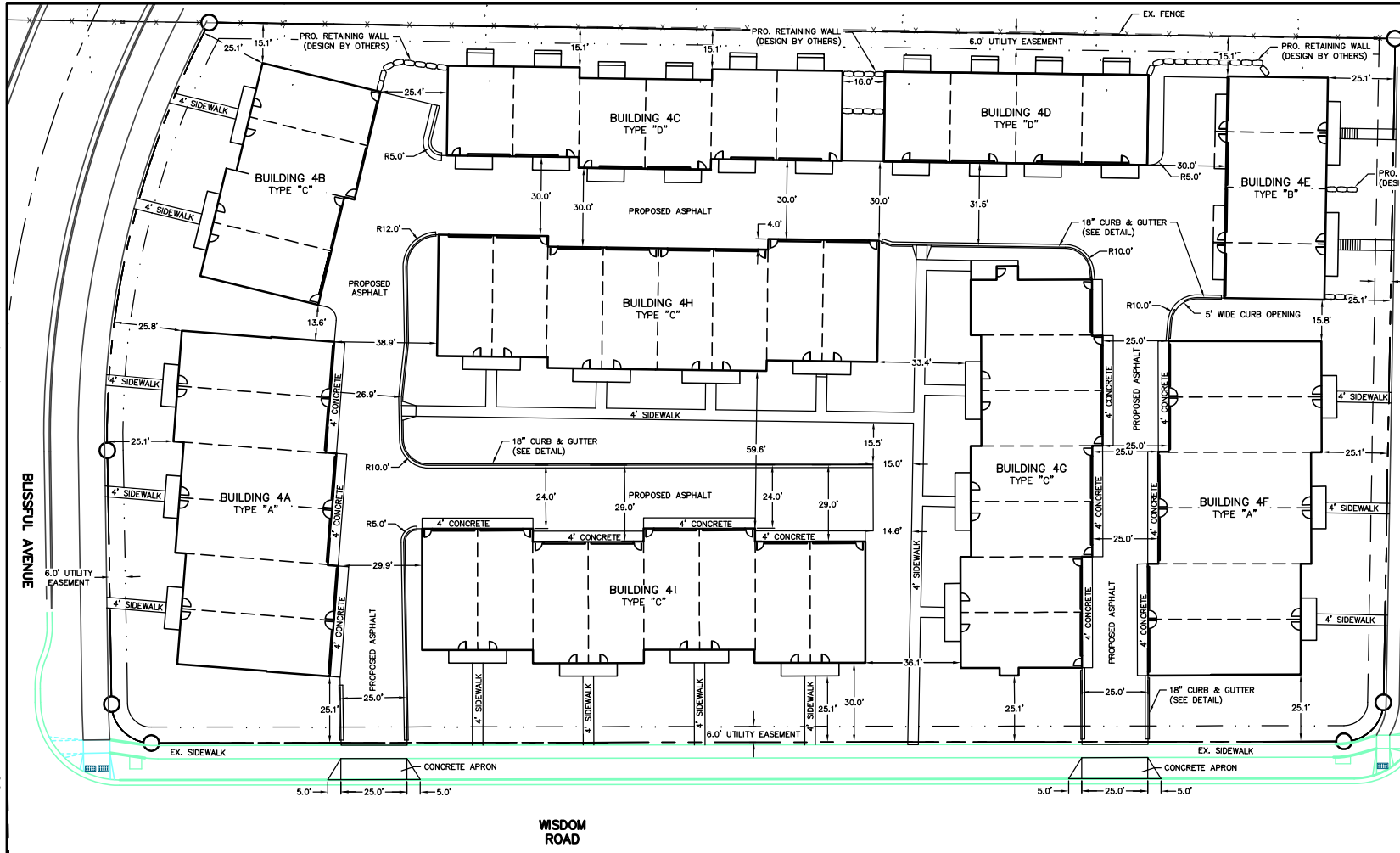
OWNER:
 SIMPLY HOMES MADISON, LLC
 ATTN: LINDSAY HAZEN
 617 BUTTERFIELD DRIVE
 MADISON, WI 53704

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGEIKOW ROAD, SUITE A
 MCFARLAND, WI 53558



JANNAH VILLAGE - LOT 4
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-2
 DATED: AUGUST 17, 2021

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QTY. NOTE:
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

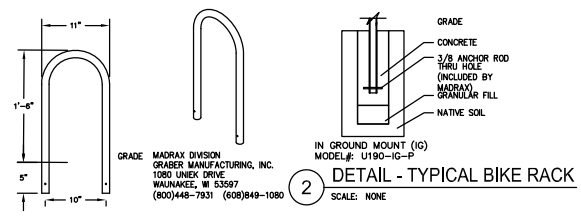
CURB & GUTTER NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PLY ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

PAVING NOTES:
 PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.
 THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

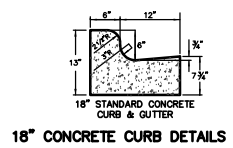
SIGNING NOTES:
 THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING.

GENERAL NOTES:
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WISDOM ROAD

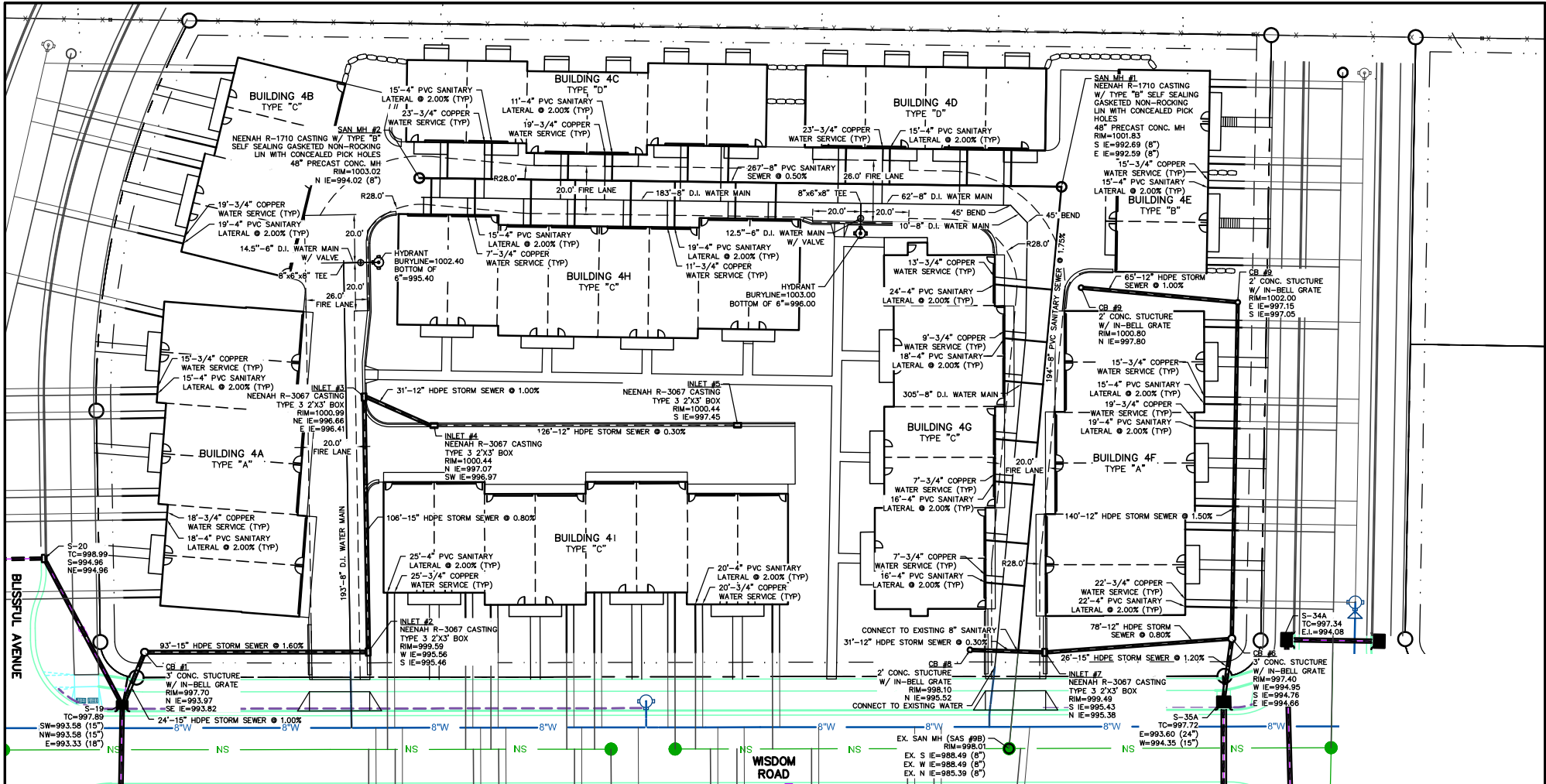


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 WIS. STATUTE 182.0175 (1974)
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JANNAH VILLAGE - LOT 4
 SITE PLAN
 SHEET: C-1
 DATED: AUGUST 17, 2021

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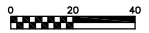
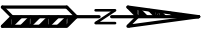
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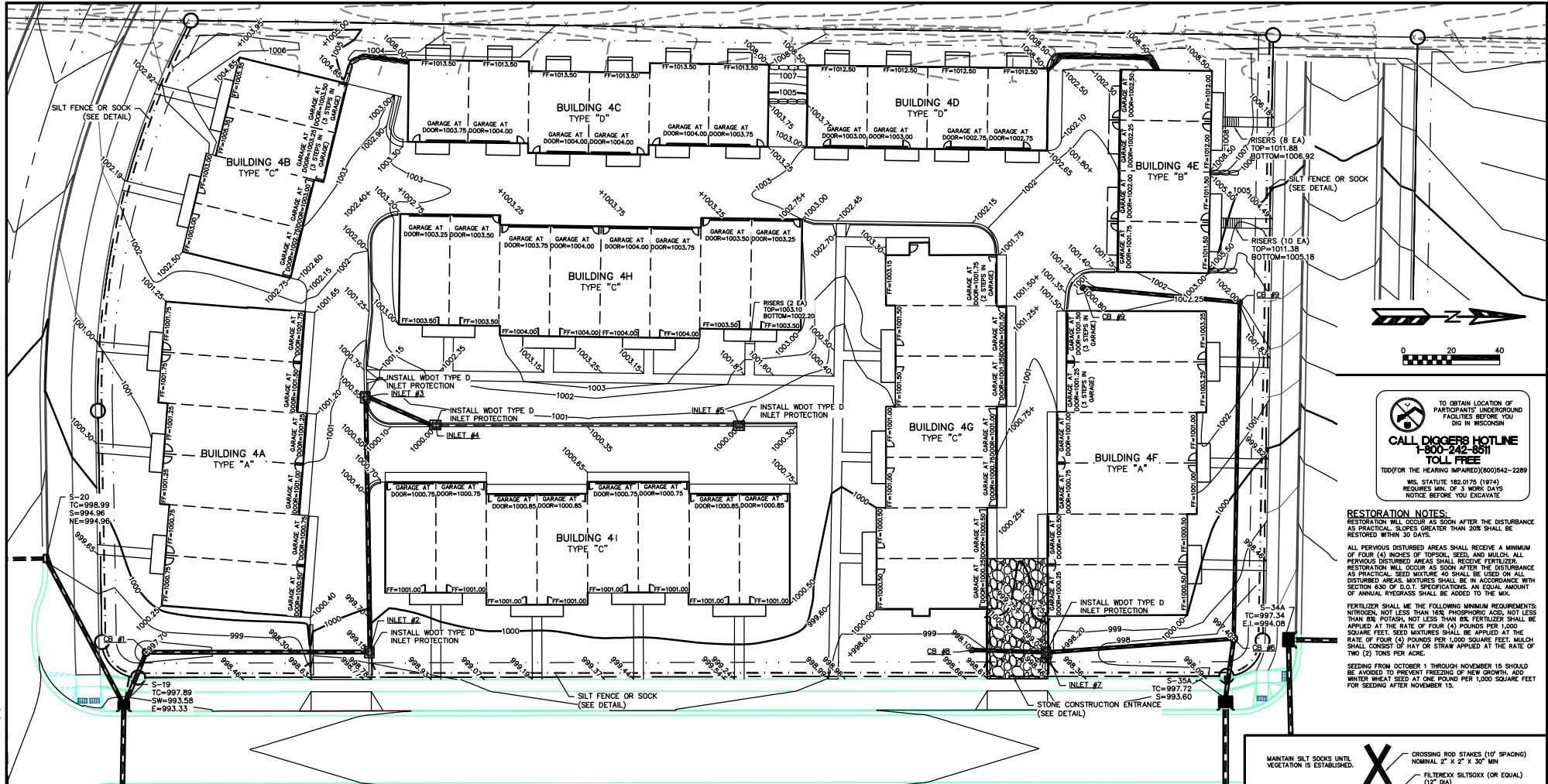
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JANNAH VILLAGE - LOT 4
 UTILITY PLAN
 SHEET: C-3
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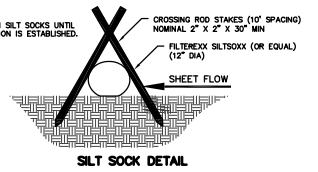
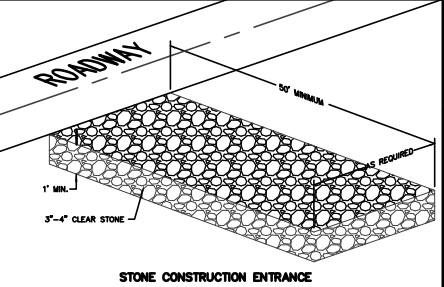
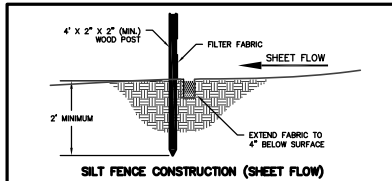
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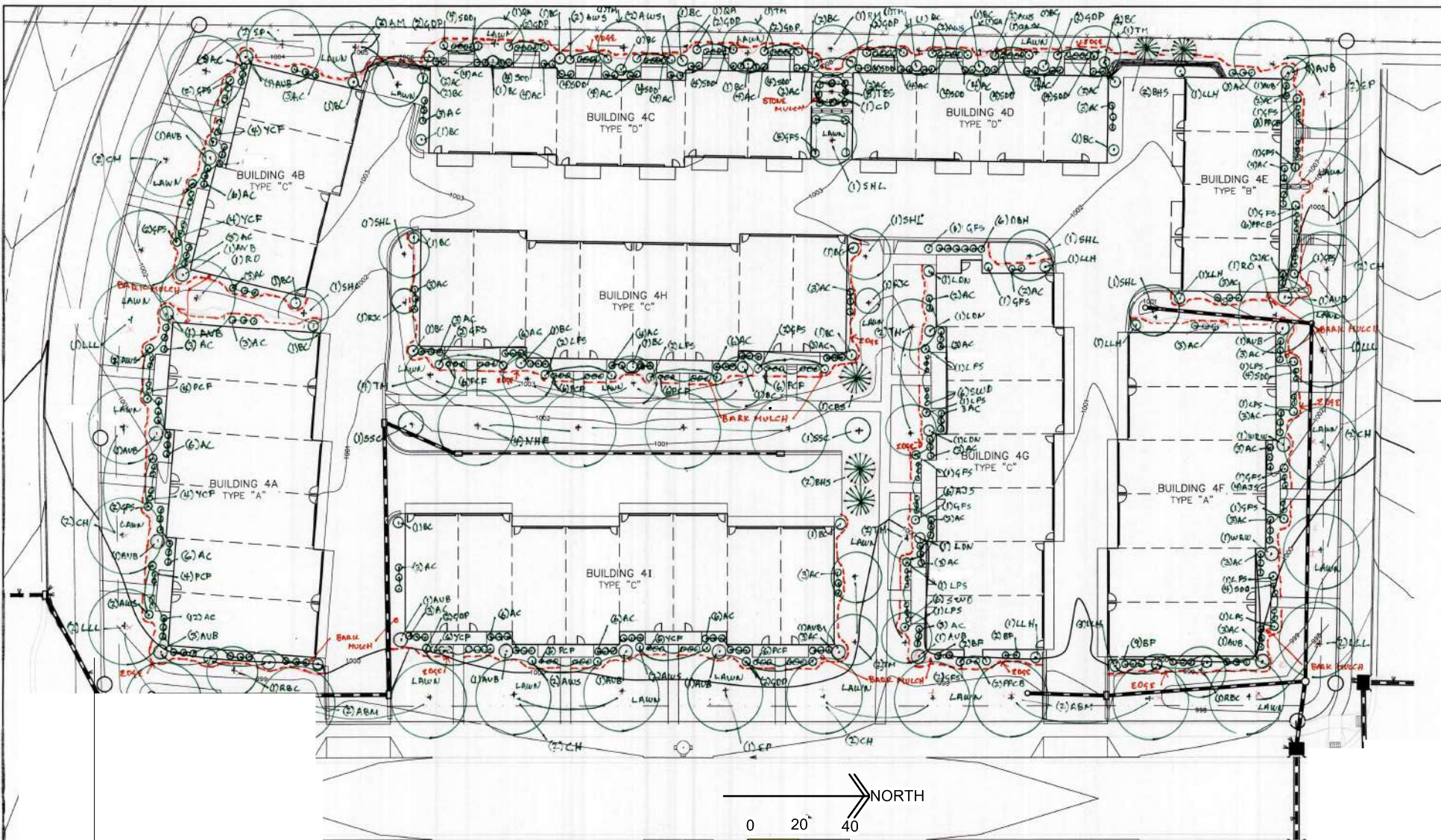
OWNER:
 SIMPLY HOMES MADISON, LLC
 ATTN: LINDSAY HAZEN
 6117 BUTTERFIELD DRIVE
 MADISON, WI 53704

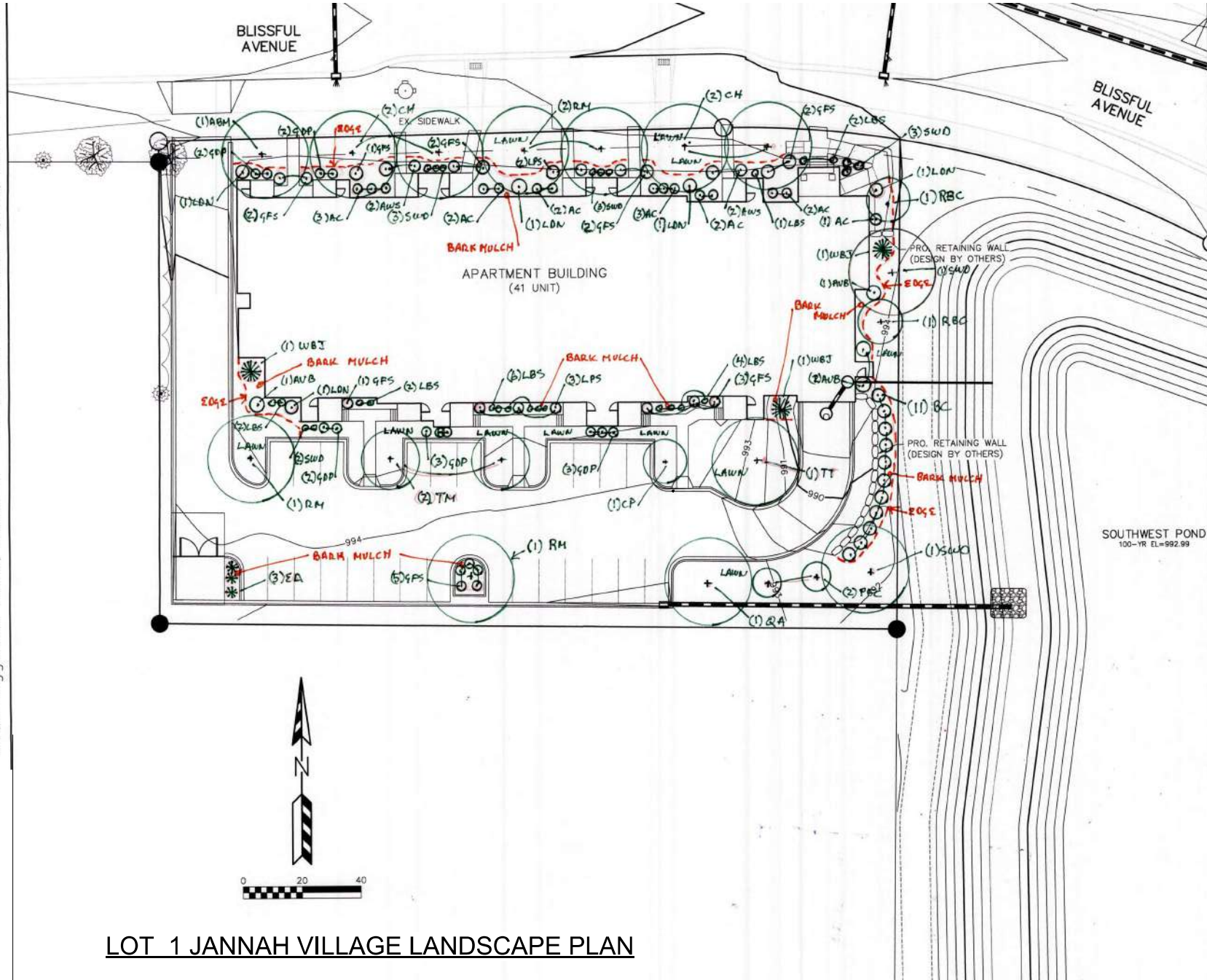
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGEIKOW ROAD, SUITE A
 MCFARLAND, WI 53558



