



Plat Name
Woodstone

Location
9305-9437 Elderberry Road

Applicant
Don Heffron - Pheasant Ridge Lots/
Jason Valerius - MSA

Preliminary Final

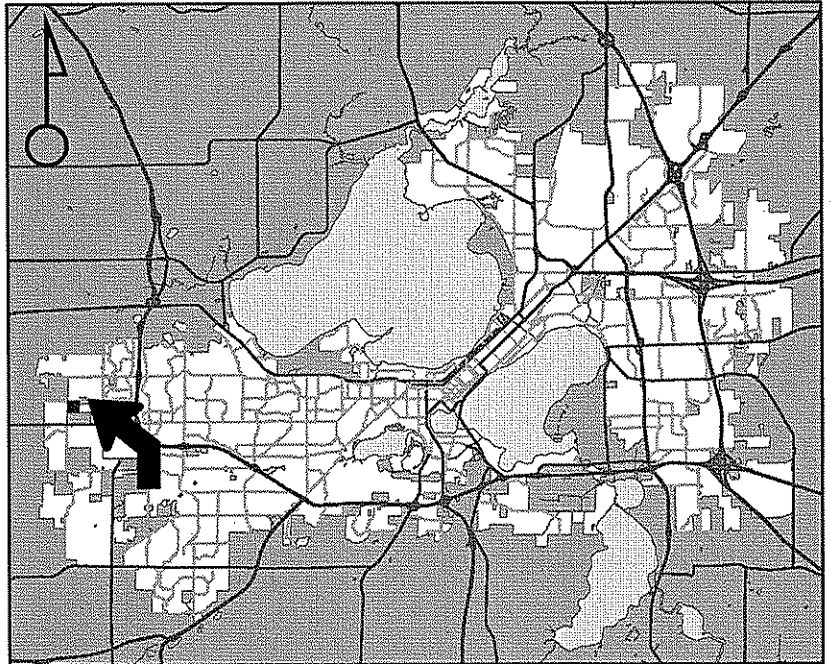
From: R2T & PUD(GDP) To: R2T & PUD(GDP)

Proposed Use
88 Single-Family Lots, 11 Two-Family Lots
5 Multi-Family Lots & 2 Outlots

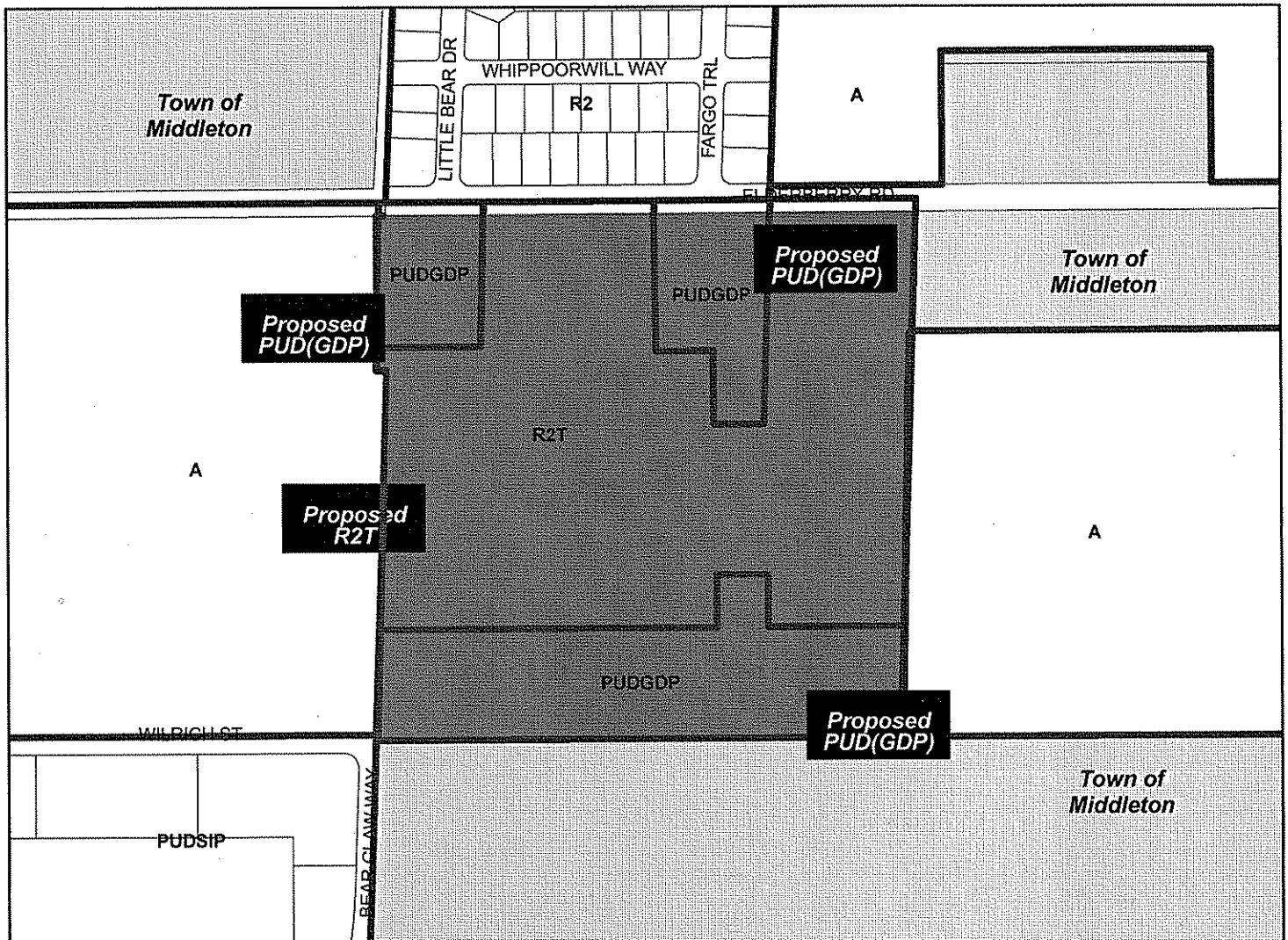
Public Hearing Date

Plan Commission
09 March 2009

Common Council
17 March 2009



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



3-4

Scale : 1" = 400'



3
4

LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
 Date Received _____
 Received By _____
 Parcel No. _____
 Aldermanic District _____
 GQ _____
 Zoning District _____
For Complete Submittal
 Application _____ Letter of Intent _____
 IDUP _____ Legal Descript. _____
 Plan Sets _____ Zoning Text _____
 Alder Notification _____ Waiver _____
 Ngrbrhd. Assn Not. _____ Waiver _____
 Date Sign Issued _____

