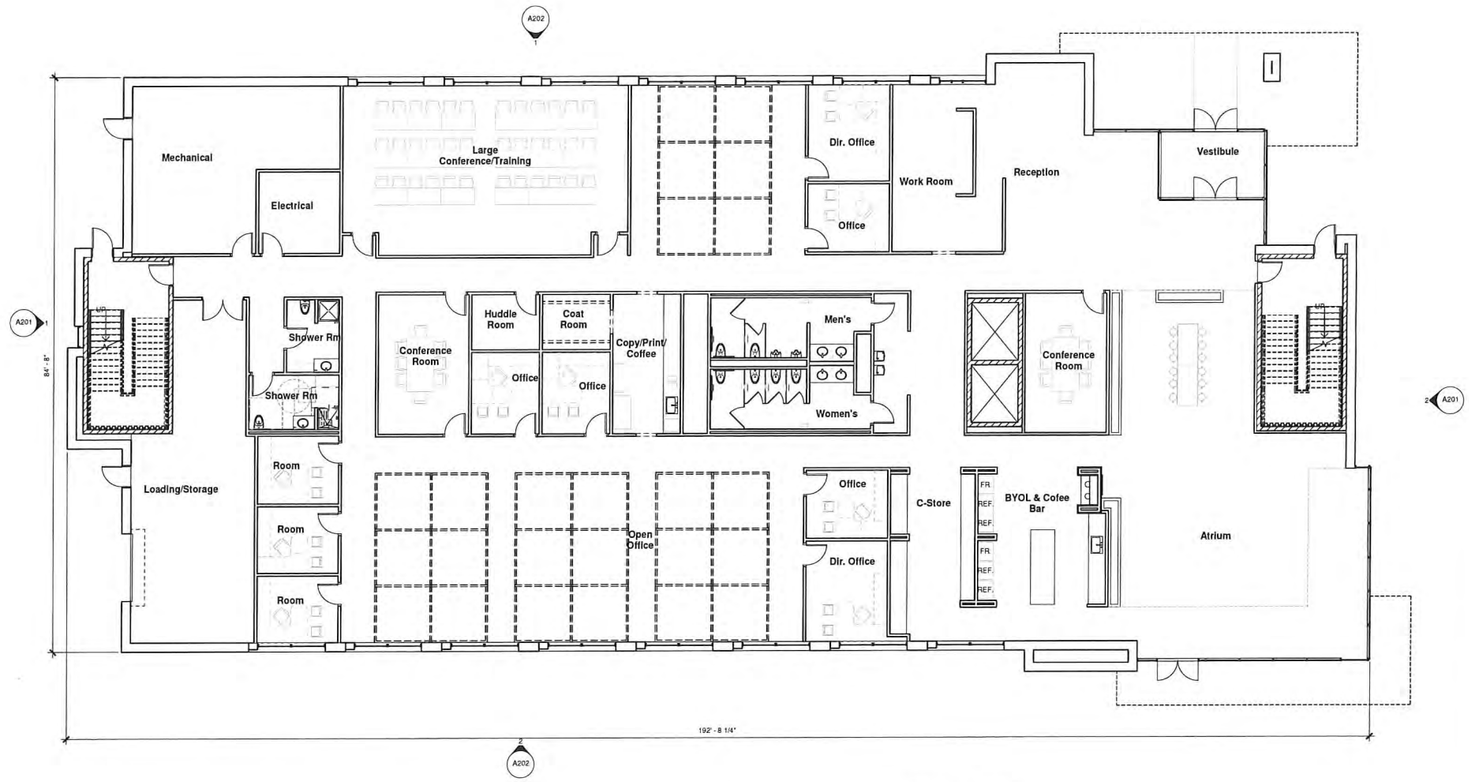

1 / A101 FIRST FLOOR PLAN
1/8" = 1'-0"

9 Offices
24 Workstations

NORTH

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,350 GSF
Second Floor	16,497 GSF
Third Floor	16,716 GSF
Fourth Floor	16,716 GSF
Fifth Floor	16,095 GSF
Total =	81,374 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building A First Floor Plan

A101

8/14/2017 4:59:48 PM

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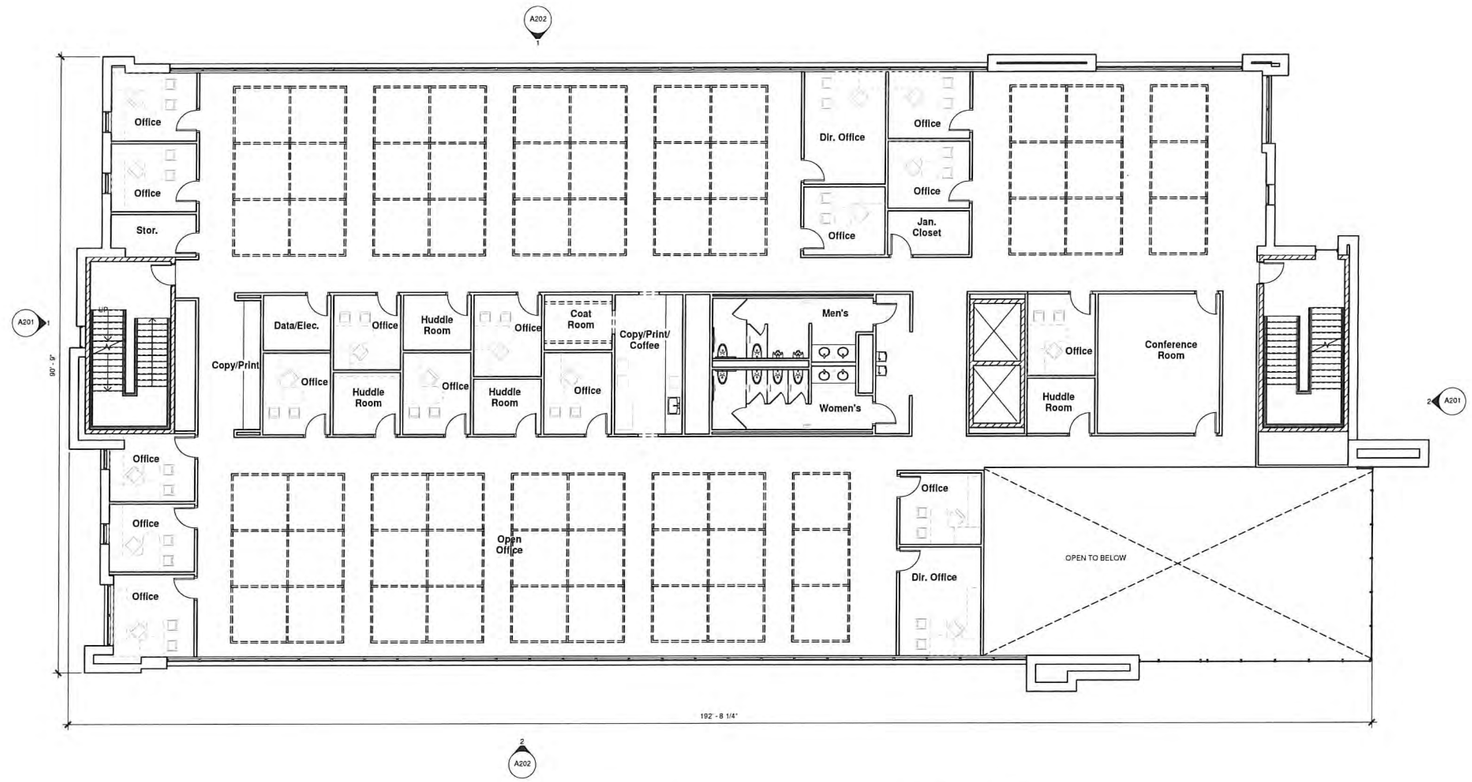

1 A102 SECOND FLOOR PLAN
1/8" = 1'-0"

17 Offices
60 Workstations

NORTH

0' 4' 8' 16'

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,350 GSF
Second Floor	16,497 GSF
Third Floor	16,716 GSF
Fourth Floor	16,716 GSF
Fifth Floor	16,095 GSF
Total =	81,374 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building A Second Floor Plan

A102

8/14/2017 4:59:50 PM

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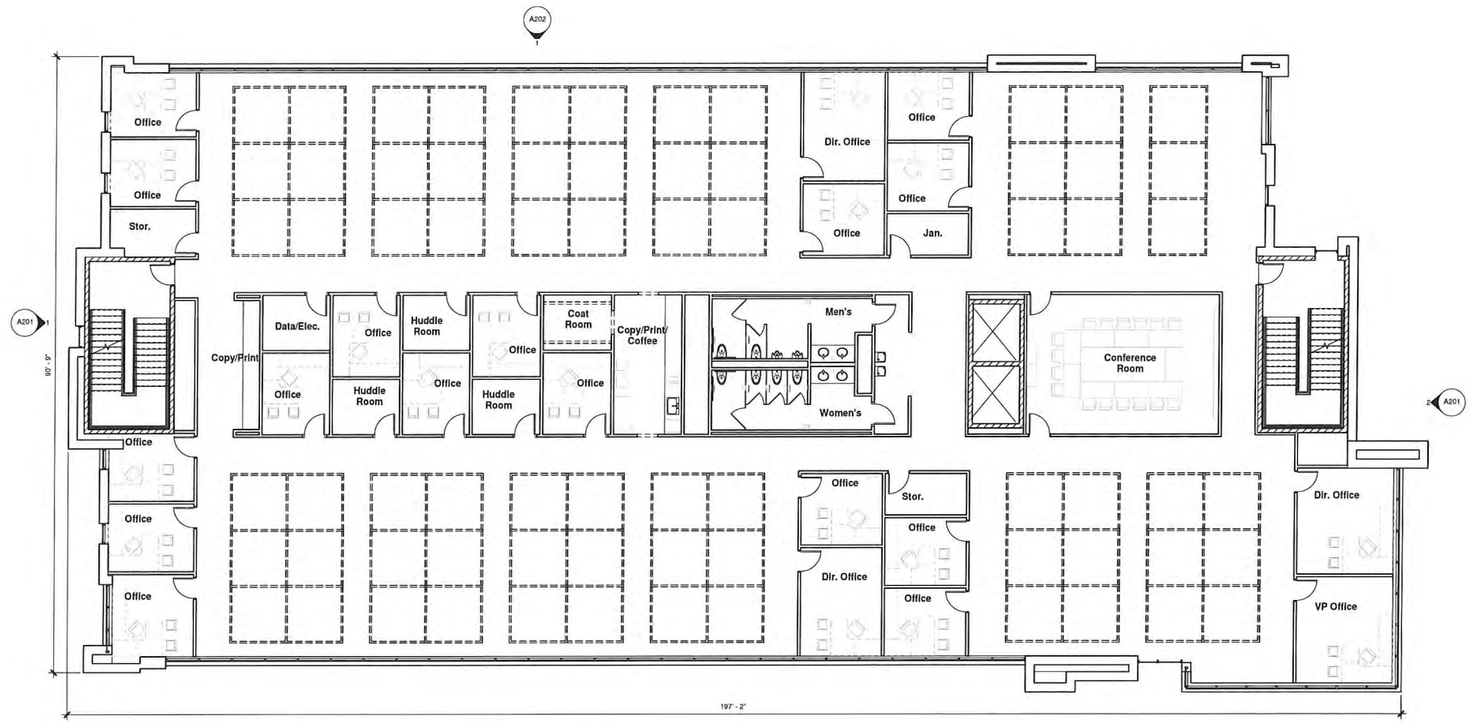

1 A103 THIRD FLOOR PLAN
1/8" = 1'-0"

20 Offices
69 Workstations

0' 4' 8' 16'

NORTH

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,350 GSF
Second Floor	16,497 GSF
Third Floor	16,716 GSF
Fourth Floor	16,716 GSF
Fifth Floor	16,095 GSF
Total =	81,374 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
6/16/2017	Madison Land Use Application	

Building A Third Floor Plan

A103

8/14/2017 4:59:51 PM

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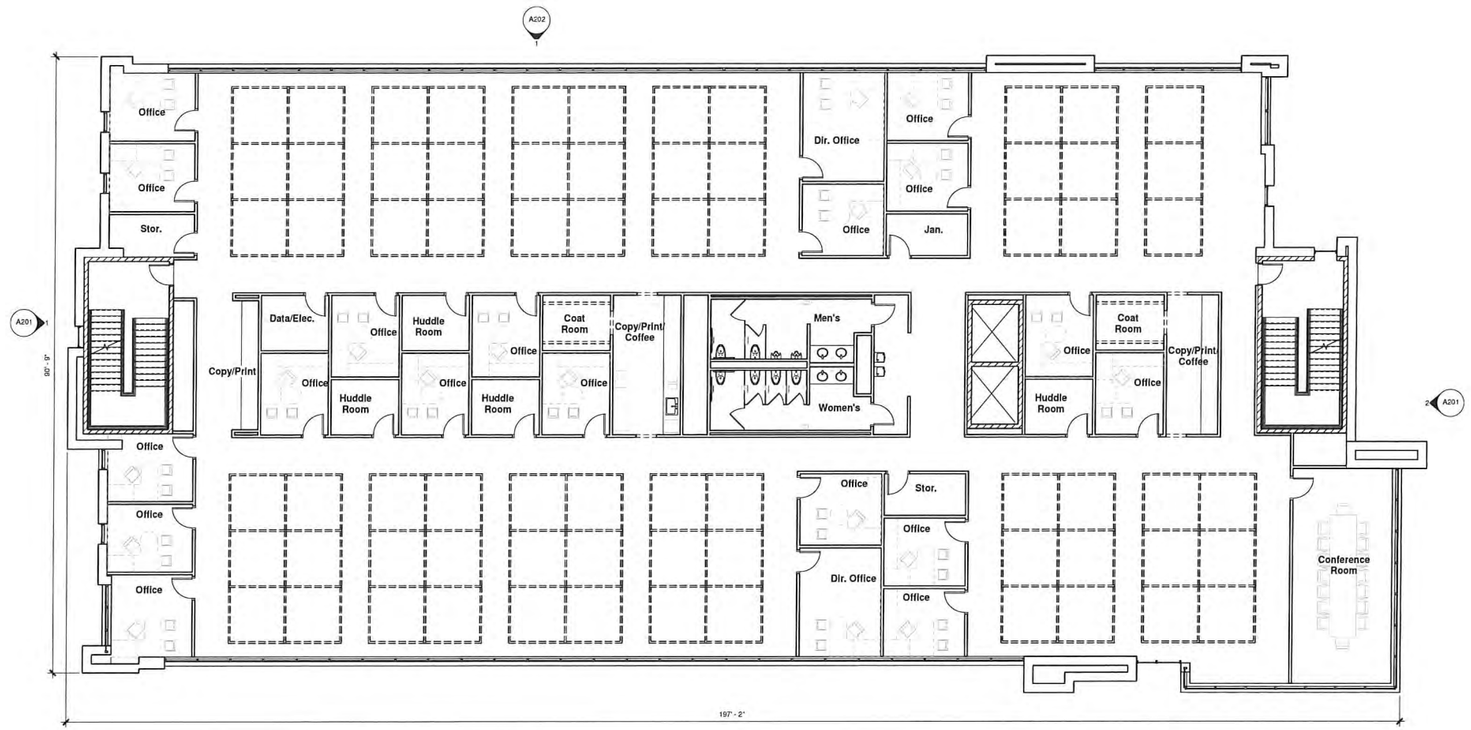