JANNAH VILLAGE - LOT 4
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-2
 DATED: AUGUST 17, 2021

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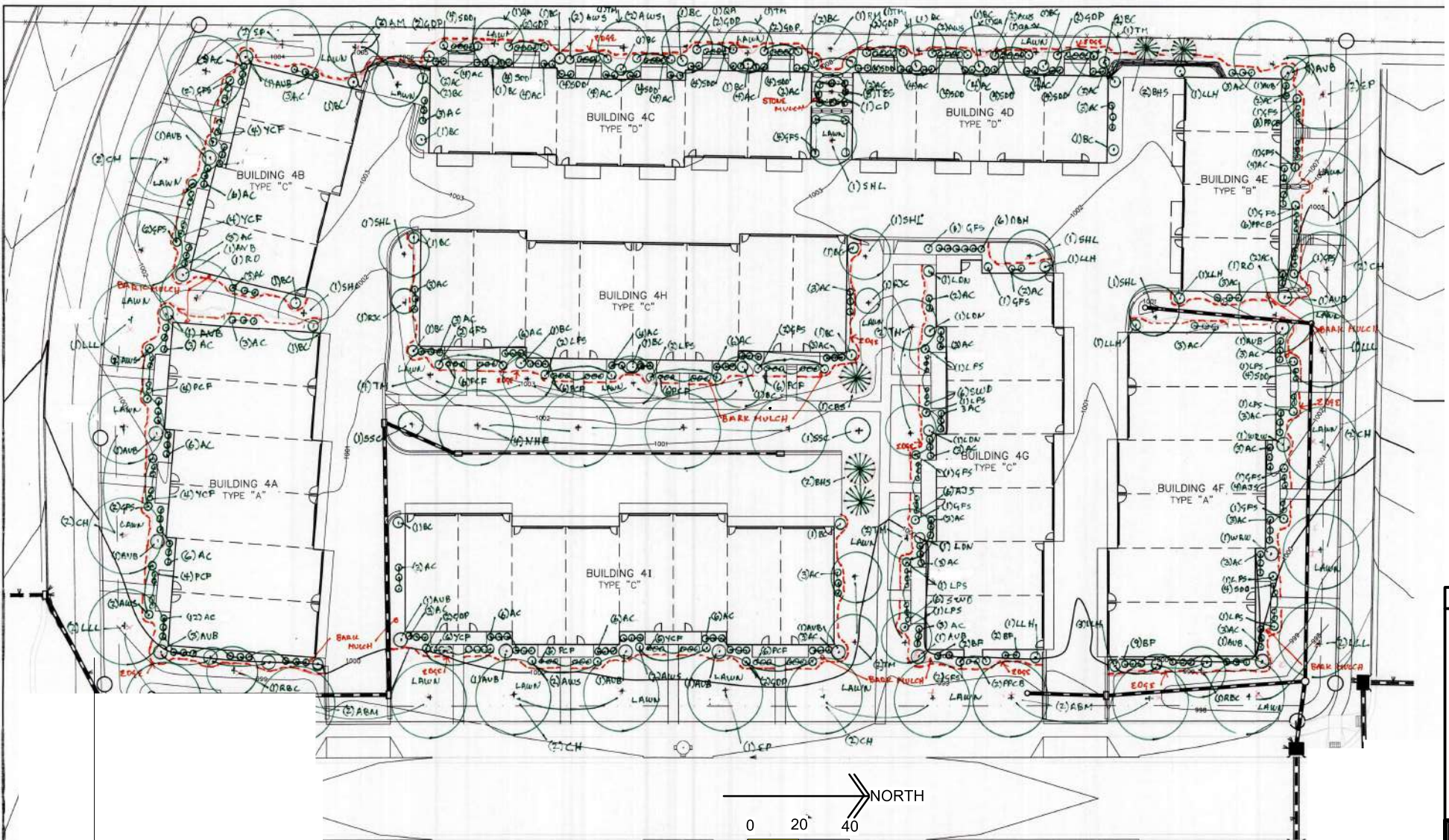
LOT 1 JANNAH VILLAGE LANDSCAPE PLAN

LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
 13 Rec Maple Trl Madison, WI 53717
 608-626-0032 paulskidmore@tds.net

prepared by
SiegerARCHITECTS
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332 siegerarchitects@sbcglobal.net

project LINDSAY HAGENS Jannah Village Madison, WI	prepared by [Signature]
	date 8.16.21

LA 1



LOT 4 JANNAH VILLAGE LANDSCAPE PLAN

LANDSCAPE ARCHITECT CONSULTANT
PAUL SKIDMORE Landscape Architect, LLC
 13 Red Maple Tr Madison, WI 53717
 608-526-0032 paulskidmore@tds.net

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Sieger ARCHITECTS ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
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project
LINDSAY HAGENS Jannah Village 9/11 Madison, WI
 owner

LA 4
 8.16.21

PLANT LIST - Lot 1

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(15) Canopy Trees					
ABM	1	2 1/2"	Autumn Blaze Maple	Acer Freemanii	BB
AM	2	2"	Acorn Maple	Acer Ginnali	BB
GA	2	2"	Quaking Aspen	Populus Tremuloides	BB
RI	4	2 1/2"	Red Maple	Acer Rubrum	BB
SWO	2	2 1/2"	Swamp White Oak	Quercus bicolor	BB
TM	2	2"	Tataran Maple	Acer tataricum	BB
TT	1	2 1/2"	Tulip Tree	Liriodendron tulipifera	BB
(5) Ornamental Trees					
CP	1	2"	Calley Pear	Pyrus Calleryana	BB
PFC	2	2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RBC	2	12"	River Birch	Betula Nigra	BB
(74) Deciduous Shrubs					
AC	15	18"	Alone Currant	Ribes Alpinum	Pot
AVB	4	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
AW	4	24"	Anthony Water Sprue	Spiraea Anthony Waterer	Pot
BC	11	24"	Black Chokeberry	Aronia Melanocarpa	Pot
GDH	12	18"	Gold Drop Fuchsias	Potentilla Frodoana	Pot
GF	18	24"	Gold Flame Sprue	Spiraea Gold Flame	Pot
LPH	5	24"	Little Leaf Hydrangea	Hydrangea Op. Stone May	Pot
LPS	5	24"	Little Princess Sprue	Spiraea Little Princess	Pot
(6) Evergreen Shrubs					
EA	3	4"	Wichita Blue Juniper	Thuja O. 'Smirnov'	BB
WB	3	3"	Wichita Blue Juniper	Juniperus Scopulorum	BB
(2) Perennials					
AJS	1	1 G	Summer secapeable A/J	Sedum spectabile A/J	Con
LBS	1	1 G	Little Bluestem Grass	Schizachyrium Scoparium	Con
SWD	1	1 G	Summer Wine Day Lily	Hemerocallis Summer Wine	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Blagray soil.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

PLANT LIST - Lot 2

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(42) Canopy Trees					
ABM	6	2 1/2"	Autumn Blaze Maple	Acer Freemanii	BB
AM	3	2"	Acorn Maple	Acer Ginnali	BB
CH	10	2 1/2"	Common Highberry	Calla occidentalis	BB
QA	6	2 1/2"	Quaking Aspen	Populus Tremuloides	BB
RO	4	2 1/2"	Red Oak	Quercus Rubrum	BB
SHL	2	2"	Shiny Honey Locust	Gleditsia Tricentaria	BB
SWO	2	2 1/2"	Swamp White Oak	Quercus bicolor	BB
TT	2	2 1/2"	Tulip Tree	Liriodendron Tulipifera	BB
(10) Ornamental Trees					
AB	2	5"	Autumn Brilliance Serviceberry	Amelanchier Grandiflora 'AB'	BB
CP	3	2"	Calley Pear	Pyrus Calleryana	BB
PFC	1	2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RD	1	2"	Poplar Dogwood	Cornus alternifolia	BB
RBC	3	12"	River Birch	Betula Nigra	BB
(216) Deciduous Shrubs					
AC	15	18"	Alone Currant	Ribes Alpinum	Pot
AVB	2	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
BC	29	24"	Black Chokeberry	Aronia Melanocarpa	Pot
BF	6	18"	Bronx Forsythia	Forsythia	Pot
CC	31	18"	Crabapple Snowmower	Conioselinum Alpiculata	Pot
GGP	12	18"	Gold Drop Fuchsias	Potentilla Frodoana	Pot
GF	18	24"	Gold Flame Sprue	Spiraea Gold Flame	Pot
GDH	12	18"	Gold Drop Fuchsias	Potentilla Frodoana	Pot
GLS	4	18"	Grass Line Sumac	Rhus Aromatica	Pot
LON	16	24"	Little Leaf Hydrangea	Hydrangea Op. Stone May	Pot
LPH	5	24"	Little Princess Sprue	Spiraea Little Princess	Pot
ML	2	36"	Malva King Liliac	Physalocarpus Liliac	Pot
ML	2	36"	Malva King Liliac	Physalocarpus Liliac	Pot
RTD	3	24"	Red Top Dogwood	Cornus Sericea	Pot
WS	4	24"	White Snowberry	Symphoricarpos Alba	Pot
(22) Evergreen Shrubs					
RC	13	18"	Russian Cypress	Microbiota Decussata	Con
WB	3	3"	Wichita Blue Juniper	Juniperus Scopulorum	BB
(106) Perennials					
AJS	16	1 G	A/J Sedum	Sedum spectabile A/J	Con
HS	1	1 G	Hosta	Hosta	Con
LBS	4	1 G	Little Bluestem Grass	Schizachyrium Scoparium	Con
POS	7	1 G	Prince of Peace	Spontoloba Pterocarpis	Con
SWD	21	1 G	Summer Wine Day Lily	Hemerocallis Summer Wine	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Blagray soil.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

PLANT LIST - Lot 3

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(54) Canopy Trees					
ABM	4	2 1/2"	Autumn Blaze Maple	Acer Freemanii	BB
AM	3	2"	Acorn Maple	Acer Ginnali	BB
CH	8	2 1/2"	Common Highberry	Calla occidentalis	BB
EP	11	2 1/2"	Explosion Hyanther	Platanus Occidentalis	BB
LH	14	2 1/2"	Little Leaf Linden	Tilia Cordata	BB
RO	2	2 1/2"	Red Oak	Quercus Rubrum	BB
SHL	2	2"	Shiny Honey Locust	Gleditsia Tricentaria	BB
SWO	2	2 1/2"	Swamp White Oak	Quercus bicolor	BB
TM	2	2 1/2"	Tataran Maple	Acer tataricum	BB
TT	2	2 1/2"	Tulip Tree	Liriodendron Tulipifera	BB
(10) Ornamental Trees					
CP	2	2"	Calley Pear	Pyrus Calleryana	BB
PFC	5	12"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RBC	3	2"	River Birch	Betula Nigra	BB
(4) Evergreen Trees					
BHS	4	5"	Black Hills Spruce	Picea pungens densata	BB
(392) Deciduous Shrubs					
AC	15	18"	Alone Currant	Ribes Alpinum	Pot
AVB	19	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
AW	8	24"	Anthony Water Sprue	Spiraea Anthony Waterer	Pot
DBH	14	18"	Dwarf Bush Honeysuckle	Dierilla Lonicera	Pot
GDH	13	18"	Gold Drop Fuchsias	Potentilla Frodoana	Pot
GF	26	24"	Gold Flame Sprue	Spiraea Gold Flame	Pot
LPH	24	24"	Little Leaf Hydrangea	Hydrangea Op. Stone May	Pot
LPS	12	24"	Little Princess Sprue	Spiraea Little Princess	Pot
ML	2	36"	Malva King Liliac	Physalocarpus Liliac	Pot
PT	23	24"	Pink Top Dogwood	Hydrangea Pterocarpis	Pot
YJM	3	24"	Yucca Blue Star	Yucca Filifera	Pot
YES	2	18"	Tiger Eye Sumac	Rhus Typhina	Pot
(189) Perennials					
AJS	24	1 G	A/J Sedum	Sedum spectabile A/J	Con
MC	3	1 G	Morebone Coneopsis	Coneopsis Moonbeam	Con
PCC	6	1 G	Palace Purple Coneopsis	Schinus Purpurea	Con
PCCB	4	1 G	Palace Purple C Balls	Heuchera Palace Purple	Con
SDD	27	1 G	Summer Wine Day Lily	Hemerocallis 'Salle de Oro'	Con
SWD	15	1 G	Summer Wine Day Lily	Hemerocallis Summer Wine	Con
YCF	12	1 G	Yellow Cone Flower	Echinacea	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Blagray soil.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

PLANT LIST - Lot 4

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(60) Canopy Trees					
ABM	4	2 1/2"	Autumn Blaze Maple	Acer Freemanii	BB
AM	2	2"	Acorn Maple	Acer Ginnali	BB
CH	12	2 1/2"	Common Highberry	Calla occidentalis	BB
EP	6	2 1/2"	Explosion Hyanther	Platanus Occidentalis	BB
LH	6	2 1/2"	Little Leaf Linden	Tilia Cordata	BB
NH	4	2 1/2"	New Horizon Elm	Ulmus Davidiana Japonica	BB
QA	4	2 1/2"	Quaking Aspen	Populus Tremuloides	BB
RO	1	2 1/2"	Red Oak	Quercus Rubrum	BB
SHL	2	2"	Shiny Honey Locust	Gleditsia Tricentaria	BB
TM	14	2"	Tataran Maple	Acer tataricum	BB
(7) Ornamental Trees					
CP	1	2"	Calley Pear	Pyrus Calleryana	BB
PFC	2	2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RBC	2	12"	River Birch	Betula Nigra	BB
SSC	2	2"	Spring Snow Crab	Malus 'Spring Snow'	BB
(5) Evergreen Trees					
BHS	4	5"	Black Hills Spruce	Picea pungens densata	BB
CBS	1	5"	Colorado Blue Spruce	Picea pungens Glauca	BB
(365) Deciduous Shrubs					
AC	20	18"	Alone Currant	Ribes Alpinum	Pot
AVB	20	24"	Arrowwood Viburnum	Viburnum Dentatum	Pot
AW	16	24"	Anthony Water Sprue	Spiraea Anthony Waterer	Pot
BC	27	24"	Black Chokeberry	Aronia Melanocarpa	Pot
BF	13	18"	Bronx Forsythia	Forsythia	Pot
DBH	6	18"	Dwarf Bush Honeysuckle	Dierilla Lonicera	Pot
GDH	16	18"	Gold Drop Fuchsias	Potentilla Frodoana	Pot
GF	26	24"	Gold Flame Sprue	Spiraea Gold Flame	Pot
LPH	24	24"	Little Leaf Hydrangea	Hydrangea Op. Stone May	Pot
LPS	12	24"	Little Princess Sprue	Spiraea Little Princess	Pot
ML	2	36"	Malva King Liliac	Physalocarpus Liliac	Pot
PT	23	24"	Pink Top Dogwood	Hydrangea Pterocarpis	Pot
WSS	2	24"	White Snowberry	Symphoricarpos Alba	Pot
(153) Perennials					
AJS	10	1 G	A/J Sedum	Sedum spectabile A/J	Con
PCC	44	1 G	Palace Purple Cone	Schinus Purpurea	Con
PCCB	14	1 G	Palace Purple C Balls	Heuchera Palace Purple	Con
SDD	49	1 G	Summer Wine Day Lily	Hemerocallis 'Salle de Oro'	Con
SWD	12	1 G	Summer Wine Day Lily	Hemerocallis Summer Wine	Con
YCF	24	1 G	Yellow Cone Flower	Echinacea	Con
NOTES:					
1) Designated lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and premium Blagray soil.					
2) Planting beds labeled as 'stone mulch' to be mulched with 2" - 2 1/2" washed stone mulch spread to a depth of 3" over weed barrier fabric.					
3) Planting beds labeled as 'bark mulch' to be mulched with shredded hardwood bark mulch spread to a depth of 3".					
4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".					
5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.					

LANDSCAPE WORKSHEET - Lot 1

Landscape Points Required		
Developed Area =	14,965 SF	
Landscape Points =	14,965 /300 x 5 =	249 points
Total Landscape Points Required		249 points
Landscape Points Supplied		
Existing canopy trees - 0 @ 35 =	0 points	
Proposed canopy trees - 15 @ 35 =	525 points	
Existing evergreen trees - 0 @ 35 =	0 points	
Proposed evergreen trees - 0 @ 35 =	0 points	
Existing ornamental trees - 0 @ 15 =	0 points	
Proposed ornamental trees - 5 @ 15 =	75 points	
Proposed upright evergreen shrubs - 0 @ 10 =	0 points	
Existing deciduous shrubs - 0 @ 3 =	0 points	
Proposed deciduous shrubs - 74 @ 3 =	222 points	
Existing evergreen shrubs - 0 @ 4 =	0 points	
Proposed evergreen shrubs - 0 @ 4 =	0 points	
Existing perennials & grasses 26 @ 2 =	56 points	
Proposed perennials & grasses 26 @ 2 =	56 points	
Total landscape points supplied =	886 points	
Lot Frontage Landscape Required		
(Section 28.142(5) Development Frontage Landscaping)		
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.		
Blissful Avenue =	255 LF	
Over story trees required 256/30 = 8.5	9 trees	
Shrubs required (256/30) x 5 = 42.7	43 shrubs	
Over story trees supplied	8 trees	
Ornamental trees supplied	2 trees	
Shrubs supplied	43 shrubs	

LANDSCAPE WORKSHEET - Lot 2

Landscape Points Required		
Developed Area =	38,819 SF	
Landscape Points =	38,819/300 x 5 =	647 points
Total Landscape Points Required		647 points
Landscape Points Supplied		
Existing canopy trees - 0 @ 35 =	0 points	
Proposed canopy trees - 42 @ 35 =	1,470 points	
Existing evergreen trees - 0 @ 35 =	0 points	
Proposed evergreen trees - 0 @ 35 =	0 points	
Existing ornamental trees - 0 @ 15 =	0 points	
Proposed ornamental trees - 10 @ 15 =	150 points	
Proposed upright evergreen shrubs - 13 @ 10 =	130 points	
Existing deciduous shrubs - 0 @ 3 =	0 points	
Proposed deciduous shrubs - 216 @ 3 =	648 points	
Existing evergreen shrubs - 0 @ 4 =	48 points	
Proposed evergreen shrubs - 9 @ 4 =	36 points	
Existing perennials & grasses 0 @ 2 =	0 points	
Proposed perennials & grasses 106 @ 2 =	216 points	
Total landscape points supplied =	2,174 points	
Lot Frontage Landscape Required		
(Section 28.142(5) Development Frontage Landscaping)		
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.		
Blissful Avenue & Walking Way =	742 LF	
Over story trees required 742/30 = 24.7	25 trees	
Shrubs required (742/30) x 5 = 123.7	124 shrubs	
Over story trees supplied	25 trees	
Ornamental trees supplied	0 trees	
Shrubs supplied	124 shrubs	

LANDSCAPE WORKSHEET - Lot 3

Landscape Points Required		
Developed Area =	35,685 SF	
Landscape Points =	35,685/300 x 5 =	595 points
Total Landscape Points Required		595 points
Landscape Points Supplied		
Existing canopy trees - 0 @ 35 =	0 points	
Proposed canopy trees - 04 @ 35 =	1,890 points	
Existing evergreen trees - 0 @ 35 =	0 points	
Proposed evergreen trees - 4 @ 35 =	140 points	
Existing ornamental trees - 0 @ 15 =	0 points	
Proposed ornamental trees - 10 @ 15 =	150 points	
Proposed upright evergreen shrubs - 0 @ 10 =	0 points	
Existing deciduous shrubs - 0 @ 3 =	0 points	
Proposed deciduous shrubs - 392 @ 3 =	1,176 points	
Existing evergreen shrubs - 0 @ 4 =	0 points	
Proposed evergreen shrubs - 0 @ 4 =	0 points	
Existing perennials & grasses 0 @ 2 =	0 points	
Proposed perennials & grasses 169 @ 2 =	338 points	
Total landscape points supplied =	3,742 points	
Lot Frontage Landscape Required		
(Section 28.142(5) Development Frontage Landscaping)		
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.		
Center Drive 2, 2, and 2 =	1,496 LF	
Over story trees required 1,496/30 = 49.8	50 trees	
Shrubs required (1,496/30) x 5 = 249.3	249 shrubs	
Over story trees supplied	40 trees	
Ornamental trees supplied	10 trees	
Shrubs supplied	249 shrubs	