1. **Project Address:** 9305-9437 Elderberry Rd. **Project Area in Acres:** 38.81

Project Title (if any): Woodstone

2. **This is an application for:** (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from <u>R2T</u> to <u>R2T</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Rezoning from <u>PUD-GOP</u> to PUD/PCD-GDP.	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Dan Heffron Company: Heffron Group
 Street Address: 2000 Prairie St. #220 City/State: Prairie du Sac, WI Zip: 53578
 Telephone: (608) 643-8525 Fax: (608) 643-2793 Email: dan@heffrongroup.com
 Project Contact Person: Jason Valerius Company: MSA Professional Services, Inc.
 Street Address: 2901 International Lane #300 City/State: Madison, WI Zip: 53704
 Telephone: (608) 242-7779 Fax: (608) 242-5664 Email: jvalerius@msa-ps.com
 Property Owner (if not applicant): Pheasant Ridge LLC
 Street Address: 2000 Prairie St. #220 City/State: Prairie du Sac, WI Zip: 53578

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: Formerly a 38.81 acres of farmland that will be developed into a mixed residential neighborhood with 88 single-family, 11 duplex, 2 multi-family condominium, 2 multi-family row housing, and one multi-family apartment lots.
 Development Schedule: Commencement Spring 2009 Completion Fall 2013

CONTINUE →

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- Seven (7) copies of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- Seven (7) copies of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- One (1) copy of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: ~~Twelve (12)~~ ¹⁰ copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$5,000 See the fee schedule on the application cover page. Make checks payable to: City Treasurer.

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of Eiderberry Neighborhood Development Plan, which recommends:

low density residential, except low-medium density along Wilrich Road for this property.

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30 days** prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Ald. Skidmore Aug 30, 2007 and 12/18/08

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date:

Planner Tim Parks Date multiple | Zoning Staff Matt Tucker Date multiple
dates dates

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Jason Valerius Date 12/18/08

Signature Jan Valis Relation to Property Owner Planning Consultant

Authorizing Signature of Property Owner Samuel R. Heffron Date 12/19/08

December 18, 2008

LETTER OF INTENT
TO THE PLAN COMMISSION AND CITY COUNCIL
OF THE CITY OF MADISON

WOODSTONE

*A Mixed Single Family, Duplex & Multifamily Residential Development
located at 9313 Elderberry Road in the City of Madison, Dane County, Wisconsin*

Project Name: Woodstone

Owner: Pheasant Ridge, LLC
2000 Prairie Street
Prairie du Sac, WI 53578
Contact: Daniel R. Heffron
(608) 644-3902

Project Manager: Daniel R. Heffron
The Heffron Company, Inc.
2000 Prairie Street
Prairie du Sac, WI 53578
(608) 644-3902

Project Planner: Jason Valerius, AICP
MSA Professional Services, Inc.
2901 International Lane, Suite 300
Madison, WI 53704
(608) 242-7779

Project Engineer: Thomas Pinion, PE
MSA Professional Services, Inc.
2901 International Lane, Suite 300
Madison, WI 53704
(608) 242-7779

Surveyor: James Grothman
Grothman & Associates, S.C.
625 E. Slifer Street
Portage, WI 53901
(608) 742-7788

A. Enclosed Submittals

This is a re-submittal of the Zoning and Preliminary & Final Plats for Woodstone, conditionally approved by Common Council on May 20, 2008. These items are being resubmitted so that they may be approved without inclusionary zoning requirements. Pheasant Ridge has always believed that the appropriate response to housing affordability is an integrated variety of market-rate options that includes small units. Woodstone features a mix of conventional 1/5-acre single-family lots, smaller single-family lots served by alleys, duplexes, townhomes, and apartments. We are especially excited to be offering some of the first accessory dwelling units in Madison.

Enclosed items:

- Preliminary Plat
- Final Plat
- Zoning Text
- Rezone Legal Description
- Design Standards

The following changes have been made since the zoning and plat were approved by Urban Design Commission, Plan Commission, and Common Council:

1. *The alleys were widened from 23' to 26' to meet City standards.*
2. *A utility easement along the eastern plat boundary north of Spirit Street was increased from 12' to 15' to accommodate a storm sewer line.*

B. Project Summary

Woodstone is to be a residential subdivision in the Elderberry Neighborhood. The property was annexed to Madison in July 2007 and is currently comprised of three parcels totaling 38.81 acres. The property is located along the south side of Elderberry Road, directly South of the Highland Park Subdivision and directly north and East of the Blackhawk Church Town Center Plat.

As recommended by the Elderberry Neighborhood Plan, this plat features mostly low-density residential including single family and duplex units. Along the local collector at the south edge, now known as Wilrich Road, the proposed plat and PUD feature a multi-family rental apartment building and a series of condominium townhomes.

This development is proposed with two zoning designations: R2T and PUD. 88 of the 104 lots will be R2T, including 8 with accessory dwelling units as shown in Exhibit B (lots 13, 23, 24, 34, 35, 45, 46, and 56). The remaining 15 lots will utilize PUD zoning to allow for the specific design and construction of 40 duplex units, 32 townhome units, and 30 apartment units within the proposed Plat of Woodstone.

Lots 1, 2, 9, 57, 64, 65, 72, 73, 86, 92, and 97 are corner lots in the low-density portion of the plat ranging in size from 10,350 SF to 18,769 SF. Each will feature a 1-2 story duplex residential structure with one unit facing each of the adjoining streets (22 total units). PUD zoning is requested to allow for smaller, 15-foot front yard setbacks as will be allowed for adjacent lots in the R2T District.