1 A104 FOURTH FLOOR PLAN
1/8" = 1'-0"

20 Offices
69 Workstations

0' 4' 8' 16'

NORTH

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,350 GSF
Second Floor	16,497 GSF
Third Floor	16,716 GSF
Fourth Floor	16,716 GSF
Fifth Floor	16,095 GSF
Total =	81,374 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building A Fourth Floor Plan

A104

8/14/2017 5:22:49 PM

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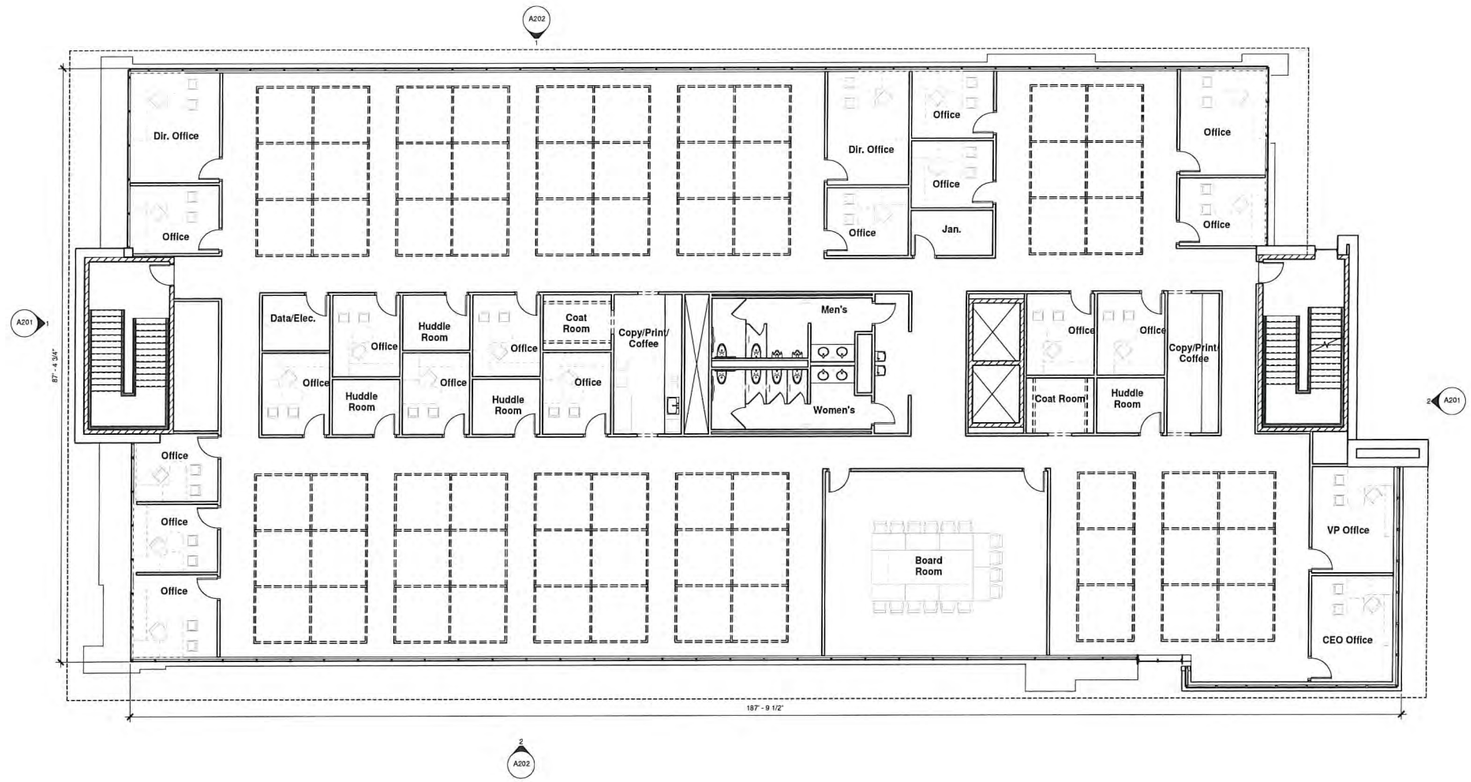

1 A105 FIFTH FLOOR PLAN
1/8" = 1'-0"

20 Offices
63 Workstations

0' 4' 8' 16'

NORTH

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,350 GSF
Second Floor	16,497 GSF
Third Floor	16,716 GSF
Fourth Floor	16,716 GSF
Fifth Floor	16,095 GSF
Total =	81,374 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building A Fifth Floor Plan

A105

8/14/2017 5:11:51 PM

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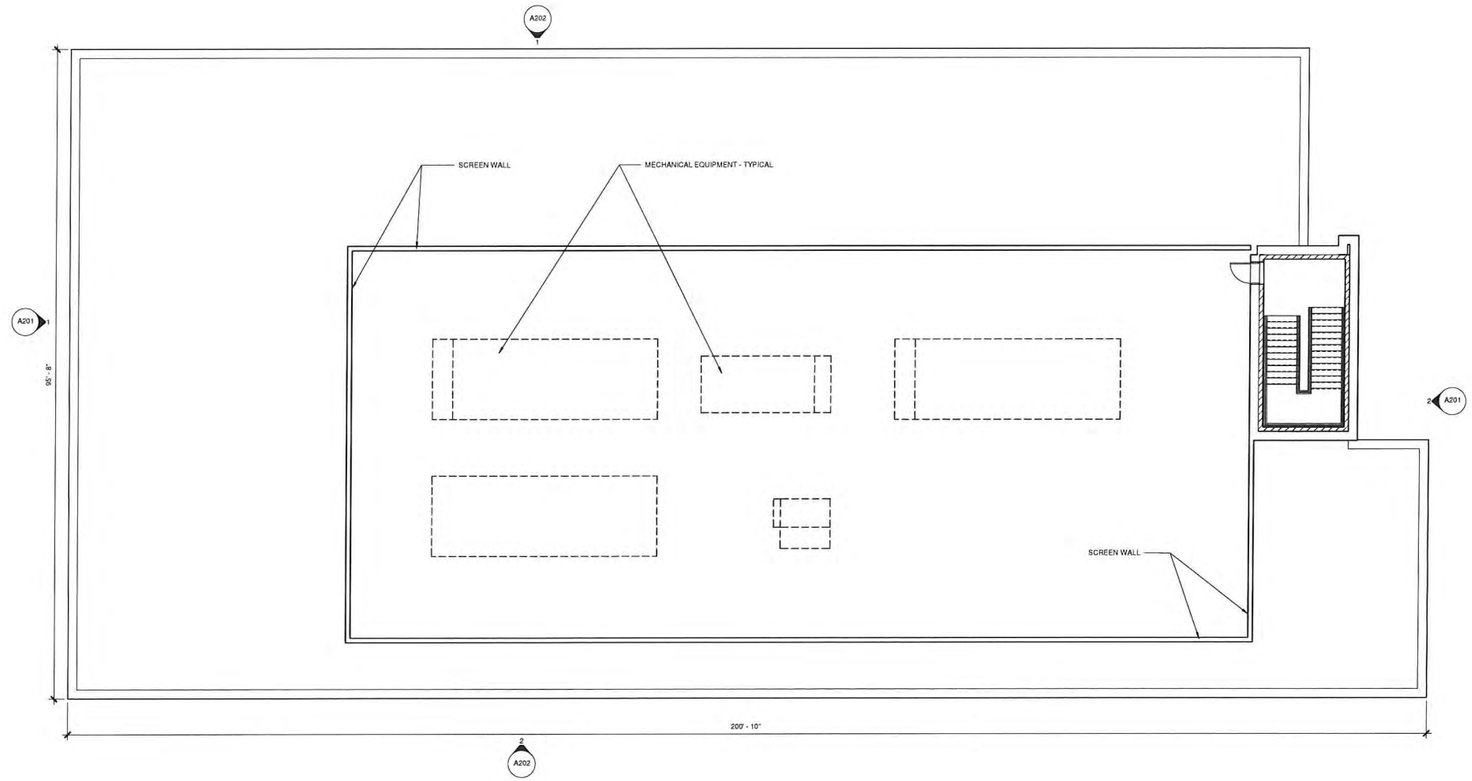
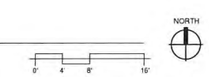


1 A106 ROOF PLAN
1/8" = 1'-0"



Potter Lawson
Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building A Roof Plan

A106

8/14/2017 5:05:28 PM

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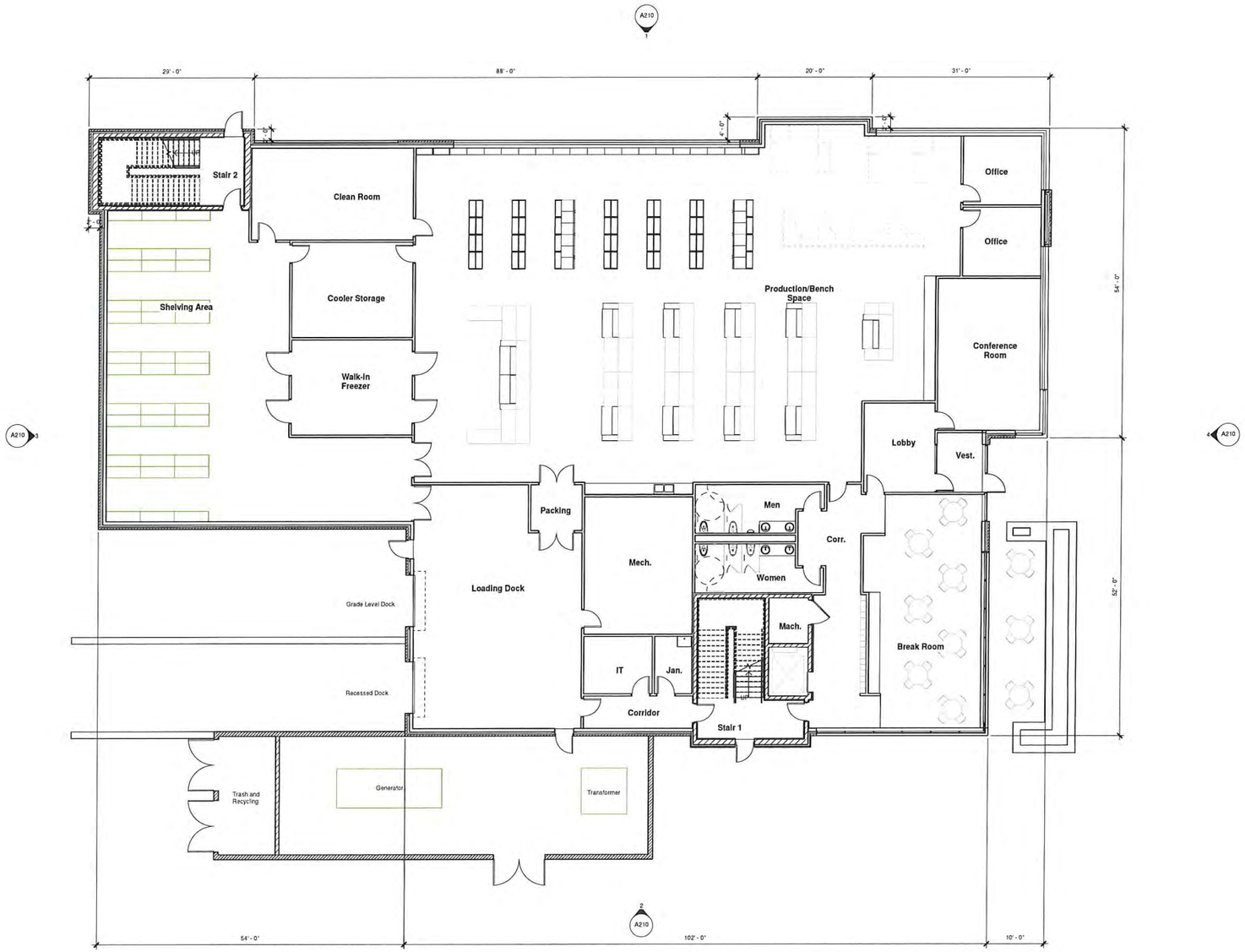

1 A110 FIRST FLOOR PLAN
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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8/9/2017 11:04:15 AM

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,050 GSF
Second Floor	15,050 GSF
Total =	30,100 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