LANDSCAPE WORKSHEET - Lot 4

Landscape Points Required		
Developed Area =	33,542 SF	
Landscape Points =	33,542/300 x 5 =	559 points
Total Landscape Points Required		559 points
Landscape Points Supplied		
Existing canopy trees - 0 @ 35 =	0 points	
Proposed canopy trees - 60 @ 35 =	2,100 points	
Existing evergreen trees - 0 @ 35 =	0 points	
Proposed evergreen trees - 6 @ 35 =	210 points	
Existing ornamental trees - 0 @ 15 =	0 points	
Proposed ornamental trees - 7 @ 15 =	105 points	
Proposed upright evergreen shrubs - 0 @ 10 =	0 points	
Existing deciduous shrubs - 0 @ 3 =	0 points	
Proposed deciduous shrubs - 365 @ 3 =	1,095 points	
Existing evergreen shrubs - 0 @ 4 =	48 points	
Proposed evergreen shrubs - 0 @ 4 =	0 points	
Existing perennials & grasses 0 @ 2 =	0 points	
Proposed perennials & grasses 152 @ 2 =	304 points	
Total landscape points supplied =	3,827 points	
Lot Frontage Landscape Required		
(Section 28.142(5) Development Frontage Landscaping)		
One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.		
2, 2, and 2 =	1,015 LF	
Over story trees required 1,015/30 = 33.8	34 trees	

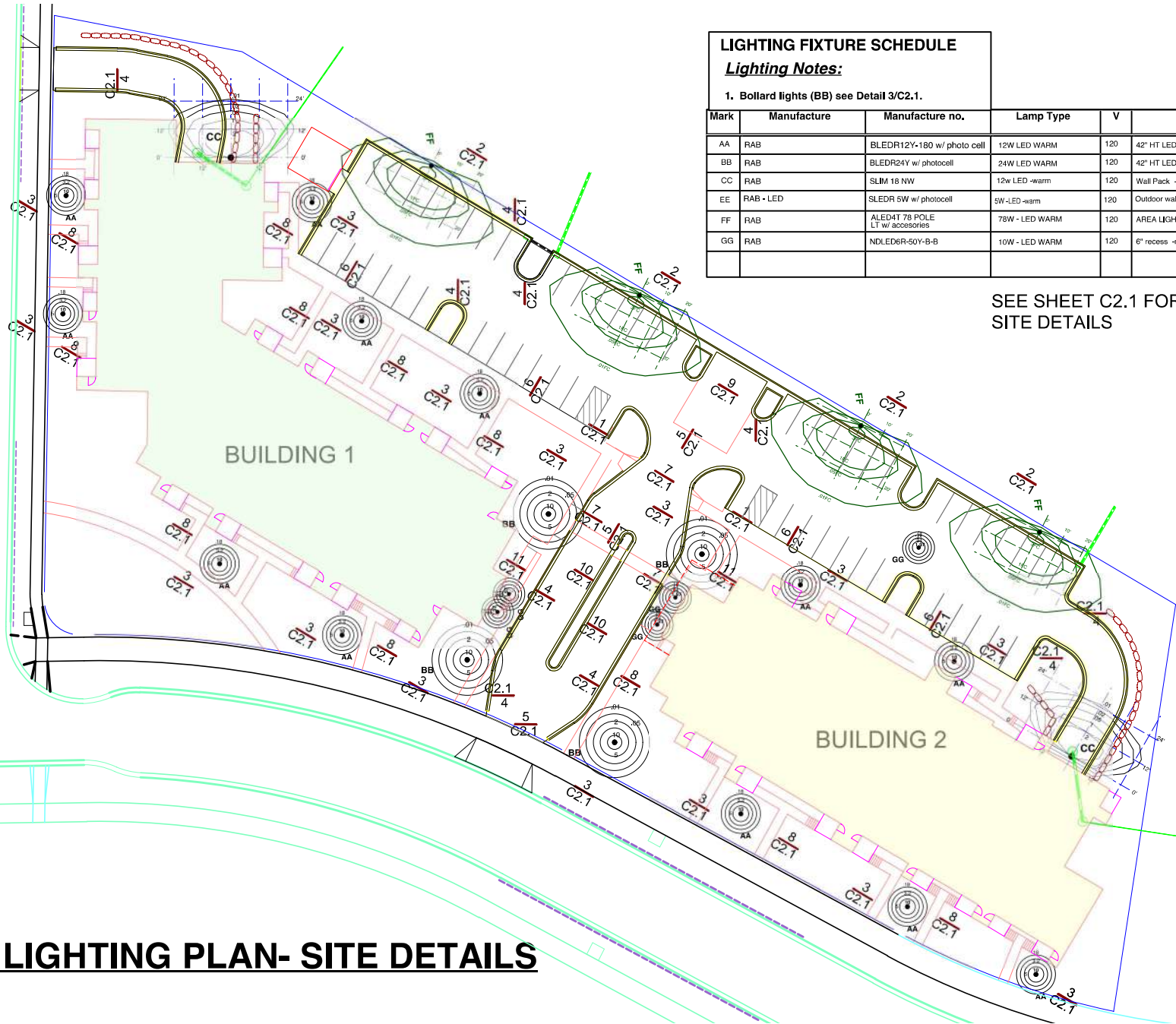
LIGHTING FIXTURE SCHEDULE

Lighting Notes:

1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLEDR12Y-180 w/ photo cell	12W LED WARM	120	42" HT LED bollard- walk lites WHITE
BB	RAB	BLEDR24Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites WHITE
CC	RAB	SLIM 18 NW	12w LED -warm	120	Wall Pack -mt ht 12" @ SPORT COURT white
EE	RAB - LED	SLEDR 5W w/ photocell	5W-LED -warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED4T 78 POLE LT w accessories	78W - LED WARM	120	AREA LIGHT 2 ht per 16' pole -white
GG	RAB	NLED6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

SEE SHEET C2.1 FOR ARCHITECTURAL SITE DETAILS

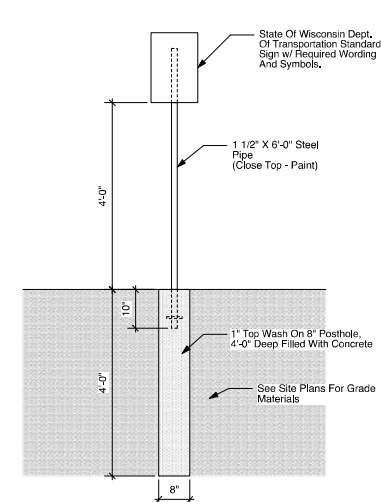


SITE LIGHTING PLAN- SITE DETAILS

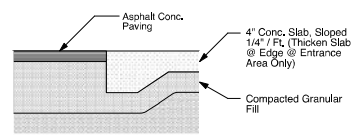
ARCHITECTURE
LLC SIEGER
 3 WHITE OAKS LN Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101
 siegerarchitects@stglobal.net

PROJECT
JANNAH VILLAGE 242 UNIT
MADISON, WI
 OWNER
SIMPLE HOMES MADISON, LLC
 Lindsey Higgins 608-446-2224
 simplehomes@ourhomes.com

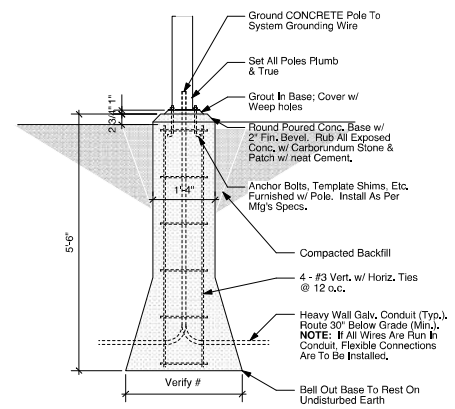
CD.2
 2/12/21



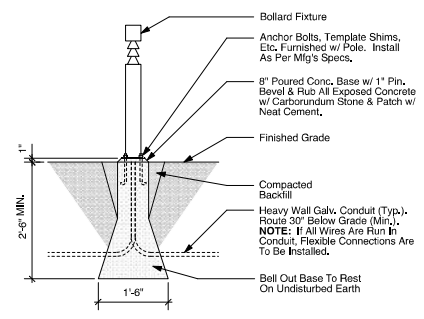
1 HANDICAP PARKING SIGN
Scale: 1" = 1'-0"



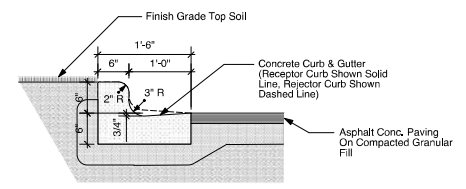
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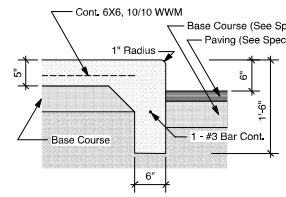
2 LIGHT POLE BASE
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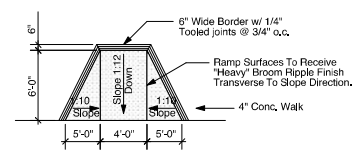
3 BOLLARD BASE
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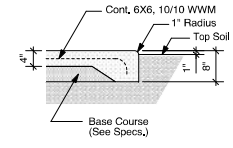
4 CURB
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STANDARD CURB AT ALL PARKING AS WHEEL STOP



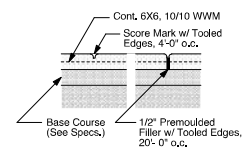
6 WALK & CURB
Scale: 1" = 1'-0"



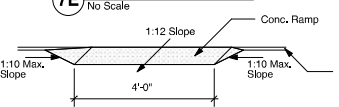
7E HANDICAPPED RAMP
No Scale



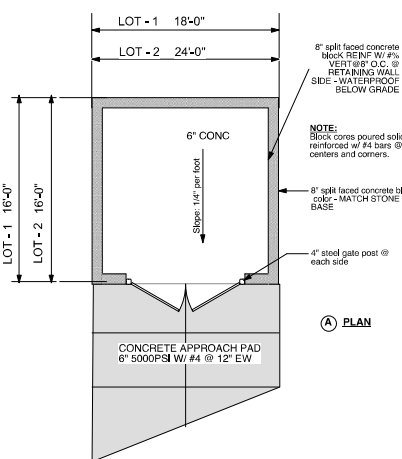
8A WALK & LAWN
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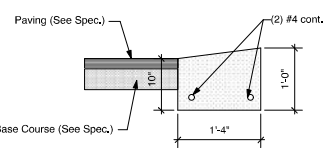
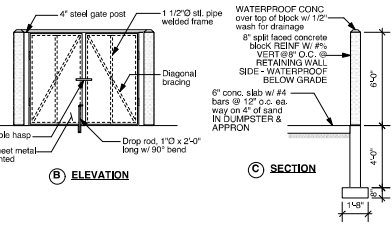
8B WALK JOINT
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7F HANDICAPPED RAMP
No Scale



9 TRASH ENCLOSURE
Scale: 1/4" = 1'-0"



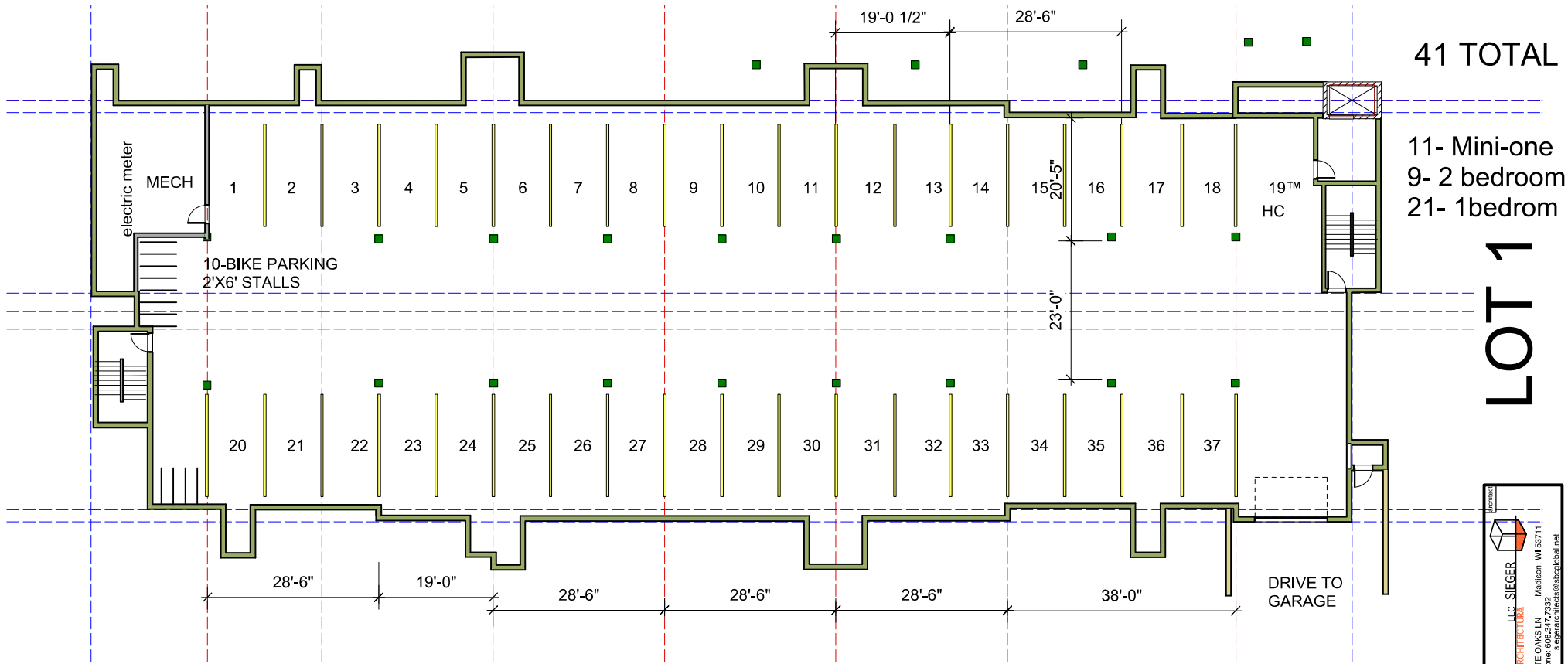
10 CURB DETAIL
Scale: 1" = 1'-0"



11 Entry Waste Containers
Scale: 3/4" = 1'-0"


ARCHITECT 73 WHITE OAKS LANE, Madison, WI 53711 Phone: 608-347-7332 siegerarchitect@comcast.net	SITE PLANS DETAILS JANNAH VILLAGE MADISON, WI Lindsay Hagens Madison, WI		C2.1 8/15/21
	PROJECT DRAWN BY	CHECKED BY	

*NOTE: Drawings are 50% scale for 11x17 print sets.



LOT 1

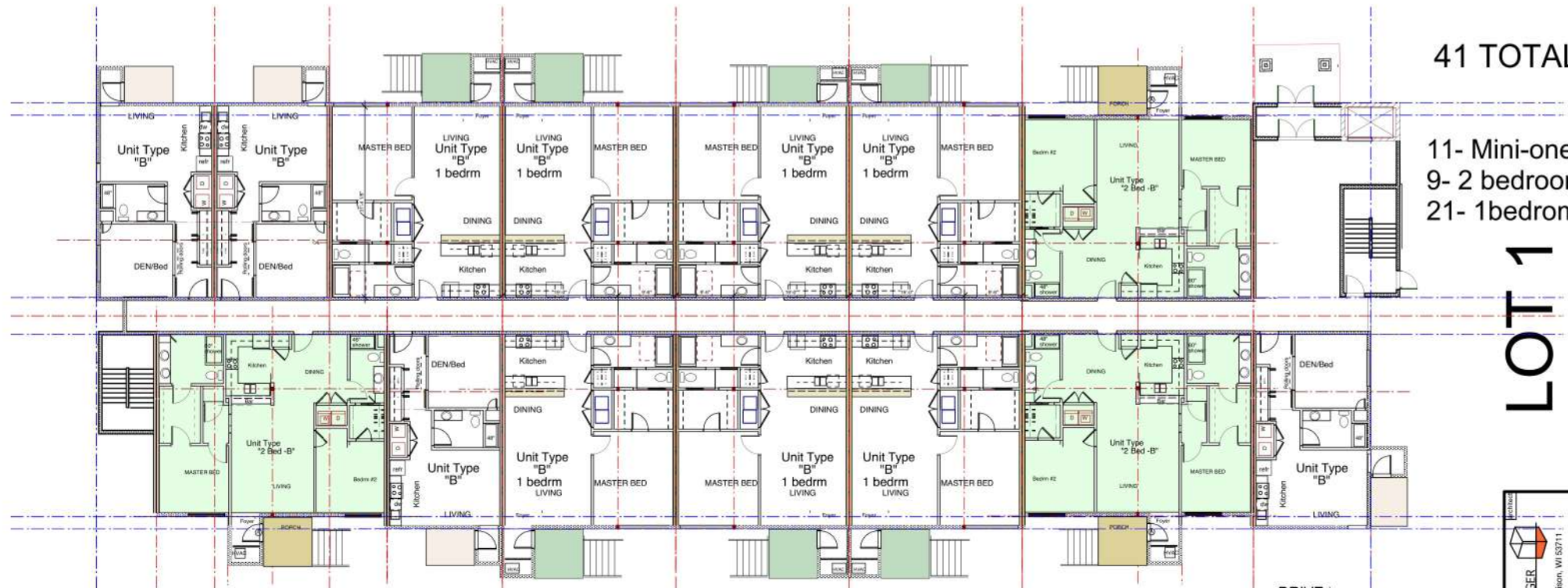
Lower Level/Garage FLOOR

 ARCHITECTURE LLC SIEGER <small>3 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</small>	
JANNAH VILLAGE 242 UNIT MADISON, WI	<small>Project</small>
<small>SIMPLE HOMES MADISON LLC</small> <small>Lindsay Hagans 608-446-2224</small> <small>simplehomesproperties@gmail.com</small>	<small>Owner</small>
A1.0	
<small>2/12/21</small>	

41 TOTAL

11- Mini-one
9- 2 bedroom
21- 1bedrom

LOT 1



MAIN FLOOR PLAN

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

3/4" - 4X8' EXT MDO PANEL
PAINT COLOR OPTION #1

HARD BOARD PANEL #4
equal to Nichiha Panels

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

DRIVE to
garage



8" STL PIPE DECK COLUMN
PAINT COLOR OPTION #1

10" SMART SIDING #3

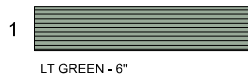
6" SMART SIDING #1

STREET ELEVATION - LOT 1

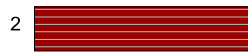
ARCHITECTS
LLC SIEGER
9 WHITE OAKS LN
Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@scotglobal.net

PROJECT
**JANNAH VILLAGE 242 UNIT
MADISON, WI**
OWNER
SIMPLE HOMES MADISON LLC
Lindsay Heaters 608-446-2224
siml@simplehomesmadi.com