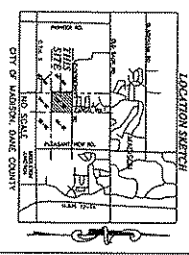
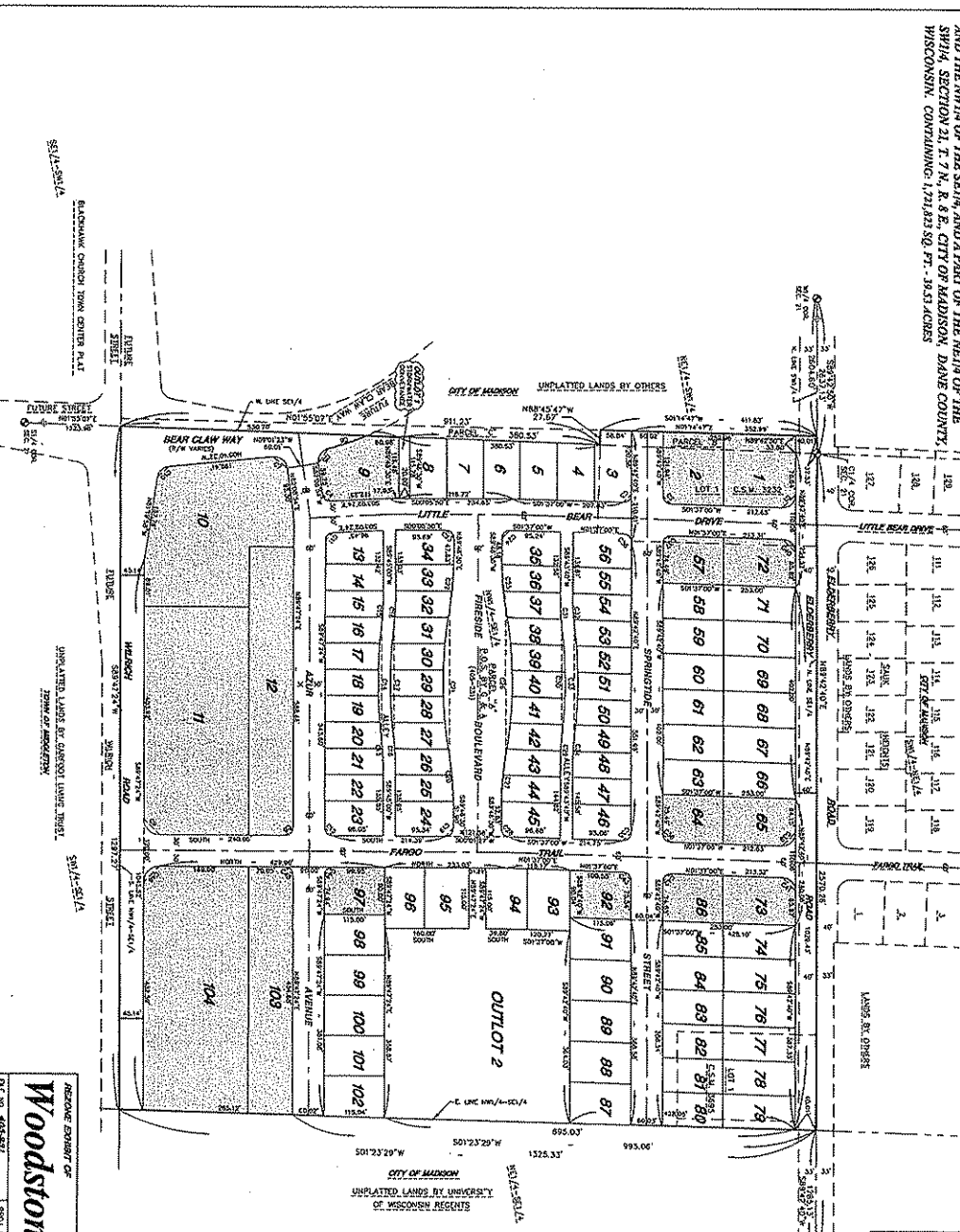
Lot 10 is a 1.50-acre parcel located at the future intersection of Bear Claw Way and Wilrich Road. This lot will feature a 3-story, 30-unit apartment building with underground parking.

Lots 11 and 104 are 1.99 and 2.14 acres, respectively, located northwest and northeast of the intersection of Wilrich Road and Fargo Trail. These two parcels will feature a total of 32 condominium townhome units with underground parking and porches facing a public street. These units will be two stories above-grade.

Lots 12 and 103 are 1.07 and 0.91 acres, respectively, located along the south side of Slate Street. These two parcels will feature a total of 18 condominium duplex units (9 buildings) with porches facing either Slate Street or Fargo Trail.

Rezone Exhibit of Woodstone

BEING ALL OF LOT 1, C.S.M. NO. 3232, RECORDED IN VOLUME 12, PAGE 330 AS DOCUMENT NO. 1629892, LOT 1, C.S.M. NO. 3695, RECORDED IN VOLUME 15, PAGE 120 AS DOCUMENT NO. 1704992, AND THE NW1/4 OF THE SE1/4, AND A PART OF THE NE1/4 OF THE SW1/4, SECTION 21, T. 7 N., R. 8 E., CITY OF MADISON, DANE COUNTY, WISCONSIN, CONTAINING: 1,71,823 SQ. FT. - 3.93 ACRES



BASIS OF BEARINGS: IS THE NORTH LINE OF THE SW1/4, SECTION 21, T. 7 N., R. 8 E., DANE COUNTY, WISCONSIN, TO OLD NORTH, DANE COUNTY CORNER, STATION NUMBER (1981).

SCALE: 1" = 100'

R1D DISTRICT
 SINGLE-FAMILY RESIDENTIAL
 SINGLE-FAMILY RESIDENTIAL
 SINGLE-FAMILY RESIDENTIAL

R2D DISTRICT
 SINGLE-FAMILY RESIDENTIAL

R3D DISTRICT
 SINGLE-FAMILY RESIDENTIAL

LEGEND

- R1D DISTRICT
- R2D DISTRICT
- R3D DISTRICT
- CITY OF MADISON PERM. COE

OWNER/DEVELOPER
 POSITIVE RIGHT USE
 2000 PONDUS STREET, SUITE 100
 MADISON, WI 53703

ENGINEER
 G. GROTHMAN & ASSOCIATES S.C.
 1000 UNIVERSITY AVENUE, SUITE 100
 MADISON, WI 53706
 PHONE: (608) 742-2718
 FAX: (608) 742-2013
 E-MAIL: Ggrothman@gsa.com

REZONE EXHIBIT OF
Woodstone
GROTHMAN & ASSOCIATES S.C.
 1000 UNIVERSITY AVENUE, SUITE 100
 MADISON, WI 53706
 PHONE: (608) 742-2718
 FAX: (608) 742-2013
 E-MAIL: Ggrothman@gsa.com

June 27, 2008

REVISED ZONING TEXT

**PLANNED UNIT DEVELOPMENT – GENERAL DEVELOPMENT PLAN
PUD-GDP**

**Lots 1, 2, 9, 10, 11, 12, 57, 64, 65, 72, 73, 86, 92, 97, 103 and 104
of the Proposed Plat of Woodstone,
a Mixed Single Family, Duplex & Multifamily Residential Development
located at 9313 Elderberry Road in the City of Madison, Dane County, Wisconsin**

Legal Description: The lands subject to the Plat of Woodstone shall include those described in Exhibit A, attached hereto. The lands subject to this planned unit development district shall include lots 1, 2, 9, 10, 11, 12, 57, 64, 65, 72, 73, 86, 92, 97, 103 and 104 of the Proposed Plat of Woodstone, shown in the attached Preliminary Plat

A. Statement of Purpose

This zoning district is established to allow for the construction of 40 duplex units, 32 townhome units, and 30 apartment units on 16 lots within the proposed Plat of Woodstone, as shown on the attached plans.