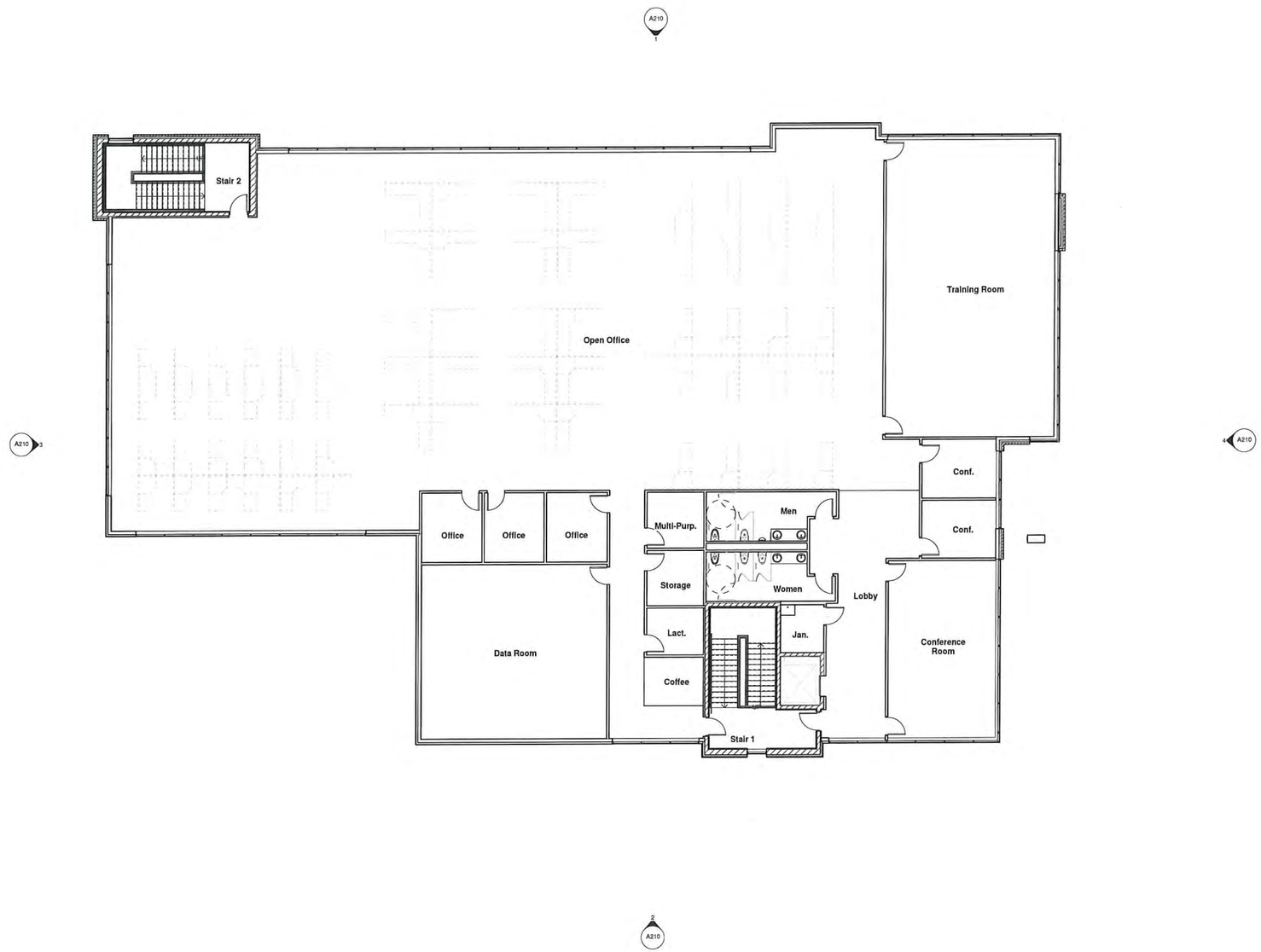
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madisons Land Use Application	

Building B First Floor Plan

A110



1 A111 SECOND FLOOR PLAN
1/8" = 1'-0"

0' 4' 8' 16'

NORTH

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8/9/2017 11:05:32 AM

Potter Lawson
Success by Design

Notes:

Building Areas:

First Floor	15,050 GSF
Second Floor	15,050 GSF
Total =	30,100 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

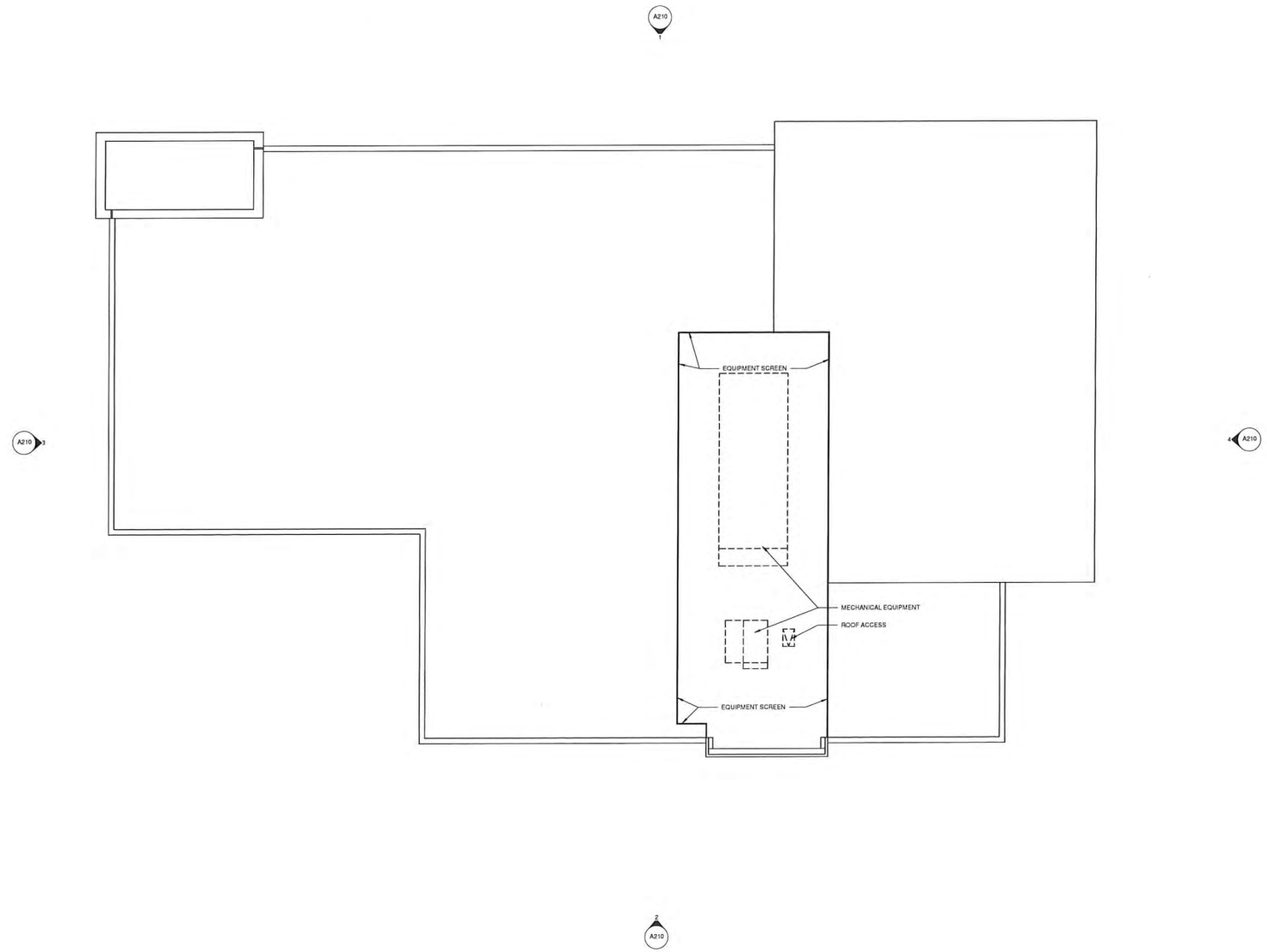
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building B Second Floor Plan

A111



1 / A112 ROOF PLAN
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

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8/9/2017 11:05:48 AM

Potter Lawson
Success by **Design**

Notes:

Building Areas:

First Floor	15,050 GSF
Second Floor	15,050 GSF
Total =	30,100 GSF

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

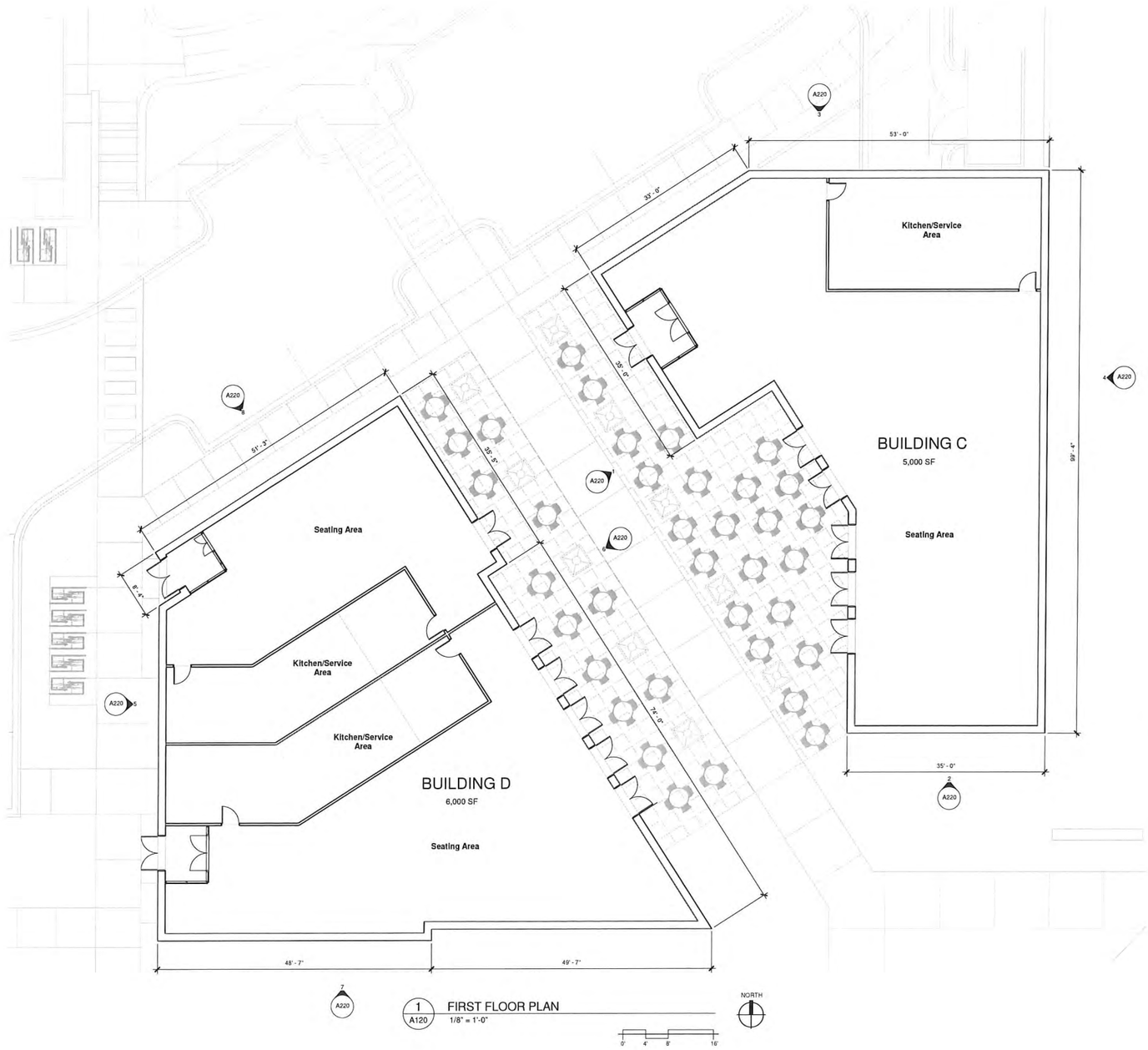
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building B Roof Plan

A112



1 A120 FIRST FLOOR PLAN
1/8" = 1'-0"

Potter Lawson
Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building C & D
First Floor Plan

A120

8/16/2017 8:09:44 AM

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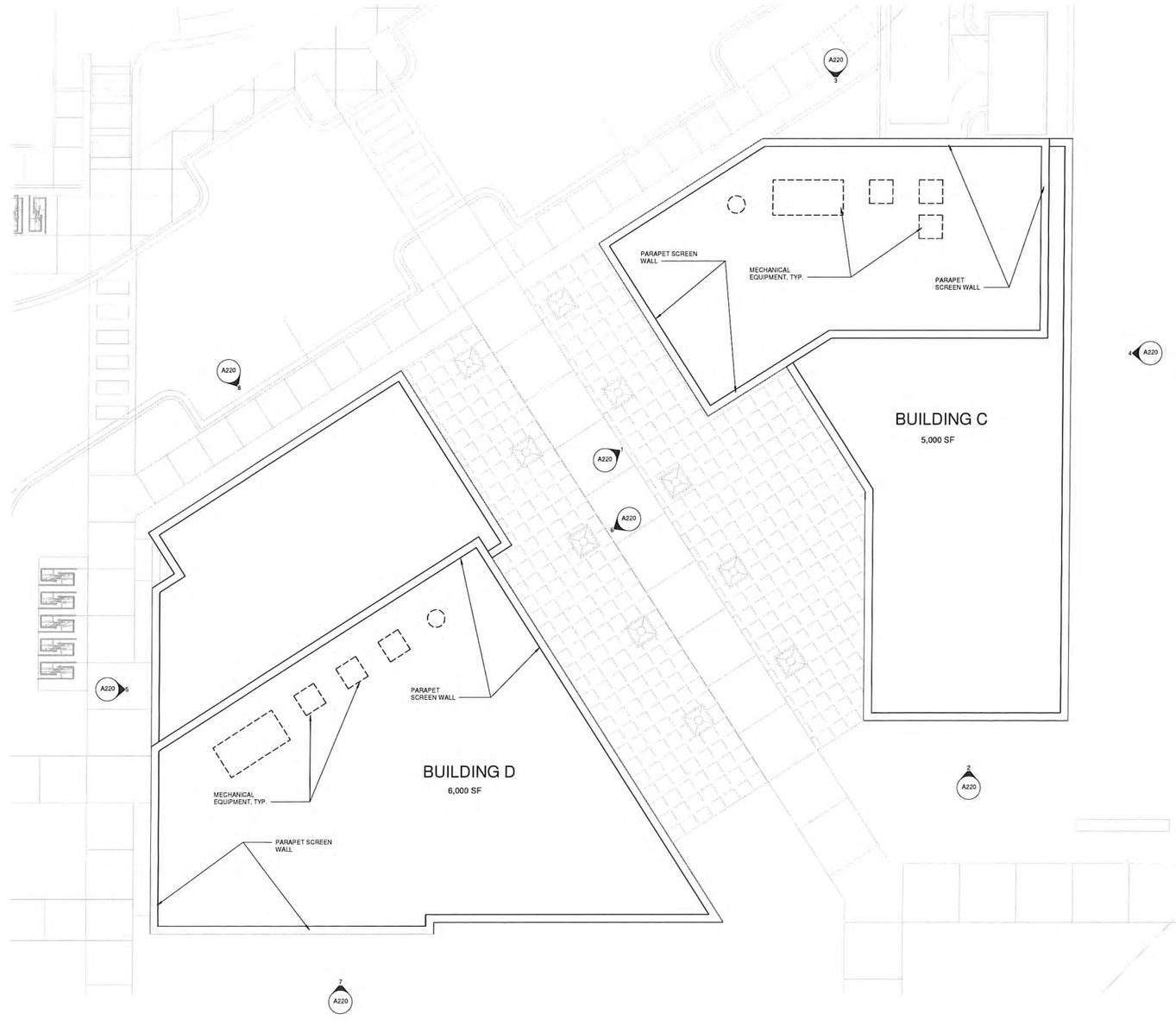

1 A121 BUILDING C & D ROOF PLAN
1/8" = 1'-0"

NORTH

0' 4' 8' 16'

Potter Lawson
Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building C & D Roof Plan