A1.1
3.12.21



1 LT GREEN - 6"



2 BURGUNDY - 6"



3 CHARCOAL GREY - 6" & 8"



4 WHITE 6"

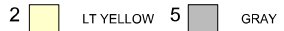
SMART SIDING
COLOR OPTIONS



1 LT GREEN



4 WHITE



2 LT YELLOW

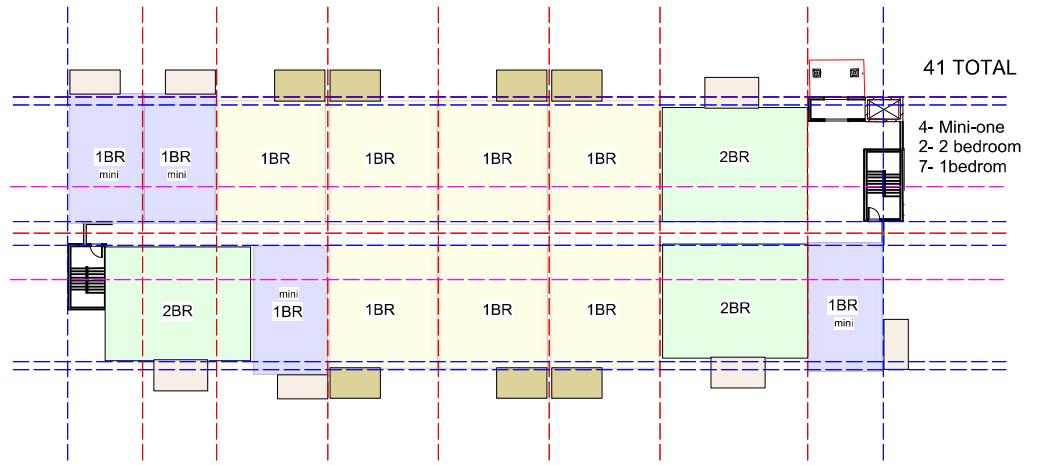


5 GRAY

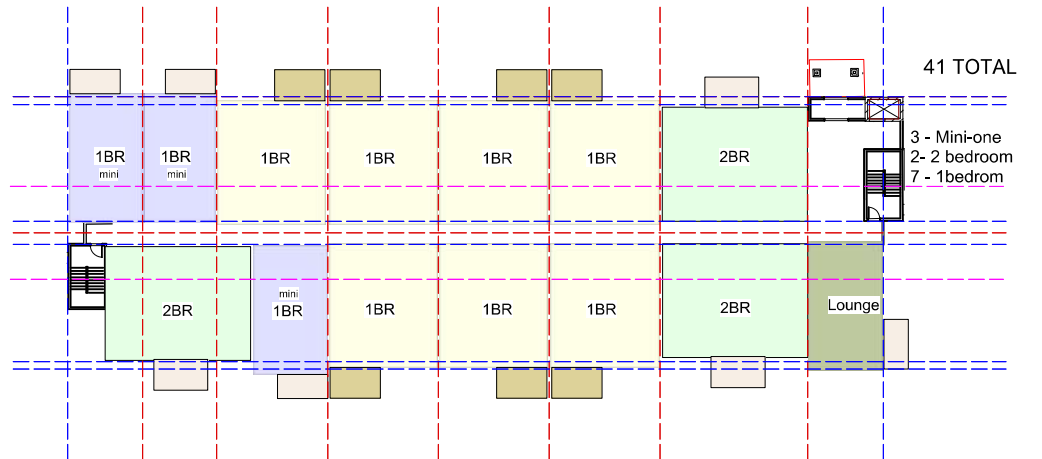


3 BURNT ORANGE

COLOR PAINT PANEL OPTIONS




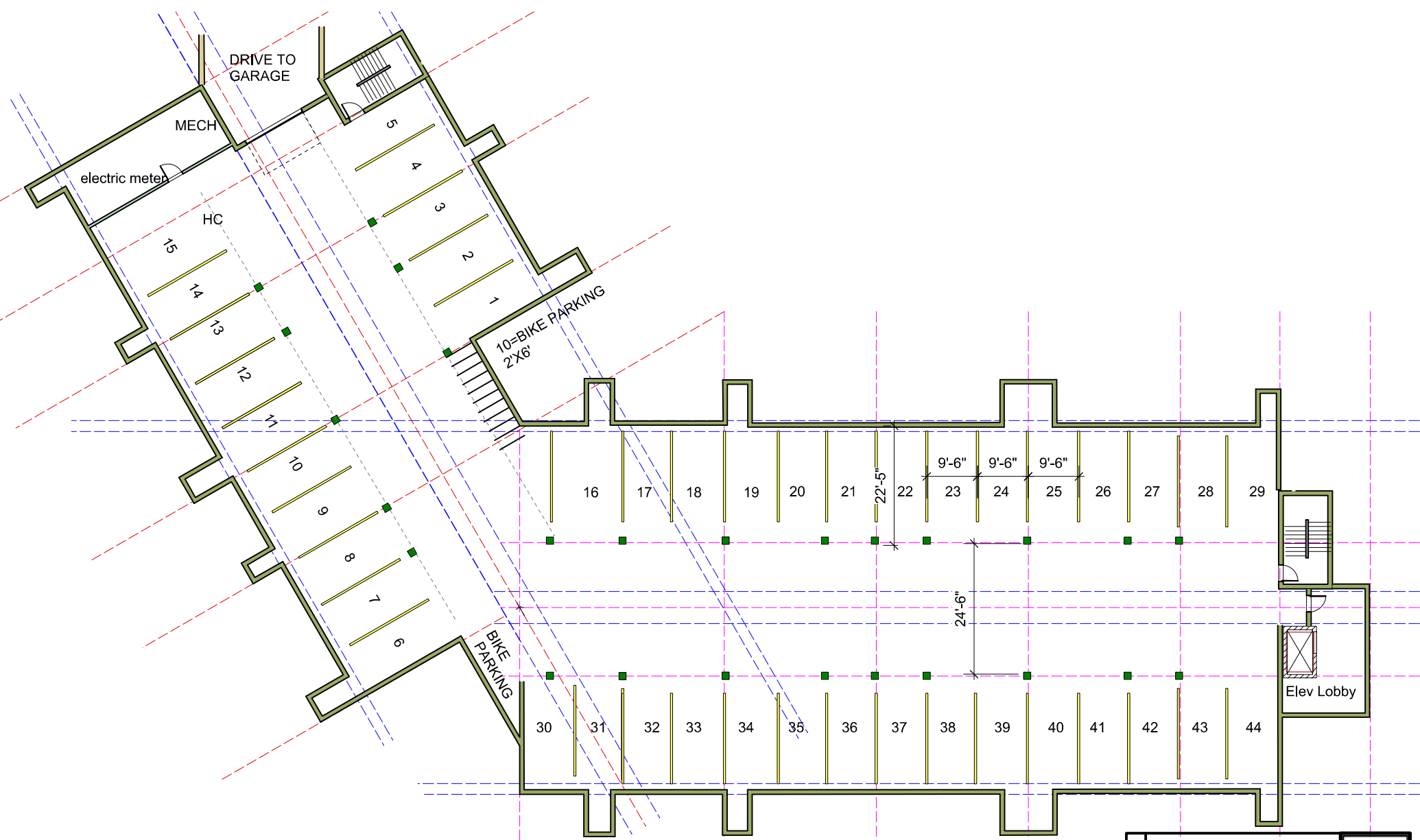
SEOND FLOOR PLAN



THIRD FLOOR PLAN


LOT 1

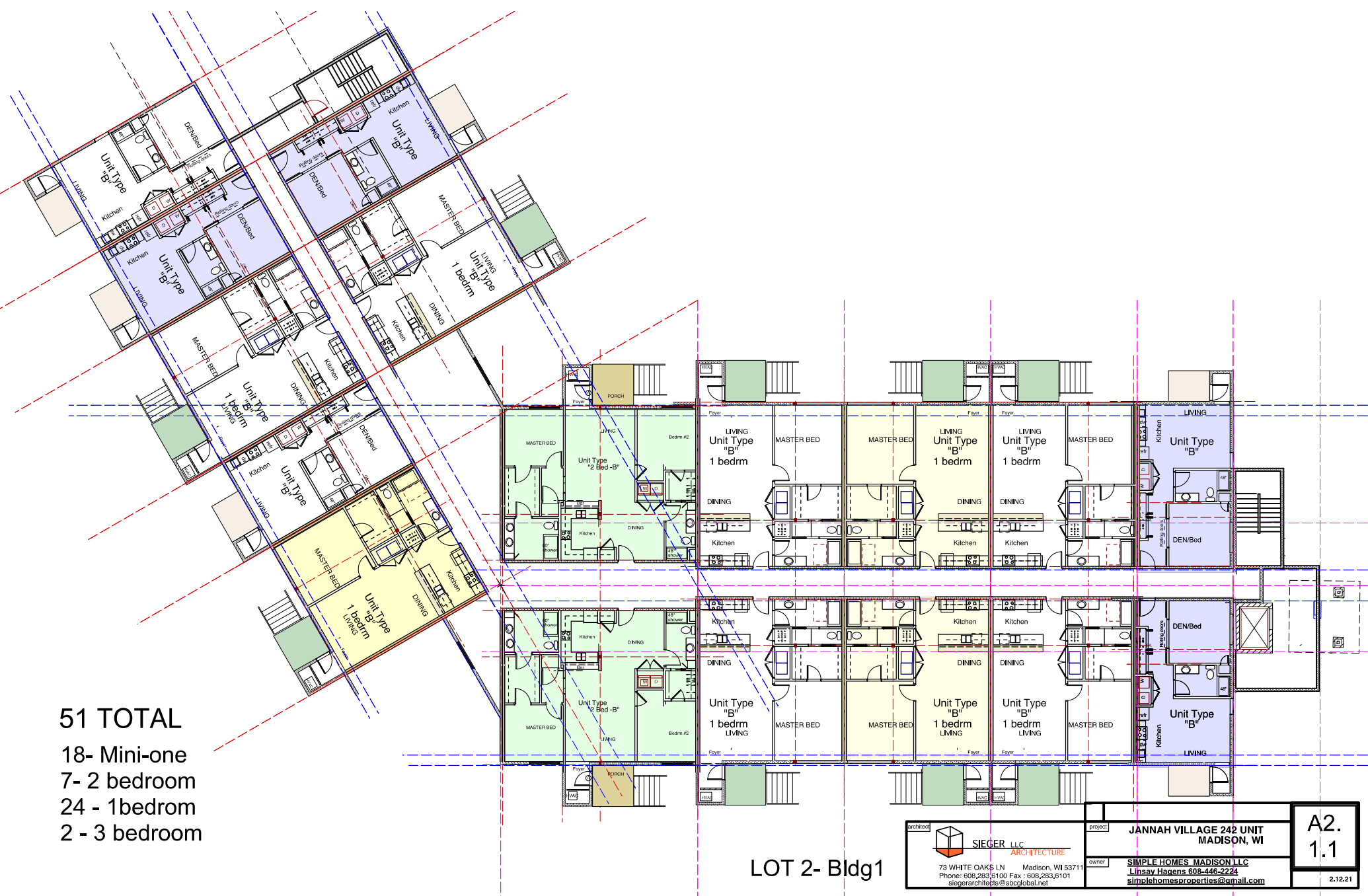
architect  SIEGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A1.2
	owner SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	



Lower Level - Garage FLOOR


LOT 2 BUILDING 1

architect  SEIGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.8100 Fax: 608.283.8101 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2 1.0 2.12.21
	owner SIMPLE HOMES MADISON LLC Linsav Hagens 608-446-2224 simplehomesproperties@gmail.com	

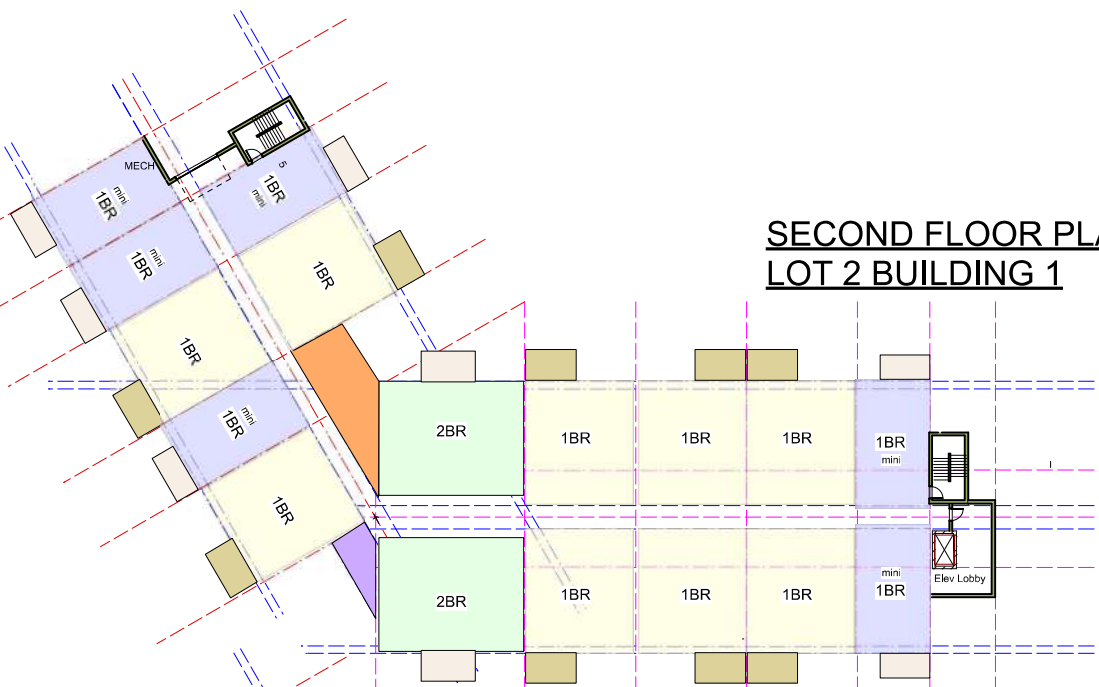


51 TOTAL
 18- Mini-one
 7- 2 bedroom
 24 - 1bedrm
 2 - 3 bedroom

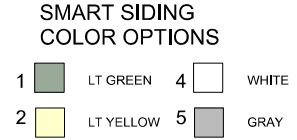
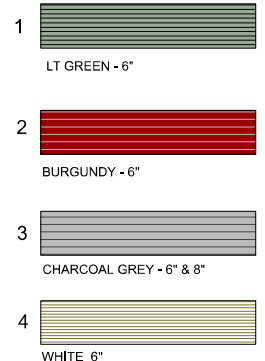
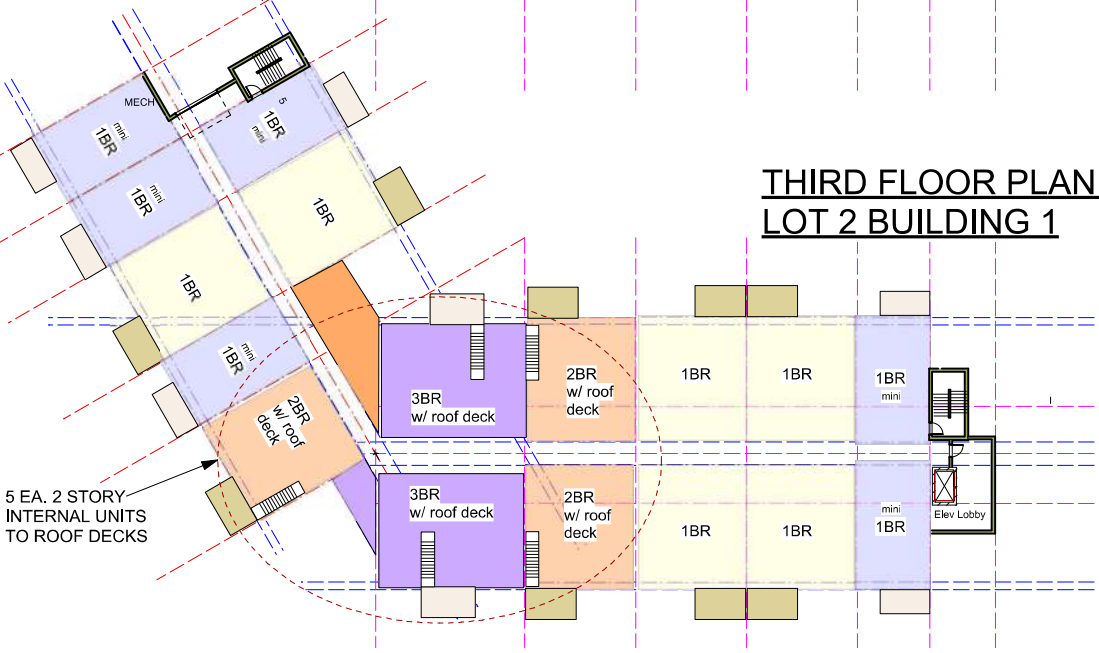
LOT 2- Bldg1


architect  SEIGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.8100 Fax: 608.283.8101 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2. 1.1 2.12.21
	owner SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

**SECOND FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1**

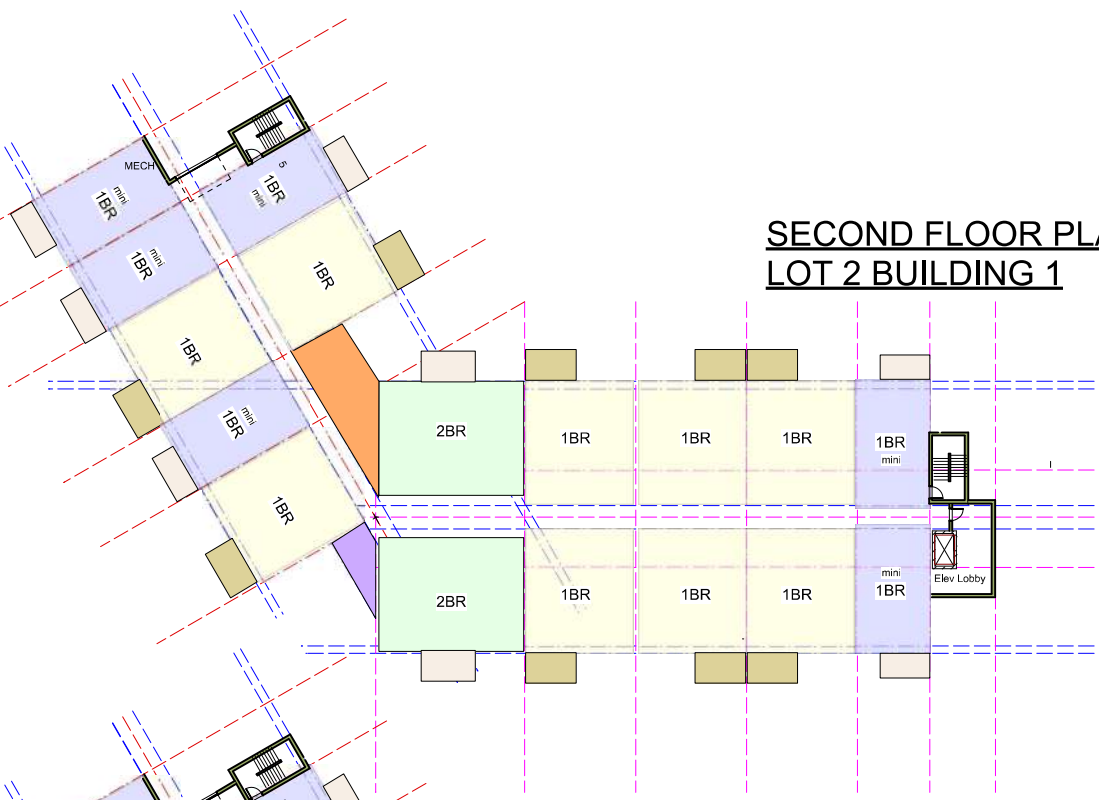


**THIRD FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1**

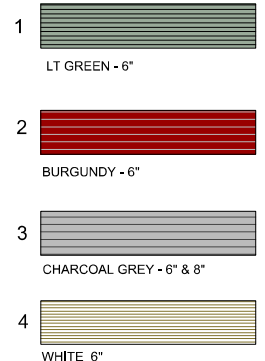
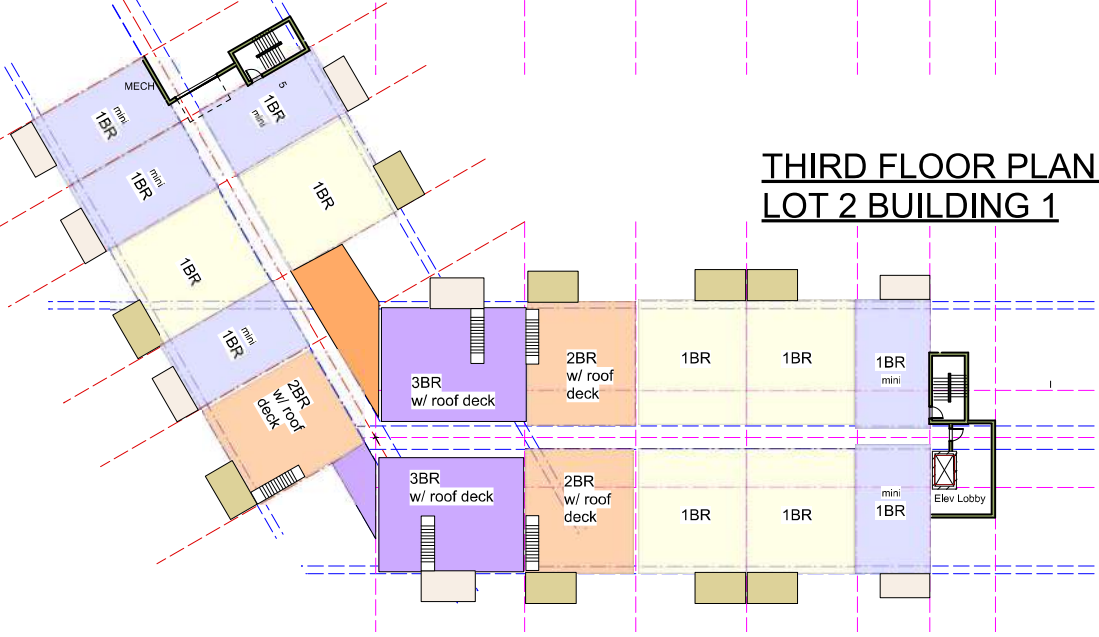


 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2.1.2 8.12.21
	owner SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	


**SECOND FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1**



**THIRD FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1**



- SMART SIDING
COLOR OPTIONS**
- 1 LT GREEN
 - 2 LT YELLOW
 - 3 BURNT ORANGE
 - 4 WHITE
 - 5 GRAY
- COLOR PAINT PANEL OPTIONS**

 SEIGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.293.6100 Fax: 608.293.6101 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2.2/3 2.12.21
	owner SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