B. Permitted Uses

The following uses are permitted within the PUD District:

1. Single family, two-unit, townhome, and multifamily apartment residential buildings
2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including recreational facilities and parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period of time not to exceed the duration of such construction.

C. Lot Area

The lots subject to this PUD-GDP and their respective areas are listed below.

Lot 1	18,839 SF	Lot 65	12,268 SF
Lot 2	15,689 SF	Lot 72	12,289 SF
Lot 9	16,665 SF	Lot 73	12,296 SF
Lot 10	65,209 SF	Lot 86	10,298 SF
Lot 11	86,500 SF	Lot 92	10,311 SF
Lot 12	46,542 SF	Lot 97	10,301 SF
Lot 57	10,292 SF	Lot 103	39,640 SF
Lot 64	10,300 SF	Lot 104	92,218 SF

D. Height Regulations

Maximum building height shall be three stories or as shown on approved plans.

E. Yard Regulations

Building placement will be established by an approved SIP and will follow these guidelines (see page 3):

Side Yards: 5 foot minimum setback

Rear Yards: as established by approved SIP

Front Yards: in general, a 15-foot yard shall be provided adjacent to any public street, except along Bear Claw way and Wilrich Road, where a 25-foot yard shall be provided, and along Elderberry Road, where a 30-foot yard shall be provided. Also, porches, stoops, balconies, and roof eaves may project up to 7 feet closer to the public ROW than the build-to line or minimum setback.

F. Landscaping

Site Landscaping will be provided as shown on approved plans.

G. Lighting

Site lighting will be provided as shown on approved plans.

H. Signage

Signage shall be limited to the maximum permitted in the R4 zoning district for the two-family and townhouse condominiums and apartment building; signage shall be limited for the two-family homes north of Cobalt Street to the signage permitted in the R2 zoning district; all signage shall be approved by the Urban Design Commission and Zoning Administration.

I. Accessory Off-Street Parking and Loading

As shown on approved specific implementation plans.

J. Family Definition

The family definition shall be as follows:

- all of the two-family homes shall coincide with the R3 zoning district;
- all the townhouse and apartment units shall coincide with the R4 district.

K. Alterations and Revisions

No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Woodstone Design Standards - TYPE 1 HOUSE

Applies to Lots 13-56

Qualitative Standards

Type 1 Houses shall enhance the public street by providing all of the following features:

- A front porch with a roof supported by columns
- Architectural details appropriate to the style of the home
- A gable facing the street
- Quality materials that will age well
- A mix of 2-4 materials and/or colors
- A variety of plantings that complement architectural features

Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

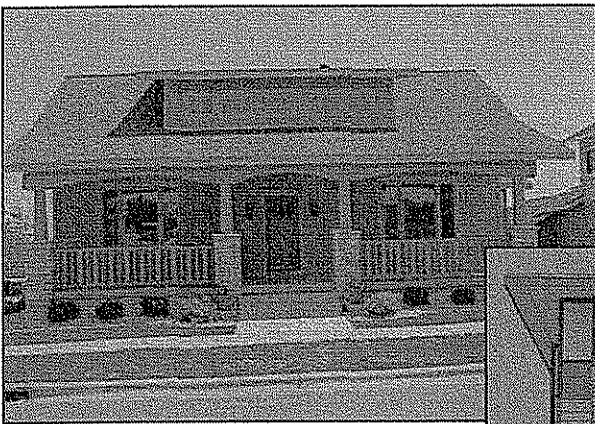
Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged.

Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Specific architectural styles are neither required nor prohibited, however the architecture should be appropriate to the neighborhood and any chosen style should be consistently applied to the entire house.

Architectural compatibility with neighboring houses is encouraged, but variety is also strongly encouraged. The use of similar floorplans for adjacent homes is discouraged, and variations in garage placement, materials, details, color, and landscaping is encouraged.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 1 HOUSE

Applies to Lots 13-56

Quantitative Standards

Type 1 Houses shall meet all of the following dimensional standards:

The 15-foot setback as established by zoning shall be treated as a "build-to" line, and a portion (preferably no less than 25% of the building shall be built to this line.

The front porch shall be at least 6 feet deep and 10 feet wide, and may encroach into the front yard up to 7 feet beyond the front yard setback.

20 feet (1.5 stories) is the minimum height, 35 feet (2.5 stories) is the maximum height, measured to the roof peak.

Exterior window casings or surrounds shall be at least 3 inches wide (except with brick or stone cladding).

Fascia boards shall be at least 8 inches wide.

Garages shall be accessed only from the alley, shall be either rear-loaded or side-loaded, and shall be set back from the alley right-of-way a minimum of 10 feet and a maximum of 24 feet. Garages should usually be located near to the alley to help slow alley traffic and minimize wasted yard space. Deep garage setbacks for adjoining properties is strongly discouraged and unlikely to be approved by the Architectural Control Committee.

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

Woodstone Design Standards - TYPE 2 HOUSE

Applies to Lots 1-9, and 57-102.

Qualitative Standards

Type 2 Houses shall enhance the public street by providing all of the following features:

- A front porch with a roof supported by columns
- Architectural details appropriate to the style of the home
- A gable facing the street
- Quality materials that will age well
- A mix of 2-4 materials and/or colors
- A variety of plantings that complement architectural features

Duplex homes on corner lots should be configured such that one unit faces each street.

Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

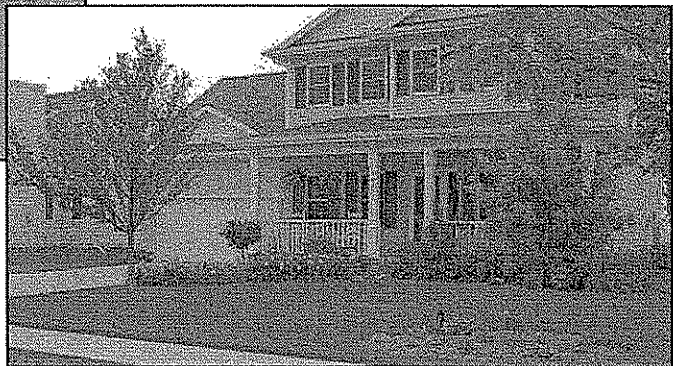
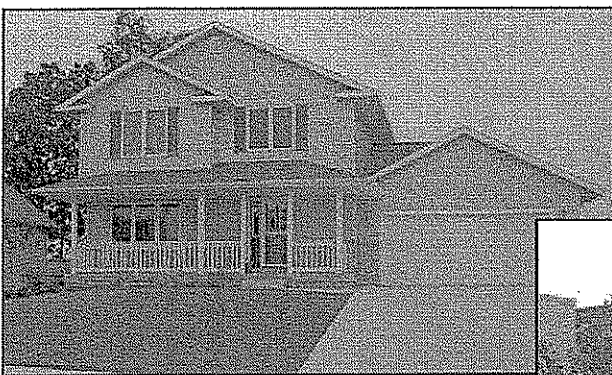
Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged.

Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Specific architectural styles are neither required nor prohibited, however the architecture should be appropriate to the neighborhood and any chosen style should be consistently applied to the entire house.

Architectural compatibility with neighboring houses is encouraged, but variety is also strongly encouraged. The use of similar floorplans for adjacent homes is discouraged, and variations in garage placement, materials, details, color, and landscaping is encouraged.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 2 HOUSE

Applies to Lots 1-9, and 57-102.

Quantitative Standards

Type 2 Houses shall meet all of the following dimensional standards:

Lots 2-10, 14, 59-66, 82-105: The 15-foot setback as established by zoning shall be treated as a "build-to" line, and a portion (preferably no less than 20%) of the building shall be built to this line.

Lots 1, 67-74, 75-81: A 25-foot "build-to" line shall be established along Elderberry Road, and a portion (preferably no less than 20%) of the building shall be built to this line. The "build-to" line along Fargo Trail and Little Bear Drive shall be 15 feet from ROW (this applies to lots 1, 67, 74, and 75).

Front Porches are strongly encouraged, should generally be at least 6 feet deep and 10 feet wide, and may encroach into the front yard up to 7 feet beyond the front yard setback line.

20 feet (1.5 stories) is the minimum height, 35 feet (2.5 stories) is the maximum height, measured to the roof peak.

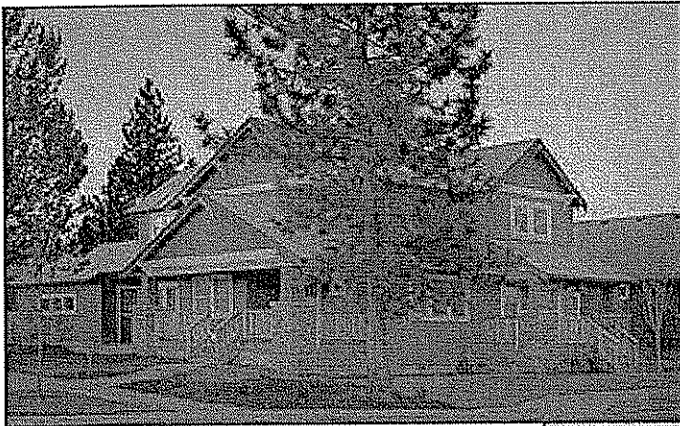
Garages may be front-loaded, side-loaded, or rear-loaded. Front-loaded garages (doors face the street) shall be set back a minimum of 5 feet from the primary facade of the home. Front-loaded garages are prohibited on lots 14 and 105.

Exterior window casings or surrounds shall be at least 3 inches wide (except with brick or stone cladding).

Fascia boards shall be at least 8 inches wide.

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 3 TOWNHOME*

Applies to Lots 11, 12, 103, and 104.

Qualitative Standards

Type 5 Townhomes shall enhance the public street by providing all of the following features:

Architectural details appropriate to the style of the home

A gable facing the street

Quality materials that will age well

A mix of 2-4 materials and/or colors

A variety of plantings that complement architectural features

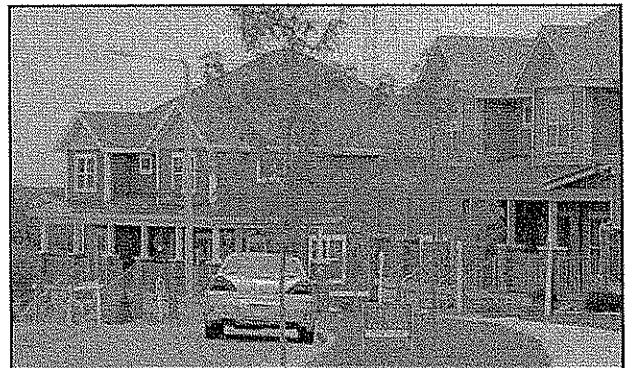
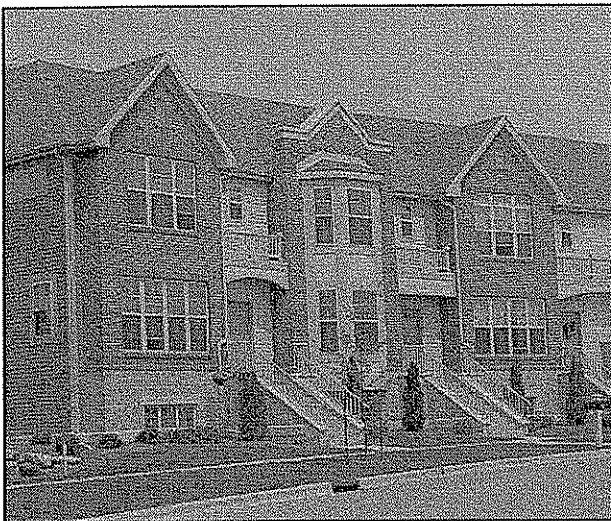
Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged.

Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Specific architectural styles are neither required nor prohibited, however the architecture should be appropriate to the neighborhood and any chosen style should be consistently applied to the entire house.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 3 TOWNHOME*

Applies to Lots 11, 12, 103, and 104.