A121

8/16/2017 8:09:44 AM

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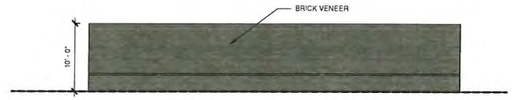
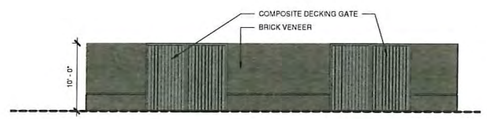
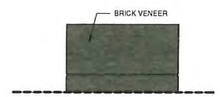


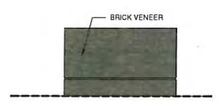
3 A201 Dumpster and Generator Enclosure West Elevation
1/8" = 1'-0"



4 A201 Dumpster and Generator Enclosure East Elevation
1/8" = 1'-0"

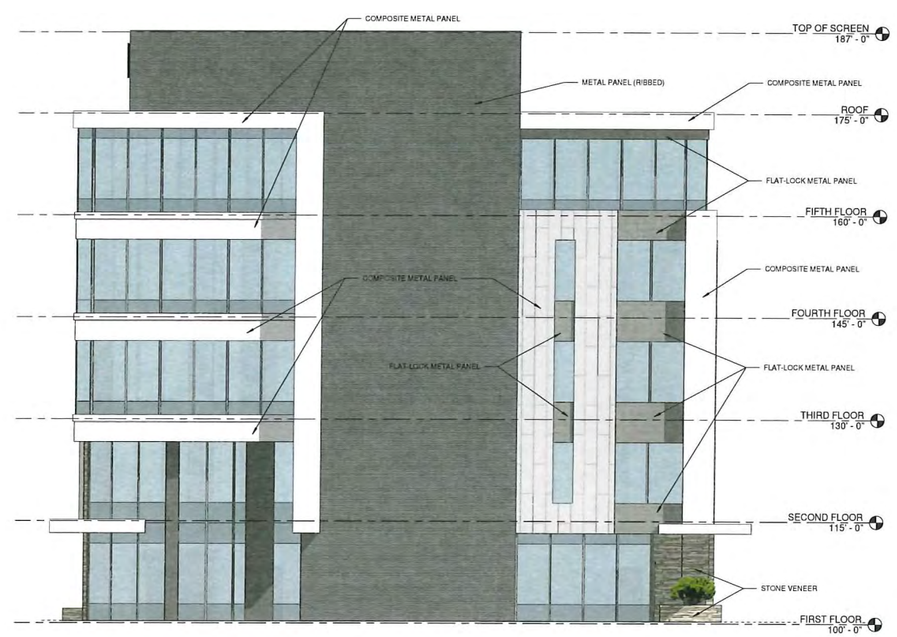


5 A201 Dumpster and Generator Enclosure North Elevation
1/8" = 1'-0"



6 A201 Dumpster and Generator Enclosure South Elevation
1/8" = 1'-0"

1 A201 West Elevation
1/8" = 1'-0"



2 A201 East Elevation
1/8" = 1'-0"

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Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

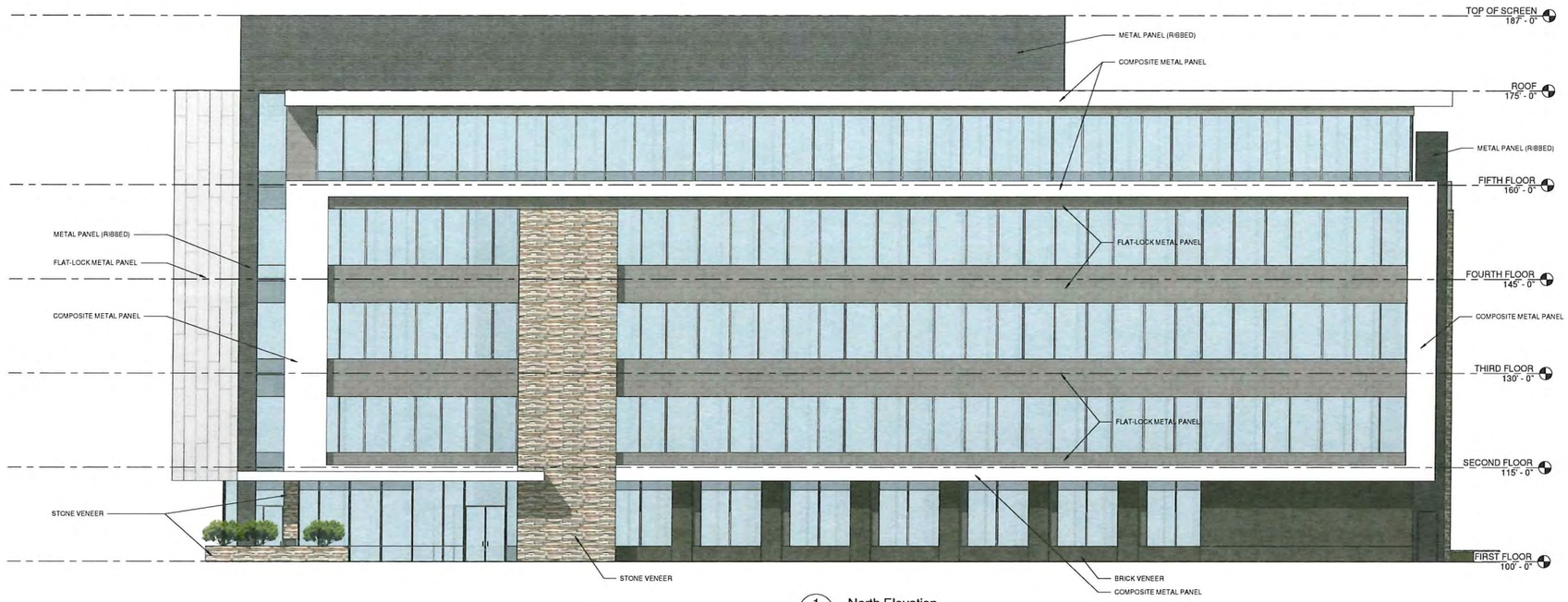
2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

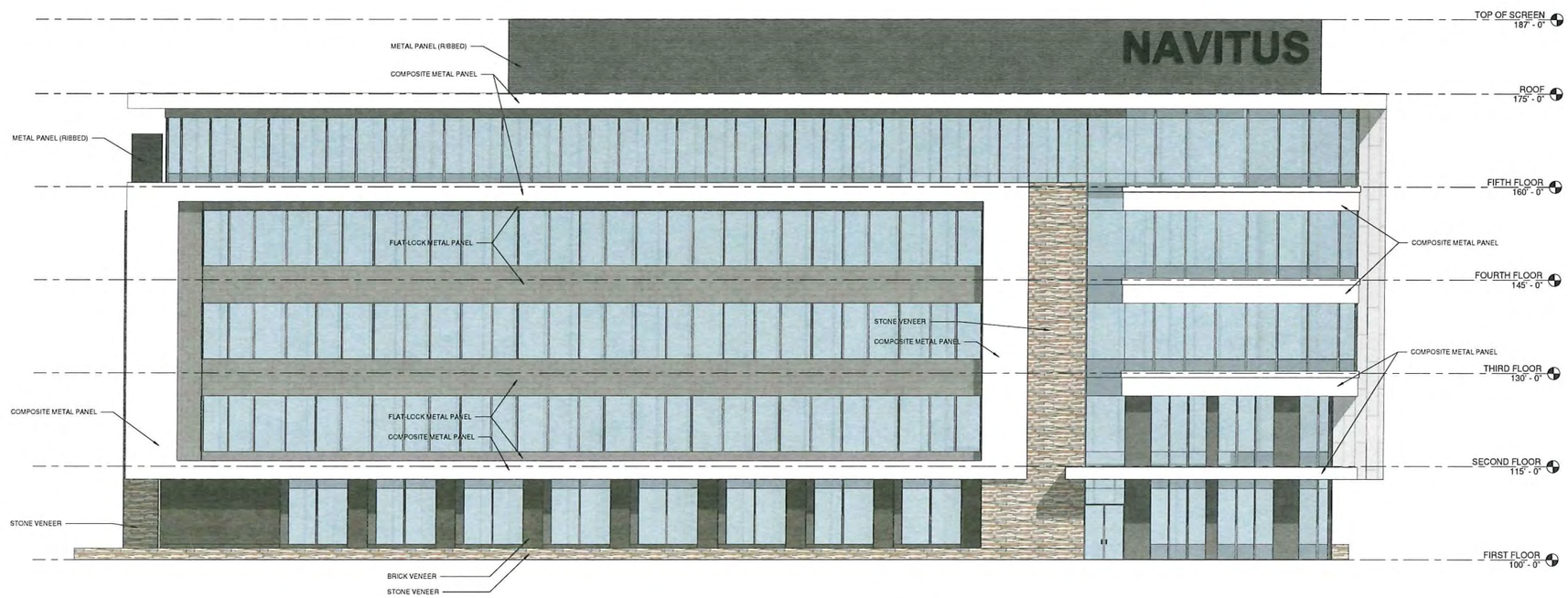
Building A Elevations

A201

8/14/2017 4:18:17 PM



1 / A202 North Elevation
1/8" = 1'-0"



2 / A202 South Elevation
1/8" = 1'-0"

Potter Lawson
Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building A Elevations

A202

8/14/2017 4:18:19 PM

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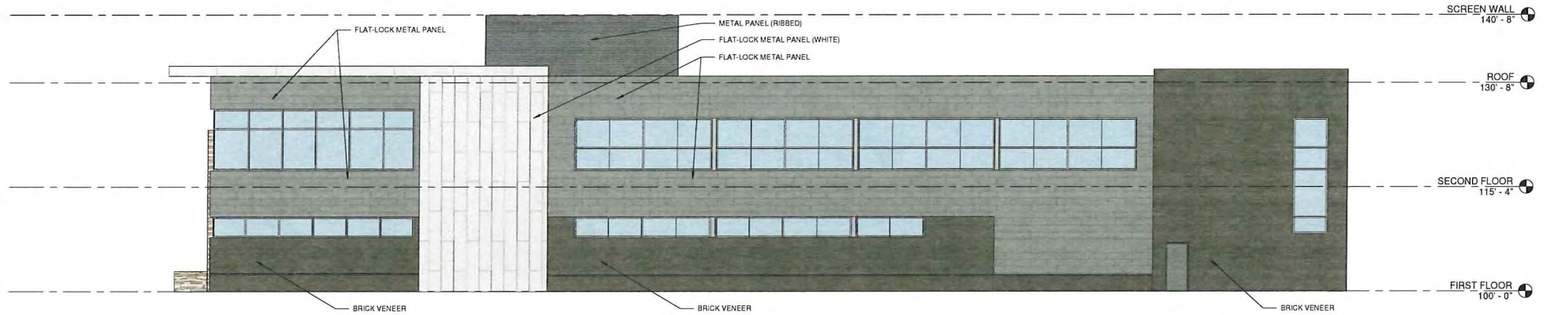
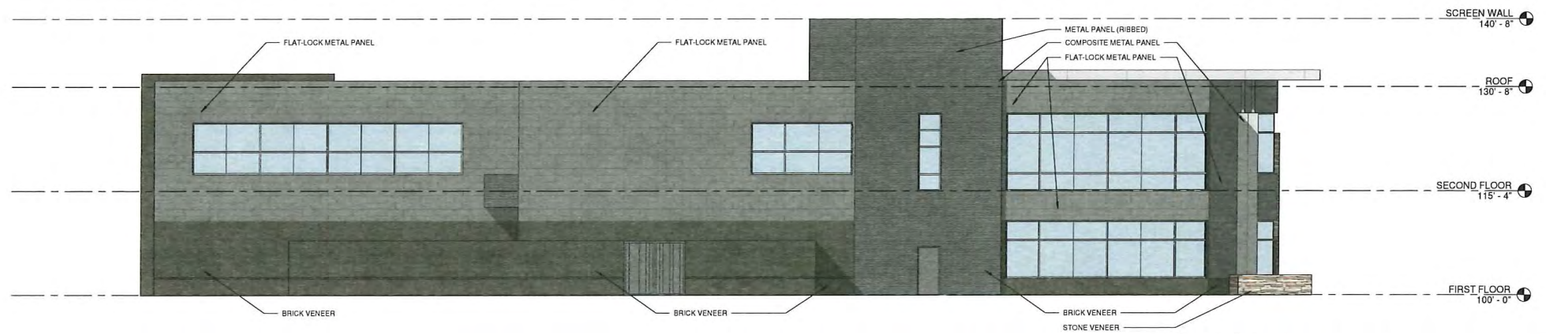
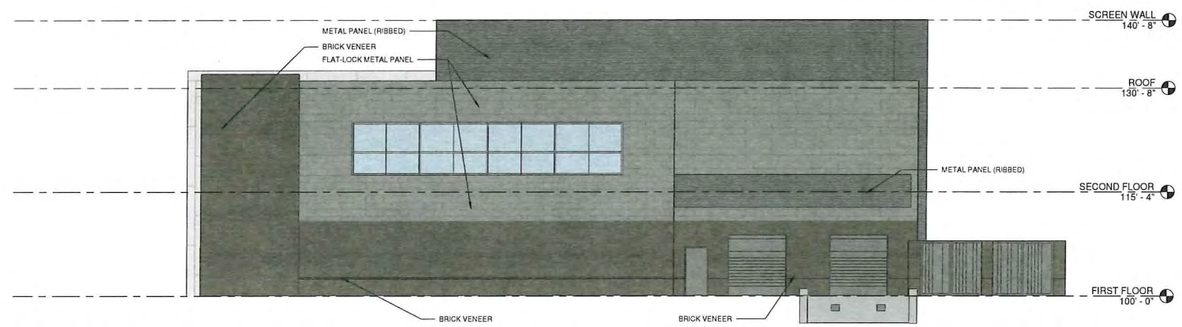


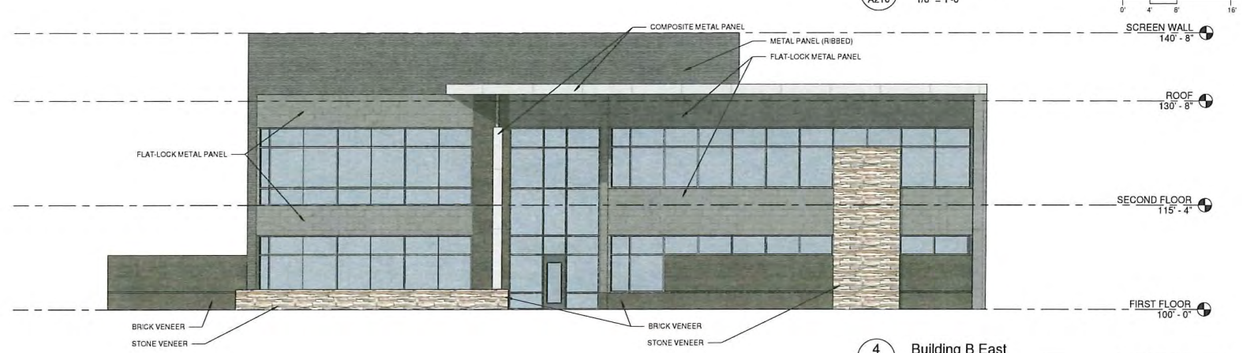
1 A210 Building B North
1/8" = 1'-0"