ROOF TOP DECK AND BEDROOMS

HARD BOARD PANEL #5
equal to Nichiha Panels

HARD BOARD PANEL #4
equal to Nichiha Panels

WEST - WALKING WAY - STREET ELEVATION -

NOTE: REAR ELEVATION - TYPICAL

6" SMART SIDING #1
8" SMART SIDING #2

ENTRY-WEST- ELEVATION -

ENTRY ELEVATION - TYPICAL - W/ COLOR OPTIONS 1&3

TYPICAL:
WHITE SASH VINYL
INSULATED WINDOWS

10" SMART SIDING #3

8" STL PIPE DECK COLUMN
PAINT COLOR OPTION #3

HARD BOARD PANEL #2
equal to Nichiha Panels

HARD BOARD PANEL #5
equal to Nichiha Panels

ROOF TOP DECK AND BEDROOMS

3/4" - 4X8' EXT MDO PANEL
PAINT COLOR OPTION #3

6" SMART SIDING #4

SOUTH- BLISSFUL STREET ELEVATION -

NOTE: REAR ELEVATION - TYPICAL

LOT 2- Bldg1

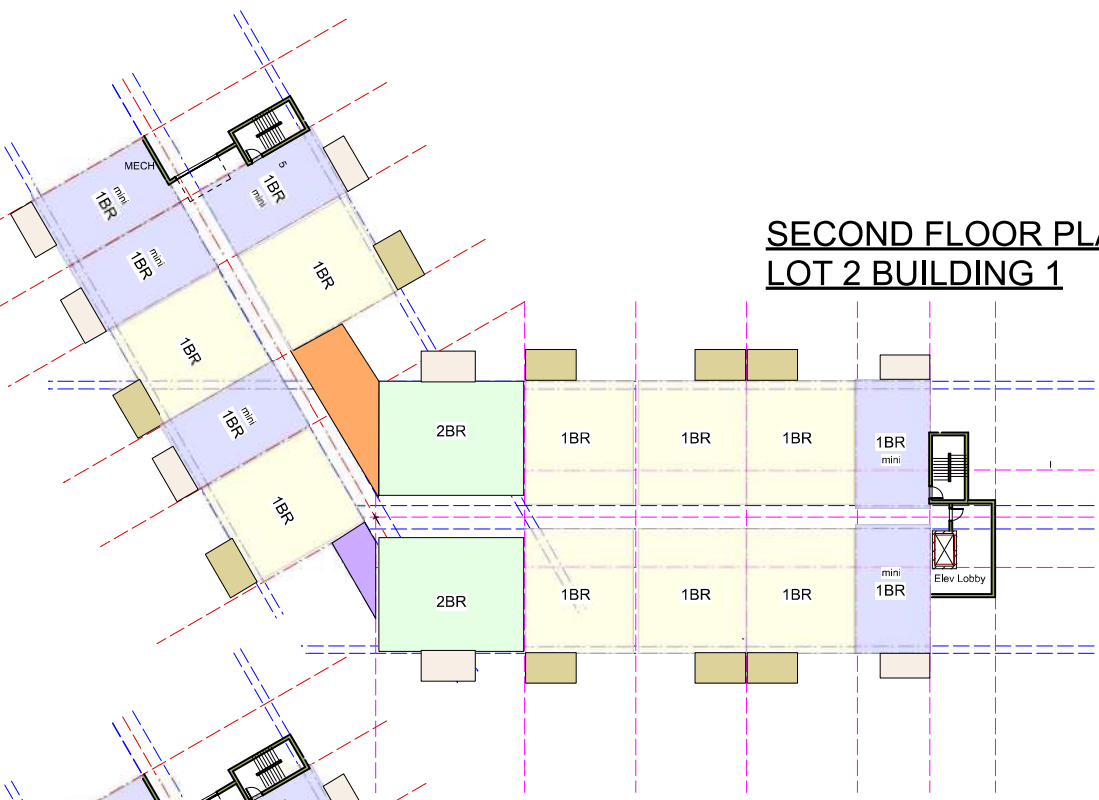
architect
SIEGER LLC
ARCHITECTURE
73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332
siegerarchitects@sbcglobal.net

project
**JANNAH VILLAGE 242 UNIT
MADISON, WI**
owner
SIMPLE HOMES MADISON LLC
Linsay Hagens 608-446-2224
simplehomesproperties@gmail.com

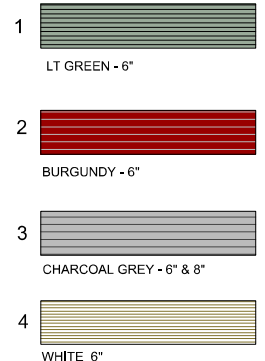
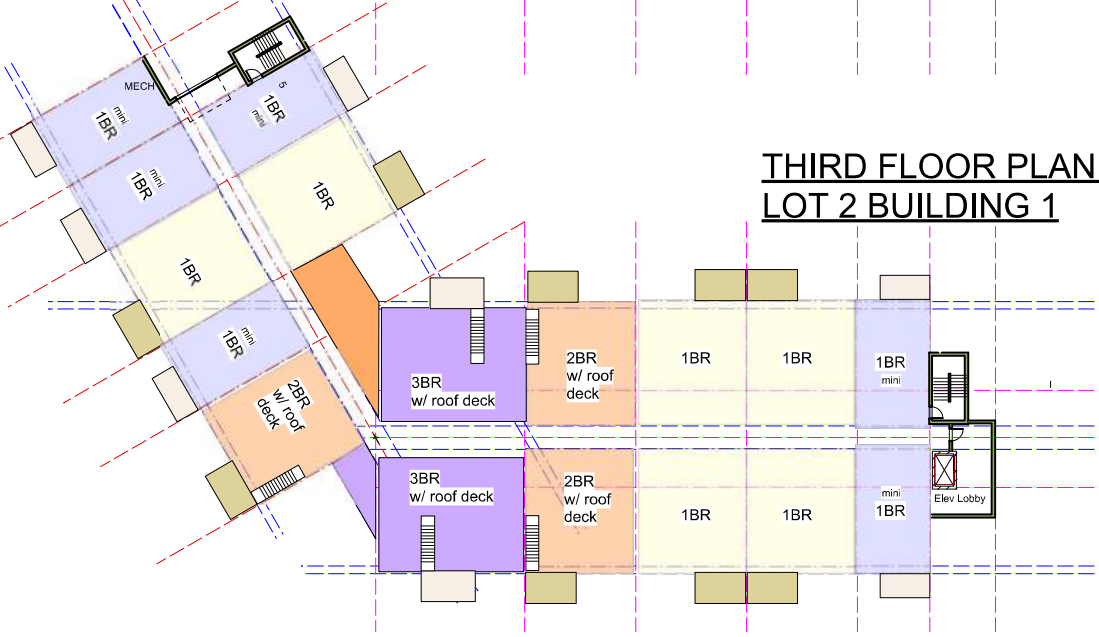
A2.
4.1

8.15.21


**SECOND FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1**

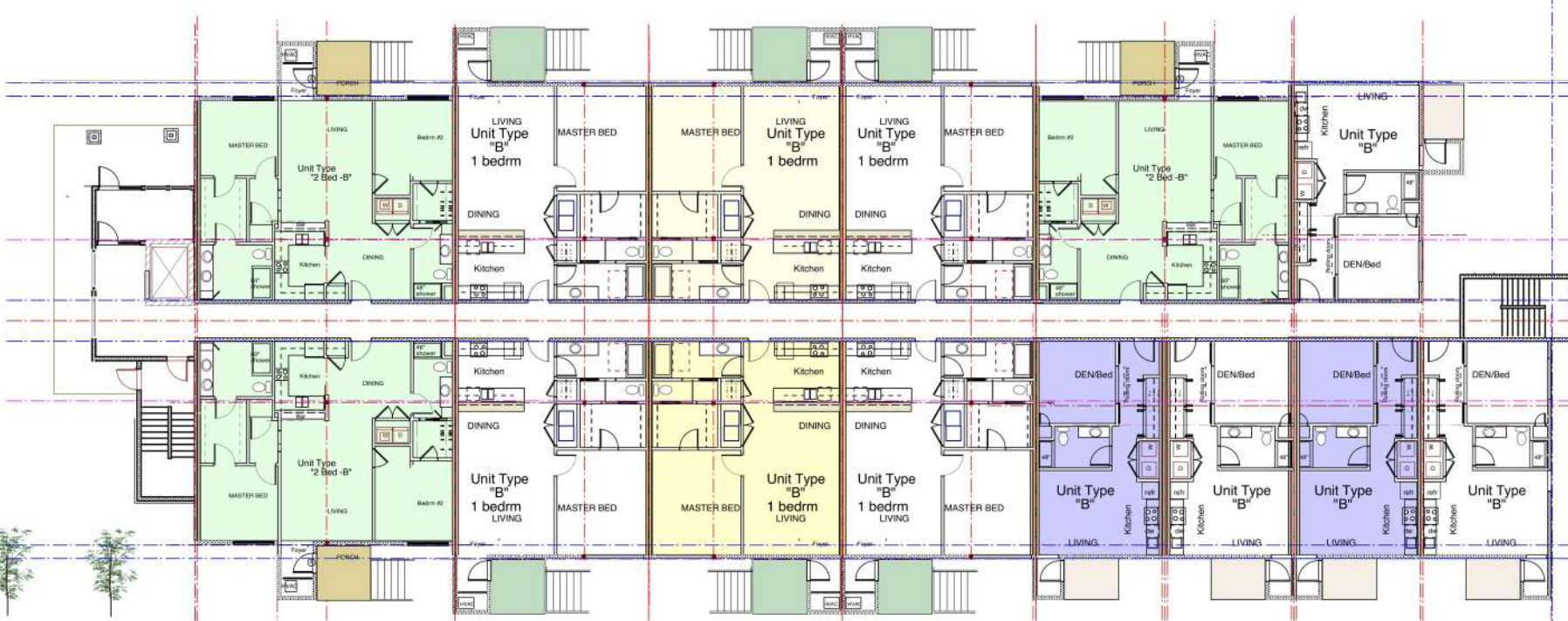


**THIRD FLOOR PLAN 1/32" = 1'-0"
LOT 2 BUILDING 1**



- SMART SIDING
COLOR OPTIONS**
- 1 LT GREEN
 - 2 LT YELLOW
 - 3 BURNT ORANGE
 - 4 WHITE
 - 5 GRAY
- COLOR PAINT PANEL OPTIONS**

 SEIGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.293.6100 Fax: 608.293.6101 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	A2.2/3
	owner SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	



15- Mini-one
 8- 2 bedroom
 17- 1bedroom
 1- 3 bedroom
 42 TOTAL

LOT 2- Bldg2

TYPICAL:
 WHITE SASH VINYL
 INSULATED WINDOWS

8" SMART SIDING #2 6" SMART SIDING #1
 HARD BOARD PANEL #4
 equal to Nichina Panels
 10" SMART SIDING #3
 8" STL PIPE DECK COLUMN
 PAINT COLOR OPTION #3
 6" SMART SIDING #4

ROOF TOP DECK AND BEDROOMS

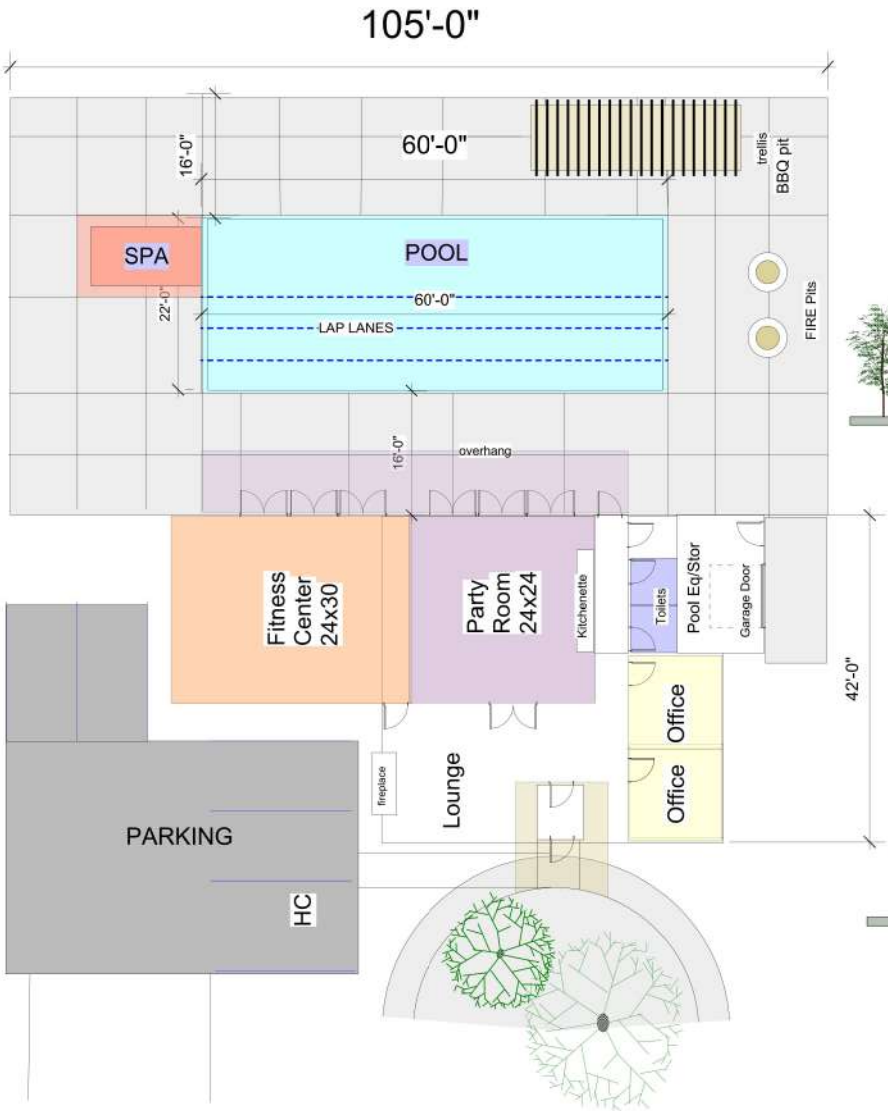
3/4" - 4X8" EXT MDO PANEL
 PAINT COLOR OPTION #2

STREET ELEVATION - LOT 2 Bldg 2

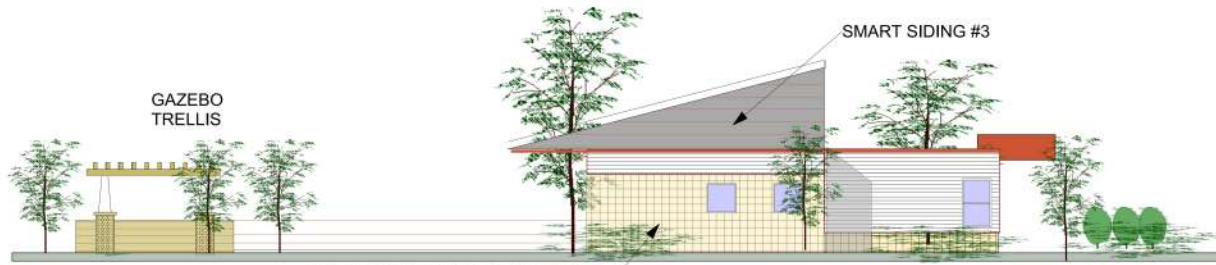
ARCHITECT
J.L.C. SIEGER
 ARCHITECTURE
 73 WHITE OAKS LN
 MADISON, WI 53711
 Phone: 608.547.7332
 sagearchitects@sageglobal.net

OWNER
JANNAH VILLAGE 242 UNIT
 MADISON, WI
 OWNER
SIMPLE HOMES MADISON LLC
 1505 W. JOHNSON ST. 408-446-2228
 simplehomes@simplehomesmadison.com

A2.2
 1
 2.12.21



FLOOR PLAN - POOL AND COMMONS




HARD BOARD PANELS COLOR # 3
equal to Nichiha Panels

SOUTH SIDE ELEVATION

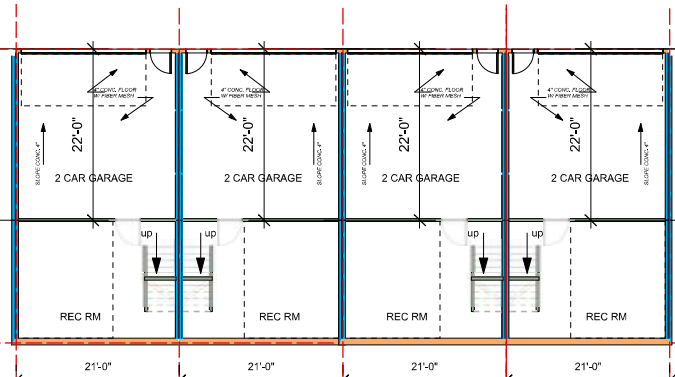


HARD BOARD PANELS COLOR # 3
equal to Nichiha Panels

FRONT EAST SIDE ELEVATION

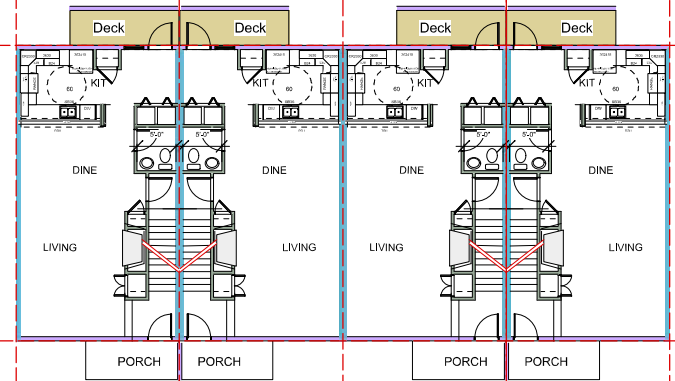
architect  SIEGER LLC ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@abcglobal.net	project JANNAH VILLAGE 242 UNIT MADISON, WI	P1.1 8.15.21
	owner SIMPLE HOMES MADISON LLC Lindsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

Garage/Lower FLOOR
1/16"=1'0"

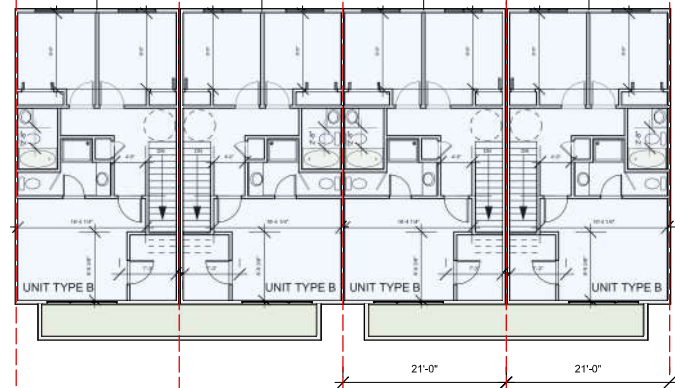


38'-0"

MAIN FLOOR
1/16"=1'0"



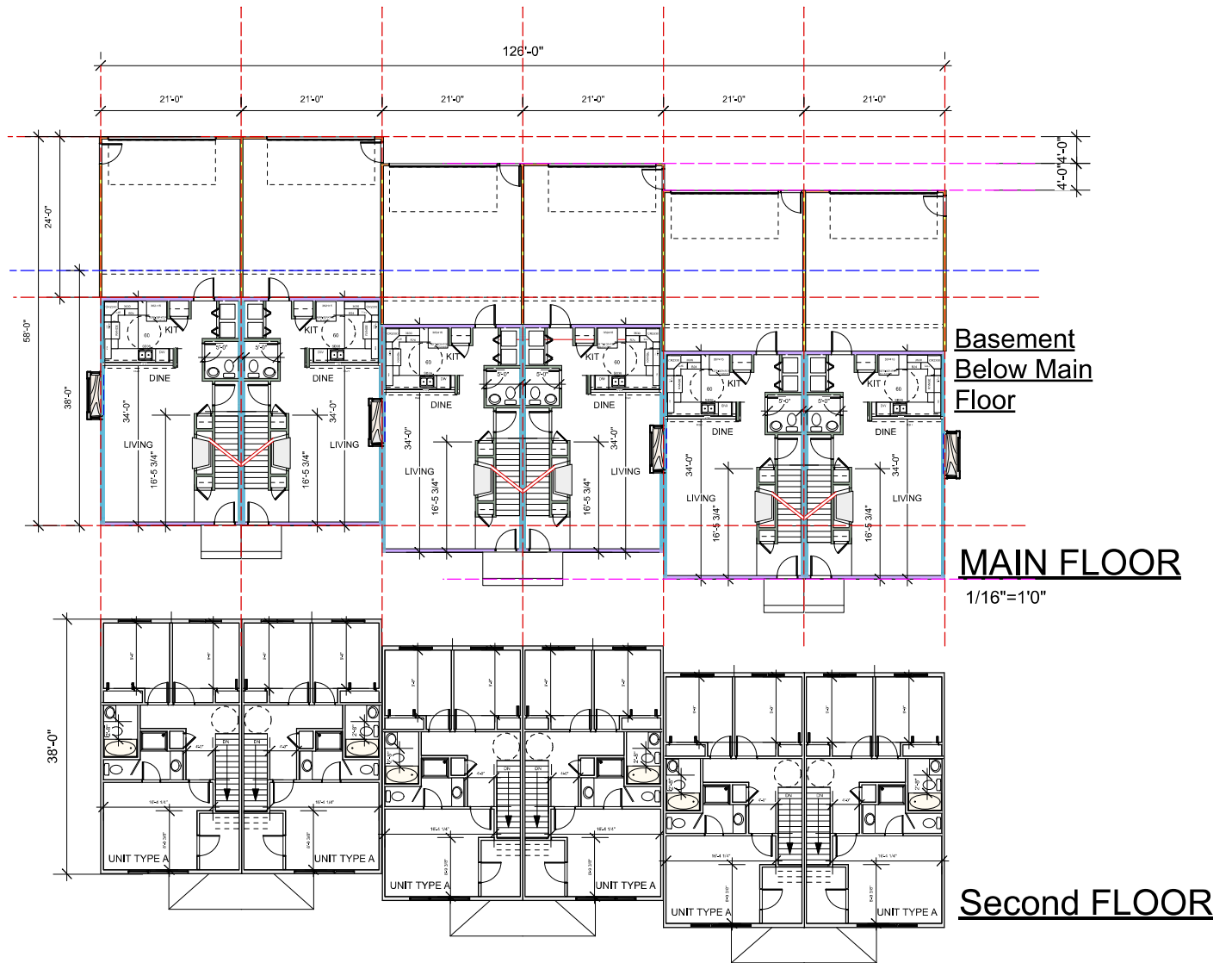
SECOND FLOOR
1/16"=1'0"