Quantitative Standards

Type 5 Townhomes shall meet all of the following dimensional standards:

The 15-foot setback as established by zoning shall be treated as a "build-to" line, and a portion (preferably no less than 25% of the building shall be built to this line.

Front Porches are strongly encouraged, and where provided should be at least 6 feet deep and 10 feet wide, and may encroach up to 7 feet into the front yard setback

20 feet (2 stories) is the minimum height, 35 feet (3 stories) is the maximum height, measured to the roof peak.

Garages shall not face the street.

Exterior window casings or surrounds shall be at least 3 inches wide (except with brick or stone cladding)

Fascia boards shall be at least 8 inches wide

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

Woodstone Design Standards - TYPE 4 MULTIFAMILY

Applies to Lot 10.

Qualitative Standards

Type 6 Apartments shall enhance the public street by providing all of the following features:

Architectural character and details comparable to and consistent with other buildings in the neighborhood.

Elements that provide visual interest and variety, such as balconies, porches, bay windows, garden walls, varied building and facade setbacks, and varied roof designs.

Quality materials that will age well, especially brick and other natural materials

A mix of 2-4 materials and/or colors

A variety of plantings that complement architectural features

Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged for all fixtures and required for any light source greater than 100 watts.

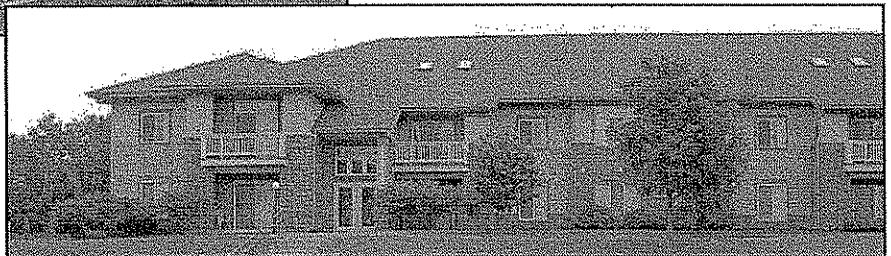
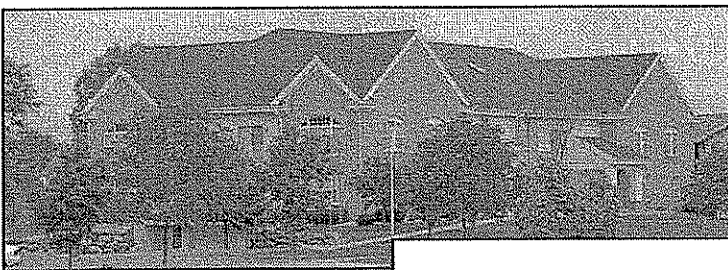
Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Buildings shall be close to the street and private sidewalk connections should be provided to enhance pedestrian access.

Parking and dumpsters shall be located behind or beneath the building. Parking lots shall be broken up with planting islands, and shall provide pedestrian connections to the building separate from vehicular movement areas.

Generous landscaping shall be provided along all street frontages, along the perimeter of paved areas, along building foundations, along yards separating land uses, and around storage and utility areas.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 4 MULTIFAMILY

Applies to Lots 11.

Quantitative Standards

Type 6 Apartments shall meet all of the following dimensional standards:

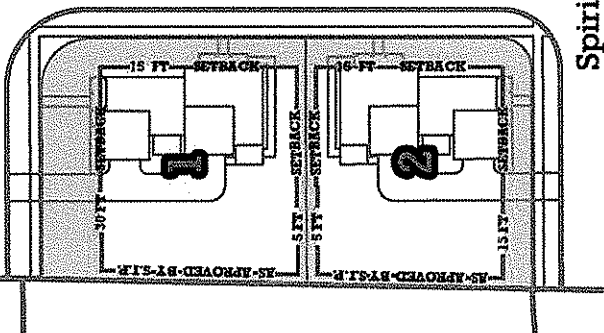
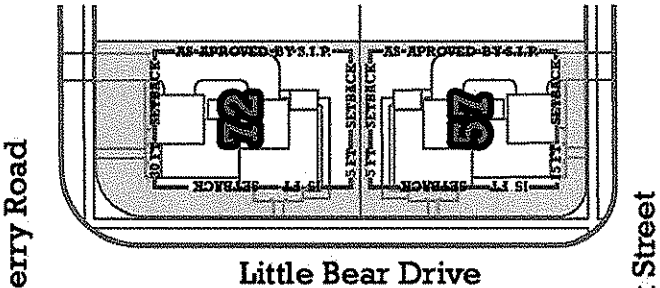
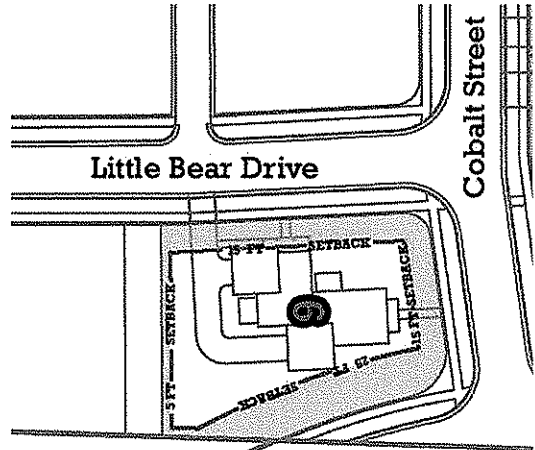
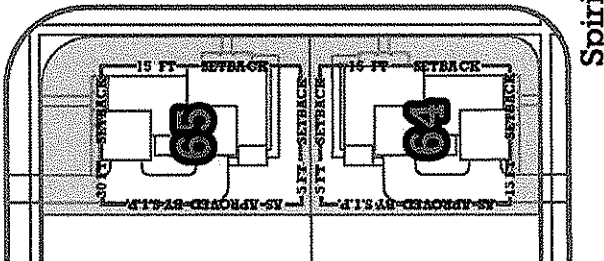
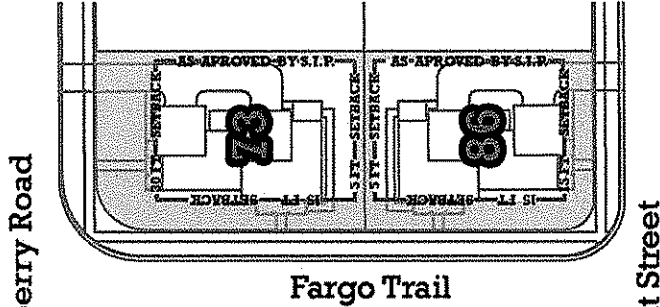
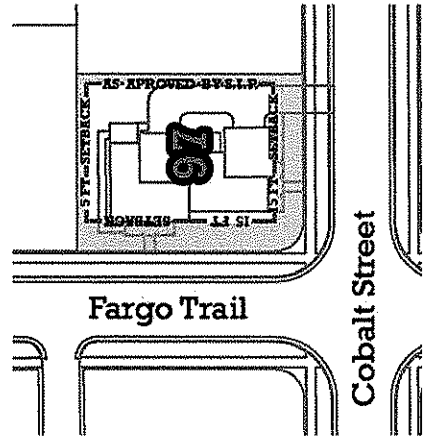
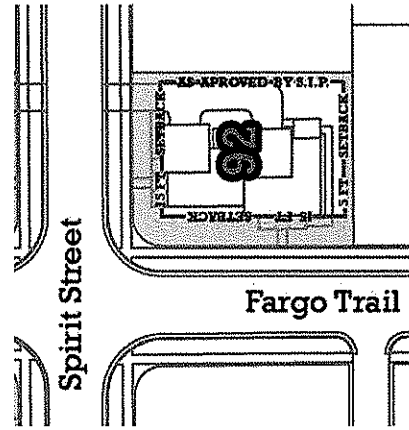
20 feet (1.5 stories) is the minimum height, 45 feet (3 stories) is the maximum height, measured to the roof peak.