2 A210 Building B South
1/8" = 1'-0"



3 A210 Building B West
1/8" = 1'-0"



4 A210 Building B East
1/8" = 1'-0"

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8/9/2017 11:09:14 AM

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Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

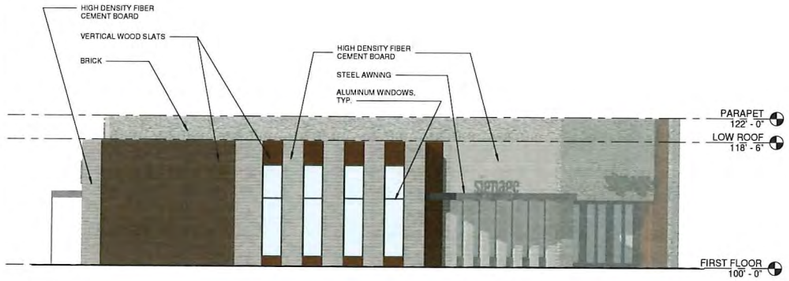
302 S. Gammon Road
Madison, WI 53717

2017.15.00

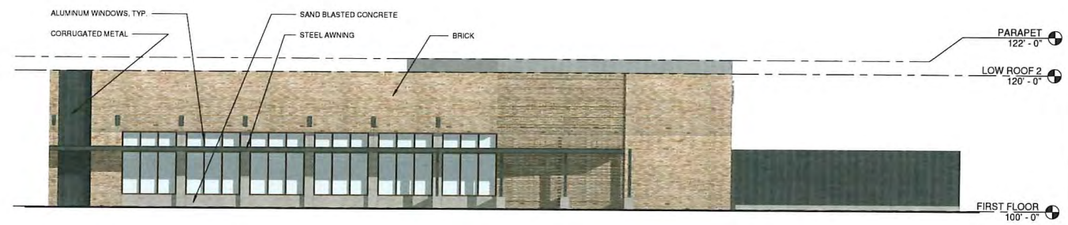
Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building B Elevations

A210

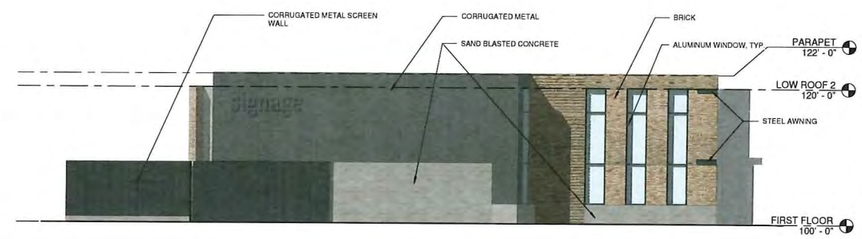


8 A220 BUILDING D - NORTH ELEVATION
1/8" = 1'-0"



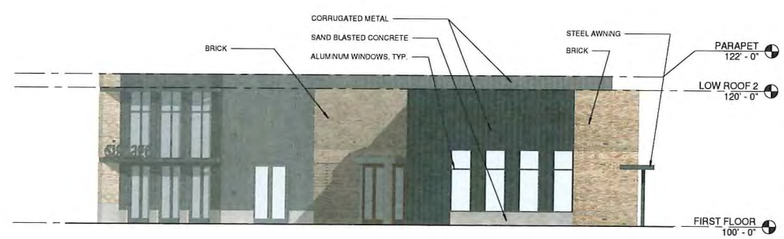
4 A220 BUILDING C - EAST ELEVATION
1/8" = 1'-0"

7 A220 BUILDING D - SOUTH ELEVATION
1/8" = 1'-0"

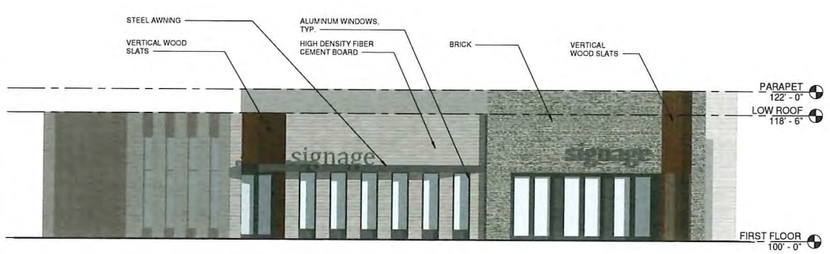


3 A220 BUILDING C - NORTH ELEVATION
1/8" = 1'-0"

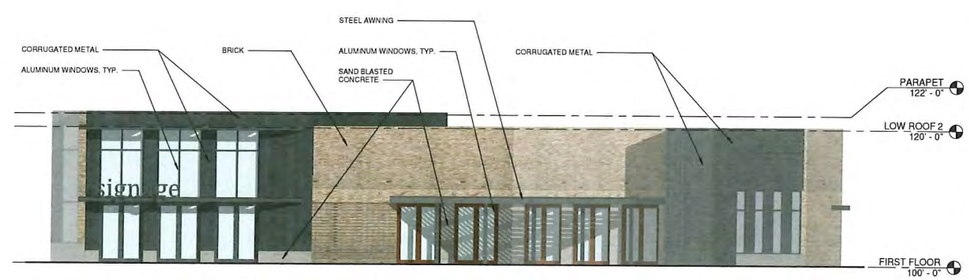
6 A220 BUILDING D - EAST ELEVATION
1/8" = 1'-0"



2 A220 BUILDING C - SOUTH ELEVATION
1/8" = 1'-0"



5 A220 BUILDING D - WEST ELEVATION
1/8" = 1'-0"



1 A220 BUILDING C - WEST ELEVATION
1/8" = 1'-0"

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8/16/2017 7:31:35 AM

Potter Lawson
Success by Design

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

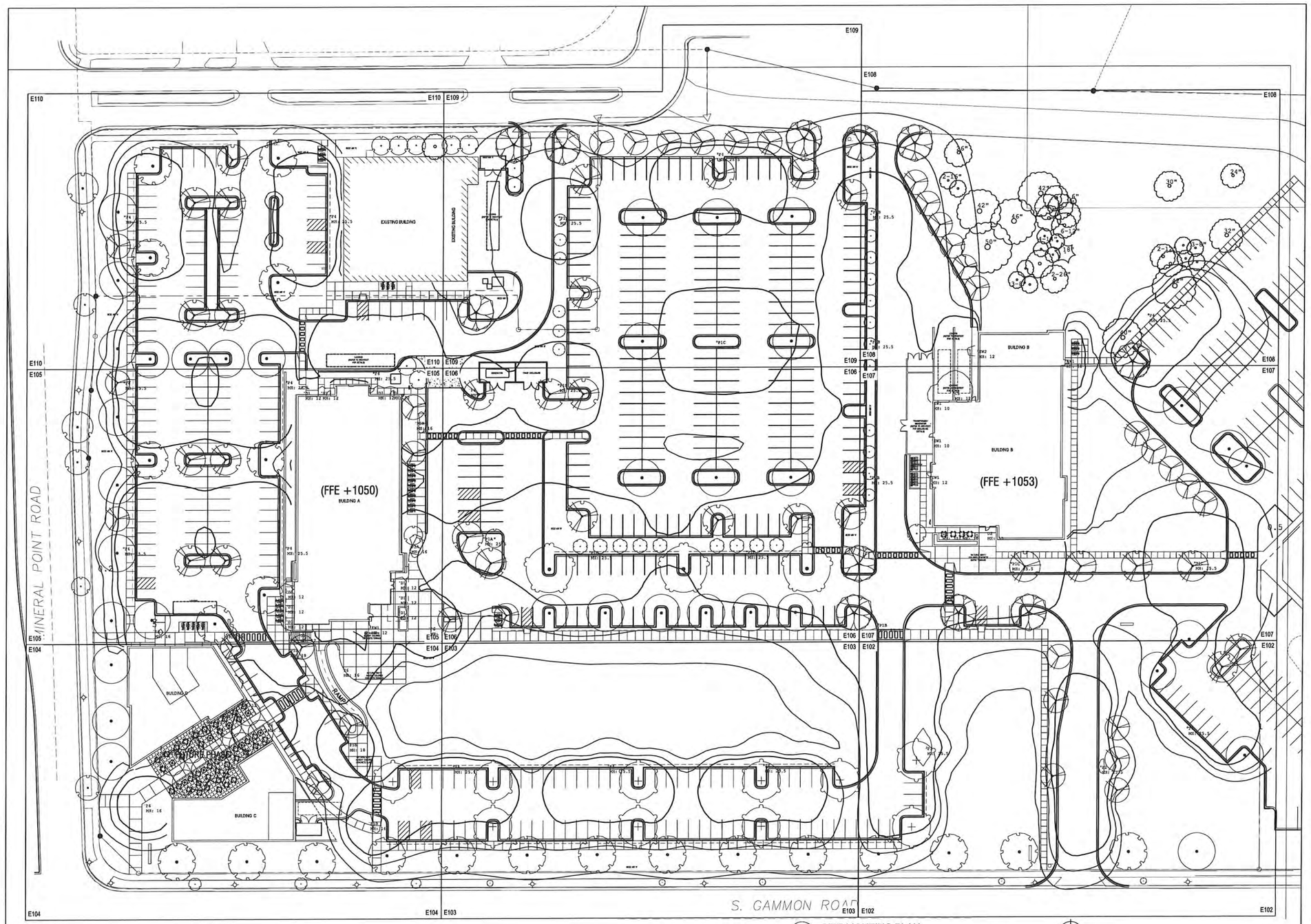
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Building C & D Elevations

A220



1 E101 SITE LIGHTING PLAN

1" = 30'-0"

0' 15' 30' 60'

N

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07 B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD 07 A	6687	0.900	142.1
	96	S	LSLB06S39C12	S TIVOLI LSLB06S39C12	33	0.900	0.51

South Parking

Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive

Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking

Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking

Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive

Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	3.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

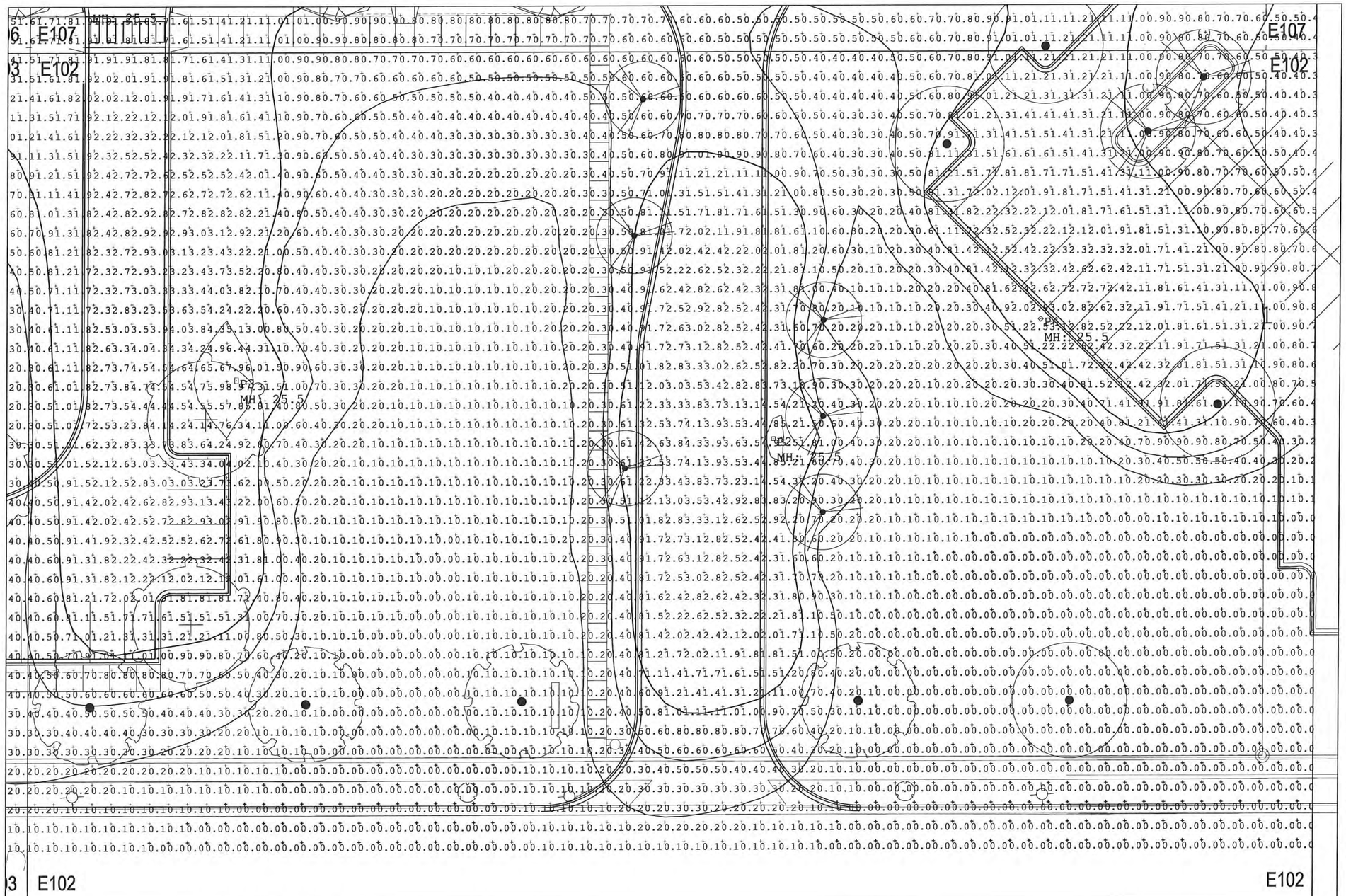
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
08/16/2017	Madison Land Use Application	

Site Lighting Plan

E101



1 SITE LIGHTING ENLARGEMENT

E102 1" = 10'-0"

0' 5' 10' 20'

N

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07 B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD 07 A	6687	0.900	142.1
	96	S	LSLB06S39C12	S TIVOLI LSLB06S39C12	33	0.900	0.51