UNIT "B"

architect  **SIEGER** ARCHITECTURE
73 WHITE OAKS LN Madison, WI 53711
Phone: 608.347.7332 siegerarchitects@sbglobal.net

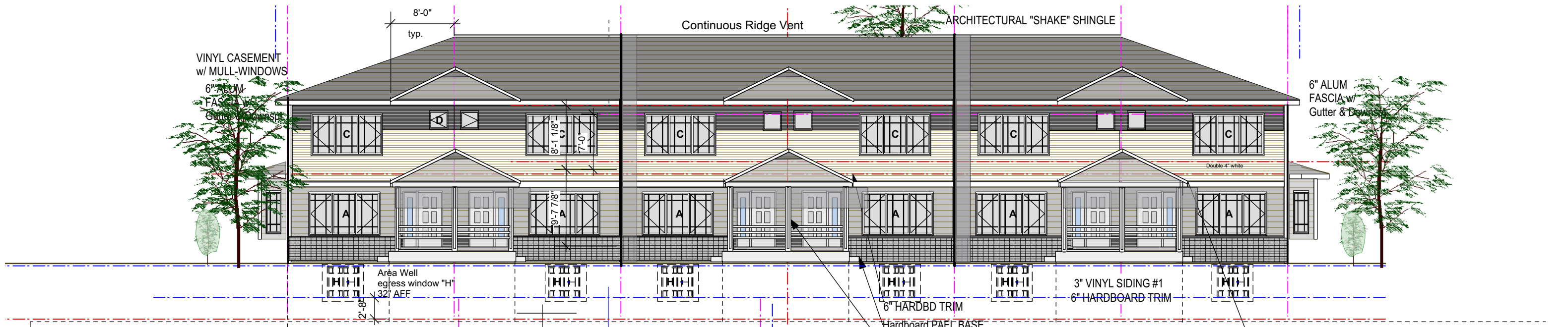
project	JANNAH VILLAGE MADISON, WI	B1
owner	LINDSAY HAGENS MADISON, WI	
		8/21



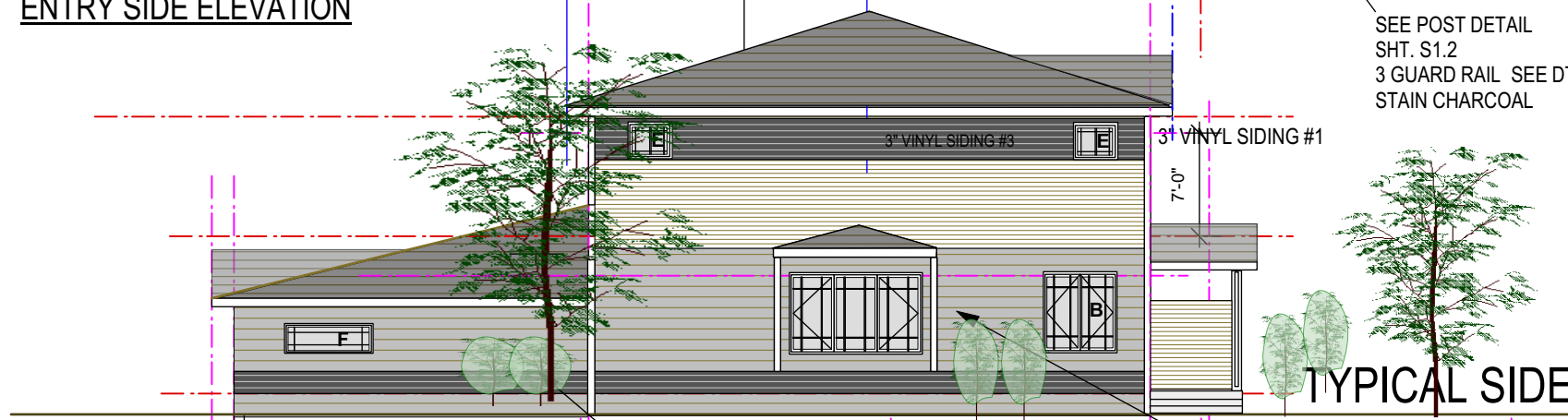
UNIT TYPE "A"

architect  **SIEGER ARCHITECTURE**
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332
 siegerarchitects@sbcglobal.net

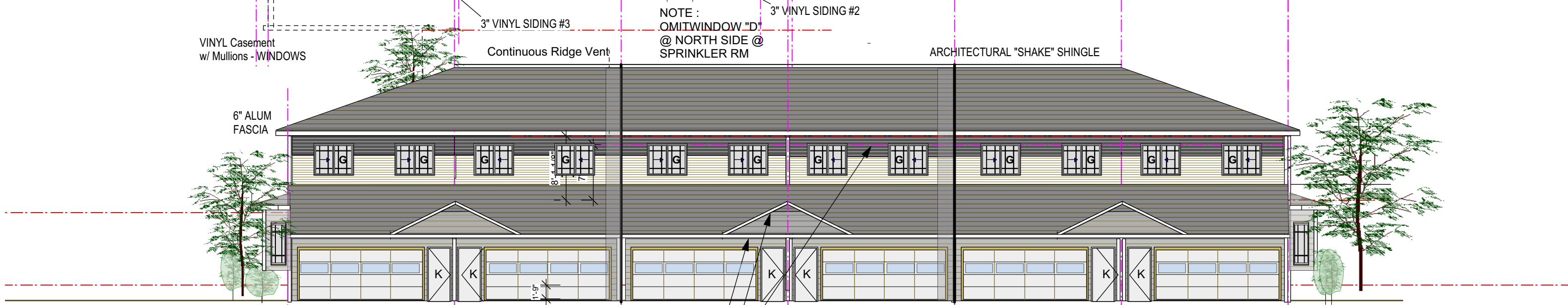
project	JANNAH VILLAGE MADISON, WI	A.TH.1
owner	LINDSAY HAGENS MADISON, WI	
		8/21



ENTRY SIDE ELEVATION




TYPICAL SIDE



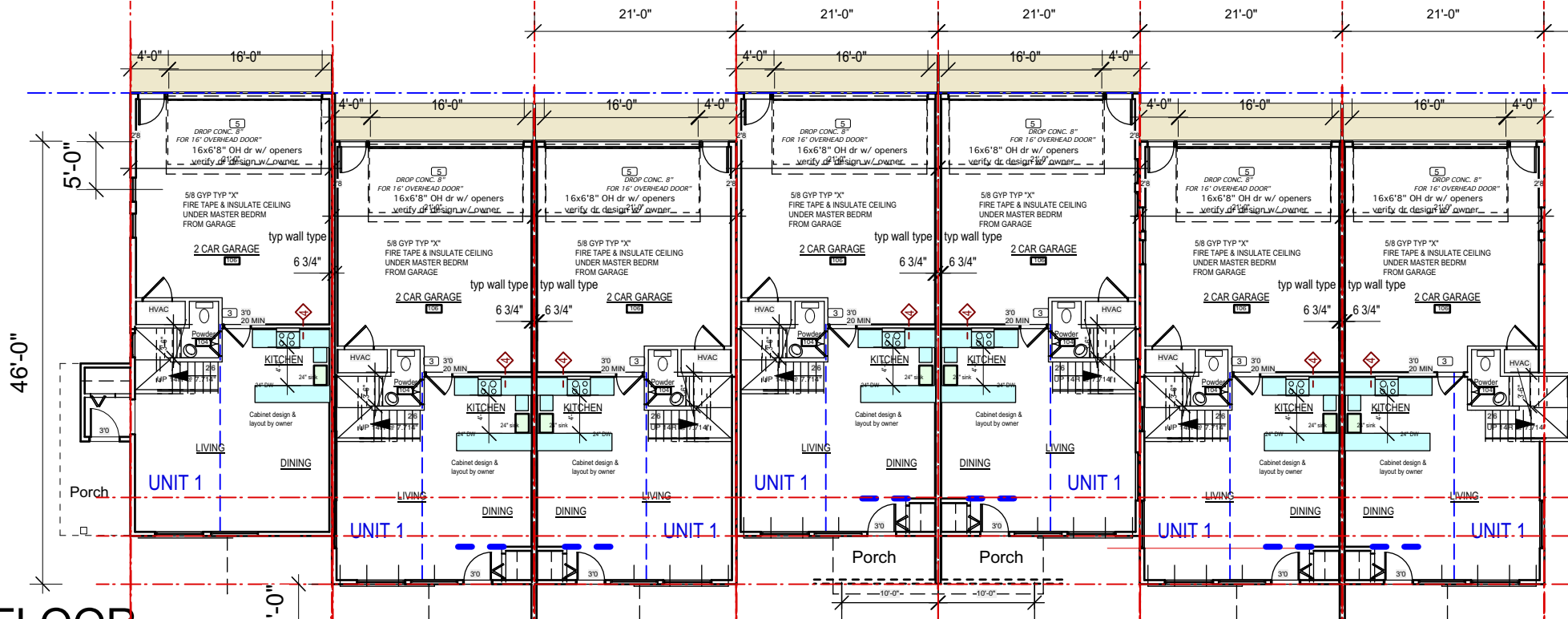
DRIVE COURT VIEW

Jannah Village TownHomes "A"

architect  SIEGER ARCHITECTS ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	ELEVATIONS Jannah Village - Town Homes Eternity Drive - Blissful Ave Madison, WI		A4.1
	owner SIMPLE HOMES MADISON LLC <i>Unsay Hagans</i> simplehomesproperties@gmail.com 608-446-2222		
			8. 8.21

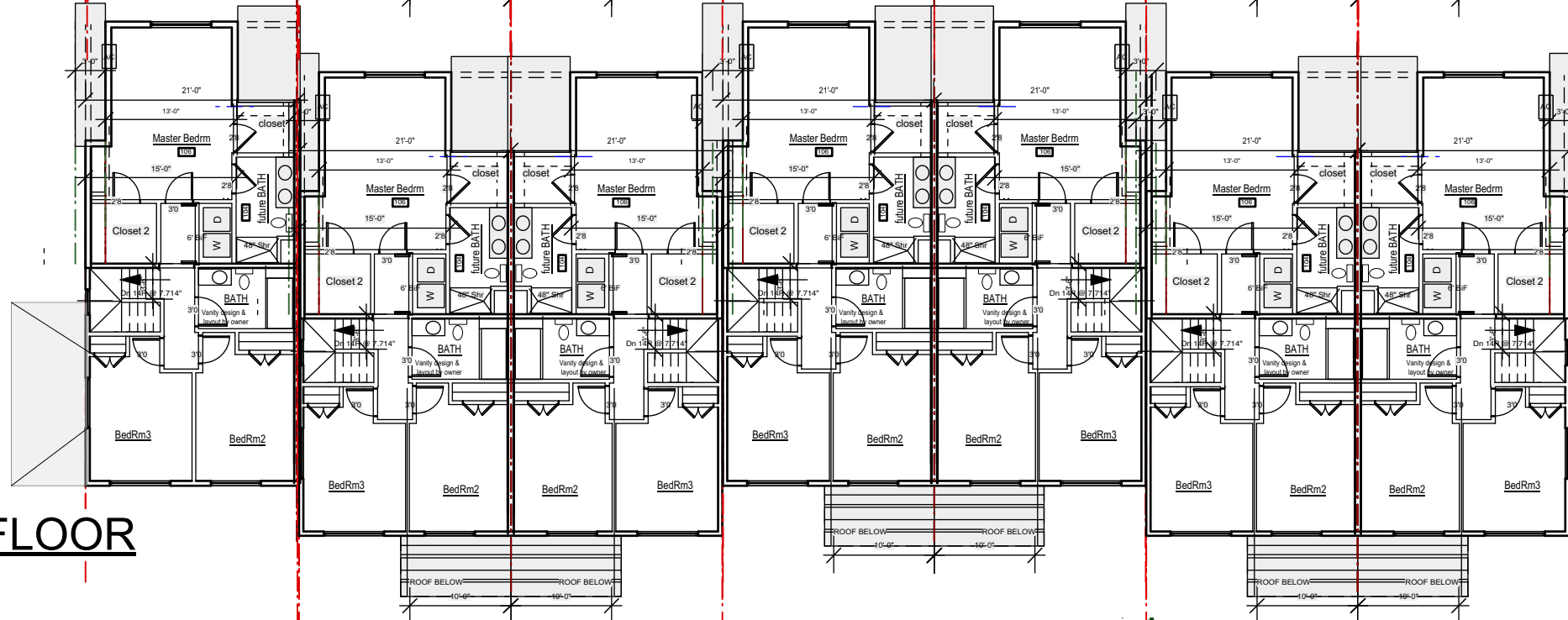
MAIN FLOOR

1/16"=1'0"

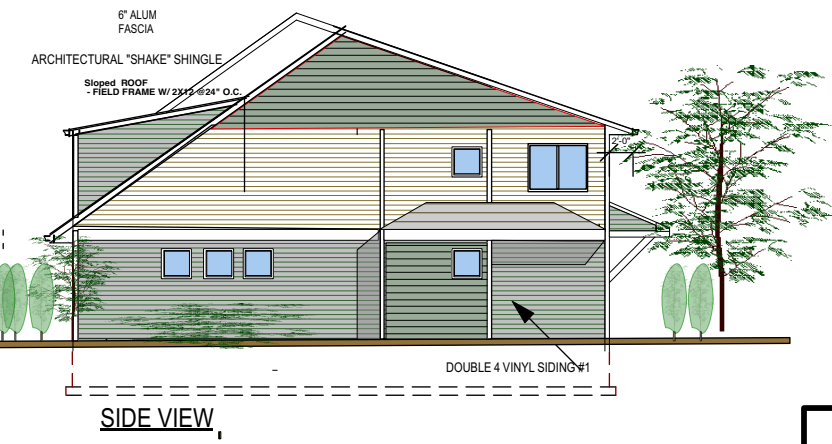


UPPER FLOOR

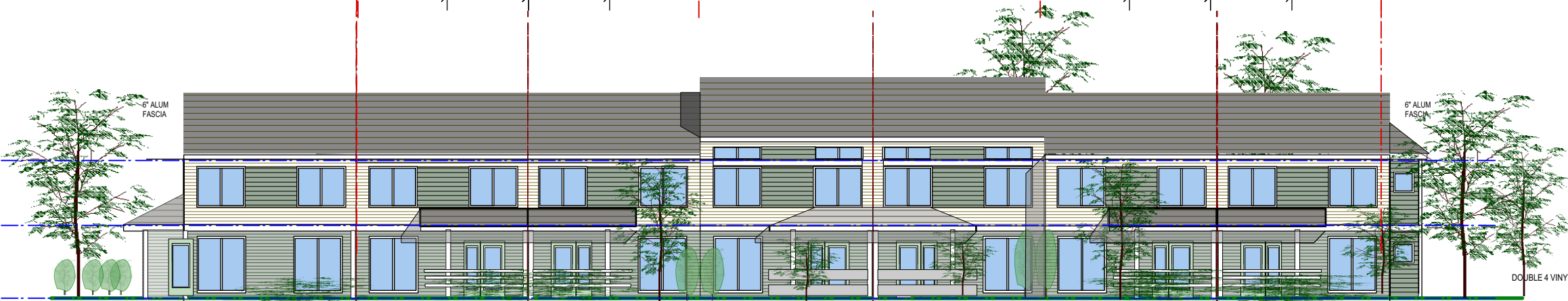
1/16"=1'0"



C1



SIDE VIEW



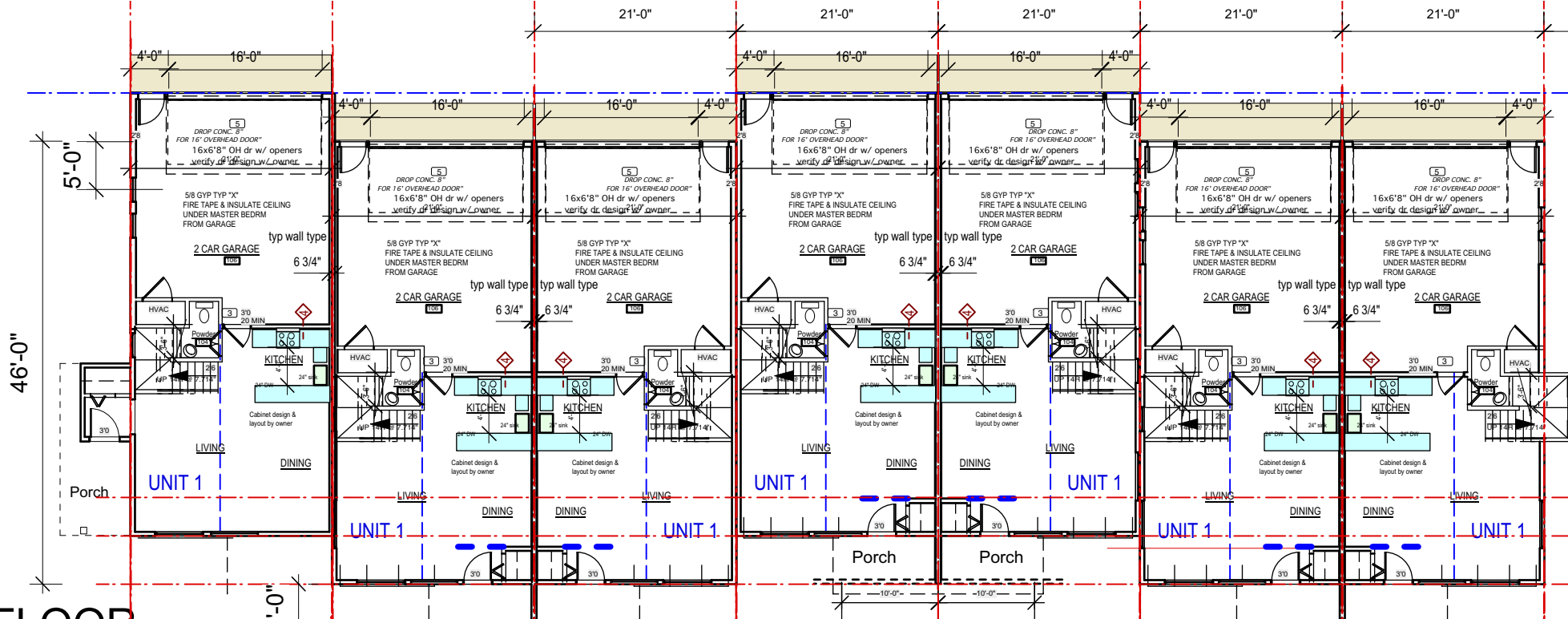
ARCHITECTURE
LLC SIEGER
 ARCHITECTURA
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101
 siegerarchitects@sbcglobal.net

PROJECT
LINDSAY - 8 UNIT
 Sauk City, WI
 OWNER
PLAN RIGHT CONSTRUCTION
 SUN PRAIRIE, WI

C1.1
 1.12.21

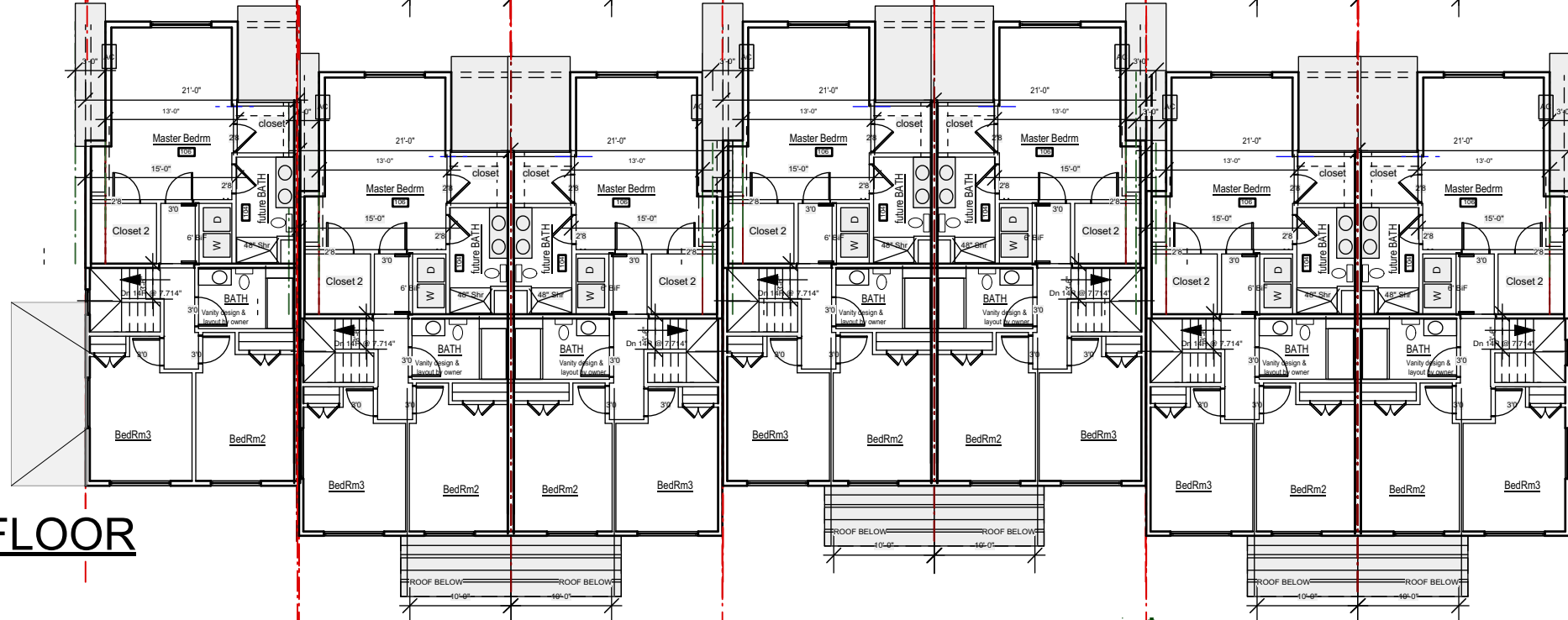
MAIN FLOOR

1/16"=1'0"