Underbuilding parking is encouraged. Detached garages are permitted and shall be located at least 30 feet from any public right of way. Garage doors shall not face the street if located within 50 feet of the public right of way. All garage doors shall be screened from view from the public right of way through site and landscape design to the greatest extent practicable.

Exterior window casings or surrounds must be at least 3 inches wide (except with brick or stone cladding)

Fascia boards shall be at least 8 inches wide

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.



Assessment of Buildings Proposed for Demolition

There are three principal buildings that are within the plat of Woodstone that will have to be demolished in order to prepare the site for construction. 7247 Elderberry and 7191 Elderberry are ranch homes, and 7197 Elderberry is a farmhouse. The building landscape has changed in this area from a rural farm area to a traditional residential subdivision. The neighborhood across the street is made up of modern two-story single-family homes on small lots with minimal building setbacks.

In accordance to the City of Madison's zoning code section 28.04(22), we are assessing the buildings' conditions and their ability to be reused or relocated. Below is an evaluation of each of the buildings.

Ranch homes (7191 & 7247)

The ranch houses are neither landmarks or historical. The ranch-style floor plan is outdated and is not marketable in today's housing market. The exterior of both ranch homes are in fair condition. The interior of the 7247 Elderberry home is in fair to poor condition as it is missing a kitchen sink, the kitchen cabinetry, the bathroom toilet, and doors/doorframes, etc. (see Exhibit C). The interior of the 7191 Elderberry home is in fair condition (see Exhibit A).

Farmhouse (7197)

The farmhouse does not meet current building codes (plumbing, electrical, and fire egress) and is not a landmark or historical. The staircase is too steep and does not provide a landing between the first and second floors. Plumbing is outdated and there are minimal electrical outlets throughout the house. The exterior is in fair condition. The interior is in poor condition as it is missing baseboards, doors/doorframes, a bathroom toilet, and has torn-up flooring (see Exhibit B). There are noticeable cracks throughout the building's walls and ceiling, which suggest possible structural issues.

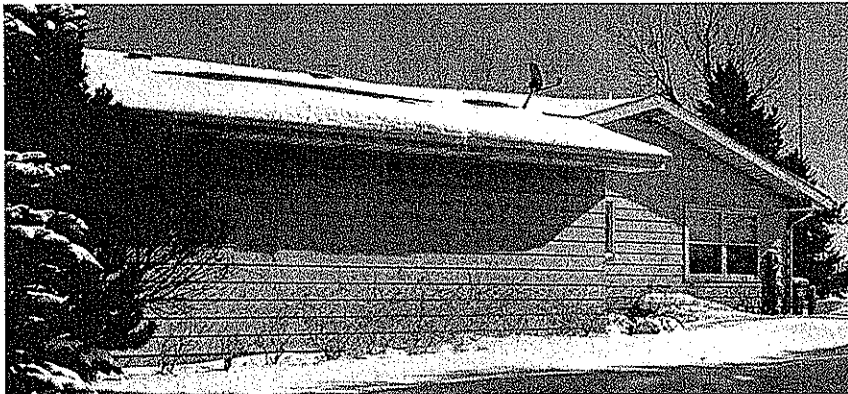
The ranch homes cannot be integrated into the development because they do not follow the existing urban landscape (building types, building setbacks, lot sizes, and character) of the subdivision across the street and will not meet the proposed development pattern. Secondly, the outdated floor plan of the ranch house takes up too much land, which will disrupt the proposed development and will make it difficult to sell lots surrounding the existing buildings. Thirdly, new modern homes on smaller lots will have a greater value to the City, its residents, and the developer than maintaining dilapidated unmarketable, large lot ranch homes.

As discussed above, the farmhouse does not meet current standards and is financially unproductive to relocate. The ranch home at the west end of the site, 7247 Elderberry, is in fair to poor condition and does not benefit from relocation. The ranch home to the east, 7191 Elderberry, has minimal benefit to relocating, but is deemed financially unproductive. It is our recommendation that the buildings be demolished in order to make way for more productive and marketable residential buildings that follow the surrounding neighborhood.

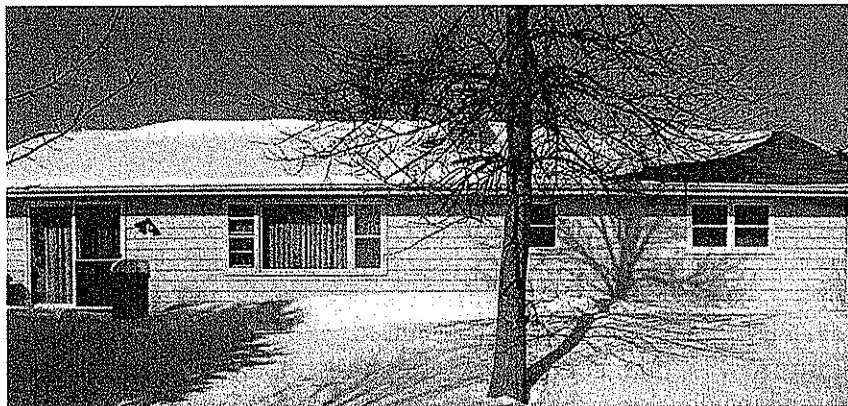
Exhibit A – 7191 Elderberry



North Elevation



West Elevation



South Elevation



East Elevation

Exhibit A – 7191 Elderberry (cont.)