South Parking

Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive

Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking

Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking

Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive

Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

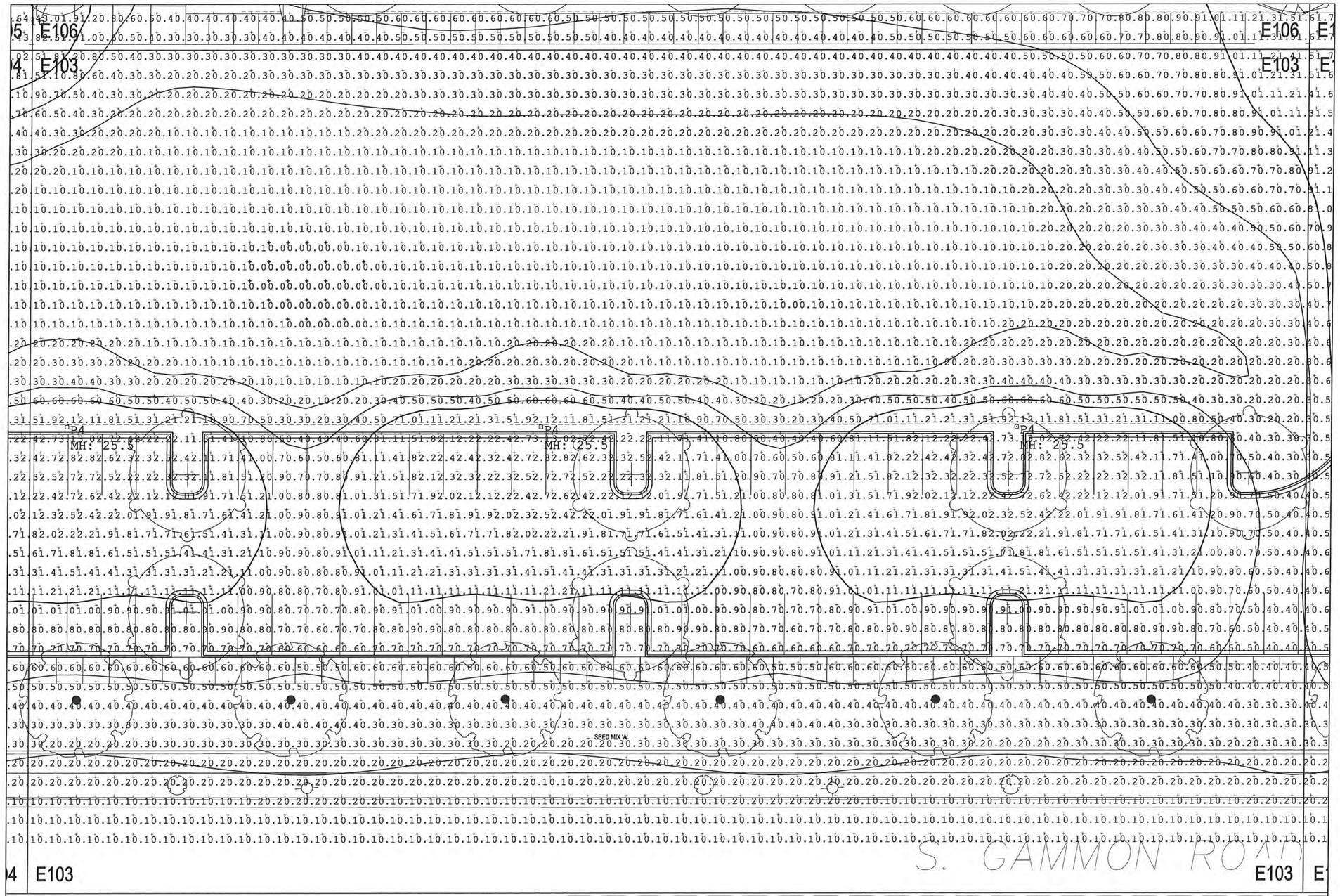
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
09/16/2017	Madison Land Use Application	

Site Lighting Enlargement

E102



1 E103 SITE LIGHTING ENLARGEMENT
1" = 10'-0"

0' 5' 10' 20'

N

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07 B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD 07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S TIVOLI LSLB06S39C12	33	0.900	0.51

South Parking

Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive

Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking

Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking

Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive

Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

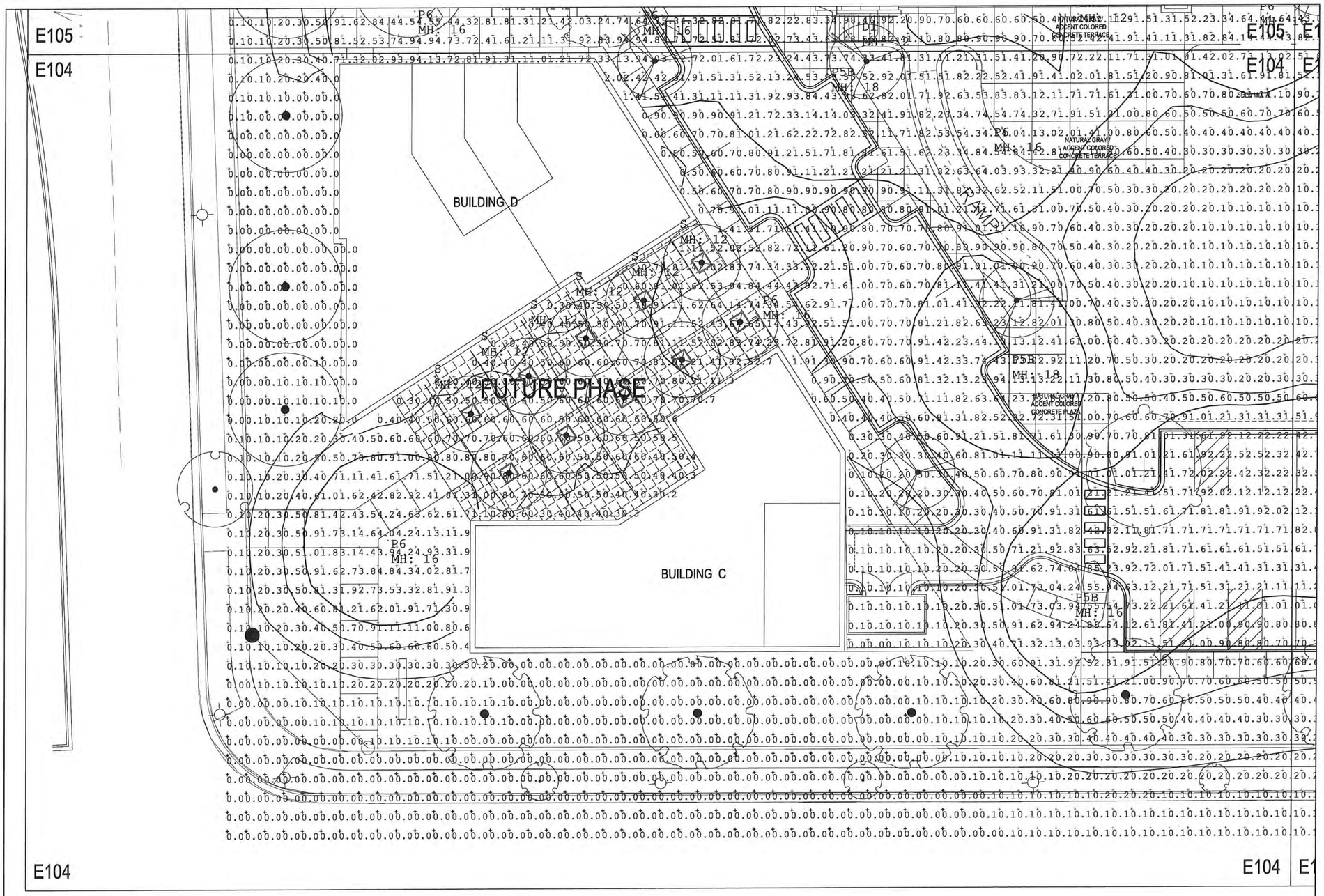
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
06/16/2017	Madison Land Use Application	

Site Lighting Enlargement

E103



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Notes:

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NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
09/18/2017	Madison Land Use Application	

1 E104 SITE LIGHTING ENLARGEMENT
1" = 10'-0"

0' 5' 10' 20'

N

South Parking	Connector Drive	East Parking	Central Parking	Gammon Road Access Drive
Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)
Average = 1.30	Average = 1.64	Average = 1.41	Average = 1.07	Average = 1.57
Maximum = 4.3	Maximum = 5.3	Maximum = 4.0	Maximum = 5.6	Maximum = 5.9
Minimum = 0.4	Minimum = 0.3	Minimum = 0.4	Minimum = 0.5	Minimum = 0.4
Avg/Min Ratio = 3.25	Avg/Min Ratio = 5.47	Avg/Min Ratio = 3.53	Avg/Min Ratio = 2.14	Avg/Min Ratio = 3.93
Max/Min Ratio = 10.75	Max/Min Ratio = 17.67	Max/Min Ratio = 10.00	Max/Min Ratio = 11.20	Max/Min Ratio = 14.75

Luminaire Schedule

Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w_S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w_S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD_07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD_07_B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD_07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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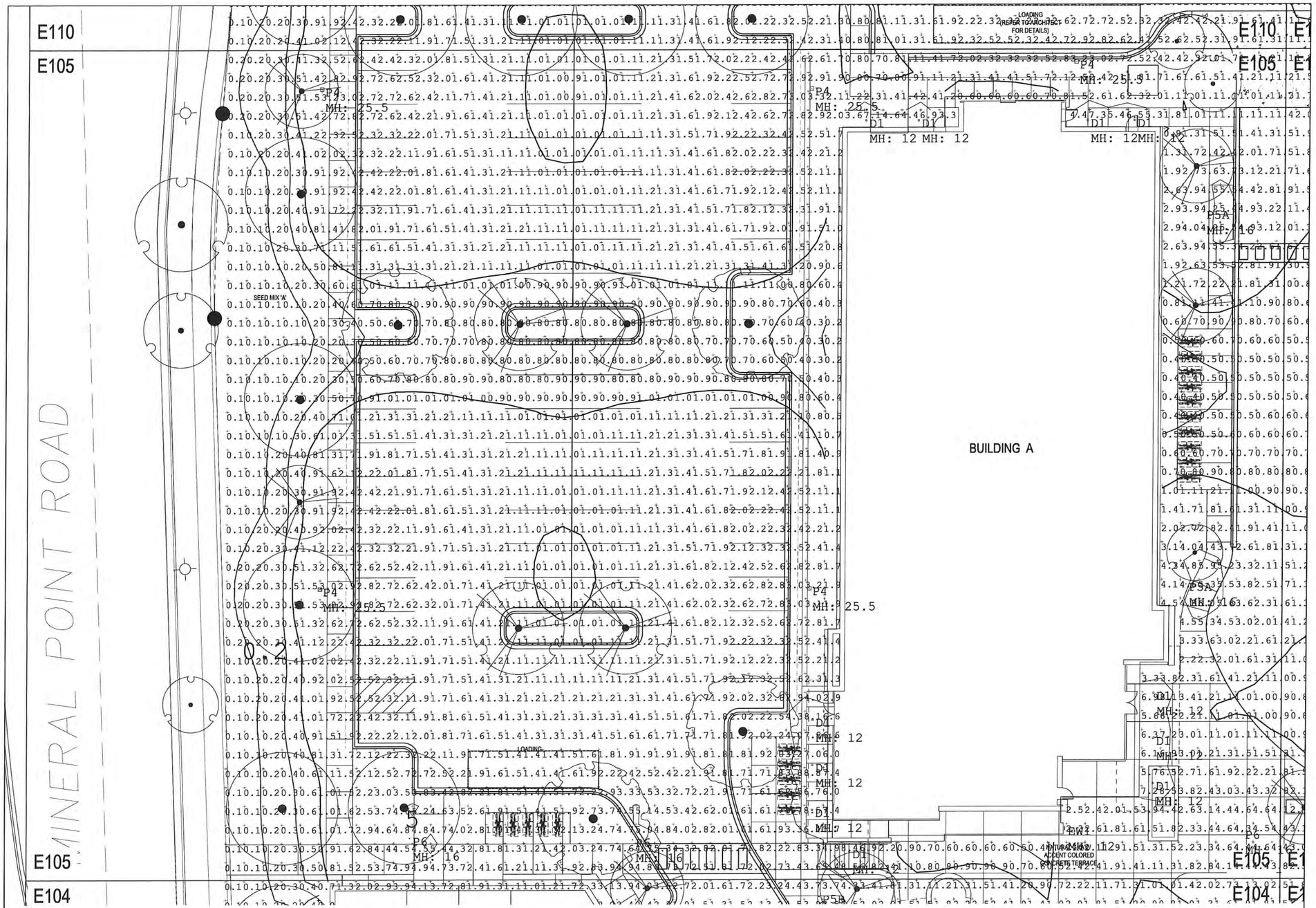
Site Lighting Enlargement

E104



1 E105 SITE LIGHTING ENLARGEMENT
1" = 10'-0"

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07 B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD 07 A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

South Parking
Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive
Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking
Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking
Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive
Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