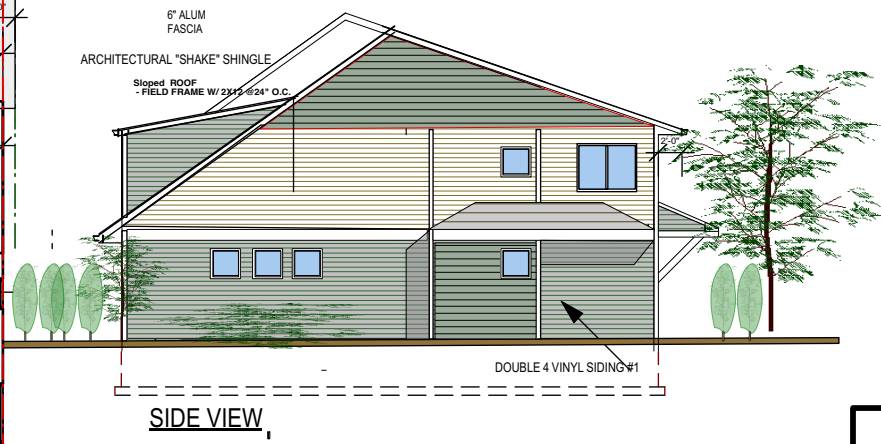


UPPER FLOOR

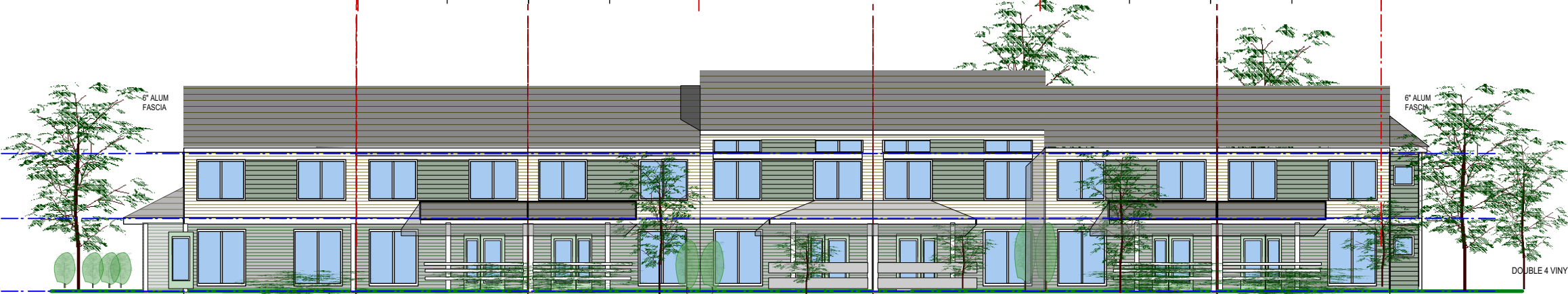
1/16"=1'0"



C1



SIDE VIEW



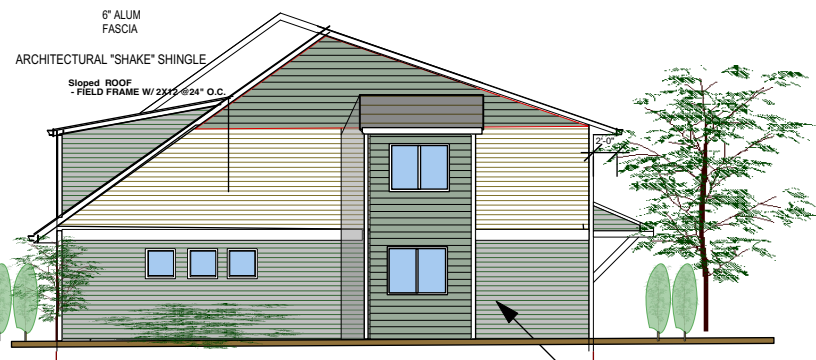
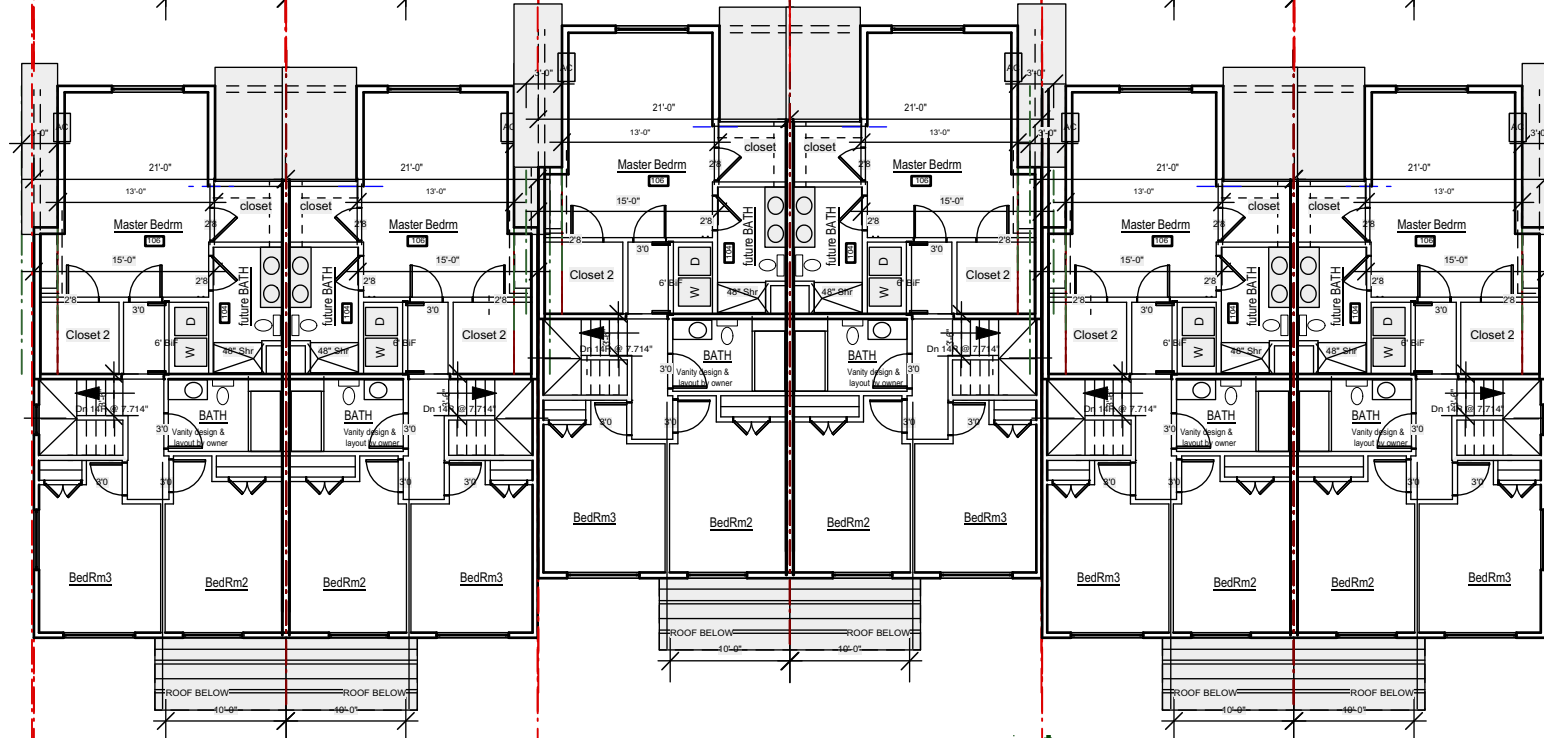
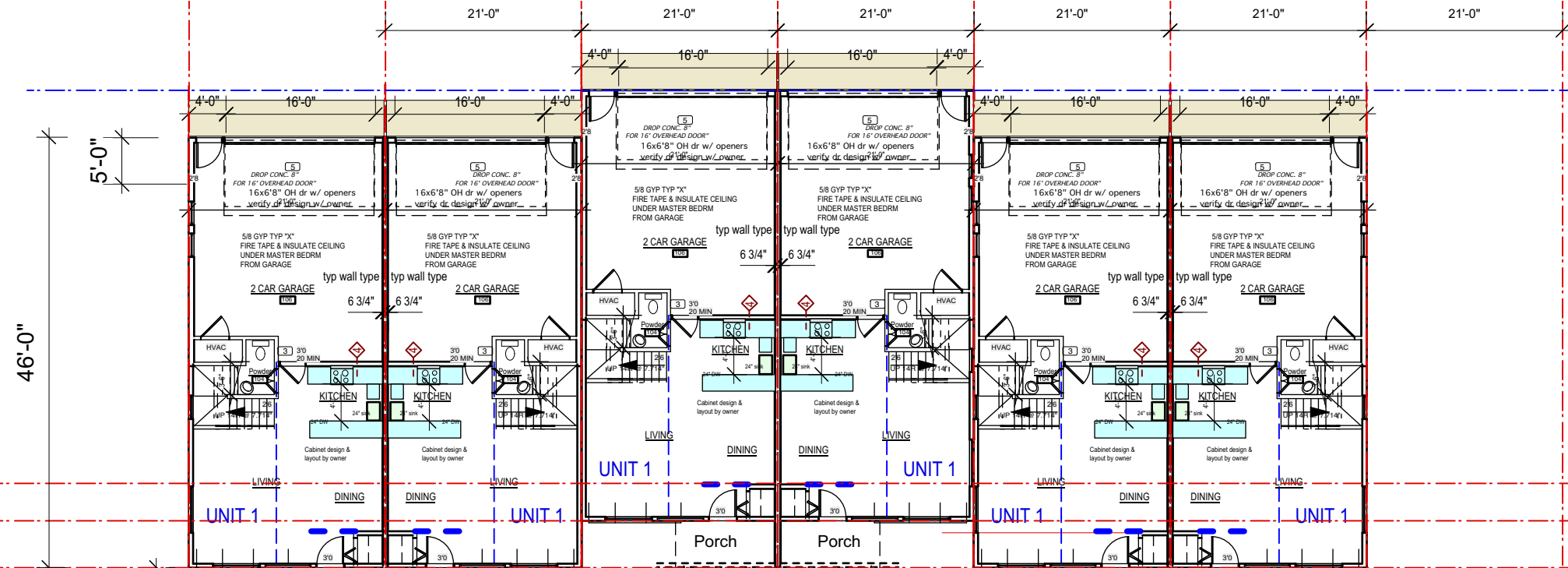
ARCHITECTURE
LLC SIEGER
 ARCHITECTURA
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101
 siegerarchitects@sbcglobal.net

PROJECT
LINDSAY - 8 UNIT
 Sauk City, WI
 OWNER
PLAN RIGHT CONSTRUCTION
 SUN PRAIRIE, WI

C1.1
 1.12.21

MAIN FLOOR

1/16"=1'0"



SIDE VIEW

C-1 - Bldg -3 BEDRM TYPICAL FRONT ELEVATION
DOUBLE 4 VINYL SIDING #1



C2

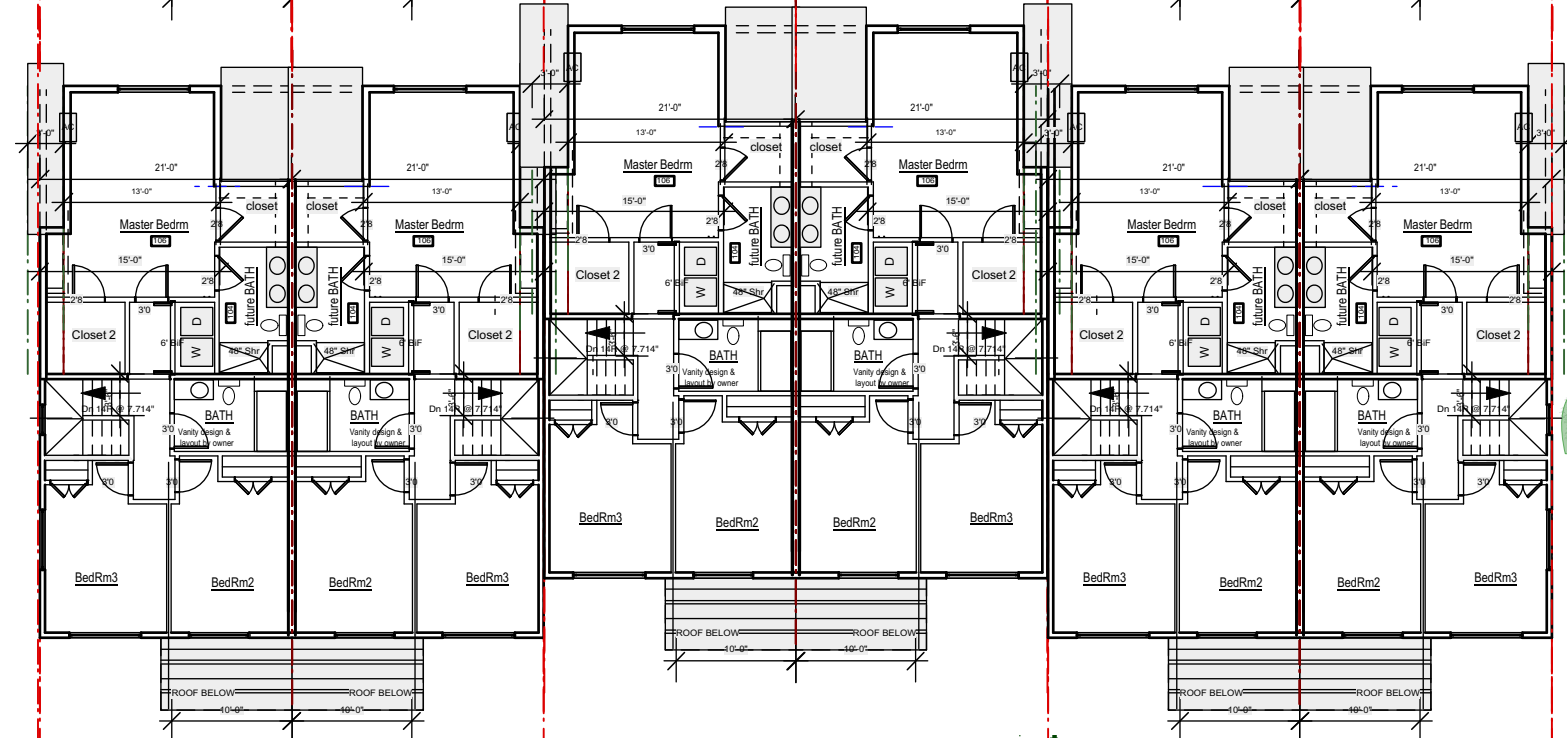
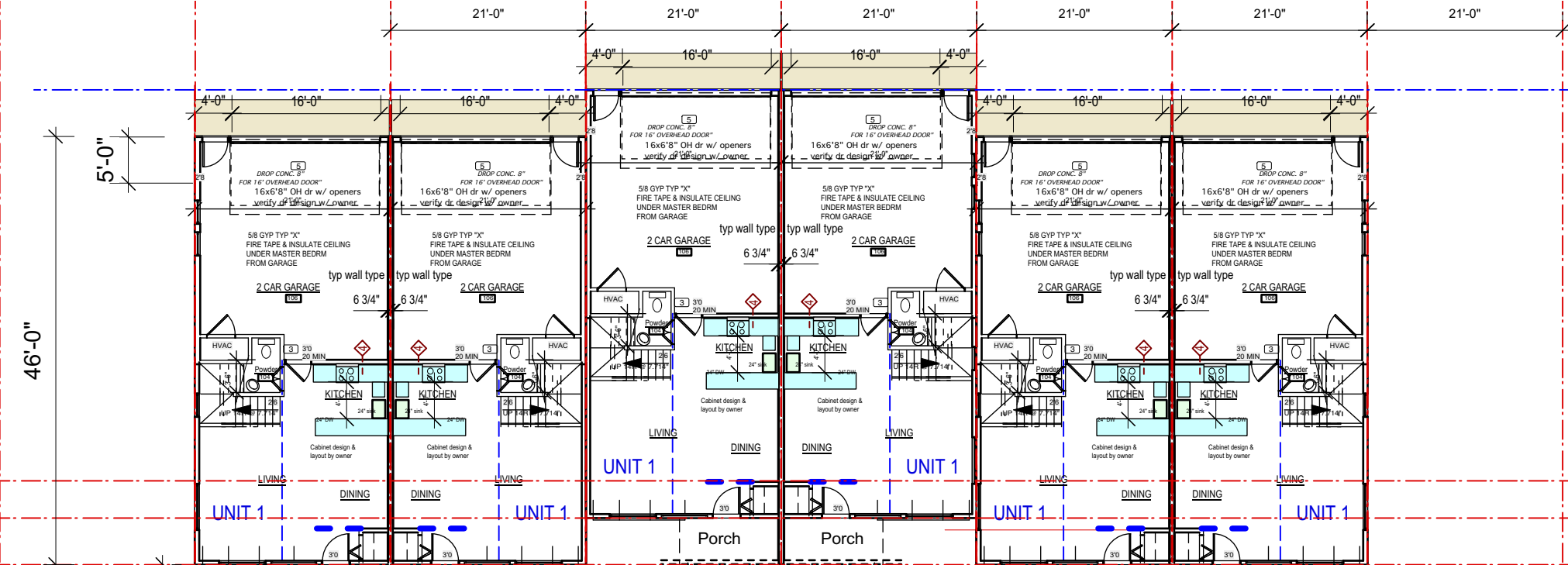
ARCHITECTURE
LLC SIEGER
 ARCHITECTURE
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101
 siegerarchitects@sbcglobal.net

project
LINDSAY -8 UNIT
 Sauk City, WI
 owner
PLAN RIGHT CONSTRUCTION
 SUN PRAIRIE, WI

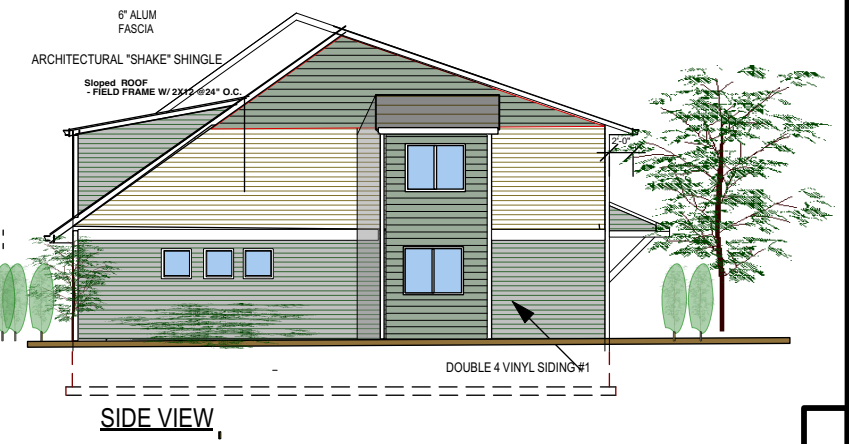
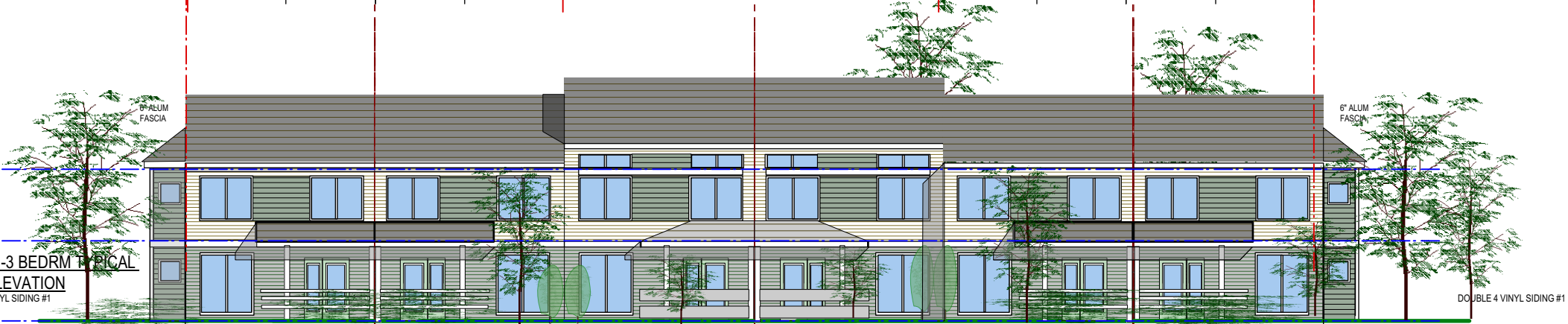
C2
 1.12.21