Kitchen in good condition.



Bathroom in fair condition.



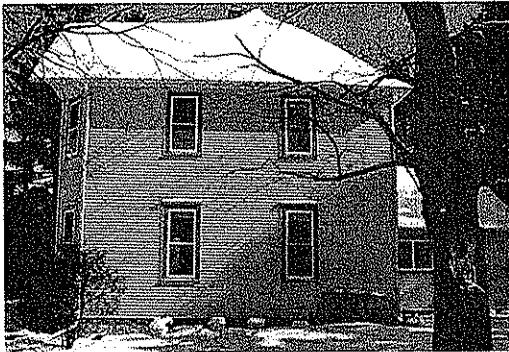
Bedrooms in fair condition.



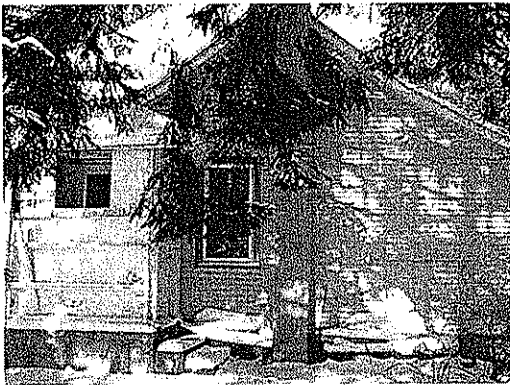
Exhibit B – 7197 Elderberry



North Elevation



West Elevation



South Elevation

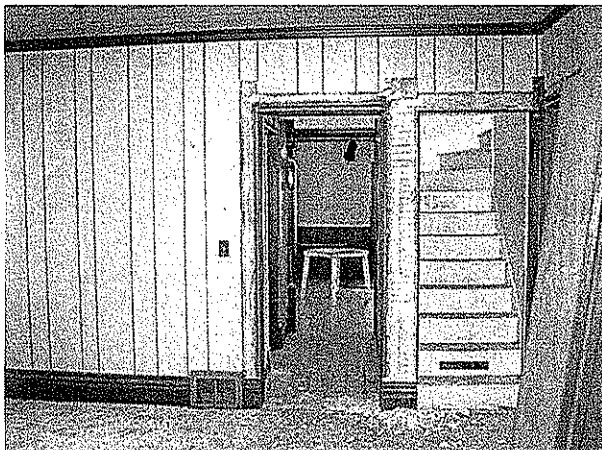


East Elevation

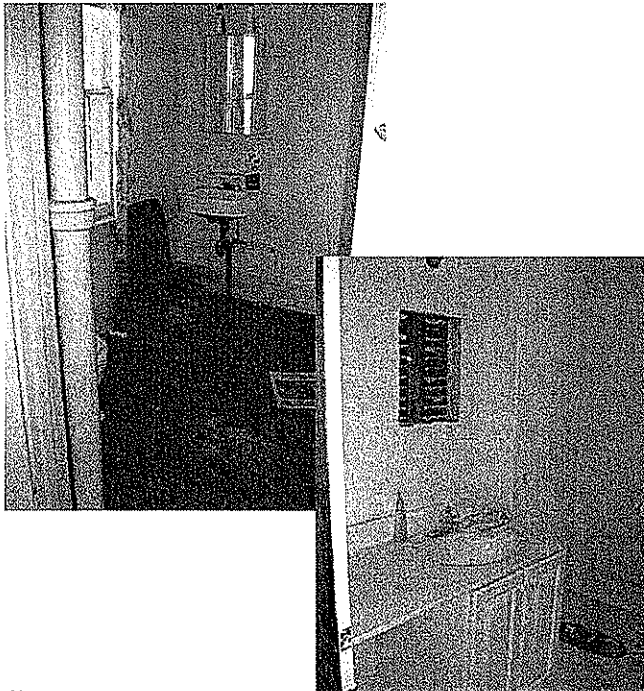
Exhibit B – 7197 Elderberry (cont.)



Walls, doorways, and flooring in poor condition.



Stairway is not up to code standards (steep and no landing)



Sub-par bathrooms with out-of-date plumbing and missing toilet.

Exhibit C – 7247 Elderberry



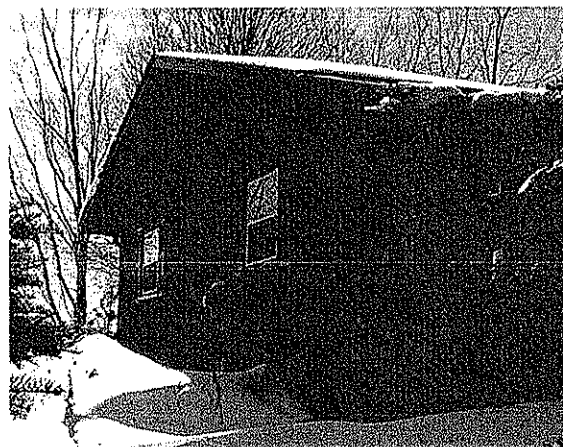
North Elevation



West Elevation

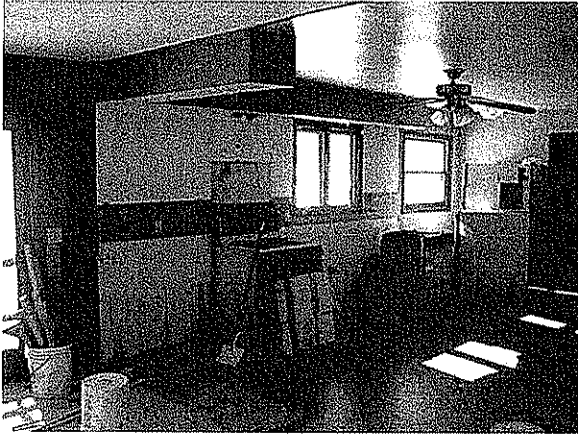


South Elevation



East Elevation

Exhibit C – 7247 Elderberry (cont.)



Gutted Kitchen.



Bathroom in fair condition
(missing toilet)



Doors and doorframes are
missing. Bedrooms in fair
condition.