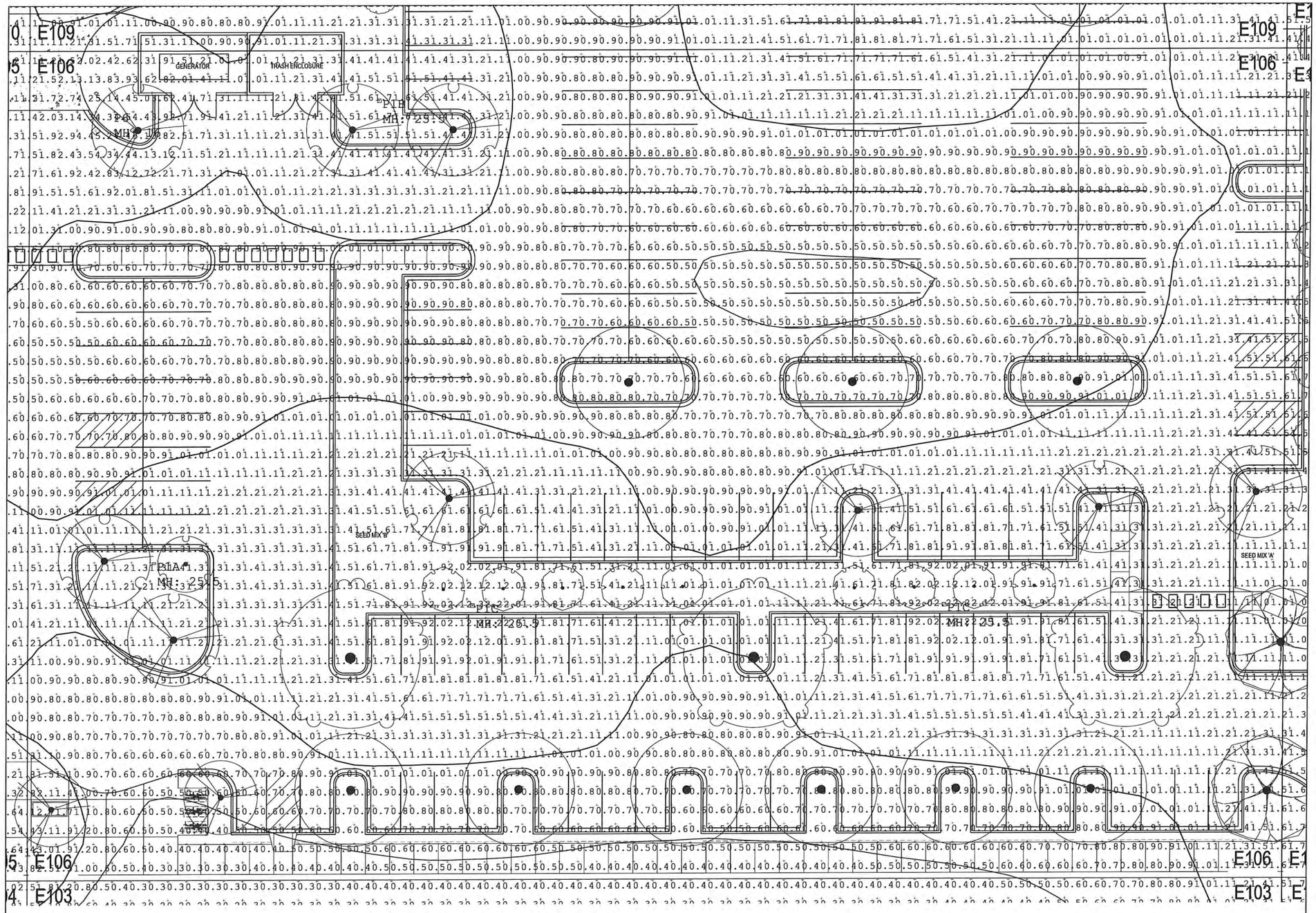
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
06/16/2017	Madison Land Use Application	

Site Lighting Enlargement

E105



1 E106 SITE LIGHTING ENLARGEMENT
1" = 10'-0"

0' 5' 10' 20'

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w_S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w_S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07_B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD 07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

South Parking

Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive

Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking

Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking

Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive

Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

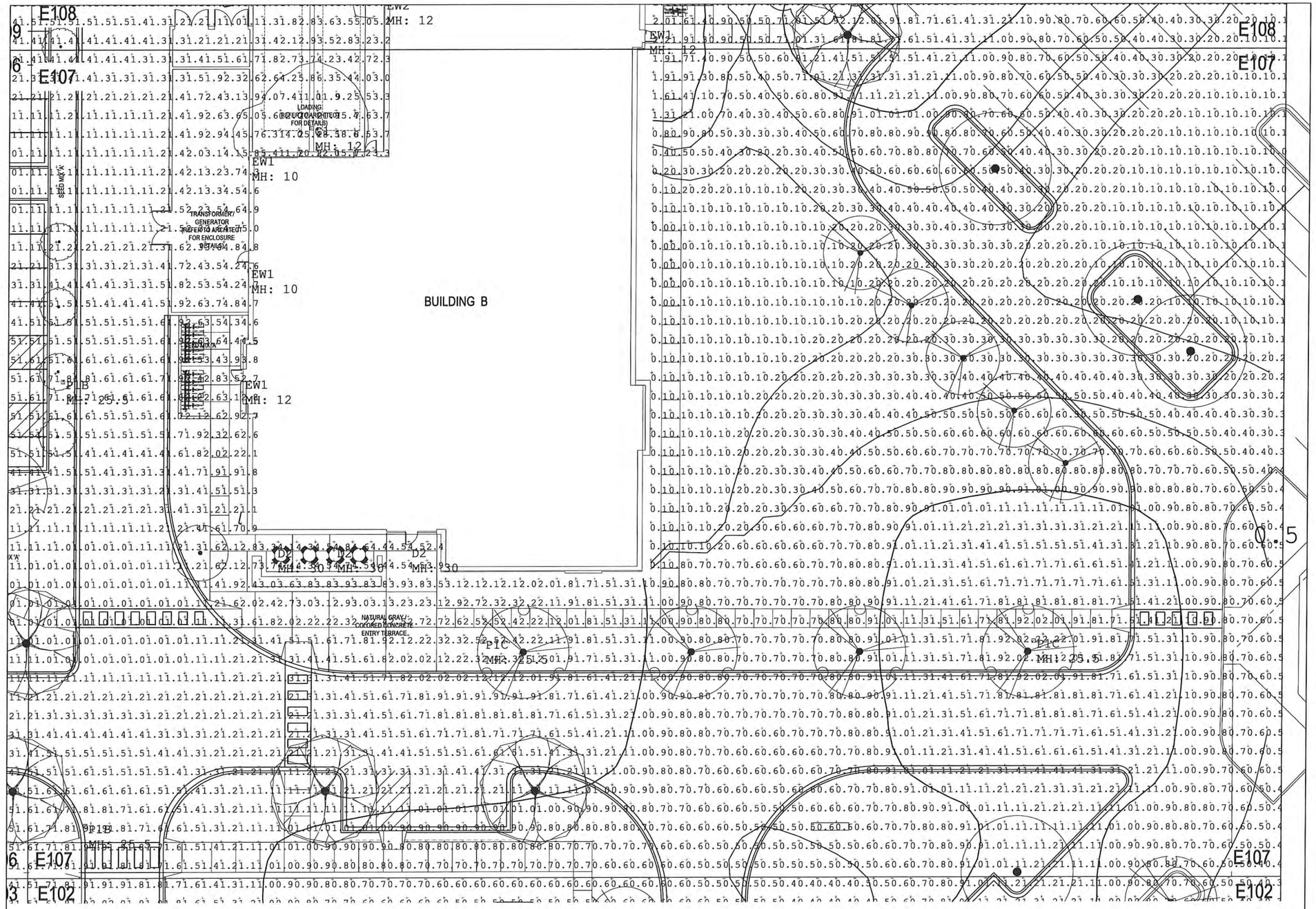
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
06/15/2017	Madison Land Use Application	

Site Lighting Enlargement

E106



1 SITE LIGHTING ENLARGEMENT

E107 1" = 10'-0"

0' 5' 10' 20'

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w_S-DL6T-N-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w_S-DL6T-N -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD_07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD_07_B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD_07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

South Parking	Connector Drive	East Parking	Central Parking	Gammon Road Access Drive
Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)
Average = 1.30	Average = 1.64	Average = 1.41	Average = 1.07	Average = 1.57
Maximum = 4.3	Maximum = 5.3	Maximum = 4.0	Maximum = 5.6	Maximum = 5.9
Minimum = 0.4	Minimum = 0.3	Minimum = 0.4	Minimum = 0.5	Minimum = 0.4
Avg/Min Ratio = 3.25	Avg/Min Ratio = 5.47	Avg/Min Ratio = 3.53	Avg/Min Ratio = 2.14	Avg/Min Ratio = 3.93
Max/Min Ratio = 10.75	Max/Min Ratio = 17.67	Max/Min Ratio = 10.00	Max/Min Ratio = 11.20	Max/Min Ratio = 14.75

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

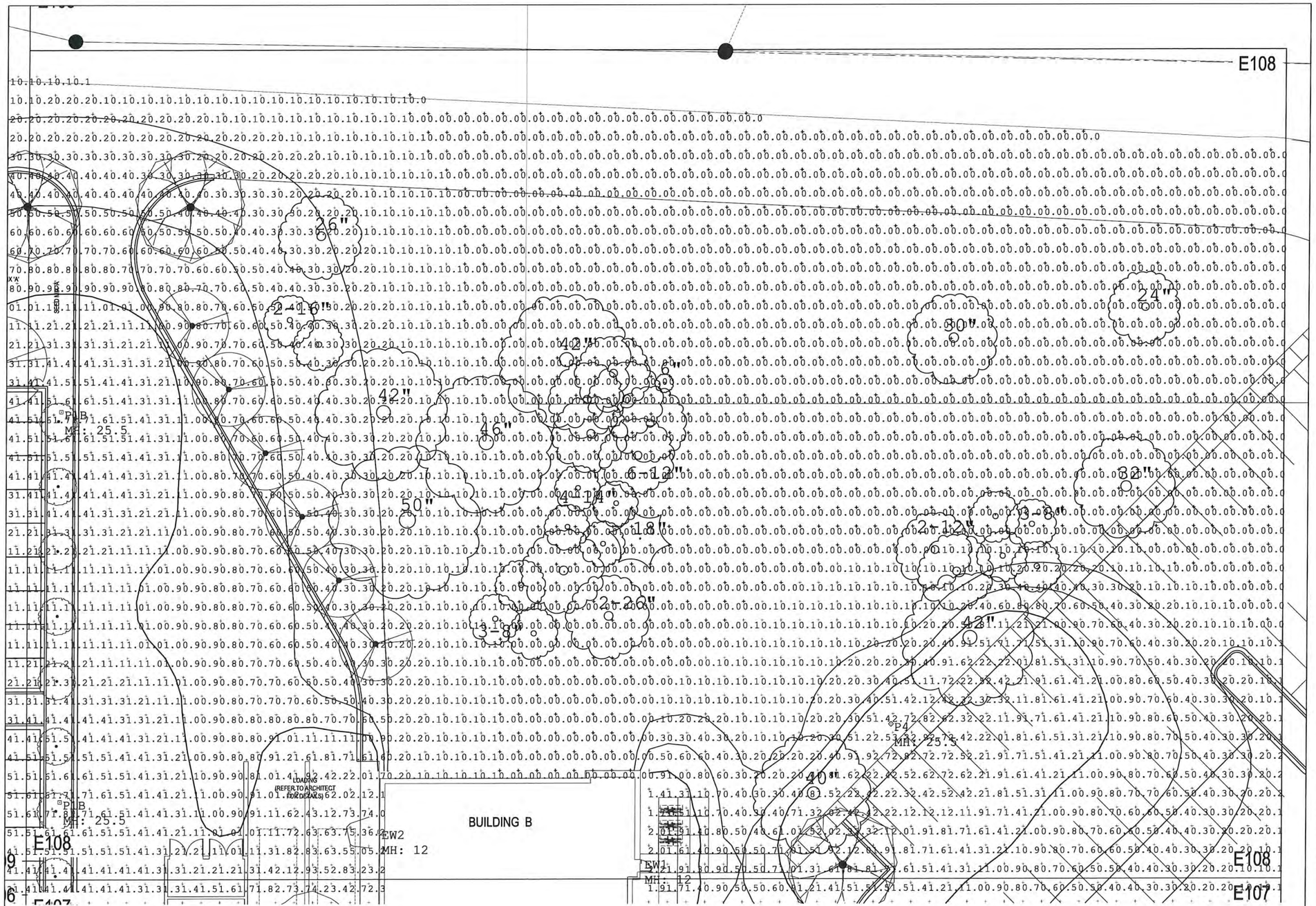
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
06/16/2017	Madison Land Use Application	

Site Lighting Enlargement

E107



1 SITE LIGHTING ENLARGEMENT
E108 1" = 10'-0"

0' 5' 10' 20'

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w_S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w_S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07 B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD_07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

South Parking	Connector Drive	East Parking	Central Parking	Gammon Road Access Drive
Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)	Illuminance (Fc)
Average = 1.30	Average = 1.64	Average = 1.41	Average = 1.07	Average = 1.57
Maximum = 4.3	Maximum = 5.3	Maximum = 4.0	Maximum = 5.6	Maximum = 5.9
Minimum = 0.4	Minimum = 0.3	Minimum = 0.4	Minimum = 0.5	Minimum = 0.4
Avg/Min Ratio = 3.25	Avg/Min Ratio = 5.47	Avg/Min Ratio = 3.53	Avg/Min Ratio = 2.14	Avg/Min Ratio = 3.93
Max/Min Ratio = 10.75	Max/Min Ratio = 17.67	Max/Min Ratio = 10.00	Max/Min Ratio = 11.20	Max/Min Ratio = 14.75

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
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West Place

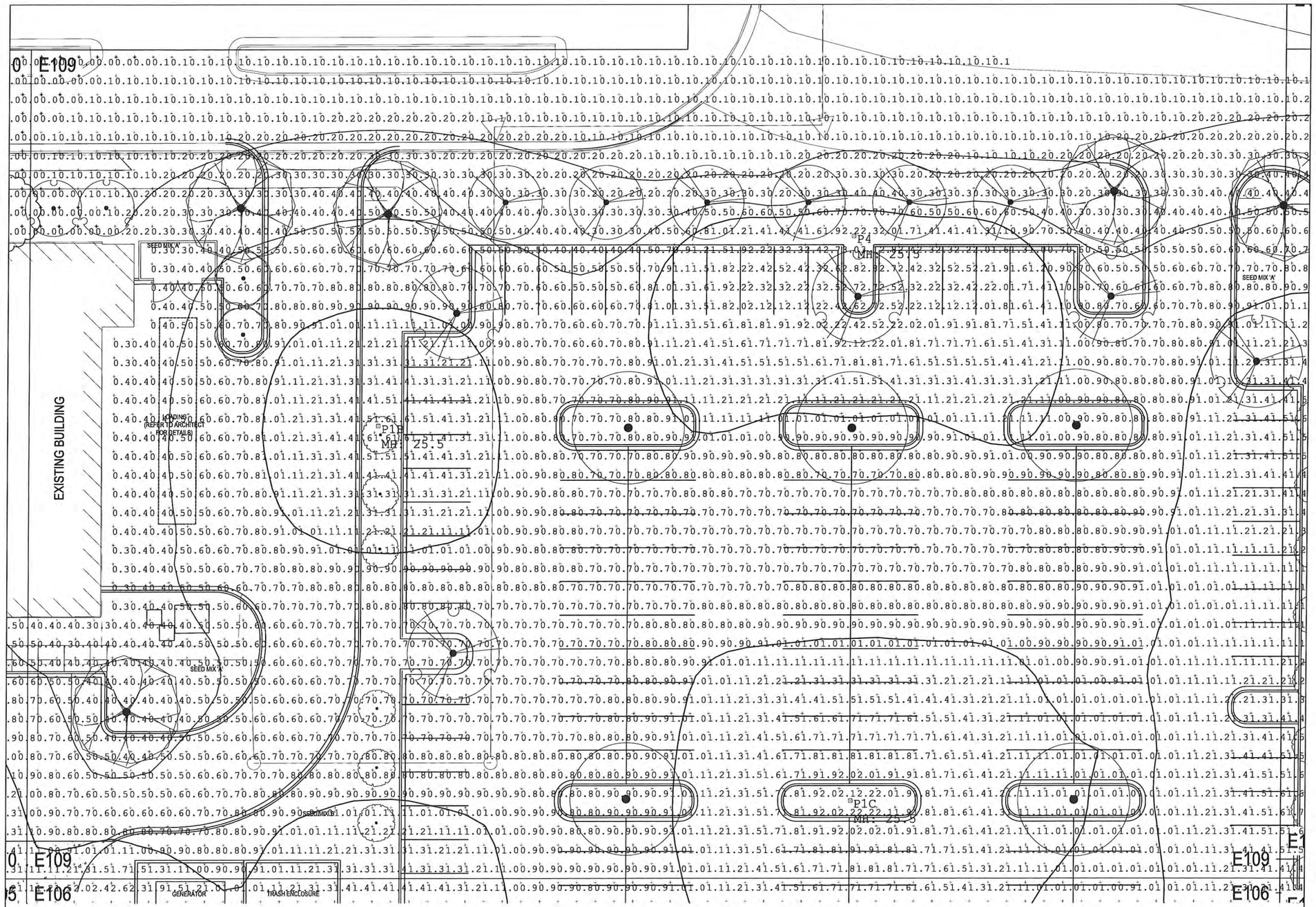
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
05/16/2017	Madison Land Use Application	