MAIN FLOOR

1/16"=1'0"



C-1 - Bldg -3 BEDRM TYPICAL FRONT ELEVATION
DOUBLE 4 VINYL SIDING #1

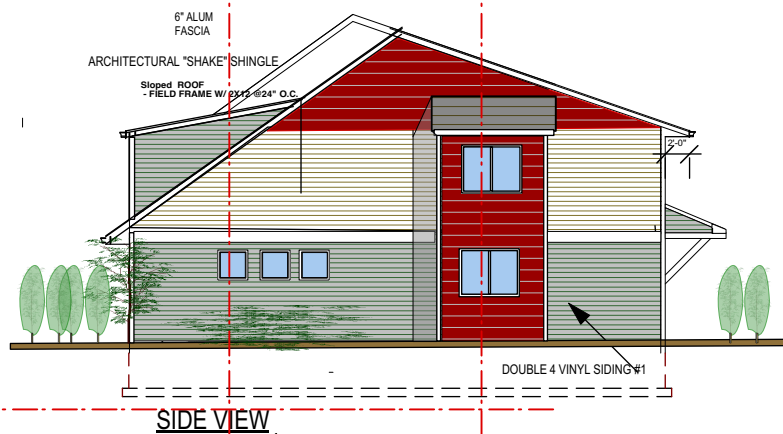
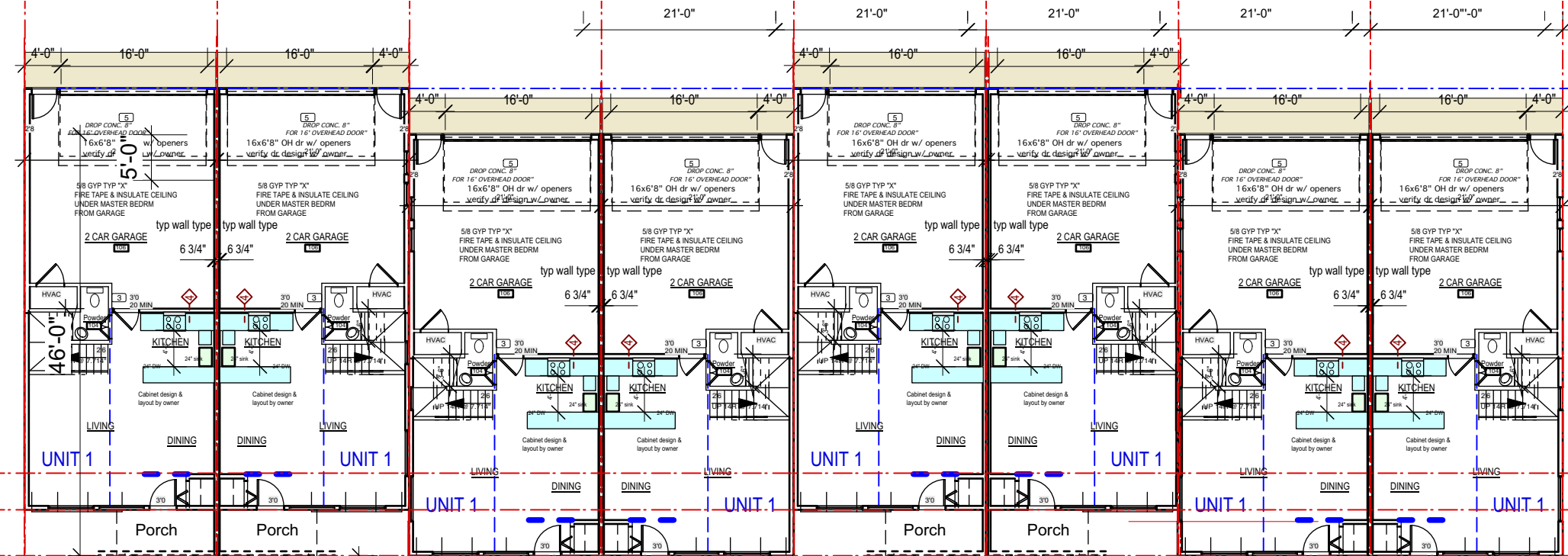


C2

ARCHITECTURE
LLC SIEGER
 ARCHITECTURAL
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101
 siegerarchitects@sbcglobal.net

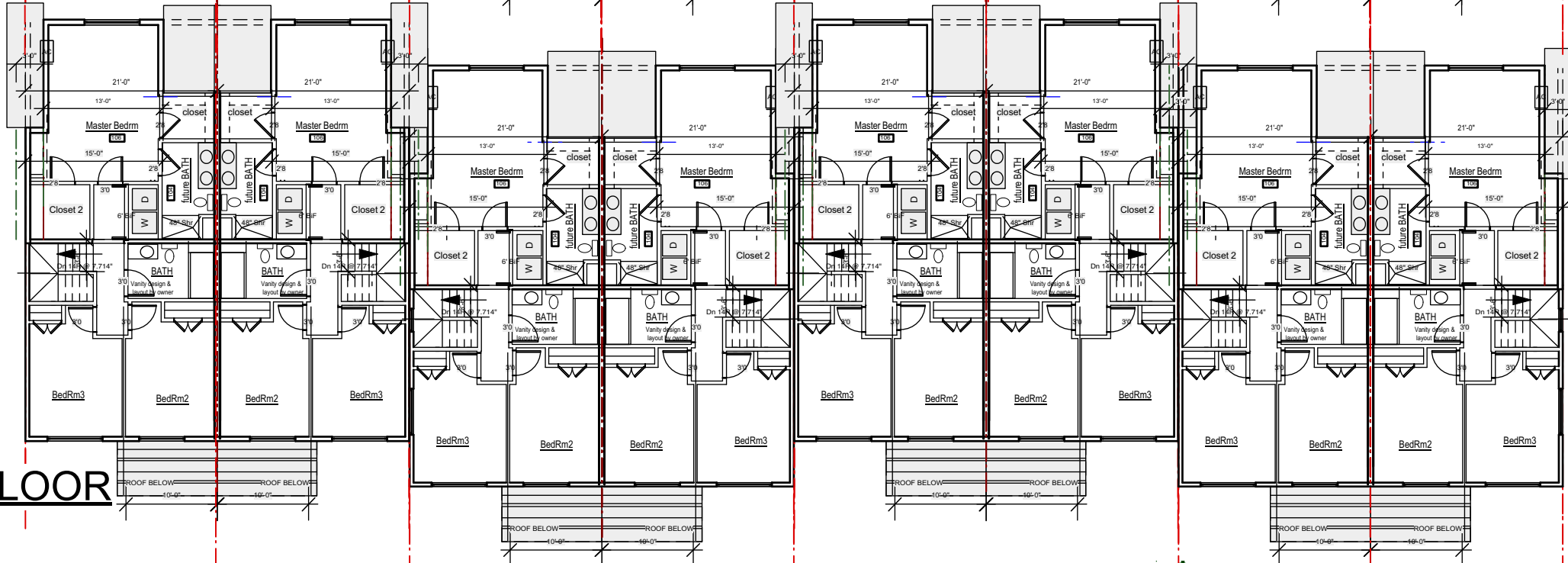
project
LINDSAY -8 UNIT
 Sauk City, WI
 owner
PLAN RIGHT CONSTRUCTION
 SUN PRAIRIE, WI

C2
 1.12.21



MAIN FLOOR

1/16"=1'0"



UPPER FLOOR

1/16"=1'0"

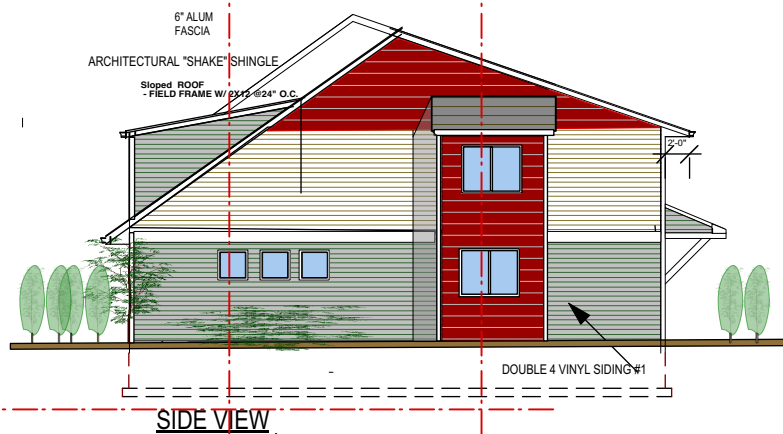
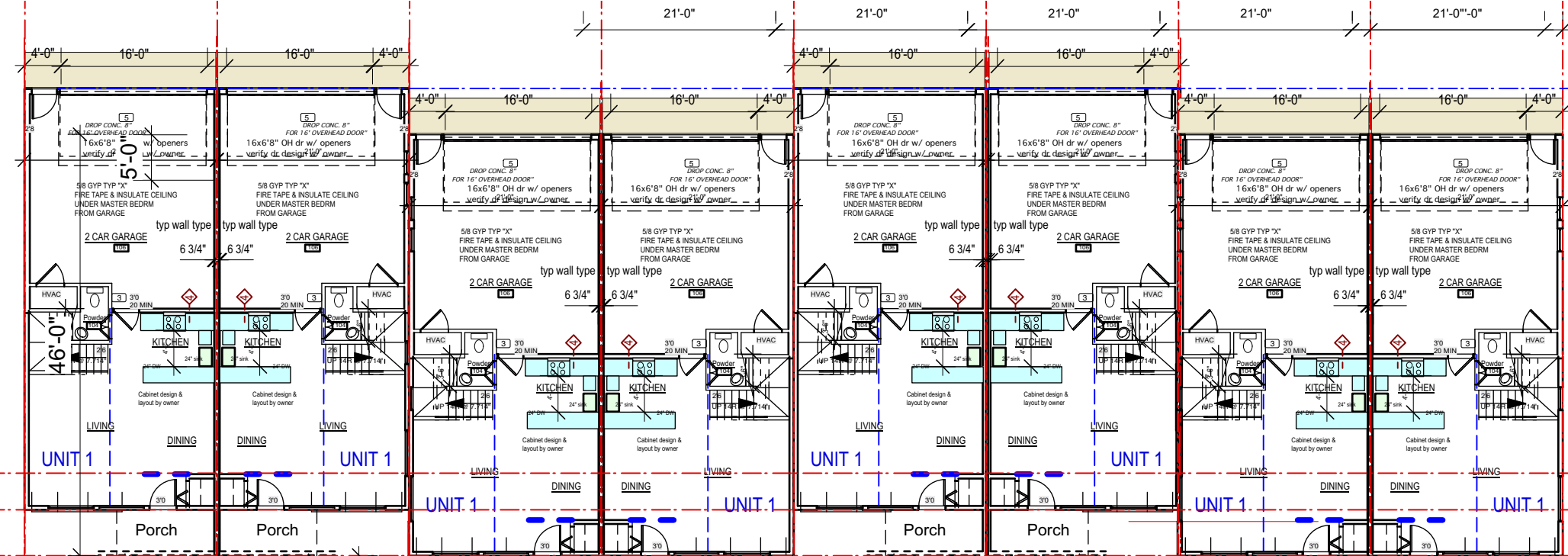
C-3 - Bldg -3 BEDRM TYPICAL FRONT ELEVATION



C3

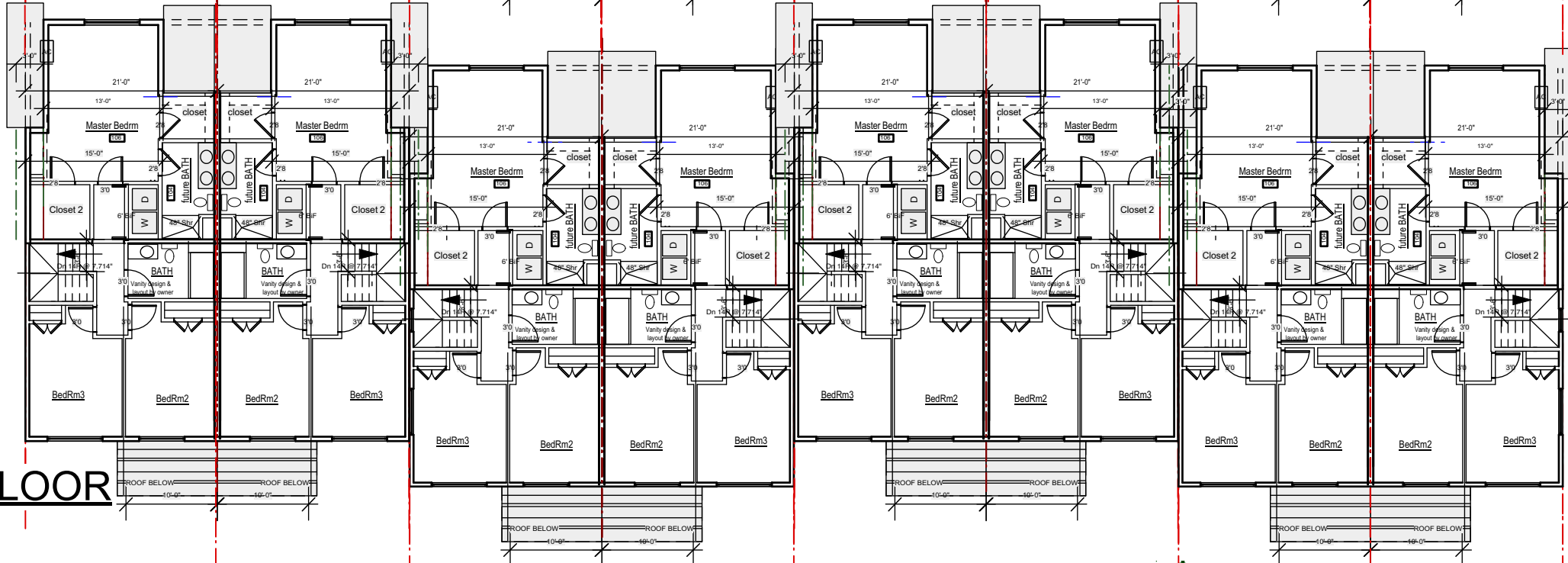
8 unit Building
Color Group #3

ARCHITECTURE
LLC SIEGER
 ARCHITECTURE
 PROJECT: JANNAH VILLAGE - TOWNHOME
 OWNER: LINDSAY HAGENS
 73 WHITE OAKS LN Madison, WI 53711
 Phone: 608.347.7332
 siegerarchitects@sbcglobal.net
C3
 8.17.21



MAIN FLOOR

1/16"=1'0"



UPPER FLOOR

1/16"=1'0"

C-3 - Bldg -3 BEDRM TYPICAL FRONT ELEVATION

DOUBLE 4 VINYL SIDING #1




C3

8 unit Building
Color Group #3

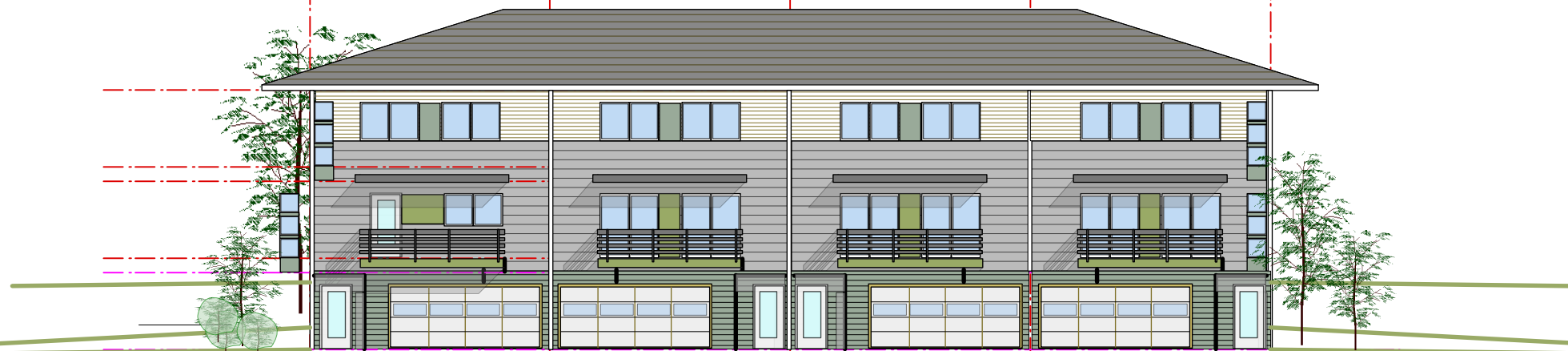
ARCHITECTURE
LLC SIEGER
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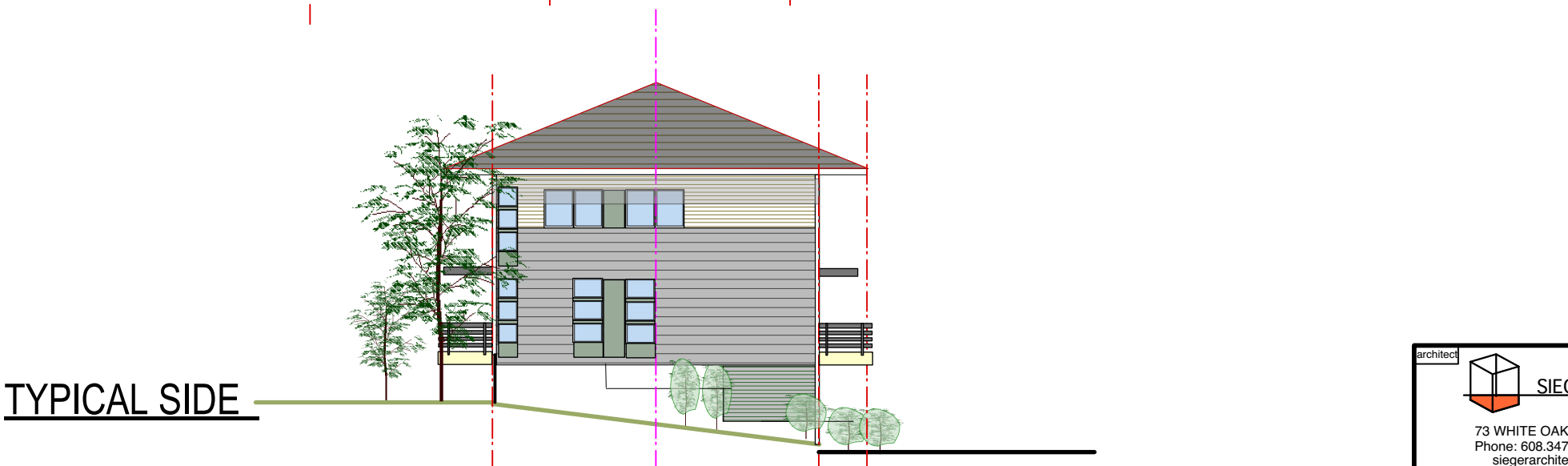
UNIT "D"

architect  SIEGER ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project JANNAH VILLAGE MADISON, WI	D1.1
	owner LINDSAY HAGENS MADISON, WI	


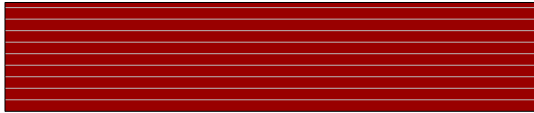
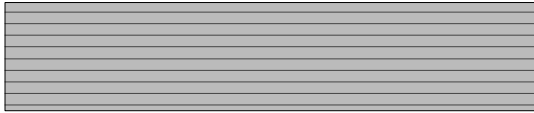

REAR ELEVATION








Garage /ENTRY FRONT ELEVATION



TYPICAL SIDE


- 1  LT GREEN - 6"
- 2  BURGUNDY - 6"
- 3  & 8"
- 4  WHITE 6"

**SMART SIDING
COLOR OPTIONS**

- 1  LT GREEN 4  WHITE
- 2  LT YELLOW 5  GRAY
- 3  BURNT ORANGE

COLOR PAINT PANEL OPTIONS

UNIT "D"

architect  SIEGER ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	4	project JANNAH VILLAGE MADISON, WI	D4 8/21
	owner LINDSAY HAGENS MADISON, WI		