Site Lighting Enlargement

E108



1 SITE LIGHTING ENLARGEMENT
E109 1" = 10'-0"

0' 5' 10' 20'

N

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w S-DL6T-N-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w S-DL6T-N -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
	1	EW2	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E02-LED-E1-BL4-7030	4772	0.900	46.9
	1	P1A	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-02-LED-E1-5WQ-7030	11355	0.900	113
	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD_07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD_07_B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD_07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

South Parking

Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive

Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking

Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking

Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive

Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
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South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

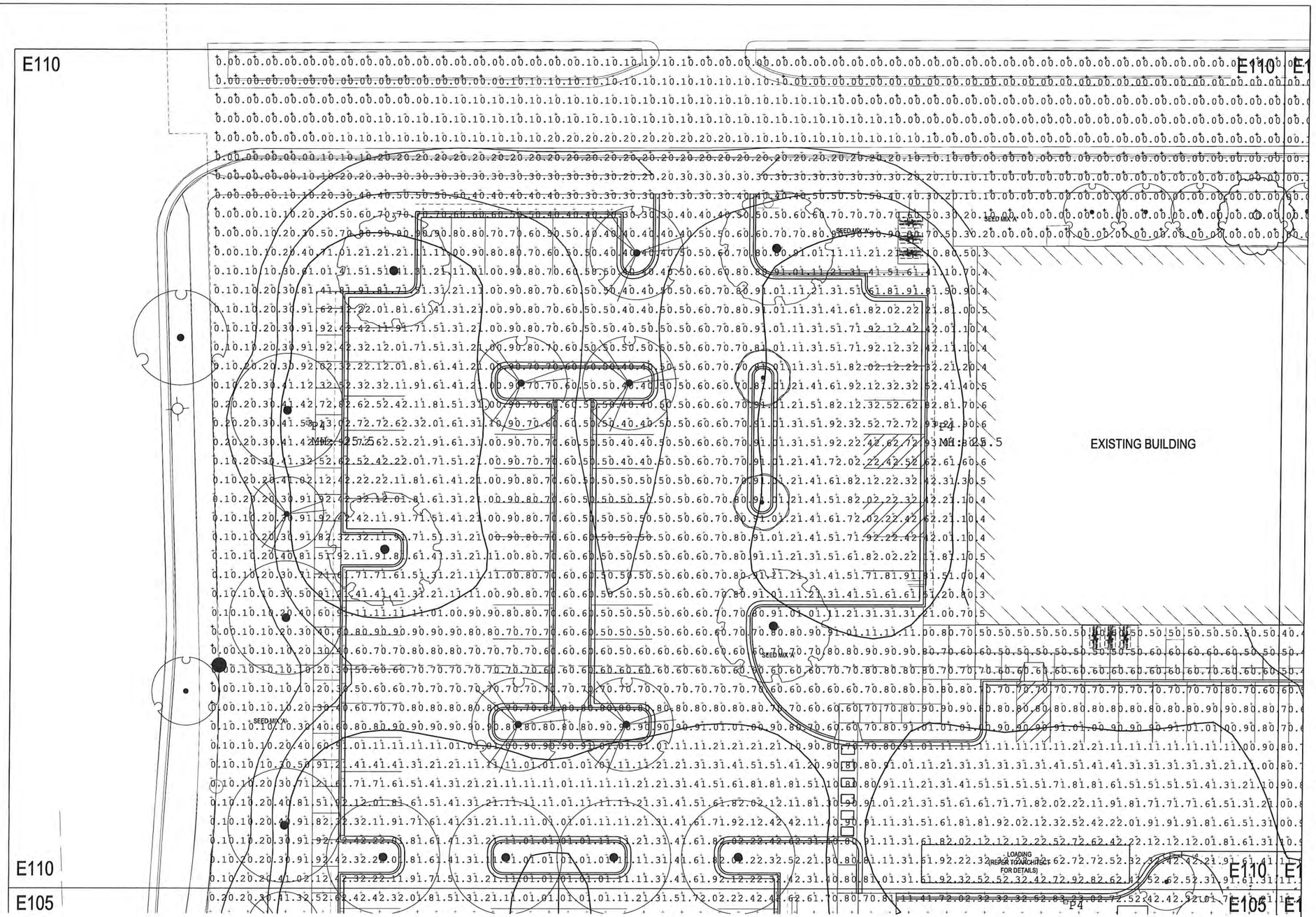
302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
06/15/2017	Madison Land Use Application	

Site Lighting Enlargement

E109



1 E110 SITE LIGHTING ENLARGEMENT
1" = 10'-0"

0' 5' 10' 20'

Luminaire Schedule							
Symbol	Qty	Tag	Description	Label	Lum. Lumens	LLF	Lum. Watts
	1	C1	UNDER CANOPY LIGHT	CPY250-A-xx-F-B-UL-xxxxx-4	12400	0.900	96
	11	D1	6 INCH DOWNLIGHT	S-DL6-15L-27K w_S-DL6T-W-S	1030	0.900	14.15
	3	D2	6 INCH DOWNLIGHT	S-DL6-24L-27K w_S-DL6T-W -	1774	0.900	22.35
	5	EW1	FULL CUTOFF TRAPEZOIDAL WALL PACK	IST-E01-LED-E1-BL3-7030	2468	0.900	24.7
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	6	P1B	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-03-LED-E1-5WQ-7030	16944	0.900	166
	5	P1C	AREA LIGHT, TYPE V WIDE DISTRIBUTION	GLEON-AF-04-LED-E1-5WQ-7030	22388	0.900	225
	1	P2	AREA LIGHT, TYPE II DISTRIBUTION	GLEON-AF-04-LED-E1-SL2-703	20822	0.900	225
	1	P3	AREA LIGHT, TYPE III DISTRIBUTION	GLEON-AF-05-LED-E1-SL3-7030	26337	0.900	279
	13	P4	AREA LIGHT, TYPE IV DISTRIBUTION	GLEON-AF-03-LED-E1-SL4-7030	15286	0.900	166
	2	P5A	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07	6475	0.900	142
	3	P5B	DECORATIVE POST TOP, TYPE III DISTRIBUTION	ML660-SV2-60L45T3-F-MD 07_B	6475	0.900	142
	7	P6	DECORATIVE POT TOP, TYPE V DISTRIBUTION	ML660-SV2-60L45T5-F-MD_07_A	6687	0.900	142.1
	96	S	LSLB06S39C12	S_TIVOLI_LSLB06S39C12	33	0.900	0.51

South Parking

Illuminance (Fc)
Average = 1.30
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 3.25
Max/Min Ratio = 10.75

Connector Drive

Illuminance (Fc)
Average = 1.64
Maximum = 5.3
Minimum = 0.3
Avg/Min Ratio = 5.47
Max/Min Ratio = 17.67

East Parking

Illuminance (Fc)
Average = 1.41
Maximum = 4.0
Minimum = 0.4
Avg/Min Ratio = 3.53
Max/Min Ratio = 10.00

Central Parking

Illuminance (Fc)
Average = 1.07
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 2.14
Max/Min Ratio = 11.20

Gammon Road Access Drive

Illuminance (Fc)
Average = 1.57
Maximum = 5.9
Minimum = 0.4
Avg/Min Ratio = 3.93
Max/Min Ratio = 14.75

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Plane	Illuminance	Fc	0.89	28.5	0.0	N.A.	N.A.
Central Parking	Illuminance	Fc	1.07	5.6	0.5	2.14	11.20
Connector Drive	Illuminance	Fc	1.64	5.3	0.3	5.47	17.67
East Parking	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Gammon Road Access Drive	Illuminance	Fc	1.57	5.9	0.4	3.93	14.75
South Parking	Illuminance	Fc	1.30	4.3	0.4	3.25	10.75

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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

West Place

302 S. Gammon Road
Madison, WI 53717

2017.15.00

Date	Issuance/Revisions	Symbol
09/18/2017	Madison Land Use Application	

Site Lighting Enlargement

E110

302 S. Gammon

Foundation: Concrete foundation

Structure: Steel Frame with composite concrete deck construction

Roof: Built-up Roof

Façade: Brick, metal panel and glass

Building Description: The building was built in 1970. It has served as the office headquarters for Famous Footwear, and was most recently occupied by Madison Area technical College. It has not been used at any time as a single-family or multi-family residential dwelling and is not a landmark or in a local Historic District or a Neighborhood Conservation District. Although well designed and conceived over 45 years ago, the building does not meet modern expectations in site placement or functionality. It is set back over 100' from Gammon road, and over 200' from Mineral Point, which creates a significantly underutilized site, considering the surrounding developments and City-wide trend for more dense, pedestrian oriented and mixed use developments. The building has fallen into disrepair, in both the interior finishes and exterior shell, both of which need significant repairs and updates to provide leasable space in the current Madison market. The interior layout also does not meet the current expectations for functional flexibility, and also requires significant remodeling. In its current condition, the building could be considered functionally obsolete, and would also require significant investments to remove hazardous materials and meet current building codes.

D1. Demolition Context Images

Development at West Place - 2017.15.00

August 16, 2017

Potter Lawson

Success by **Design**

302 S. Gammon

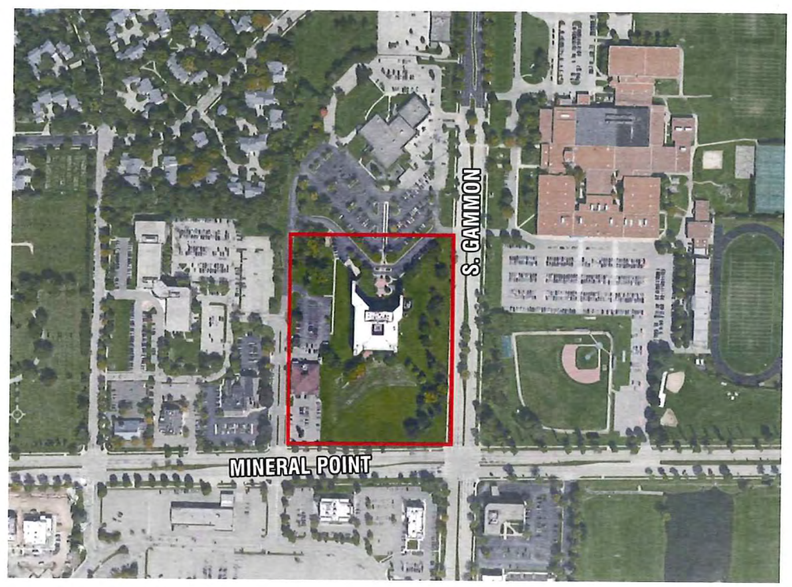
Foundation: Concrete foundation

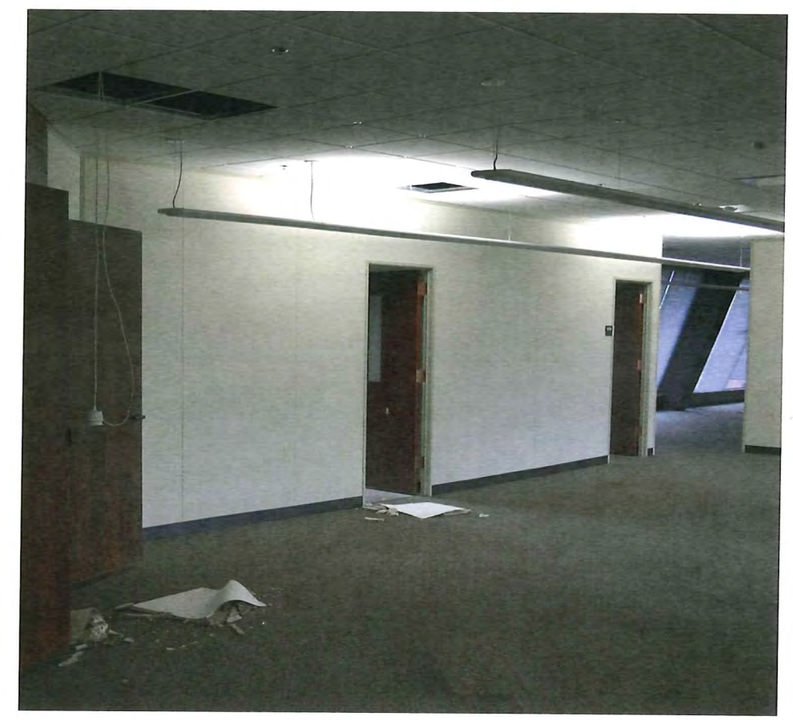
Structure: Steel Frame with composite concrete deck construction

Roof: Built-up Roof

Façade: Brick, metal panel and glass

Building Description: The building was built in 1970. It has served as the office headquarters for Famous Footwear, and was most recently occupied by Madison Area technical College. It has not been used at any time as a single-family or multi-family residential dwelling and is not a landmark or in a local Historic District or a Neighborhood Conservation District. Although well designed and conceived over 45 years ago, the building does not meet modern expectations in site placement or functionality. It is set back over 100' from Gammon road, and over 200' from Mineral Point, which creates a significantly underutilized site, considering the surrounding developments and City-wide trend for more dense, pedestrian oriented and mixed use developments. The building has fallen into disrepair, in both the interior finishes and exterior shell, both of which need significant repairs and updates to provide leasable space in the current Madison market. The interior layout also does not meet the current expectations for functional flexibility, and also requires significant remodeling. In its current condition, the building could be considered functionally obsolete, and would also require significant investments to remove hazardous materials and meet current building codes.





D2. Demolition Context Images

Development at West Place - 2017.15.00

August 16, 2017

Potter Lawson

Success by Design